

Board of County Commissioners

Eva J. Henry - District #1 Charles "Chaz" Tedesco - District #2 Emma Pinter - District #3 Steve O'Dorisio - District #4 Mary Hodge - District #5

PUBLIC HEARING AGENDA

NOTICE TO READERS: The Board of County Commissioners' meeting packets are prepared several days prior to the meeting. This information is reviewed and studied by the Board members to gain a basic understanding, thus eliminating lengthy discussions. Timely action and short discussion on agenda items does not reflect a lack of thought or analysis on the Board's part. An informational packet is available for public inspection in the Board's Office one day prior to the meeting.

THIS AGENDA IS SUBJECT TO CHANGE

Tuesday October 29, 2019 9:30 AM

1. ROLL CALL

2. PLEDGE OF ALLEGIANCE

3. MOTION TO APPROVE AGENDA

4. AWARDS AND PRESENTATIONS

5. PUBLIC COMMENT

A. Citizen Communication

A total of 30 minutes is allocated at this time for public comment and each speaker will be limited to 3 minutes. If there are additional requests from the public to address the Board, time will be allocated at the end of the meeting to complete public comment. The chair requests that there be no public comment on issues for which a prior public hearing has been held before this Board.

B. Elected Officials' Communication

6. CONSENT CALENDAR

Α.	List of Expenditures Under the Dates of October 7-11, 2019
В.	List of Expenditures Under the Dates of October 14-18, 2019
С.	Minutes of the Commissioners' Proceedings from October 15, 2019
D.	Adams County Public Trustee Operational Expense for the Quarter Ending September 2019

E.	Resolution Approving Application in Case #PLT2019-0001 Blackstone Ranch, Filing 4 Final Plat (File approved by ELT)
F.	Resolution Approving Case #SIA2019-00017 Subdivision Improvements Agreement for Blackstone Ranch, Filing 4 (File approved by ELT)
G.	Resolution Approving Agreement Regarding Final Design, Right-of-Way Acquisition, and Construction of Drainage and Flood Control Improvements for Dahlia Pond at I-76, Adams County Agreement No. 18-11.19 (File approved by ELT)
H.	Resolution Accepting Quitclaim Deed Conveying Property from Dennis Edward Smialek and Beth Ann Smialek to Adams County for the Dedication of Road Right-of-Way (File approved by ELT)
I.	Resolution Approving Ambulance Service License for Bennett Fire Protection District #7 (File approved by ELT)
J.	Resolution Approving Ambulance Service License for Platte Valley Ambulance Service (File approved by ELT)
К.	Resolution Approving Ambulance Service License for Strasburg Fire Protection #8 (File approved by ELT)
L.	Resolution Accepting Quitclaim Deed Conveying Property from David L. Hall to Adams County, for the Dedication of Road Right-of-Way (File approved by ELT)
М.	Resolution Accepting Quitclaim Deed Conveying Property from New Direction IRA FBO David Lawrence Hall to Adams County, for the Dedication of Road Right-of-Way (File approved by ELT)
N.	Resolution Setting Forth the Final Decisions of the Adams County Board of Equalization for Tax Year 2019 (File approved by ELT)
0.	Resolution Approving Ambulance Service License for Western Ambulance Inc. (File approved by ELT)
Р.	Resolution Approving the Colorado Preschool Special Education Program Annual Cost Rate Adjustment between Adams County Head Start and School District 27J for 2019-2020 (File approved by ELT)

7. NEW BUSINESS

A. COUNTY MANAGER

1.	Resolution Approving Amendment Two to the Agreement with Seniors' Resource Center for Community Transit Services (File approved by ELT)
2.	Resolution Awarding an Agreement to PLM Asphalt and Concrete, LLC, to Provide General Contractor Services for Construction of New Taxiway R3 (File approved by ELT)

Resolution Designating Pre-Qualified Contractors for the Construction Manager General Contractor Qualifications for the South Platte Crossing Renovation Project (File approved by ELT)

B. COUNTY ATTORNEY

8. Motion to Adjourn into Executive Session Pursuant to C.R.S. 24-6-402(4)(b) and (e) for the Purpose of Receiving Legal Advice and Instructing Negotiators Regarding Employment Claims

9. LAND USE HEARINGS

A.	Cases	to	be	Heard

1.	EXG2019-00001 Aggregate Industries Tucson South Site (File approved by ELT)
2.	PRC2019-00002 Copeland Precast (File approved by ELT)
3.	PRC2018-00024 Villalobos-Quebec (File approved by ELT)
4.	PRC2019-00005 Project Flatiron (File approved by ELT)

10. ADJOURNMENT

AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE

Net Warrant by Fund Summary

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Fund	Fund	
Number	Description	Amount
1	General Fund	1,517,813.26
4	Capital Facilities Fund	58,832.68
5	Golf Course Enterprise Fund	102,694.43
6	Equipment Service Fund	7,613.08
13	Road & Bridge Fund	877,728.04
19	Insurance Fund	92,456.05
25	Waste Management Fund	13,064.01
27	Open Space Projects Fund	18,617.28
31	Head Start Fund	33,816.28
35	Workforce & Business Center	3,982.50
43	Colorado Air & Space Port	34,166.30
50	FLATROCK Facility Fund	1,490.24
94	Sheriff Payables	10,495.00
		2,772,769.15

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Warrant	Supplier No	Supplier Name	Warrant Date	Amount
00005558	37193	CINA & CINA FORENSIC CONSULTIN	10/8/2019	22,000.00
00005565	491215	WELLPATH LLC	10/9/2019	397,854.42
00005566	922722	ELMSHAEUSER RIANNA	10/11/2019	30.00
00005568	465183	PITNEY BOWES BANK	10/11/2019	16,000.0
00741979	923713	AMOS, ERIN	10/7/2019	10.0
00741980	923714	BALLOG, RYLIE	10/7/2019	18.00
00741981	923715	BARBA, MORGAN	10/7/2019	270.00
00741982	923716	BARNETT, CHASE	10/7/2019	43.00
00741983	923717	BARNUM, SHAELON	10/7/2019	60.00
00741984	923718	BARNUM, SHILYN	10/7/2019	71.00
00741985	923719	BASS, STEVEN	10/7/2019	106.00
00741986	923720	BATOROWICZ, MARCEL	10/7/2019	7.00
00741987	923721	BAXTER, RORY	10/7/2019	95.00
00741988	923722	BEARD, ALEXA	10/7/2019	10.00
00741989	923723	BEARD, MAKENA	10/7/2019	8.00
00741990	923724	BECKEL, CRYSTAL	10/7/2019	14.00
00741991	923725	BECKEL, CRYSTAL	10/7/2019	40.00
00741992	923726	BECKEL, LAURA	10/7/2019	12.00
00741993	923727	BECKER, VIOLET	10/7/2019	8.00
00741994	923728	BEGLER, DANIEL	10/7/2019	9.00
00741995	923729	BERNHARDT, ABBY	10/7/2019	43.00
00741996	923730	BERNHARDT, ALEXANDRIA	10/7/2019	6.00
00741997	923731	BINER, EMILY	10/7/2019	17.00
00741998	923732	BINER, KATIE	10/7/2019	19.00
00741999	923733	BINER, MADELINE	10/7/2019	110.00
00742000	923734	BLAIR, EMILY	10/7/2019	87.00
00742001	923735	BLAIR, RYLEE	10/7/2019	6.0
00742002	923736	BLAKE, BREANNA	10/7/2019	4.00
00742003	923737	BLAKE, KAYLIE	10/7/2019	2.0
00742004	923738	BLAKE, TOBY	10/7/2019	6.0
00742005	923739	BLAKEY, LANCE	10/7/2019	12.0
00742006	923740	BLAKEY, TRAVIS	10/7/2019	5.00
00742007	923741	BLAU, AVA	10/7/2019	82.0
00742008	923742	BLOCKER, SHILO	10/7/2019	14.00
00742009	923743	BOGAN, KENTON	10/7/2019	7.00
00742010	923744	BOGAN, LANDON	10/7/2019	7.0

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			Net warrants by Fund Detai	1	
1	General Fun	d			
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00742011	923745	BOGAN, MASON	10/7/2019	7.00
	00742012	923746	BONSELL, CEONA	10/7/2019	52.00
	00742013	923747	BONSELL, DESHAWN	10/7/2019	26.00
	00742014	923748	BOYET, EMILY	10/7/2019	30.00
	00742015	923749	BRADFORD, SHAYLEE	10/7/2019	7.00
	00742016	923750	BRADLEY, KALI	10/7/2019	18.00
	00742017	923751	BRASHEAR, AUBREY	10/7/2019	15.00
	00742018	923752	BRASHEAR, BRAIDYNNE	10/7/2019	7.00
	00742019	923753	BRASSINGTON, DEEGAN	10/7/2019	45.00
	00742020	923754	BROWN, BRYAN	10/7/2019	19.00
	00742021	923755	BROWN, RYAN	10/7/2019	13.00
	00742022	923756	BRYANT, KAITLIN	10/7/2019	84.00
	00742023	923757	BURKERT, TERESA	10/7/2019	30.00
	00742024	923758	BURNEY, CONNER	10/7/2019	52.00
	00742025	923759	BURNEY, VIVIAN	10/7/2019	40.00
	00742026	923760	CADE, GAGE	10/7/2019	9.00
	00742027	923761	CAGLE, RYLIE	10/7/2019	16.00
	00742028	923762	CANNON, MADISON	10/7/2019	7.00
	00742029	923763	CARLETON, JOVONNI	10/7/2019	18.00
	00742030	923764	CARVIS, ELEANOR	10/7/2019	69.00
	00742031	923765	CASSEL, JAYSE	10/7/2019	28.00
	00742032	923766	CASSIDA, EVAN	10/7/2019	8.00
	00742033	923767	CASSIDAY, KATHARINE	10/7/2019	33.00
	00742034	923768	CASTANEDA, KAITLIN	10/7/2019	7.00
	00742035	923769	CERVANTES, TAYLOR	10/7/2019	8.00
	00742036	923770	CHASE, ROBERTA	10/7/2019	98.00
	00742037	923771	CHELEWSKI, DEE	10/7/2019	12.00
	00742038	923772	CHRISTENSEN, DYLAN	10/7/2019	6.00
	00742039	923773	CLEMENT, ASHLEY	10/7/2019	96.00
	00742040	923774	COLBURN, ARACEL	10/7/2019	6.00
	00742041	923775	COMEAU, SUSAN	10/7/2019	16.00
	00742042	923776	CONCA, SOPHIA	10/7/2019	14.00
	00742043	923777	CONNOLLY, MOLLY	10/7/2019	16.00
	00742044	923778	CONNOR, SHARON	10/7/2019	22.00
	00742045	923779	COOPER, BEN	10/7/2019	8.00
	00742046	923780	CORCILIUS, ANDREW	10/7/2019	7.00

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1	General Fun	d			
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00742047	923781	CORCILIUS, LOGAN	10/7/2019	7.00
	00742048	923782	CORDOVA, ELIZANDRA	10/7/2019	7.00
	00742049	923783	CORDOVA, JESSELINA	10/7/2019	14.00
	00742050	923784	CROWTHER, AVA	10/7/2019	53.00
	00742051	923785	CRUICKSHANK, DAWSON	10/7/2019	14.00
	00742052	923786	CRUICKSHANK, EMMA	10/7/2019	33.00
	00742053	923787	CRUICKSHANK, KELSEA	10/7/2019	53.00
	00742054	923788	CULP, ELIJAH	10/7/2019	57.00
	00742055	923789	CULP, HANNAH	10/7/2019	26.00
	00742056	923790	DAER, GARY	10/7/2019	190.00
	00742057	923791	DATTE, ANDREA	10/7/2019	38.00
	00742058	923792	DAUGHERTY, BENJAMIN	10/7/2019	97.00
	00742059	923793	DAVIS, JAYDEN	10/7/2019	9.00
	00742060	923794	DAVIS, LARAMIE	10/7/2019	7.00
	00742061	923795	DE KRUIF, JEREMIAH	10/7/2019	103.00
	00742062	923796	DE KRUIF, SAVANNAH	10/7/2019	126.00
	00742063	923797	Debbie DeVries	10/7/2019	24.00
	00742064	923798	DENIKE, ABIGAIL	10/7/2019	15.00
	00742065	923799	DENIKE, ALAINA	10/7/2019	11.00
	00742066	923800	DERBY, ERICA	10/7/2019	8.00
	00742067	923801	DETERS, EHLA	10/7/2019	32.00
	00742068	923802	DETWILER, LUCAS	10/7/2019	22.00
	00742069	923803	DEXTER, CAROLINE	10/7/2019	52.00
	00742070	923804	DEXTER, ELIZABETH	10/7/2019	22.00
	00742071	923805	DICKINSON, MAGGIE	10/7/2019	4.00
	00742072	923806	DOBRATZ, CHERI	10/7/2019	20.00
	00742073	923807	DUNCAN, PENNY	10/7/2019	27.00
	00742074	923808	DURAN, ANGELO	10/7/2019	12.00
	00742075	923809	DURLAND, BROOKE	10/7/2019	33.00
	00742076	923810	DURLAND, MEGAN	10/7/2019	78.00
	00742077	923811	DWYER, CAMRYN	10/7/2019	42.00
	00742078	923812	EDELEN, ANDREW	10/7/2019	7.00
	00742079	923813	EISENACH, GRACE	10/7/2019	89.00
	00742080	923814	EISENACH, WYATT	10/7/2019	18.00
	00742081	923815	ELLEDGE, AMANDA	10/7/2019	28.00
	00742082	923816	FAAUAA, ZURI	10/7/2019	11.00

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	Iver warrants by Fully Detail				
1	General Fun	d			
	Warrant	Supplier No	Supplier Name	Warrant Date	Amoun
	00742083	923817	FAILS, SKYLAR	10/7/2019	12.0
	00742084	923818	FANCHER, ALLISON	10/7/2019	10.0
	00742085	923819	FANKHAUSER, EMMA	10/7/2019	28.0
	00742086	923820	FANKHAUSER, TESS	10/7/2019	35.0
	00742087	923821	FARRELL, LESLIE	10/7/2019	35.0
	00742088	923822	FINGER, JACE	10/7/2019	25.0
	00742089	923823	FISK, OLIVIA	10/7/2019	22.0
	00742090	923824	FONTIUS, GEORGE	10/7/2019	42.0
	00742091	923825	FONTIUS, JOSELYN	10/7/2019	14.0
	00742092	923826	FREEMAN, KIRA	10/7/2019	16.0
	00742093	923827	FRENCH, HANNA	10/7/2019	16.0
	00742094	923828	FRENCH, RJ	10/7/2019	12.0
	00742095	923829	FRENCH, ZACH	10/7/2019	5.0
	00742096	923830	FRICK, DANIKA	10/7/2019	13.0
	00742097	923831	FRICK, ELLY	10/7/2019	18.0
	00742098	923832	FRICK, OLIVIA	10/7/2019	6.0
	00742099	923833	GASS, CYNDI	10/7/2019	25.0
	00742100	923834	GENTRY, WYATT	10/7/2019	13.0
	00742101	923835	GOMEZ, ALYSSA	10/7/2019	55.0
	00742102	923836	GOODMAN, CHARLOTTE	10/7/2019	113.0
	00742103	923837	GOODMAN, LUCY	10/7/2019	155.0
	00742104	923838	GOSS, CHEYANNE	10/7/2019	86.0
	00742105	923839	GRAY, MONIQUE	10/7/2019	65.0
	00742106	923840	GREENBERG-MOORE, HARMONY	10/7/2019	60.0
	00742107	923841	HAGEN, TERRY	10/7/2019	120.0
	00742108	923842	HAMBURG, AMILIANA	10/7/2019	28.0
	00742109	923843	HARRELL, AUDREY	10/7/2019	51.0
	00742110	923844	HARRIS, LANEYA	10/7/2019	14.0
	00742111	923845	HARRIS, QUINTON	10/7/2019	5.0
	00742112	923846	HAUBRICH, TRISTIN	10/7/2019	7.0
	00742113	923847	HAYS, BRECKEN	10/7/2019	7.0
	00742114	923848	HAYS, BROCK	10/7/2019	7.0
	00742115	923849	HEID, MAKAYLA	10/7/2019	40.0
	00742116	923850	HENRICH, HUNTER	10/7/2019	38.0
	00742117	923851	HERMOSILLO, HAILEY	10/7/2019	24.0
	00742118	923852	HERMOSILLO, TREVOR	10/7/2019	46.0

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1	General Fun	u			
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00742119	923853	HERRERA, NATHANIEL	10/7/2019	46.00
	00742120	923854	HIGHTOWER, ELIZABETH	10/7/2019	181.00
	00742121	923855	HIGHTOWER, ZACHARY	10/7/2019	117.00
	00742122	923856	HINES, WESELY	10/7/2019	4.00
	00742123	923857	HIRSCH, LILLY	10/7/2019	21.00
	00742124	923858	HITCHCOCK, LOUISE	10/7/2019	30.00
	00742125	923859	HIX, ELIZABETH	10/7/2019	20.00
	00742126	923860	HODGES, PATRICIA	10/7/2019	18.00
	00742127	923861	HODGES, SUE	10/7/2019	18.00
	00742128	923862	HOLDER, HADASSAH	10/7/2019	22.00
	00742129	923863	HOLIFIELD, JACKUA	10/7/2019	22.00
	00742130	923864	HOLYOAK, RACHELLE	10/7/2019	36.00
	00742131	923865	HOPKINS, TRACY	10/7/2019	12.00
	00742132	923866	HOSFORD, GAUGE	10/7/2019	14.00
	00742133	923867	HOUSTON, JANIS	10/7/2019	30.00
	00742134	923868	HOWLAND, DONOVAN	10/7/2019	12.00
	00742135	923869	HUMBERT, DANA	10/7/2019	5.00
	00742136	923870	HUNTRESS, WYATT	10/7/2019	7.00
	00742137	923871	HUPPERT, ALI	10/7/2019	28.00
	00742138	923872	HURLEY, ELLI-GRACE	10/7/2019	10.00
	00742139	923873	JENSEN, MACKENZIE	10/7/2019	8.00
	00742140	923874	JOHNSON, LUKE	10/7/2019	7.00
	00742141	923875	JOHNSON, RYAN	10/7/2019	7.00
	00742142	923876	JOHNSTON, JULIAN	10/7/2019	8.00
	00742143	923877	JONES, PATTY	10/7/2019	30.00
	00742144	923878	JONES, SKYLA	10/7/2019	16.00
	00742145	923879	Judee Glover	10/7/2019	10.00
	00742146	923880	Judy Locke	10/7/2019	48.00
	00742147	923881	KAPPAN, TESSA	10/7/2019	24.00
	00742148	923882	KELLEY, SAVANNAH	10/7/2019	21.00
	00742149	923883	KELLOGG, JORDYNN	10/7/2019	63.00
	00742150	923884	KIEFER, DRAKE	10/7/2019	56.00
	00742151	923885	KIEFER, EMMY	10/7/2019	40.00
	00742152	923886	KINDSFATER, ALICE	10/7/2019	16.00
	00742153	923887	KIRBY, LINDEN	10/7/2019	65.00
	00742154	923889	KIRK, BECKY	10/7/2019	12.00

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1	General Fun	d			
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00742155	923890	KITSMILLER, JOSIAH	10/7/2019	7.00
	00742156	923891	KITSMILLER, MICAH	10/7/2019	7.00
	00742157	923892	KLAUSNER, JARED	10/7/2019	36.00
	00742158	923893	KOLENBRANDER, GARRETT	10/7/2019	57.00
	00742159	923894	KONZ, KAY	10/7/2019	77.00
	00742160	923895	KREUTZER, ELLARAE	10/7/2019	81.00
	00742161	923896	LAMPO, RACHEAL	10/7/2019	47.00
	00742162	923897	LANDERS, LORRAINE	10/7/2019	28.00
	00742163	923898	LAPOURE, ELLEN	10/7/2019	20.00
	00742164	923899	LARKIN, QUINN	10/7/2019	5.00
	00742165	923900	LAWRENCE, AVERY	10/7/2019	47.00
	00742166	923901	LEGNER, ADDISON	10/7/2019	7.00
	00742167	923902	LEWIS, ZOE	10/7/2019	34.00
	00742168	923903	LIEB, BRANDT	10/7/2019	10.00
	00742169	923906	LINDGREN, LARRY	10/7/2019	40.00
	00742170	923907	LOUNSBERRY, MINDY	10/7/2019	7.00
	00742171	923908	LUKENS, GAIL	10/7/2019	25.00
	00742172	923909	MACKLIN, BEN	10/7/2019	10.00
	00742173	923910	MARR, KRISTIN	10/7/2019	196.00
	00742174	923911	MARR, LAWRENCE	10/7/2019	8.00
	00742175	923912	MARR, STEVEN	10/7/2019	2.00
	00742176	923913	MARSH, PATTY	10/7/2019	8.00
	00742177	923914	MARTY, CLAYTON	10/7/2019	6.00
	00742178	923915	MARTY, KATHLEEN	10/7/2019	10.00
	00742179	923916	MARX, PAUL	10/7/2019	10.00
	00742180	923917	MASON, CARSON	10/7/2019	15.00
	00742181	923918	MATTHEWS, SUSIE	10/7/2019	57.00
	00742182	923920	MAXWELL KIRKMEYER, GABRIELLE	10/7/2019	99.00
	00742183	923921	MCCLAREN, JACOB	10/7/2019	7.00
	00742184	923922	MCCONNELL, BECKI	10/7/2019	10.00
	00742185	923924	MCCULLOUGH, GARRETT	10/7/2019	7.00
	00742186	923925	MCCULLOUGH, MAGGIE	10/7/2019	34.00
	00742187	923927	MCGILL, CADEN	10/7/2019	8.00
	00742188	923928	MCWILLIAMS, BRIAN	10/7/2019	10.00
	00742189	923929	MEYER, MELISSA	10/7/2019	106.00
	00742190	923930	MINICH, PATRICIA	10/7/2019	34.00

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1	General Fun	d			
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00742191	923931	MOBERG, KALANI	10/7/2019	7.00
	00742192	923932	MOORE, JAYDEN	10/7/2019	7.00
	00742193	923933	MORTENSEN, DYLAN	10/7/2019	10.00
	00742194	923934	MUTCHIE, CHLOE	10/7/2019	143.00
	00742195	923935	NEEDHAM, EMILIE	10/7/2019	50.00
	00742196	923936	NEEDHAM, KELLI	10/7/2019	42.00
	00742197	923937	NEEDHAM, RILEY	10/7/2019	7.00
	00742198	923938	NEYMAN, PAMELA	10/7/2019	144.00
	00742199	923939	NORMAN, RYAN	10/7/2019	7.00
	00742200	923940	NUANES, CONNER	10/7/2019	7.00
	00742201	923941	NUANES, KATELYN	10/7/2019	25.00
	00742202	923942	ONKEN, AUSTIN	10/7/2019	7.00
	00742203	923943	ONKEN, COLTON	10/7/2019	7.00
	00742204	923944	OSWALD, ELSIE	10/7/2019	43.00
	00742205	923945	OSWALD, GRACIE	10/7/2019	4.00
	00742206	923946	PALMER, CHILI DOG	10/7/2019	70.0
	00742207	923947	PANKOSKI, HEIDI	10/7/2019	39.00
	00742208	923948	PANKOSKI, KYLE	10/7/2019	53.00
	00742209	923949	PARDIKES, JASON	10/7/2019	12.00
	00742210	923950	Pat Nading	10/7/2019	25.00
	00742211	923951	PECH, BARBARA	10/7/2019	16.00
	00742212	923952	PEVLER, PRESTON	10/7/2019	22.00
	00742213	923953	PIERCE, LISA	10/7/2019	11.00
	00742214	923954	PIKE, GORDON	10/7/2019	16.0
	00742215	923955	PINEDA, EMMY	10/7/2019	20.0
	00742216	923956	PINEDA, FATIMA	10/7/2019	6.0
	00742217	923957	PINEDA, MATTHEW	10/7/2019	22.0
	00742218	923958	PINEDA, ROSELYN	10/7/2019	80.0
	00742219	923959	PINKSTON, DAN	10/7/2019	12.0
	00742220	923960	PORTERFIELD, PAYTON	10/7/2019	89.0
	00742221	923961	PRICE, GABRIEL	10/7/2019	46.0
	00742222	923962	PRICE, HEIDI	10/7/2019	32.0
	00742223	923963	PULLEY, NYLA	10/7/2019	30.0
	00742224	923964	PULLEY, OPHELIA	10/7/2019	64.0
	00742225	923965	QUICK, ALIZABETH	10/7/2019	42.0
	00742226	923966	QUILLEN, REBECCA	10/7/2019	43.00

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	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00742227	923967	RANNEY, BOBBETTE	10/7/2019	19.00
	00742228	923968	RAYMOND, PATRICIA	10/7/2019	12.00
	00742229	923969	REAL, STEPHANIE	10/7/2019	10.00
	00742230	923970	REDMOND, KIERAN	10/7/2019	10.00
	00742231	923971	REED, WYATT	10/7/2019	14.00
	00742232	923972	REIABER, JASON	10/7/2019	5.00
	00742233	923973	REIBER, EMMA	10/7/2019	131.00
	00742234	923974	RICARDS, KYLIE	10/7/2019	36.00
	00742235	923975	RIGGIN, JILL	10/7/2019	55.00
	00742236	923976	RIPPE, KYLE	10/7/2019	7.00
	00742237	923977	RODABAUGH, AUDREE	10/7/2019	36.0
	00742238	923978	ROMO SONNEMAN, ADELAIDE	10/7/2019	99.00
	00742239	923979	ROMO SONNEMAN, CHARLIE	10/7/2019	32.00
	00742240	923980	ROMO SONNEMAN, SIDNEY	10/7/2019	77.0
	00742241	923981	ROMO SONNEMAN, VINCENT	10/7/2019	63.0
	00742242	923982	Rosanne Schwartz	10/7/2019	40.0
	00742243	923983	ROSELL, CALVIN	10/7/2019	207.0
	00742244	923984	ROWAN, BROOKE	10/7/2019	104.00
	00742245	923985	ROWAN, CLAIRE	10/7/2019	135.00
	00742246	923986	ROWE, ELAINE	10/7/2019	22.0
	00742247	923987	ROYBAL, RON	10/7/2019	125.00
	00742248	923988	RUCH, SHANE	10/7/2019	7.0
	00742249	923989	RUCH, TAYLOR	10/7/2019	28.0
	00742250	923990	RUEL, CONNIE	10/7/2019	40.0
	00742251	923991	RUIZ, FRANKIE	10/7/2019	68.0
	00742252	923992	RUIZ, JEWLIANNA	10/7/2019	20.00
	00742253	923993	SACK, JOSEPH	10/7/2019	29.00
	00742254	923994	SAGER, JORDAN	10/7/2019	109.00
	00742255	923995	SANDERS, DAWNA	10/7/2019	36.0
	00742256	923996	SCHARA, COLTON	10/7/2019	7.0
	00742257	923997	SCHARA, DANAY	10/7/2019	7.0
	00742258	923998	SCHREIBER, FAITH	10/7/2019	14.00
	00742259	923999	SEELY, LOGAN	10/7/2019	135.00
	00742260	924000	SEELY, TAYLOR	10/7/2019	110.0
	00742261	924001	SEELY, WADE	10/7/2019	11.0
	00742262	924002	SEXTON, SHANTEL	10/7/2019	11.00

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	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00742263	924003	SHELDAHL, ARIANA	10/7/2019	23.00
	00742264	924004	SHELDON, ALEAHDELL	10/7/2019	14.00
	00742265	924005	SHELDON, HOLLY	10/7/2019	63.00
	00742266	924006	SISNEROS, SIERRA	10/7/2019	57.00
	00742267	924007	SMITH, MELISSA	10/7/2019	53.00
	00742268	924008	SOLIS, DAMIEN	10/7/2019	5.00
	00742269	924009	SPHAR, COLLIN	10/7/2019	31.00
	00742270	924010	SPIRZ, KAIDEN	10/7/2019	88.00
	00742271	924011	SPIRZ, KLAIRE	10/7/2019	74.00
	00742272	924012	STEPHENS, ALEYA	10/7/2019	67.00
	00742273	924013	STOCKTON, MARYSSA	10/7/2019	17.00
	00742274	924014	STOLL, JADEN	10/7/2019	7.00
	00742275	924015	STOLL, KAILYNN	10/7/2019	89.00
	00742276	924016	SWANSON, DAVE	10/7/2019	10.00
	00742277	924017	SZULINSKI, KIRA	10/7/2019	52.0
	00742278	924018	TANJI, AUDREY	10/7/2019	6.00
	00742279	924019	THOMPSON, ALDEN	10/7/2019	8.00
	00742280	924020	THOMPSON, ALEX	10/7/2019	8.00
	00742281	924021	THOMPSON, JOANNA	10/7/2019	12.00
	00742282	924022	TINGLE, DAKOTA	10/7/2019	9.00
	00742283	924023	TORGERSON, BRAYDEN	10/7/2019	141.0
	00742284	924024	TORGERSON, HAILEY	10/7/2019	127.0
	00742285	924025	TOTTEN, ISADORA	10/7/2019	4.00
	00742286	924026	TRRZECIAK, JUDY	10/7/2019	8.0
	00742287	924027	UNDERWOOD, CODY	10/7/2019	21.00
	00742288	924028	UNDERWOOD, SHANNON	10/7/2019	62.00
	00742289	924029	VENEGAS, ADELYNA	10/7/2019	11.00
	00742290	924030	VIEROW, TRINITY	10/7/2019	20.00
	00742291	924031	VIEROW, VINCENT	10/7/2019	7.0
	00742292	924032	VIGIL, AMANDA	10/7/2019	24.0
	00742293	924033	WACKER, EMMA	10/7/2019	10.00
	00742294	924034	WACKER, PAYTEN	10/7/2019	12.0
	00742295	924035	WAHLIN, MICHAEL	10/7/2019	12.0
	00742296	924036	WARE, VICTORIA	10/7/2019	47.0
	00742297	924037	WEIDEMANN, ROSE	10/7/2019	14.0
	00742298	924038	WENZEL, KELSEY	10/7/2019	72.00

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	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00742299	924039	WEST, MILEY	10/7/2019	72.00
	00742300	924040	WILLIAMS, LARRY	10/7/2019	16.00
	00742301	924041	WILLIAMS, VALEN	10/7/2019	51.00
	00742302	924042	WILLIS, MARY	10/7/2019	80.00
	00742303	924043	WINDEN, TAYAH	10/7/2019	124.00
	00742304	924044	WOLFMEIER, RACHEL	10/7/2019	30.00
	00742305	924045	WOZNIAK, CAROLINE	10/7/2019	79.00
	00742306	924046	WRIGHT, NOAH	10/7/2019	8.00
	00742307	924047	ZACHARZUK, GRACIE	10/7/2019	14.00
	00742308	924048	ZAISS, RYLIE	10/7/2019	44.00
	00742309	924049	ZAISS, WADE	10/7/2019	30.00
	00742312	72554	AAA PEST PROS	10/9/2019	1,995.00
	00742315	236204	ABC ITECH	10/9/2019	680.00
	00742316	920997	ADAMS COUNTY DISTRICT COURT	10/9/2019	19.00
	00742318	91631	ADAMSON POLICE PRODUCTS	10/9/2019	3,087.45
	00742319	8579	AGFINITY INC	10/9/2019	89.50
	00742321	12012	ALSCO AMERICAN INDUSTRIAL	10/9/2019	395.17
	00742322	714456	ALTA LANGUAGE SERVICES INC	10/9/2019	583.00
	00742323	228213	ARAMARK REFRESHMENT SERVICES	10/9/2019	181.51
	00742324	45084	BASELINE ASSOCIATES INC	10/9/2019	980.00
	00742325	435564	BELFOR ENVIRONMENTAL	10/9/2019	1,057.66
	00742326	921018	BLEA JENNIFER CHRISTINE	10/9/2019	19.00
	00742327	152081	BRAND AGENTS INC	10/9/2019	3,682.60
	00742328	7998	BRIGHTON CHAMBER OF COMMERCE	10/9/2019	500.00
	00742329	13160	BRIGHTON CITY OF (WATER)	10/9/2019	760.36
	00742330	13160	BRIGHTON CITY OF (WATER)	10/9/2019	3,541.51
	00742331	13160	BRIGHTON CITY OF (WATER)	10/9/2019	24,439.65
	00742332	13160	BRIGHTON CITY OF (WATER)	10/9/2019	19,118.46
	00742333	13160	BRIGHTON CITY OF (WATER)	10/9/2019	132.78
	00742334	8973	C & R ELECTRICAL CONTRACTORS I	10/9/2019	2,175.00
	00742335	726898	CA SHORT COMPANY	10/9/2019	23,750.00
	00742337	37266	CENTURY LINK	10/9/2019	205.39
	00742338	37266	CENTURY LINK	10/9/2019	90.95
	00742345	920998	CHILD SUPPORT SERVICES OF WYOM	10/9/2019	19.00
	00742346	852482	CLEARWAY ENERGY GROUP LLC	10/9/2019	1,372.27
	00742347	647801	CML SECURITY LLC	10/9/2019	13,333.33

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Warrant	Supplier No	Supplier Name	Warrant Date	Amount
00742348	921017	COLEMAN DARRELL	10/9/2019	19.00
00742349	209334	COLO NATURAL GAS INC	10/9/2019	34.35
00742350	612089	COMMERCIAL CLEANING SYSTEMS	10/9/2019	77,240.08
00742352	274030	COMMUNICATION CONSTRUCTION & E	10/9/2019	3,200.00
00742353	13049	COMMUNITY REACH CENTER	10/9/2019	14,685.89
00742355	255001	COPYCO QUALITY PRINTING INC	10/9/2019	20,000.00
00742356	25747	COVER ALL SERVICES INC	10/9/2019	200.00
00742357	922623	CURRY CHANCE	10/9/2019	75.00
00742360	163136	DEEP ROCK WATER	10/9/2019	53.14
00742361	101347	DHM DESIGNS	10/9/2019	18,662.30
00742362	13372	DP MEDIA NETWORK LLC	10/9/2019	406.61
00742363	921013	DUPONT LAW FIRM LLC	10/9/2019	13.00
00742364	808844	DUPRIEST JOHN FIELDEN	10/9/2019	65.00
00742365	33977	E R O RESOURCES CORP	10/9/2019	3,400.00
00742366	633833	EZ MESSENGER	10/9/2019	19.00
00742367	698569	FOREST SEAN	10/9/2019	65.00
00742368	671123	FOUND MY KEYS	10/9/2019	440.00
00742369	426777	FRANCY LAW FIRM	10/9/2019	19.00
00742370	12689	GALLS LLC	10/9/2019	1,634.22
00742371	783632	GAM ENTERPRISES INC	10/9/2019	3,289.25
00742372	922620	GARICA PAT	10/9/2019	75.00
00742373	293118	GARNER, ROSIE	10/9/2019	65.00
00742376	294059	GROUNDS SERVICE COMPANY	10/9/2019	172.00
00742377	293122	HERRERA, AARON	10/9/2019	65.00
00742378	699829	HILL'S PET NUTRITION SALES INC	10/9/2019	910.50
00742380	675514	IMPROVEMENT ASSURANCE GROUP	10/9/2019	6,500.00
00742381	13565	INTERMOUNTAIN REA	10/9/2019	31.41
00742382	13565	INTERMOUNTAIN REA	10/9/2019	238.32
00742383	77611	KD SERVICE GROUP	10/9/2019	5,949.57
00742384	921011	KLEMMETSEN TIMOTHY JOHN	10/9/2019	38.00
00742385	899207	KNUDSON CONSULTING LLC	10/9/2019	832.30
00742386	485045	KORBY LANDSCAPE LLC	10/9/2019	8,030.80
00742388	922558	LEVIN JACOBSON JAPHA PC	10/9/2019	34.00
00742389	36861	LEXIS NEXIS MATTHEW BENDER	10/9/2019	4,253.98
00742390	921019	LIN GANG	10/9/2019	19.00
00742395	810888	MARTINEZ JUSTIN PAUL	10/9/2019	65.00

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County of Adams

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	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00742396	922622	MENDOZA ANTHONY	10/9/2019	75.00
	00742397	484131	METRO COLLECTION SERVICE	10/9/2019	19.00
	00742398	729564	METRO TRANSPORTATION PLANNING	10/9/2019	2,761.10
	00742400	432211	MILLER COHEN PETERSON YOUNG	10/9/2019	16.00
	00742401	42431	MOUNTAIN STATES IMAGING LLC	10/9/2019	3,454.52
	00742402	93018	MURPHY RICK	10/9/2019	4,514.70
	00742403	921005	MUSTAFIC DIIJANA	10/9/2019	19.00
	00742404	771614	NAXSA	10/9/2019	400.00
	00742405	602983	NELSON & KENNARD	10/9/2019	19.00
	00742406	602983	NELSON & KENNARD	10/9/2019	19.00
	00742407	602983	NELSON & KENNARD	10/9/2019	19.00
	00742408	13422	NORTHGLENN AMBULANCE	10/9/2019	917.70
	00742409	486185	OPEN JUSTICE BROKER CONSORTIUM	10/9/2019	6,640.00
	00742410	469905	PENKAL JAN	10/9/2019	66.00
	00742411	922618	PERIODIC BREWING LLC	10/9/2019	345.00
	00742413	628141	PROFESSIONAL PIPE SERVICES	10/9/2019	89,591.36
	00742414	837076	PSYCHOLOGICAL DIMENSIONS	10/9/2019	8,925.00
	00742415	216245	PUSH PEDAL PULL INC	10/9/2019	1,343.48
	00742416	44703	QUICKSILVER EXPRESS COURIER	10/9/2019	100.54
	00742418	762299	RED FLAG REPORTING	10/9/2019	3,250.00
	00742419	921000	RHODES JENNIFER	10/9/2019	19.00
	00742420	53054	RICHARDSON SHARON	10/9/2019	65.00
	00742422	207375	ROUBIDOUX CAROL	10/9/2019	66.00
	00742424	574170	SCHULTZ PUBLIC AFFAIRS LLC	10/9/2019	4,333.33
	00742425	13538	SHRED IT USA LLC	10/9/2019	210.00
	00742426	226456	SIMON HARRY L	10/9/2019	57.00
	00742427	13932	SOUTH ADAMS WATER & SANITATION	10/9/2019	462.18
	00742428	13932	SOUTH ADAMS WATER & SANITATION	10/9/2019	46.97
	00742429	13932	SOUTH ADAMS WATER & SANITATION	10/9/2019	1,596.07
	00742430	13932	SOUTH ADAMS WATER & SANITATION	10/9/2019	25.20
	00742431	13932	SOUTH ADAMS WATER & SANITATION	10/9/2019	1,730.58
	00742432	13932	SOUTH ADAMS WATER & SANITATION	10/9/2019	46.97
	00742433	13932	SOUTH ADAMS WATER & SANITATION	10/9/2019	5,260.96
	00742435	25335	STANLEY CONVERGENT SECURITY S	10/9/2019	2,585.64
	00742436	42818	STATE OF COLORADO	10/9/2019	2,206.01
	00742437	42818	STATE OF COLORADO	10/9/2019	996.68

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	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00742438	42818	STATE OF COLORADO	10/9/2019	1,083.07
	00742439	42818	STATE OF COLORADO	10/9/2019	97.89
	00742440	42818	STATE OF COLORADO	10/9/2019	14.80
	00742441	42818	STATE OF COLORADO	10/9/2019	909.00
	00742442	42818	STATE OF COLORADO	10/9/2019	4,968.19
	00742443	42818	STATE OF COLORADO	10/9/2019	150.53
	00742444	42818	STATE OF COLORADO	10/9/2019	22.64
	00742445	42818	STATE OF COLORADO	10/9/2019	7.87
	00742446	42818	STATE OF COLORADO	10/9/2019	1.18
	00742447	42818	STATE OF COLORADO	10/9/2019	2,032.76
	00742448	42818	STATE OF COLORADO	10/9/2019	239.06
	00742449	42818	STATE OF COLORADO	10/9/2019	862.14
	00742450	42818	STATE OF COLORADO	10/9/2019	10,917.53
	00742451	42818	STATE OF COLORADO	10/9/2019	597.89
	00742452	42818	STATE OF COLORADO	10/9/2019	54.61
	00742453	12021	STURGEON ELECTRIC CO	10/9/2019	300.00
	00742454	599714	SUMMIT FOOD SERVICE LLC	10/9/2019	69,480.24
	00742456	618144	T&G PECOS LLC	10/9/2019	1,800.00
	00742457	13951	TDS TELECOM	10/9/2019	873.18
	00742459	498722	THERMAL & MOISTURE PROTECTION	10/9/2019	3,125.00
	00742460	385142	THOMPSON GREGORY PAUL	10/9/2019	65.00
	00742461	93323	TOUCH SONIC TECHNOLOGIES INC	10/9/2019	16,320.00
	00742462	1094	TRI COUNTY HEALTH DEPT	10/9/2019	302,923.66
	00742463	218715	TSCHETTER HAMRICK SULZER	10/9/2019	33.00
	00742464	666214	TYGRETT DEBRA R	10/9/2019	933.00
	00742465	13262	TYLER TECHNOLOGIES INC	10/9/2019	49,276.06
	00742466	1007	UNITED POWER (UNION REA)	10/9/2019	2,701.00
	00742467	1007	UNITED POWER (UNION REA)	10/9/2019	31,115.00
	00742468	1007	UNITED POWER (UNION REA)	10/9/2019	5,420.98
	00742486	725336	US CORRECTIONS LLC	10/9/2019	6,119.00
	00742487	158184	UTILITY NOTIFICATION CENTER OF	10/9/2019	224.36
	00742488	24681	VAN DIEST SUPPLY CO	10/9/2019	7,603.95
	00742489	28574	VERIZON WIRELESS	10/9/2019	303.54
	00742490	28617	VERIZON WIRELESS	10/9/2019	1,810.93
	00742491	921001	VIGIL RAYMOND E	10/9/2019	19.00
	00742494	921004	WILLIAMS JENNIFER	10/9/2019	19.00

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1	General Fun	d			
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00742495	922626	WILLIAMS WYATT	10/9/2019	75.00
	00742496	40340	WINDSTREAM COMMUNICATIONS	10/9/2019	2,783.46
	00742497	737980	WOLD ARCHITECTS AND ENGINEERS	10/9/2019	13,793.34
	00742499	13822	XCEL ENERGY	10/9/2019	117.61
	00742500	13822	XCEL ENERGY	10/9/2019	1,067.80
	00742501	13822	XCEL ENERGY	10/9/2019	202.27
	00742511	920999	ZANG XIONG WEN	10/9/2019	66.00
	00742512	473336	ZAYO GROUP HOLDINGS INC	10/9/2019	2,567.50
	00742513	433987	ADCO DISTRICT ATTORNEY'S OFFIC	10/11/2019	716.29
	00742519	491853	CENTER POINT ENERGY SERVICES R	10/11/2019	328.30
	00742520	491853	CENTER POINT ENERGY SERVICES R	10/11/2019	826.07
	00742521	491853	CENTER POINT ENERGY SERVICES R	10/11/2019	53.49
	00742522	491853	CENTER POINT ENERGY SERVICES R	10/11/2019	4,209.08
	00742523	43659	CINTAS FIRST AID & SAFETY	10/11/2019	119.05
	00742524	248364	CITY OF BRIGHTON	10/11/2019	10,550.39
	00742528	80146	COLO DEPT OF PUBLIC HEALTH & E	10/11/2019	40.00
	00742529	1909	COLO DOORWAYS INC	10/11/2019	350.70
	00742530	7612	COLO SUPREME COURT	10/11/2019	50.00
	00742531	925073	COOK JOSHUA	10/11/2019	2,114.00
	00742532	922877	D A PAINTING & REMODELING	10/11/2019	2,300.00
	00742535	922029	EICHER, SCOTT D	10/11/2019	747.40
	00742536	36884	EMBRY SANDRA	10/11/2019	195.00
	00742538	671123	FOUND MY KEYS	10/11/2019	966.00
	00742542	899207	KNUDSON CONSULTING LLC	10/11/2019	856.36
	00742545	488944	MAIL MASTERS OF COLORADO	10/11/2019	3,416.47
	00742547	924772	McAfee Shale	10/11/2019	394.16
	00742548	308259	METRO WASTE WATER RECLAMATION	10/11/2019	43.00
	00742549	516994	PARK 12 HUNDRED OWNERS ASSOCIA	10/11/2019	15,934.96
	00742550	152295	POTESTIO BROTHER EQUIPMENT	10/11/2019	1,040.99
	00742551	924773	Pritchett Shandi	10/11/2019	394.16
	00742553	263724	RED HAWK FIRE & SECURITY	10/11/2019	333.00
	00742555	293662	SUMMIT LABORATORIES INC	10/11/2019	480.00
	00742558	858187	TUCKER, JAMIE B	10/11/2019	238.67
	00742559	1007	UNITED POWER (UNION REA)	10/11/2019	92.72
	00742560	1007	UNITED POWER (UNION REA)	10/11/2019	73.03
	00742561	1007	UNITED POWER (UNION REA)	10/11/2019	28,540.89

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Net Warrants by Fund Detail

1	General Fun	d			
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00742562	1007	UNITED POWER (UNION REA)	10/11/2019	8,014.85
	00742570	46796	WESTMINSTER CITY OF	10/11/2019	8,232.99
	00742571	712817	WHITESTONE CONSTRUCTION SERVIC	10/11/2019	4,992.46
	00742572	13822	XCEL ENERGY	10/11/2019	485.09
	00742573	13822	XCEL ENERGY	10/11/2019	61.66
	00742574	13822	XCEL ENERGY	10/11/2019	13,094.92
	00742575	13822	XCEL ENERGY	10/11/2019	705.41
	00742576	13822	XCEL ENERGY	10/11/2019	37.78
	00742577	13822	XCEL ENERGY	10/11/2019	40.08
	00742578	13822	XCEL ENERGY	10/11/2019	38.25
	00742579	13822	XCEL ENERGY	10/11/2019	315.38
	00742580	13822	XCEL ENERGY	10/11/2019	55.04
	00742581	13822	XCEL ENERGY	10/11/2019	67.71
	00742582	13822	XCEL ENERGY	10/11/2019	38.70

Fund Total 1,517,813.26

Net Warrants by Fund Detail

Warrant	Supplier No	Supplier Name	Warrant Date	Amount
00742358	798606	D2C ARCHITECTS INC	10/9/2019	15,270.60
00742374	12812	GROUND ENGINEERING CONSULTANTS	10/9/2019	900.00
00742417	664027	RDG PLANNING AND DESIGN	10/9/2019	30,000.00
00742434	227044	SOUTHWESTERN PAINTING	10/9/2019	8,835.00
00742498	737980	WOLD ARCHITECTS AND ENGINEERS	10/9/2019	3,827.02

Fund Total 58,832.68

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Amount

Golf Course	Enterprise Fund	
Warrant	Supplier No	Supplier Name
00005561	6177	PROFESSIONAL RECREATION MGMT I
00005562	6177	PROFESSIONAL RECREATION MGMT I
00742313	72554	AAA PEST PROS

			11	
50,020.14	10/9/2019	PROFESSIONAL RECREATION MGMT I	6177	00005561
31,557.03	10/9/2019	PROFESSIONAL RECREATION MGMT I	6177	00005562
45.00	10/9/2019	AAA PEST PROS	72554	00742313
360.00	10/11/2019	AGFINITY INC	8579	00742514
97.43	10/11/2019	ALSCO AMERICAN INDUSTRIAL	12012	00742515
26.00	10/11/2019	BUCKEYE WELDING SUPPLY CO INC	9822	00742516
38.19	10/11/2019	C P S DISTRIBUTORS INC	13206	00742517
475.00	10/11/2019	CEM LAKE MGMT	25288	00742518
460.47	10/11/2019	E & G TERMINAL INC	13404	00742533
1,260.35	10/11/2019	GOLF & SPORT SOLUTIONS	160270	00742539
151.81	10/11/2019	HOSEPOWER USA AND/OR COMPLETE	649113	00742540
334.58	10/11/2019	INTERSTATE BATTERY OF ROCKIES	2202	00742541
3,207.86	10/11/2019	L L JOHNSON DIST	11496	00742543
1,500.00	10/11/2019	LABOR SOLUTIONS INC	525704	00742544
289.70	10/11/2019	MASEK GOLF CAR COMPANY	46175	00742546
84.37	10/11/2019	R & R PRODUCTS COMPANY	10684	00742552
310.69	10/11/2019	UNITED POWER (UNION REA)	1007	00742563
3,859.29	10/11/2019	UNITED POWER (UNION REA)	1007	00742564
4,152.75	10/11/2019	UNITED POWER (UNION REA)	1007	00742565
30.63	10/11/2019	UNITED POWER (UNION REA)	1007	00742566
987.54	10/11/2019	UNITED POWER (UNION REA)	1007	00742567
36.83	10/11/2019	UNITED POWER (UNION REA)	1007	00742568
3,369.14	10/11/2019	UNITED POWER (UNION REA)	1007	00742569
39.63	10/11/2019	XCEL ENERGY	13822	00742583

Fund Total 102,694.43

Warrant Date

Net Warrants by Fund Detail

6	Equipment S	Service Fund			
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00742412	324769	PRECISE MRM LLC	10/9/2019	5,352.00
	00742423	16237	SAM HILL OIL INC	10/9/2019	2,261.08

7,613.08

Fund Total

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County of Adams

Net Warrants by Fund Detail

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13	Road & Brid	lge Fund			
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00005567	362129	MARTIN MARIETTA MATERIALS INC	10/11/2019	159,758.35
	00742311	25603	A-1 CHIPSEAL CO	10/9/2019	635,872.78
	00742320	411865	ALFRED BENESCH & CO	10/9/2019	2,505.00
	00742375	12812	GROUND ENGINEERING CONSULTANTS	10/9/2019	631.00
	00742379	435508	HUITT-ZOLLARS INC	10/9/2019	5,657.50
	00742394	9379	MARTIN MARTIN CONSULTING ENGIN	10/9/2019	44,785.28
	00742469	1007	UNITED POWER (UNION REA)	10/9/2019	23.16
	00742470	1007	UNITED POWER (UNION REA)	10/9/2019	48.65
	00742471	1007	UNITED POWER (UNION REA)	10/9/2019	33.00
	00742472	1007	UNITED POWER (UNION REA)	10/9/2019	20.28
	00742473	1007	UNITED POWER (UNION REA)	10/9/2019	16.50
	00742474	1007	UNITED POWER (UNION REA)	10/9/2019	145.54
	00742475	1007	UNITED POWER (UNION REA)	10/9/2019	34.00
	00742476	1007	UNITED POWER (UNION REA)	10/9/2019	142.51
	00742477	1007	UNITED POWER (UNION REA)	10/9/2019	88.49
	00742478	1007	UNITED POWER (UNION REA)	10/9/2019	36.00
	00742479	1007	UNITED POWER (UNION REA)	10/9/2019	138.95
	00742480	1007	UNITED POWER (UNION REA)	10/9/2019	43.49
	00742481	1007	UNITED POWER (UNION REA)	10/9/2019	172.45
	00742482	1007	UNITED POWER (UNION REA)	10/9/2019	16.50
	00742483	1007	UNITED POWER (UNION REA)	10/9/2019	16.50
	00742484	1007	UNITED POWER (UNION REA)	10/9/2019	33.00
	00742485	1007	UNITED POWER (UNION REA)	10/9/2019	48.65
	00742502	13822	XCEL ENERGY	10/9/2019	12.10
	00742503	13822	XCEL ENERGY	10/9/2019	118.55
	00742504	13822	XCEL ENERGY	10/9/2019	48.91
	00742505	13822	XCEL ENERGY	10/9/2019	92.33
	00742506	13822	XCEL ENERGY	10/9/2019	114.77
	00742507	13822	XCEL ENERGY	10/9/2019	280.02
	00742508	13822	XCEL ENERGY	10/9/2019	104.80
	00742509	13822	XCEL ENERGY	10/9/2019	22,217.63
	00742510	13822	XCEL ENERGY	10/9/2019	4,471.35

Fund Total

877,728.04

Net Warrants by Fund Detail

19	Insurance Fu	ınd			
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00005560	523053	TRISTAR RISK MANAGEMENT	10/8/2019	25,250.12
	00005564	773185	THRIVE AT HOME NUTRITION LLC	10/9/2019	369.43
	00742336	419839	CAREHERE LLC	10/9/2019	37,280.00
	00742344	799770	CHARLES RIVER ASSOCIATES	10/9/2019	26,496.50
	00742537	182042	FIT SOLDIERS FITNESS BOOT CAMP	10/11/2019	3,060.00

 Fund Total
 92,456.05

Net Warrants by Fund Detail

25	Waste Mana	gement Fund			
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00742458	573198	TECHNO RESCUE LLC	10/9/2019	12,964.01
	00742554	922602	STAUB DEBORAH W	10/11/2019	100.00

13,064.01

Fund Total

Net Warrants by Fund Detail

27	Open Space	Projects Fund			
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00742392	435545	LOGAN SIMPSON DESIGN INC	10/9/2019	2,017.28
	00742399	304690	MILE HIGH YOUTH CORPS	10/9/2019	16,600.00

18,617.28

Fund Total

Net Warrants by Fund Detail

31	Head Start F	und			
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00742310	382247	3WESOLUTIONS LLC	10/9/2019	1,500.00
	00742339	37266	CENTURY LINK	10/9/2019	372.67
	00742340	37266	CENTURY LINK	10/9/2019	130.79
	00742341	37266	CENTURY LINK	10/9/2019	106.26
	00742342	37266	CENTURY LINK	10/9/2019	11.06
	00742343	37266	CENTURY LINK	10/9/2019	407.81
	00742354	248029	COMMUNITY REACH CENTER FOUNDAT	10/9/2019	6,515.84
	00742387	40843	LANGUAGE LINE SERVICES	10/9/2019	15.58
	00742393	694101	LOYA GARCIA TANIA MARILYN	10/9/2019	26.21
	00742455	13770	SYSCO DENVER	10/9/2019	19,695.28
	00742492	31360	WESTMINSTER PRESBYTERIAN CHURC	10/9/2019	2,222.78
	00742493	59983	WESTMINSTER PUBLIC SCHOOLS	10/9/2019	2,812.00

Fund Total 33,816.28

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35	Workforce &	Business Center			
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00742317	28902	ADAMS COUNTY SCHOOL	10/9/2019	60.00
	00742391	643316	LOCKHEED MARTIN SPACE SYSTEMS	10/9/2019	3,000.00
	00742421	71230	RMWDA INC	10/9/2019	922.50
				Fund Total	3,982.50

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Net Warrants by Fund Detail

43	<u>Colorado Air</u>	· & Space Port			
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00005559	709816	CITY SERVICE VALCON LLC	10/8/2019	17,695.55
	00005563	886831	SOLAR SCREEN CO INC	10/9/2019	9,498.00
	00742359	556579	DBT TRANSPORTATION SERVICES LL	10/9/2019	1,185.00
	00742525	852482	CLEARWAY ENERGY GROUP LLC	10/11/2019	3,661.47
	00742526	2381	COLO ANALYTICAL LABORATORY	10/11/2019	131.00
	00742534	13410	EASTERN SLOPE RURAL TELEPHONE	10/11/2019	133.45
	00742556	80267	SWIMS DISPOSAL	10/11/2019	298.75
	00742557	93074	SYSCO DENVER	10/11/2019	1,563.08

Fund Total 34,166.30

Net Warrants by Fund Detail

50	FLATROCK	FLATROCK Facility Fund								
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount					
	00742314	72554	AAA PEST PROS	10/9/2019	60.00					
	00742351	612089	COMMERCIAL CLEANING SYSTEMS	10/9/2019	1,430.24					

Fund Total1,490.24

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Net Warrants by Fund Detail

94	Sheriff Paya	bles			
	Warrant00742527	Supplier No 5556	Supplier Name COLO BUREAU INVESTIGATION-IDEN	Warrant Date 10/11/2019	Amount 10,495.00
				Fund Total	10,495.00

10,495.00

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Grand Total 2,772,769.15

R5504001		County of Adams				10/11/2019 15:25:08
		Vendor Payment Repor	t			Page - 1
1011	Board of County Commissioners	Fund	Voucher	Batch No	GL Date	Amount
	Legal Notices DP MEDIA NETWORK LLC	00001	961684	348901 De	10/4/2019 Account Total epartment Total	406.61 406.61 406.61

R5504001		County of Adams		10/11/2019 15:25:08		
		Vendor Payment Repor	t			Page - 2
4306	Cafe	Fund	Voucher	Batch No	GL Date	Amount
	Snack Bar Supplies SYSCO DENVER	00043	961758	349089	10/7/2019	1,563.08
					Account Total	1,563.08
				De	epartment Total	1,563.08

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Vendor Payment Report

4	Capital Facilities Fund	Fund	Voucher	Batch No	GL Date	Amount
	Received not Vouchered Clrg					
	D2C ARCHITECTS INC	00004	962185	349145	10/8/2019	15,270.66
	GROUND ENGINEERING CONSULTANTS	00004	962186	349145	10/8/2019	900.00
	RDG PLANNING AND DESIGN	00004	962105	349141	10/8/2019	30,000.00
	SOUTHWESTERN PAINTING	00004	961725	349029	10/7/2019	8,835.00
	WOLD ARCHITECTS AND ENGINEERS	00004	962189	349145	10/8/2019	2,327.02
	WOLD ARCHITECTS AND ENGINEERS	00004	962190	349145	10/8/2019	1,500.00
					Account Total	58,832.68
				Department Total		58,832.68

R5504001		County of Adams				10/11/2019 15:25:08		
Vendor Payment Report								
4302	CASP Administration	Fund	Voucher	Batch No	GL Date	Amount		
	Water/Sewer/Sanitation SWIMS DISPOSAL	00043	961759	349089 De	10/7/2019 Account Total epartment Total	298.75 298.75 298.75		

County of	of Adams
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Vendor Payment Report

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4304	CASP Operations/Maintenance	Fund	Voucher	Batch No	GL Date	Amount
	Gas & Electricity					
	CLEARWAY ENERGY GROUP LLC	00043	961752	349089	10/7/2019	1,444.87
	CLEARWAY ENERGY GROUP LLC	00043	961753	349089	10/7/2019	901.99
	CLEARWAY ENERGY GROUP LLC	00043	961754	349089	10/7/2019	660.72
	CLEARWAY ENERGY GROUP LLC	00043	961755	349089	10/7/2019	653.89
					Account Total	3,661.47
	Telephone					
	EASTERN SLOPE RURAL TELEPHONE	00043	961757	349089	10/7/2019	133.45
					Account Total	133.45
				De	epartment Total	3,794.92

R5504001

County of Adams

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Vendor Payment Report

1023	CLK Motor Vehicle	Fund	Voucher	Batch No	GL Date	Amount
	Operating Supplies					
	ALSCO AMERICAN INDUSTRIAL	00001	961669	348899	10/4/2019	28.89
	ALSCO AMERICAN INDUSTRIAL	00001	961670	348899	10/4/2019	19.53
	ALSCO AMERICAN INDUSTRIAL	00001	961671	348899	10/4/2019	17.19
					Account Total	65.61
	Uniforms & Cleaning					
	BRAND AGENTS INC	00001	961672	348899	10/4/2019	364.95
	BRAND AGENTS INC	00001	961673	348899	10/4/2019	418.20
	BRAND AGENTS INC	00001	961674	348899	10/4/2019	365.80
	BRAND AGENTS INC	00001	961675	348899	10/4/2019	485.95
	BRAND AGENTS INC	00001	961676	348899	10/4/2019	742.50
	BRAND AGENTS INC	00001	961677	348899	10/4/2019	556.00
	BRAND AGENTS INC	00001	961678	348899	10/4/2019	367.80
	BRAND AGENTS INC	00001	961679	348899	10/4/2019	381.40
					Account Total	3,682.60
				D	epartment Total	3,748.21

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1021	CLK Recording	Fund	Voucher	Batch No	GL Date	Amount
	Other Professional Serv					
	C & R ELECTRICAL CONTRACTORS I	00001	961680	348899	10/4/2019	2,175.00
	STATE OF COLORADO	00001	961681	348899	10/4/2019	2,206.01
	STATE OF COLORADO	00001	961682	348899	10/4/2019	996.68
	STATE OF COLORADO	00001	961683	348899	10/4/2019	1,083.07
					Account Total	6,460.76
				De	partment Total	6,460.76

R5504001	County of Adams					10/11/2019 15:25:08
	Vendor Payment Report					Page - 8
43	Colorado Air & Space Port	Fund	Voucher	Batch No	GL Date	Amount
	Received not Vouchered Clrg					
	CITY SERVICEVALCON LLC	00043	962217	349166	10/8/2019	17,695.55
	DBT TRANSPORTATION SERVICES LL	00043	962101	349141	10/8/2019	1,185.00
	SOLAR SCREEN CO INC	00043	962298	349296	10/9/2019	9,498.00
					Account Total	28,378.55
				De	epartment Total	28,378.55

R5504001		County of Adams				10/11/2019	15:25:08
		Vendor Payment Repor	·t			Page -	9
2055	Control/Enforcement	Fund	Voucher	Batch No	GL Date	Amount	
	Operating Supplies AGFINITY INC	00001	961691	348911 D	10/4/2019 Account Total epartment Total	89	9.50 9.50 9.50

R5504001		County of Adams				10/11/2019 15:25:08
		Vendor Payment Repor	·t			Page - 10
1041	County Assessor	Fund	Voucher	Batch No	GL Date	Amount
	Postage & Freight					
	MAIL MASTERS OF COLORADO	00001	961368	348377	9/30/2019	3,416.47
					Account Total	3,416.47
				D	epartment Total	3,416.47

R5504001		County of Adams				10/11/2019 15:25:08
	Ve	ndor Payment Repor	rt			Page - 11
2031	County Coroner	Fund	Voucher	Batch No	GL Date	Amount
	Medical Services					
	CINA & CINA FORENSIC CONSULTIN	00001	961736	349047	10/7/2019	22,000.00
					Account Total	22,000.00
	Other Professional Serv					
	BASELINE ASSOCIATES INC	00001	961737	349057	10/7/2019	980.00
					Account Total	980.00
				D	epartment Total	22,980.00

R5504001		County of Adams				10/11/2019 1	5:25:08
	Vendor Payment Report					Page -	12
1031 County Treasurer		Fund	Voucher	Batch No	GL Date	Amount	
Maintenance Contracts							
TYLER TECHNOL	LOGIES INC	00001	959747	346440	9/4/2019	49,276	.06
					Account Total	49,276	.06
Other Professional Serv							
KNUDSON CONS	ULTING LLC	00001	962263	349278	10/9/2019	856	.36
KNUDSON CONS	ULTING LLC	00001	962215	349163	10/8/2019	832	.30
RED HAWK FIRE	& SECURITY	00001	962339	349390	10/10/2019	333	.00
					Account Total	2,021	.66
				D	epartment Total	51,297	.72

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1051	District Attorney	Fund	Voucher	Batch No	GL Date	Amount
	Court Reporting Transcripts					
	ELMSHAEUSER RIANNA	00001	962214	349162	10/8/2019	30.00
	EMBRY SANDRA	00001	962222	349171	10/8/2019	195.00
					Account Total	225.00
	Education & Training					
	COLO SUPREME COURT	00001	962220	349171	10/8/2019	50.00
					Account Total	50.00
	Other Professional Serv					
	EICHER, SCOTT D	00001	962221	349171	10/8/2019	513.70
	EICHER, SCOTT D	00001	962221	349171	10/8/2019	233.70
					Account Total	747.40
	Witness Fees					
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	962219	349171	10/8/2019	72.56
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	962219	349171	10/8/2019	245.96
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	962219	349171	10/8/2019	22.89
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	962219	349171	10/8/2019	202.79
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	962219	349171	10/8/2019	25.97
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	962219	349171	10/8/2019	146.12
	McAfee Shale	00001	962300	349303	10/9/2019	394.16
	Pritchett Shandi	00001	962301	349303	10/9/2019	394.16
					Account Total	1,504.61
				Ι	Department Total	2,527.01

R5504001	O4001 County of Adams					
Vendor Payment Report						
6	Equipment Service Fund	Fund	Voucher	Batch No	GL Date	Amount
	Received not Vouchered Clrg					
	PRECISE MRM LLC	00006	962107	349141	10/8/2019	5,352.00
	SAM HILL OIL INC	00006	962113	349141	10/8/2019	2,261.08
					Account Total	7,613.08
				De	partment Total	7,613.08

R5504001		County of Adams				10/11/2019	15:25:08
Vendor Payment Report							
9243	Extension - Family & Consumer	Fund	Voucher	Batch No	GL Date	Amount	
	Other Communications VERIZON WIRELESS	00001	961424	348474 De	10/1/2019 Account Total epartment Total	4	H1.15 H1.15 H1.15

R5504001		County of Adams				10/11/2019	15:25:08
Vendor Payment Report							
9240	Extension - Horticulture	Fund	Voucher	Batch No	GL Date	Amount	
	Other Communications VERIZON WIRELESS	00001	961424	348474 De	10/1/2019 Account Total epartment Total	2	41.15 41.15 41.15

R5504001	504001 County of Adams						
	Vendor Payment Report						
9244	Extension- 4-H/Youth	Fund	Voucher	Batch No	GL Date	Amount	
	Other Communications						
	VERIZON WIRELESS	00001	961424	348474	10/1/2019	41.15	
	VERIZON WIRELESS	00001	961424	348474	10/1/2019	41.15	
	VERIZON WIRELESS	00001	961424	348474	10/1/2019	41.15	
					Account Total	123.45	
				De	partment Total	123.45	

R5504001		County of Adams				10/11/2019 15:25:08
		Vendor Payment Repor	t			Page - 18
9241	Extension- Administration	Fund	Voucher	Batch No	GL Date	Amount
	Other Communications VERIZON WIRELESS	00001	961424	348474 Dej	10/1/2019 Account Total partment Total	97.79 97.79 97.79

R5504001		County of Adams				10/11/2019 15:25:08
Vendor Payment Report						
5025	Facilities Club House Maint.	Fund	Voucher	Batch No	GL Date	Amount
	Building Repair & Maint D A PAINTING & REMODELING	00005	961696	348921 De	10/4/2019 Account Total partment Total	2,300.00 2,300.00 2,300.00

R5504001	County of Adams							
	Vendor Payment Report							
50	FLATROCK Facility Fund	Fund	Voucher	Batch No	GL Date	Amount		
	Received not Vouchered Clrg							
	AAA PEST PROS	00050	962099	349141	10/8/2019	60.00		
	COMMERCIAL CLEANING SYSTEMS	00050	962179	349145	10/8/2019	1,430.24		
					Account Total	1,490.24		
				D	epartment Total	1,490.24		

R5504001		County of Adams				10/11/2019 15:25:08
		Vendor Payment Repor	t			Page - 21
1076	FO - Adams County Svc Center	Fund	Voucher	Batch No	GL Date	Amount
	Gas & Electricity					
	Energy Cap Bill ID=9951	00001	962326	349384	9/25/2019	53.49
	Energy Cap Bill ID=9956	00001	962327	349384	9/23/2019	13,094.92
					Account Total	13,148.41
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=9907	00001	961710	349026	9/13/2019	5,260.96
					Account Total	5,260.96
				D	epartment Total	18,409.37

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1091	FO - Administration	Fund	Voucher	Batch No	GL Date	Amount
	Gas & Electricity					
	Energy Cap Bill ID=9899	00001	961713	349026	9/17/2019	117.61
	Energy Cap Bill ID=9900	00001	961714	349026	9/19/2019	1,067.80
	Energy Cap Bill ID=9901	00001	961715	349026	9/20/2019	202.27
	Energy Cap Bill ID=9910	00001	961716	349026	9/18/2019	34.35
	Energy Cap Bill ID=9917	00001	961717	349026	9/12/2019	238.32
					Account Total	1,660.35
				De	partment Total	1,660.35

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	Vendor Payment Report							
1069	FO - Animal Shelter Maint.	Fund	Voucher	Batch No	GL Date	Amount		
	Gas & Electricity Energy Cap Bill ID=9949	00001	962319	349384 D	9/25/2019 Account Total epartment Total	328 328 328	8.30	

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		Vendor Payment Repor	·t			Page -	24
1060	FO - Community Corrections	Fund	Voucher	Batch No	GL Date	Amount	
	Water/Sewer/Sanitation Energy Cap Bill ID=9911	00001	961701	349026	9/13/2019		52.18
				D	Account Total epartment Total	-	52.18 52.18

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1114	FO - District Attorney Bldg.	Fund	Voucher	Batch No	GL Date	Amount
	Gas & Electricity					
	Energy Cap Bill ID=9944	00001	962334	349384	9/26/2019	8,014.85
	Energy Cap Bill ID=9954	00001	962335	349384	9/24/2019	55.04
					Account Total	8,069.89
				De	epartment Total	8,069.89

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2090	FO - Flatrock Facility	Fund	Voucher	Batch No	GL Date	Amount	
	Gas & Electricity						
	Energy Cap Bill ID=9955	00050	962337	349384	9/24/2019	67.	.71
	Energy Cap Bill ID=9960	00050	962338	349384	9/24/2019	38.	.70
					Account Total	106.	.41
				E	Department Total	106.	.41

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1077	FO - Government Center	Fund	Voucher	Batch No	GL Date	Amount
	Gas & Electricity					
	Energy Cap Bill ID=9913	00001	961711	349026	9/11/2019	2,701.00
	Energy Cap Bill ID=9916	00001	961712	349026	9/11/2019	31,115.00
	Energy Cap Bill ID=9953	00001	962328	349384	9/24/2019	705.41
					Account Total	34,521.41
	Grounds Maintenance					
	POTESTIO BROTHER EQUIPMENT	00001	961698	348921	10/4/2019	1,040.99
					Account Total	1,040.99
	Maintenance Contracts					
	SUMMIT LABORATORIES INC	00001	961695	348921	10/4/2019	480.00
					Account Total	480.00
	Repair & Maint Supplies					
	COLO DOORWAYS INC	00001	961699	348921	10/4/2019	350.70
					Account Total	350.70
				D	epartment Total	36,393.10

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1070	FO - Honnen/Plan&Devel/MV Ware	Fund	Voucher	Batch No	GL Date	Amount
	Gas & Electricity					
	Energy Cap Bill ID=9920	00001	961702	349026	8/5/2019	589.84
	Energy Cap Bill ID=9922	00001	961703	349026	8/5/2019	666.63
	Energy Cap Bill ID=9957	00001	962320	349384	9/23/2019	61.66
	XCEL ENERGY	00001	961697	348921	10/4/2019	485.09
					Account Total	1,803.22
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=9902	00001	961704	349026	9/13/2019	46.97
	Energy Cap Bill ID=9903	00001	961705	349026	9/20/2019	1,596.07
	Energy Cap Bill ID=9904	00001	961706	349026	9/13/2019	25.20
	Energy Cap Bill ID=9905	00001	961707	349026	9/13/2019	1,730.58
	Energy Cap Bill ID=9918	00001	961708	349026	9/13/2019	46.97
					Account Total	3,445.79
				De	epartment Total	5,249.01

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	Ven	dor Payment Repor	·t			Page - 29
1079	FO - Human Services Center	Fund	Voucher	Batch No	GL Date	Amount
	Other Repair & Maint					
	PARK 12 HUNDRED OWNERS ASSOCIA	00001	961693	348921	10/4/2019	15,934.96
					Account Total	15,934.96
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=9945	00001	962329	349384	9/18/2019	3,902.93
					Account Total	3,902.93
				D	epartment Total	19,837.89

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	Ve	endor Payment Repo	•t			Page - 30
1071	FO - Justice Center	Fund	Voucher	Batch No	GL Date	Amount
	Gas & Electricity					
	Energy Cap Bill ID=9943	00001	962321	349384	9/25/2019	826.07
	Energy Cap Bill ID=9947	00001	962322	349384	9/26/2019	73.03
	Energy Cap Bill ID=9948	00001	962323	349384	9/26/2019	28,540.89
					Account Total	29,439.99
	Maintenance Contracts					
	COLO DEPT OF PUBLIC HEALTH & E	00001	961700	348928	10/4/2019	40.00
					Account Total	40.00
				D	epartment Total	29,479.99

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		Vendor Payment Repor	·t			Page - 31
1019	FO - Mailroom & Dock	Fund	Voucher	Batch No	GL Date	Amount
	Postage & Freight PITNEY BOWES BANK	00001	961692	348920 De	10/4/2019 Account Total partment Total	16,000.00 16,000.00 16,000.00

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	Ven	dor Payment Repor	t			Page - 32
1111	FO - Parks Facilities	Fund	Voucher	Batch No	GL Date	Amount
	Buildings					
	METRO WASTE WATER RECLAMATION	00001	962267	349283	10/9/2019	43.00
					Account Total	43.00
	Gas & Electricity					
	Energy Cap Bill ID=9921	00001	961718	349026	8/5/2019	115.80
	Energy Cap Bill ID=9958	00001	962330	349384	9/24/2019	37.78
	Energy Cap Bill ID=9959	00001	962331	349384	9/24/2019	40.08
	Energy Cap Bill ID=9961	00001	962332	349384	9/24/2019	38.25
					Account Total	231.91
				D	epartment Total	274.91

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		Vendor Payment Repor	·t			Page - 33
1112	FO - Sheriff HQ/Coroner Bldg	Fund	Voucher	Batch No	GL Date	Amount
	Gas & Electricity					
	Energy Cap Bill ID=9908	00001	961719	349026	9/11/2019	5,420.98
	Energy Cap Bill ID=9952	00001	962333	349384	9/25/2019	315.38
					Account Total	5,736.36
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=9909	00001	961720	349026	9/13/2019	760.36
	Energy Cap Bill ID=9912	00001	961721	349026	9/13/2019	3,541.51
					Account Total	4,301.87
				D	epartment Total	10,038.23

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2009	FO - Sheriff Maintenance	Fund	Voucher	Batch No	GL Date	Amount
	Building Repair & Maint					
	WHITESTONE CONSTRUCTION SERVIC	00001	961694	348921	10/4/2019	4,992.46
					Account Total	4,992.46
	Gas & Electricity					
	Energy Cap Bill ID=9962	00001	962336	349384	9/25/2019	4,209.08
					Account Total	4,209.08
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=9906	00001	961722	349026	9/13/2019	24,439.65
	Energy Cap Bill ID=9914	00001	961723	349026	9/13/2019	19,118.46
	Energy Cap Bill ID=9919	00001	961724	349026	9/13/2019	132.78
					Account Total	43,690.89
				Γ	Department Total	52,892.43

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		Vendor Payment Report	;			Page - 35
1075	FO - Strasburg/Whittier	Fund	Voucher	Batch No	GL Date	Amount
	Gas & Electricity Energy Cap Bill ID=9915	00001	961709	349026 Dej	9/20/2019 Account Total partment Total	<u>31.41</u> <u>31.41</u> <u>31.41</u>

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	Vendor Payment Report						
1072	FO - West Services Center	Fund	Voucher	Batch No	GL Date	Amount	
	Water/Sewer/Sanitation						
	Energy Cap Bill ID=9946	00001	962324	349384	9/18/2019	951.02	
	Energy Cap Bill ID=9950	00001	962325	349384	9/18/2019	3,379.04	
					Account Total	4,330.06	
				De	epartment Total	4,330.06	

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1	General Fund	Fund	Voucher	Batch No	GL Date	Amount
	Received not Vouchered Clrg					
	AAA PEST PROS	00001	962100	349141	10/8/2019	60.00
	AAA PEST PROS	00001	962100	349141	10/8/2019	60.00
	AAA PEST PROS	00001	962100	349141	10/8/2019	145.00
	AAA PEST PROS	00001	962100	349141	10/8/2019	120.00
	AAA PEST PROS	00001	962100	349141	10/8/2019	50.00
	AAA PEST PROS	00001	962100	349141	10/8/2019	110.00
	AAA PEST PROS	00001	962100	349141	10/8/2019	150.00
	AAA PEST PROS	00001	962100	349141	10/8/2019	140.00
	AAA PEST PROS	00001	962100	349141	10/8/2019	160.00
	AAA PEST PROS	00001	962100	349141	10/8/2019	310.00
	AAA PEST PROS	00001	962100	349141	10/8/2019	55.00
	AAA PEST PROS	00001	962100	349141	10/8/2019	60.00
	AAA PEST PROS	00001	962100	349141	10/8/2019	325.00
	AAA PEST PROS	00001	962100	349141	10/8/2019	210.00
	AAA PEST PROS	00001	962100	349141	10/8/2019	40.00
	ADAMSON POLICE PRODUCTS	00001	962148	349145	10/8/2019	1,116.00
	ADAMSON POLICE PRODUCTS	00001	962149	349145	10/8/2019	697.60
	ADAMSON POLICE PRODUCTS	00001	962150	349145	10/8/2019	1,072.60
	ADAMSON POLICE PRODUCTS	00001	962151	349145	10/8/2019	16.00
	ADAMSON POLICE PRODUCTS	00001	962152	349145	10/8/2019	131.25
	ADAMSON POLICE PRODUCTS	00001	962153	349145	10/8/2019	54.00
	ALSCO AMERICAN INDUSTRIAL	00001	962120	349141	10/8/2019	50.94
	ALSCO AMERICAN INDUSTRIAL	00001	962121	349141	10/8/2019	134.48
	ALSCO AMERICAN INDUSTRIAL	00001	962213	349145	10/8/2019	144.14
	ALTA LANGUAGE SERVICES INC	00001	962201	349145	10/8/2019	583.00
	CA SHORT COMPANY	00001	962204	349145	10/8/2019	23,750.00
	CML SECURITY LLC	00001	962154	349145	10/8/2019	13,333.33
	COMMERCIAL CLEANING SYSTEMS	00001	962178	349145	10/8/2019	6,872.16
	COMMERCIAL CLEANING SYSTEMS	00001	962178	349145	10/8/2019	4,233.97
	COMMERCIAL CLEANING SYSTEMS	00001	962178	349145	10/8/2019	438.83
	COMMERCIAL CLEANING SYSTEMS	00001	962178	349145	10/8/2019	713.60
	COMMERCIAL CLEANING SYSTEMS	00001	962178	349145	10/8/2019	720.72
	COMMERCIAL CLEANING SYSTEMS	00001	962178	349145	10/8/2019	440.7
	COMMERCIAL CLEANING SYSTEMS	00001	962178	349145	10/8/2019	3,038.42
	COMMERCIAL CLEANING SYSTEMS	00001	962178	349145	10/8/2019	18,956.05

Vendor Payment Report

1	General Fund	<u> </u>	Voucher	Batch No	GL Date	Amount	
	COMMERCIAL CLEANING SYSTEMS	00001	962178	349145	10/8/2019	1,383.43	
	COMMERCIAL CLEANING SYSTEMS	00001	962178	349145	10/8/2019	604.03	
	COMMERCIAL CLEANING SYSTEMS	00001	962178	349145	10/8/2019	833.78	
	COMMERCIAL CLEANING SYSTEMS	00001	962178	349145	10/8/2019	24,062.12	
	COMMERCIAL CLEANING SYSTEMS	00001	962178	349145	10/8/2019	1,705.17	
	COMMERCIAL CLEANING SYSTEMS	00001	962178	349145	10/8/2019	825.55	
	COMMERCIAL CLEANING SYSTEMS	00001	962178	349145	10/8/2019	4,424.89	
	COMMERCIAL CLEANING SYSTEMS	00001	962178	349145	10/8/2019	437.55	
	COMMERCIAL CLEANING SYSTEMS	00001	962178	349145	10/8/2019	1,621.25	
	COMMERCIAL CLEANING SYSTEMS	00001	962178	349145	10/8/2019	3,851.11	
	COMMERCIAL CLEANING SYSTEMS	00001	962178	349145	10/8/2019	646.68	
	COMMERCIAL CLEANING SYSTEMS	00001	962122	349141	10/8/2019	1,430.00	
	COMMUNITY REACH CENTER	00001	962123	349141	10/8/2019	14,685.89	
	COPYCO QUALITY PRINTING INC	00001	962155	349145	10/8/2019	20,000.00	
	DHM DESIGNS	00001	962182	349145	10/8/2019	18,662.30	
	FOUND MY KEYS	00001	962395	349426	10/10/2019	966.00	
	FOUND MY KEYS	00001	962118	349141	10/8/2019	440.00	
	GALLS LLC	00001	962157	349145	10/8/2019	77.50	
	GALLS LLC	00001	962158	349145	10/8/2019	299.25	
	GALLS LLC	00001	962160	349145	10/8/2019	89.00	
	GALLS LLC	00001	962161	349145	10/8/2019	113.82	
	GALLS LLC	00001	962162	349145	10/8/2019	158.85	
	GALLS LLC	00001	962163	349145	10/8/2019	226.39	
	GALLS LLC	00001	962164	349145	10/8/2019	163.00	
	GALLS LLC	00001	962191	349145	10/8/2019	96.45	
	GALLS LLC	00001	962192	349145	10/8/2019	95.99	
	GALLS LLC	00001	962193	349145	10/8/2019	279.00	
	GALLS LLC	00001	962194	349145	10/8/2019	34.97	
	GAM ENTERPRISES INC	00001	962175	349145	10/8/2019	162.00	
	GAM ENTERPRISES INC	00001	962175	349145	10/8/2019	2,845.25	
	GAM ENTERPRISES INC	00001	962176	349145	10/8/2019	120.00	
	GAM ENTERPRISES INC	00001	962177	349145	10/8/2019	162.00	
	GROUNDS SERVICE COMPANY	00001	962109	349141	10/8/2019	75.00	
	GROUNDS SERVICE COMPANY	00001	962110	349141	10/8/2019	97.00	
	HILL'S PET NUTRITION SALES INC	00001	962195	349145	10/8/2019	39.70	
	HILL'S PET NUTRITION SALES INC	00001	962195	349145	10/8/2019	870.80	

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1	General Fund	Fund	Voucher	Batch No	GL Date	Amount
	IMPROVEMENT ASSURANCE GROUP	00001	962102	349141	10/8/2019	3,500.0
	IMPROVEMENT ASSURANCE GROUP	00001	962102	349141	10/8/2019	3,000.0
	KD SERVICE GROUP	00001	962124	349141	10/8/2019	1,375.8
	KD SERVICE GROUP	00001	962165	349145	10/8/2019	1,026.2
	KD SERVICE GROUP	00001	962166	349145	10/8/2019	1,657.4
	KD SERVICE GROUP	00001	962167	349145	10/8/2019	1,890.
	KORBY LANDSCAPE LLC	00001	962180	349145	10/8/2019	1,369.
	KORBY LANDSCAPE LLC	00001	962180	349145	10/8/2019	913.:
	KORBY LANDSCAPE LLC	00001	962180	349145	10/8/2019	1,124.0
	KORBY LANDSCAPE LLC	00001	962180	349145	10/8/2019	1,171.:
	KORBY LANDSCAPE LLC	00001	962180	349145	10/8/2019	517.
	KORBY LANDSCAPE LLC	00001	962180	349145	10/8/2019	509.3
	KORBY LANDSCAPE LLC	00001	962180	349145	10/8/2019	836.0
	KORBY LANDSCAPE LLC	00001	962180	349145	10/8/2019	1,589.4
	LEXIS NEXIS MATTHEW BENDER	00001	962125	349141	10/8/2019	2,126.
	LEXIS NEXIS MATTHEW BENDER	00001	962127	349141	10/8/2019	2,126.
	MOUNTAIN STATES IMAGING LLC	00001	962197	349145	10/8/2019	641.
	MOUNTAIN STATES IMAGING LLC	00001	962198	349145	10/8/2019	2,813.
	MURPHY RICK	00001	962168	349145	10/8/2019	4,514.
	OPEN JUSTICE BROKER CONSORTIUM	00001	962111	349141	10/8/2019	4,400.
	OPEN JUSTICE BROKER CONSORTIUM	00001	962112	349141	10/8/2019	2,240.
	PROFESSIONAL PIPE SERVICES	00001	962103	349141	10/8/2019	94,306.
	QUICKSILVER EXPRESS COURIER	00001	962203	349145	10/8/2019	24.
	QUICKSILVER EXPRESS COURIER	00001	962203	349145	10/8/2019	75.
	RED FLAG REPORTING	00001	962104	349141	10/8/2019	3,250.
	SCHULTZ PUBLIC AFFAIRS LLC	00001	962147	349141	10/8/2019	4,333.
	STANLEY CONVERGENT SECURITY S	00001	962174	349145	10/8/2019	2,585.
	STATE OF COLORADO	00001	962206	349145	10/8/2019	97.
	STATE OF COLORADO	00001	962206	349145	10/8/2019	14.
	STATE OF COLORADO	00001	962207	349145	10/8/2019	909.
	STATE OF COLORADO	00001	962207	349145	10/8/2019	4,968.
	STATE OF COLORADO	00001	962208	349145	10/8/2019	150.
	STATE OF COLORADO	00001	962208	349145	10/8/2019	22.
	STATE OF COLORADO	00001	962209	349145	10/8/2019	7.
	STATE OF COLORADO	00001	962209	349145	10/8/2019	1.
	STATE OF COLORADO	00001	962210	349145	10/8/2019	2,032.

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1	General Fund	Fund	Voucher	Batch No	GL Date	Amount
	STATE OF COLORADO	00001	962210	349145	10/8/2019	239.0
	STATE OF COLORADO	00001	962211	349145	10/8/2019	862.1
	STATE OF COLORADO	00001	962211	349145	10/8/2019	10,917.5
	STATE OF COLORADO	00001	962212	349145	10/8/2019	597.8
	STATE OF COLORADO	00001	962212	349145	10/8/2019	54.6
	SUMMIT FOOD SERVICE LLC	00001	962169	349145	10/8/2019	4,845.2
	SUMMIT FOOD SERVICE LLC	00001	962170	349145	10/8/2019	28,538.9
	SUMMIT FOOD SERVICE LLC	00001	962128	349141	10/8/2019	29,108.3
	SUMMIT FOOD SERVICE LLC	00001	962129	349141	10/8/2019	5,011.3
	T&G PECOS LLC	00001	962130	349141	10/8/2019	1,800.0
	THERMAL & MOISTURE PROTECTION	00001	962181	349145	10/8/2019	3,125.0
	TOUCH SONIC TECHNOLOGIES INC	00001	962131	349141	10/8/2019	16,320.0
	TRI COUNTY HEALTH DEPT	00001	962205	349145	10/8/2019	302,923.6
	TYGRETT DEBRA R	00001	962133	349141	10/8/2019	200.0
	TYGRETT DEBRA R	00001	962134	349141	10/8/2019	398.0
	TYGRETT DEBRA R	00001	962135	349141	10/8/2019	335.0
	US CORRECTIONS LLC	00001	962136	349141	10/8/2019	492.0
	US CORRECTIONS LLC	00001	962171	349145	10/8/2019	692.0
	US CORRECTIONS LLC	00001	962172	349145	10/8/2019	691.0
	US CORRECTIONS LLC	00001	962173	349145	10/8/2019	738.0
	US CORRECTIONS LLC	00001	962141	349141	10/8/2019	2,075.0
	US CORRECTIONS LLC	00001	962142	349141	10/8/2019	1,431.0
	VAN DIEST SUPPLY CO	00001	962115	349141	10/8/2019	3,187.2
	VAN DIEST SUPPLY CO	00001	962116	349141	10/8/2019	2,770.0
	VAN DIEST SUPPLY CO	00001	962117	349141	10/8/2019	1,646.7
	WELLPATH LLC	00001	962297	349296	10/9/2019	397,854.4
	WOLD ARCHITECTS AND ENGINEERS	00001	962183	349145	10/8/2019	10,200.8
	WOLD ARCHITECTS AND ENGINEERS	00001	962184	349145	10/8/2019	3,592.5
					Account Total	1,163,850.6
	Retainages Payable					
	PROFESSIONAL PIPE SERVICES	00001	962103	349141	10/8/2019	4,715.3
					- Account Total	4,715.3
				D	- epartment Total	1,159,135.3

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	Vendor Payment Report								
5	Golf Course Enterprise Fund	Fund	Voucher	Batch No	GL Date	Amount			
	Received not Vouchered Clrg								
	AAA PEST PROS	00005	962098	349141	10/8/2019	45.00			
					Account Total	45.00			
	Vendor Fee Sales Tax - State								
	PROFESSIONAL RECREATION MGMT I	00005	962264	349276	10/9/2019	1,867.24			
					Account Total	1,867.24			
				E	Department Total	1,912.24			

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026	Golf Course- Maintenance	Fund	Voucher	Batch No	GL Date	Amount
	Contract Employment					
	LABOR SOLUTIONS INC	00005	962234	349176	10/8/2019	1,500.00
	PROFESSIONAL RECREATION MGMT I	00005	962262	349276	10/9/2019	17,874.32
	PROFESSIONAL RECREATION MGMT I	00005	962262	349276	10/9/2019	2,061.29
	PROFESSIONAL RECREATION MGMT I	00005	962262	349276	10/9/2019	7,261.84
	PROFESSIONAL RECREATION MGMT I	00005	962262	349276	10/9/2019	889.14
					Account Total	29,586.59
	Equipment Rental					
	BUCKEYE WELDING SUPPLY CO INC	00005	962227	349176	10/8/2019	26.00
					Account Total	26.00
	Gas & Electricity					
	UNITED POWER (UNION REA)	00005	962242	349176	10/8/2019	310.69
	UNITED POWER (UNION REA)	00005	962243	349176	10/8/2019	3,859.29
	UNITED POWER (UNION REA)	00005	962244	349176	10/8/2019	4,152.75
	UNITED POWER (UNION REA)	00005	962245	349176	10/8/2019	30.63
	UNITED POWER (UNION REA)	00005	962246	349176	10/8/2019	987.54
	XCEL ENERGY	00005	962241	349176	10/8/2019	39.63
					Account Total	9,380.53
	Grounds Maintenance					
	AGFINITY INC	00005	962223	349176	10/8/2019	360.00
	C P S DISTRIBUTORS INC	00005	962229	349176	10/8/2019	38.19
	CEM LAKE MGMT	00005	962228	349176	10/8/2019	475.00
	GOLF & SPORT SOLUTIONS	00005	962231	349176	10/8/2019	1,260.35
	L L JOHNSON DIST	00005	962238	349176	10/8/2019	221.54
					Account Total	2,355.08
	Repair & Maint Supplies					
	ALSCO AMERICAN INDUSTRIAL	00005	962224	349176	10/8/2019	49.67
	ALSCO AMERICAN INDUSTRIAL	00005	962225	349176	10/8/2019	47.76
	PROFESSIONAL RECREATION MGMT I	00005	962262	349276	10/9/2019	321.93
					Account Total	419.36
	Vehicle Parts & Supplies					
	E & G TERMINAL INC	00005	962230	349176	10/8/2019	460.47
	HOSEPOWER USA AND/OR COMPLETE	00005	962226	349176	10/8/2019	151.81
	INTERSTATE BATTERY OF ROCKIES	00005	962232	349176	10/8/2019	128.68

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5026	Golf Course- Maintenance	Fund	Voucher	Batch No	GL Date	Amount
	INTERSTATE BATTERY OF ROCKIES	00005	962233	349176	10/8/2019	205.90
	L L JOHNSON DIST	00005	962235	349176	10/8/2019	2,748.55
	L L JOHNSON DIST	00005	962236	349176	10/8/2019	183.87
	L L JOHNSON DIST	00005	962237	349176	10/8/2019	53.90
	R & R PRODUCTS COMPANY	00005	962240	349176	10/8/2019	84.37
					Account Total	4,017.55
				De	partment Total	45,785.11

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5021	Golf Course- Pro Shop	Fund	Voucher	Batch No	GL Date	Amount		
	Contract Employment							
	PROFESSIONAL RECREATION MGMT I	00005	962262	349276	10/9/2019	18,725.40		
	PROFESSIONAL RECREATION MGMT I	00005	962262	349276	10/9/2019	2,208.43		
					Account Total	20,933.83		
	Gas & Electricity							
	UNITED POWER (UNION REA)	00005	962247	349176	10/8/2019	36.83		
	UNITED POWER (UNION REA)	00005	962248	349176	10/8/2019	3,369.14		
					Account Total	3,405.97		
	Golf Carts							
	MASEK GOLF CAR COMPANY	00005	962239	349176	10/8/2019	289.70		
					Account Total	289.70		
	Golf Merchandise							
	PROFESSIONAL RECREATION MGMT I	00005	962264	349276	10/9/2019	35.00		
	PROFESSIONAL RECREATION MGMT I	00005	962264	349276	10/9/2019	3,784.78		
	PROFESSIONAL RECREATION MGMT I	00005	962264	349276	10/9/2019	2,444.39		
	PROFESSIONAL RECREATION MGMT I	00005	962264	349276	10/9/2019	611.04		
	PROFESSIONAL RECREATION MGMT I	00005	962264	349276	10/9/2019	8,321.40		
	PROFESSIONAL RECREATION MGMT I	00005	962264	349276	10/9/2019	129.65		
	PROFESSIONAL RECREATION MGMT I	00005	962264	349276	10/9/2019	6,592.25		
	PROFESSIONAL RECREATION MGMT I	00005	962264	349276	10/9/2019	332.32		
	PROFESSIONAL RECREATION MGMT I	00005	962264	349276	10/9/2019	244.18		
	PROFESSIONAL RECREATION MGMT I	00005	962264	349276	10/9/2019	192.00		
					Account Total	22,687.01		
	Insurance Premiums							
	PROFESSIONAL RECREATION MGMT I	00005	962264	349276	10/9/2019	462.08		
	PROFESSIONAL RECREATION MGMT I	00005	962264	349276	10/9/2019	4,712.73		
					Account Total	5,174.81		
	Janitorial Services							
	PROFESSIONAL RECREATION MGMT I	00005	962264	349276	10/9/2019	647.53		
					Account Total	647.53		
	Other Professional Serv							
	PROFESSIONAL RECREATION MGMT I	00005	962262	349276	10/9/2019	326.27		
	PROFESSIONAL RECREATION MGMT I	00005	962262	349276	10/9/2019	351.52		
					Account Total	677.79		

R5504001	County of Adams						
Vendor Payment Report							
5021	Golf Course- Pro Shop	Fund	Voucher	Batch No	GL Date	Amount	
	Security Service						
	PROFESSIONAL RECREATION MGMT I	00005	962264	349276	10/9/2019	647.50	
					Account Total	647.50	
	Telephone						
	PROFESSIONAL RECREATION MGMT I	00005	962264	349276	10/9/2019	532.94	
					Account Total	532.94	
				D	epartment Total	54,997.08	

R5504001	County of Adams						
Vendor Payment Report							
98600	Governor's Summer Job Hunt	Fund	Voucher	Batch No	GL Date	Amount	
	Registration Fees						
	RMWDA INC	00035	961484	348629	10/2/2019	922.50	
					Account Total	922.50	
				De	partment Total	922.50	

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935119	HHS Grant	Fund	Voucher	Batch No	GL Date	Amount
	Building Rental					
	COMMUNITY REACH CENTER FOUNDAT	00031	960712	347978	9/24/2019	6,515.84
	WESTMINSTER PRESBYTERIAN CHURC	00031	960714	347978	9/24/2019	2,222.78
	WESTMINSTER PUBLIC SCHOOLS	00031	960713	347978	9/24/2019	2,812.00
					Account Total	11,550.62
	Education & Training					
	3WESOLUTIONS LLC	00031	961419	348467	10/1/2019	1,500.00
					Account Total	1,500.00
	Food Supplies					
	SYSCO DENVER	00031	961446	348467	10/1/2019	155.39
	SYSCO DENVER	00031	961452	348467	10/1/2019	4,078.50
	SYSCO DENVER	00031	961455	348467	10/1/2019	4,347.86
	SYSCO DENVER	00031	961454	348467	10/1/2019	4,514.56
	SYSCO DENVER	00031	960735	347978	9/24/2019	3,432.52
					Account Total	16,528.83
	HS Parent Activity Expenses					
	LOYA GARCIA TANIA MARILYN	00031	961440	348467	10/1/2019	26.21
					Account Total	26.21
	Interpreting Services					
	LANGUAGE LINE SERVICES	00031	960711	347978	9/24/2019	15.58
					Account Total	15.58
	Operating Supplies					
	SYSCO DENVER	00031	960735	347978	9/24/2019	320.87
	SYSCO DENVER	00031	961452	348467	10/1/2019	998.90
	SYSCO DENVER	00031	961454	348467	10/1/2019	942.57
	SYSCO DENVER	00031	961455	348467	10/1/2019	904.11
					Account Total	3,166.45
	Telephone					
	CENTURY LINK	00031	961420	348467	10/1/2019	106.26
	CENTURY LINK	00031	961421	348467	10/1/2019	11.06
	CENTURY LINK	00031	961417	348467	10/1/2019	372.67
	CENTURY LINK	00031	961418	348467	10/1/2019	130.79
	CENTURY LINK	00031	961471	348467	10/1/2019	407.81
					Account Total	1,028.59

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		Vendor 1	Payment Repor	t			Page -	48
935119	HHS Grant		Fund	Voucher	Batch No	GL Date	Amount	
					Dep	partment Total	33,8	316.28

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19	Insurance Fund	Fund	Voucher	Batch No	GL Date	Amount
	Received not Vouchered Clrg					
	CAREHERE LLC	00019	962096	349141	10/8/2019	9,361.00
	CAREHERE LLC	00019	962096	349141	10/8/2019	9,279.00
	CAREHERE LLC	00019	962097	349141	10/8/2019	9,361.00
	CAREHERE LLC	00019	962097	349141	10/8/2019	9,279.00
	CHARLES RIVER ASSOCIATES	00019	962187	349145	10/8/2019	939.00
	CHARLES RIVER ASSOCIATES	00019	962188	349145	10/8/2019	25,557.50
	FIT SOLDIERS FITNESS BOOT CAMP	00019	962394	349426	10/10/2019	3,060.00
	THRIVE AT HOME NUTRITION LLC	00019	962299	349296	10/9/2019	369.43
					Account Total	67,205.93
				De	partment Total	67,205.93

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Vendor Payment Report							
8617	Insurance- Workers Comp	Fund	Voucher	Batch No	GL Date	Amount	
	Workers Compensation TRISTAR RISK MANAGEMENT	00019	961750	349081 De	10/7/2019 Account Total epartment Total	25,25 25,25 25,25	0.12

R5504001	County of Adams						
Vendor Payment Report							
1056	IT Help Desk & Servers	Fund	Voucher	Batch No	GL Date	Amount	
	Consultant Services ABC ITECH	00001	961415	348464 De	10/1/2019 Account Total partment Total	680.00 680.00 680.00	

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	Ven	dor Payment Repo	t			Page - 52
1058	IT Network/Telecom	Fund	Voucher	Batch No	GL Date	Amount
	Maintenance Contracts					
	ZAYO GROUP HOLDINGS INC	00001	962218	349169	10/8/2019	2,567.50
					Account Total	2,567.50
	Other Professional Serv					
	COMMUNICATION CONSTRUCTION & E	00001	960693	347904	9/23/2019	3,200.00
	UTILITY NOTIFICATION CENTER OF	00001	960692	347904	9/23/2019	224.36
					Account Total	3,424.36
	Telephone					
	TDS TELECOM	00001	960699	347915	9/23/2019	873.18
	WINDSTREAM COMMUNICATIONS	00001	960701	347915	9/23/2019	2,783.46
					Account Total	3,656.64
				D	Department Total	9,648.50

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		Vendor Payment Repor	·t			Page - 5	53
1081	Long Range Strategic Planning	Fund	Voucher	Batch No	GL Date	Amount	
	Other Professional Serv CITY OF BRIGHTON	00001	962249	349181	10/8/2019	10,550.39	
				D	Account Total epartment Total	10,550.39 10,550.39	

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		Vendor Payment Repor	t			Page - 54
6107	Open Space Projects	Fund	Voucher	Batch No	GL Date	Amount
	Other Professional Serv E R O RESOURCES CORP	00027	961617	348788 De	10/3/2019 Account Total epartment Total	3,400.00 3,400.00 3,400.00

R5504001		County of Adams				10/11/2019 15:25:08
		Page - 55				
27	Open Space Projects Fund	Fund	Voucher	Batch No	GL Date	Amount
	Received not Vouchered Clrg					
	LOGAN SIMPSON DESIGN INC	00027	962199	349145	10/8/2019	2,017.28
	MILE HIGH YOUTH CORPS	00027	962202	349145	10/8/2019	16,600.00
					Account Total	18,617.28
				De	partment Total	18,617.28

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		Vendor Payment Repor	·t			Page -	56
1015	People Services	Fund	Voucher	Batch No	GL Date	Amount	
	Tuition Reimbursement COOK JOSHUA	00001	962342	349392	10/10/2019	2,114.0	00
	COOK JOSHCA	00001	702342		Account Total	2,114.0	00
				D	epartment Total	2,114.0	<u> </u>

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		Vendor Payment Repor	·t			Page - 5	7
5011	PKS- Administration	Fund	Voucher	Batch No	GL Date	Amount	
	Special Events COVER ALL SERVICES INC	00001	961616	348788 De	10/3/2019 Account Total partment Total	200.00 200.00 200.00	

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5010	PKS- Fair	Fund	Voucher	Batch No	GL Date	Amount
	Fair Expenses-General					
	AMOS, ERIN	00001	961764	349091	10/7/2019	10.00
	BALLOG, RYLIE	00001	961765	349091	10/7/2019	18.00
	BARBA, MORGAN	00001	961766	349091	10/7/2019	270.00
	BARNETT, CHASE	00001	961767	349091	10/7/2019	43.00
	BARNUM, SHAELON	00001	961768	349091	10/7/2019	60.00
	BARNUM, SHILYN	00001	961769	349091	10/7/2019	71.00
	BASS, STEVEN	00001	961770	349091	10/7/2019	106.00
	BATOROWICZ, MARCEL	00001	961771	349091	10/7/2019	7.00
	BAXTER, RORY	00001	961772	349091	10/7/2019	95.00
	BEARD, ALEXA	00001	961773	349091	10/7/2019	10.00
	BEARD, MAKENA	00001	961774	349091	10/7/2019	8.00
	BECKEL, CRYSTAL	00001	961775	349091	10/7/2019	14.00
	BECKEL, CRYSTAL	00001	961776	349091	10/7/2019	40.00
	BECKEL, LAURA	00001	961777	349091	10/7/2019	12.00
	BECKER, VIOLET	00001	961778	349091	10/7/2019	8.00
	BEGLER, DANIEL	00001	961779	349091	10/7/2019	9.00
	BERNHARDT, ABBY	00001	961780	349091	10/7/2019	43.00
	BERNHARDT, ALEXANDRIA	00001	961781	349091	10/7/2019	6.00
	BINER, EMILY	00001	961782	349091	10/7/2019	17.00
	BINER, KATIE	00001	961783	349091	10/7/2019	19.00
	BINER, MADELINE	00001	961784	349091	10/7/2019	110.00
	BLAIR, EMILY	00001	961785	349091	10/7/2019	87.00
	BLAIR, RYLEE	00001	961786	349091	10/7/2019	6.00
	BLAKE, BREANNA	00001	961787	349091	10/7/2019	4.00
	BLAKE, KAYLIE	00001	961788	349091	10/7/2019	2.00
	BLAKE, TOBY	00001	961789	349091	10/7/2019	6.00
	BLAKEY, LANCE	00001	961790	349091	10/7/2019	12.00
	BLAKEY, TRAVIS	00001	961791	349091	10/7/2019	5.00
	BLAU, AVA	00001	961792	349091	10/7/2019	82.00
	BLOCKER, SHILO	00001	961793	349091	10/7/2019	14.00
	BOGAN, KENTON	00001	961794	349091	10/7/2019	7.00
	BOGAN, LANDON	00001	961795	349091	10/7/2019	7.00
	BOGAN, MASON	00001	961796	349091	10/7/2019	7.00
	BONSELL, CEONA	00001	961797	349091	10/7/2019	52.00
	BONSELL, DESHAWN	00001	961798	349091	10/7/2019	26.00

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5010	PKS- Fair	Fund	Voucher	Batch No	GL Date	Amount
	BOYET, EMILY	00001	961799	349091	10/7/2019	30.0
	BRADFORD, SHAYLEE	00001	961800	349091	10/7/2019	7.0
	BRADLEY, KALI	00001	961801	349091	10/7/2019	18.0
	BRASHEAR, AUBREY	00001	961802	349091	10/7/2019	15.0
	BRASHEAR, BRAIDYNNE	00001	961803	349091	10/7/2019	7.0
	BRASSINGTON, DEEGAN	00001	961804	349091	10/7/2019	45.0
	BROWN, BRYAN	00001	961805	349091	10/7/2019	19.0
	BROWN, RYAN	00001	961806	349091	10/7/2019	13.0
	BRYANT, KAITLIN	00001	961807	349091	10/7/2019	84.0
	BURKERT, TERESA	00001	961808	349091	10/7/2019	30.0
	BURNEY, CONNER	00001	961809	349091	10/7/2019	52.0
	BURNEY, VIVIAN	00001	961810	349091	10/7/2019	40.0
	CADE, GAGE	00001	961811	349091	10/7/2019	9.0
	CAGLE, RYLIE	00001	961812	349091	10/7/2019	16.
	CANNON, MADISON	00001	961813	349091	10/7/2019	7.
	CARLETON, JOVONNI	00001	961814	349091	10/7/2019	18.
	CARVIS, ELEANOR	00001	961815	349091	10/7/2019	69.
	CASSEL, JAYSE	00001	961816	349091	10/7/2019	28.
	CASSIDA, EVAN	00001	961817	349091	10/7/2019	8.
	CASSIDAY, KATHARINE	00001	961818	349091	10/7/2019	33.
	CASTANEDA, KAITLIN	00001	961819	349091	10/7/2019	7.
	CERVANTES, TAYLOR	00001	961820	349091	10/7/2019	8.
	CHASE, ROBERTA	00001	961821	349091	10/7/2019	98.
	CHELEWSKI, DEE	00001	961822	349091	10/7/2019	12.
	CHRISTENSEN, DYLAN	00001	961823	349091	10/7/2019	6.
	CLEMENT, ASHLEY	00001	961824	349091	10/7/2019	96.
	COLBURN, ARACEL	00001	961825	349091	10/7/2019	6.
	COMEAU, SUSAN	00001	961826	349091	10/7/2019	16.
	CONCA, SOPHIA	00001	961827	349091	10/7/2019	14.
	CONNOLLY, MOLLY	00001	961828	349091	10/7/2019	16.
	CONNOR, SHARON	00001	961829	349091	10/7/2019	22.
	COOPER, BEN	00001	961830	349091	10/7/2019	8.
	CORCILIUS, ANDREW	00001	961831	349091	10/7/2019	7.
	CORCILIUS, LOGAN	00001	961832	349091	10/7/2019	7.
	CORDOVA, ELIZANDRA	00001	961833	349091	10/7/2019	7.
	CORDOVA, JESSELINA	00001	961834	349091	10/7/2019	14.

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5010	PKS- Fair	Fund	Voucher	Batch No	GL Date	Amount
	CROWTHER, AVA	00001	961835	349091	10/7/2019	53.0
	CRUICKSHANK, DAWSON	00001	961836	349091	10/7/2019	14.0
	CRUICKSHANK, EMMA	00001	961837	349091	10/7/2019	33.0
	CRUICKSHANK, KELSEA	00001	961838	349091	10/7/2019	53.0
	CULP, ELIJAH	00001	961839	349091	10/7/2019	57.0
	CULP, HANNAH	00001	961840	349091	10/7/2019	26.0
	DAER, GARY	00001	961841	349091	10/7/2019	190.0
	DATTE, ANDREA	00001	961842	349091	10/7/2019	38.0
	DAUGHERTY, BENJAMIN	00001	961843	349091	10/7/2019	97.0
	DAVIS, JAYDEN	00001	961844	349091	10/7/2019	9.0
	DAVIS, LARAMIE	00001	961845	349091	10/7/2019	7.0
	DE KRUIF, JEREMIAH	00001	961846	349091	10/7/2019	103.0
	DE KRUIF, SAVANNAH	00001	961847	349091	10/7/2019	126.0
	Debbie DeVries	00001	961848	349091	10/7/2019	24.0
	DENIKE, ABIGAIL	00001	961849	349091	10/7/2019	15.0
	DENIKE, ALAINA	00001	961850	349091	10/7/2019	11.0
	DERBY, ERICA	00001	961851	349091	10/7/2019	8.0
	DETERS, EHLA	00001	961852	349091	10/7/2019	32.0
	DETWILER, LUCAS	00001	961853	349091	10/7/2019	22.0
	DEXTER, CAROLINE	00001	961854	349091	10/7/2019	52.0
	DEXTER, ELIZABETH	00001	961855	349091	10/7/2019	22.0
	DICKINSON, MAGGIE	00001	961856	349091	10/7/2019	4.0
	DOBRATZ, CHERI	00001	961857	349091	10/7/2019	20.0
	DUNCAN, PENNY	00001	961858	349091	10/7/2019	27.0
	DURAN, ANGELO	00001	961859	349091	10/7/2019	12.0
	DURLAND, BROOKE	00001	961860	349091	10/7/2019	33.0
	DURLAND, MEGAN	00001	961861	349091	10/7/2019	78.0
	DWYER, CAMRYN	00001	961862	349091	10/7/2019	42.0
	EDELEN, ANDREW	00001	961863	349091	10/7/2019	7.0
	EISENACH, GRACE	00001	961864	349091	10/7/2019	89.0
	EISENACH, WYATT	00001	961865	349091	10/7/2019	18.0
	ELLEDGE, AMANDA	00001	961866	349091	10/7/2019	28.0
	FAAUAA, ZURI	00001	961867	349091	10/7/2019	11.0
	FAILS, SKYLAR	00001	961868	349091	10/7/2019	12.
	FANCHER, ALLISON	00001	961869	349091	10/7/2019	10.0
	FANKHAUSER, EMMA	00001	961870	349091	10/7/2019	28.0

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5010	PKS- Fair	Fund	Voucher	Batch No	GL Date	Amount
	FANKHAUSER, TESS	00001	961871	349091	10/7/2019	35.0
	FARRELL, LESLIE	00001	961872	349091	10/7/2019	35.0
	FINGER, JACE	00001	961873	349091	10/7/2019	25.0
	FISK, OLIVIA	00001	961874	349091	10/7/2019	22.0
	FONTIUS, GEORGE	00001	961875	349091	10/7/2019	42.0
	FONTIUS, JOSELYN	00001	961876	349091	10/7/2019	14.0
	FREEMAN, KIRA	00001	961877	349091	10/7/2019	16.0
	FRENCH, HANNA	00001	961878	349091	10/7/2019	16.0
	FRENCH, RJ	00001	961879	349091	10/7/2019	12.0
	FRENCH, ZACH	00001	961880	349091	10/7/2019	5.0
	FRICK, DANIKA	00001	961881	349091	10/7/2019	13.0
	FRICK, ELLY	00001	961882	349091	10/7/2019	18.0
	FRICK, OLIVIA	00001	961883	349091	10/7/2019	6.0
	GASS, CYNDI	00001	961884	349091	10/7/2019	25.0
	GENTRY, WYATT	00001	961885	349091	10/7/2019	13.0
	GOMEZ, ALYSSA	00001	961886	349091	10/7/2019	55.0
	GOODMAN, CHARLOTTE	00001	961887	349091	10/7/2019	113.
	GOODMAN, LUCY	00001	961888	349091	10/7/2019	155.
	GOSS, CHEYANNE	00001	961889	349091	10/7/2019	86.0
	GRAY, MONIQUE	00001	961890	349091	10/7/2019	65.0
	GREENBERG-MOORE, HARMONY	00001	961891	349091	10/7/2019	60.0
	HAGEN, TERRY	00001	961892	349091	10/7/2019	120.0
	HAMBURG, AMILIANA	00001	961893	349091	10/7/2019	28.0
	HARRELL, AUDREY	00001	961894	349091	10/7/2019	51.
	HARRIS, LANEYA	00001	961895	349091	10/7/2019	14.
	HARRIS, QUINTON	00001	961896	349091	10/7/2019	5.
	HAUBRICH, TRISTIN	00001	961897	349091	10/7/2019	7.
	HAYS, BRECKEN	00001	961898	349091	10/7/2019	7.
	HAYS, BROCK	00001	961899	349091	10/7/2019	7.
	HEID, MAKAYLA	00001	961900	349091	10/7/2019	40.
	HENRICH, HUNTER	00001	961901	349091	10/7/2019	38.
	HERMOSILLO, HAILEY	00001	961902	349091	10/7/2019	24.
	HERMOSILLO, TREVOR	00001	961903	349091	10/7/2019	46.
	HERRERA, NATHANIEL	00001	961904	349091	10/7/2019	46.
	HIGHTOWER, ELIZABETH	00001	961905	349091	10/7/2019	181.
	HIGHTOWER, ZACHARY	00001	961906	349091	10/7/2019	117.

Vendor Payment Report

5010	PKS- Fair	Fund	Voucher	Batch No	GL Date	Amount
	HINES, WESELY	00001	961907	349091	10/7/2019	4.0
	HIRSCH, LILLY	00001	961908	349091	10/7/2019	21.0
	HITCHCOCK, LOUISE	00001	961909	349091	10/7/2019	30.0
	HIX, ELIZABETH	00001	961910	349091	10/7/2019	20.0
	HODGES, PATRICIA	00001	961911	349091	10/7/2019	18.0
	HODGES, SUE	00001	961912	349091	10/7/2019	18.0
	HOLDER, HADASSAH	00001	961913	349091	10/7/2019	22.0
	HOLIFIELD, JACKUA	00001	961914	349091	10/7/2019	22.0
	HOLYOAK, RACHELLE	00001	961915	349091	10/7/2019	36.0
	HOPKINS, TRACY	00001	961916	349091	10/7/2019	12.0
	HOSFORD, GAUGE	00001	961917	349091	10/7/2019	14.0
	HOUSTON, JANIS	00001	961918	349091	10/7/2019	30.0
	HOWLAND, DONOVAN	00001	961919	349091	10/7/2019	12.0
	HUMBERT, DANA	00001	961920	349091	10/7/2019	5.0
	HUNTRESS, WYATT	00001	961921	349091	10/7/2019	7.0
	HUPPERT, ALI	00001	961922	349091	10/7/2019	28.0
	HURLEY, ELLI-GRACE	00001	961923	349091	10/7/2019	10.0
	JENSEN, MACKENZIE	00001	961924	349091	10/7/2019	8.0
	JOHNSON, LUKE	00001	961925	349091	10/7/2019	7.0
	JOHNSON, RYAN	00001	961926	349091	10/7/2019	7.0
	JOHNSTON, JULIAN	00001	961927	349091	10/7/2019	8.0
	JONES, PATTY	00001	961928	349091	10/7/2019	30.0
	JONES, SKYLA	00001	961929	349091	10/7/2019	16.0
	Judee Glover	00001	961930	349091	10/7/2019	10.0
	Judy Locke	00001	961931	349091	10/7/2019	48.0
	KAPPAN, TESSA	00001	961932	349091	10/7/2019	24.0
	KELLEY, SAVANNAH	00001	961933	349091	10/7/2019	21.0
	KELLOGG, JORDYNN	00001	961934	349091	10/7/2019	63.0
	KIEFER, DRAKE	00001	961935	349091	10/7/2019	56.0
	KIEFER, EMMY	00001	961936	349091	10/7/2019	40.0
	KINDSFATER, ALICE	00001	961937	349091	10/7/2019	16.0
	KIRBY, LINDEN	00001	961938	349091	10/7/2019	65.0
	KIRK, BECKY	00001	961939	349091	10/7/2019	12.0
	KITSMILLER, JOSIAH	00001	961940	349091	10/7/2019	7.0
	KITSMILLER, MICAH	00001	961941	349091	10/7/2019	7.0
	KLAUSNER, JARED	00001	961942	349091	10/7/2019	36.0

Vendor Payment Report

5010	PKS- Fair	Fund	Voucher	Batch No	GL Date	Amount
	KOLENBRANDER, GARRETT	00001	961943	349091	10/7/2019	57.
	KONZ, KAY	00001	961944	349091	10/7/2019	77.
	KREUTZER, ELLARAE	00001	961945	349091	10/7/2019	81.
	LAMPO, RACHEAL	00001	961946	349091	10/7/2019	47.
	LANDERS, LORRAINE	00001	961947	349091	10/7/2019	28.
	LAPOURE, ELLEN	00001	961948	349091	10/7/2019	20.
	LARKIN, QUINN	00001	961949	349091	10/7/2019	5.
	LAWRENCE, AVERY	00001	961950	349091	10/7/2019	47.
	LEGNER, ADDISON	00001	961951	349091	10/7/2019	7.
	LEWIS, ZOE	00001	961952	349091	10/7/2019	34.
	LIEB, BRANDT	00001	961953	349091	10/7/2019	10.
	LINDGREN, LARRY	00001	961954	349091	10/7/2019	40
	LOUNSBERRY, MINDY	00001	961955	349091	10/7/2019	7.
	LUKENS, GAIL	00001	961956	349091	10/7/2019	25
	MACKLIN, BEN	00001	961957	349091	10/7/2019	10
	MARR, KRISTIN	00001	961958	349091	10/7/2019	196
	MARR, LAWRENCE	00001	961959	349091	10/7/2019	8
	MARR, STEVEN	00001	961960	349091	10/7/2019	2
	MARSH, PATTY	00001	961961	349091	10/7/2019	8
	MARTY, CLAYTON	00001	961962	349091	10/7/2019	6
	MARTY, KATHLEEN	00001	961963	349091	10/7/2019	10
	MARX, PAUL	00001	961964	349091	10/7/2019	10
	MASON, CARSON	00001	961965	349091	10/7/2019	15
	MATTHEWS, SUSIE	00001	961966	349091	10/7/2019	57
	MAXWELL KIRKMEYER, GABRIELLE	00001	961967	349091	10/7/2019	99
	MCCLAREN, JACOB	00001	961968	349091	10/7/2019	7
	MCCONNELL, BECKI	00001	961969	349091	10/7/2019	10
	MCCULLOUGH, GARRETT	00001	961970	349091	10/7/2019	7
	MCCULLOUGH, MAGGIE	00001	961971	349091	10/7/2019	34
	MCGILL, CADEN	00001	961972	349091	10/7/2019	8
	MCWILLIAMS, BRIAN	00001	961973	349091	10/7/2019	10
	MEYER, MELISSA	00001	961974	349091	10/7/2019	106
	MINICH, PATRICIA	00001	961975	349091	10/7/2019	34
	MOBERG, KALANI	00001	961976	349091	10/7/2019	7
	MOORE, JAYDEN	00001	961977	349091	10/7/2019	7
	MORTENSEN, DYLAN	00001	961978	349091	10/7/2019	10

Vendor Payment Report

5010	PKS- Fair	Fund	Voucher	Batch No	GL Date	Amount
	MUTCHIE, CHLOE	00001	961979	349091	10/7/2019	143.00
	NEEDHAM, EMILIE	00001	961980	349091	10/7/2019	50.00
	NEEDHAM, KELLI	00001	961981	349091	10/7/2019	42.00
	NEEDHAM, RILEY	00001	961982	349091	10/7/2019	7.00
	NEYMAN, PAMELA	00001	961983	349091	10/7/2019	144.00
	NORMAN, RYAN	00001	961984	349091	10/7/2019	7.00
	NUANES, CONNER	00001	961985	349091	10/7/2019	7.00
	NUANES, KATELYN	00001	961986	349091	10/7/2019	25.00
	ONKEN, AUSTIN	00001	961987	349091	10/7/2019	7.00
	ONKEN, COLTON	00001	961988	349091	10/7/2019	7.00
	OSWALD, ELSIE	00001	961989	349091	10/7/2019	43.00
	OSWALD, GRACIE	00001	961990	349091	10/7/2019	4.00
	PALMER, CHILI DOG	00001	961991	349091	10/7/2019	70.00
	PANKOSKI, HEIDI	00001	961992	349091	10/7/2019	39.00
	PANKOSKI, KYLE	00001	961993	349091	10/7/2019	53.00
	PARDIKES, JASON	00001	961994	349091	10/7/2019	12.00
	Pat Nading	00001	961995	349091	10/7/2019	25.00
	PECH, BARBARA	00001	961996	349091	10/7/2019	16.00
	PEVLER, PRESTON	00001	961997	349091	10/7/2019	22.00
	PIERCE, LISA	00001	961998	349091	10/7/2019	11.00
	PIKE, GORDON	00001	961999	349091	10/7/2019	16.00
	PINEDA, EMMY	00001	962000	349091	10/7/2019	20.00
	PINEDA, FATIMA	00001	962001	349091	10/7/2019	6.00
	PINEDA, MATTHEW	00001	962002	349091	10/7/2019	22.00
	PINEDA, ROSELYN	00001	962003	349091	10/7/2019	80.00
	PINKSTON, DAN	00001	962004	349091	10/7/2019	12.00
	PORTERFIELD, PAYTON	00001	962005	349091	10/7/2019	89.00
	PRICE, GABRIEL	00001	962006	349091	10/7/2019	46.00
	PRICE, HEIDI	00001	962007	349091	10/7/2019	32.00
	PULLEY, NYLA	00001	962008	349091	10/7/2019	30.00
	PULLEY, OPHELIA	00001	962009	349091	10/7/2019	64.00
	QUICK, ALIZABETH	00001	962010	349091	10/7/2019	42.00
	QUILLEN, REBECCA	00001	962011	349091	10/7/2019	43.00
	RANNEY, BOBBETTE	00001	962012	349091	10/7/2019	19.00
	RAYMOND, PATRICIA	00001	962013	349091	10/7/2019	12.00
	REAL, STEPHANIE	00001	962014	349091	10/7/2019	10.00

Vendor Payment Report

5010	PKS- Fair	Fund	Voucher	Batch No	GL Date	Amount
	REDMOND, KIERAN	00001	962015	349091	10/7/2019	10.0
	REED, WYATT	00001	962016	349091	10/7/2019	14.0
	REIABER, JASON	00001	962017	349091	10/7/2019	5.0
	REIBER, EMMA	00001	962018	349091	10/7/2019	131.0
	RICARDS, KYLIE	00001	962019	349091	10/7/2019	36.0
	RIGGIN, JILL	00001	962020	349091	10/7/2019	55.0
	RIPPE, KYLE	00001	962021	349091	10/7/2019	7.0
	RODABAUGH, AUDREE	00001	962022	349091	10/7/2019	36.0
	ROMO SONNEMAN, ADELAIDE	00001	962023	349091	10/7/2019	99.0
	ROMO SONNEMAN, CHARLIE	00001	962024	349091	10/7/2019	32.0
	ROMO SONNEMAN, SIDNEY	00001	962025	349091	10/7/2019	77.0
	ROMO SONNEMAN, VINCENT	00001	962026	349091	10/7/2019	63.0
	Rosanne Schwartz	00001	962027	349091	10/7/2019	40.0
	ROSELL, CALVIN	00001	962028	349091	10/7/2019	207.0
	ROWAN, BROOKE	00001	962029	349091	10/7/2019	104.0
	ROWAN, CLAIRE	00001	962030	349091	10/7/2019	135.0
	ROWE, ELAINE	00001	962031	349091	10/7/2019	22.0
	ROYBAL, RON	00001	962032	349091	10/7/2019	125.0
	RUCH, SHANE	00001	962033	349091	10/7/2019	7.0
	RUCH, TAYLOR	00001	962034	349091	10/7/2019	28.0
	RUEL, CONNIE	00001	962035	349091	10/7/2019	40.0
	RUIZ, FRANKIE	00001	962036	349091	10/7/2019	68.0
	RUIZ, JEWLIANNA	00001	962037	349091	10/7/2019	20.0
	SACK, JOSEPH	00001	962038	349091	10/7/2019	29.0
	SAGER, JORDAN	00001	962039	349091	10/7/2019	109.0
	SANDERS, DAWNA	00001	962040	349091	10/7/2019	36.0
	SCHARA, COLTON	00001	962041	349091	10/7/2019	7.0
	SCHARA, DANAY	00001	962042	349091	10/7/2019	7.0
	SCHREIBER, FAITH	00001	962043	349091	10/7/2019	14.0
	SEELY, LOGAN	00001	962044	349091	10/7/2019	135.0
	SEELY, TAYLOR	00001	962045	349091	10/7/2019	110.0
	SEELY, WADE	00001	962046	349091	10/7/2019	11.0
	SEXTON, SHANTEL	00001	962047	349091	10/7/2019	11.0
	SHELDAHL, ARIANA	00001	962048	349091	10/7/2019	23.0
	SHELDON, ALEAHDELL	00001	962049	349091	10/7/2019	14.0
	SHELDON, HOLLY	00001	962050	349091	10/7/2019	63.0

Vendor Payment Report

5010	PKS- Fair	Fund	Voucher	Batch No	GL Date	Amount
	SISNEROS, SIERRA	00001	962051	349091	10/7/2019	57.00
	SMITH, MELISSA	00001	962052	349091	10/7/2019	53.00
	SOLIS, DAMIEN	00001	962053	349091	10/7/2019	5.00
	SPHAR, COLLIN	00001	962054	349091	10/7/2019	31.00
	SPIRZ, KAIDEN	00001	962055	349091	10/7/2019	88.00
	SPIRZ, KLAIRE	00001	962056	349091	10/7/2019	74.00
	STEPHENS, ALEYA	00001	962057	349091	10/7/2019	67.00
	STOCKTON, MARYSSA	00001	962058	349091	10/7/2019	17.00
	STOLL, JADEN	00001	962059	349091	10/7/2019	7.00
	STOLL, KAILYNN	00001	962060	349091	10/7/2019	89.00
	SWANSON, DAVE	00001	962061	349091	10/7/2019	10.00
	SZULINSKI, KIRA	00001	962062	349091	10/7/2019	52.00
	TANJI, AUDREY	00001	962063	349091	10/7/2019	6.00
	THOMPSON, ALDEN	00001	962064	349091	10/7/2019	8.00
	THOMPSON, ALEX	00001	962065	349091	10/7/2019	8.00
	THOMPSON, JOANNA	00001	962066	349091	10/7/2019	12.00
	TINGLE, DAKOTA	00001	962067	349091	10/7/2019	9.00
	TORGERSON, BRAYDEN	00001	962068	349091	10/7/2019	141.00
	TORGERSON, HAILEY	00001	962069	349091	10/7/2019	127.00
	TOTTEN, ISADORA	00001	962070	349091	10/7/2019	4.00
	TRRZECIAK, JUDY	00001	962071	349091	10/7/2019	8.00
	UNDERWOOD, CODY	00001	962072	349091	10/7/2019	21.00
	UNDERWOOD, SHANNON	00001	962073	349091	10/7/2019	62.00
	VENEGAS, ADELYNA	00001	962074	349091	10/7/2019	11.00
	VIEROW, TRINITY	00001	962075	349091	10/7/2019	20.00
	VIEROW, VINCENT	00001	962076	349091	10/7/2019	7.00
	VIGIL, AMANDA	00001	962077	349091	10/7/2019	24.00
	WACKER, EMMA	00001	962078	349091	10/7/2019	10.00
	WACKER, PAYTEN	00001	962079	349091	10/7/2019	12.00
	WAHLIN, MICHAEL	00001	962080	349091	10/7/2019	12.00
	WARE, VICTORIA	00001	962081	349091	10/7/2019	47.00
	WEIDEMANN, ROSE	00001	962082	349091	10/7/2019	14.00
	WENZEL, KELSEY	00001	962083	349091	10/7/2019	72.00
	WEST, MILEY	00001	962084	349091	10/7/2019	72.00
	WILLIAMS, LARRY	00001	962085	349091	10/7/2019	16.00
	WILLIAMS, VALEN	00001	962086	349091	10/7/2019	51.00

Vendor Payment Report

5010	PKS- Fair	Fund	Voucher	Batch No	GL Date	Amount
	WILLIS, MARY	00001	962087	349091	10/7/2019	80.00
	WINDEN, TAYAH	00001	962088	349091	10/7/2019	124.00
	WOLFMEIER, RACHEL	00001	962089	349091	10/7/2019	30.00
	WOZNIAK, CAROLINE	00001	962090	349091	10/7/2019	79.00
	WRIGHT, NOAH	00001	962091	349091	10/7/2019	8.00
	ZACHARZUK, GRACIE	00001	962092	349091	10/7/2019	14.00
	ZAISS, RYLIE	00001	962093	349091	10/7/2019	44.00
	ZAISS, WADE	00001	962094	349091	10/7/2019	30.0
					Account Total	12,034.00
	Liquor Purchases					
	PERIODIC BREWING LLC	00001	961629	348788	10/3/2019	345.00
					- Account Total	345.00
	Mileage Reimbursements					
	12423	00001	962423	349434	10/10/2019	.8
	12423	00001	962423	349434	10/10/2019	.8
	12423	00001	962423	349434	10/10/2019	2.2
	12423	00001	962423	349434	10/10/2019	1.6
	12423	00001	962423	349434	10/10/2019	6.44
	12423	00001	962423	349434	10/10/2019	1.74
	12423	00001	962423	349434	10/10/2019	7.3
	12423	00001	962423	349434	10/10/2019	4.1
	12423	00001	962423	349434	10/10/2019	4.0
	12423	00001	962423	349434	10/10/2019	28.7
	12423	00001	962423	349434	10/10/2019	4.2
	12423	00001	962423	349434	10/10/2019	4.0
	12423	00001	962423	349434	10/10/2019	4.0
	12423	00001	962423	349434	10/10/2019	22.2
	12423	00001	962423	349434	10/10/2019	22.7
	12423	00001	962423	349434	10/10/2019	40.4
	12423	00001	962423	349434	10/10/2019	37.4
	12423	00001	962423	349434	10/10/2019	4.4
	12832	00001	962424	349434	10/10/2019	23.2
	12832	00001	962424	349434	10/10/2019	6.3
	12832	00001	962424	349434	10/10/2019	7.5
	12832	00001	962424	349434	10/10/2019	3.9

R5504001		10/11/2019 15:25:08					
	Vendor Payment Report						
5010	PKS- Fair	Fund	Voucher	Batch No	GL Date	Amount	
					Account Total	238.67	
	Regional Park Rentals						
	CURRY CHANCE	00001	961634	348788	10/3/2019	75.00	
	GARICA PAT	00001	961632	348788	10/3/2019	75.00	
	MENDOZA ANTHONY	00001	961633	348788	10/3/2019	75.00	
	NAXSA	00001	961631	348788	10/3/2019	400.00	
	STURGEON ELECTRIC CO	00001	961630	348788	10/3/2019	300.00	
	WILLIAMS WYATT	00001	961635	348788	10/3/2019	75.00	

Account Total

Department Total

R 5504001

County of Adams

10/11/2019 15:25:08

1,000.00

13,617.67

R5504001		County of Adams				10/11/2019 15:25:08			
	Vendor Payment Report								
5015	PKS- Grounds Maintenance	Fund	Voucher	Batch No	GL Date	Amount			
	Operating Supplies CINTAS FIRST AID & SAFETY	00001	961688	348906 De	10/4/2019 Account Total partment Total	119.05 119.05 119.05			

R5504001		County of Adams				10/11/2019 15:25:08
		Vendor Payment Repor	·t			Page - 70
5012	PKS- Regional Complex	Fund	Voucher	Batch No	GL Date	Amount
	Gas & Electricity UNITED POWER (UNION REA)	00001	961689	348906 De	10/4/2019 Account Total epartment Total	92.72 92.72 92.72

10/11/2019 15:25:08

Vendor Payment Report

1089	PLN- Boards & Commissions	Fund	Voucher	Batch No	GL Date	Amount
	Other Professional Serv					
	DUPRIEST JOHN FIELDEN	00001	961408	348406	9/30/2019	65.00
	FOREST SEAN	00001	961404	348406	9/30/2019	65.00
	GARNER, ROSIE	00001	961405	348406	9/30/2019	65.00
	HERRERA, AARON	00001	961402	348406	9/30/2019	65.00
	MARTINEZ JUSTIN PAUL	00001	961403	348406	9/30/2019	65.00
	RICHARDSON SHARON	00001	961407	348406	9/30/2019	65.00
	THOMPSON GREGORY PAUL	00001	961406	348406	9/30/2019	65.00
					Account Total	455.00
				De	partment Total	455.00

County of Adams

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Vendor Payment Report

3055	PW - Streets Program	Fund	Voucher	Batch No	GL Date	Amount
	Gas & Electricity					
	UNITED POWER (UNION REA)	00013	961641	348889	10/4/2019	23.16
	UNITED POWER (UNION REA)	00013	961642	348889	10/4/2019	48.65
	UNITED POWER (UNION REA)	00013	961643	348889	10/4/2019	33.00
	UNITED POWER (UNION REA)	00013	961644	348889	10/4/2019	20.28
	UNITED POWER (UNION REA)	00013	961645	348889	10/4/2019	16.50
	UNITED POWER (UNION REA)	00013	961646	348889	10/4/2019	145.54
	UNITED POWER (UNION REA)	00013	961647	348889	10/4/2019	34.00
	UNITED POWER (UNION REA)	00013	961648	348889	10/4/2019	142.51
	UNITED POWER (UNION REA)	00013	961649	348889	10/4/2019	88.49
	UNITED POWER (UNION REA)	00013	961650	348889	10/4/2019	36.00
	UNITED POWER (UNION REA)	00013	961651	348889	10/4/2019	138.95
	UNITED POWER (UNION REA)	00013	961652	348889	10/4/2019	43.49
	UNITED POWER (UNION REA)	00013	961653	348889	10/4/2019	172.45
	UNITED POWER (UNION REA)	00013	961654	348889	10/4/2019	16.50
	UNITED POWER (UNION REA)	00013	961655	348889	10/4/2019	16.50
	UNITED POWER (UNION REA)	00013	961656	348889	10/4/2019	33.00
	UNITED POWER (UNION REA)	00013	961657	348889	10/4/2019	48.65
	XCEL ENERGY	00013	961658	348889	10/4/2019	12.10
	XCEL ENERGY	00013	961659	348889	10/4/2019	118.55
	XCEL ENERGY	00013	961660	348889	10/4/2019	48.91
	XCEL ENERGY	00013	961661	348889	10/4/2019	92.33
	XCEL ENERGY	00013	961662	348889	10/4/2019	114.77
	XCEL ENERGY	00013	961663	348889	10/4/2019	280.02
	XCEL ENERGY	00013	961664	348889	10/4/2019	104.80
	XCEL ENERGY	00013	961665	348889	10/4/2019	22,217.63
	XCEL ENERGY	00013	961666	348889	10/4/2019	4,471.35
					Account Total	28,518.13
				De	partment Total	28,518.13

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Vendor Payment Report

13	Road & Bridge Fund	Fund	Voucher	Batch No	GL Date	Amount
	Received not Vouchered Clrg					
	A-1 CHIPSEAL CO	00013	962137	349141	10/8/2019	269,964.50
	A-1 CHIPSEAL CO	00013	962145	349141	10/8/2019	24,892.50
	A-1 CHIPSEAL CO	00013	962144	349141	10/8/2019	374,482.78
	ALFRED BENESCH & CO	00013	962146	349141	10/8/2019	2,505.00
	GROUND ENGINEERING CONSULTANTS	00013	962143	349141	10/8/2019	631.00
	HUITT-ZOLLARS INC	00013	962140	349141	10/8/2019	5,657.50
	MARTIN MARIETTA MATERIALS INC	00013	962435	349520	10/11/2019	161,356.68
	MARTIN MARIETTA MATERIALS INC	00013	962436	349520	10/11/2019	6,810.00
	MARTIN MARTIN CONSULTING ENGIN	00013	962139	349141	10/8/2019	44,785.28
					Account Total	891,085.24
	Retainages Payable					
	A-1 CHIPSEAL CO	00013	962144	349141	10/8/2019	18,724.14-
	A-1 CHIPSEAL CO	00013	962145	349141	10/8/2019	1,244.63-
	A-1 CHIPSEAL CO	00013	962137	349141	10/8/2019	13,498.23-
	MARTIN MARIETTA MATERIALS INC	00013	962436	349520	10/11/2019	340.50-
	MARTIN MARIETTA MATERIALS INC	00013	962435	349520	10/11/2019	8,067.83-
					Account Total	41,875.33-
				D	epartment Total	849,209.91

R5504001	County of Adams							
Vendor Payment Report								
94	Sheriff Payables	Fund	Voucher	Batch No	GL Date	Amount		
	Fingerprint Cards - CBI COLO BUREAU INVESTIGATION-IDEN	00094	961667	348894 De	10/4/2019 Account Total partment Total	10,495.00 10,495.00 10,495.00		

Vendor Payment Report

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2011	SHF- Admin Services Division	Fund	Voucher	Batch No	GL Date	Amount
	Operating Supplies					
	ARAMARK REFRESHMENT SERVICES	00001	961456	348486	10/1/2019	181.51
	DEEP ROCK WATER	00001	961461	348486	10/1/2019	53.14
	SHRED IT USA LLC	00001	961467	348486	10/1/2019	210.00
					Account Total	444.65
	Other Communications					
	CENTURY LINK	00001	961459	348486	10/1/2019	205.39
					Account Total	205.39
	Other Professional Serv					
	PSYCHOLOGICAL DIMENSIONS	00001	961465	348486	10/1/2019	8,925.00
					Account Total	8,925.00
	Public Relations					
	BRIGHTON CHAMBER OF COMMERCE	00001	961458	348486	10/1/2019	500.00
					Account Total	500.00
				D	Department Total	10,075.04

County of Adams

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Vendor Payment Report

2015	SHF- Civil Section	Fund	Voucher	Batch No	GL Date	Amount
	Sheriff's Fees					
	ADAMS COUNTY DISTRICT COURT	00001	961319	348271	9/27/2019	19.00
	BLEA JENNIFER CHRISTINE	00001	961330	348271	9/27/2019	19.00
	CHILD SUPPORT SERVICES OF WYOM	00001	961320	348271	9/27/2019	19.00
	COLEMAN DARRELL	00001	961329	348271	9/27/2019	19.00
	DUPONT LAW FIRM LLC	00001	961327	348271	9/27/2019	13.00
	EZ MESSENGER	00001	961317	348271	9/27/2019	19.00
	FRANCY LAW FIRM	00001	961316	348271	9/27/2019	19.00
	KLEMMETSEN TIMOTHY JOHN	00001	961326	348271	9/27/2019	38.00
	LEVIN JACOBSON JAPHA PC	00001	961619	348790	9/30/2019	34.00
	LIN GANG	00001	961331	348271	9/27/2019	19.00
	METRO COLLECTION SERVICE	00001	961328	348271	9/27/2019	19.00
	MILLER COHEN PETERSON YOUNG	00001	961311	348271	9/27/2019	16.00
	MUSTAFIC DIIJANA	00001	961325	348271	9/27/2019	19.00
	NELSON & KENNARD	00001	961312	348271	9/27/2019	19.00
	NELSON & KENNARD	00001	961313	348271	9/27/2019	19.00
	NELSON & KENNARD	00001	961314	348271	9/27/2019	19.00
	PENKAL JAN	00001	961618	348790	9/30/2019	66.00
	RHODES JENNIFER	00001	961322	348271	9/27/2019	19.00
	ROUBIDOUX CAROL	00001	961318	348271	9/27/2019	66.00
	SIMON HARRY L	00001	961315	348271	9/27/2019	57.00
	TSCHETTER HAMRICK SULZER	00001	961310	348271	9/27/2019	33.00
	VIGIL RAYMOND E	00001	961323	348271	9/27/2019	19.00
	WILLIAMS JENNIFER	00001	961336	348271	9/27/2019	19.00
	ZANG XIONG WEN	00001	961321	348271	9/27/2019	66.00
					Account Total	674.00
				De	partment Total	674.00

R5504001	01 County of Adams					
Vendor Payment Report						
2075	SHF- Commissary Fund	Fund	Voucher	Batch No	GL Date	Amount
	Other Professional Serv METRO TRANSPORTATION PLANNING	00001	961462	348486 De	10/1/2019 Account Total partment Total	2,761.10 2,761.10 2,761.10

R5504001	County of Adams						3
Vendor Payment Report							3
2016	SHF- Detective Division	Fund	Voucher	Batch No	GL Date	Amount	
	Other Communications						
	CENTURY LINK	00001	961460	348486	10/1/2019	90.95	
	VERIZON WIRELESS	00001	961470	348486	10/1/2019	1,810.93	
					Account Total	1,901.88	
				De	epartment Total	1,901.88	

R5504001	County of Adams						
Vendor Payment Report							
2071	SHF- Detention Facility	Fund	Voucher	Batch No	GL Date	Amount	
	Operating Supplies						
	SUMMIT FOOD SERVICE LLC	00001	961468	348486	10/1/2019	948.36	
	SUMMIT FOOD SERVICE LLC	00001	961469	348486	10/1/2019	1,028.02	
					Account Total	1,976.38	
				De	epartment Total	1,976.38	

R5504001	504001 County of Adams						
	Vendor Payment Report						
2017	SHF- Patrol Division	Fund	Voucher	Batch No	GL Date	Amount	
	Other Professional Serv						
	BELFOR ENVIRONMENTAL	00001	961457	348486	10/1/2019	1,057.66	
					Account Total	1,057.66	
	Other Repair & Maint						
	PUSH PEDAL PULL INC	00001	961466	348486	10/1/2019	1,343.48	
					Account Total	1,343.48	
				D	epartment Total	2,401.14	

R5504001	County of Adams						
	Vendor Payment Report						
SH	F- TAC Section	Fund	Voucher	Batch No	GL Date	Amount	
	Other Professional Serv						
	NORTHGLENN AMBULANCE	00001	961463	348486	10/1/2019	4	83.00
	NORTHGLENN AMBULANCE	00001	961464	348486	10/1/2019	4	34.70
					Account Total	9	17.70
				De	epartment Total	9	17.70

R5504001		County of Adams				10/11/2019 15:25:08
	Vendor Payment Report					
9295	Solid Waste Operations	Fund	Voucher	Batch No	GL Date	Amount
	Other Professional Serv STAUB DEBORAH W	00025	962261	349274 De	10/9/2019 Account Total partment Total	100.00 100.00 100.00

R5504001	001 County of Adams					
		Vendor Payment Repor	t			Page - 83
25	Waste Management Fund	Fund	Voucher	Batch No	GL Date	Amount
	Received not Vouchered Clrg TECHNO RESCUE LLC	00025	962108	349141 De	10/8/2019 Account Total partment Total	12,964.01 12,964.01 12,964.01

R5504001	County of Adams					
	Vendor Payment Report					
4316	Wastewater Treatment Plant	Fund	Voucher	Batch No	GL Date	Amount
	Laboratory Analysis COLO ANALYTICAL LABORATORY	00043	961756	349089 Dej	10/7/2019 Account Total partment Total	131.00 131.00 131.00

R5504001	County of Adams					
	Vendor Payment Report					
98700	WBT Apprenticeship USA	Fund	Voucher	Batch No	GL Date	Amount
	Apprenticeship LOCKHEED MARTIN SPACE SYSTEMS	00035	961487	348629 De	10/2/2019 Account Total partment Total	3,000.00 3,000.00 3,000.00

R5504001		County of Adams				10/11/2019 15:25:08
Vendor Payment Report						Page - 86
97500	WIOA YOUTH OLDER	Fund	Voucher	Batch No	GL Date	Amount
	Clnt Trng-Testing ADAMS COUNTY SCHOOL	00035	961485	348629 De	10/2/2019 Account Total partment Total	60.00 60.00 60.00

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Grand Total

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2,772,769.15

Net Warrant by Fund Summary

Fund	Fund	
Number	Description	Amount
1	General Fund	1,891,541.03
4	Capital Facilities Fund	785,018.31
5	Golf Course Enterprise Fund	9,000.00
6	Equipment Service Fund	209,766.03
13	Road & Bridge Fund	40,913.85
19	Insurance Fund	357,107.63
34	Comm Services Blk Grant Fund	24,082.12
35	Workforce & Business Center	3,533.69
43	Colorado Air & Space Port	20,589.01
50	FLATROCK Facility Fund	1,387.22
		3,342,938.89

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County of Adams

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Net Warrants by Fund Detail

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1	General Fun	d			
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00005570	373844	SOLARWINDS WORLDWIDE LLC	10/16/2019	7,858.50
	00005572	378404	CARUSO JAMES LOUIS	10/18/2019	5,125.00
	00005575	320719	DLR GROUP	10/18/2019	825.00
	00005576	871361	EVANS CONSULTING	10/18/2019	1,592.50
	00005577	925109	OROURKE KEVIN	10/18/2019	655.18
	00005578	104910	SAUNDERS CONSTRUCTION INC	10/18/2019	529,290.04
	00742584	925804	193RD FRG	10/17/2019	1,000.00
	00742585	925804	193RD FRG	10/17/2019	500.00
	00742586	410759	ABC LEGAL SERVICES	10/17/2019	19.00
	00742588	708344	ADAMS COUNTY COMBINED COURT	10/17/2019	7,007.47
	00742591	91631	ADAMSON POLICE PRODUCTS	10/17/2019	4,811.50
	00742592	433987	ADCO DISTRICT ATTORNEY'S OFFIC	10/17/2019	628.11
	00742593	383698	ALLIED UNIVERSAL SECURITY SERV	10/17/2019	20,534.63
	00742594	12012	ALSCO AMERICAN INDUSTRIAL	10/17/2019	65.61
	00742595	786384	ALTITUDE COMMUNITY LAW	10/17/2019	19.00
	00742596	221351	APEX SYSTEMS GROUP LLC	10/17/2019	17,038.89
	00742598	43744	AUTOMATED BUILDING SOLUTIONS I	10/17/2019	12,595.00
	00742599	923542	AZARI RUG GALLERY	10/17/2019	19.00
	00742600	923539	BARRON SIERRA MANUEL	10/17/2019	19.00
	00742601	868769	BEBO DANIEL JASON	10/17/2019	65.00
	00742602	3020	BENNETT TOWN OF	10/17/2019	1,500.00
	00742603	673295	BODIE ENGER LAW TRUST	10/17/2019	19.00
	00742605	32456	CACCB	10/17/2019	180.00
	00742607	37266	CENTURY LINK	10/17/2019	88.99
	00742609	62637	COLO AERIAL PHOTO SERVICE	10/17/2019	120.00
	00742610	6331	COLO ASSESSORS ASSN	10/17/2019	10.00
	00742611	5050	COLO DIST ATTORNEY COUNCIL	10/17/2019	3,220.00
	00742612	5050	COLO DIST ATTORNEY COUNCIL	10/17/2019	4,800.00
	00742613	274030	COMMUNICATION CONSTRUCTION & E	10/17/2019	22,376.00
	00742614	13049	COMMUNITY REACH CENTER	10/17/2019	1,279.09
	00742615	13049	COMMUNITY REACH CENTER	10/17/2019	4,000.00
	00742616	13049	COMMUNITY REACH CENTER	10/17/2019	55.00
	00742617	13049	COMMUNITY REACH CENTER	10/17/2019	471.83
	00742618	255001	COPYCO QUALITY PRINTING INC	10/17/2019	340.00
	00742619	42984	CORECIVIC INC	10/17/2019	656,849.35
	00742620	37117	DATAWORKS PLUS LLC	10/17/2019	46,600.71

County of Adams

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Net Warrants by Fund Detail

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1	General Fun	d			
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00742622	7303	DIESEL SERVICE & SUPPLY	10/17/2019	22,291.16
	00742627	541231	FINELINE GRAPHICS	10/17/2019	211.80
	00742628	251242	FOUR WINDS INTERACTIVE LLC	10/17/2019	92.50
	00742629	923559	GARCIA CHERYL	10/17/2019	66.00
	00742630	258674	GO UP ELEVATOR INSPECTION SERV	10/17/2019	700.00
	00742631	896555	GRANICUS LLC	10/17/2019	13,522.13
	00742632	294059	GROUNDS SERVICE COMPANY	10/17/2019	324.00
	00742633	373932	GROUPE SHAREGATE INC	10/17/2019	3,995.00
	00742634	809485	HAGGERTY BRIAN	10/17/2019	65.00
	00742635	923547	HANSON LAW GROUP LLP	10/17/2019	19.00
	00742636	866174	HARRIS KOCHER SMITH	10/17/2019	10,150.00
	00742637	925326	HOWLAND GREGORY JOHN	10/17/2019	496.20
	00742638	494097	HP INC	10/17/2019	62,453.00
	00742639	32276	INSIGHT PUBLIC SECTOR	10/17/2019	127,149.60
	00742643	40843	LANGUAGE LINE SERVICES	10/17/2019	1,120.94
	00742645	39673	MARCHUS SHELA	10/17/2019	21.00
	00742647	266471	MAZE AMANDA	10/17/2019	57.00
	00742648	94055	MCALLISTER JEAN G	10/17/2019	100.00
	00742649	637831	MCCREARY RAPHAEL	10/17/2019	65.00
	00742650	305419	MIDLAND FUNDING LLC	10/17/2019	38.00
	00742651	278360	MILLER SUVI	10/17/2019	480.00
	00742652	374475	MOORE LAW GROUP APC	10/17/2019	19.00
	00742653	923554	NORMAN MARC	10/17/2019	19.00
	00742654	13422	NORTHGLENN AMBULANCE	10/17/2019	579.60
	00742655	470643	ONENECK IT SOLUTIONS LLC	10/17/2019	93,240.00
	00742656	282112	ORACLE AMERICA INC	10/17/2019	40,449.42
	00742657	923503	ORNELAS AMANDA	10/17/2019	25.00
	00742658	923551	PATTON AND DAVIDSON	10/17/2019	95.00
	00742659	921847	POUNDEN JOHN	10/17/2019	100.00
	00742661	669054	PROVEST LITIGATION SERVICES	10/17/2019	19.00
	00742662	42838	PURCHASE POWER	10/17/2019	300.00
	00742663	430098	REPUBLIC SERVICES #535	10/17/2019	9,059.66
	00742665	923557	REYES JULIA	10/17/2019	19.00
	00742668	145355	SANITY SOLUTIONS INC	10/17/2019	21,318.94
	00742669	10449	SIR SPEEDY	10/17/2019	40.00
	00742672	227044	SOUTHWESTERN PAINTING	10/17/2019	22,983.00

County of Adams Net Warrants by Fund Detail

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1	General Fun	General Fund						
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount			
	00742673	25335	STANLEY CONVERGENT SECURITY S	10/17/2019	4,470.46			
	00742676	33604	STATE OF COLORADO	10/17/2019	552.17			
	00742678	599714	SUMMIT FOOD SERVICE LLC	10/17/2019	595.03			
	00742680	66264	SYSTEMS GROUP	10/17/2019	2,225.14			
	00742683	923553	THODE LAW FIRM	10/17/2019	19.00			
	00742684	925078	TIGCHELAAR MATTHEW E	10/17/2019	218.19			
	00742685	38221	TRANE US INC	10/17/2019	64,125.00			
	00742686	810316	TRELOAR TARA A	10/17/2019	65.00			
	00742688	20730	UNITED STATES POSTAL SERVICE	10/17/2019	28.35			
	00742689	28617	VERIZON WIRELESS	10/17/2019	3,044.33			
	00742693	702804	WOLFE SANDRA KAY	10/17/2019	65.00			
	00742694	8498	WRIGHT WATER ENGINEERS	10/17/2019	1,200.87			
	00742695	93970	ZIVARO INC	10/17/2019	29,585.09			
	00742696	124337	US POSTMASTER	10/17/2019	2,085.05			

Fund Total

1,891,541.03

Net Warrants by Fund Detail

4	Capital Facilities Fund							
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount			
	00005579	104910	SAUNDERS CONSTRUCTION INC	10/18/2019	772,243.05			
	00742670	897973	SM ROCHA LLC	10/17/2019	5,800.00			
	00742674	740359	STANTEC ARCHITECTURE INC	10/17/2019	6,975.26			

Fund Total 785,018.31

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Net Warrants by Fund Detail

5	Golf Course	Golf Course Enterprise Fund						
	Warrant 00005569	Supplier No6177	Supplier Name PROFESSIONAL RECREATION MGMT I	Warrant Date	Amount 9,000.00			
				Fund Total	9,000.00			

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Net Warrants by Fund Detail

6	Equipment Service Fund						
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount		
	00742587	23962	ACS MANAGEMENT LLC	10/17/2019	3,900.00		
	00742604	356584	BRUCKNER TRUCK SALES INC	10/17/2019	143,210.00		
	00742626	346750	FACTORY MOTOR PARTS	10/17/2019	8,062.04		
	00742667	16237	SAM HILL OIL INC	10/17/2019	32,409.60		
	00742675	644974	STARCHASE LLC	10/17/2019	15,840.00		
	00742682	790907	THE GOODYEAR TIRE AND RUBBER C	10/17/2019	3,695.51		
	00742692	350373	WEX BANK	10/17/2019	2,648.88		

Fund Total

209,766.03

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Net Warrants by Fund Detail

13	Road & Bridge Fund						
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount		
	00742641	506641	JK TRANSPORTS INC	10/17/2019	32,377.50		
	00742687	595135	ULTEIG ENGINEERS INC	10/17/2019	8,536.35		

Fund Total 40,913.85

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Net Warrants by Fund Detail

19	Insurance Fund						
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount		
	00005574	423439	DELTA DENTAL OF COLO	10/18/2019	19,254.00		
	00005580	523053	TRISTAR RISK MANAGEMENT	10/18/2019	1,581.00		
	00005581	37223	UNITED HEALTH CARE INSURANCE C	10/18/2019	216,632.72		
	00742606	419839	CAREHERE LLC	10/17/2019	117,539.88		
	00742621	13663	DELTA DENTAL PLAN OF COLO	10/17/2019	15.96		
	00742690	11552	VISION SERVICE PLAN-CONNECTICU	10/17/2019	186.25		
	00742691	11552	VISION SERVICE PLAN-CONNECTICU	10/17/2019	1,897.82		

Fund Total

357,107.63

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Net Warrants by Fund Detail

Warrant	Supplier No	Supplier Name	Warrant Date	Amoun
00005571	51700	CARRICO LESLIE	10/18/2019	1,958.6
00742589	258636	ADAMS COUNTY FOOD BANK	10/17/2019	4,879.7
00742623	190240	ECPAC	10/17/2019	3,348.7
00742625	689894	ETHIOPIAN COMMUNITY DEVELOPMEN	10/17/2019	3,931.6
00742660	189016	PROJECT ANGEL HEART	10/17/2019	9,963.3

Fund Total 24,082.12

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Net Warrants by Fund Detail

Warrant	Supplier No	Supplier Name	Warrant Date	Amount
00742590	252050	ADAMS COUNTY HUMAN SERVICES	10/17/2019	146.80
00742608	152461	CENTURYLINK	10/17/2019	6.95
00742624	8816052	EMILY GRIFFITH TECHNICAL COLLE	10/17/2019	269.94
00742640	923694	JARMON DAEJA	10/17/2019	40.00
00742642	923704	JONES ANTHONY R	10/17/2019	40.00
00742644	858408	LEYBA JANAE J	10/17/2019	20.00
00742646	37541	MARTINEZ VICTORIA	10/17/2019	10.00
00742666	223260	ROYAL BOOKKEEPING & ACCOUNTING	10/17/2019	3,000.00

Fund Total 3,533.69

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Net Warrants by Fund Detail

43	Colorado Air & Space Port					
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount	
	00005573	709816	CITY SERVICEVALCON LLC	10/18/2019	18,420.61	
	00742597	80118	AT&T CORP	10/17/2019	106.24	
	00742671	49310	SOUTH PARK EMBROIDERY	10/17/2019	375.85	
	00742679	93074	SYSCO DENVER	10/17/2019	1,686.31	
				Fund Total	20,589.01	

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Net Warrants by Fund Detail

50	FLATROCK Facility Fund					
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount	
	00742664	430098	REPUBLIC SERVICES #535	10/17/2019	166.92	
	00742677	33604	STATE OF COLORADO	10/17/2019	1.55	
	00742681	66264	SYSTEMS GROUP	10/17/2019	1,218.75	
				Fund Total	1,387.22	

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Grand Total <u>3,342,938.89</u>

R5504001	County of Adams							
	Vendor Payment Report							
99800	All Ofc Shared Direct	Fund	Voucher	Batch No	GL Date	Amount		
	Postage & Freight ADAMS COUNTY HUMAN SERVICES	00035	962269	349285 De	10/9/2019 Account Total epartment Total	93.30 93.30 93.30		

R5504001		County of Adams				10/18/2019 15:49:24
		Vendor Payment Repor	t			Page - 2
99809	All Ofc Shared no SS	Fund	Voucher	Batch No	GL Date	Amount
	Telephone CENTURYLINK	00035	962270	349285	10/9/2019	6.95
	CLATORTLINK	00033	902270	517205	Account Total	6.95
				De	epartment Total	6.95

R5504001	County of Adams							
	Vendor Payment Report							
2051	ANS - Administration	Fund	Voucher	Batch No	GL Date	Amount		
	Animal Control/Shelter							
	ORNELAS AMANDA	00001	962351	349397	10/10/2019	25.00		
	POUNDEN JOHN	00001	962349	349397	10/10/2019	100.00		
					Account Total	125.00		
				De	partment Total	125.00		

R5504001	County of Adams							
	Vendor Payment Report							
1011	Board of County Commissioners	Fund	Voucher	Batch No	GL Date	Amount		
	Special Events							
	193RD FRG	00001	962460	349534	10/11/2019	1,000.00		
	193RD FRG	00001	962461	349536	10/11/2019	500.00		
					Account Total	1,500.00		
				Dej	partment Total	1,500.00		

R5504001		County of Adams				10/18/2019 15:49:24		
	Vendor Payment Report							
4306	Cafe	Fund	Voucher	Batch No	GL Date	Amount		
	Snack Bar Supplies							
	SYSCO DENVER	00043	962318	349309	10/1/2019	1,686.31		
					Account Total	1,686.31		
	Uniforms & Cleaning							
	SOUTH PARK EMBROIDERY	00043	962317	349309	10/1/2019	57.94		
					Account Total	57.94		
				D	epartment Total	1,744.25		

R5504001		County of Adams				10/18/2019 15:49:24
		Vendor Payment Repor	·t			Page - 6
4	Capital Facilities Fund	Fund	Voucher	Batch No	GL Date	Amount
	Received not Vouchered Clrg					
	SAUNDERS CONSTRUCTION INC	00004	962577	349735	10/16/2019	812,887.42
	SM ROCHA LLC	00004	962563	349728	10/16/2019	5,800.00
	STANTEC ARCHITECTURE INC	00004	962573	349728	10/16/2019	6,975.26
					Account Total	825,662.68
	Retainages Payable					
	SAUNDERS CONSTRUCTION INC	00004	962577	349735	10/16/2019	40,644.37-
					Account Total	40,644.37-
				D	epartment Total	785,018.31

R5504001		County of Adams				10/18/2019 15:49:24
Vendor Payment Report						
4302	CASP Administration	Fund	Voucher	Batch No	GL Date	Amount
	Telephone AT&T CORP	00043	962316	349309	10/1/2019	92.12
					Account Total	92.12
				De	epartment Total	92.12

R5504001		County of Adams				10/18/2019 15:49:24	
	Vendor Payment Report						
4308	CASPATCT	Fund	Voucher	Batch No	GL Date	Amount	
	Telephone AT&T CORP	00043	962316	349309 De	10/1/2019 Account Total partment Total	7.06 7.06 7.06	

R5504001	County of Adams						
Vendor Payment Report							
4303	CASP FBO	Fund	Voucher	Batch No	GL Date	Amount	
	Uniforms & Cleaning						
	SOUTH PARK EMBROIDERY	00043	962317	349309	10/1/2019	317.91	
					Account Total	317.91	
				D	epartment Total	317.91	

R5504001		County of Adams				10/18/2019 15:49:24	
	Vendor Payment Report						
4304	CASP Operations/Maintenance	Fund	Voucher	Batch No	GL Date	Amount	
	Telephone AT&T CORP	00043	962316	349309 De	10/1/2019 Account Total epartment Total	7.06 7.06 7.06	

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1020	CLK Administration	Fund	Voucher	Batch No	GL Date	Amount
	Printing External					
	COPYCO QUALITY PRINTING INC	00001	962433	349510	10/11/2019	20.00
	COPYCO QUALITY PRINTING INC	00001	962430	349510	10/11/2019	80.00
	SIR SPEEDY	00001	962432	349510	10/11/2019	40.00
					Account Total	140.00
				De	partment Total	140.00

R5504001		County of Adams				10/18/2019 15:49:24
		Vendor Payment Report	t			Page - 12
1022	CLK Elections	Fund	Voucher	Batch No	GL Date	Amount
	Operating Supplies					
	FINELINE GRAPHICS	00001	962431	349510	10/11/2019	211.80
					Account Total	211.80
	Postage & Freight					
	US POSTMASTER	00001	962743	349895	10/17/2019	2,085.05
					Account Total	2,085.05
				D	epartment Total	2,296.85

Vendor Payment Report

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1023	CLK Motor Vehicle	Fund	Voucher	Batch No	GL Date	Amount
	Operating Supplies					
	ALSCO AMERICAN INDUSTRIAL	00001	962425	349510	10/11/2019	28.89
	ALSCO AMERICAN INDUSTRIAL	00001	962426	349510	10/11/2019	19.53
	ALSCO AMERICAN INDUSTRIAL	00001	962427	349510	10/11/2019	17.19
					Account Total	65.61
	Printing External					
	COPYCO QUALITY PRINTING INC	00001	962428	349510	10/11/2019	120.00
	COPYCO QUALITY PRINTING INC	00001	962429	349510	10/11/2019	80.00
	COPYCO QUALITY PRINTING INC	00001	962434	349510	10/11/2019	40.00
					Account Total	240.00
				De	epartment Total	305.61

R5504001	County of Adams					
	Vendor Payment Report					
43	Colorado Air & Space Port	Fund	Voucher	Batch No	GL Date	Amount
	Received not Vouchered Clrg CITY SERVICEVALCON LLC	00043	962802	349979	10/18/2019	18,420.61
				De	Account Total partment Total	<u>18,420.61</u> <u>18,420.61</u>

R5504001		County of Adams				10/18/2019 15:49:24
		Vendor Payment Repor	t			Page - 15
9275	Community Corrections	Fund	Voucher	Batch No	GL Date	Amount
	Education & Training CACCB	00001	962380	349411 De	10/10/2019 Account Total partment Total	180.00 180.00 180.00

R5504001		County of Adams				10/18/2019 15:49:24
		Vendor Payment Repor	t			Page - 16
1041	County Assessor	Fund	Voucher	Batch No	GL Date	Amount
	Education & Training COLO ASSESSORS ASSN	00001	962507	349662 Dej	10/15/2019 Account Total partment Total	10.00 10.00 10.00

R5504001		County of Adams				10/18/2019 15:49:24
		Vendor Payment Repor	·t			Page - 17
2031	County Coroner	Fund	Voucher	Batch No	GL Date	Amount
	Medical Services CARUSO JAMES LOUIS	00001	962467	349550	10/11/2019	5,125.00
				De	Account Total epartment Total	5,125.00 5,125.00

R5504001		County of Adams				10/18/2019 15:4	49:24		
Vendor Payment Report									
1031	County Treasurer	Fund	Voucher	Batch No	GL Date	Amount			
	Other Professional Serv								
	EVANS CONSULTING	00001	962499	349650	10/15/2019	752.50	0		
	EVANS CONSULTING	00001	962623	349771	10/16/2019	840.00	0		
					Account Total	1,592.50	0		
				De	partment Total	1,592.50	0		

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951016	CSBG	Fund	Voucher	Batch No	GL Date	Amount
	Education & Training					
	CARRICO LESLIE	00034	962132	349144	10/8/2019	750.00
	ETHIOPIAN COMMUNITY DEVELOPMEN	00034	960992	348155	9/26/2019	750.00
					Account Total	1,500.00
	Grants to Other Instit					
	ADAMS COUNTY FOOD BANK	00034	962497	349649	10/15/2019	4,879.70
	ECPAC	00034	962496	349649	10/15/2019	3,254.18
	ETHIOPIAN COMMUNITY DEVELOPMEN	00034	962495	349649	10/15/2019	1,857.28
	PROJECT ANGEL HEART	00034	962498	349649	10/15/2019	9,963.36
					Account Total	19,954.52
	Travel & Transportation					
	CARRICO LESLIE	00034	962132	349144	10/8/2019	1,208.69
	ECPAC	00034	960991	348155	9/26/2019	94.54
	ETHIOPIAN COMMUNITY DEVELOPMEN	00034	960992	348155	9/26/2019	1,324.37
					Account Total	2,627.60
				D	epartment Total	24,082.12

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Vendor Payment Report

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1051	District Attorney	Fund	Voucher	Batch No	GL Date	Amount
	Books					
	COLO DIST ATTORNEY COUNCIL	00001	962500	349655	10/15/2019	3,220.00
					Account Total	3,220.00
	Court Reporting Transcripts					
	MARCHUS SHELA	00001	962503	349655	10/15/2019	21.00
	MAZE AMANDA	00001	962504	349655	10/15/2019	57.00
					Account Total	78.00
	Education & Training					
	COLO DIST ATTORNEY COUNCIL	00001	962501	349655	10/15/2019	4,800.00
					Account Total	4,800.00
	Other Professional Serv					
	HOWLAND GREGORY JOHN	00001	962502	349655	10/15/2019	496.20
	MCALLISTER JEAN G	00001	962609	349768	10/16/2019	100.00
	MILLER SUVI	00001	962505	349655	10/15/2019	480.00
	OROURKE KEVIN	00001	962597	349751	10/16/2019	655.18
	TIGCHELAAR MATTHEW E	00001	962506	349655	10/15/2019	218.19
					Account Total	1,949.57
	Witness Fees					
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	962608	349768	10/16/2019	45.87
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	962608	349768	10/16/2019	138.50
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	962608	349768	10/16/2019	50.81
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	962608	349768	10/16/2019	59.68
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	962608	349768	10/16/2019	180.67
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	962608	349768	10/16/2019	152.58
					Account Total	628.11
				Ι	Department Total	10,675.68

Vendor Payment Report

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6 Equipment Service Fund	Fund	Voucher	Batch No	GL Date	Amount
Received not Vouchered Clrg					
ACS MANAGEMENT LLC	00006	962509	349668	10/15/2019	3,900.00
BRUCKNER TRUCK SALES INC	00006	962511	349668	10/15/2019	143,210.00
FACTORY MOTOR PARTS	00006	962515	349668	10/15/2019	8,062.04
SAM HILL OIL INC	00006	962559	349728	10/16/2019	2,227.55
SAM HILL OIL INC	00006	962560	349728	10/16/2019	14,300.58
SAM HILL OIL INC	00006	962562	349728	10/16/2019	15,881.47
STARCHASE LLC	00006	962558	349728	10/16/2019	5,280.00
STARCHASE LLC	00006	962558	349728	10/16/2019	5,280.00
STARCHASE LLC	00006	962558	349728	10/16/2019	5,280.00
THE GOODYEAR TIRE AND RUBBER C	00006	962520	349668	10/15/2019	1,521.81
THE GOODYEAR TIRE AND RUBBER C	00006	962517	349668	10/15/2019	2,173.70
WEX BANK	00006	962567	349728	10/16/2019	2,648.88
				Account Total	209,766.03
			De	partment Total	209,766.03

R5504001	County of Adams						
Vendor Payment Report							
50	FLATROCK Facility Fund	Fund	Voucher	Batch No	GL Date	Amount	
	Colorado Sales Tax Payable STATE OF COLORADO	00050	962483	349646 De	10/15/2019 Account Total partment Total	1.59 1.59 1.59	

R5504001	County of Adams						
Vendor Payment Report							
1076	FO - Adams County Svc Center	Fund	Voucher	Batch No	GL Date	Amount	
	Water/Sewer/Sanitation REPUBLIC SERVICES #535	00001	962402	349427 De	10/10/2019 Account Total partment Total	23	33.69 33.69 33.69

R5504001		County of Adams				
Vendor Payment Report						
1091	FO - Administration	Fund	Voucher	Batch No	GL Date	Amount
	Building Rental					
	BENNETT TOWN OF	00001	962420	349427	10/10/2019	1,500.00
					Account Total	1,500.00
	Water/Sewer/Sanitation					
	REPUBLIC SERVICES #535	00001	962412	349427	10/10/2019	100.15
					Account Total	100.15
				D	epartment Total	1,600.15

1 County of Adams							
Vendor Payment Report							
FO - Animal Shelter Maint.	Fund	Voucher	Batch No	GL Date	Amount		
Water/Sewer/Sanitation REPUBLIC SERVICES #535	00001	962407	349427	10/10/2019 Account Total	33	33.84 33.84 33.84	
	Water/Sewer/Sanitation	Vendor Payment Report FO - Animal Shelter Maint. Fund Water/Sewer/Sanitation Fund	Vendor Payment Report FO - Animal Shelter Maint. Fund Voucher Water/Sewer/Sanitation Water/Sewer/Sanitation Voucher	Vendor Payment Report FO - Animal Shelter Maint. Fund Voucher Batch No Water/Sewer/Sanitation REPUBLIC SERVICES #535 00001 962407 349427	Vendor Payment Report FO - Animal Shelter Maint. Fund Voucher Batch No GL Date Water/Sewer/Sanitation Water/Sewer/Sanitation 10/10/2019 Account Total	Page - FO - Animal Shelter Maint. Fund Voucher Batch No GL Date Amount Water/Sewer/Sanitation Water/Sewer/Sanitation 00001 962407 349427 10/10/2019 33 REPUBLIC SERVICES #535 00001 962407 349427 10/10/2019 33 Account Total 33	

R5504001		County of Adams				10/18/2019	15:49:24
Vendor Payment Report							
1114	FO - District Attorney Bldg.	Fund	Voucher	Batch No	GL Date	Amount	
	Water/Sewer/Sanitation REPUBLIC SERVICES #535	00001	962400	349427 De	10/10/2019 Account Total partment Total	13	33.53 33.53 33.53

R5504001		County of Adams				
Vendor Payment Report						
2090	FO - Flatrock Facility	Fund	Voucher	Batch No	GL Date	Amount
	Maintenance Contracts					
	SYSTEMS GROUP	00050	962418	349427	10/10/2019	1,218.75
					Account Total	1,218.75
	Water/Sewer/Sanitation					
	REPUBLIC SERVICES #535	00050	962397	349427	10/10/2019	166.92
					Account Total	166.92
				D	epartment Total	1,385.67

R5504001		County of Adams					
		Vendor Payment Repor	Payment Report				
1077	FO - Government Center	Fund	Voucher	Batch No	GL Date	Amount	
	Grounds Maintenance						
	REPUBLIC SERVICES #535	00001	962408	349427	10/10/2019	270.00	
					Account Total	270.00	
	Water/Sewer/Sanitation						
	REPUBLIC SERVICES #535	00001	962401	349427	10/10/2019	300.46	
	REPUBLIC SERVICES #535	00001	962408	349427	10/10/2019	270.00	
					Account Total	570.46	
				Ε	Department Total	840.46	

R5504001		County of Adams					
		Vendor Payment Repo	Page - 29				
1070	FO - Honnen/Plan&Devel/MV Ware	Fund	Voucher	Batch No	GL Date	Amount	
	Building Repair & Maint						
	SYSTEMS GROUP	00001	962417	349427	10/10/2019	2,025.14	
					Account Total	2,025.14	
	Water/Sewer/Sanitation						
	REPUBLIC SERVICES #535	00001	962396	349427	10/10/2019	54.45	
	REPUBLIC SERVICES #535	00001	962404	349427	10/10/2019	166.92	
					Account Total	221.37	
				D	epartment Total	2,246.51	

R5504001	County of Adams						
	Ve	ndor Payment Repor	t			Page - 30	
1079	FO - Human Services Center	Fund	Voucher	Batch No	GL Date	Amount	
	Building Repair & Maint						
	STANLEY CONVERGENT SECURITY S	00001	962419	349427	10/10/2019	4,470.46	
					Account Total	4,470.46	
	Maintenance Contracts						
	GO UP ELEVATOR INSPECTION SERV	00001	962416	349427	10/10/2019	700.00	
					Account Total	700.00	
	Water/Sewer/Sanitation						
	REPUBLIC SERVICES #535	00001	962399	349427	10/10/2019	1,541.53	
					Account Total	1,541.53	
				D	epartment Total	6,711.99	

R5504001	County of Adams						:49:24
Vendor Payment Report							
1071	FO - Justice Center	Fund	Voucher	Batch No	GL Date	Amount	
	Water/Sewer/Sanitation REPUBLIC SERVICES #535	00001	962414	349427 De	10/10/2019 Account Total partment Total	712.2 712.2 712.2 712.2	20

R5504001	504001 County of Adams						
Vendor Payment Report							
1019	FO - Mailroom & Dock	Fund	Voucher	Batch No	GL Date	Amount	
	Postage & Freight UNITED STATES POSTAL SERVICE	00001	962393	349425	10/10/2019	28.35	
		00001	,020,0		Account Total	28.35	
				De	partment Total =	28.35	

R5504001	County of Adams						
Vendor Payment Report							
1067	FO - Old Human Service Bldg	Fund	Voucher	Batch No	GL Date	Amount	
	Water/Sewer/Sanitation REPUBLIC SERVICES #535	00001	962398	349427 De	10/10/2019 Account Total partment Total	2	22.26 22.26 22.26

R5504001		County of Adams				10/18/2019 1	5:49:24	
Vendor Payment Report								
1112	FO - Sheriff HQ/Coroner Bldg	Fund	Voucher	Batch No	GL Date	Amount		
	Water/Sewer/Sanitation REPUBLIC SERVICES #535	00001	962415	349427 De	10/10/2019 Account Total partment Total	166 166 166		

Vendor Payment Report

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2009	FO - Sheriff Maintenance	Fund	Voucher	Batch No	GL Date	Amount
	Water/Sewer/Sanitation					
	REPUBLIC SERVICES #535	00001	962413	349427	10/10/2019	267.08
	REPUBLIC SERVICES #535	00001	962410	349427	10/10/2019	270.00
	REPUBLIC SERVICES #535	00001	962406	349427	10/10/2019	133.54
	REPUBLIC SERVICES #535	00001	962403	349427	10/10/2019	3,599.02
					Account Total	4,269.64
				De	partment Total	4,269.64

R5504001		County of Adams				10/18/2019	15:49:24		
	Vendor Payment Report								
1075	FO - Strasburg/Whittier	Fund	Voucher	Batch No	GL Date	Amount			
	Water/Sewer/Sanitation REPUBLIC SERVICES #535	00001	962411	349427 De	10/10/2019 Account Total partment Total		16.69 16.69 16.69		

R5504001		County of Adams				10/18/2019 15:49:24
		Vendor Payment Repor	·t			Page - 37
1072	FO - West Services Center	Fund	Voucher	Batch No	GL Date	Amount
	Water/Sewer/Sanitation REPUBLIC SERVICES #535	00001	962409	349427 De	10/10/2019 Account Total partment Total	467.38 467.38 467.38

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Vendor Payment Report

venuor rayment Keport									
1	General Fund	Fund	Voucher	Batch No	GL Date	Amount			
	Colorado Sales Tax Payable								
	STATE OF COLORADO	00001	962482	349646	10/15/2019	625.09			
					Account Total	625.09			
	Misc Revenues								
	ADAMS COUNTY COMBINED COURT	00001	962268	349286	10/9/2019	7,007.47			
					Account Total	7,007.47			
	Received not Vouchered Clrg								
	ALLIED UNIVERSAL SECURITY SERV	00001	962652	349780	10/16/2019	20,534.63			
	APEX SYSTEMS GROUP LLC	00001	962510	349668	10/15/2019	17,038.89			
	AUTOMATED BUILDING SOLUTIONS I	00001	962508	349668	10/15/2019	12,595.00			
	COMMUNICATION CONSTRUCTION & E	00001	962512	349668	10/15/2019	22,376.00			
	CORECIVIC INC	00001	962628	349780	10/16/2019	4,990.35			
	CORECIVIC INC	00001	962629	349780	10/16/2019	1,938.00			
	CORECIVIC INC	00001	962630	349780	10/16/2019	7,509.75			
	CORECIVIC INC	00001	962631	349780	10/16/2019	1,501.95			
	CORECIVIC INC	00001	962632	349780	10/16/2019	46,075.95			
	CORECIVIC INC	00001	962633	349780	10/16/2019	50,630.25			
	CORECIVIC INC	00001	962634	349780	10/16/2019	50,412.23			
	CORECIVIC INC	00001	962635	349780	10/16/2019	13,347.99			
	CORECIVIC INC	00001	962636	349780	10/16/2019	10,222.95			
	CORECIVIC INC	00001	962637	349780	10/16/2019	22,771.50			
	CORECIVIC INC	00001	962638	349780	10/16/2019	25,557.39			
	CORECIVIC INC	00001	962639	349780	10/16/2019	14,147.40			
	CORECIVIC INC	00001	962640	349780	10/16/2019	85,465.80			
	CORECIVIC INC	00001	962641	349780	10/16/2019	120,252.90			
	CORECIVIC INC	00001	962642	349780	10/16/2019	96,173.25			
	CORECIVIC INC	00001	962643	349780	10/16/2019	3,003.90			
	CORECIVIC INC	00001	962644	349780	10/16/2019	54,990.75			
	CORECIVIC INC	00001	962645	349780	10/16/2019	9,600.80			
	CORECIVIC INC	00001	962646	349780	10/16/2019	2,569.25			
	CORECIVIC INC	00001	962647	349780	10/16/2019	7,967.40			
	CORECIVIC INC	00001	962648	349780	10/16/2019	8,115.00			
	CORECIVIC INC	00001	962649	349780	10/16/2019	7,567.00			
	CORECIVIC INC	00001	962650	349780	10/16/2019	7,100.75			
	CORECIVIC INC	00001	962651	349780	10/16/2019	4,936.84			

Vendor Payment Report

1	General Fund	Fund	Voucher	Batch No	GL Date	Amount
	DATAWORKS PLUS LLC	00001	962513	349668	10/15/2019	46,600.7
	DIESEL SERVICE & SUPPLY	00001	962572	349728	10/16/2019	22,291.1
	DLR GROUP	00001	962575	349735	10/16/2019	825.0
	FOUR WINDS INTERACTIVE LLC	00001	962514	349668	10/15/2019	92.5
	GRANICUS LLC	00001	962519	349668	10/15/2019	13,522.1
	GROUNDS SERVICE COMPANY	00001	962516	349668	10/15/2019	70.0
	GROUNDS SERVICE COMPANY	00001	962516	349668	10/15/2019	253.9
	GROUPE SHAREGATE INC	00001	962534	349668	10/15/2019	3,995.0
	HARRIS KOCHER SMITH	00001	962521	349668	10/15/2019	10,150.0
	HP INC	00001	962522	349668	10/15/2019	3,805.0
	HP INC	00001	962523	349668	10/15/2019	7,992.0
	HP INC	00001	962524	349668	10/15/2019	25.0
	HP INC	00001	962525	349668	10/15/2019	21,300.5
	HP INC	00001	962526	349668	10/15/2019	734.5
	HP INC	00001	962527	349668	10/15/2019	23,535.0
	HP INC	00001	962528	349668	10/15/2019	5,061.0
	INSIGHT PUBLIC SECTOR	00001	962529	349668	10/15/2019	127,149.6
	ONENECK IT SOLUTIONS LLC	00001	962531	349668	10/15/2019	93,240.0
	ORACLE AMERICA INC	00001	962532	349668	10/15/2019	40,449.4
	SANITY SOLUTIONS INC	00001	962557	349728	10/16/2019	21,318.9
	SAUNDERS CONSTRUCTION INC	00001	962576	349735	10/16/2019	125,019.4
	SAUNDERS CONSTRUCTION INC	00001	962576	349735	10/16/2019	432,127.9
	SOLARWINDS WORLDWIDE LLC	00001	962578	349738	10/16/2019	7,858.5
	SOUTHWESTERN PAINTING	00001	962535	349668	10/15/2019	11,903.0
	SOUTHWESTERN PAINTING	00001	962536	349668	10/15/2019	1,882.0
	SOUTHWESTERN PAINTING	00001	962537	349668	10/15/2019	600.0
	SOUTHWESTERN PAINTING	00001	962538	349668	10/15/2019	8,598.0
	SYSTEMS GROUP	00001	962574	349728	10/16/2019	200.0
	TRANE US INC	00001	962564	349728	10/16/2019	61,925.0
	TRANE US INC	00001	962564	349728	10/16/2019	2,200.0
	WRIGHT WATER ENGINEERS	00001	962566	349728	10/16/2019	1,200.8
	ZIVARO INC	00001	962568	349728	10/16/2019	1,888.4
	ZIVARO INC	00001	962569	349728	10/16/2019	27,696.6
					Account Total	1,854,905.2
	Retainages Payable					
	SAUNDERS CONSTRUCTION INC	00001	962576	349735	10/16/2019	6,250.9

R5504001		County of Adams				10/18/2019 15:49:24	
Vendor Payment Report							
1	General Fund	Fund	Voucher	Batch No	GL Date	Amount	
	SAUNDERS CONSTRUCTION INC	00001	962576	349735	10/16/2019	21,606.40-	
					Account Total	27,857.37-	
				De	partment Total	1,834,680.39	

R5504001		10/18/2019 15:49:24				
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5	Golf Course Enterprise Fund	Fund	Voucher	Batch No	GL Date	Amount
	Received not Vouchered Clrg PROFESSIONAL RECREATION MGMT I	00005	962545	349725	10/16/2019	9,000.00
				De	Account Total	9,000.00 9,000.00

R5504001		County of Adams				10/18/2019 15:49:24	
Vendor Payment Report							
8613	Insurance - UHC EPO Medical	Fund	Voucher	Batch No	GL Date	Amount	
	Claims						
	UNITED HEALTH CARE INSURANCE C	00019	962481	349645	10/15/2019	216,632.72	
					Account Total	216,632.72	
				De	partment Total	216,632.72	

R5504001		County of Adams				10/18/2019 15:49:24		
Vendor Payment Report								
8614	Insurance- Delta Dental	Fund	Voucher	Batch No	GL Date	Amount		
	Administration Fee							
	DELTA DENTAL PLAN OF COLO	00019	962659	349782	10/16/2019	15.96		
					Account Total	15.96		
	Self-Insurance Claims							
	DELTA DENTAL OF COLO	00019	962625	349775	10/16/2019	18,247.10		
	DELTA DENTAL OF COLO	00019	962625	349775	10/16/2019	1,006.90		
					Account Total	19,254.00		
				E	epartment Total	19,269.96		

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19	Insurance Fund	Fund	Voucher	Batch No	GL Date	Amount
	Received not Vouchered Clrg					
	CAREHERE LLC	00019	962709	349874	10/17/2019	54.83
	CAREHERE LLC	00019	962709	349874	10/17/2019	486.57
	CAREHERE LLC	00019	962709	349874	10/17/2019	8,658.56
	CAREHERE LLC	00019	962709	349874	10/17/2019	21,948.46
	CAREHERE LLC	00019	962709	349874	10/17/2019	2,514.72
	CAREHERE LLC	00019	962546	349728	10/16/2019	13.30
	CAREHERE LLC	00019	962546	349728	10/16/2019	413.02
	CAREHERE LLC	00019	962546	349728	10/16/2019	5,217.83
	CAREHERE LLC	00019	962546	349728	10/16/2019	1,301.42
	CAREHERE LLC	00019	962546	349728	10/16/2019	15,994.10
	CAREHERE LLC	00019	962547	349728	10/16/2019	4,457.27
	CAREHERE LLC	00019	962547	349728	10/16/2019	824.66
	CAREHERE LLC	00019	962547	349728	10/16/2019	13,998.71
	CAREHERE LLC	00019	962549	349728	10/16/2019	895.79
	CAREHERE LLC	00019	962549	349728	10/16/2019	1,857.36
	CAREHERE LLC	00019	962549	349728	10/16/2019	20,316.78
	CAREHERE LLC	00019	962552	349728	10/16/2019	9,280.50
	CAREHERE LLC	00019	962552	349728	10/16/2019	9,306.00
					Account Total	117,539.88
				Dej	partment Total	117,539.88

R5504001		County of Adams				10/18/2019 15:49:24
		Vendor Payment Repor	·t			Page - 45
8611	Insurance- Property/Casualty	Fund	Voucher	Batch No	GL Date	Amount
	Prop Claims-Under Deduct TRISTAR RISK MANAGEMENT	00019	962459	349527 Dej	10/11/2019 Account Total partment Total	1,581.00 1,581.00 1,581.00

R5504001		County of Adams				10/18/2019 15:49:24
	Ver	ndor Payment Repor	·t			Page - 46
8623	Insurance- Vision	Fund	Voucher	Batch No	GL Date	Amount
	Self-Insurance Claims VISION SERVICE PLAN-CONNECTICU	00019	962660	349782 De	10/16/2019 Account Total partment Total	186.25 186.25 186.25

R5504001		County of Adams				10/18/2019 15:49:24
	N N	Vendor Payment Repor	t			Page - 47
6107	Open Space Projects	Fund	Voucher	Batch No	GL Date	Amount
	Other Professional Serv COLO AERIAL PHOTO SERVICE	00027	962343	349395 De	10/10/2019 Account Total epartment Total	120.00 120.00 120.00

R5504001	04001 County of Adams					
Vendor Payment Report						
5010	PKS- Fair	Fund	Voucher	Batch No	GL Date	Amount
	Liquor Sales					
	STATE OF COLORADO	00001	962482	349646	10/15/2019	15.93-
	STATE OF COLORADO	00001	962482	349646	10/15/2019	56.99-
					Account Total	72.92-
				De	partment Total	72.92-
					-	

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1089	PLN- Boards & Commissions	Fund	Voucher	Batch No	GL Date	Amount
	Other Professional Serv					
	BEBO DANIEL JASON	00001	962367	349403	10/10/2019	65.00
	HAGGERTY BRIAN	00001	962368	349403	10/10/2019	65.00
	MCCREARY RAPHAEL	00001	962364	349403	10/10/2019	65.00
	TRELOAR TARA A	00001	962369	349403	10/10/2019	65.00
	WOLFE SANDRA KAY	00001	962366	349403	10/10/2019	65.00
					Account Total	325.00
				De	partment Total	325.00

R5504001		County of Adams				10/18/2019	15:49:24
	Ver	ndor Payment Repo	rt			Page -	50
97975	RESEA Program-FY16	Fund	Voucher	Batch No	GL Date	Amount	
	Postage & Freight ADAMS COUNTY HUMAN SERVICES	00035	962269	349285 De	10/9/2019 Account Total epartment Total		53.50 53.50 53.50

R5504001	County of Adams					
	Ven	dor Payment Repo	rt			Page - 51
8624	Retiree-Vision	Fund	Voucher	Batch No	GL Date	Amount
	Self-Insurance Claims VISION SERVICE PLAN-CONNECTICU	00019	962663	349782	10/16/2019	1,897.82
				De	Account Total	1,897.82 1,897.82

R5504001 County of Adams						10/18/2019 15:49:24
		Vendor Payment Repor	t			Page - 52
13	Road & Bridge Fund	Fund	Voucher	Batch No	GL Date	Amount
	Received not Vouchered Clrg					
	JK TRANSPORTS INC	00013	962570	349728	10/16/2019	16,712.00
	JK TRANSPORTS INC	00013	962570	349728	10/16/2019	15,665.50
	ULTEIG ENGINEERS INC	00013	962565	349728	10/16/2019	8,536.35
					Account Total	40,913.85
				De	partment Total =	40,913.85

R5504001		County of Adams				10/18/2019	15:49:24
		Vendor Payment Repor	·t			Page -	53
2092	Sheriff Flatrock	Fund	Voucher	Batch No	GL Date	Amount	
	Merchandise STATE OF COLORADO	00050	962483	349646 De	10/15/2019 Account Total epartment Total		.04- .04- .04-

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2070	SHF - Booking Fee	Fund	Voucher	Batch No	GL Date	Amount
	Education & Training					
	COMMUNITY REACH CENTER	00001	962305	349305	10/9/2019	1,279.09
	COMMUNITY REACH CENTER	00001	962306	349305	10/9/2019	4,000.00
	COMMUNITY REACH CENTER	00001	962307	349305	10/9/2019	55.00
	COMMUNITY REACH CENTER	00001	962308	349305	10/9/2019	471.83
					Account Total	5,805.92
				De	partment Total	5,805.92

R5504001		County of Adams				10/18/2019 15:49:24
		Vendor Payment Report				Page - 55
2011	SHF- Admin Services Division	Fund	Voucher	Batch No	GL Date	Amount
	Interpreting Services					
	LANGUAGE LINE SERVICES	00001	962309	349305	10/9/2019	22.96
					Account Total	22.96
	Other Communications					
	VERIZON WIRELESS	00001	962314	349305	10/9/2019	773.65
					Account Total	773.65
	Uniforms & Cleaning					
	ADAMSON POLICE PRODUCTS	00001	962302	349305	10/9/2019	664.00
	ADAMSON POLICE PRODUCTS	00001	962303	349305	10/9/2019	4,147.50
					Account Total	4,811.50
				Ľ	Department Total	5,608.11

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2015	SHF- Civil Section	Fund	Voucher	Batch No	GL Date	Amount
	Other Communications					
	VERIZON WIRELESS	00001	962314	349305	10/9/2019	358.79
					Account Total	358.79
	Postage & Freight					
	PURCHASE POWER	00001	962311	349305	10/9/2019	300.00
					Account Total	300.00
	Sheriff's Fees					
	ABC LEGAL SERVICES	00001	961763	349080	10/7/2019	19.00
	ALTITUDE COMMUNITY LAW	00001	961761	349080	10/7/2019	19.00
	AZARI RUG GALLERY	00001	961743	349080	10/7/2019	19.00
	BARRON SIERRA MANUEL	00001	961742	349080	10/7/2019	19.00
	BODIE ENGER LAW TRUST	00001	961741	349080	10/7/2019	19.00
	GARCIA CHERYL	00001	961749	349080	10/7/2019	66.00
	HANSON LAW GROUP LLP	00001	961744	349080	10/7/2019	19.00
	MIDLAND FUNDING LLC	00001	961739	349080	10/7/2019	19.00
	MIDLAND FUNDING LLC	00001	961762	349080	10/7/2019	19.00
	MOORE LAW GROUP APC	00001	961760	349080	10/7/2019	19.00
	NORMAN MARC	00001	961747	349080	10/7/2019	19.00
	PATTON AND DAVIDSON	00001	961745	349080	10/7/2019	95.00
	PROVEST LITIGATION SERVICES	00001	961740	349080	10/7/2019	19.00
	REYES JULIA	00001	961748	349080	10/7/2019	19.00
	THODE LAW FIRM	00001	961746	349080	10/7/2019	19.00
					Account Total	408.00
				Γ	Department Total	1,066.79

R5504001	County of Adams					
		Vendor Payment Repor	·t			Page - 57
2016	SHF- Detective Division	Fund	Voucher	Batch No	GL Date	Amount
	Interpreting Services					
	LANGUAGE LINE SERVICES	00001	962309	349305	10/9/2019	120.54
					Account Total	120.54
	Other Communications					
	CENTURY LINK	00001	962304	349305	10/9/2019	88.99
	VERIZON WIRELESS	00001	962314	349305	10/9/2019	40.01
					Account Total	129.00
				D	epartment Total	249.54

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		Vendor Payment Repo	rt			Page - 58
2071	SHF- Detention Facility	Fund	Voucher	Batch No	GL Date	Amount
	Interpreting Services					
	LANGUAGE LINE SERVICES	00001	962309	349305	10/9/2019	830.66
					Account Total	830.66
	Operating Supplies					
	SUMMIT FOOD SERVICE LLC	00001	962312	349305	10/9/2019	10.52
	SUMMIT FOOD SERVICE LLC	00001	962313	349305	10/9/2019	584.51
					Account Total	595.03
	Other Communications					
	VERIZON WIRELESS	00001	962314	349305	10/9/2019	375.43
					Account Total	375.43
				Γ	Department Total	1,801.12

R5504001		County of Adams				10/18/2019 15:49:24
		Vendor Payment Repor	·t			Page - 59
2072	SHF- Justice Center	Fund	Voucher	Batch No	GL Date	Amount
	Other Communications VERIZON WIRELESS	00001	962314	349305 De	10/9/2019 Account Total partment Total	29.88 29.88 29.88

R5504001		County of Adams				10/18/2019	15:49:24
		Vendor Payment Repor	·t			Page -	60
2010	SHF- MIS Unit	Fund	Voucher	Batch No	GL Date	Amount	
	Other Communications VERIZON WIRELESS	00001	962314	349305 De	10/9/2019 Account Total epartment Total	10	3.14 3.14 3.14

R5504001		County of Adams				10/18/2019 15:49:24
		Vendor Payment Repor	t			Page - 61
2017	SHF- Patrol Division	Fund	Voucher	Batch No	GL Date	Amount
	Interpreting Services					
	LANGUAGE LINE SERVICES	00001	962309	349305	10/9/2019	146.78
					Account Total	146.78
	Other Communications					
	VERIZON WIRELESS	00001	962314	349305	10/9/2019	1,042.94
					Account Total	1,042.94
				D	epartment Total	1,189.72

R5504001		County of Adams				10/18/2019 15:49:24
		Vendor Payment Repor	·t			Page - 62
2018	SHF- Records/Warrants Section	Fund	Voucher	Batch No	GL Date	Amount
	Other Communications VERIZON WIRELESS	00001	962314	349305 Dej	10/9/2019 Account Total partment Total	40.01 40.01 40.01

R5504001		County of Adams				10/18/2019 15:49:24
		Vendor Payment Repor	t			Page - 63
2005	SHF- TAC Section	Fund	Voucher	Batch No	GL Date	Amount
	Other Communications					
	VERIZON WIRELESS	00001	962314	349305	10/9/2019	280.48
					Account Total	280.48
	Other Professional Serv					
	NORTHGLENN AMBULANCE	00001	962315	349305	10/1/2019	579.60
					Account Total	579.60
				D	epartment Total	860.08

R5504001	С	ounty of Adams				10/18/2019 15:49:24
	Vend	or Payment Repo	·t			Page - 64
97200	WIOA ADULT PROGRAM	Fund	Voucher	Batch No	GL Date	Amount
	Clnt Trng- OJT ROYAL BOOKKEEPING & ACCOUNTING	00035	962276	349285 De	10/9/2019 Account Total partment Total	3,000.00 3,000.00 3,000.00

R5504001		County of Adams				10/18/2019 15:49:24
	Ve	ndor Payment Repo	·t			Page - 65
97500	WIOA YOUTH OLDER	Fund	Voucher	Batch No	GL Date	Amount
	Clnt Trng-GED/ESL					
	EMILY GRIFFITH TECHNICAL COLLE	00035	962271	349285	10/9/2019	269.94
					Account Total	269.94
	Supp Svcs-Incentives					
	JARMON DAEJA	00035	962272	349285	10/9/2019	40.00
	JONES ANTHONY R	00035	962273	349285	10/9/2019	40.00
	LEYBA JANAE J	00035	962274	349285	10/9/2019	20.00
	MARTINEZ VICTORIA	00035	962275	349285	10/9/2019	10.00
					Account Total	110.00
				D	epartment Total	379.94

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Grand Total

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3,342,938.89



Board of County Commissioners Minutes of Commissioners' Proceedings

Eva J. Henry - District #1 Charles "Chaz" Tedesco - District #2 Emma Pinter - District #3 Steve O'Dorisio - District #4 Mary Hodge - District #5

> Tuesday October 15, 2019 9:30 AM

1. ROLL CALL

Present: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Hodge

2. PLEDGE OF ALLEGIANCE

3. MOTION TO APPROVE AGENDA

A motion was made by Commissioner Pinter, seconded by Commissioner Hodge, that this Agenda be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Hodge

4. AWARDS AND PRESENTATIONS

5. PUBLIC COMMENT

A. Citizen Communication

A total of 30 minutes is allocated at this time for public comment and each speaker will be limited to 3 minutes. If there are additional requests from the public to address the Board, time will be allocated at the end of the meeting to complete public comment. The chair requests that there be no public comment on issues for which a prior public hearing has been held before this Board.

B. Elected Officials' Communication

6. CONSENT CALENDAR

A motion was made by Commissioner Hodge, seconded by Commissioner Henry, that this Consent Calendar be approved. The motion carried by the following vote:

- Aye: 5 Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Hodge
- A. List of Expenditures Under the Dates of September 30 October 4, 2019
- B. Minutes of the Commissioners' Proceedings from October 8, 2019
- C. Resolution Approving Amendment to Agreement Regarding Funding of Major Drainageway Planning and Flood Hazard Area Delineation for Branter Gulch and Tributaries, Adams County Agreement No. 18-04.01A (File approved by ELT)
- D. Resolution Approving Amendment to Agreement Regarding Funding of Outfall Systems Planning for Basin 4100 and DFA 0056 Agreement No. 17-01.18A (File approved by ELT)
- E. Resolution Approving Agreement Regarding Funding of Major Drainageway Planning for Direct Flow Area 0054 Agreement No. 19-05.06 (File approved by ELT)
- F. Resolution Approving the Colorado Preschool Program Contract with Westminster Public Schools for PY 2019-2020 (File approved by ELT)
- G. Resolution Approving an Agreement between Adams County and Wellpath, LLC for Medical and Mental Health Services
 (File approved by ELT)
- Resolution Approving the Adams County Human Services Department Fiscal Year 2019-2020 Chafee Program Plan (File approved by ELT)
- I. Resolution Approving the Final Draft Master Plan and Airport Layout Plan Update for Colorado Air and Space Port (File approved by ELT)
- J. Resolution Appointing Commissioner Mary Hodge as the Adams County Representative to the South Platte Basin Roundtable (File approved by ELT)

 K. Resolution Appointing Commissioner Steve O'Dorisio as the Adams County Representative to the Metro Roundtable (File approved by ELT)

7. NEW BUSINESS

A. COUNTY MANAGER

- 1. Presentation of the 2020 Proposed Adams County Budget (File approved by ELT)
- 2. Resolution Approving an Agreement between Adams County and Glacier Construction Company, Inc., for the Decommissioning of Sewage Lagoons (File approved by ELT)

A motion was made by Commissioner Hodge, seconded by Commissioner Henry, that this New Business be approved. The motion carried by the following vote:

- Aye: 5 Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Hodge
- Resolution Approving Change Order One to the Agreement between Adams County and JK Transports Inc., for Truck Hauling Services (File approved by ELT)
 A motion was made by Commissioner Tedesco, seconded by Commissioner Hodge, that this New Business be approved. The motion carried by the following vote:
 - Aye: 5 Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Hodge

B. COUNTY ATTORNEY

8. LAND USE HEARINGS

A. Cases to be Heard

- PRC2019-00004 Kiowa-52 Solar

 (File approved by ELT)
 A motion was made by Commissioner Tedesco, seconded by
 Commissioner Hodge, that this Land Use Hearing be approved. The motion carried by the following vote:
 - Aye: 5 Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Hodge

- PLT2018-00030 Layton Subdivision Second Filing Minor Subdivision Plat, Private Street Waiver and Subdivision Improvements Agreement (File approved by ELT)
 A motion was made by Commissioner Henry, seconded by Commissioner Tedesco, that this Land Use Hearing be approved. The motion carried by the following vote:
 - Aye: 5 Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Hodge

Motion to Adjourn into Executive Session Pursuant to C.R.S. 24-6-402(4) (b) for the Purpose of Receiving Legal Advice A motion was made by Commissioner O'Dorisio, seconded by Commissioner Pinter, that this Executive Session be approved. The motion carried by the following vote:

- Aye: 5 Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Hodge
- 3. RCU2019-00020 Garcia/Mariposa Rezone

 (File approved by ELT)
 A motion was made by Commissioner Tedesco, seconded by
 Commissioner Hodge, that this Land Use Hearing be approved. The
 motion carried by the following vote:
 - Aye: 5 Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Hodge

9. ADJOURNMENT

AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE

ADAMS COUNTY PUBLIC TRUSTEE OF	ERATIONAL E	XPENSE FOR THE QUART	ER ENDING SEPTEMBEI	R 2019
PERSONNEL SERVICES				
Salary - Permanent				50,370.75
Salary - Regular Part Time				4,207.50
Salary - Temporary Part Time				0.00
Overtime				0.00
	TOTAL			54,578.25
FRINGE BENEFITS				
Medical Insurance				8,467.50
Dental Insurance				129.18
Vision Insurance				20.64
Life Insurance				85.26
Disability Compensation				408.00
Retirement (PT Match)				4,533.36
Workmen's Compensation				377.02
Fica (PT Match)				3,215.84
Mcr (PT Match)				752.10
	TOTAL		•	17,988.90
				100.01
Operating Supplies Special Events			·	469.04
Releases - Postage				0.00 47.80
Envelopes & Labels				
Books & Forms				0.00 149.71
Subscriptions				0.00
Publications				7.56
	TOTAL			674.11
				V 1-1.11
CHARGES FOR SERVICES				
Office Equipment - Planned				0.00
Equipment Maint. & Rental				60.00
Office Equipment (Planned)				0.00
Business Meetings				200.00
Mileage Reimbursement				0.00
Water				0.00
Misc Expense				0.00
Petty Cash Expense				93.00
Auditing & Accounting				0.00
Office Rent or Payroll				185.00
Telephone				546.00
IT Support				245.00
Association Dues				0.00
Consultant - Non Recurring				0.00
Re-Recordings				46.00
Other Professional Service			· · ·	1,651.16
Education & Training				0.00
Travel & Transportation				0.00
Insurance Premiums & Bonds				0.00
Computer Supplies/Upgrades		. · ·	·	0.00
ADDITAL OUT IN	TOTAL		2 - N	3,026.16
Computer Software Purchases				0.00
Computer Hardware Purchases				0.00
Office Furniture & Equipment	TOTAL			0.00
TOTAL EXPENDITURES FOR QUARTER				
				76,267.42
RECONCILIATION	ovroll			***=
Total of Other Check Not Written - hold for rent/pa	аугон			\$185.00
Other - Insurance Refund				\$0.00
Adjustment Re-Recordings for the quarter	1			\$0.00
Re-Recordings for the quarter Total Deposits to General Exp.				\$46.00
Less Deposits to General Exp.				\$76,036.42
Loss Depusits to Trostagermisorcopies				\$0.00
	TOTAL			\$76,267.42
		OVER/SHORT	н. Полого (1996)	0.00

PUBLIC TRUSTEE REVENUE FOR QUARTER ENDING SEPTEMBER 2019 FORECLOSURE REVENUE:

Foreclosure and Withdrawal Fees

32,038.98

32,038.98

410.00

0.00

146,883.98

TOTAL REVENUE COLLECTED FOR FORECLOSURES

PUBLIC TRUSTEE DOCUMENTS:

1	(Certificates of Redemption @ 30.00 each)	30.00
4	(Lienor Intents to Redeem @ 50.00 each)	200.00
6	(Public Trustee Deeds @ 30.00 each)	180.00

TOTAL REVENUE COLLECTED FOR FORECLOSURE DOCUMENTS

PUBLIC TRUSTEE RELEASE FEES:

7,629 (Releases executed @ 15.00 each) 114,435.00
PUBLIC TRUSTEE TAX ESCROW FEES

0 (PT tax escrow fees @ 75.00 each)

TOTAL OF ALL PUBLIC TRUSTEE FEES COLLECTED FOR THE 3RD QUARTER, 2019

OPERATIONAL EXPENSES FOR QUARTER			
Personnel Services	54,578.25		
Fringe Benefits	17,988.90		
Operating & Maintenance	118,049.16		
Charges for Services	3,515.27		
Capital Outlay	<u>0.00</u>		
TOTAL OPERATIONAL EXPENSES			194,131.58
SUMMARY OF QUARTERLY TRANSACTIONS			
Total Fees Collected for the Quarter			146,883.98
Transfer Excess PT Fees to Escrow Holding/Rent			(185.00)
Transfer Misc/Copies to PT fees			 0.00
Less Operational Expenses for Quarter	,	· · ·	(76,082.42)

BALANCE:

QUARTER ENDING BALANCE:

70,616.56

.

DISPOSITION OF BALANCE OF PUBLIC TRUSTEE FEES COLLECTED 3RD QUARTER: 2019	·
QUARTER ENDING BALANCE	70,616.56
AMOUNT DEPOSITED WITH ADAMS COUNTY TREASURER	70,616.56
TRUSTEE ESCROW FUND PER C.R.S. 38-37-104 (ColoTrust Reserve)	343,674.08
	·
ENDING QUARTER BALANCES OF PUBLIC TRUSTEE ACCOUNTS	· .
Copies & Misc. Accts (Beg. Bal 13128.62 + revenues 1063.45 - <1338.71> expenses	12,853.36
Postage Acct (Beg. Bal 4507.80 + revenues 2108.84 - <1657.45> expenses)	4,959.19

PT Escrow Fund Acct (Beg. Bal 341705.07+ 1969.01)

Susan A. Orecchio upon oath duly sworn deposes and says the information contained herein above is true and correct to the best of her knowledge

E rl Susan A. Orecchio, Adams County Public Trustee



STATE OF COLORADO>

COUNTY OF ADAMS>

The foregoing was acknowledged before me on	10/16/19 by	Susan A. Orecchio as the Public Trustee
of Adams County, Colorado.	1 6	

My Commission Ex Notary Public

BONNIE KOVTYNOVICH NOTARY PUBLIC STATE OF COLORADO NOTARY ID 19984005044 MY COMMISSION EXPIRES APRIL 5, 2022

343,674.08

ADAMS COUNTY BOARD OF COMMISSIONERS APPROVAL

Dated:

Chair, Adams County Board of Commissioners



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 29, 2019

SUBJECT: Major Subdivision, Final Plat for Blackstone Ranch Subdivision, Filing 4

FROM: Jill Jennings Golich, Community and Economic Development Director

AGENCY/DEPARTMENT: Community & Economic Development Department

HEARD AT STUDY SESSION ON n/a

AUTHORIZATION TO MOVE FORWARD: YES NO

RECOMMENDED ACTION: That the Board of County Commissioners approves the Blackstone Ranch Subdivision, Filing 4 final plat and associated subdivision improvement agreement with 7 findings-of-fact, 1 condition, and 1 note.

BACKGROUND:

Pauls Development East, LLC is requesting a major subdivision final plat to create 75 singlefamily residential lots, five non-residential tracts, and associated public streets on approximately 23 acres. The site is located approximately 1,200 feet southeast of the intersection of East 26th Avenue and Aspen Street. Most of the surrounding properties are designated within agricultural or residential zoned districts. The request is for the fourth filing of the Blackstone Ranch subdivision. The three previously approved filings of the Blackstone Ranch subdivision have created 172 single-family residential lots.

Section 2-02-17-04 of the County's Development Standards and Regulations outline the criteria for approval of a final plat. The proposed request conforms to all requirements outlined in the Development Standards and Regulations (see attached staff report). The proposed lots conform to the minimum lot size required for development in the R-1-C zoned district, as well as all associated public improvements.

Per Section 5-02-05 of the County's Development Standards and Regulations, a Subdivision Improvements Agreement (SIA) is required with approval of a final plat. The required improvements include construction of infrastructure, such as public streets, curbs, gutters, sidewalks, and storm sewers to serve development. Staff has reviewed the SIA and determined the proposed agreement complies with the County's Development Standards and Regulations (See Exhibit 3.3).

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED: None

ATTACHED DOCUMENTS:

- BOCC staff report and packet
- Resolution approving application in case PLT2019-00001

FISCAL IMPACT:

Please check if there is no fiscal impact \boxtimes . If there is fiscal impact, please fully complete the section below.

Fund:

Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	Account		
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested:	YES	NO
Future Amendment Needed:	YES	

RESOLUTION APPROVING APPLICATION IN CASE #PLT2019-00001 BLACKSTONE RANCH, FILING 4 FINAL PLAT

WHEREAS, this case involved a Request for Final Plat to create 75 single-family residential lots and 5 non-residential tracts.

APPROXIMATE LOCATION: Approximately 1,200 feet southeast of the intersection of East 26th Avenue and Aspen Street, Strasburg, CO (Parcel # 0181333100009)

LEGAL DESCRIPTION: A PARCEL OF LAND LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 3 SOUTH, RANGE 62 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

<u>COMMENCING</u> AT THE NORTHEAST CORNER OF SAID SECTION 33, WHENCE THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33 BEARS SOUTH 89°17'10" WEST, A DISTANCE OF 2613.96 FEET, ALL BEARINGS HEREON ARE REFERENCED TO THIS LINE;

THENCE SOUTH 54°18'12" WEST, A DISTANCE OF 1,667.58 FEET TO A POINT ON THE WESTERLY BOUNDARY OF BLACKSTONE RANCH FILING NO. 2A, AS RECORDED AT RECEPTION NO. 2016000035452 AND THE SOUTHEAST CORNER OF BLACKSTONE RANCH FILING NO. 3, AS RECORDED AT RECEPTION NO. 2018000080418 IN THE RECORDS OF THE CLERK AND RECORDER OF SAID ADAMS COUNTY AND THE <u>POINT OF BEGINNING:</u>

THENCE ALONG SAID WESTERLY BOUNDARY THE FOLLOWING NINE (9) COURSES: 1) SOUTH 00°27'21" EAST, A DISTANCE OF 81.00 FEET;

- 2) SOUTH 44°24'54" WEST, A DISTANCE OF 28.35 FEET;
- 3) SOUTH 00°27'21" EAST, A DISTANCE OF 50.00 FEET;
- 4) SOUTH 45°35'06" EAST, A DISTANCE OF 28.22 FEET;
- 5) SOUTH 00°27'21" EAST, A DISTANCE OF 162.00 FEET;
- 6) SOUTH 44°24'55" WEST, A DISTANCE OF 28.35 FEET;
- 7) SOUTH 00°27'22" EAST, A DISTANCE OF 50.00 FEET;
- 8) SOUTH 45°35'06" EAST, A DISTANCE OF 28.22 FEET;

9) SOUTH 00°27'21" EAST, A DISTANCE OF 162.00 FEET TO THE WESTERLY LINE OF BLACKSTONE RANCH FILING NO. 2-B AS RECORDED AT RECEPTION NO. 2016000045767, IN SAID RECORDS;

THENCE ALONG SAID WESTERLY BOUNDARY THE FOLLOWING FOUR (4) COURSES:

- 1) SOUTH 44°24'54" WEST, A DISTANCE OF 28.35 FEET;
- 2) SOUTH 00°27'21" EAST, A DISTANCE OF 50.00 FEET;
- 3) SOUTH 45°35'06" EAST, A DISTANCE OF 28.22 FEET;

4) SOUTH 00°27'21" EAST, A DISTANCE OF 166.39 FEET TO THE NORTHERLY BOUNDARY OF ENGLEBRECHT SUBDIVISION FILING NO. 1 RECORDED AT RECEPTION NO. C0987100 IN SAID RECORDS;

THENCE ALONG SAID NORTHERLY BOUNDARY, SOUTH 89°02'41" WEST, A DISTANCE OF 1217.85 FEET TO THE EASTERLY BOUNDARY OF BLACKSTONE RANCH FILING NO. 3 RECORDED AT RECEPTION NO. 2018000080418 IN SAID RECORDS;

THENCE ALONG THE EASTERLY AND SOUTHERLY BOUNDARIES OF SAID BLACKSTONE RANCH FILING NO. 3 THE FOLLOWING FOUR (4) COURSES: 1) NORTH 00°16'12" WEST, A DISTANCE OF 801.54 FEET;

- 2) NORTH 89°17'10" EAST, A DISTANCE OF 169.41 FEET;
- 3) NORTH 00°50'07" WEST, A DISTANCE OF 45.00 FEET;

4) NORTH 89°17'10" EAST, A DISTANCE OF 1046.11 FEET TO THE <u>POINT OF</u> <u>BEGINNING.</u>

CONTAINING AN AREA OF 23.297 ACRES, (1,014,807 SQUARE FEET), MORE OR LESS.

WHEREAS, the Board of County Commissioners held a public hearing on the application on the 29th day of October, 2019; and

WHEREAS, substantial testimony was presented by members of the public and the applicant.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that based upon the evidence presented at the hearing, the application in this case is hereby APPROVED based upon the following findings-of-fact and subject to the fulfillment of the following conditions by the applicant:

FINDINGS-OF-FACT

- 1. The final plat is consistent and conforms to the approved preliminary plat.
- 2. The final plat is in conformance with the subdivision design standards.
- 3. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.

- 4. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that the system complies with state and local laws and regulations.
- 5. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.
- 6. The proposed or constructed drainage improvements are adequate and comply with these standards and regulations.
- 7. Adequate public facilities or infrastructure, or cash-in-lieu, for impacts reasonably related to the proposed subdivision have been constructed or financially guaranteed through cash-in-lieu or a subdivision improvements agreement so the proposed subdivision will not negatively impact the levels of service of the County.

Note to the Applicant:

- 1. The applicant shall comply with all building, zoning, fire, engineering, and health codes and regulations during the development of the subject site.
- 2. The Colorado Geologic Survey has identified presence of collapsible soils in the area. It is imperative that grading, surface drainage, and subsurface drainage are correctly designed, constructed, and maintained to prevent wetting of potentially collapsible soils in the immediate vicinity of building foundations.
- 3. The Colorado Division of Parks and Wildlife has requested that a survey of the property for nesting of burrowing owls occurs if earthmoving occurs between March 15th and October 31st of any given year. These raptors are classified as a state threatened species and are protected by both state and federal laws, including the Migratory Bird Treaty Act. These laws prohibit the killing of burrowing owls or disturbance of their nests. Guidelines for performing a burrowing owl survey can also be obtained from the local District Wildlife Manager.



COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

CASE NO.: PLT2019-00001 CASE NAME: BLACKSTONE RANCH, FILING 4

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EXHIBIT 2- Maps

- 2.1 Aerial Map
- 2.2 Zoning Map
- 2.3 Future Land Use Map

EXHIBIT 3- Applicant Information

- 3.1 Applicant Written Explanation
- 3.2 Applicant Final Plat
- 3.3 Applicant Subdivision Improvements Agreement

EXHIBIT 4- Referral Comments

- 4.1 Referral Comments (Adams County)
- 4.2 Referral Comments (Colorado Division of Parks & Wildlife)
- 4.3 Referral Comments (Colorado Division of Water Resources)
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- 4.5 Referral Comments (IREA)
- 4.6 Referral Comments (Strasburg Fire)
- 4.7 Referral Comments (Strasburg Schools 31J)
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EXHIBIT 5- Citizen Comments

5.1 None

EXHIBIT 6- Associated Case Materials

- 6.1 Request for Comments
- 6.2 Referral Agency Labels
- 6.3 Property Owner Labels



COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

STAFF REPORT

Board of County Commissioners

October 15, 2019

CASE No.: PLT2019-00001 CASE NAME: Blackstone Ranch, Filing 4

Owner's Name:	Paulscorp, LLC	
Applicant's Name:	Pauls Development East, LLC	
Applicant's Address:	270 St. Paul Street, Suite 300, Denver, CO 80206	
Location of Requests:	Approximately 1,200 feet southeast of the intersection of East 26 th	
	Avenue & Aspen Street	
Nature of Requests:	1) Major Subdivision Final Plat for 75 lots and 5 tracts; 2)	
	Subdivision Improvements Agreement (SIA)	
Zone District:	Residential-1-C (R-1-C)	
Site Size:	23.2 acres	
Proposed Uses:	Single-Family Residential	
Existing Use:	Vacant	
Hearing Date(s):	BoCC: October 15, 2019 / 9:30 a.m.	
Report Date:	October 17, 2018	
Case Manager:	Greg Barnes	
Staff Recommendation:	APPROVAL of the Final Plat and Subdivision Improvement	
	Agreement with 7 Findings-of-Fact and 3 Notes	

SUMMARY OF PREVIOUS APPLICATIONS

On March 21, 2005, the Board of County Commissioners approved the rezoning of the 108-acre property from Agriculture-3 (A-3) to Residential-1-C (R-1-C). This 108-acre property is currently known as the Blackstone Ranch subdivision.

On May 22, 2006, the Board of County Commissioners approved a major subdivision final plat (Filing 1) of Blackstone Ranch to create 43 lots on 30.34 acres. Blackstone Ranch, Filing 1 is fully constructed and occupied.

On April 19, 2016, the Board of County Commissioners approved a major subdivision final plat (Filing 2-A) of Blackstone Ranch to create 43 lots on 10.93 acres. Blackstone Ranch, Filing 2-A is fully constructed and occupied.

On June 7, 2016, the Board of County Commissioners approved a major subdivision final plat (Filing 2-B) of Blackstone Ranch to create 18 lots on 10.79 acres. Blackstone Ranch, Filing 2-B is fully constructed and occupied.

On November 4, 2017, the Board of County Commissioners approved a major subdivision preliminary plat for Filing 3 (Blackstone Ranch) to create 163 lots on 53.8 acres. Filing 3 was subsequently divided into Filings 3 and 4. The final plat for Filing 3 for 88 lots was approved by the Board of County Commissioners on July 10, 2018. The subject application is for a final plat for 75 lots on Filing 4.

SUMMARY OF APPLICATION

Background:

Pauls Development East, LLC is requesting a major subdivision final plat to create 75 singlefamily residential lots, five non-residential tracts, and associated public streets on approximately 23 acres. The site is located approximately 1,200 feet southeast of the intersection of East 26th Avenue and Aspen Street. Most of the surrounding properties are designated in agricultural or residential zoned districts. The request is for the fourth filing of the Blackstone Ranch subdivision. The three previously approved filings of the Blackstone Ranch subdivision have created 172 single-family residential lots.

Site Characteristics:

The site is located southeast of the intersection of East 26th Avenue and Aspen Street in the unincorporated community of Strasburg. The site is currently vacant; however, it is adjacent to single-family residential dwellings, located north and east of the site. The adjoining single-family development is part of the overall 108-acre property rezoned on March 21, 2005 known as the Blackstone Ranch Subdivision, Filings 1-3.

Development Standards and Regulations Requirements

<u> Major Subdivision (Final Plat):</u>

Per Section 2-02-17-04-05 of the County's Development Standards and Regulations, a final plat must be consistent and conform to an approved preliminary plat. On November 4, 2017, the Board of County Commissioners approved a preliminary plat on the subject property (i.e. Blackstone Ranch, Filing 3). The subject request conforms to the corresponding section of the approved preliminary plat. The proposed final plat includes traffic-calming devices in the subdivision. This was a recommendation of the Planning Commission during review of the preliminary plat.

The minimum lot size approved with the preliminary plat is 7,000 square feet for internal lots and 7,500 square feet for corner lots. The smallest lot size proposed in the subject filing is 7,200 square feet, which conforms to the required minimum lot size shown on the preliminary plat and in the R-1-C district. The lots also conform to the minimum required lot width of 65 feet for internal lots and 70 feet for corner lots in the R-1-C district. All streets shown on the plat

conform to the County's requirements. These streets will be dedicated to the County and constructed to Adams County standards for local streets. In addition, all lots will have access to public streets.

Adequate provisions for water and sewer facilities are required with all final plats. The applicant obtained a letter of intent from Eastern Adams County Metropolitan District of their ability to provide service to the development. The Colorado Division of Water Resources reviewed the proposed subdivision and stated a water supply plan for the entire Blackstone Ranch subdivision has previously been approved (see Exhibit 3.1).

Requirements for public land dedication outlined in Section 5-05 of the County's Development Standards have been met. In accordance with Section 5-05-04-05 and 5-05-05-04 of the County's Development Standards, cash-in-lieu of land dedication shall be required when deemed by the Board of County Commissioners to be more appropriate in satisfying the needs of the school and park districts planned to serve the proposed subdivision. The applicant has provided the required payment in the amount of \$219,301.47.

Subdivision Improvement Agreement (SIA):

Per Section 5-02-05 of the County's Development Standards and Regulations, a subdivision improvement agreement is required with a final plat. The SIA allows for construction of infrastructure, such as public streets, curbs, gutters, sidewalks, and storm sewers to be constructed on the property. All streets and sidewalks in the development are proposed to be public and constructed to local street standards.

Future Land Use Designation:

The future land use designation on the property is urban residential. Per Chapter 5 of the County's Comprehensive Plan, the urban residential areas are those designated for single and multiple family housing, typically at urban densities of one dwelling per acre or greater. The urban residential areas are intended to provide for development of residential neighborhoods with a variety of housing types, with adequate urban services and transportation facilities. The subject request consists of approximately 2.8 dwelling units per acre and conforms to the goals of the Comprehensive Plan to provide higher density housing near urban services and transportation. The development has access on East 24th, 25th, and 26th Avenues, as well as East 26th Place. All of these streets are adequate to support the development as determined by the engineering plan review.

The subject property is also located in the County's Strasburg Plan. The plan was adopted to encourage higher-density development within Strasburg, while limiting the density of the surrounding area. The plan shows projected growth of Strasburg to be between 10,000-12,000 residents and recommends maintaining the small-town, agricultural character of the community. Per the Plan, Adams County portions of Strasburg should limit residential estate development to a density of less than one dwelling unit per acre. The proposed density for the subject request is greater than one dwelling unit per acre and consistent with the Plan. In addition, the proposed preliminary plat conforms to both the Comprehensive Plan and the Strasburg Plan. Both plans designate the subject site for residential uses.

	North	Northoost
Northwest	North	Northeast
A-3	R-1-C	R-1-C
Vacant	Single-Family Residential	Single-Family Residential
West	Subject Property	East
A-3	R-1-C	R-1-C
Vacant	Single-Family Residential	Single-Family Residential
Southwest	South	Southeast
A-3	A-1, PUD	A-2
Vacant	Church, School	School

Surrounding Zoning Designations and Existing Use Activity:

Compatibility with the Surrounding Land Uses:

The properties to the east and north of the proposed development are developed as single-family residential and are within the same (Blackstone Ranch) subdivision. Properties located directly west and south of the subject filing are either vacant or developed as a church or school. The proposed request for a final plat to develop single-family dwellings is consistent with all the surrounding uses.

Staff Recommendations:

Based upon the application, the criteria for approval of a final plat, and recent site visit, staff recommends approval of this request with 7 findings-of-fact and 3 notes.

RECOMMENDED FINDINGS-OF-FACT

- 1. The final plat is consistent and conforms to the approved preliminary plat.
- 2. The final plat is in conformance with the subdivision design standards.
- 3. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.
- 4. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that the system complies with state and local laws and regulations.
- 5. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.
- 6. The proposed or constructed drainage improvements are adequate and comply with these standards and regulations.
- 7. Adequate public facilities or infrastructure, or cash-in-lieu, for impacts reasonably related to the proposed subdivision have been constructed or financially guaranteed through cash-in-lieu or a subdivision improvements agreement so the proposed subdivision will not negatively impact the levels of service of the County.

Recommended Note to the Applicant:

- 1. The applicant shall comply with all building, zoning, fire, engineering, and health codes and regulations during the development of the subject site.
- 2. The Colorado Geologic Survey has identified presence of collapsible soils in the area. It is imperative that grading, surface drainage, and subsurface drainage are correctly designed, constructed, and maintained to prevent wetting of potentially collapsible soils in the immediate vicinity of building foundations.
- 3. The Colorado Division of Parks and Wildlife has requested that a survey of the property for nesting of burrowing owls occurs if earthmoving occurs between March 15th and October 31st of any given year. These raptors are classified as a state threatened species and are protected by both state and federal laws, including the Migratory Bird Treaty Act. These laws prohibit the killing of burrowing owls or disturbance of their nests. Guidelines for performing a burrowing owl survey can also be obtained from the local District Wildlife Manager.

FUBLIC C	UNIVIENIS
Number of Notices Mailed	Number of Public Comments
(1000 Feet)	Received by Staff
100	0

PUBLIC COMMENTS

One hundred (100) notices were mailed to all property owners and residents within 750 feet of the request. As of writing this report, staff has not received any comments from nearby residents expressing concerns with the request.

COUNTY AGENCY COMMENTS

Adams County staff reviewed the subject request and determined the proposed final plat complies with the subdivision design standards outlined in Section 5-03 of the Development Standards and Regulations. All lot configurations proposed conforms to lot dimensions in the R-1-C zone district. Evidence of the ability to provide adequate water and sewage facilitates have also been provided.

REFERRAL AGENCY COMMENTS

The Colorado Division of Water Resources also reviewed the subject request and stated a commitment from the Eastern Adams County Metropolitan District is on file for adequate supply of services to the development.

The Colorado Geologic Survey reviewed the request and identified presence of collapsible soils in the area. They stated it is imperative that grading, surface drainage, and subsurface drainage are correctly designed, constructed, and maintained to prevent wetting of potentially collapsible soils in the immediate vicinity of building foundations.

The Colorado Division of Parks and Wildlife (CPW) has requested that a survey of the property for nesting of burrowing owls occurs if earthmoving occurs between March 15th and October 31st of any given year. These raptors are classified as a state threatened species and are protected by both state and federal laws, including the Migratory Bird Treaty Act. These laws prohibit the killing of burrowing owls or disturbance of their nests. Guidelines for performing a burrowing owl survey can also be obtained from the local District Wildlife Manager.

In addition, Future residents should be informed that wildlife such as fox, coyotes, and raccoons might frequent the development area in search of food and cover. Coyotes, foxes, cottontail rabbits, and raccoons are several species that have adapted to living in urban environments. CPW recommends that people moving into and residing in this area take the proper precautions to prevent unnecessary conflicts with wildlife. Due to the potential for human-wildlife conflicts associated with this project, CPW has urged the applicant to consider educating future homeowners about the existence of wildlife in the area. Examples of these practices include: keeping pet foods and bowls indoors, securing of garbage containers, a reminder that feeding of wildlife, with the exception of birds, is illegal, and a reminder that pamphlets are available through CPW offices and online.

Responding with Concerns:

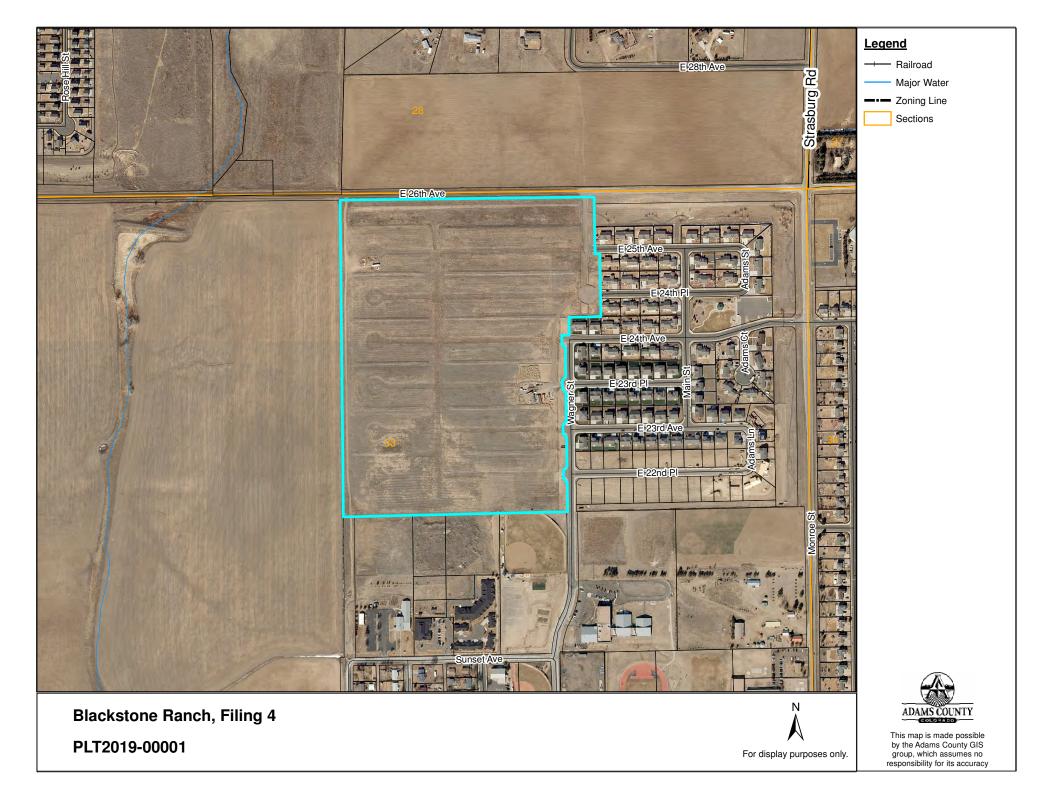
Colorado Division of Parks & Wildlife Colorado Geological Survey Strasburg Water & Sanitation District

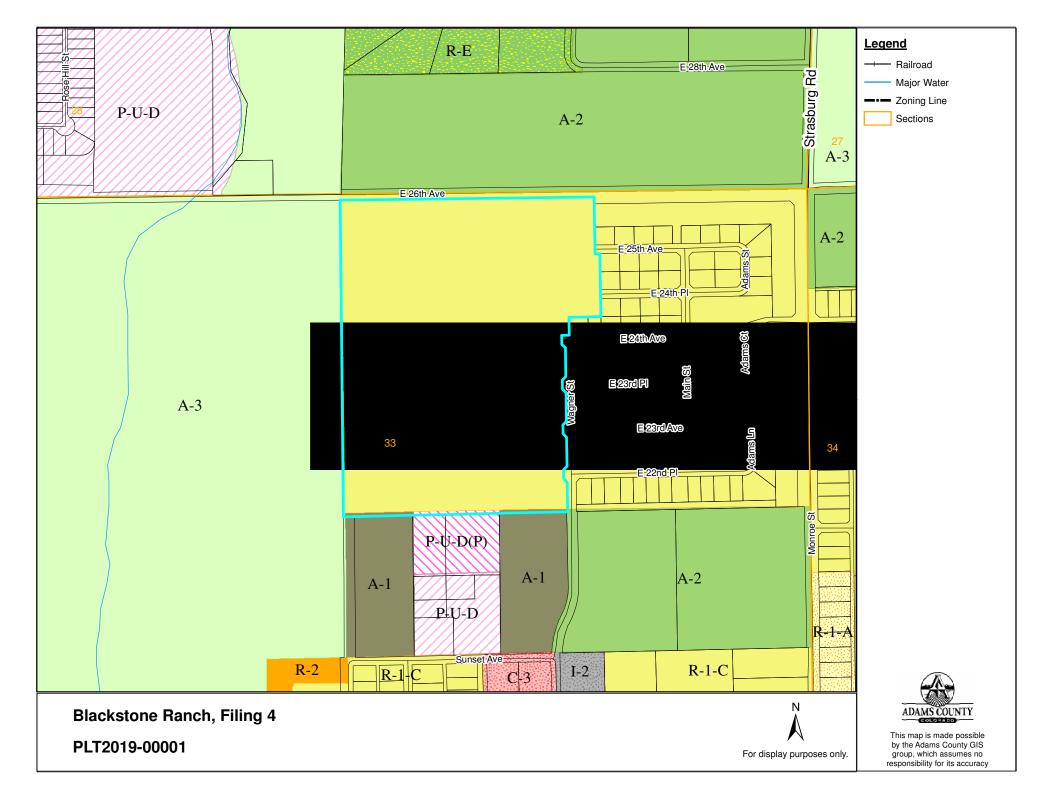
Responding without Concerns:

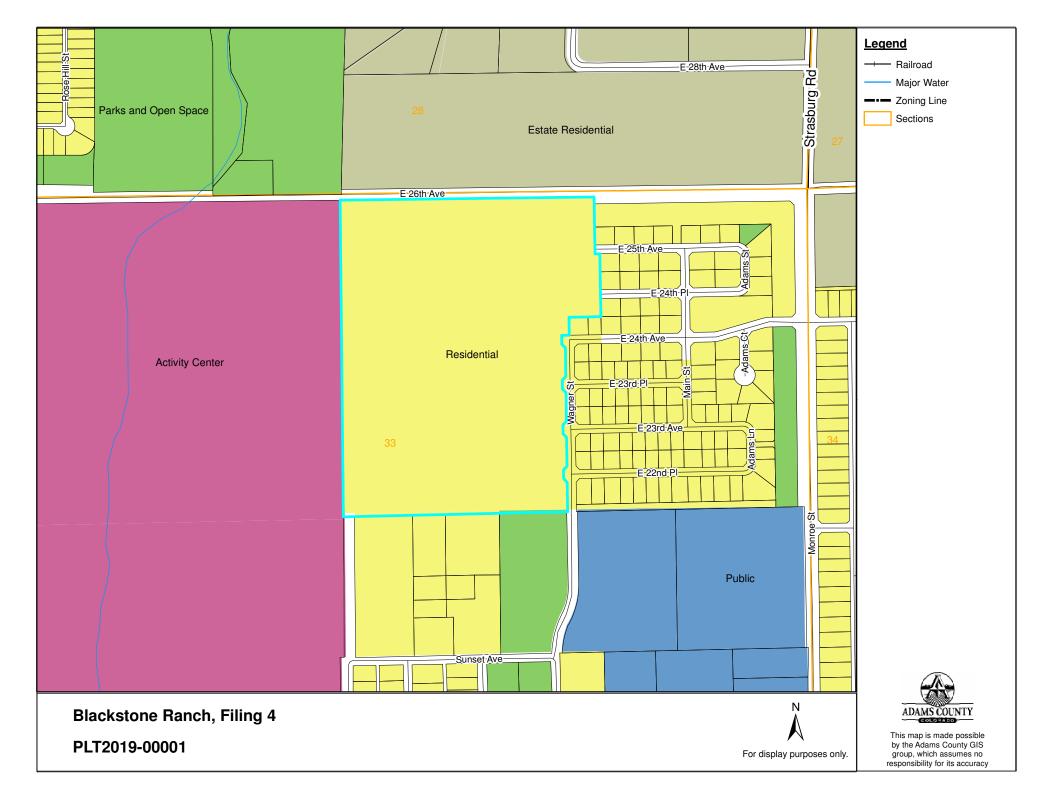
Colorado Division of Water Resources Intermountain Rural Electric Association (IREA) Strasburg Fire Protection District #8 Strasburg School District 31J Tri-County Health Department Xcel Energy

Notified but not Responding / Considered a Favorable Response:

CDOT Comcast Qwest Communications Strasburg Parks & Recreation District US Post Office







Explanation of the Request

Blackstone Ranch is a single-family residential subdivision in Strasburg, located to the South of 26th Avenue and to the West of Strasburg Mile Road. A preliminary plat was approved for the entirety of Blackstone Ranch in 2004, and a final plat for Blackstone Ranch Filing No. 1 was approved in 2006. After the County determined that the preliminary plat had expired, Pauls Development East obtained approval of a preliminary plat for Blackstone Ranch Filing No. 2 in 2015, followed by final plat approvals for Blackstone Ranch Filing No. 2-A and Blackstone Ranch Filing No. 2-B in 2016.

A preliminary plat called Blackstone Ranch Filing No. 3 was approved by the Board of County Commissioners on November 14, 2017. The preliminary plat included 163 lots on approximately 54.8 acres, located generally to the West of Filing No. 1, Filing No. 2-A, and Filing No. 2-B. On July 31, 2018, the Board of County Commissioners approved a final plat for 88 new lots within a portion of the area subject to the preliminary plat. This plat, called "Blackstone Ranch Filing No. 3," was recorded in the public records of Adams County, Colorado on October 3, 2018 at Reception No. 2018000080418.

The present application is for final plat approval Blackstone Ranch Filing No. 4 ("<u>BSR 4</u>"), a residential subdivision consisting of 75 new lots, generally located to the South of Blackstone Ranch Filing No. 3. BSR 4 is the final filing within Blackstone Ranch.

The area and dimensions of BSR 4's 75 lots are compliant with the requirements of the R-1-C zone district in which the Subject Property is located. BSR 4 offers a variety of lot sizes. Its layout and design are in full compliance with the Adams County Development Standards and Regulations.

The proposed Final Plat for BSR 4 meets the criteria for approval as follows:

1. The final plat is consistent and conforms to the approved preliminary plat.

The proposed final plat is consistent with and conforms to the preliminary plat.

2. The final plat is in conformance with the subdivision design standards.

The proposed final plat is in conformance with the subdivision design standards:

- The subdivision design considers the comprehensive plan, zoning, and the area's character.
- It is an appropriate and context-sensitive expansion of the existing Blackstone Ranch neighborhood within Strasburg.
- It is compatible with adjacent land uses.
- It preserves the natural terrain, drainage, and topsoil to the extent possible, consistent with the need to comply with applicable stormwater drainage requirements. There are no trees, wildlife habitat, or fisheries on the Subject Property.

Blackstone Ranch Filing No. 4 Final Plat Application Explanation of the Request Page 2 of 3

- There are no hazardous conditions or water hazards on the Subject Property or that affect the Subject Property.
- Noise abatement from roadways and railroads is not necessary.
- There is no encroachment into floodplains.
- The Subject Property is not affected by high groundwater.
- Lots are appropriately designed and configured and are accessed by roads that will be dedicated to the County.
- Drainage is designed according to County standards.
- Landscaping is planned according to County standards.
- Roads conform to the County transportation plan and County engineering standards, and external connections and internal circulation are appropriate.
- Non-vehicular facilities are provided, with future connections to adjacent development as shown in the preliminary plat.
- Required open space is provided.
- 3. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.

A "will-serve" letter from Eastern Adams County Metropolitan District is included with the application materials.

4. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence that the system complies with state and local laws and regulations.

A "will-serve" letter from Eastern Adams County Metropolitan District is included with the application materials.

5. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.

There are no known hazardous conditions on the Subject Property. Prior to the issuance of building permits, Pauls will complete lot-specific geotechnical investigations.

6. The proposed or constructed drainage improvements are adequate and comply with these standards and regulations.

Adequate drainage facilities are planned for BSR 4. Drainage plans have been approved by the County.

- 7. Adequate public facilities or infrastructure, or cash-in-lieu, for impacts reasonably related to the proposed subdivision have been constructed or financially guaranteed through cash-in-lieu or a subdivision improvements agreement so the proposed subdivision will not negatively impact the levels of service of the County.
 - The 75 proposed lots will create demand for approximately 2.475 acres of park land: 1.5 acres for neighborhood parks and 0.975 acres for regional parks.
 - The applicant will provide cash-in-lieu for regional parks that serve the proposed development in the amount of \$35,965.80, based on a calculated need for 0.975 acres of land for regional parks (0.013 acres / unit x 75 units).
 - The applicant will provide cash-in-lieu for neighborhood parks that serve the proposed development in the amount of \$55,332.00, based on a calculated need for 1.5 acres of land for neighborhood parks (0.02 acres / unit x 75 units).
 - The applicant will provide cash-in-lieu for school sites that serve the proposed development in the amount of \$128,003.67, based on a calculated need for 3.47 acres of land for schools (0.0462675 acres per unit x 75 units).
 - The application includes a fire protection report that has been submitted to the Strasburg Fire Protection District.
 - The proposed development of BSR 4 is anticipated to generate a total of 58.125 students (in public elementary, middle, and high schools). The Strasburg School District has capacity for the new students in Strasburg Elementary School, Hemphill Middle School, and Strasburg High School, all of which are within walking distance to the South of the proposed development.¹
 - Will-serve letters for all utility providers (including water and sewer) are included with this application.

The remaining required facilities and infrastructure are covered by the subdivision improvements agreement ("<u>SIA</u>").

¹ Strasburg Elementary School and Strasburg High School are located at 56729 E Colorado Ave, Strasburg, CO 80136. Hemphill Middle School is located at 2100 Wagner Street, Strasburg, CO 80136.

L)	 	neor, ir bion	20.00 1221,

- 3) SOUTH 00°27'21" EAST, A DISTANCE OF 50.00 FEET;
- 4) SOUTH 45°35'06" EAST, A DISTANCE OF 28.22 FEET;
- 5) SOUTH 00°27'21" EAST, A DISTANCE OF 162.00 FEET;
- 6) SOUTH 44°24'55" WEST, A DISTANCE OF 28.35 FEET;
- 7) SOUTH 00°27'22" EAST, A DISTANCE OF 50.00 FEET;
- 8) SOUTH 45°35'06" EAST, A DISTANCE OF 28.22 FEET;

9) SOUTH 00°27'21" EAST, A DISTANCE OF 162.00 FEET TO THE WESTERLY BOUNDARY OF BLACKSTONE RANCH FILING NO. 2-B AS RECORDED AT RECEPTION NO. 2016000045767, IN SAID RECORDS;

THENCE ALONG SAID WESTERLY BOUNDARY THE FOLLOWING FOUR (4) COURSES:

- 1) SOUTH 44°24'54" WEST, A DISTANCE OF 28.35 FEET;
- 2) SOUTH 00°27'21" EAST, A DISTANCE OF 50.00 FEET;
- 3) SOUTH 45°35'06" EAST, A DISTANCE OF 28.22 FEET;
- 4) SOUTH 00°27'21" EAST, A DISTANCE OF 166.39 FEET TO THE NORTHERLY BOUNDARY OF ENGLEBRECHT SUBDIVISION FILING NO. 1 RECORDED AT RECEPTION NO. C0987100 IN SAID RECORDS;

THENCE ALONG SAID NORTHERLY BOUNDARY, SOUTH 89'02'41" WEST, A DISTANCE OF 1217.85 FEET TO THE EASTERLY BOUNDARY OF SAID BLACKSTONE RANCH FILING NO. 3;

THENCE ALONG THE EASTERLY AND SOUTHERLY BOUNDARIES OF SAID BLACKSTONE RANCH FILING NO. 3 THE FOLLOWING FOUR (4) COURSES: 1) NORTH 00"16'12" WEST, A DISTANCE OF 801.54 FEET;

- 2) NORTH 89"17'10" EAST, A DISTANCE OF 169.41 FEET;
- 3) NORTH 00°50'07" WEST, A DISTANCE OF 45.00 FEET;

4) NORTH 89"17'10" EAST, A DISTANCE OF 1046.11 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 23.297 ACRES, (1,014,807 SQUARE FEET), MORE OR LESS.

HAS BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, STREETS, TRACTS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF **BLACKSTONE RANCH FILING NO. 4** AND DO HEREBY GRANT TO THE COUNTY OF ADAMS, STATE OF COLORADO, FOR THE USE OF THE PUBLIC, THE STREETS AND OTHER PUBLIC WAYS AND LANDS HEREON SHOWN. ALSO, HEREBY GRANT NON-EXCLUSIVE UTILITY EASEMENTS LOCATED AS SHOWN HEREON FOR THE INSTALLATION, MAINTENANCE, AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES, INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES, AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE, AND REPLACEMENT OF SUCH LINES.

EXECUTED THIS _____ DAY OF ______ A.D., 20___, BY: PAULSCORP, LLC, A DELAWARE LIMITED LIABILITY COMPANY

____ AS ____ TITLE

ACKNOWLEDGEMENT

COUNTY OF _____

NAME

STATE OF COLORADO

THE FOREGOING OWNERSHIP AND DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS

)SS

DAY OF _____, 20__, BY _____AS ____AS ____AUTHORIZED SIGNATORY FOR PAULSCORP, LLC, A DELAWARE LIMITED LIABILITY COMPANY.

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC MY COMMISSION EXPIRES: _____ MY ADDRESS IS: _____

32	PIGGOTT RD	BLACKSTON F BLACKSTO	33
T3	S	HWY 36	
T4	S	UNION PA	CIFIC
5			4

TRACT SUMMARY CH AREA (SF) AREA (AC TYPE 4,040 0.093 TRACT A TRACT B 8,080 0.185 8,080 TRACT C 0.185 TRACT D 48,711 1.118 TRACT E | 4,486 0.103 D & U = DRAINAGE AND UTILITIEH.O.A. = BLACKSTONE RANCH HOMEOWNERS ASSC

LIENHOLDER CERTIFICATE:

THE UNDERSIGNED HEREBY CONSENTS TO THE DEL EASEMENTS SHOWN ON THIS PLAT AND RELEASES ENCUMBRANCES RECORDED AT RECEPTION NUMBER 2016000011127, 2016000011128, AND 2016000011 OF THE ADAMS COUNTY CLERK AND RECORDER.

BY: INTERNATIONAL BANK
BY:
STATE OF COLORADO
COUNTY OF
THE FOREGOING LIENHOLDER CER ME THIS DAY OF
20, BY
20, BY OF INTERNATIONAL BANK.
WITNESS MY HAND AND OFFICIAL

NOT	TARY PUBLIC	
MY	COMMISSION EXPIRES: _	
MY	ADDRESS IS:	

CLERK AND RECORDER'S CERTIFIC THIS FINAL PLAT WAS FILED FOR RECORD IN THE RECORDER, IN THE STATE OF COLORADO, AT _____ OF ______A.D., 20__.

COUNTY CLERK AND RECORDER

BY: <u>DEPUTY</u>

RECEPTION NO. _____

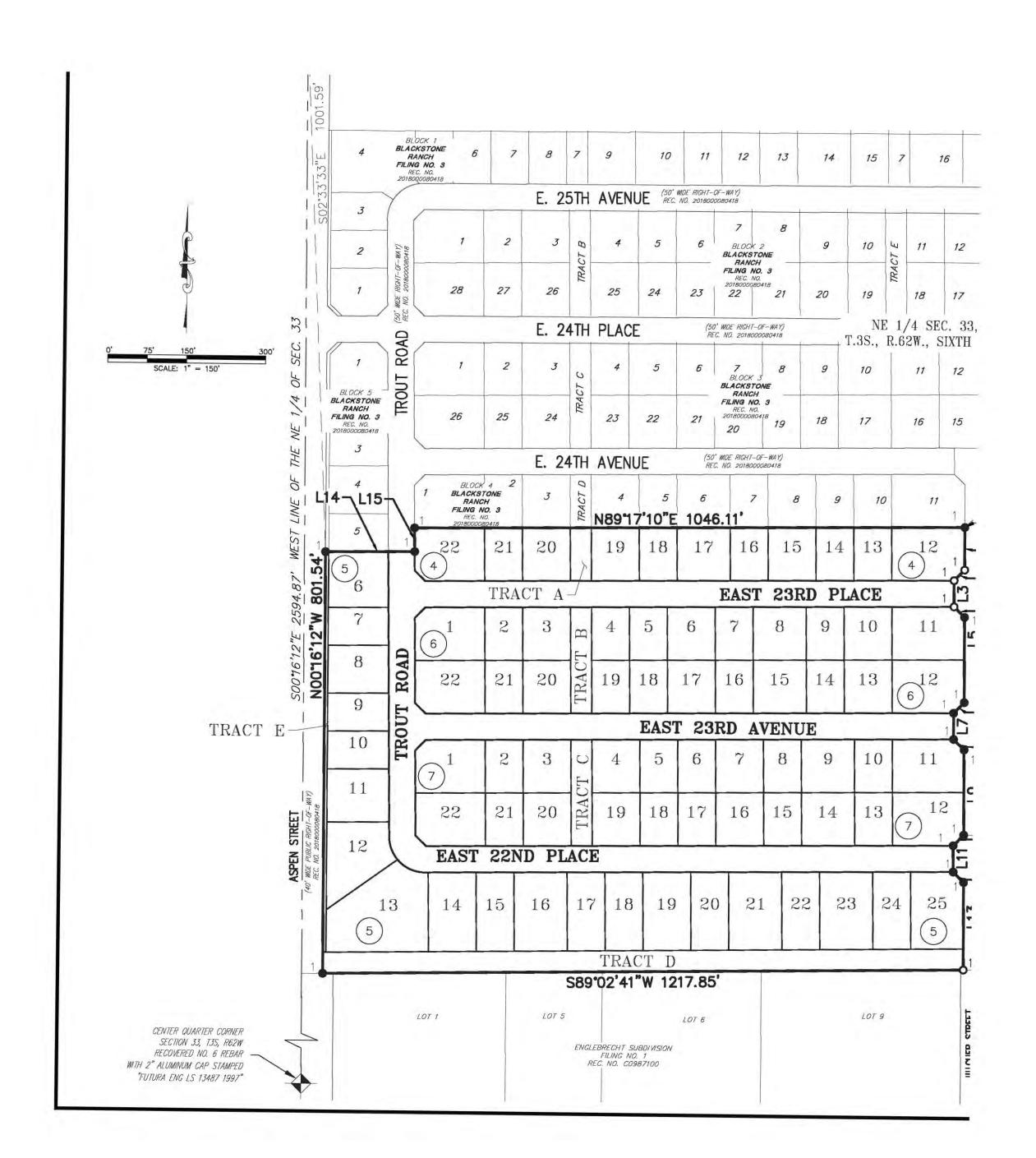


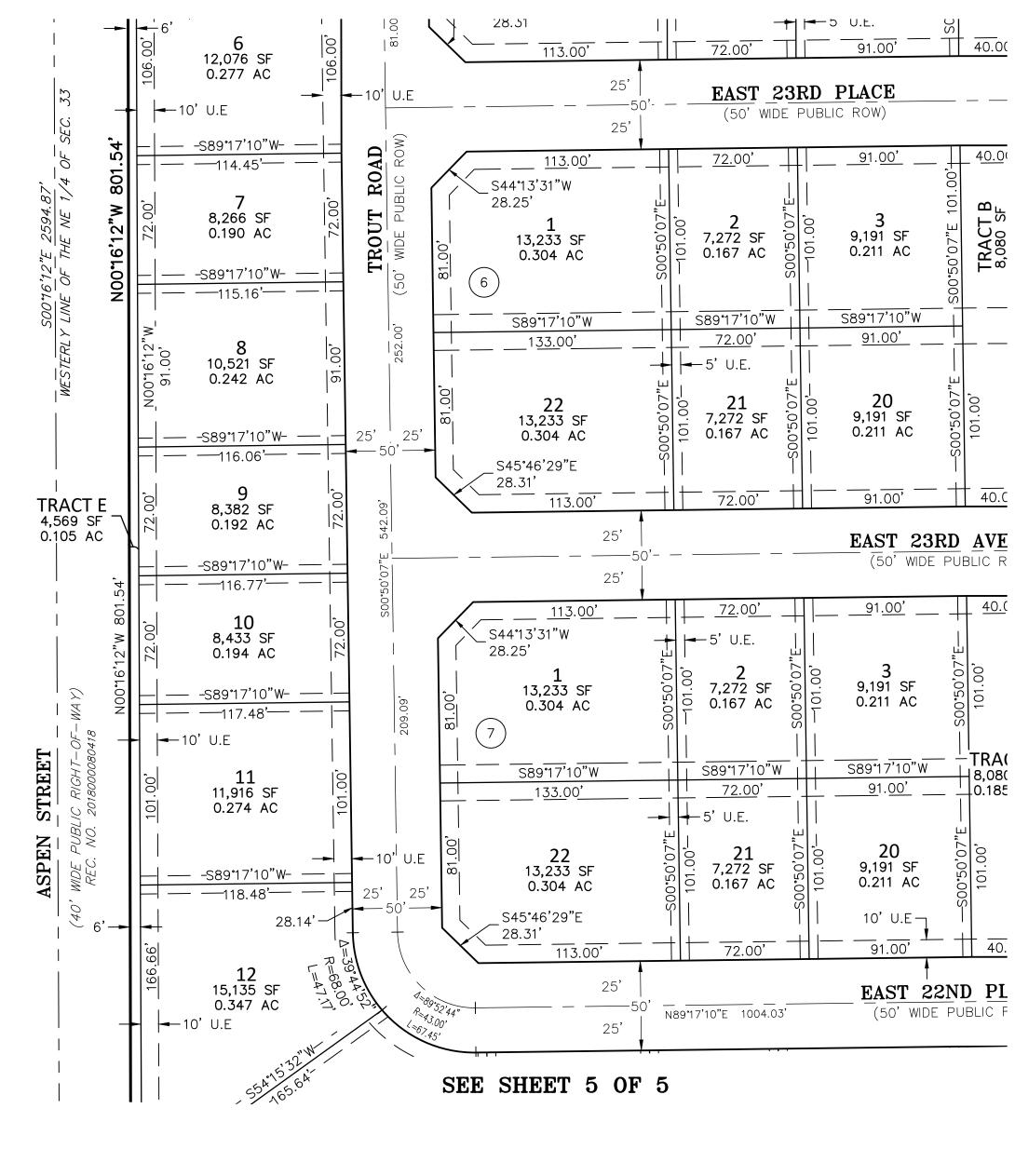
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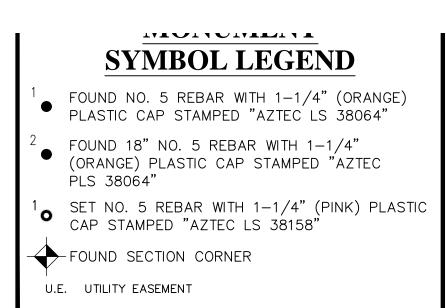
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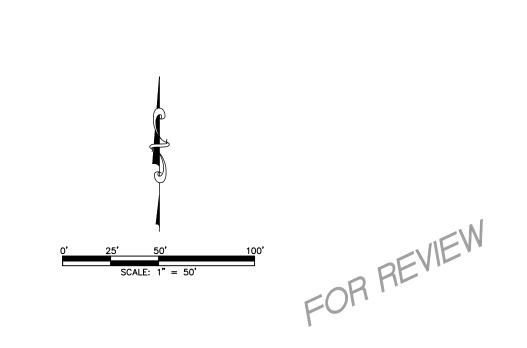
SEAL:







	LINE TABLE	
LINE	BEARING	LENGTH
L3	S00°27'21"E	50.00'
L5	S00°27'21"E	162.00'
L7	S00°27'22"E	50.00'
L9	S00°27'21"E	162.00'
L11	S00°27'21"E	50.00'



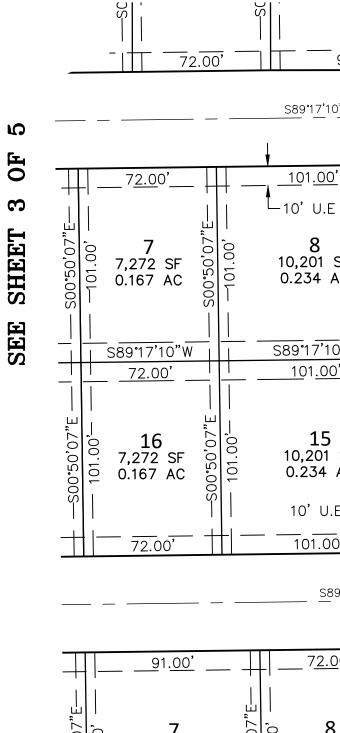
FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC S

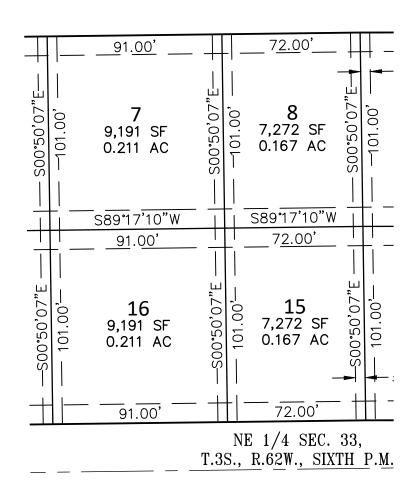
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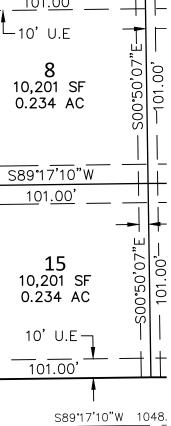
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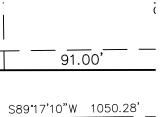
SHEET

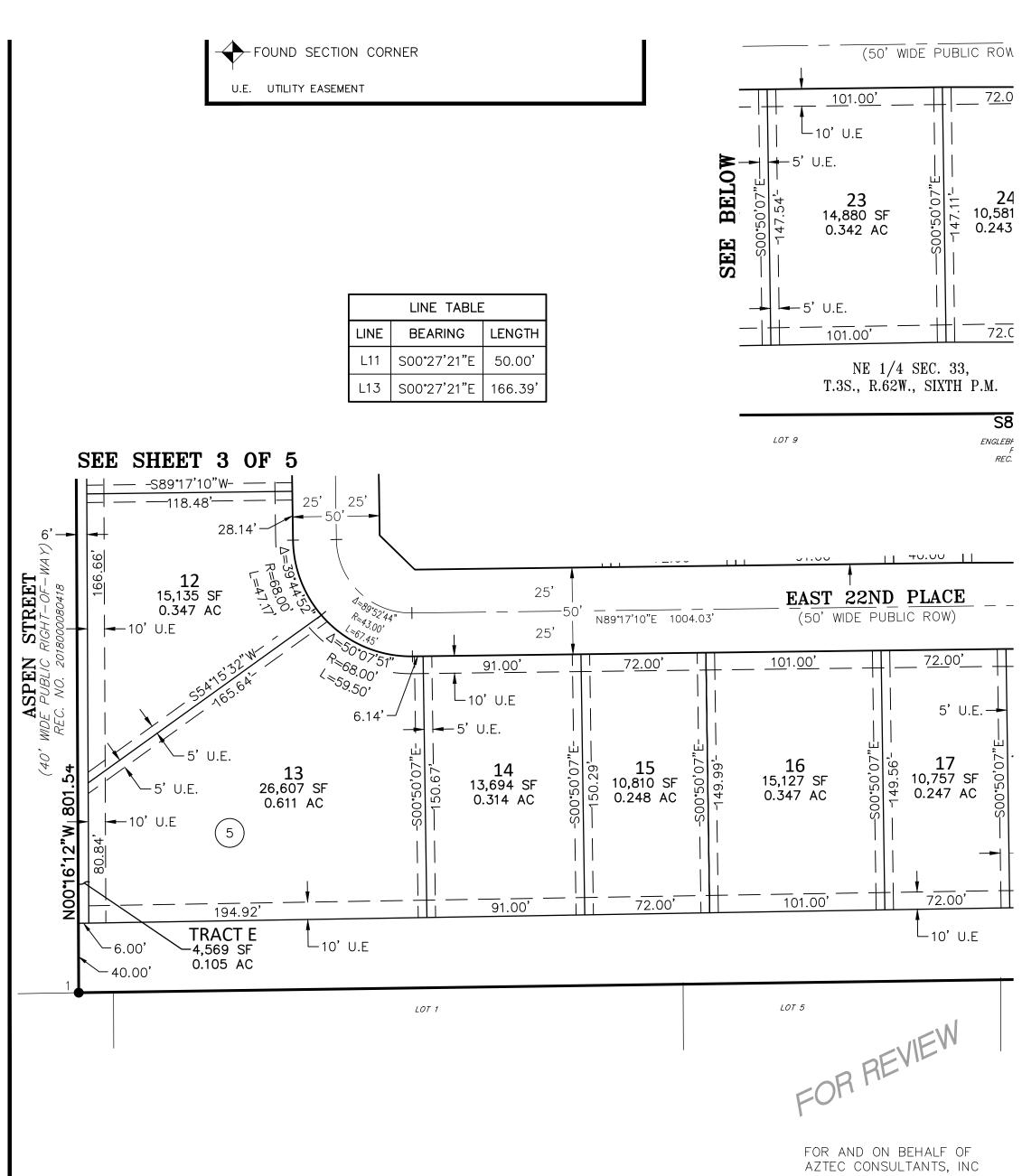
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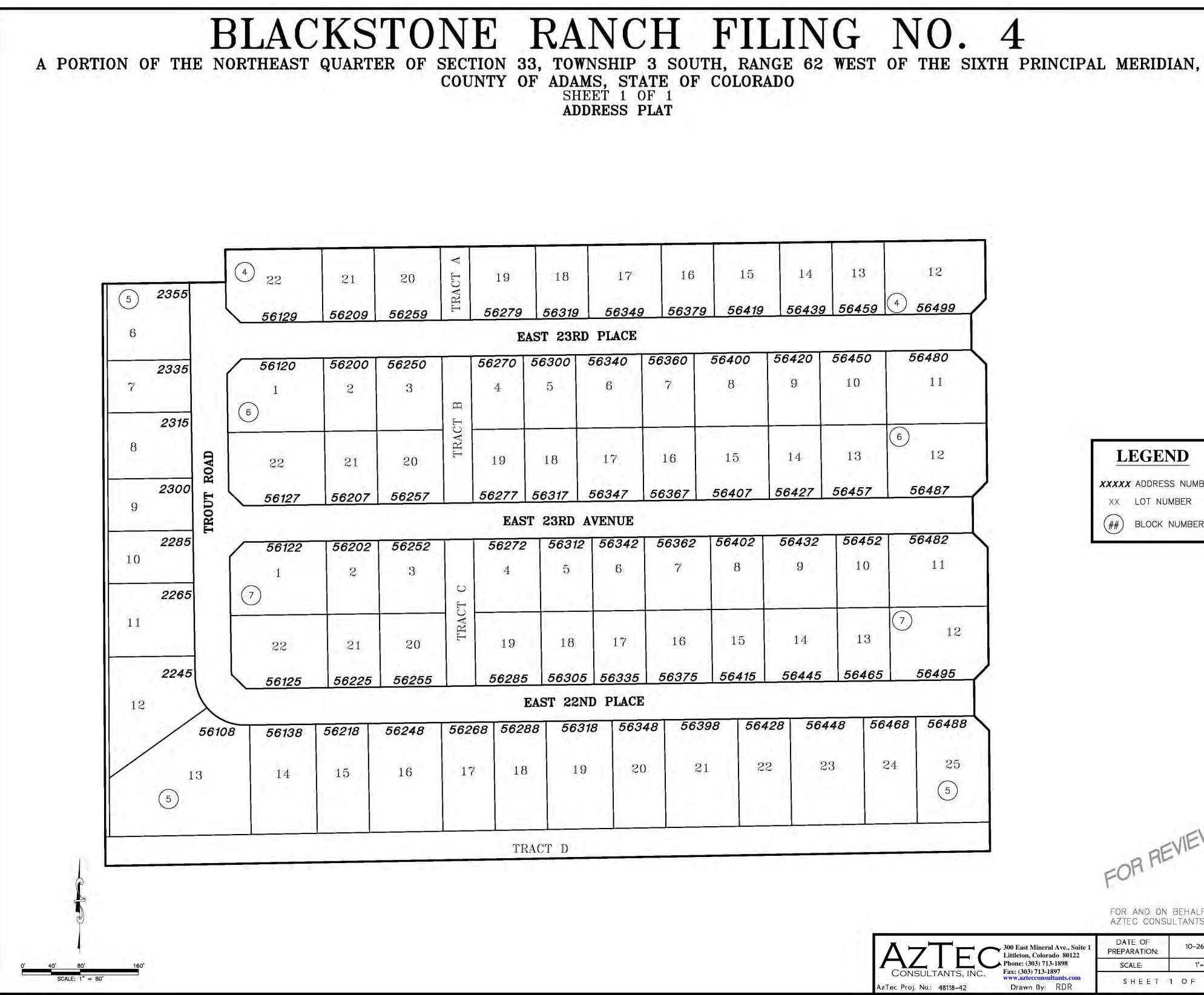












BLACKSTONE RANCH FILING NO. 4

SHEET 1 OF 1



SUBDIVISION IMPROVEMENTS AGREEMENT

THIS AGREEMENT is made and entered into by and between the County of Adams, State of Colorado, hereinafter called "County," and PaulsCorp, LLC, a Colorado limited liability company whose address is 270 St. Paul Street, Ste. 300, Denver, Colorado 80206, hereinafter called "Developer."

WITNESSETH:

WHEREAS, Developer is the owner of real property in the County of Adams, State of Colorado, as described in **Exhibit "A"** attached hereto, and by this reference made a part hereof.

WHEREAS, it is provided by resolution of the Board of County Commissioners ("BoCC"), County of Adams, that where designated the Developer shall have entered into a written agreement with the County to install public and/or private improvements, and to deed land for public purposes or right-of-way.

NOW, THEREFORE, in consideration of the foregoing, the parties hereto promise, covenant, and agree as follows:

- 1. Engineering Services. Developer shall furnish, at its own expense, all engineering and other services in connection with the design and construction of the improvements described and detailed on Exhibit "B" attached hereto, and by this reference made a part hereof. Developer shall obtain the approval of the Adams County Transportation Department and Development Engineering Services for all construction plans and engineering reports prepared by the Developer in connection with the design and construction of the improvements described and detailed on Exhibit "B".
- 3. **Drawings and Estimates**. Developer shall furnish drawings and cost estimates for all improvements described and detailed on **Exhibit "B"** for approval by the County. The Developer shall furnish one set of "as built" drawings and a final statement of construction costs to the County.
- 4. **Construction**. Developer shall furnish and construct, at its own expense and in accordance with drawings and materials approved by the County, the improvements described and detailed on **Exhibit "B"**.
- 5. **Time for Completion**. Improvements shall be completed according to the terms of this agreement within "construction completion date" appearing in **Exhibit "B"**. The Director of the Community

and Economic Development Department may for good cause grant extension of time for completion of any part of all of improvements appearing on said **Exhibit "B"**. Any extension greater than 180 days may be approved only by the Board of County Commissioners. Any extension of time shall be in written form only.

6. **Guarantee of Compliance**. Developer shall furnish to the County a cash escrow deposit or other acceptable collateral, releasable only by the County, to guarantee compliance with this agreement. Said collateral shall be in the amount of one million seven hundred fifty thousand five hundred eighty-two dollars (\$1,750,582.00), including twenty percent (20%) to cover administration and five percent (5%) per year for the term of the Agreement to cover inflation. Upon approval of the final plat, completion of said improvements constructed according to the terms of this agreement, and preliminary acceptance by the Director of Public Works in accordance with Section 5-02-05-01 of the County's Development Standards and Regulations, the collateral shall be released. Completion of said improvements will be determined solely by the County, and a reasonable part of said collateral, up to twenty percent (20%), may be retained to guarantee maintenance of public improvements for a period of one year from the date of completion.

No building permits will be issued until said collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners, and until the final plat has been approved and the improvements described in **Exhibit "B"** have been preliminarily accepted by the Department of Public Works..

- 7. Acceptance and Maintenance of Public Improvements. All improvements designated "public" on Exhibit "B" shall be public facilities and become the property of the County or other public agencies upon acceptance of the improvements. During the period of one year from and after the acceptance of public improvements, the Developer shall, at its own expense, make all needed repairs or replacement due to defective materials or workmanship which, in the opinion of the County, become necessary. If, within ten days of written notice to the Developer from the County requesting such repairs or replacements, the Developer has not undertaken with due diligence to make the same, the County may make such repairs or replacements at the Developer's expense. In the case of an emergency such written notice may be waived.
- 8. **Successors and Assigns**. This agreement shall be binding upon the heirs, executors, personal representatives, successors, and assigns of the Developer, and shall be deemed a covenant running with the real property as described in **Exhibit "A"** attached hereto.

9. **Improvements and Dedication**. The undersigned Developer hereby agrees to provide the following improvements, and to dedicate described property.

A. Improvements.

Public Improvements: see Exhibit "B"

See Exhibit "B" for description, estimated quantities, and estimated construction costs.

The improvements shall be constructed in accordance with all County requirements and specifications in accordance with the approved plans and preliminarily accepted in accordance with section 5-02-05-01 of the County's Development Standards and Regulations prior to the construction completion date indicated in **Exhibit "B"**.

B. **Public dedication of land for right-of-way purposes or other public purpose**. Upon approval of this agreement by the BoCC, the Developer hereby agrees to convey by subdivision plat to the County of Adams the following described land for right-of-way or other public purposes:

The rights-of-way shown on the Final Plat of Blackstone Ranch Filing No. 4, known as Trout Road, East 23rd Place, East 23rd Avenue, and East 22nd Place, more particularly described and depicted thereon.

[SIGNATURE PAGES FOLLOW]

PAULSCORP, LLC, A Colorado limited liability company

By:

Authorized Signatory

STATE OF COLORADO

} ss. }

}

CITY AND COUNTY OF DENVER

The foregoing instrument was acknowledged before me this _____ day of ______, 2019, by Brad Pauls as authorized signatory for PaulsCorp, LLC, a Colorado limited liability company.

My commission expires:

Address:

Notary Public

APPROVED BY resolution at the meeting	of, 2019.

Collateral to guarantee compliance with this agreement and construction of public improvements shall be required in the amount of \$1,750,582.00. No building permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners.

ATTEST:

BOARD OF COUNTY COMMISSIONERS ADAMS COUNTY, COLORADO

Clerk of the Board

Chair

EXHIBIT A

LEGAL DESCRIPTION BLACKSTONE RANCH FILING NO. 4

A PARCEL OF LAND LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 3 SOUTH, RANGE 62 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 33, WHENCE THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33 BEARS SOUTH 89°17'10" WEST, A DISTANCE OF 2613.96 FEET, ALL BEARINGS HEREON ARE REFERENCED TO THIS LINE;

THENCE SOUTH 54°18'12" WEST, A DISTANCE OF 1,667.58 FEET TO A POINT ON THE WESTERLY BOUNDARY OF BLACKSTONE RANCH FILING NO. 2A, AS RECORDED AT RECEPTION NO. 2016000035452 AND THE SOUTHEAST CORNER OF BLACKSTONE RANCH FILING NO. 3, AS RECORDED AT RECEPTION NO. 2018000080418 IN THE RECORDS OF THE CLERK AND RECORDER OF SAID ADAMS COUNTY AND THE POINT OF BEGINNING:

THENCE ALONG SAID WESTERLY BOUNDARY THE FOLLOWING NINE (9) COURSES:

- 1) SOUTH 00°27'21" EAST, A DISTANCE OF 81.00 FEET;
- 2) SOUTH 44°24'54" WEST, A DISTANCE OF 28.35 FEET;
- 3) SOUTH 00°27'21" EAST, A DISTANCE OF 50.00 FEET;
- 4) SOUTH 45°35'06" EAST, A DISTANCE OF 28.22 FEET;
- 5) SOUTH 00°27'21" EAST, A DISTANCE OF 162.00 FEET;
- 6) SOUTH 44°24'55" WEST, A DISTANCE OF 28.35 FEET;
- 7) SOUTH 00°27'22" EAST, A DISTANCE OF 50.00 FEET;
- 8) SOUTH 45°35'06" EAST, A DISTANCE OF 28.22 FEET;

9) SOUTH 00°27'21" EAST, A DISTANCE OF 162.00 FEET TO THE WESTERLY LINE OF BLACKSTONE RANCH FILING NO. 2-B AS RECORDED AT RECEPTION NO. 2016000045767, IN SAID RECORDS;

THENCE ALONG SAID WESTERLY BOUNDARY THE FOLLOWING FOUR (4) COURSES:

- 1) SOUTH 44°24'54" WEST, A DISTANCE OF 28.35 FEET;
- 2) SOUTH 00°27'21" EAST, A DISTANCE OF 50.00 FEET;
- 3) SOUTH 45°35'06" EAST, A DISTANCE OF 28.22 FEET;

4) SOUTH 00°27'21" EAST, A DISTANCE OF 166.39 FEET TO THE NORTHERLY BOUNDARY OF ENGLEBRECHT SUBDIVISION FILING NO. 1 RECORDED AT RECEPTION NO. C0987100 IN SAID RECORDS;

THENCE ALONG SAID NORTHERLY BOUNDARY, SOUTH 89°02'41" WEST, A DISTANCE OF 1217.85 FEET TO THE EASTERLY BOUNDARY OF BLACKSTONE RANCH FILING NO. 3 RECORDED AT RECEPTION NO. 2018000080418 IN SAID RECORDS;

THENCE ALONG THE EASTERLY AND SOUTHERLY BOUNDARIES OF SAID BLACKSTONE RANCH FILING NO. 3 THE FOLLOWING FOUR (4) COURSES:

- 1) NORTH 00°16'12" WEST, A DISTANCE OF 801.54 FEET;
- 2) NORTH 89°17'10" EAST, A DISTANCE OF 169.41 FEET;
- 3) NORTH 00°50'07" WEST, A DISTANCE OF 45.00 FEET;
- 4) NORTH 89°17'10" EAST, A DISTANCE OF 1046.11 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 23.297 ACRES, (1,014,807 SQUARE FEET), MORE OR LESS.

EXHIBIT B

Engineer's Opinion of Estimated Costs

Client:	Paulscorp LLC	1	Date:		8/27/201
	Blackstone Ranch, Filing No. 4	F	repared	Bv:	DGI
	: 096195014		hecked E		EJ
Title:	Blackstone Ranch Filing 4 (75 Lots) - County S	urety Estimate (SIA)	Sheet: 1 o	of 2
Contaux Literat	A Associates has associated for OPCC from some building drawing	an dated 08/00/2015	and the states of	handers the East sum	the set of the set of
hange. Ad	1 & Associates, Inc. prepared the OPCC from construction drawin ditionally, the final land plan could change significantly through the	e development proces	s. This OPC	is not intended for basi	ng financial
equipment,	r securing funding. Review all notes and assumptions. Since Kiml or services furnished by others, or over methods of determining pr	rice, or over competiti	ve bidding or	market conditions, any	and all opinions a
o the cost h	erein, including but not limited to opinions as to the costs of const ta. Kimley-Horn & Associates, Inc. cannot and does not guarantee	ruction materials, sha	I be made or	n the basis of experience	e and best
hown herei	 The total costs and other numbers in this Opinion of Probable 	Cost have been round	led.	as withou vary itom the	opinions on cost
Item No.	Item Description	Quantity	Unit	Unit Price	Item Co
	Infrastructure Trout Road	4 000	~	00.00	00.75
1	Roadway Earthwork 1' Scarify	1,080	CY	\$2.55	\$2,75
2	5" Asphalt Section w/ 6" Agg. Base 32' wide Curb & Gutter & Sidewalk (7.5' Total)	20,731	SF	\$4.20	\$87,07
3		1,124	LF	\$35.50	\$39,90
4	ADA Ramps	2	EA	\$1,650.00	\$3,30
	Infrastructure East 23rd Place	1.000	100		
1	Roadway Earthwork 1' Scarify	1,805	CY	\$3.20	\$5,77
2	5" Asphalt Section w/ 6" Agg. Base 32' wide	32,954	SF	\$4.20	\$138,40
2 3 4 5	Curb & Gutter & Sidewalk (7.5' Total)	2,104	LF	\$34.00	\$71,53
4	ADA Ramps	2	EA	\$1,650.00	\$3,30
	18" Storm Sewer	437	LF	\$48.00	\$20,97
6	Storm Inlets/Manholes	.3	EA	\$4,400.00	\$13,20 \$253,19
	Infrastructure East 23rd Avenue				
1	Roadway Earthwork 1' Scarify	1,802	CY	\$3.20	\$5,76
2	5" Asphalt Section w/ 6" Agg. Base 32' wide	32,901	SF	\$4.20	\$138,18
3	Curb & Gutter & Sidewalk (7.5' Total)	2,100	LF	\$34.00	\$71,40
4	ADA Ramps	2	EA	\$1,650.00	\$3,30
5	18" Storm Sewer	596	LF	\$48.00	\$28,60
6	Storm Inlets/Manholes	4	EA	\$4,400.00	\$17,60
	Infrastructure East 22nd Place		C		4201,00
1	Roadway Earthwork 1' Scarify	1,781	CY	\$2.55	\$4,54
2	5" Asphalt Section w/ 6" Agg. Base 32' wide	32,453	SF	\$4.20	\$136,30
2 3 4	Curb & Gutter & Sidewalk (7.5' Total)	2,086	LF	\$35.50	\$74,05
	18" Storm Sewer	437	LF	\$48.00	\$20,97
	To Storm Sewer				
4	Storm Inlets/Manholes	3	EA	\$4,400.00	\$13,20 \$249.07

truction Cos	obable Constr	on of Pr	Opini	-Horn	Kimley-
8/27/20		ate:		Paulscorp LLC	Client:
DG	Rue	repared E	-	Blackstone Ranch, Filing No. 4	
EJ		hecked E		: 096195014	
LJ	iy.	HECKEU L			UTA NUL
of 2	Sheet: 2 d	SIA)	rety Estimate (S	Blackstone Ranch Filing 4 (75 Lots) - County Su	itle:
sing financial of labor, materials, y and all opinions toe and best	is not intended for basi control over the cost of market conditions, any the basis of experience	 This OPC Inc. has no e bidding or be made on or actual cost 	levelopment process -Horn & Associates, e, or over competitiv ction materials, shal nat proposals, bids,	n & Associates, Inc. prepared the OPCC from construction drawings dictionally, the final land plan could change significantly through the or securing funding. Review all notes and assumptions. Since Kimley or services furnished by others, or over methods of determining pric herein, including but not limited to opinions as to the costs of constru ata. Kimley-Horn & Associates, Inc. cannot and does not guarantee t in. The total costs and other numbers in this Opinion of Probable Co	hange. Add lecisions, or quipment, o b the cost he vailable dat
Item Co	Unit Price	Unit	Quantity	Item Description	tem No.
				Infrastructure Aspen Street	
\$5.60	\$2.55	CY	2,200	Roadway Earthwork 1' Scarify	1
\$186.03	\$4.20	SF	44,293	5" Asphalt Section w/ 6" Agg. Base 32' wide	2
\$71,46	\$35.50	LE	2.013	Curb & Gutter & Sidewalk (7.5' Total)	3
\$8,25	\$1,650.00	EA	5	ADA Ramos	4
\$33,90	\$15.00	SF	2,260	8' Concrete Pan	5
\$1,30	\$65.00	LE	20	12" Stom Sewer	6
\$1,00	\$75.00	LE	14	24" Storm Sewer	7
\$307,60	\$75.00		17	24 Storm Sewer	'
		1.59		Storm Sewer Main A	
\$1,77	\$48.00	LE	37	18" Storm Sewer	1
\$18.90	\$75.00	LE	252	24" Storm Sewer	2
\$31,41	\$90.00	LF	349	36" Storm Sewer	3
\$39.60	\$4,400.00	EA	9	Storm Inlets/Manholes	4
\$89,91	P1,100.00		2	Storm motormannoida	-
\$181,59				particular second se	
\$1,389,35		-	-	Subtotal	-
+.,,				Additional Performance Bond Requirements	· · · · · · ·
\$277,87	20%	EA	1	20% Administration Fee	1
2211.01		YR	1	5% Inflation Per Year of Construction	2
	5%				_
\$83,36	5%				
\$277,07 \$83,36 \$361,23 \$1,750,58	5%		Total:	Basis for Cost Projection:	

Final Design

Construction Completion Date: July 31, 2020

Initials or signature of Developer:

Community & Economic Development Department

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000 Brighton, CO 80601-8204 PHONE 720.523.6800 FAX 720.523.6998

Development Review Team Comments

Date: 3/25/2019 Project Number: PLT2019-00001 Project Name: Blackstone Ranch, Filing 4

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for the final plat application. You are being asked to resubmit with additional items. The Development Review Team review comments may change if you provide different information during the resubmittal. All resubmittals shall be deposited at our One-Stop Customer Service Center. One paper and one digital copy will be required, as will the attached Resubmittal Form. Please contact the case manager if you have any questions:

Commenting Division: Planner Review Name of Reviewer: Greg Barnes Date: 03/25/2019 Email: gjbarnes@adcogov.org

Resubmittal Required

PLN01: The application is for major subdivision final plat to create 75 single-family residential lots in the R-1-C zone district.

PLNO2: I have attached a spreadsheet of Public Land Dedication fee calculation. You will be expected to provide cash-in-lieu of public land dedication. These fees should be paid prior to scheduling the hearing for this case.

PLN03: Collateral for the subdivision improvements agreement shall be provided prior to the public hearing. In an effort to facilitate easier reimbursement, it is recommended that two bonds be provided. One in the amount of 80% and the other in the amount of 20%

Commenting Division:Addressing ReviewName of Reviewer:Marissa HilljeDate:03/04/2019Email:mhillje@adcogov.orgCompleteSee address table attached.Please add these to the plat.

Commenting Division:ROW ReviewName of Reviewer:Marissa HilljeDate:03/04/2019Email:mhillje@adcogov.orgResubmittal Required

ROW1: See redlines on attached plat

Commenting Division:Development Engineering ReviewName of Reviewer:Greg LabrieDate:03/08/2019Email:glabrie@adcogov.org

Resubmittal Required

a) The Operations and Maintenance Manual must be recorded at the Adams County Clerks and Recorder Office and the record number must be documented on the plat or an equivalent engineering document.c) A driveway culvert plan for the subdivision is required to be submitted for review and approval.

a) All necessary paperwork such as Commissioners Resolutions, Development Agreements, and Collateral Agreements will need to be on file with the Adams County Public Works Department / Construction Management section prior to the issuance of any building permits.

b) Upon completion of review and approval of these drawings, the applicant will be required to obtain the necessary permits in order to construct the proposed improvements. This/these permit(s) will be obtained from the Adams County One Stop Permit Center. No Certificate of Occupancy will be issued for any new Building Construction, until all roadway and drainage improvements as required by the approved construction plans have been completed, in place and certified by the original design engineer.

a) The traffic control study, the drainage report, and drainage plan shall be updated to show that the analysis includes Blackstone Filings 3 and 4. This update shall be shown in the title of the reports, the text of the reports, the exhibits of the reports and the final design drawings of the reports.

a) The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is not within the County's MS4 Stormwater Permit area. Therefore, the applicant is responsible for the installation of erosion and sediment control BMPs.
 b) The site is not located in a floodplain. A floodplain use permit will not be required.

a) A striping and signage plan shall be submitted to Adams County for review and approval.
b) The design drawings shall show the new manhole cover detail. This detail can be found on the Adams County website, under the Development Standards and Regulations, in Appendix C.
c) All construction traffic shall use Aspen Street to access the project site.

a) The segment of Aspen Street adjacent to the project site for Filing 4 shall be designed and constructed as part of this phase of the project.

b) West Road shown on the drawings shall be designated at Troutt Street.

a) If off- site fill material is required to support the grading plan, the fill source and quantity are required to be indicated on the drawings and it shall include the source and quantity of selected off-site material.b) A Geotechnical report is required to be completed to support the design details for the roadway.

Community & Economic Development Department

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000 Brighton, CO 80601-8204 PHONE 720.523.6800 FAX 720.523.6998

Development Review Team Comments

Date: 8/6/2019 Project Number: PLT2019-00001 Project Name: Blackstone Ranch, Filing 4

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry DISTRICT 1 Charles "Chaz" Tedesco

Emma Pinter District 3

Steve O'Dorisio

Mary Hodge

Page 1 of 5

Commenting Division: Plan Coordination 2nd Review Name of Reviewer: Greg Barnes Date: 08/06/2019 Email: gjbarnes@adcogov.org Resubmittal Required

Commenting Division: Planner Review 2nd Review

Name of Reviewer: Greg Barnes

Date: 08/06/2019

Email: gjbarnes@adcogov.org

Resubmittal Required

PLN02: I have attached a spreadsheet of Public Land Dedication fee calculation. You will be expected to provide cash-in-lieu of public land dedication. These fees should be paid prior to scheduling the hearing for this case.

PLN03: Collateral for the subdivision improvements agreement shall be provided prior to the public hearing. In an effort to facilitate easier reimbursement, it is recommended that two bonds be provided. One in the amount of 80% and the other in the amount of 20%

PLN04: When resubmitting, please include a written response to each comment, and a Microsoft Word version of the SIA. This recent resubmittal included neither of those.

Commenting Division: Development Engineering Review Name of Reviewer: Greg Labrie Date: 03/08/2019 Email: glabrie@adcogov.org

Resubmittal Required

a) The Operations and Maintenance Manual must be recorded at the Adams County Clerks and Recorder Office and the record number must be documented on the plat or an equivalent engineering document.c) A driveway culvert plan for the subdivision is required to be submitted for review and approval.

a) All necessary paperwork such as Commissioners Resolutions, Development Agreements, and Collateral Agreements will need to be on file with the Adams County Public Works Department / Construction Management section prior to the issuance of any building permits.

b) Upon completion of review and approval of these drawings, the applicant will be required to obtain the necessary permits in order to construct the proposed improvements. This/these permit(s) will be obtained from the Adams County One Stop Permit Center. No Certificate of Occupancy will be issued for any new Building Construction, until all roadway and drainage improvements as required by the approved construction plans have been completed, in place and certified by the original design engineer.

a) The traffic control study, the drainage report, and drainage plan shall be updated to show that the analysis includes Blackstone Filings 3 and 4. This update shall be shown in the title of the reports, the text of the reports, the exhibits of the reports and the final design drawings of the reports.

a) The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is not within the County's MS4 Stormwater Permit area. Therefore, the applicant is responsible for the installation of erosion and sediment control BMPs.b) The site is not located in a floodplain. A floodplain use permit will not be required.

a) A striping and signage plan shall be submitted to Adams County for review and approval.b) The design drawings shall show the new manhole cover detail. This detail can be found on the Adams County website, under the Development Standards and Regulations, in Appendix C.c) All construction traffic shall use Aspen Street to access the project site.

a) The segment of Aspen Street adjacent to the project site for Filing 4 shall be designed and constructed as part of this phase of the project.

b) West Road shown on the drawings shall be designated at Troutt Street.

a) If off- site fill material is required to support the grading plan, the fill source and quantity are required to be indicated on the drawings and it shall include the source and quantity of selected off-site material.b) A Geotechnical report is required to be completed to support the design details for the roadway.

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes Date: 03/25/2019

Email: gjbarnes@adcogov.org

Resubmittal Required

PLN01: The application is for major subdivision final plat to create 75 single-family residential lots in the R-1-C zone district.

PLN02: I have attached a spreadsheet of Public Land Dedication fee calculation. You will be expected to provide cash-in-lieu of public land dedication. These fees should be paid prior to scheduling the hearing for this case.

PLN03: Collateral for the subdivision improvements agreement shall be provided prior to the public hearing. In an effort to facilitate easier reimbursement, it is recommended that two bonds be provided. One in the amount of 80% and the other in the amount of 20%

Commenting Division: Addressing Review Name of Reviewer: Marissa Hillje Date: 03/04/2019 Email: mhillje@adcogov.org

Complete

See address table attached. Please add these to the plat.

Commenting Division: ROW Review

Name of Reviewer: Marissa Hillje

Date: 03/04/2019

Email: mhillje@adcogov.org

Resubmittal Required

ROW1: See redlines on attached plat

Commenting Division: Application Intake 2nd Review Name of Reviewer: Erin McMorries Date: 06/25/2019 Email: Complete

Commenting Division: ROW Review 2nd Review Name of Reviewer: Marissa Hillje Date: 07/09/2019

Email: mhillje@adcogov.org

Resubmittal Required

ROW1: Add the address table or each address to each lot.

Commenting Division: Development Engineering Review 2nd Review

Name of Reviewer: Greg Labrie

Date: 07/15/2019

Email: glabrie@adcogov.org

Resubmittal Required

ENG1.) A Subdivision Improvement Agreement (SIA) and related collateral will be required for the construction of all Public Facilities as they relate to this subdivision construction. This agreement will have to be approved by the BoCC.

ENG2.) A pre-construction meeting must be held prior to construction.

ENG3.) No Building Permits/CO's can be issued until all Public Improvements have been installed and have received Preliminary Acceptance from the Adams County Department of Public Works.

ENG4.) A construction Permit cannot be issued until all construction plans have been reviewed and approved, and the Subdivision Improvement Agreement has been approved by the Adams County BoCC.
 ENG5.) The construction of Curb, Gutter and Sidewalk is required to be completed for the entire length of Aspen St. from 26th Avenue to Sunset Avenue.

ENG6.) A detail needs to be provided at Aspen St. and Sunset Ave. This detail needs to show how the proposed facilities in Aspen St. will interact with the existing facilities already constructed in Sunset Ave. ENG7.) A striping and signage plan shall be submitted to Adams County for review and approval. ENG8.) West Road shown o drawings should be designated as Troutt Street.

Community & Economic Development Department

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000 Brighton, CO 80601-8204 РНОМЕ 720.523.6800 FAX 720.523.6998

Development Review Team Comments

Date: 9/19/2019 Project Number: PLT2019-00001 Project Name: Blackstone Ranch, Filing 4

Commenting Division: Plan Coordination 3rd Review Name of Reviewer: Greg Barnes Date: 09/19/2019 Email: gjbarnes@adcogov.org

Pending Public Hearing

Commenting Division: Development Engineering Review 3rd Review

Name of Reviewer: Greg Labrie

Date: 09/17/2019

Email: glabrie@adcogov.org

Resubmittal Required

ENG1: All references to the Adams County Transportation Department in the SIA shall be changed to Public Works.

ENG2: The following paragraph in the SIA should be worded as follows:

"No building permits will be issued until said collateral is furnished in the amount required and in a form acceptable to the BoCC, and until the final plat has been approved. No Certificate of Occupancy shall be issued until the improvements described in Exhibit "B" have been preliminarily accepted by the County." ENG3: Please add a plat note stating that no access will be granted for individual lots along Aspen Street.

Eva J. Henry DISTRICT 1 BOARD OF COUNTY COMMISSIONERS

Charles "Chaz" Tedesco DISTRICT 2 Emma Pinter DISTRICT 3

Steve O'Dorisio

Mary Hodge DISTRICT 5

Page 1 of 7

Commenting Division: SIA Review 2 - Finance Name of Reviewer: Laura Garcia Date: 09/16/2019 Email: Complete

FIN01: No further comments

Commenting Division: SIA Review 2 - Attorney Name of Reviewer: Christine Fitch Date: 09/16/2019 Email:

Resubmittal Required ATY01: Please see attached redline markup of SIA.

Commenting Division: Planner Review 3rd Review

Name of Reviewer: Greg Barnes

Date: 09/16/2019

Email: gjbarnes@adcogov.org

Complete

PLN02: I have attached a spreadsheet of Public Land Dedication fee calculation. You will be expected to provide cash-in-lieu of public land dedication. These fees should be paid prior to scheduling the hearing for this case.

PLN03: Collateral for the subdivision improvements agreement shall be provided prior to the public hearing. In an effort to facilitate easier reimbursement, it is recommended that two bonds be provided. One in the amount of 80% and the other in the amount of 20%

Commenting Division: ROW Review 3rd Review

Name of Reviewer: Marissa Hillje

Date: 09/13/2019

Email: mhillje@adcogov.org

Complete

ROW1: The applicant has addressed all ROW comments

Commenting Division: Application Intake 3rd Review Name of Reviewer: Megan Ulibarri Date: 08/29/2019 Email: Complete

Commenting Division: Plan Coordination 2nd Review Name of Reviewer: Greg Barnes Date: 08/06/2019 Email: gjbarnes@adcogov.org Resubmittal Required

Commenting Division: Planner Review 2nd Review

Name of Reviewer: Greg Barnes

Date: 08/06/2019

Email: gjbarnes@adcogov.org

Resubmittal Required

PLN02: I have attached a spreadsheet of Public Land Dedication fee calculation. You will be expected to provide
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an effort to facilitate easier reimbursement, it is recommended that two bonds be provided. One in the amount

of 80% and the other in the amount of 20%

Commenting Division: Development Engineering Review 2nd Review

Name of Reviewer: Jen Rutter

Date: 07/29/2019

Email: jrutter@adcogov.org

Complete

(comment was added by Greg Labrie)

Commenting Division: Development Engineering Review 2nd Review

Name of Reviewer: Greg Labrie

Date: 07/15/2019

Email: glabrie@adcogov.org

Comment

ENG1.) A Subdivision Improvement Agreement (SIA) and related collateral will be required for the construction of all Public Facilities as they relate to this subdivision construction. This agreement will have to be approved by the BoCC.

ENG2.) A pre-construction meeting must be held prior to construction.

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Commenting Division: ROW Review 2nd Review

Name of Reviewer: Marissa Hillje

Date: 07/09/2019

Email: mhillje@adcogov.org

Resubmittal Required

ROW1: Add the address table or each address to each lot.

Commenting Division: Planner Review 2nd Review Name of Reviewer: Greg Barnes Date: 06/26/2019 Email: gjbarnes@adcogov.org External Agencies Selected Commenting Division: Application Intake 2nd Review Name of Reviewer: Erin McMorries Date: 06/25/2019 Email: Complete

Commenting Division: Planner Review Name of Reviewer: Greg Barnes Date: 03/25/2019 Email: gjbarnes@adcogov.org

Resubmittal Required

PLN01: The application is for major subdivision final plat to create 75 single-family residential lots in the R-1-C zone district.

PLN02: I have attached a spreadsheet of Public Land Dedication fee calculation. You will be expected to provide cash-in-lieu of public land dedication. These fees should be paid prior to scheduling the hearing for this case.

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Commenting Division: Development Engineering Review Name of Reviewer: Greg Labrie Date: 03/08/2019 Email: glabrie@adcogov.org

Resubmittal Required

a) The Operations and Maintenance Manual must be recorded at the Adams County Clerks and Recorder Office and the record number must be documented on the plat or an equivalent engineering document.c) A driveway culvert plan for the subdivision is required to be submitted for review and approval.

a) All necessary paperwork such as Commissioners Resolutions, Development Agreements, and Collateral Agreements will need to be on file with the Adams County Public Works Department / Construction Management section prior to the issuance of any building permits.

b) Upon completion of review and approval of these drawings, the applicant will be required to obtain the necessary permits in order to construct the proposed improvements. This/these permit(s) will be obtained from the Adams County One Stop Permit Center. No Certificate of Occupancy will be issued for any new Building Construction, until all roadway and drainage improvements as required by the approved construction plans have been completed, in place and certified by the original design engineer.

a) The traffic control study, the drainage report, and drainage plan shall be updated to show that the analysis includes Blackstone Filings 3 and 4. This update shall be shown in the title of the reports, the text of the reports, the exhibits of the reports and the final design drawings of the reports.

a) The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is not within the County's MS4 Stormwater Permit area. Therefore, the applicant is responsible for the installation of erosion and sediment control BMPs.b) The site is not located in a floodplain. A floodplain use permit will not be required.

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a) The segment of Aspen Street adjacent to the project site for Filing 4 shall be designed and constructed as part of this phase of the project.

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Commenting Division: ROW Review Name of Reviewer: Marissa Hillje Date: 03/04/2019 Email: mhillje@adcogov.org Resubmittal Required

ROW1: See redlines on attached plat

Commenting Division: Addressing Review Name of Reviewer: Marissa Hillje Date: 03/04/2019 Email: mhillje@adcogov.org

Complete

See address table attached. Please add these to the plat.

Greg Barnes

From:	Gordon Stevens
Sent:	Friday, February 22, 2019 12:15 PM
То:	Greg Barnes
Cc:	David Rausch; Juliana J. Archuleta; Russell Nelson; Jen Rutter; Ian Cortez; Brian Staley
Subject:	RE: For Review: Blackstone Ranch, Filing 4 (PLT2019-00001)
Attachments:	DOCS-#5904214-v1-SUBMITTALBLACKSTONE_RANCH_FILNO4 PLAT_SUBMITTALpdf

Good Afternoon Mr. Barnes,

Thank you for this opportunity to review this submittal. The Adams County Dept. of Public Works, Infrastructure Management, Construction Inspection Division offers the following comments on this case:

- 1.) As previously attached, the SIA has been submitted with this case. Approved collateral will also be submitted and approved as well.
- 2.) No building permits will be issued until the site has received Preliminary Acceptance from the Adams County Dept. of Public Works.
- 3.) Per the Development Standards and Regulations, construction phasing will not be allowed.
- 4.) In the submitted plat, West Rd. must be renamed to Trout Rd.
- 5.) In the preliminary review of the submitted construction plans, it does not appear that Aspen St. is to be constructed south of the previously constructed intersection of 24th Pl. and Aspen St. Per the Development Standards and Regulations, construction of Aspen St. will be required along the westerly frontage of this subdivision.
- 6.) There is also a missing 700l.f. section of Aspen St., adjacent to the church property along the west side that must be constructed as well to provided connectivity from Strasburg to 26th Ave. The Right of Way in this portion already exists.

Again, thank you for the opportunity to review these plans. If I can be of any further assistance, please let me know.

Sincerely,



Gordon Stevens

Construction Inspection Supervisor, Department of Public Works Infrastructure Management Division ADAMS COUNTY, COLORADO 4430 So, Adams County Parkway, 1st Floor, Suite W2000B Brighton, CO 80601-8218 0: 720-523-6965 | gstevens@adcogov.org, www.adcogov.org

c: 303-947-9633

From: Greg Barnes
Sent: Thursday, February 21, 2019 12:33 PM
To: Greg Barnes
Subject: For Review: Blackstone Ranch, Filing 4 (PLT2019-00001)

The Adams County Planning Commission is requesting comments on the following request: **major subdivision final plat for 75 single-family residential lots.** This request is located at approximately 2,000 feet southwest of East 26th Avenue and Monroe Street. The Assessor's Parcel Number is 0181333100008.

Applicant Information:	Kimley Horn
	Eric Gunderson
	4582 South Ulster Street
	Suite 1500
	Denver, CO 80237

Please forward any written comments on this application to the Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216, or call (720) 523-6800 by **03/14/2019** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to <u>GJBarnes@adcogov.org</u>. Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you for your information.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.



Greg Barnes Planner II, *Community and Economic Development Dept.* ADAMS COUNTY, COLORADO 4430 S. Adams County Parkway, 1st Floor, Suite W2000A Brighton, CO 80601-8216 720.523.6853 *gjbarnes@adcogov.org* adcogov.org

Greg Barnes

From: Sent:	Gordon Stevens Tuesday, June 25, 2019 11:09 AM
То:	Greg Labrie
Cc:	Greg Barnes; David Rausch
Subject:	Blackstone Ranch Fil. No. 4, EGR2019-00003, PLT2019-00001

Good Morning Greg,

Thank you for the opportunity to review this submittal. The Adams County Dept. of Public Works, Infrastructure Management, Construction Inspection Division offers the following comments:

- 1.) A Subdivision Improvement Agreement (SIA) and related collateral will be required for the construction of all Public Facilities as they relate to this subdivision construction. This agreement will have to be approved by the BoCC.
- 2.) Construction plans must be submitted and approved prior to the beginning of construction.
- 3.) A pre-construction meeting must be held prior to construction.
- 4.) No Building Permits/CO's can be issued until all Public Improvements have been installed and have received Preliminary Acceptance from the Adams County Department of Public Works.
- 5.) A construction Permit cannot be issued until all construction plans have been reviewed and approved, and the Subdivision Improvement Agreement has been approved by the Adams County BoCC.
- 6.) Why is the construction of Curb, Gutter and Sidewalk not being completed/considered for the entire length of Aspen St.?
- 7.) A detail needs to be provided at Aspen St. and Sunset Ave. This detail needs to show how the proposed facilities in Aspen St. will interact with the existing facilities already constructed in Sunset Ave.

Again, thank you for the opportunity to review this submittal. If I can be of any further assistance, please do not hesitate to contact me at anytime.



Gordon Stevens

Construction Inspection Supervisor, Department of Public Works Infrastructure Management Division ADAMS COUNTY, COLORADO 4430 So, Adams County Parkway, 1st Floor, Suite W2000B Brighton, CO 80601-8218 0: 720-523-6965 | <u>gstevens@adcogov.org</u>, <u>www.adcogov.org</u> c: 303-947-9633





Parks and Wildlife

Department of Natural Resources

Northeast Regional Office 6060 Broadway Denver, CO 80216 P 303.291.7227 | F 303.291.7114

March 7, 2019

Greg Barnes Adams County Community and Economic Development Department 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216

RE: Blackstone Ranch, Filing No. 4, Major Subdivision Final Plat (Case No.: PLT2019-00001)

Dear Mr. Barnes:

Thank you for the opportunity to comment on the proposed Blackstone Ranch, Filing No. 4. The mission of Colorado Parks and Wildlife (CPW) is to perpetuate the wildlife resources of the state, to provide a quality state parks system, and to provide enjoyable and sustainable outdoor recreation opportunities that educate and inspire current and future generations to serve as active stewards of Colorado's natural resources. Our goal in responding to land use proposals such as this is to provide complete, consistent, and timely information to all entities who request comment on matters within our statutory authority.

The proposed Blackstone Ranch, Filing No. 4 is located approximately 2,000-feet southwest of East 26th Avenue and Monroe Street, Strasburg, Adams County, Colorado (parcel # 0181333100008). The proposed 23.3-acre residential subdivision will consist of 75 new lots, generally located to the south of Blackstone Ranch Filing No. 3, a 163-lot development on approximately 54.8-acres.

District Wildlife Manager Serena Rocksund recently analyzed this site. The main impacts to wildlife from this proposal include fragmentation and loss of habitat. Fragmentation of wildlife habitat has been shown to impede the movement of wildlife across the landscape. Open space areas are more beneficial to wildlife if they connect to other natural areas. The areas of wildlife habitat that most closely border human development show heavier impact than do areas on the interior of the open space. However, when open space areas are smaller in size, the overall impact of the fragmentation is greater (Odell and Knight, 2001). By keeping open space areas contiguous and of larger size the overall benefit to wildlife increases dramatically.

CPW would expect a variety of wildlife species to utilize this site on a regular basis, most notably, small to mid-sized mammals, song birds, and raptors. The potential also exists



for large mammals such as deer and pronghorn to frequent this site. Raptors and other migratory birds are protected from take, harassment, and nest disruption at both the state and federal levels. If an active nest is discovered within the development area, CPW recommends that buffer zones around nest sites be implemented during any period of activity that may interfere with nesting season. This will prevent the intentional or unintentional destruction of an active nest.

For further information on this topic, a copy of the document "Recommended Buffer Zones and Seasonal Restrictions for Colorado Raptors," is available from your local District Wildlife Manager. Following the recommendations outlined in this document will decrease the likelihood of unintentional take through disturbance.

If a prairie dog colony is discovered within the project area, the potential may also exist for the presence of burrowing owls. Burrowing owls live on flat, treeless land with short vegetation, and nest underground in burrows dug by prairie dogs, badgers, and foxes. These raptors are classified as a state threatened species and are protected by both state and federal laws, including the Migratory Bird Treaty Act. These laws prohibit the killing of burrowing owls or disturbance of their nests. Therefore, if any earth-moving will begin between March 15th and October 31st, a burrowing owl survey should be performed. Guidelines for performing a burrowing owl survey can also be obtained from the local District Wildlife Manager.

If prairie dog colonies are present, CPW would recommend prairie dogs either be captured alive and moved to another location or humanely euthanized before any earthmoving occurs. The possibility of live-trapping and donating to a raptor rehabilitation facility may also exist. If interested, please contact the local District Wildlife Manager. Be aware that a permit and approval from county commissioners may be required for live relocation.

Future residents should be informed that wildlife such as fox, coyotes, and raccoons might frequent the development area in search of food and cover. Coyotes, foxes, cottontail rabbits, and raccoons are several species that have adapted to living in urban environments. CPW recommends that people moving into and residing in this area take the proper precautions to prevent unnecessary conflicts with wildlife. Due to the potential for human-wildlife conflicts associated with this project, please consider the following recommendations when educating future homeowners about the existence of wildlife in the area:

- Pet foods and bowls should be kept indoors.
- Garbage should be kept in secure containers to minimize its attractiveness to wildlife. Trash should be placed in containers with tight seals and remain indoors until shortly before pickup.
- Feeding of wildlife, with the exception of birds, is illegal.
- "Living with Wildlife" pamphlets are available through CPW offices or online.

For further information, Colorado Parks and Wildlife can provide copies of the following brochures: "Your Guide to Avoiding Human-Coyote Conflicts", "Don't Feed the Wildlife", and "Too Close for Comfort: Avoiding Conflicts with Wildlife in the City" to residents of

the surrounding open space. The brochures can also be downloaded from our web site at: http://cpw.state.co.us/learn/Pages/LivingwithWildlife.aspx.

Thank you again for the opportunity to comment on the proposed Blackstone Ranch, Filing No. 4. Please do not hesitate to contact us again about ways to continue managing the property in order to maximize wildlife value while minimizing potential conflicts. If you have any further questions, please contact District Wildlife Manager Serena Rocksund at (303) 291-7132 or <u>serena.rocksund@state.co.us.</u>

Sincerely,

Crystal Chick

Crystal Chick Area 5 Wildlife Manager

Cc: M. Leslie, T. Kroening, S. Rocksund



COLORADO Division of Water Resources Department of Natural Resources Colorado Ground Water Commission

March 12, 2019

Greg Barnes Adams County Community and Economic Development Department gjbarnes@adcogov.org

> RE: Blackstone Ranch Filing No. 4, PLT2019-00001 Part NE4 Section 33, T3S, R62W, 6th P.M. Water Division 1, Water District 1 Kiowa-Bijou Designated Basin

Dear Mr. Barnes:

We have received your February 21, 2019 submittal concerning the above-referenced proposal to subdivide 23.3 acres into 75 single family residential lots. The submittal indicates this request is for final plat approval of Blackstone Ranch Filing No. 4.

When submitting further requests for the State Engineer's opinion on proposed water supplies to preliminary plans of Blackstone Ranch, the county should be aware of the following.

A number of our previous letters to the county opining on the proposed water supply to Blackstone Ranch, referenced and relied on a letter from our office dated February 8, 2005, which opined that the water supply to the entire Blackstone Ranch subdivision (which was to subdivide 108 acres into 234 residential lots) was adequate. The "Explanation of the Request" that was provided with the submittal for Filing No. 4 states that subsequent to the county's 2004 approval of the preliminary plat [a.k.a. preliminary plan] for the entire Blackstone Ranch subdivision, the county expired that preliminary approval. Therefore, because the county has determined that the 2004 preliminary plat has expired, our February 8, 2005 is also no longer valid, and we will no longer rely on that letter in subsequent opinions involving the adequacy of the water supply to Blackstone Ranch subdivision.

While information in our files indicate the county has approved preliminary and/or final plats for Blackstone Ranch Filings Nos. 1, 2, and 3, the information is conflicting on the number of lots in each filing, and the number of lots in total, that have received such approval. A number of submittals to our office have contained no information on the estimated water demand of the filing for which an opinion on the adequacy of the water supply is being requested.

In order for our office to provide an opinion of the adequacy of the proposed water supply to any future submittals from the county on Blackstone Ranch preliminary plans, the submittal need to contain the following.

- 1. The total number of lots in each filing that have received preliminary plan and final plat approval.
- 2. The total estimated demand for water for each filing that has already received



preliminary plan and final plat approval.

- 3. The total estimated demand for water for the filing that is the subject of the submittal.
- 4. A written commitment for service from the water provider (i.e. Easter Adams County Metropolitan District) referencing the name of the subdivision and filing number and a level of commitment in terms of uses to be served and/or water demand.

The county may wish to forward the requirements listed above to the developer of Blackstone Ranch subdivision so future submittals to the county and our office are adequate.

If you, or the applicant, have any questions, please contact Ailis Thyne at 303-866-3581 ext. 8216.

Sincerely,

Keith Vander Horst

Keith Vander Horst Chief of Water Supply, Basins

Cc: Division 1 Blackstone_Filing4.docx

Greg Barnes

From:	Williams - DNR, Joanna [joanna.williams@state.co.us]	
Sent:	Wednesday, July 03, 2019 12:08 PM	
To:	Greg Barnes; Keith Vander Horst - DNR	
Subject:	Re: For Review: Blackstone Ranch, Filing 4 Final Plat (PLT2019-00001)	

Please be cautious: This email was sent from outside Adams County

Good Morning Greg,

This office previously commented on this proposal in our letter dated March 12, 2019 (copy included in referral). The comments from our previous letter dated March 12, 2019 regarding the water supply for this subdivision still apply since the requested information has not been provided.

Please contact me if you have questions. Regards, Joanna

On Wed, Jun 26, 2019 at 1:53 PM Greg Barnes <<u>GJBarnes@adcogov.org</u>> wrote:

The attached case material has been resubmitted to the County. You are receiving this e-mail, because you provided comments on the initial review. The applicant believes that all outstanding comments have been resolved. Please review the material to ensure compliance. Any additional comments that you may have, should be e-mailed to me by July 14, 2019. Thank you!



Greg Barnes

Planner III, Community and Economic Development Dept.

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

Joanna Williams, P.E. Water Resource Engineer



September 17, 2019

Greg Barnes Adams County Community and Economic Development Department gjbarnes@adcogov.org

> RE: Blackstone Ranch Filing No. 4, PLT2019-00001 Part NE ¼, Section 33, T3S, R62W, 6th P.M. Water Division 1, Water District 1 Kiowa-Bijou Designated Basin

We have received your September 5, 2019 submittal concerning the above-referenced proposal to subdivide 23.3 acres into 75 single family residential lots. The submittal indicates this request is for final plat approval of Blackstone Ranch Filing No. 4. This office previously commented on this proposal in our letter dated March 12, 2019. This letter replaces the March 12, 2019 letter.

Water Supply Demand

According to the letter dated September 5, 2019 by Kimley-Horn and Associates ("letter"), the total estimated water requirement is 37.5 acre-feet/year. This estimate is based on 0.5 acre-feet per year for each of the proposed 75 single family lots.

Source of Water Supply

Eastern Adams County Metropolitan District ("District") is the proposed water supplier. The District has provided a letter dated September 5, 2019 committing to serve 75 single family lots within Blackstone Ranch Filing No. 4.

The District's sources of water are a combination of bedrock aquifer allocations from the Denver Basin as well as alluvial sources. The State Engineer's Office does not have evidence regarding the length of time for which the bedrock aquifer sources will be a physically and economically viable source of water. According to 37-90-107(7)(a), C.R.S., "Permits issued pursuant to this subsection (7) shall allow withdrawals on the basis of an aquifer life of 100 years." Based on this <u>allocation</u> approach, the annual amounts of water determined are equal to one percent of the total amount, as determined by rule 5.3.2.1 of the Designated Basin Rules, 2 CCR 410-1. Therefore, the water may be withdrawn in those annual amounts for a maximum of 100 years.

In the Adams *County Development Standards and Regulations*, Effective April 15, 2002, Section 5-04-05-06-04 states:

"Prior to platting, the developer shall demonstrate that...the water supply is dependable in quantity and quality based on a minimum useful life of three-hundred (300) years. A minimum 300-year useful life means the water supply from both a static and dynamic basis will be viable for a minimum 300-year period. The static analysis shall include evaluation of the volume of water that is appropriable for the proposed subdivision. The dynamic analysis shall evaluate whether the appropriable water supply is sustainable for three-hundred (300) years, giving consideration to the location and extent of the aquifer, as well as impacts caused by both current and future pumping by others from the aquifer."



Blackstone Ranch Filing 4 September 17, 2019 Page 2 of 3

The State Engineer's Office does not have evidence regarding the length of time for which this source will be "dependable in quantity and quality." However, treating Adam County's requirement as an <u>allocation</u> approach based on three hundred years, the total water requirement for the development over a 300 year period would be 11,250 acre-feet which is 300 times the annual requirement of 37.5 acre-feet. The State Engineer's Office has no comment on the quality of the water supply or the required 'dynamic analysis' to evaluate whether the appropriable water supply is sustainable for three hundred years.

Information available in our files indicates the District's water rights may produce a total of approximately 208,920 acre-feet over a 300 year period (95,160 acre-feet from bedrock aquifers and 113,760 acre-feet from the alluvial aquifer), and it has approximately 97,053 acre-feet previously committed to supplying subdivisions (some for a period of 100 years and some for a period of 300 years).

The uncommitted water supply of approximately 111,867 acre-feet over a 300 year period is more than the estimated demand of 11,250 acre-feet over a 300 year period for Blackstone Ranch Filing 4.

State Engineer's Office Opinion

Based upon the above and pursuant to Section 30-28-136(1)(h)(II), C.R.S., it is our opinion that the proposed water supply is adequate and can be provided without causing injury to decreed water rights.

Our opinion that the water supply is adequate is based on our determination that the amount of water required to serve the subdivision over a period of 300 years is currently physically available, based on current estimated aquifer conditions.

Our opinion that the water supply can be provided without causing injury is based on our determination that the amount of water that is legally available over a period of 300 years is greater than the amount of water required to supply the District's existing water commitments (some for a period of 100 years and some for a period of 300 years) and the demands of the proposed subdivision over a period of 300 years.

Our opinion is qualified by the following:

The Ground Water Commission has retained jurisdiction over the final amount of water available to the bedrock aquifer, pending actual geophysical data from the aquifer.

The amounts of water in the Denver Basin aquifer, and identified in this letter, are calculated based on estimated current aquifer conditions. For planning purposes the county should be aware that the economic life of a water supply based on wells in a given Denver Basin aquifer may be less than the 100 (or 300) years used for <u>allocation</u> due to anticipated water level declines. We recommend that the county determine whether it is appropriate to require development of renewable water resources for this subdivision to provide for a long-term water supply.

Blackstone Ranch Filing 4 September 17, 2019 Page 3 of 3

If you, or the applicant, have any questions, please contact Ailis Thyne at 303-866-3581 ext. 8216.

Sincerely,

Keich Vander Horst

Keith Vander Horst Chief of Water Supply, Designated Basins

Ec: Subdivision file 25948 Blackstone Ranch_Filing4_Sept2019.docx 1801 Moly Road Golden, Colorado 80401



Karen Berry State Geologist

March 13, 2019

Greg Barnes Adams County Community & Economic Development Department 4430 S. Adams County Parkway, Suite W2000A Brighton, CO 80601

Location: NW NE and SW NE Section 33, T3S, R62W of the 6th P.M. 39.7492, -104.3284

Subject: Blackstone Ranch, Filing 4 – Major Subdivision Final Plat <u>Project Number PLT2019-00001; Adams County, CO; CGS Unique No. AD-19-0021</u>

Dear Mr. Barnes:

Colorado Geological Survey has reviewed the Blackstone Ranch Filing 4 final plat referral. I understand the applicant proposes 75 SF residential lots on approximately 23.3 acres located south of Blackstone Ranch Filing 3. With this referral, I received a request for CGS's review (February 21, 2019), an Explanation of the Request (undated), Site Plan Exhibit (Kimley-Horn, January 29, 2019), set of five plat sheets (AzTec, October 26, 2018), and other documents.

The site does not contain steep slopes, is located in an "Area of Minimal Flood Hazard," is not undermined, and is not exposed to any identified geologic hazards that would preclude the proposed residential use and density. The applicant states in their Explanation of Request that lot-specific geotechnical investigations will be completed prior to issuance of building permits. **CGS therefore has no objection to approval of the plat as proposed.**

Mineral resource potential. According to the Atlas of Sand, Gravel, and Quarry Aggregate Resources, Colorado Front Range Counties (Schwochow et al, Colorado Geological Survey Special Publication 5-A, 1974, Plate 2), the subject property is not mapped as containing a sand, gravel, or aggregate resource.

As noted in our previous Blackstone Ranch review letters, potential constraints that will need to be considered as development progresses include:

Collapsible soils. The site is underlain by relatively low density, low strength, eolian (wind-deposited) silts, clays and sands. Some of the soils are calcareous. Eolian soils, especially those containing soluble calcareous minerals, tend to be loose, fine-grained, and hydrocompactive, meaning they can lose strength, settle, compress, or collapse under a structural load and/or when water infiltrates the soils. Thick columns of compressible or collapsible soils can result in very significant settlement and structural damage. Alternatively, clay minerals and clayey pockets within the surficial soils may exhibit structurally damaging volume changes (shrink-swell) in response to changes in water content. Potentially highly expansive Denver Formation claystones and shales are present at unknown depths beneath the surficial soils. If claystone layers capable of producing high swell pressures are present within a few feet of foundation bearing depths, they can cause severe structural damage if not properly characterized and mitigated.

Lot-specific geotechnical investigations consisting of drilling, sampling, lab testing and analysis will be needed, once building locations have been finalized to: determine the thickness and extent to which the soils beneath each

Greg Barnes March 13, 2019 Page 2 of 2

proposed home are subject to collapse under loading and/or wetting; characterize soil and bedrock engineering properties such as density, strength, water content, swell/consolidation potential and bearing capacity; determine depths to groundwater, bedrock, and any impermeable layers that might lead to development of a perched water condition; verify the feasibility of full-depth basements, if planned; and provide earthwork, foundation, floor system, subsurface drainage, and pavement recommendations for design purposes. It is imperative that grading, surface drainage, and subsurface drainage are correctly designed, constructed and maintained to prevent wetting of potentially collapsible soils in the immediate vicinity of foundation elements.

Thank you for the opportunity to review and comment on this project. If you have questions or require additional review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely, lad

Jill Carlson, C.E.G. Engineering Geologist

Greg Barnes

From:	Brooks Kaufman <bkaufman@irea.coop></bkaufman@irea.coop>	
Sent:	Tuesday, March 12, 2019 7:19 AM	
То:	Greg Barnes	
Subject:	RE: For Review: Blackstone Ranch, Filing 4 (PLT2019-00001)	
Attachments:	Package_SAwUMk1aIEl26z1SwDFUhcKMLFpjUtn8MKh_Sh5Y.html	

The following attachment has been sent to you using Mail Express®:

IREA COMMENTS PLT2019-00001.pdf (4.1 MB)

Click the links above or visit the <u>pick-up portal</u> for batch retrieval. *These links will expire in 2 weeks.*

Dear Mr. Barnes;

The Association is requesting the dedication of utility easements to be changed as following:

<u>CHANGE NOTE GRANT UTILITY EASEMENT TO UTILITIES AND NOT ADAMS COUNTY</u> - NON-EXCLUSIVE UTILITY EASEMENTS LOCATED AS SHOWN ARE HEREBY GRANTED FOR THE INSTALLATION, MAINTENANCE, AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES, INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES, AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE, AND REPLACEMENT OF SUCH LINES.

Respectfully

Brooks Kaufman Intermountain Rural Electric Association Lands and Rights of Way Director 5496 N. US Hwy 85 Sedalia, CO 80135 Direct : 720.733.5493 Cell : 303.912.0765 bkaufman@irea.coop



From: Greg Barnes [mailto:GJBarnes@adcogov.org]
Sent: Thursday, February 21, 2019 12:33 PM
To: Greg Barnes
Subject: For Review: Blackstone Ranch, Filing 4 (PLT2019-00001)

CAUTION:

This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

The Adams County Planning Commission is requesting comments on the following request: **major subdivision final plat for 75 single-family residential lots.** This request is located at approximately 2,000 feet southwest of East 26th Avenue and Monroe Street. The Assessor's Parcel Number is 0181333100008.

Applicant Information:	Kimley Horn
	Eric Gunderson
	4582 South Ulster Street
	Suite 1500
	Denver, CO 80237

Please forward any written comments on this application to the Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216, or call (720) 523-6800 by **03/14/2019** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to <u>GJBarnes@adcogov.org</u>. Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you for your information.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.



Greg Barnes

Planner II, Community and Economic Development Dept. ADAMS COUNTY, COLORADO 4430 S. Adams County Parkway, 1st Floor, Suite W2000A Brighton, CO 80601-8216 720.523.6853 <u>gibarnes@adcogov.org</u> adcogov.org

Greg Barnes

From: Sent:	Patrick Conroy [pconroy@svfd8.org] Sunday, March 10, 2019 5:59 PM
То:	Greg Barnes
Cc:	Gerri Ventura
Subject:	Re: For Review: Blackstone Ranch, Filing 4 (PLT2019-00001)

Greg:

No specific comments at this time other then I will need to verify the fire hydrant spacing. I can discuss this at the hearing when it is scheduled.

Anything I should be entering into Acela for this at this point?

Thanks.

Pat

On Thu, Feb 21, 2019 at 12:35 PM Gerri Ventura <<u>gventura@svfd8.org</u>> wrote:

----- Forwarded message ------From: **Greg Barnes** <<u>GJBarnes@adcogov.org</u>> Date: Thu, Feb 21, 2019 at 12:33 PM Subject: For Review: Blackstone Ranch, Filing 4 (PLT2019-00001) To: Greg Barnes <<u>GJBarnes@adcogov.org</u>>

The Adams County Planning Commission is requesting comments on the following request: **major subdivision final plat for 75 single-family residential lots.** This request is located at approximately 2,000 feet southwest of East 26th Avenue and Monroe Street. The Assessor's Parcel Number is 0181333100008.

Applicant Information:

Kimley Horn

Eric Gunderson

4582 South Ulster Street

Suite 1500

Denver, CO 80237

Please forward any written comments on this application to the Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216, or call (720) 523-6800 by **03/14/2019** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to <u>GJBarnes@adcogov.org</u>. Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you for your information.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.



Greg Barnes

Planner II, Community and Economic Development Dept.

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

Gerri Ventura District Clerk, Strasburg Fire Protection District #8 P.O. Box 911 56281 E. Colfax Avenue Strasburg, CO 80136-0911 303-622-4444 option 1 gventura@svfd8.org

This electronic transmission and any accompanying documents may contain information deemed to be protected. This information is intended only for the use of the individual or entity to whom this transmission was sent as indicated above. If your are not the intended recipient and have received this transmission in error, please contact the

sender to notify them immediately and destroy all documents contained in this transmission.

Patrick Conroy, CFEI ICC Certified Building Official ICC Certified Fire Marshal Colorado Fire Plans Examiner Fire Marshal Strasburg Fire Protection District Station: 303-622-4444 Cell: 720-775-8515

--

Greg Barnes

From: Sent:	Patrick Conroy [pconroy@svfd8.org] Thursday, July 11, 2019 6:23 PM
To:	Greg Barnes
Cc:	Williams - DNR, Joanna; CGS_LUR; Rocksund - DNR, Serena; Gerri Ventura; Monica Johnson; landuse@tchd.org; George, Donna L; eliza.hunholz@state.co.us; Greg Labrie; Marissa Hillje
Subject:	Re: For Review: Blackstone Ranch, Filing 4 Final Plat (PLT2019-00001)

Please be cautious: This email was sent from outside Adams County

I do not have any particular comments on this. I did inspect and sign-off on the fire hydrant installation.

I would like to get a GIS shape file for the 3rd and 4th plats though if possible. None of the addresses/block ranges or the new streets geocode in the Computer Aided Dispatch system used by our Dispatch Center so we would like to get them the GIS data to upload. A KMZ or KML file should work fine.

Thanks.

Pat

On Wed, Jun 26, 2019 at 1:53 PM Greg Barnes <<u>GJBarnes@adcogov.org</u>> wrote:

The attached case material has been resubmitted to the County. You are receiving this e-mail, because you provided comments on the initial review. The applicant believes that all outstanding comments have been resolved. Please review the material to ensure compliance. Any additional comments that you may have, should be e-mailed to me by July 14, 2019. Thank you!



Greg Barnes

Planner III, Community and Economic Development Dept.

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

--

Patrick Conroy, CFEI ICC Certified Building Official ICC Certified Fire Marshal Colorado Fire Plans Examiner Fire Marshal Strasburg Fire Protection District Station: 303-622-4444 Cell: 720-775-8515



District Mission: Develop responsible and productive members of society 56729 E. Colorado Ave, Strasburg, CO 80135 Phone: (303) 622-9211 Fax: (303) 622-9224

February 26, 2019

Mr. Greg Barnes Planner II, Community and Economic Development Dept. Adams County, Colorado

Mr. Barnes –

In response to the request for comment regarding the major subdivision final plat for 75 singlefamily residential lots in Strasburg, I would like to bring to the committee the impact that new residential development has on the Strasburg School District.

Currently our Elementary School is at full capacity the Middle School and High School have experienced increased enrollment that has required the District to add additional classes. We are currently working with a team of architects, demographers, and an owner's representative to develop a strategic plan. We will need to create additional classrooms and address the traffic impact that currently exists and will only worsen as new families move into the community. Additionally, our technology infrastructure has been overwhelmed with the additional students requiring us to have the system re-engineered to meet the new demand.

We do not object to development, and we are aware that the new development does fit within the planned growth of Strasburg. However, we request that we receive cash in lieu of land for all development and that the cash in lieu be at the market value.

I welcome an opportunity to discuss this further.

Sincerely,

Monica Johnson Superintendent



March 8, 2019

Greg Barnes Adams County Community and Economic Development 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601

RE: Blackstone Ranch, Filing 4, PLT2019-00001 TCHD Case No. 5461

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the major subdivision final plat for 75 single-family residential lots located approximately 2,000 feet southwest of East 26th Avenue and Monroe Street. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has the following comments.

Community design to support walking and bicycling

Because chronic diseases related to physical inactivity and obesity now rank among the country's greatest public health risks, TCHD encourages community designs that make it easy for people to include regular physical activity, such as walking and bicycling, in their daily routines. Because research shows that the way we design our communities can encourage regular physical activity, TCHD strongly supports community plans that incorporate pedestrian and bicycle amenities that support the use of a broader pedestrian and bicycle network.

In order to promote walking and bicycling through this development, TCHD encourages the applicant to consider the inclusion of the following as they design the community.

- 1. A system of sidewalks, bike paths and open space trail networks that are welldesigned and well-lit, safe, and attractive so as to promote bicycle and pedestrian use.
- 2. Bicycle and pedestrian networks that provide direct connections between destinations in and adjacent to the community.
- 3. Where public transportation systems exist, direct pedestrian access should be provided to increase transit use and reduce unnecessary vehicle trips, and related vehicle emissions. The pedestrian/bicycle networks should be integrated with the existing and future transit plans for the area.

Blackstone Ranch, Filing March 8, 2019 Page 2 of 2

- 4. Streets that are designed to be pedestrian/bike friendly and to reduce vehicle and pedestrian/bicycle fatalities.
- 5. Bicycle facilities and racks are provided in convenient locations.

Please feel free to contact me at 720-200-1585 or aheinrich@tchd.org if you have any questions.

Sincerely,

ill

Annemarie Heinrich, MPH/MURP Land Use and Built Environment Specialist

cc: Sheila Lynch, Monte Deatrich, TCHD



July 15, 2019

Greg Barnes Adams County Community and Economic Development 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601

RE: Blackstone Ranch, Filing 4, PLT2019-00001 TCHD Case No. 5709

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the resubmittal of the major subdivision final plat for 75 single-family residential lots located approximately 2,000 feet southwest of East 26th Avenue and Monroe Street. Tri-County Health Department (TCHD) staff previously reviewed the application for the major subdivision final plat, in a letter dated March 8, 2019 responded with the comments included below. TCHD has no further comments.

Community design to support walking and bicycling

Because chronic diseases related to physical inactivity and obesity now rank among the country's greatest public health risks, TCHD encourages community designs that make it easy for people to include regular physical activity, such as walking and bicycling, in their daily routines. Because research shows that the way we design our communities can encourage regular physical activity, TCHD strongly supports community plans that incorporate pedestrian and bicycle amenities that support the use of a broader pedestrian and bicycle network.

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- 2. Bicycle and pedestrian networks that provide direct connections between destinations in and adjacent to the community.
- 3. Where public transportation systems exist, direct pedestrian access should be provided to increase transit use and reduce unnecessary vehicle trips, and related vehicle emissions. The pedestrian/bicycle networks should be integrated with the existing and future transit plans for the area.

Blackstone Ranch, Filing July 15, 2019 Page 2 of 2

- 4. Streets that are designed to be pedestrian/bike friendly and to reduce vehicle and pedestrian/bicycle fatalities.
- 5. Bicycle facilities and racks are provided in convenient locations.

Please feel free to contact me at 720-200-1585 or aheinrich@tchd.org if you have any questions.

Sincerely,

ill

Annemarie Heinrich, MPH/MURP Land Use and Built Environment Specialist

cc: Sheila Lynch, Monte Deatrich, TCHD



September 16, 2019

Greg Barnes Adams County Community and Economic Development 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601

RE: Blackstone Ranch, Filing 4, PLT2019-00001 TCHD Case No. 5842

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the resubmittal of the major subdivision final plat for 75 single-family residential lots located approximately 2,000 feet southwest of East 26th Avenue and Monroe Street. Tri-County Health Department (TCHD) staff previously reviewed the application for the major subdivision final plat, in letters dated March 8 and July 15, 2019 responded with the comments included below. TCHD has no further comments.

Community design to support walking and bicycling

Because chronic diseases related to physical inactivity and obesity now rank among the country's greatest public health risks, TCHD encourages community designs that make it easy for people to include regular physical activity, such as walking and bicycling, in their daily routines. Because research shows that the way we design our communities can encourage regular physical activity, TCHD strongly supports community plans that incorporate pedestrian and bicycle amenities that support the use of a broader pedestrian and bicycle network.

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Blackstone Ranch, Filing September 16, 2019 Page 2 of 2

- 4. Streets that are designed to be pedestrian/bike friendly and to reduce vehicle and pedestrian/bicycle fatalities.
- 5. Bicycle facilities and racks are provided in convenient locations.

Please feel free to contact me at 720-200-1585 or aheinrich@tchd.org if you have any questions.

Sincerely,

ill

Annemarie Heinrich, MPH/MURP Land Use and Built Environment Specialist

cc: Sheila Lynch, Monte Deatrich, TCHD



Right of Way & Permits 1123 West 3rd Avenue Denver, Colorado 80223 Telephone: **303.571.3306** Facsimile: 303. 571.3284 donna.l.george@xcelenergy.com

March 15, 2019

Adams County Community and Economic Development Department 4430 South Adams County Parkway, 3rd Floor, Suite W3000 Brighton, CO 80601

Attn: Greg Barnes

Re: Blackstone Ranch Filing No. 4, Case # PLT2019-00001

Public Service Company of Colorado's Right of Way & Permits Referral Desk has reviewed the plat for **Blackstone Ranch F4** and has **no conflict**.

Donna George Right of Way and Permits Public Service Company of Colorado / Xcel Energy Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com



Right of Way & Permits 1123 West 3rd Avenue Denver, Colorado 80223 Telephone: **303.571.3306** Facsimile: 303. 571.3284 donna.l.george@xcelenergy.com

July 12, 2019

Adams County Community and Economic Development Department 4430 South Adams County Parkway, 3rd Floor, Suite W3000 Brighton, CO 80601

Attn: Greg Barnes

Re: Blackstone Ranch Filing No. 4 – 2nd referral, Case # PLT2019-00001

Public Service Company of Colorado's Right of Way & Permits Referral Desk has reviewed the plat for **Blackstone Ranch F4** and *still* has **no conflict**.

I do not need to see resubmittals of this plat review.

Donna George Right of Way and Permits Public Service Company of Colorado / Xcel Energy Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com Community & Economic Development Department Development Services Division

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000B Brighton, CO 80601-8218 PHONE 720.523.6800 FAX 720.523.6967

Request for Comments

Case Name: Case Number: Blackstone Ranch, Filing 4 PLT2019-00001

February 21, 2019

The Adams County Planning Commission is requesting comments on the following request: **major subdivision final plat for 75 single-family residential lots.** This request is located at approximately 2,000 feet southwest of East 26th Avenue and Monroe Street. The Assessor's Parcel Number is 0181333100008.

Applicant Information:

Kimley Horn Eric Gunderson 4582 South Ulster Street Suite 1500 Denver, CO 80237

Please forward any written comments on this application to the Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216, or call (720) 523-6800 by **03/14/2019** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to <u>GJBarnes@adcogov.org</u>. Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you for your information.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at <u>www.adcogov.org/planning/currentcases</u>.

Thank you for your review of this case.

Greg Barnes Planner II

Eva J. Henry DISTRICT 1 Charles "Chaz" Tedesco

BOARD OF COUNTY COMMISSIONERS

Emma Pinter DISTRICT 3 Steve O'Dorisio DISTRICT 4 Mary Hodge DISTRICT 5



Referral Listing Case Number PLT2019-00001 Blackstone Ranch, Filing 4

Agency	Contact Information
Adams County Attorney's Office	Christine Fitch CFitch@adcogov.org 4430 S Adams County Pkwy Brighton CO 80601 720-523-6352
Adams County CEDD Addressing	Marissa Hillje PLN 720.523.6837 mhillje@adcogov.org
Adams County CEDD Development Services Engineer	Devt. Services Engineering 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6800
Adams County CEDD Right-of-Way	Marissa Hillje 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6837 mhillje@adcogov.org
Adams County Construction Inspection	Gordon .Stevens 4430 S. Adams County Pkwy Brighton CO 80601 720-523-6965 gstevens@adcogov.org
Adams County Development Services - Building	Justin Blair 4430 S Adams County Pkwy Brighton CO 80601 720-523-6825 JBlair@adcogov.org
Adams County Parks and Open Space Department	Aaron Clark mpedrucci@adcogov.org (303) 637-8005 aclark@adcogov.org
Adams County Sheriff's Office: SO-HQ	Rick Reigenborn (303) 654-1850 rreigenborn@adcogov.org
Adams County Sheriff's Office: SO-SUB	SCOTT MILLER 720-322-1115 smiller@adcogov.org

Agency	Contact Information
Adams County Treasurer	Lisa Culpepper 4430 S Adams County Pkwy Brighton CO 80601 720.523.6166 lculpepper@adcogov.org
Century Link, Inc	Brandyn Wiedreich 5325 Zuni St, Rm 728 Denver CO 80221 720-578-3724 720-245-0029 brandyn.wiedrich@centurylink.com
Code Compliance Supervisor	Eric Guenther eguenther@adcogov.org 720-523-6856 eguenther@adcogov.org
COLO DIV OF WATER RESOURCES	Joanna Williams OFFICE OF STATE ENGINEER 1313 SHERMAN ST., ROOM 818 DENVER CO 80203 303-866-3581 joanna.williams@state.co.us
COLORADO DIVISION OF WILDLIFE	Eliza Hunholz Northeast Regional Engineer 6060 BROADWAY DENVER CO 80216-1000 303-291-7454 eliza.hunholz@state.co.us
COLORADO DIVISION OF WILDLIFE	Serena Rocksund 6060 BROADWAY DENVER CO 80216 3039471798 serena.rocksund@state.co.us
COLORADO GEOLOGICAL SURVEY	Jill Carlson 1500 Illinois Street Golden CO 80401 303-384-2643 303-384-2655 CGS_LUR@mines.edu
Colorado Geological Survey: CGS_LUR@mines.edu	Jill Carlson Mail CHECK to Jill Carlson 303-384-2643 303-384-2655 CGS_LUR@mines.edu
COMCAST	JOE LOWE 8490 N UMITILLA ST FEDERAL HEIGHTS CO 80260 303-603-5039 thomas_lowe@cable.comcast.com
Intermountain Rural Electric Asso - IREA	Brooks Kaufman PO Box Drawer A 5496 North US Hwy 85 Sedalia CO 80135 303-688-3100 x105 bkaufman@intermountain-rea.com

Agency	Contact Information
NS - Code Compliance	Gail Moon gmoon@adcogov.org 720.523.6833 gmoon@adcogov.org
STRASBURG FIRE PROTECTION DIST #8	GERRI VENTURA PO BOX 911 STRASBURG CO 80136 303-622-4814 gventura@svfd8.org
STRASBURG PARKS AND REC DIST.	Angie Graf P.O. BOX 118 STRASBURG CO 80136 (303) 622-4260 angie@strasburgparks.org
STRASBURG SCHOOL DISTRICT 31J	Monica Johnson 56729 E Colorado Ave STRASBURG CO 80136 303-622-9211 mjohnson@strasburg31j.org
Strasburg Water & Sanitation Dist	Tracy Griffin PO Box 596 Strasburg CO 80136 303-622-4443 strawaternsan@tds.net
TRI-COUNTY HEALTH DEPARTMENT	MONTE DEATRICH 4201 E. 72ND AVENUE SUITE D COMMERCE CITY CO 80022 (303) 288-6816 mdeatrich@tchd.org
TRI-COUNTY HEALTH DEPARTMENT	Sheila Lynch 6162 S WILLOW DR, SUITE 100 GREENWOOD VILLAGE CO 80111 720-200-1571 landuse@tchd.org
Tri-County Health: Mail CHECK to Sheila Lynch	Tri-County Health landuse@tchd.org
UNITED STATES POST OFFICE	MARY C. DOBYNS 56691 E COLFAX AVENUE STRASBURG CO 80136-8115 303-622-9867 mary.c.dobyns@usps.gov
Xcel Energy	Donna George 1123 W 3rd Ave DENVER CO 80223 303-571-3306 Donna.L.George@xcelenergy.com

BENNETT JAMES R AND BENNETT LEEANN 2330 WAGNER ST STRASBURG CO 80136-7548

BLACKSTONE RANCH HOMEOWNERS ASSOCIATION 100 SAINT PAUL ST STE 300 DENVER CO 80206-5136

BLACKSTONE RANCH HOMESOWNERS ASSOCIATION 3855 LEWISTON ST SUITE 100 AURORA CO 80011

BOYD CHRISTOPHER DAVID BOYD RENEE ALLISON 2390 WAGNER ST STRASBURG CO 80136-7548

BRADLEY ELIZABETH L 56548 E 24TH PL STRASBURG CO 80136-7528

BUCK MICHAEL AND BUCK MAUREEN PO BOX 1838 ELIZABETH CO 80107-1838

CHAVEZ OSCAR J VALENZUELA AND GONZALEZ MARIA VARGAS 56549 E 23RD PL STRASBURG CO 80136

COVER GLENN C AND COVER DIANE M 2310 MAIN ST STRASBURG CO 80136-7546

EASTERN SLOPE HOUSING 56175 SUNSET AVE STRASBURG CO 80136-0557

ENGELBRECHT RUSSELL R 2024 STRASBURG ROAD STRASBURG CO 80136 FRISBY KARL 2290 WAGNER ST STRASBURG CO 80135

GALVAN EMIR 2310 WAGNER ST STRASBURG CO 80136-7548

HULL PAULA 56400 E 28TH AVE STRASBURG CO 80136-8007

PAPPEL COLBY DILLION 56612 23RD AVE STRASBURG CO 80136-7555

PAULS DEVELOPMENT EAST LLC 270 SAINT PAUL ST STE 300 DENVER CO 80206-5133

PAULSCORP LLC 100 SAINT PAUL ST STE 300 DENVER CO 80206-5107

REED CHRISTON SETH AND REED MEGAN EVA 56550 23RD PL STRASBURG CO 80136-7557

RIED LOUIS JR 203 HOOVER AVE LOUISVILLE CO 80027-2166

STRASBURG COMMUNITY CHURCH PO BOX 556 STRASBURG CO 80136

STRASBURG METROPOLITAN PARKS AND RECREATION DIRSTRICT 1932 BURTON ST STRASBURG CO 80136 STRASBURG PARK AND RECREATION DISTRICT 1932 BURTON ST STRASBURG CO 80136-7826

STRASBURG SANITATION AND WATER DISTRICT 56829 COLORADO AVE /PO BOX 596 STRASBURG CO 80136

STRASBURG SCHOOL DISTRICT 31J PO BOX 207 STRASBURG CO 80136

STRASBURG WATER AND SANITATION DIST 7400 E ORCHARD RD STE 3300 GREENWOOD VILLAGE CO 80111-2545

SUNDIN MIKAEL ARTHUR AND SUNDIN NICOLE L 56639 23RD PL STRASBURG CO 80136-7558

URBIES FARM TRUST PO BOX 115 ILIFF CO 80736-0115

AGUIRRE BENJAMIN AND AGUIRRE PATRICIA OR CURRENT RESIDENT 56659 E 23RD PL STRASBURG CO 80136

ANDERSON LEIF ANDERSON LISA OR CURRENT RESIDENT 56642 E 23RD AVE STRASBURG CO 80136-7555

APPLE JUSTIN J OR CURRENT RESIDENT 56733 E 24TH PL STRASBURG CO 80136-7535

AUTHIER SCOTT M AND AUTHIER JENNIFER OR CURRENT RESIDENT 56585 E 25TH AVE STRASBURG CO 80136-7531 BIBEAU CHARLES R AND BIBEAU GERYL L OR CURRENT RESIDENT 56280 E 28TH COURT STRASBURG CO 80136

BOUCHER ROBERT JOSEPH AND BOUCHER MELISSA SUE OR CURRENT RESIDENT 56607 E 23RD AVE STRASBURG CO 80136-7555

BRINSON JAMES SCOTT AND BRINSON ERICA LYN OR CURRENT RESIDENT 56672 E 23RD AVE STRASBURG CO 80136-7555

CABALLERO OSCAR MACIEL OR CURRENT RESIDENT 56610 E 23RD PL STRASBURG CO 80136-7558

CAMPBELL JAMES P AND CAMPBELL DEBRA A OR CURRENT RESIDENT 56675 E 25TH AVE STRASBURG CO 80136-7530

CLARK THOMAS A CLARK LAURIE L OR CURRENT RESIDENT 56641 E 24TH AVE STRASBURG CO 80136-7525

COCHRAN CODY L AND COCHRAN EMILY J OR CURRENT RESIDENT 56640 E 23RD PL STRASBURG CO 80136-7558

COOK ERICK OR CURRENT RESIDENT 56594 E 24TH AVE STRASBURG CO 80136-7523

CORLEY MARTIN W AND CORLEY LINDA J OR CURRENT RESIDENT 2371 ADAMS CT STRASBURG CO 80136-7540

CRAWFORD THOMAS M AND CRAWFORD DEBORAH K OR CURRENT RESIDENT 56591 E 24TH AVE STRASBURG CO 80136-7524 CRITES BRIAN L OR CURRENT RESIDENT 56730 E 25TH AVE STRASBURG CO 80136-7532

DAVIS CHERYL A AND COOPER RONALD E OR CURRENT RESIDENT 56644 E 24TH AVE STRASBURG CO 80136-7527

DELANEY JOSH NEIL OR CURRENT RESIDENT 56599 E 23RD PL STRASBURG CO 80136

DODGE CHARLES R III AND DODGE LINDA L OR CURRENT RESIDENT 56547 E 23RD AVE STRASBURG CO 80136

DRIER NOEL OR CURRENT RESIDENT 56532 E 23RD AVE STRASBURG CO 80136-7554

EASTERN SLOPE HOUSING OR CURRENT RESIDENT 56175 SUNSET AVE STRASBURG CO 80136-0557

EASTWOOD RYAN J AND EASTWOOD KELLI J OR CURRENT RESIDENT 56745 E 25TH AVE STRASBURG CO 80136-7529

EHMANN GEORGE O AND EHMANN JOYCE OR CURRENT RESIDENT 56708 E 22ND PL STRASBURG CO 80136-7552

ELGIN HENRY AND ELGIN DARLENE OR CURRENT RESIDENT 56635 E 25TH AVE STRASBURG CO 80136-7530

ESTRADA MARCOS AND ESTRADA MARIA OR CURRENT RESIDENT 2350 MAIN ST STRASBURG CO 80136-7546 FERREL STEPHEN AND FERREL LAURIE OR CURRENT RESIDENT 2351 ADAMS CT STRASBURG CO 80136-7540

FOSTER LOUIS E FOSTER BELINDA W OR CURRENT RESIDENT 56692 E 23RD AVE STRASBURG CO 80136-7555

FRANZ GEORGE W AND FRANZ DONA RAE J OR CURRENT RESIDENT 56582 E 23RD AVE STRASBURG CO 80136-7554

HARRINGTON SHAUN MICHAEL AND HARRINGTON ELIZABETH MARIE OR CURRENT RESIDENT 2330 MAIN ST STRASBURG CO 80136-7546

HAUN ROBERT AND HAUN MARGARET D OR CURRENT RESIDENT 56734 E 24TH AVE STRASBURG CO 80136

HOLDSWORTH JUSTIN AND HOLDSWORTH MISTY OR CURRENT RESIDENT 56770 E 25TH AVE STRASBURG CO 80136-7532

HUCK FRANK C AND HUCK SHARON A OR CURRENT RESIDENT 56598 E 24TH PL STRASBURG CO 80136-7528

HULBURT ALYSSA OR CURRENT RESIDENT 56670 E 23RD PL STRASBURG CO 80136-7558

HUMBERT EUGENE I AND HUMBERT PATRICIA A AND HUMBERT SEANDRA OR CURRENT RESIDENT 56360 E 28TH CT STRASBURG CO 80136-8036

JONES MATTHEW M JONES KRISTIN L OR CURRENT RESIDENT 56690 E 23RD PL STRASBURG CO 80136-7558 KEYWORTH JONATHAN OR CURRENT RESIDENT 56534 E 24TH AVE STRASBURG CO 80136-7523

KUBISCHTA KEVIN OR CURRENT RESIDENT 56511 E 24TH AVE STRASBURG CO 80136-7524

MARRERO MICHAEL A OR CURRENT RESIDENT 56555 E 25TH AVE STRASBURG CO 80136-7531

MATHIS CONNIE OR CURRENT RESIDENT 56640 E 25TH AVE STRASBURG CO 80136-7533

MELE SANDRA L AND MELE ROGER W AND SHIELDS BERNADINE OR CURRENT RESIDENT 56689 E 23RD PL STRASBURG CO 80136

MILLER ROBERT J AND MILLER SHANNON K OR CURRENT RESIDENT 56680 E 25TH AVE STRASBURG CO 80136-7533

MOORE MICHAEL R AND MOORE KAREN SUSAN OR CURRENT RESIDENT 56530 E 23RD PL STRASBURG CO 80136

MUTSCHELKNAUS RYAN AND MUTSCHELKNAUS CRAIG AND ESQUIBEL SARA OR CURRENT RESIDENT 56531 E 24TH AVE STRASBURG CO 80136-7524

NEUMANN RICHARD JR OR CURRENT RESIDENT 56561 E 24TH AVE STRASBURG CO 80136-7524

NORDLOH JOLENE R AND NORDLOH JAY H OR CURRENT RESIDENT 56684 E 24TH AVE STRASBURG CO 80136-7527 PARSONS ROSS N AND PARSONS TRACY LYNN OR CURRENT RESIDENT 56580 E 23RD PL STRASBURG CO 80136

PEREZ RAMUNDO A AND PEREZ TRACY L OR CURRENT RESIDENT 56564 E 24TH AVE STRASBURG CO 80136

PLAVEN LOUISE S OR CURRENT RESIDENT 56593 E 24TH PL STRASBURG CO 80136-7537

POSTMA DIANA K OR CURRENT RESIDENT 56657 E 23RD AVE STRASBURG CO 80136

QUINN ROBERT W III AND QUINN KATHERINE L OR CURRENT RESIDENT 56577 E 23RD AVE STRASBURG CO 80136

RODIE WARREN W AND RODIE AMY E OR CURRENT RESIDENT 56552 E 23RD AVE STRASBURG CO 80136

SEGLER ALLAN L OR CURRENT RESIDENT 2370 MAIN ST STRASBURG CO 80136-7546

SHARFF TIMOTHY AND SHARFF ALISA OR CURRENT RESIDENT 56681 E 24TH AVENUE STRASBURG CO 80136

SMITH HOWARD A AND SMITH LUCIANA M OR CURRENT RESIDENT 56643 E 24TH PL STRASBURG CO 80136-7536

SPOONER MICHAEL W OR CURRENT RESIDENT 56725 E 25TH AVE STRASBURG CO 80136-7529 SPRINKLE RANDY AND SPRINKLE NANCY OR CURRENT RESIDENT 56683 E 24TH PL STRASBURG CO 80136-7536

STOEN LAURA AND STOEN ERIC C OR CURRENT RESIDENT 56568 E 24TH PL STRASBURG CO 80136-7528

TAPPARO KENNETH L AND TAPPARO LORI A OR CURRENT RESIDENT 56560 E 25TH AVE STRASBURG CO 80136-7534

TAYLOR NANCY P AND TAYLOR WILLIAM D OR CURRENT RESIDENT 56275 E 28TH CT STRASBURG CO 80136-8060

TRUJILLO EDWARD SABINO JR OR CURRENT RESIDENT 56765 E 25TH AVE STRASBURG CO 80136-7529

VALENCIA MYRNA AND VALENCIA RAUL OR CURRENT RESIDENT 2331 ADAMS CT STRASBURG CO 80136-7540

WELLER DIANNA K OR CURRENT RESIDENT 56688 E 24TH PL STRASBURG CO 80136-7538

WILKES NICHOLAS AND WILKES KAYLA R OR CURRENT RESIDENT 56579 E 23RD PL STRASBURG CO 80136

WILLIAMS RANDALL JASON AND WILLIAMS AMIE KAY OR CURRENT RESIDENT 56773 E 24TH PL STRASBURG CO 80136-7535

WILMES PHILIP STEPHEN AND WILMES DE ANNA LYNN OR CURRENT RESIDENT 56563 E 24TH PL STRASBURG CO 80136-7537 YOUNG SHAWN C AND YOUNG LANETTE C OR CURRENT RESIDENT 56702 E 23RD AVE STRASBURG CO 80136

YUAN RUI OR CURRENT RESIDENT 56590 E 25TH AVE STRASBURG CO 80136-7534

ZESSIN JEFFREY AND ZESSIN RUTH OR CURRENT RESIDENT 56609 E 23RD PL STRASBURG CO 80136

ZIPPE MATTHEW J AND ZIPPE MELISSA E OR CURRENT RESIDENT 56597 E 23RD AVE STRASBURG CO 80136-7554

CURRENT RESIDENT 56648 E 24TH PL STRASBURG CO 80136-7538

CURRENT RESIDENT 2210 WAGNER ST STRASBURG CO 80136-7549

CURRENT RESIDENT 2100 WAGNER ST STRASBURG CO 80136-7726

CURRENT RESIDENT 2024 STRASBURG RD STRASBURG CO 80136-7803

CURRENT RESIDENT 56400 E 28TH CT STRASBURG CO 80136-8036

CURRENT RESIDENT 56210 E 20TH CT STRASBURG CO 80136-8102



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 29, 2019

SUBJECT: Major Subdivision, Final Plat for Blackstone Ranch Subdivision, Filing 4

FROM: Jill Jennings Golich, Community and Economic Development Director

AGENCY/DEPARTMENT: Community & Economic Development Department

HEARD AT STUDY SESSION ON n/a

AUTHORIZATION TO MOVE FORWARD: YES NO

RECOMMENDED ACTION: That the Board of County Commissioners approves the Blackstone Ranch Subdivision, Filing 4 final plat and associated subdivision improvement agreement with 7 findings-of-fact, 1 condition, and 1 note.

BACKGROUND:

Pauls Development East, LLC is requesting a major subdivision final plat to create 75 singlefamily residential lots, five non-residential tracts, and associated public streets on approximately 23 acres. The site is located approximately 1,200 feet southeast of the intersection of East 26th Avenue and Aspen Street. Most of the surrounding properties are designated within agricultural or residential zoned districts. The request is for the fourth filing of the Blackstone Ranch subdivision. The three previously approved filings of the Blackstone Ranch subdivision have created 172 single-family residential lots.

Section 2-02-17-04 of the County's Development Standards and Regulations outline the criteria for approval of a final plat. The proposed request conforms to all requirements outlined in the Development Standards and Regulations (see attached staff report). The proposed lots conform to the minimum lot size required for development in the R-1-C zoned district, as well as all associated public improvements.

Per Section 5-02-05 of the County's Development Standards and Regulations, a Subdivision Improvements Agreement (SIA) is required with approval of a final plat. The required improvements include construction of infrastructure, such as public streets, curbs, gutters, sidewalks, and storm sewers to serve development. Staff has reviewed the SIA and determined the proposed agreement complies with the County's Development Standards and Regulations (See Exhibit 3.3).

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED: None

ATTACHED DOCUMENTS:

- BOCC staff report and packet
- Resolution approving application in case PLT2019-00001
- Resolution approving Subdivision Improvements Agreement (SIA2019-00017) for Blackstone Ranch, Filing 4 Subdivision

FISCAL IMPACT:

Please check if there is no fiscal impact \boxtimes . If there is fiscal impact, please fully complete the section below.

Fund:

Cost Center:

	Object	Subledger	Amount
	Account		
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested:	YES	NO
Future Amendment Needed:	YES	NO

Additional Note:

RESOLUTION APPROVING CASE #SIA2019-00017 SUBDIVISION IMPROVEMENTS AGREEMENT FOR BLACKSTONE RANCH, FILING 4

WHEREAS, it is provided by resolution of the Board of County Commissioners, County of Adams, that where designated the Developer shall have entered into a written agreement with the County to install public and/or private improvements, and to deed land for public purposes or right-of-way or submit cash-in-lieu; and,

WHEREAS, on October 29, 2019, the Board of County Commissioners, in Case No. PLT2019-00001, Blackstone Ranch, Filing 4, approved a Final Plat to allow 75 residential lots and 5 non-residential tracts on approximately 23.2 acres in the Residential-1-C zone district; and,

WHEREAS, the Developer has provided collateral to meet the terms of the agreement; and,

WHEREAS, the Adams County Community and Economic Development Department recommends approval of the attached Subdivision Improvements Agreement for Blackstone Ranch, Filing, Case No. SIA2019-00017.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Subdivision Improvements Agreement for Blackstone Ranch, Filing 4, a copy of which is attached hereto and incorporated herein by this reference, be approved.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners be authorized to execute this AGREEMENT on behalf of the County of Adams, State of Colorado.

SUBDIVISION IMPROVEMENTS AGREEMENT

THIS AGREEMENT is made and entered into by and between the County of Adams, State of Colorado, hereinafter called "County," and PaulsCorp, LLC, a Colorado limited liability company whose address is 270 St. Paul Street, Ste. 300, Denver, Colorado 80206, hereinafter called "Developer."

WITNESSETH:

WHEREAS, Developer is the owner of real property in the County of Adams, State of Colorado, as described in **Exhibit "A"** attached hereto, and by this reference made a part hereof.

WHEREAS, it is provided by resolution of the Board of County Commissioners ("BoCC"), County of Adams, that where designated the Developer shall have entered into a written agreement with the County to install public and/or private improvements, and to deed land for public purposes or right-of-way.

NOW, THEREFORE, in consideration of the foregoing, the parties hereto promise, covenant, and agree as follows:

- 1. Engineering Services. Developer shall furnish, at its own expense, all engineering and other services in connection with the design and construction of the improvements described and detailed on Exhibit "B" attached hereto, and by this reference made a part hereof. Developer shall obtain the approval of the Adams County Transportation Department and Development Engineering Services for all construction plans and engineering reports prepared by the Developer in connection with the design and construction of the improvements described and detailed on Exhibit "B".
- 3. **Drawings and Estimates**. Developer shall furnish drawings and cost estimates for all improvements described and detailed on **Exhibit "B"** for approval by the County. The Developer shall furnish one set of "as built" drawings and a final statement of construction costs to the County.
- 4. **Construction**. Developer shall furnish and construct, at its own expense and in accordance with drawings and materials approved by the County, the improvements described and detailed on **Exhibit "B"**.
- 5. **Time for Completion**. Improvements shall be completed according to the terms of this agreement within "construction completion date" appearing in **Exhibit "B"**. The Director of the Community

and Economic Development Department may for good cause grant extension of time for completion of any part of all of improvements appearing on said **Exhibit "B"**. Any extension greater than 180 days may be approved only by the Board of County Commissioners. Any extension of time shall be in written form only.

6. **Guarantee of Compliance**. Developer shall furnish to the County a cash escrow deposit or other acceptable collateral, releasable only by the County, to guarantee compliance with this agreement. Said collateral shall be in the amount of one million seven hundred fifty thousand five hundred eighty-two dollars (\$1,750,582.00), including twenty percent (20%) to cover administration and five percent (5%) per year for the term of the Agreement to cover inflation. Upon approval of the final plat, completion of said improvements constructed according to the terms of this agreement, and preliminary acceptance by the Director of Public Works in accordance with Section 5-02-05-01 of the County's Development Standards and Regulations, the collateral shall be released. Completion of said improvements will be determined solely by the County, and a reasonable part of said collateral, up to twenty percent (20%), may be retained to guarantee maintenance of public improvements for a period of one year from the date of completion.

No building permits will be issued until said collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners, and until the final plat has been approved and the improvements described in **Exhibit "B"** have been preliminarily accepted by the Department of Public Works..

- 7. Acceptance and Maintenance of Public Improvements. All improvements designated "public" on Exhibit "B" shall be public facilities and become the property of the County or other public agencies upon acceptance of the improvements. During the period of one year from and after the acceptance of public improvements, the Developer shall, at its own expense, make all needed repairs or replacement due to defective materials or workmanship which, in the opinion of the County, become necessary. If, within ten days of written notice to the Developer from the County requesting such repairs or replacements, the Developer has not undertaken with due diligence to make the same, the County may make such repairs or replacements at the Developer's expense. In the case of an emergency such written notice may be waived.
- 8. **Successors and Assigns**. This agreement shall be binding upon the heirs, executors, personal representatives, successors, and assigns of the Developer, and shall be deemed a covenant running with the real property as described in **Exhibit "A"** attached hereto.

9. **Improvements and Dedication**. The undersigned Developer hereby agrees to provide the following improvements, and to dedicate described property.

A. Improvements.

Public Improvements: see Exhibit "B"

See Exhibit "B" for description, estimated quantities, and estimated construction costs.

The improvements shall be constructed in accordance with all County requirements and specifications in accordance with the approved plans and preliminarily accepted in accordance with section 5-02-05-01 of the County's Development Standards and Regulations prior to the construction completion date indicated in **Exhibit "B"**.

B. **Public dedication of land for right-of-way purposes or other public purpose**. Upon approval of this agreement by the BoCC, the Developer hereby agrees to convey by subdivision plat to the County of Adams the following described land for right-of-way or other public purposes:

The rights-of-way shown on the Final Plat of Blackstone Ranch Filing No. 4, known as Trout Road, East 23rd Place, East 23rd Avenue, and East 22nd Place, more particularly described and depicted thereon.

[SIGNATURE PAGES FOLLOW]

PAULSCORP, LLC, A Colorado limited liability company

By:

Authorized Signatory

STATE OF COLORADO

} ss. }

}

CITY AND COUNTY OF DENVER

The foregoing instrument was acknowledged before me this _____ day of ______, 2019, by Brad Pauls as authorized signatory for PaulsCorp, LLC, a Colorado limited liability company.

My commission expires:

Address:

Notary Public

APPROVED BY resolution at the meeting	of, 2019.

Collateral to guarantee compliance with this agreement and construction of public improvements shall be required in the amount of \$1,750,582.00. No building permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners.

ATTEST:

BOARD OF COUNTY COMMISSIONERS ADAMS COUNTY, COLORADO

Clerk of the Board

Chair

EXHIBIT A

LEGAL DESCRIPTION BLACKSTONE RANCH FILING NO. 4

A PARCEL OF LAND LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 3 SOUTH, RANGE 62 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 33, WHENCE THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33 BEARS SOUTH 89°17'10" WEST, A DISTANCE OF 2613.96 FEET, ALL BEARINGS HEREON ARE REFERENCED TO THIS LINE;

THENCE SOUTH 54°18'12" WEST, A DISTANCE OF 1,667.58 FEET TO A POINT ON THE WESTERLY BOUNDARY OF BLACKSTONE RANCH FILING NO. 2A, AS RECORDED AT RECEPTION NO. 2016000035452 AND THE SOUTHEAST CORNER OF BLACKSTONE RANCH FILING NO. 3, AS RECORDED AT RECEPTION NO. 2018000080418 IN THE RECORDS OF THE CLERK AND RECORDER OF SAID ADAMS COUNTY AND THE POINT OF BEGINNING:

THENCE ALONG SAID WESTERLY BOUNDARY THE FOLLOWING NINE (9) COURSES:

- 1) SOUTH 00°27'21" EAST, A DISTANCE OF 81.00 FEET;
- 2) SOUTH 44°24'54" WEST, A DISTANCE OF 28.35 FEET;
- 3) SOUTH 00°27'21" EAST, A DISTANCE OF 50.00 FEET;
- 4) SOUTH 45°35'06" EAST, A DISTANCE OF 28.22 FEET;
- 5) SOUTH 00°27'21" EAST, A DISTANCE OF 162.00 FEET;
- 6) SOUTH 44°24'55" WEST, A DISTANCE OF 28.35 FEET;
- 7) SOUTH 00°27'22" EAST, A DISTANCE OF 50.00 FEET;
- 8) SOUTH 45°35'06" EAST, A DISTANCE OF 28.22 FEET;

9) SOUTH 00°27'21" EAST, A DISTANCE OF 162.00 FEET TO THE WESTERLY LINE OF BLACKSTONE RANCH FILING NO. 2-B AS RECORDED AT RECEPTION NO. 2016000045767, IN SAID RECORDS;

THENCE ALONG SAID WESTERLY BOUNDARY THE FOLLOWING FOUR (4) COURSES:

- 1) SOUTH 44°24'54" WEST, A DISTANCE OF 28.35 FEET;
- 2) SOUTH 00°27'21" EAST, A DISTANCE OF 50.00 FEET;
- 3) SOUTH 45°35'06" EAST, A DISTANCE OF 28.22 FEET;

4) SOUTH 00°27'21" EAST, A DISTANCE OF 166.39 FEET TO THE NORTHERLY BOUNDARY OF ENGLEBRECHT SUBDIVISION FILING NO. 1 RECORDED AT RECEPTION NO. C0987100 IN SAID RECORDS;

THENCE ALONG SAID NORTHERLY BOUNDARY, SOUTH 89°02'41" WEST, A DISTANCE OF 1217.85 FEET TO THE EASTERLY BOUNDARY OF BLACKSTONE RANCH FILING NO. 3 RECORDED AT RECEPTION NO. 2018000080418 IN SAID RECORDS;

THENCE ALONG THE EASTERLY AND SOUTHERLY BOUNDARIES OF SAID BLACKSTONE RANCH FILING NO. 3 THE FOLLOWING FOUR (4) COURSES:

- 1) NORTH 00°16'12" WEST, A DISTANCE OF 801.54 FEET;
- 2) NORTH 89°17'10" EAST, A DISTANCE OF 169.41 FEET;
- 3) NORTH 00°50'07" WEST, A DISTANCE OF 45.00 FEET;
- 4) NORTH 89°17'10" EAST, A DISTANCE OF 1046.11 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 23.297 ACRES, (1,014,807 SQUARE FEET), MORE OR LESS.

EXHIBIT B

Engineer's Opinion of Estimated Costs

Client:	Paulscorp LLC		Date:		8/27/201
	Blackstone Ranch, Filing No. 4	F	repared	Bv:	DGI
	: 096195014		hecked E		EJ
Title:	Blackstone Ranch Filing 4 (75 Lots) - County S	urety Estimate (SIA)	Sheet: 1 o	of 2
Contaux Literat	Accessibles has annexed by ODCC from some building drawing	an dated 08/00/2015	and the states of	handers the East month	the set of the set of
hange. Ad	8 Associates, Inc. prepared the OPCC from construction drawin ditionally, the final land plan could change significantly through the	e development proces	s. This OPC	is not intended for basi	ng financial
equipment,	r securing funding. Review all notes and assumptions. Since Kiml or services furnished by others, or over methods of determining pr	ice, or over competitiv	ve bidding or	market conditions, any	and all opinions a
o the cost h	erein, including but not limited to opinions as to the costs of const	ruction materials, sha	I be made or	n the basis of experience	e and best
hown herei	ta. Kimley-Horn & Associates, Inc. cannot and does not guarantee n. The total costs and other numbers in this Opinion of Probable	e that proposais, bids, Cost have been round	or actual cos led.	ats will not vary from the	opinions on cost
Item No.	Item Description	Quantity	Unit	Unit Price	Item Co
1	Infrastructure Trout Road		-		
1	Roadway Earthwork 1' Scarify	1,080	CY	\$2.55	\$2,75
2	5" Asphalt Section w/ 6" Agg. Base 32' wide	20,731	SF	\$4.20	\$87,07
3	Curb & Gutter & Sidewalk (7.5' Total)	1,124	LF	\$35.50	\$39,90
4	ADA Ramps	2	EA	\$1,650.00	\$3,30
	Infrastructure East 23rd Place				\$155,025
1	Roadway Earthwork 1' Scarify	1,805	CY	\$3.20	\$5.77
	5" Asphalt Section w/ 6" Agg. Base 32' wide	32,954	SF	\$4.20	\$138.40
2 3 4 5	Curb & Gutter & Sidewalk (7.5' Total)	2,104	LF	\$34.00	\$71,53
4	ADA Ramps	2	EA	\$1,650.00	\$3,30
5	18" Storm Sewer	437	LF	\$48.00	\$20,97
6	Storm Inlets/Manholes	3	EA	\$4,400.00	\$13,20
					\$253,19
	Infrastructure East 23rd Avenue	1000		6.2.72	- Julian
1	Roadway Earthwork 1' Scarify	1,802	CY	\$3.20	\$5,76
2	5" Asphalt Section w/ 6" Agg. Base 32' wide	32,901	SF	\$4.20	\$138,18
3	Curb & Gutter & Sidewalk (7.5' Total)	2,100	LF	\$34.00	\$71,40
4 5	ADA Ramps	596	EA	\$1,650.00	\$3,30
5	18" Storm Sewer	590	LF EA	\$48.00 \$4.400.00	\$28,60
0	Storm Inlets/Manholes	4	EA	\$4,400.00	\$17,60
	Infrastructure East 22nd Place				4201,00
1	Roadway Earthwork 1' Scarify	1,781	CY	\$2.55	\$4,54
	5" Asphalt Section w/ 6" Agg. Base 32' wide	32,453	SF	\$4.20	\$136,30
2 3 4	Curb & Gutter & Sidewalk (7.5' Total)	2,086	LF	\$35.50	\$74,05
	18" Storm Sewer	437	LF	\$48.00	\$20,97
	TO Storm Sower				
4	Storm Inlets/Manholes	3	EA	\$4,400.00	\$13,20

Kimley-	Horn	Opini	on of P	robable Const	ruction Cos
lient:	Paulscorp LLC		ate:		8/27/201
	Blackstone Ranch, Filing No. 4	-	repared	But	DG
	: 096195014		hecked i		EJ
dia No.	030133014		HECKEU	Jy.	LJ
itle:	Blackstone Ranch Filing 4 (75 Lots) - County Su	rety Estimate (SIA)	Sheet: 2	of 2
hange. Add ecisions, or quipment, or the cost h vailable dat	Associates, Inc. prepared the OPCC from construction drawing: ditionally, the final land plan could change significantly through the or r securing funding. Review all notes and assumptions. Since Kimley or services furnished by others, or over methods of determining pric erein, including but not limited to opinions as to the costs of constru La. Kimley-Hom & Associates, Inc. cannot and does not guarantee t n. The total costs and other numbers in this Opinion of Probable Co.	development process -Horn & Associates, xe, or over competitiv ction materials, shall hat proposals, bids,	s. This OPC Inc. has no re bidding or I be made o or actual co	is not intended for bas control over the cost of market conditions, any n the basis of experience	ing financial labor, materials, and all opinions and best
tem No.	Item Description	Quantity	Unit	Unit Price	Item Co
	Infrastructure Aspen Street				
1	Roadway Earthwork 1' Scarify	2.200	CY	\$2.55	\$5.60
2	5" Asphalt Section w/ 6" Agg. Base 32' wide	44,293	SF	\$4.20	\$186.03
3	Curb & Gutter & Sidewalk (7.5' Total)	2,013	LE	\$35.50	\$71,46
4	ADA Ramps	5	EA	\$1,650.00	\$8,25
5	8' Concrete Pan	2,260	SF	\$15.00	\$33,90
6	12" Storm Sewer	20	LE	\$65.00	\$1,30
7	24" Storm Sewer	14	LE	\$75.00	\$1,00
'	24 Storm Sewer	14		575.00	\$307,60
	Storm Sewer Main A				
1	18" Storm Sewer	37	LE	\$48.00	\$1,77
2	24" Storm Sewer	252	LF	\$75.00	\$18,90
3	36" Storm Sewer	349	LF	\$90.00	\$31,41
4	Storm Inlets/Manholes	9	EA	\$4,400.00	\$39.60
		2		\$1,100.00	\$89,91
	11.00				\$181,59
	Subtotal	-			\$1,389,35
1	Additional Performance Bond Requirements				
1	20% Administration Fee	1	EA	20%	\$277,87
	5% Inflation Per Year of Construction	1	YR	5%	\$83,36
2				· · · · · · · · · · · · · · · · · · ·	\$361,23
2	A Contract of the second				
2	Basis for Cost Projection:	Total:			\$1,750,58

Final Design

Construction Completion Date: July 31, 2020

Initials or signature of Developer:



COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

CASE NO.: PLT2019-00001 CASE NAME: BLACKSTONE RANCH, FILING 4

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COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

STAFF REPORT

Board of County Commissioners

October 15, 2019

CASE No.: PLT2019-00001 CASE NAME: Blackstone Ranch, Filing 4

Owner's Name:	Paulscorp, LLC	
Applicant's Name:	Pauls Development East, LLC	
Applicant's Address:	270 St. Paul Street, Suite 300, Denver, CO 80206	
Location of Requests:	Approximately 1,200 feet southeast of the intersection of East 26 th	
	Avenue & Aspen Street	
Nature of Requests:	1) Major Subdivision Final Plat for 75 lots and 5 tracts; 2)	
	Subdivision Improvements Agreement (SIA)	
Zone District: Residential-1-C (R-1-C)		
Site Size:	23.2 acres	
Proposed Uses:	Single-Family Residential	
Existing Use:	Vacant	
Hearing Date(s):	BoCC: October 15, 2019 / 9:30 a.m.	
Report Date:	October 17, 2018	
Case Manager:	Greg Barnes	
Staff Recommendation:	APPROVAL of the Final Plat and Subdivision Improvement	
	Agreement with 7 Findings-of-Fact and 3 Notes	

SUMMARY OF PREVIOUS APPLICATIONS

On March 21, 2005, the Board of County Commissioners approved the rezoning of the 108-acre property from Agriculture-3 (A-3) to Residential-1-C (R-1-C). This 108-acre property is currently known as the Blackstone Ranch subdivision.

On May 22, 2006, the Board of County Commissioners approved a major subdivision final plat (Filing 1) of Blackstone Ranch to create 43 lots on 30.34 acres. Blackstone Ranch, Filing 1 is fully constructed and occupied.

On April 19, 2016, the Board of County Commissioners approved a major subdivision final plat (Filing 2-A) of Blackstone Ranch to create 43 lots on 10.93 acres. Blackstone Ranch, Filing 2-A is fully constructed and occupied.

On June 7, 2016, the Board of County Commissioners approved a major subdivision final plat (Filing 2-B) of Blackstone Ranch to create 18 lots on 10.79 acres. Blackstone Ranch, Filing 2-B is fully constructed and occupied.

On November 4, 2017, the Board of County Commissioners approved a major subdivision preliminary plat for Filing 3 (Blackstone Ranch) to create 163 lots on 53.8 acres. Filing 3 was subsequently divided into Filings 3 and 4. The final plat for Filing 3 for 88 lots was approved by the Board of County Commissioners on July 10, 2018. The subject application is for a final plat for 75 lots on Filing 4.

SUMMARY OF APPLICATION

Background:

Pauls Development East, LLC is requesting a major subdivision final plat to create 75 singlefamily residential lots, five non-residential tracts, and associated public streets on approximately 23 acres. The site is located approximately 1,200 feet southeast of the intersection of East 26th Avenue and Aspen Street. Most of the surrounding properties are designated in agricultural or residential zoned districts. The request is for the fourth filing of the Blackstone Ranch subdivision. The three previously approved filings of the Blackstone Ranch subdivision have created 172 single-family residential lots.

Site Characteristics:

The site is located southeast of the intersection of East 26th Avenue and Aspen Street in the unincorporated community of Strasburg. The site is currently vacant; however, it is adjacent to single-family residential dwellings, located north and east of the site. The adjoining single-family development is part of the overall 108-acre property rezoned on March 21, 2005 known as the Blackstone Ranch Subdivision, Filings 1-3.

Development Standards and Regulations Requirements

<u> Major Subdivision (Final Plat):</u>

Per Section 2-02-17-04-05 of the County's Development Standards and Regulations, a final plat must be consistent and conform to an approved preliminary plat. On November 4, 2017, the Board of County Commissioners approved a preliminary plat on the subject property (i.e. Blackstone Ranch, Filing 3). The subject request conforms to the corresponding section of the approved preliminary plat. The proposed final plat includes traffic-calming devices in the subdivision. This was a recommendation of the Planning Commission during review of the preliminary plat.

The minimum lot size approved with the preliminary plat is 7,000 square feet for internal lots and 7,500 square feet for corner lots. The smallest lot size proposed in the subject filing is 7,200 square feet, which conforms to the required minimum lot size shown on the preliminary plat and in the R-1-C district. The lots also conform to the minimum required lot width of 65 feet for internal lots and 70 feet for corner lots in the R-1-C district. All streets shown on the plat

conform to the County's requirements. These streets will be dedicated to the County and constructed to Adams County standards for local streets. In addition, all lots will have access to public streets.

Adequate provisions for water and sewer facilities are required with all final plats. The applicant obtained a letter of intent from Eastern Adams County Metropolitan District of their ability to provide service to the development. The Colorado Division of Water Resources reviewed the proposed subdivision and stated a water supply plan for the entire Blackstone Ranch subdivision has previously been approved (see Exhibit 3.1).

Requirements for public land dedication outlined in Section 5-05 of the County's Development Standards have been met. In accordance with Section 5-05-04-05 and 5-05-05-04 of the County's Development Standards, cash-in-lieu of land dedication shall be required when deemed by the Board of County Commissioners to be more appropriate in satisfying the needs of the school and park districts planned to serve the proposed subdivision. The applicant has provided the required payment in the amount of \$219,301.47.

Subdivision Improvement Agreement (SIA):

Per Section 5-02-05 of the County's Development Standards and Regulations, a subdivision improvement agreement is required with a final plat. The SIA allows for construction of infrastructure, such as public streets, curbs, gutters, sidewalks, and storm sewers to be constructed on the property. All streets and sidewalks in the development are proposed to be public and constructed to local street standards.

Future Land Use Designation:

The future land use designation on the property is urban residential. Per Chapter 5 of the County's Comprehensive Plan, the urban residential areas are those designated for single and multiple family housing, typically at urban densities of one dwelling per acre or greater. The urban residential areas are intended to provide for development of residential neighborhoods with a variety of housing types, with adequate urban services and transportation facilities. The subject request consists of approximately 2.8 dwelling units per acre and conforms to the goals of the Comprehensive Plan to provide higher density housing near urban services and transportation. The development has access on East 24th, 25th, and 26th Avenues, as well as East 26th Place. All of these streets are adequate to support the development as determined by the engineering plan review.

The subject property is also located in the County's Strasburg Plan. The plan was adopted to encourage higher-density development within Strasburg, while limiting the density of the surrounding area. The plan shows projected growth of Strasburg to be between 10,000-12,000 residents and recommends maintaining the small-town, agricultural character of the community. Per the Plan, Adams County portions of Strasburg should limit residential estate development to a density of less than one dwelling unit per acre. The proposed density for the subject request is greater than one dwelling unit per acre and consistent with the Plan. In addition, the proposed preliminary plat conforms to both the Comprehensive Plan and the Strasburg Plan. Both plans designate the subject site for residential uses.

	Newthereset				
Northwest	North	Northeast			
A-3	R-1-C	R-1-C			
Vacant	Single-Family Residential	Single-Family Residential			
West	Subject Property	East			
A-3	R-1-C	R-1-C			
Vacant	Single-Family Residential	Single-Family Residential			
Southwest	South	Southeast			
A-3	A-1, PUD	A-2			
Vacant	Church, School	School			

Surrounding Zoning Designations and Existing Use Activity:

Compatibility with the Surrounding Land Uses:

The properties to the east and north of the proposed development are developed as single-family residential and are within the same (Blackstone Ranch) subdivision. Properties located directly west and south of the subject filing are either vacant or developed as a church or school. The proposed request for a final plat to develop single-family dwellings is consistent with all the surrounding uses.

Staff Recommendations:

Based upon the application, the criteria for approval of a final plat, and recent site visit, staff recommends approval of this request with 7 findings-of-fact and 3 notes.

RECOMMENDED FINDINGS-OF-FACT

- 1. The final plat is consistent and conforms to the approved preliminary plat.
- 2. The final plat is in conformance with the subdivision design standards.
- 3. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.
- 4. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that the system complies with state and local laws and regulations.
- 5. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.
- 6. The proposed or constructed drainage improvements are adequate and comply with these standards and regulations.
- 7. Adequate public facilities or infrastructure, or cash-in-lieu, for impacts reasonably related to the proposed subdivision have been constructed or financially guaranteed through cash-in-lieu or a subdivision improvements agreement so the proposed subdivision will not negatively impact the levels of service of the County.

Recommended Note to the Applicant:

- 1. The applicant shall comply with all building, zoning, fire, engineering, and health codes and regulations during the development of the subject site.
- 2. The Colorado Geologic Survey has identified presence of collapsible soils in the area. It is imperative that grading, surface drainage, and subsurface drainage are correctly designed, constructed, and maintained to prevent wetting of potentially collapsible soils in the immediate vicinity of building foundations.
- 3. The Colorado Division of Parks and Wildlife has requested that a survey of the property for nesting of burrowing owls occurs if earthmoving occurs between March 15th and October 31st of any given year. These raptors are classified as a state threatened species and are protected by both state and federal laws, including the Migratory Bird Treaty Act. These laws prohibit the killing of burrowing owls or disturbance of their nests. Guidelines for performing a burrowing owl survey can also be obtained from the local District Wildlife Manager.

FUBLIC C	UNIVIENIS
Number of Notices Mailed	Number of Public Comments
(1000 Feet)	Received by Staff
100	0

PUBLIC COMMENTS

One hundred (100) notices were mailed to all property owners and residents within 750 feet of the request. As of writing this report, staff has not received any comments from nearby residents expressing concerns with the request.

COUNTY AGENCY COMMENTS

Adams County staff reviewed the subject request and determined the proposed final plat complies with the subdivision design standards outlined in Section 5-03 of the Development Standards and Regulations. All lot configurations proposed conforms to lot dimensions in the R-1-C zone district. Evidence of the ability to provide adequate water and sewage facilitates have also been provided.

REFERRAL AGENCY COMMENTS

The Colorado Division of Water Resources also reviewed the subject request and stated a commitment from the Eastern Adams County Metropolitan District is on file for adequate supply of services to the development.

The Colorado Geologic Survey reviewed the request and identified presence of collapsible soils in the area. They stated it is imperative that grading, surface drainage, and subsurface drainage are correctly designed, constructed, and maintained to prevent wetting of potentially collapsible soils in the immediate vicinity of building foundations.

The Colorado Division of Parks and Wildlife (CPW) has requested that a survey of the property for nesting of burrowing owls occurs if earthmoving occurs between March 15th and October 31st of any given year. These raptors are classified as a state threatened species and are protected by both state and federal laws, including the Migratory Bird Treaty Act. These laws prohibit the killing of burrowing owls or disturbance of their nests. Guidelines for performing a burrowing owl survey can also be obtained from the local District Wildlife Manager.

In addition, Future residents should be informed that wildlife such as fox, coyotes, and raccoons might frequent the development area in search of food and cover. Coyotes, foxes, cottontail rabbits, and raccoons are several species that have adapted to living in urban environments. CPW recommends that people moving into and residing in this area take the proper precautions to prevent unnecessary conflicts with wildlife. Due to the potential for human-wildlife conflicts associated with this project, CPW has urged the applicant to consider educating future homeowners about the existence of wildlife in the area. Examples of these practices include: keeping pet foods and bowls indoors, securing of garbage containers, a reminder that feeding of wildlife, with the exception of birds, is illegal, and a reminder that pamphlets are available through CPW offices and online.

Responding with Concerns:

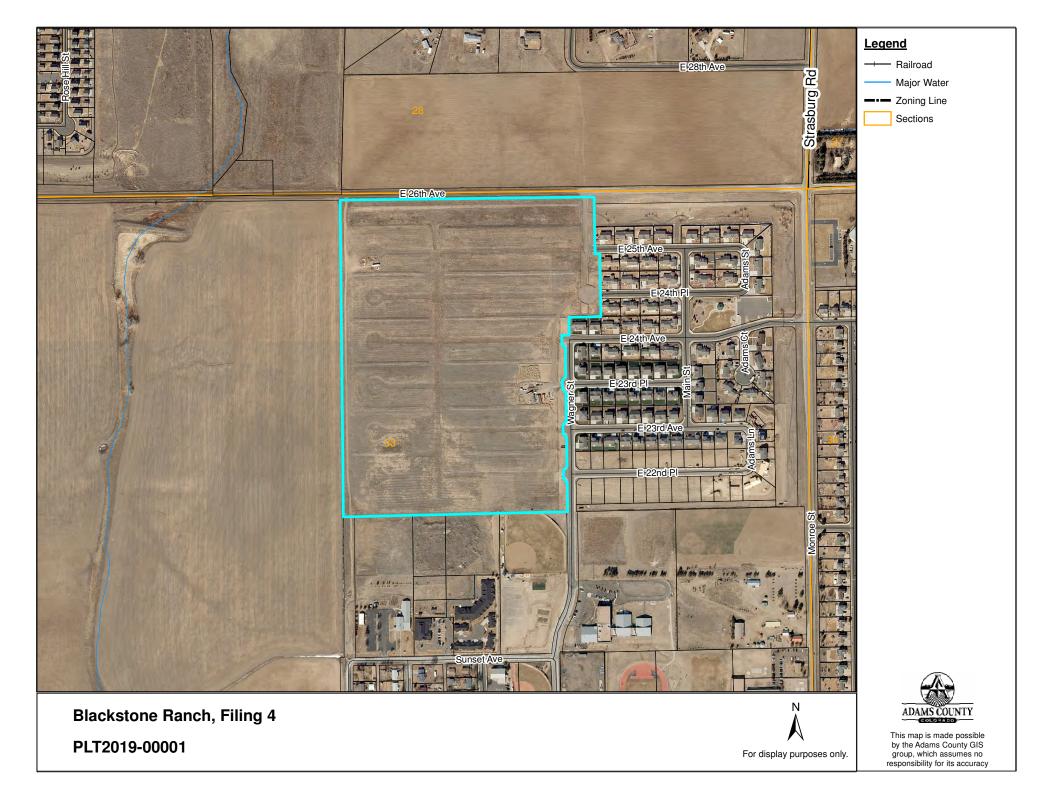
Colorado Division of Parks & Wildlife Colorado Geological Survey Strasburg Water & Sanitation District

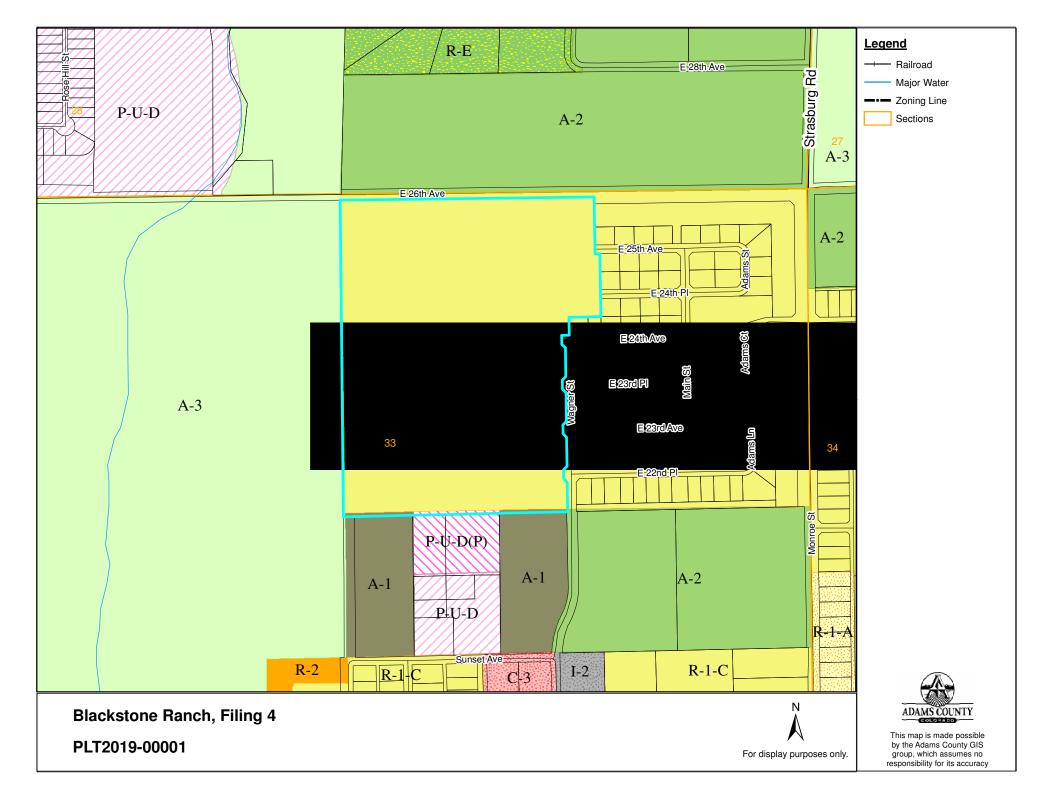
Responding without Concerns:

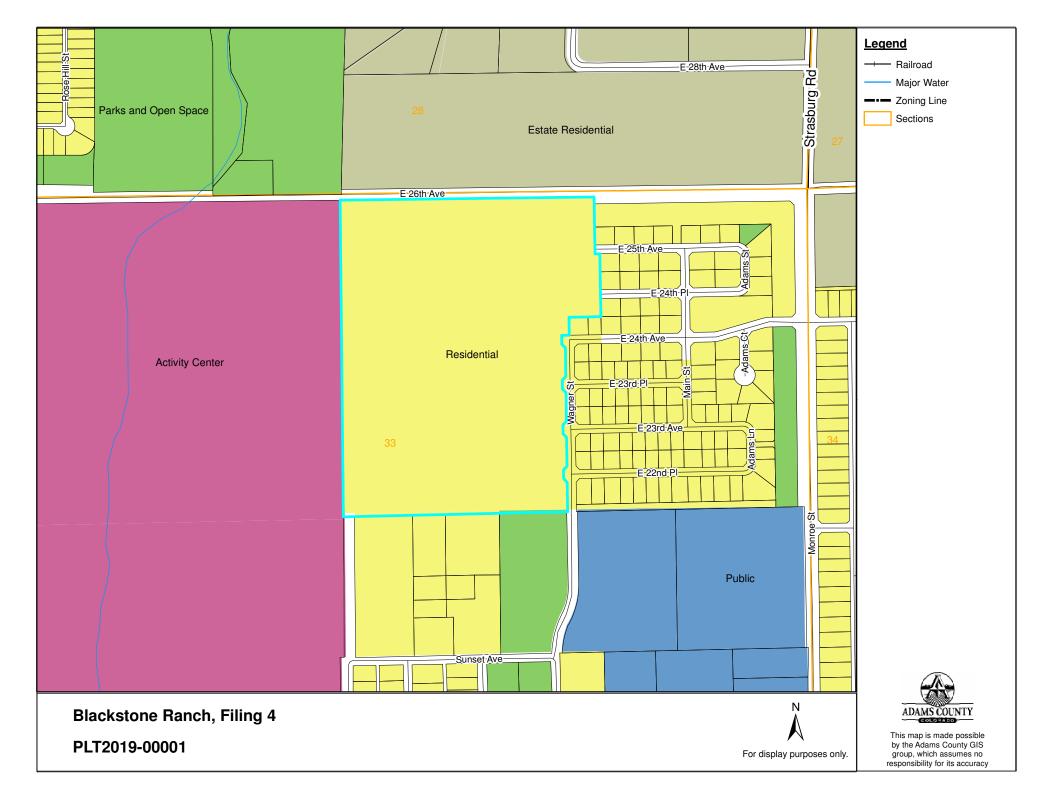
Colorado Division of Water Resources Intermountain Rural Electric Association (IREA) Strasburg Fire Protection District #8 Strasburg School District 31J Tri-County Health Department Xcel Energy

Notified but not Responding / Considered a Favorable Response:

CDOT Comcast Qwest Communications Strasburg Parks & Recreation District US Post Office







Explanation of the Request

Blackstone Ranch is a single-family residential subdivision in Strasburg, located to the South of 26th Avenue and to the West of Strasburg Mile Road. A preliminary plat was approved for the entirety of Blackstone Ranch in 2004, and a final plat for Blackstone Ranch Filing No. 1 was approved in 2006. After the County determined that the preliminary plat had expired, Pauls Development East obtained approval of a preliminary plat for Blackstone Ranch Filing No. 2 in 2015, followed by final plat approvals for Blackstone Ranch Filing No. 2-A and Blackstone Ranch Filing No. 2-B in 2016.

A preliminary plat called Blackstone Ranch Filing No. 3 was approved by the Board of County Commissioners on November 14, 2017. The preliminary plat included 163 lots on approximately 54.8 acres, located generally to the West of Filing No. 1, Filing No. 2-A, and Filing No. 2-B. On July 31, 2018, the Board of County Commissioners approved a final plat for 88 new lots within a portion of the area subject to the preliminary plat. This plat, called "Blackstone Ranch Filing No. 3," was recorded in the public records of Adams County, Colorado on October 3, 2018 at Reception No. 2018000080418.

The present application is for final plat approval Blackstone Ranch Filing No. 4 ("<u>BSR 4</u>"), a residential subdivision consisting of 75 new lots, generally located to the South of Blackstone Ranch Filing No. 3. BSR 4 is the final filing within Blackstone Ranch.

The area and dimensions of BSR 4's 75 lots are compliant with the requirements of the R-1-C zone district in which the Subject Property is located. BSR 4 offers a variety of lot sizes. Its layout and design are in full compliance with the Adams County Development Standards and Regulations.

The proposed Final Plat for BSR 4 meets the criteria for approval as follows:

1. The final plat is consistent and conforms to the approved preliminary plat.

The proposed final plat is consistent with and conforms to the preliminary plat.

2. The final plat is in conformance with the subdivision design standards.

The proposed final plat is in conformance with the subdivision design standards:

- The subdivision design considers the comprehensive plan, zoning, and the area's character.
- It is an appropriate and context-sensitive expansion of the existing Blackstone Ranch neighborhood within Strasburg.
- It is compatible with adjacent land uses.
- It preserves the natural terrain, drainage, and topsoil to the extent possible, consistent with the need to comply with applicable stormwater drainage requirements. There are no trees, wildlife habitat, or fisheries on the Subject Property.

Blackstone Ranch Filing No. 4 Final Plat Application Explanation of the Request Page 2 of 3

- There are no hazardous conditions or water hazards on the Subject Property or that affect the Subject Property.
- Noise abatement from roadways and railroads is not necessary.
- There is no encroachment into floodplains.
- The Subject Property is not affected by high groundwater.
- Lots are appropriately designed and configured and are accessed by roads that will be dedicated to the County.
- Drainage is designed according to County standards.
- Landscaping is planned according to County standards.
- Roads conform to the County transportation plan and County engineering standards, and external connections and internal circulation are appropriate.
- Non-vehicular facilities are provided, with future connections to adjacent development as shown in the preliminary plat.
- Required open space is provided.
- 3. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.

A "will-serve" letter from Eastern Adams County Metropolitan District is included with the application materials.

4. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence that the system complies with state and local laws and regulations.

A "will-serve" letter from Eastern Adams County Metropolitan District is included with the application materials.

5. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.

There are no known hazardous conditions on the Subject Property. Prior to the issuance of building permits, Pauls will complete lot-specific geotechnical investigations.

6. The proposed or constructed drainage improvements are adequate and comply with these standards and regulations.

Adequate drainage facilities are planned for BSR 4. Drainage plans have been approved by the County.

- 7. Adequate public facilities or infrastructure, or cash-in-lieu, for impacts reasonably related to the proposed subdivision have been constructed or financially guaranteed through cash-in-lieu or a subdivision improvements agreement so the proposed subdivision will not negatively impact the levels of service of the County.
 - The 75 proposed lots will create demand for approximately 2.475 acres of park land: 1.5 acres for neighborhood parks and 0.975 acres for regional parks.
 - The applicant will provide cash-in-lieu for regional parks that serve the proposed development in the amount of \$35,965.80, based on a calculated need for 0.975 acres of land for regional parks (0.013 acres / unit x 75 units).
 - The applicant will provide cash-in-lieu for neighborhood parks that serve the proposed development in the amount of \$55,332.00, based on a calculated need for 1.5 acres of land for neighborhood parks (0.02 acres / unit x 75 units).
 - The applicant will provide cash-in-lieu for school sites that serve the proposed development in the amount of \$128,003.67, based on a calculated need for 3.47 acres of land for schools (0.0462675 acres per unit x 75 units).
 - The application includes a fire protection report that has been submitted to the Strasburg Fire Protection District.
 - The proposed development of BSR 4 is anticipated to generate a total of 58.125 students (in public elementary, middle, and high schools). The Strasburg School District has capacity for the new students in Strasburg Elementary School, Hemphill Middle School, and Strasburg High School, all of which are within walking distance to the South of the proposed development.¹
 - Will-serve letters for all utility providers (including water and sewer) are included with this application.

The remaining required facilities and infrastructure are covered by the subdivision improvements agreement ("<u>SIA</u>").

¹ Strasburg Elementary School and Strasburg High School are located at 56729 E Colorado Ave, Strasburg, CO 80136. Hemphill Middle School is located at 2100 Wagner Street, Strasburg, CO 80136.

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- 3) SOUTH 00°27'21" EAST, A DISTANCE OF 50.00 FEET;
- 4) SOUTH 45°35'06" EAST, A DISTANCE OF 28.22 FEET;
- 5) SOUTH 00°27'21" EAST, A DISTANCE OF 162.00 FEET;
- 6) SOUTH 44°24'55" WEST, A DISTANCE OF 28.35 FEET;
- 7) SOUTH 00°27'22" EAST, A DISTANCE OF 50.00 FEET;
- 8) SOUTH 45°35'06" EAST, A DISTANCE OF 28.22 FEET;

9) SOUTH 00°27'21" EAST, A DISTANCE OF 162.00 FEET TO THE WESTERLY BOUNDARY OF BLACKSTONE RANCH FILING NO. 2-B AS RECORDED AT RECEPTION NO. 2016000045767, IN SAID RECORDS;

THENCE ALONG SAID WESTERLY BOUNDARY THE FOLLOWING FOUR (4) COURSES:

- 1) SOUTH 44°24'54" WEST, A DISTANCE OF 28.35 FEET;
- 2) SOUTH 00°27'21" EAST, A DISTANCE OF 50.00 FEET;
- 3) SOUTH 45°35'06" EAST, A DISTANCE OF 28.22 FEET;
- 4) SOUTH 00°27'21" EAST, A DISTANCE OF 166.39 FEET TO THE NORTHERLY BOUNDARY OF ENGLEBRECHT SUBDIVISION FILING NO. 1 RECORDED AT RECEPTION NO. C0987100 IN SAID RECORDS;

THENCE ALONG SAID NORTHERLY BOUNDARY, SOUTH 89'02'41" WEST, A DISTANCE OF 1217.85 FEET TO THE EASTERLY BOUNDARY OF SAID BLACKSTONE RANCH FILING NO. 3;

THENCE ALONG THE EASTERLY AND SOUTHERLY BOUNDARIES OF SAID BLACKSTONE RANCH FILING NO. 3 THE FOLLOWING FOUR (4) COURSES: 1) NORTH 00"16'12" WEST, A DISTANCE OF 801.54 FEET;

- 2) NORTH 89"17'10" EAST, A DISTANCE OF 169.41 FEET;
- 3) NORTH 00°50'07" WEST, A DISTANCE OF 45.00 FEET;

4) NORTH 89"17'10" EAST, A DISTANCE OF 1046.11 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 23.297 ACRES, (1,014,807 SQUARE FEET), MORE OR LESS.

HAS BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, STREETS, TRACTS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF **BLACKSTONE RANCH FILING NO. 4** AND DO HEREBY GRANT TO THE COUNTY OF ADAMS, STATE OF COLORADO, FOR THE USE OF THE PUBLIC, THE STREETS AND OTHER PUBLIC WAYS AND LANDS HEREON SHOWN. ALSO, HEREBY GRANT NON-EXCLUSIVE UTILITY EASEMENTS LOCATED AS SHOWN HEREON FOR THE INSTALLATION, MAINTENANCE, AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES, INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES, AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE, AND REPLACEMENT OF SUCH LINES.

EXECUTED THIS _____ DAY OF ______ A.D., 20___, BY: PAULSCORP, LLC, A DELAWARE LIMITED LIABILITY COMPANY

____ AS ____ TITLE

ACKNOWLEDGEMENT

COUNTY OF _____

NAME

STATE OF COLORADO

THE FOREGOING OWNERSHIP AND DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS

)SS

DAY OF _____, 20__, BY _____AS ____AS ____AUTHORIZED SIGNATORY FOR PAULSCORP, LLC, A DELAWARE LIMITED LIABILITY COMPANY.

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC MY COMMISSION EXPIRES: _____ MY ADDRESS IS: _____

32	PIGGOTT RD	BLACKSTON F BLACKSTO	33
T3	S	HWY 36	
T4	S	UNION PA	CIFIC
5			4

TRACT SUMMARY CH AREA (SF) AREA (AC TYPE 4,040 0.093 TRACT A TRACT B 8,080 0.185 8,080 TRACT C 0.185 TRACT D 48,711 1.118 TRACT E | 4,486 0.103 D & U = DRAINAGE AND UTILITIEH.O.A. = BLACKSTONE RANCH HOMEOWNERS ASSC

LIENHOLDER CERTIFICATE:

THE UNDERSIGNED HEREBY CONSENTS TO THE DEL EASEMENTS SHOWN ON THIS PLAT AND RELEASES ENCUMBRANCES RECORDED AT RECEPTION NUMBER 2016000011127, 2016000011128, AND 2016000011 OF THE ADAMS COUNTY CLERK AND RECORDER.

BY: INTERNATIONAL BANK
BY:
STATE OF COLORADO
COUNTY OF
THE FOREGOING LIENHOLDER CER ME THIS DAY OF
20, BY
20, BY OF INTERNATIONAL BANK.
WITNESS MY HAND AND OFFICIAL

NOT	TARY PUBLIC	
MY	COMMISSION EXPIRES:	
MY	ADDRESS IS:	

CLERK AND RECORDER'S CERTIFIC THIS FINAL PLAT WAS FILED FOR RECORD IN THE RECORDER, IN THE STATE OF COLORADO, AT _____ OF ______A.D., 20__.

COUNTY CLERK AND RECORDER

BY: <u>DEPUTY</u>

RECEPTION NO. _____

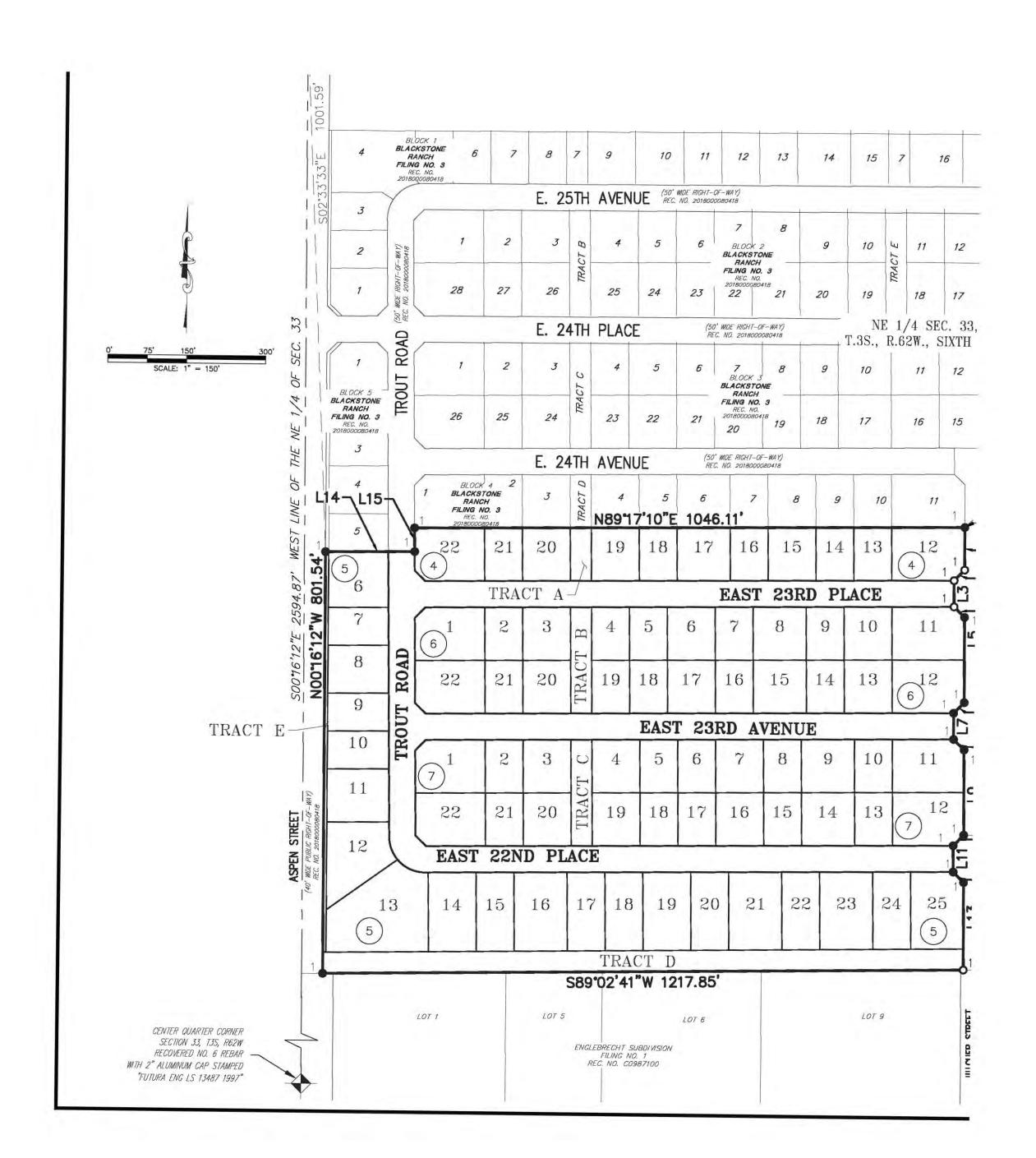


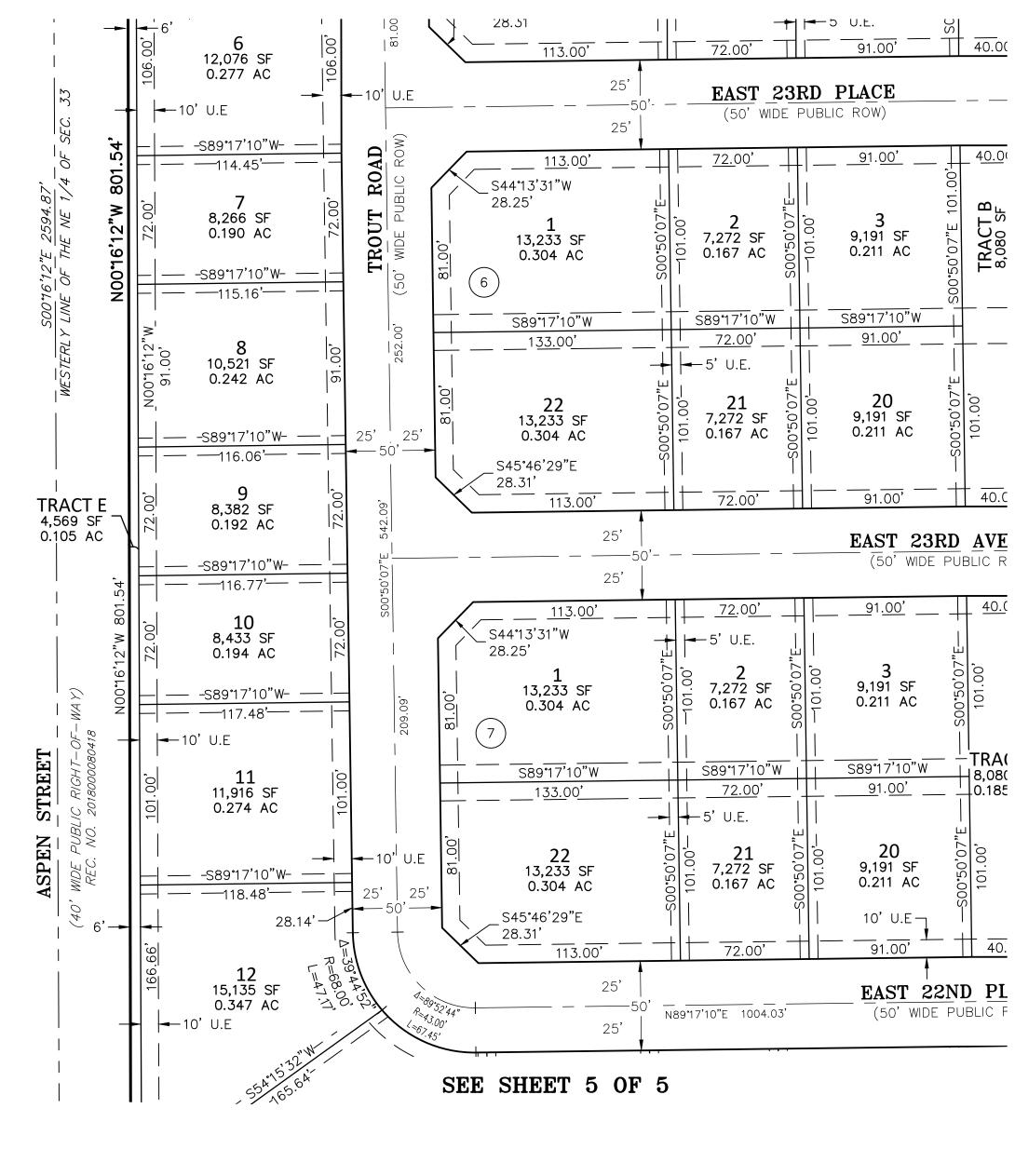
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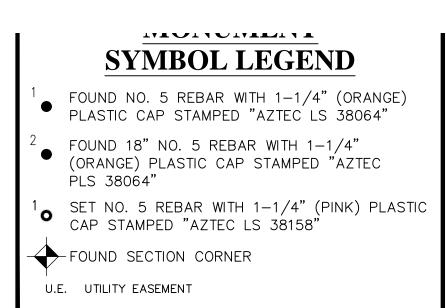
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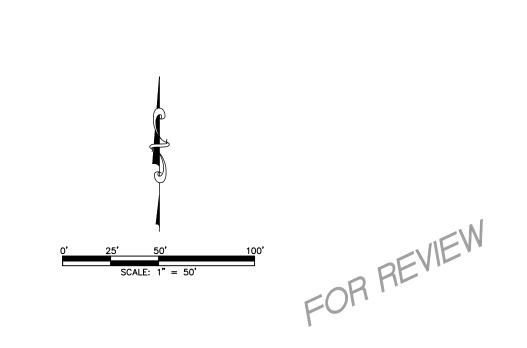
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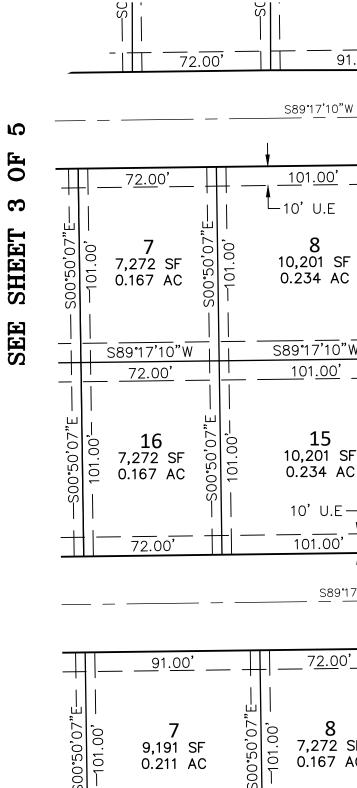




LINE TABLE				
LINE	BEARING	LENGTH		
L3	S00°27'21"E	50.00'		
L5	S00°27'21"E	162.00'		
L7	S00°27'22"E	50.00'		
L9	S00°27'21"E	162.00'		
L11	S00°27'21"E	50.00'		



FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC



S00°50'07" -101.00' 9,191 SF 0.211 AC <u>91.00'</u> **16** 9,191 SF 0.211 AC +91.00'

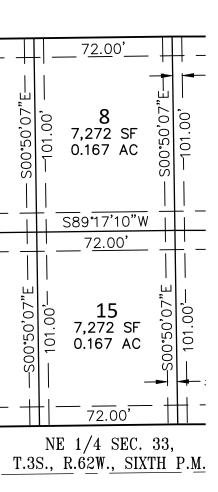
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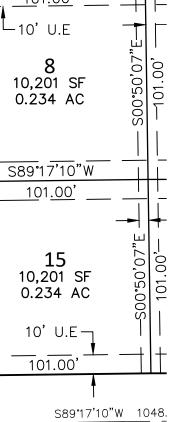
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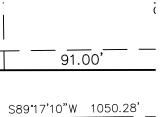
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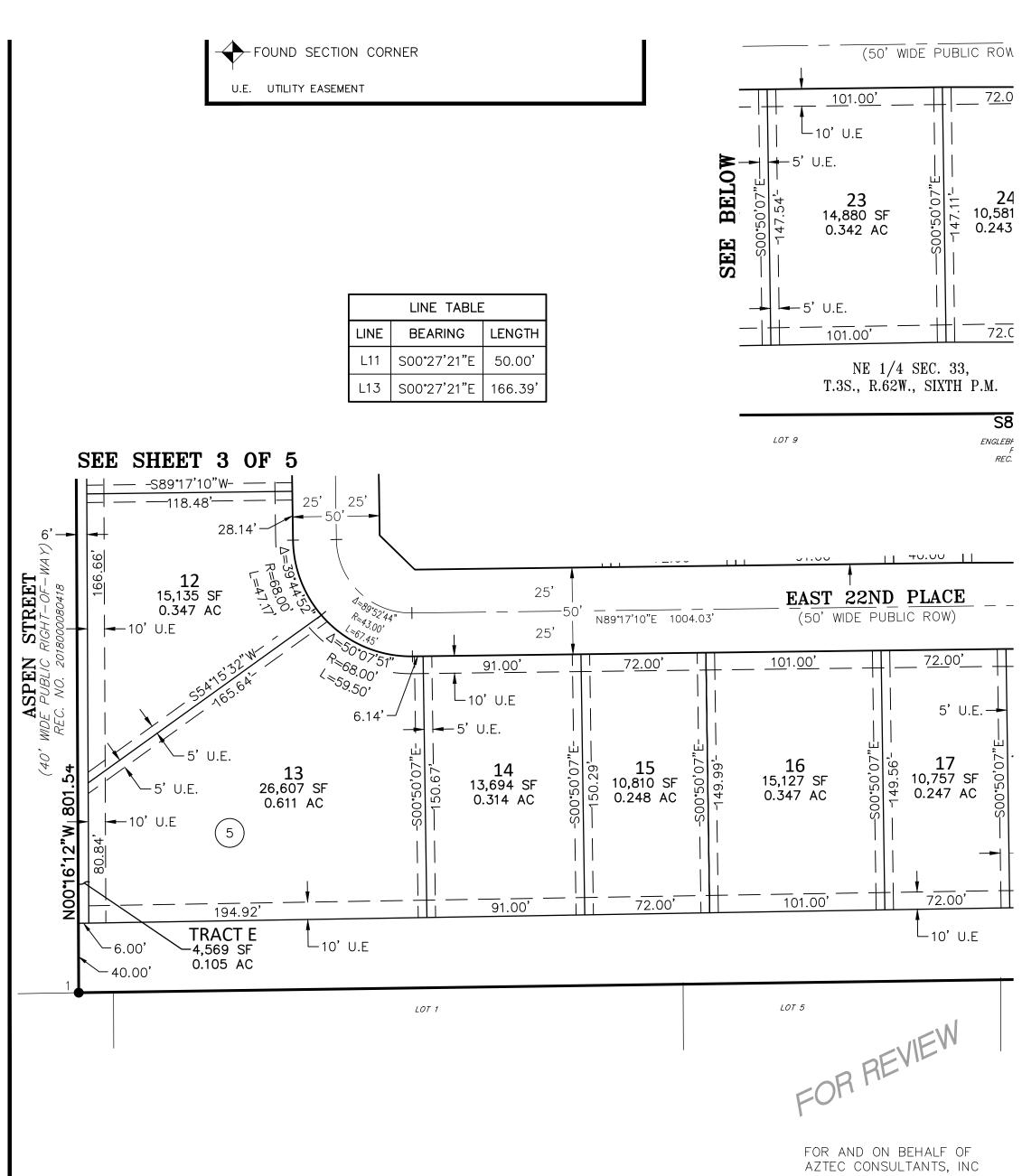
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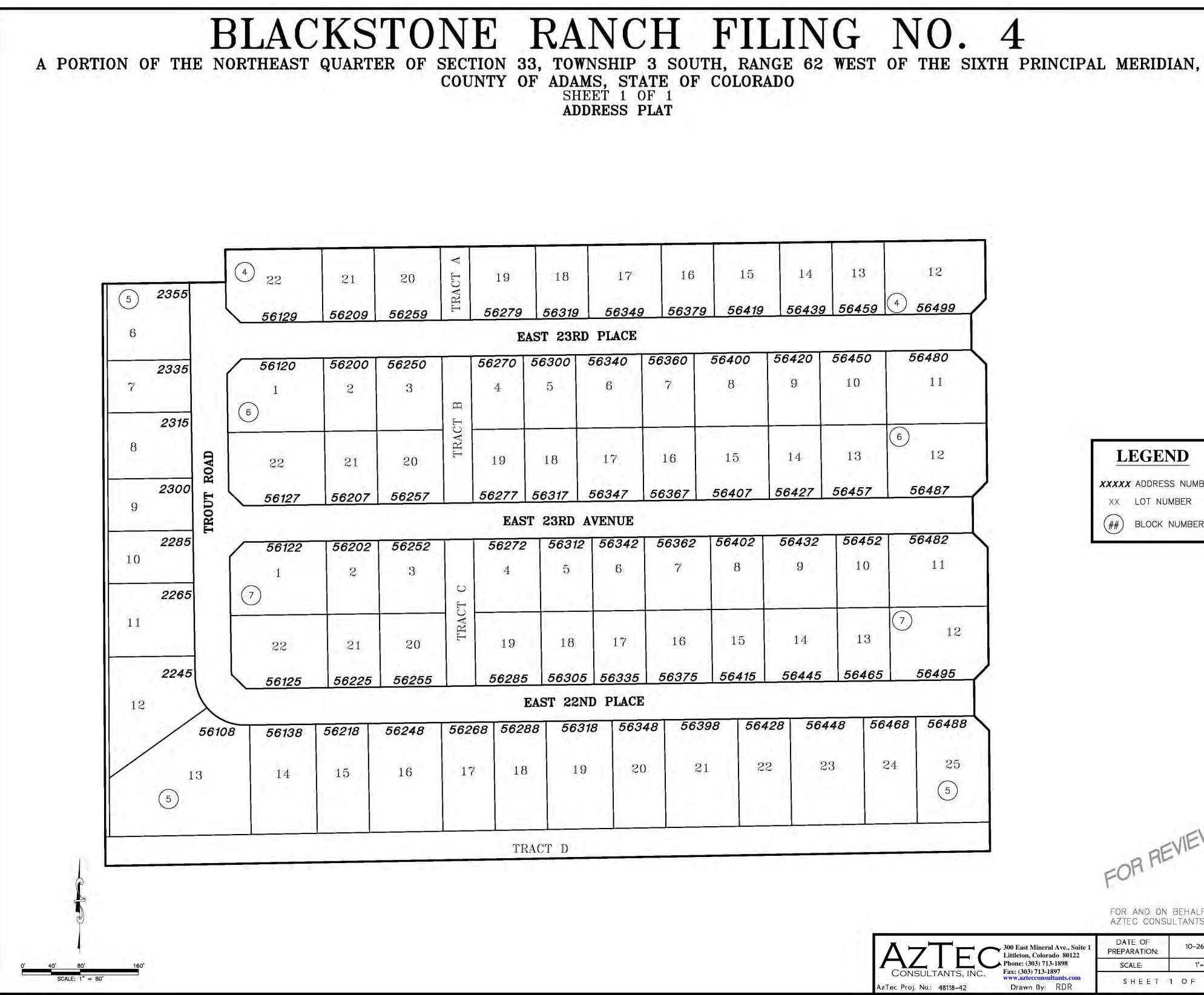
SEE











BLACKSTONE RANCH FILING NO. 4

SHEET 1 OF 1



SUBDIVISION IMPROVEMENTS AGREEMENT

THIS AGREEMENT is made and entered into by and between the County of Adams, State of Colorado, hereinafter called "County," and PaulsCorp, LLC, a Colorado limited liability company whose address is 270 St. Paul Street, Ste. 300, Denver, Colorado 80206, hereinafter called "Developer."

WITNESSETH:

WHEREAS, Developer is the owner of real property in the County of Adams, State of Colorado, as described in **Exhibit "A"** attached hereto, and by this reference made a part hereof.

WHEREAS, it is provided by resolution of the Board of County Commissioners ("BoCC"), County of Adams, that where designated the Developer shall have entered into a written agreement with the County to install public and/or private improvements, and to deed land for public purposes or right-of-way.

NOW, THEREFORE, in consideration of the foregoing, the parties hereto promise, covenant, and agree as follows:

- 1. Engineering Services. Developer shall furnish, at its own expense, all engineering and other services in connection with the design and construction of the improvements described and detailed on Exhibit "B" attached hereto, and by this reference made a part hereof. Developer shall obtain the approval of the Adams County Transportation Department and Development Engineering Services for all construction plans and engineering reports prepared by the Developer in connection with the design and construction of the improvements described and detailed on Exhibit "B".
- 3. **Drawings and Estimates**. Developer shall furnish drawings and cost estimates for all improvements described and detailed on **Exhibit "B"** for approval by the County. The Developer shall furnish one set of "as built" drawings and a final statement of construction costs to the County.
- 4. **Construction**. Developer shall furnish and construct, at its own expense and in accordance with drawings and materials approved by the County, the improvements described and detailed on **Exhibit "B"**.
- 5. **Time for Completion**. Improvements shall be completed according to the terms of this agreement within "construction completion date" appearing in **Exhibit "B"**. The Director of the Community

and Economic Development Department may for good cause grant extension of time for completion of any part of all of improvements appearing on said **Exhibit "B"**. Any extension greater than 180 days may be approved only by the Board of County Commissioners. Any extension of time shall be in written form only.

6. **Guarantee of Compliance**. Developer shall furnish to the County a cash escrow deposit or other acceptable collateral, releasable only by the County, to guarantee compliance with this agreement. Said collateral shall be in the amount of one million seven hundred fifty thousand five hundred eighty-two dollars (\$1,750,582.00), including twenty percent (20%) to cover administration and five percent (5%) per year for the term of the Agreement to cover inflation. Upon approval of the final plat, completion of said improvements constructed according to the terms of this agreement, and preliminary acceptance by the Director of Public Works in accordance with Section 5-02-05-01 of the County's Development Standards and Regulations, the collateral shall be released. Completion of said improvements will be determined solely by the County, and a reasonable part of said collateral, up to twenty percent (20%), may be retained to guarantee maintenance of public improvements for a period of one year from the date of completion.

No building permits will be issued until said collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners, and until the final plat has been approved and the improvements described in **Exhibit "B"** have been preliminarily accepted by the Department of Public Works..

- 7. Acceptance and Maintenance of Public Improvements. All improvements designated "public" on Exhibit "B" shall be public facilities and become the property of the County or other public agencies upon acceptance of the improvements. During the period of one year from and after the acceptance of public improvements, the Developer shall, at its own expense, make all needed repairs or replacement due to defective materials or workmanship which, in the opinion of the County, become necessary. If, within ten days of written notice to the Developer from the County requesting such repairs or replacements, the Developer has not undertaken with due diligence to make the same, the County may make such repairs or replacements at the Developer's expense. In the case of an emergency such written notice may be waived.
- 8. **Successors and Assigns**. This agreement shall be binding upon the heirs, executors, personal representatives, successors, and assigns of the Developer, and shall be deemed a covenant running with the real property as described in **Exhibit "A"** attached hereto.

9. **Improvements and Dedication**. The undersigned Developer hereby agrees to provide the following improvements, and to dedicate described property.

A. Improvements.

Public Improvements: see Exhibit "B"

See Exhibit "B" for description, estimated quantities, and estimated construction costs.

The improvements shall be constructed in accordance with all County requirements and specifications in accordance with the approved plans and preliminarily accepted in accordance with section 5-02-05-01 of the County's Development Standards and Regulations prior to the construction completion date indicated in **Exhibit "B"**.

B. **Public dedication of land for right-of-way purposes or other public purpose**. Upon approval of this agreement by the BoCC, the Developer hereby agrees to convey by subdivision plat to the County of Adams the following described land for right-of-way or other public purposes:

The rights-of-way shown on the Final Plat of Blackstone Ranch Filing No. 4, known as Trout Road, East 23rd Place, East 23rd Avenue, and East 22nd Place, more particularly described and depicted thereon.

[SIGNATURE PAGES FOLLOW]

PAULSCORP, LLC, A Colorado limited liability company

By:

Authorized Signatory

STATE OF COLORADO

} ss. }

}

CITY AND COUNTY OF DENVER

The foregoing instrument was acknowledged before me this _____ day of ______, 2019, by Brad Pauls as authorized signatory for PaulsCorp, LLC, a Colorado limited liability company.

My commission expires:

Address:

Notary Public

APPROVED BY resolution at the meeting	of, 2019.

Collateral to guarantee compliance with this agreement and construction of public improvements shall be required in the amount of \$1,750,582.00. No building permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners.

ATTEST:

BOARD OF COUNTY COMMISSIONERS ADAMS COUNTY, COLORADO

Clerk of the Board

Chair

EXHIBIT A

LEGAL DESCRIPTION BLACKSTONE RANCH FILING NO. 4

A PARCEL OF LAND LYING IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 3 SOUTH, RANGE 62 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 33, WHENCE THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33 BEARS SOUTH 89°17'10" WEST, A DISTANCE OF 2613.96 FEET, ALL BEARINGS HEREON ARE REFERENCED TO THIS LINE;

THENCE SOUTH 54°18'12" WEST, A DISTANCE OF 1,667.58 FEET TO A POINT ON THE WESTERLY BOUNDARY OF BLACKSTONE RANCH FILING NO. 2A, AS RECORDED AT RECEPTION NO. 2016000035452 AND THE SOUTHEAST CORNER OF BLACKSTONE RANCH FILING NO. 3, AS RECORDED AT RECEPTION NO. 2018000080418 IN THE RECORDS OF THE CLERK AND RECORDER OF SAID ADAMS COUNTY AND THE POINT OF BEGINNING:

THENCE ALONG SAID WESTERLY BOUNDARY THE FOLLOWING NINE (9) COURSES:

- 1) SOUTH 00°27'21" EAST, A DISTANCE OF 81.00 FEET;
- 2) SOUTH 44°24'54" WEST, A DISTANCE OF 28.35 FEET;
- 3) SOUTH 00°27'21" EAST, A DISTANCE OF 50.00 FEET;
- 4) SOUTH 45°35'06" EAST, A DISTANCE OF 28.22 FEET;
- 5) SOUTH 00°27'21" EAST, A DISTANCE OF 162.00 FEET;
- 6) SOUTH 44°24'55" WEST, A DISTANCE OF 28.35 FEET;
- 7) SOUTH 00°27'22" EAST, A DISTANCE OF 50.00 FEET;
- 8) SOUTH 45°35'06" EAST, A DISTANCE OF 28.22 FEET;

9) SOUTH 00°27'21" EAST, A DISTANCE OF 162.00 FEET TO THE WESTERLY LINE OF BLACKSTONE RANCH FILING NO. 2-B AS RECORDED AT RECEPTION NO. 2016000045767, IN SAID RECORDS;

THENCE ALONG SAID WESTERLY BOUNDARY THE FOLLOWING FOUR (4) COURSES:

- 1) SOUTH 44°24'54" WEST, A DISTANCE OF 28.35 FEET;
- 2) SOUTH 00°27'21" EAST, A DISTANCE OF 50.00 FEET;
- 3) SOUTH 45°35'06" EAST, A DISTANCE OF 28.22 FEET;

4) SOUTH 00°27'21" EAST, A DISTANCE OF 166.39 FEET TO THE NORTHERLY BOUNDARY OF ENGLEBRECHT SUBDIVISION FILING NO. 1 RECORDED AT RECEPTION NO. C0987100 IN SAID RECORDS;

THENCE ALONG SAID NORTHERLY BOUNDARY, SOUTH 89°02'41" WEST, A DISTANCE OF 1217.85 FEET TO THE EASTERLY BOUNDARY OF BLACKSTONE RANCH FILING NO. 3 RECORDED AT RECEPTION NO. 2018000080418 IN SAID RECORDS;

THENCE ALONG THE EASTERLY AND SOUTHERLY BOUNDARIES OF SAID BLACKSTONE RANCH FILING NO. 3 THE FOLLOWING FOUR (4) COURSES:

- 1) NORTH 00°16'12" WEST, A DISTANCE OF 801.54 FEET;
- 2) NORTH 89°17'10" EAST, A DISTANCE OF 169.41 FEET;
- 3) NORTH 00°50'07" WEST, A DISTANCE OF 45.00 FEET;
- 4) NORTH 89°17'10" EAST, A DISTANCE OF 1046.11 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 23.297 ACRES, (1,014,807 SQUARE FEET), MORE OR LESS.

EXHIBIT B

Engineer's Opinion of Estimated Costs

Client:	Paulscorp LLC		Date:		8/27/201
	Blackstone Ranch, Filing No. 4	F	repared	Bv:	DGI
	: 096195014		hecked E		EJ
Title:	Blackstone Ranch Filing 4 (75 Lots) - County S	urety Estimate (SIA)	Sheet: 1 o	of 2
Contaux Literat	Accessibles has annexed by ODCC from some building drawing	an dated 08/00/2015	and the states of	handers the East sum	the set of the set of
hange. Ad	8 Associates, Inc. prepared the OPCC from construction drawin ditionally, the final land plan could change significantly through the	e development proces	s. This OPC	is not intended for basi	ng financial
equipment,	r securing funding. Review all notes and assumptions. Since Kiml or services furnished by others, or over methods of determining pr	rice, or over competitiv	ve bidding or	market conditions, any	and all opinions a
o the cost h	erein, including but not limited to opinions as to the costs of const	ruction materials, sha	I be made or	n the basis of experience	e and best
hown herei	ta. Kimley-Horn & Associates, Inc. cannot and does not guarantee n. The total costs and other numbers in this Opinion of Probable	e that proposais, bids, Cost have been round	or actual cos led.	ats will not vary from the	opinions on cost
Item No.	Item Description	Quantity	Unit	Unit Price	Item Co
1	Infrastructure Trout Road		-		
1	Roadway Earthwork 1' Scarify	1,080	CY	\$2.55	\$2,75
2	5" Asphalt Section w/ 6" Agg. Base 32' wide	20,731	SF	\$4.20	\$87,07
3	Curb & Gutter & Sidewalk (7.5' Total)	1,124	LF	\$35.50	\$39,90
4	ADA Ramps	2	EA	\$1,650.00	\$3,30
	Infrastructure East 23rd Place	-			\$155,021
1	Roadway Earthwork 1' Scarify	1,805	CY	\$3.20	\$5.77
	5" Asphalt Section w/ 6" Agg. Base 32' wide	32,954	SF	\$4.20	\$138.40
2 3 4 5	Curb & Gutter & Sidewalk (7.5' Total)	2,104	LF	\$34.00	\$71,53
4	ADA Ramps	2	EA	\$1,650.00	\$3,30
5	18" Storm Sewer	437	LF	\$48.00	\$20,97
6	Storm Inlets/Manholes	3	EA	\$4,400.00	\$13,20
					\$253,19
	Infrastructure East 23rd Avenue	1000		6.2.72	- Julian
1	Roadway Earthwork 1' Scarify	1,802	CY	\$3.20	\$5,76
2	5" Asphalt Section w/ 6" Agg. Base 32' wide	32,901	SF	\$4.20	\$138,18
3	Curb & Gutter & Sidewalk (7.5' Total)	2,100	LF	\$34.00	\$71,40
4 5	ADA Ramps	596	EA	\$1,650.00	\$3,30
5	18" Storm Sewer	590	LF EA	\$48.00 \$4.400.00	\$28,60
0	Storm Inlets/Manholes	4	EA	\$4,400.00	\$17,60
	Infrastructure East 22nd Place				4201,00
1	Roadway Earthwork 1' Scarify	1,781	CY	\$2.55	\$4,54
	5" Asphalt Section w/ 6" Agg. Base 32' wide	32,453	SF	\$4.20	\$136,30
2 3 4	Curb & Gutter & Sidewalk (7.5' Total)	2,086	LF	\$35.50	\$74,05
	18" Storm Sewer	437	LF	\$48.00	\$20,97
	TO Storm Sower				
4	Storm Inlets/Manholes	3	EA	\$4,400.00	\$13,20

Kimley-	Horn	Opini	on of P	robable Const	ruction Cos
lient:	Paulscorp LLC)ate:		8/27/201
	Blackstone Ranch, Filing No. 4	-	repared	But	DG
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dia No.	030133014		HECKEU	Jy.	LJ
itle:	Blackstone Ranch Filing 4 (75 Lots) - County Su	rety Estimate (SIA)	Sheet: 2	of 2
hange. Add ecisions, or quipment, or the cost h vailable dat	8. Associates, Inc. prepared the OPCC from construction drawing: ditionally, the final land plan could change significantly through the or r securing funding. Review all notes and assumptions. Since Kimley or services furnished by others, or over methods of determining prior erein, including but not limited to opinions as to the costs of constru La. Kimley-Hom & Associates, Inc. cannot and does not guarantee to n. The total costs and other numbers in this Opinion of Probable Co.	development proces -Horn & Associates xe, or over competitiv ction materials, shat hat proposals, bids,	s. This OPC Inc. has no ve bidding or I be made o or actual co	is not intended for bas control over the cost of market conditions, any n the basis of experience	ing financial labor, materials, and all opinions and best
tem No.	Item Description	Quantity	Unit	Unit Price	Item Co
	Infrastructure Aspen Street				
1	Roadway Earthwork 1' Scarify	2.200	CY	\$2.55	\$5.60
2	5" Asphalt Section w/ 6" Agg. Base 32' wide	44,293	SF	\$4.20	\$186.03
3	Curb & Gutter & Sidewalk (7.5' Total)	2,013	LE	\$35.50	\$71,46
4	ADA Ramps	5	EA	\$1,650.00	\$8,25
5	8' Concrete Pan	2,260	SF	\$15.00	\$33,90
6	12" Stom Sewer	20	LE	\$65.00	\$1,30
7	24" Storm Sewer	14	LE	\$75.00	\$1,00
'	24 Storm Sewer	14		975.00	\$307,60
	Storm Sewer Main A				
1	18" Storm Sewer	37	LF	\$48.00	\$1,77
2	24" Storm Sewer	252	LE	\$75.00	\$18,90
3	36" Storm Sewer	349	LF	\$90.00	\$31,41
4	Storm Inlets/Manholes	9	EA	\$4,400.00	\$39.60
		-	-		\$89,91
	11.00				\$181,59
	Subtotal	-	-		\$1,389,35
1	Additional Performance Bond Requirements				
1	20% Administration Fee	1	EA	20%	\$277,87
2	5% Inflation Per Year of Construction	1	YR	5%	\$83,36
2	the first sector when the sector is the sect				\$361,23
2	the second state of the se				0001.20
2	Basis for Cost Projection:	Total:			\$1,750,58

Final Design

Construction Completion Date: July 31, 2020

Initials or signature of Developer:

Community & Economic Development Department

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000 Brighton, CO 80601-8204 PHONE 720.523.6800 FAX 720.523.6998

Development Review Team Comments

Date: 3/25/2019 Project Number: PLT2019-00001 Project Name: Blackstone Ranch, Filing 4

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for the final plat application. You are being asked to resubmit with additional items. The Development Review Team review comments may change if you provide different information during the resubmittal. All resubmittals shall be deposited at our One-Stop Customer Service Center. One paper and one digital copy will be required, as will the attached Resubmittal Form. Please contact the case manager if you have any questions:

Commenting Division: Planner Review Name of Reviewer: Greg Barnes Date: 03/25/2019 Email: gjbarnes@adcogov.org

Resubmittal Required

PLN01: The application is for major subdivision final plat to create 75 single-family residential lots in the R-1-C zone district.

PLNO2: I have attached a spreadsheet of Public Land Dedication fee calculation. You will be expected to provide cash-in-lieu of public land dedication. These fees should be paid prior to scheduling the hearing for this case.

PLN03: Collateral for the subdivision improvements agreement shall be provided prior to the public hearing. In an effort to facilitate easier reimbursement, it is recommended that two bonds be provided. One in the amount of 80% and the other in the amount of 20%

Commenting Division:Addressing ReviewName of Reviewer:Marissa HilljeDate:03/04/2019Email:mhillje@adcogov.orgCompleteSee address table attached.Please add these to the plat.

Commenting Division:ROW ReviewName of Reviewer:Marissa HilljeDate:03/04/2019Email:mhillje@adcogov.orgResubmittal Required

ROW1: See redlines on attached plat

Commenting Division:Development Engineering ReviewName of Reviewer:Greg LabrieDate:03/08/2019Email:glabrie@adcogov.org

Resubmittal Required

a) The Operations and Maintenance Manual must be recorded at the Adams County Clerks and Recorder Office and the record number must be documented on the plat or an equivalent engineering document.c) A driveway culvert plan for the subdivision is required to be submitted for review and approval.

a) All necessary paperwork such as Commissioners Resolutions, Development Agreements, and Collateral Agreements will need to be on file with the Adams County Public Works Department / Construction Management section prior to the issuance of any building permits.

b) Upon completion of review and approval of these drawings, the applicant will be required to obtain the necessary permits in order to construct the proposed improvements. This/these permit(s) will be obtained from the Adams County One Stop Permit Center. No Certificate of Occupancy will be issued for any new Building Construction, until all roadway and drainage improvements as required by the approved construction plans have been completed, in place and certified by the original design engineer.

a) The traffic control study, the drainage report, and drainage plan shall be updated to show that the analysis includes Blackstone Filings 3 and 4. This update shall be shown in the title of the reports, the text of the reports, the exhibits of the reports and the final design drawings of the reports.

a) The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is not within the County's MS4 Stormwater Permit area. Therefore, the applicant is responsible for the installation of erosion and sediment control BMPs.
 b) The site is not located in a floodplain. A floodplain use permit will not be required.

a) A striping and signage plan shall be submitted to Adams County for review and approval.
b) The design drawings shall show the new manhole cover detail. This detail can be found on the Adams County website, under the Development Standards and Regulations, in Appendix C.
c) All construction traffic shall use Aspen Street to access the project site.

a) The segment of Aspen Street adjacent to the project site for Filing 4 shall be designed and constructed as part of this phase of the project.

b) West Road shown on the drawings shall be designated at Troutt Street.

a) If off- site fill material is required to support the grading plan, the fill source and quantity are required to be indicated on the drawings and it shall include the source and quantity of selected off-site material.b) A Geotechnical report is required to be completed to support the design details for the roadway.

Community & Economic Development Department

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000 Brighton, CO 80601-8204 PHONE 720.523.6800 FAX 720.523.6998

Development Review Team Comments

Date: 8/6/2019 Project Number: PLT2019-00001 Project Name: Blackstone Ranch, Filing 4

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry DISTRICT 1 Charles "Chaz" Tedesco

Emma Pinter District 3

Steve O'Dorisio DISTRICT 4 Mary Hodge

Page 1 of 5

Commenting Division: Plan Coordination 2nd Review Name of Reviewer: Greg Barnes Date: 08/06/2019 Email: gjbarnes@adcogov.org Resubmittal Required

Commenting Division: Planner Review 2nd Review

Name of Reviewer: Greg Barnes

Date: 08/06/2019

Email: gjbarnes@adcogov.org

Resubmittal Required

PLN02: I have attached a spreadsheet of Public Land Dedication fee calculation. You will be expected to provide cash-in-lieu of public land dedication. These fees should be paid prior to scheduling the hearing for this case.

PLN03: Collateral for the subdivision improvements agreement shall be provided prior to the public hearing. In an effort to facilitate easier reimbursement, it is recommended that two bonds be provided. One in the amount of 80% and the other in the amount of 20%

PLN04: When resubmitting, please include a written response to each comment, and a Microsoft Word version of the SIA. This recent resubmittal included neither of those.

Commenting Division: Development Engineering Review Name of Reviewer: Greg Labrie Date: 03/08/2019 Email: glabrie@adcogov.org

Resubmittal Required

a) The Operations and Maintenance Manual must be recorded at the Adams County Clerks and Recorder Office and the record number must be documented on the plat or an equivalent engineering document.c) A driveway culvert plan for the subdivision is required to be submitted for review and approval.

a) All necessary paperwork such as Commissioners Resolutions, Development Agreements, and Collateral Agreements will need to be on file with the Adams County Public Works Department / Construction Management section prior to the issuance of any building permits.

b) Upon completion of review and approval of these drawings, the applicant will be required to obtain the necessary permits in order to construct the proposed improvements. This/these permit(s) will be obtained from the Adams County One Stop Permit Center. No Certificate of Occupancy will be issued for any new Building Construction, until all roadway and drainage improvements as required by the approved construction plans have been completed, in place and certified by the original design engineer.

a) The traffic control study, the drainage report, and drainage plan shall be updated to show that the analysis includes Blackstone Filings 3 and 4. This update shall be shown in the title of the reports, the text of the reports, the exhibits of the reports and the final design drawings of the reports.

a) The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is not within the County's MS4 Stormwater Permit area. Therefore, the applicant is responsible for the installation of erosion and sediment control BMPs.b) The site is not located in a floodplain. A floodplain use permit will not be required.

a) A striping and signage plan shall be submitted to Adams County for review and approval.b) The design drawings shall show the new manhole cover detail. This detail can be found on the Adams County website, under the Development Standards and Regulations, in Appendix C.c) All construction traffic shall use Aspen Street to access the project site.

a) The segment of Aspen Street adjacent to the project site for Filing 4 shall be designed and constructed as part of this phase of the project.

b) West Road shown on the drawings shall be designated at Troutt Street.

a) If off- site fill material is required to support the grading plan, the fill source and quantity are required to be indicated on the drawings and it shall include the source and quantity of selected off-site material.b) A Geotechnical report is required to be completed to support the design details for the roadway.

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes Date: 03/25/2019

Email: gjbarnes@adcogov.org

Resubmittal Required

PLN01: The application is for major subdivision final plat to create 75 single-family residential lots in the R-1-C zone district.

PLN02: I have attached a spreadsheet of Public Land Dedication fee calculation. You will be expected to provide cash-in-lieu of public land dedication. These fees should be paid prior to scheduling the hearing for this case.

PLN03: Collateral for the subdivision improvements agreement shall be provided prior to the public hearing. In an effort to facilitate easier reimbursement, it is recommended that two bonds be provided. One in the amount of 80% and the other in the amount of 20%

Commenting Division: Addressing Review Name of Reviewer: Marissa Hillje Date: 03/04/2019 Email: mhillje@adcogov.org

Complete

See address table attached. Please add these to the plat.

Commenting Division: ROW Review

Name of Reviewer: Marissa Hillje

Date: 03/04/2019

Email: mhillje@adcogov.org

Resubmittal Required

ROW1: See redlines on attached plat

Commenting Division: Application Intake 2nd Review Name of Reviewer: Erin McMorries Date: 06/25/2019 Email: Complete

Commenting Division: ROW Review 2nd Review Name of Reviewer: Marissa Hillje Date: 07/09/2019

Email: mhillje@adcogov.org

Resubmittal Required

ROW1: Add the address table or each address to each lot.

Commenting Division: Development Engineering Review 2nd Review

Name of Reviewer: Greg Labrie

Date: 07/15/2019

Email: glabrie@adcogov.org

Resubmittal Required

ENG1.) A Subdivision Improvement Agreement (SIA) and related collateral will be required for the construction of all Public Facilities as they relate to this subdivision construction. This agreement will have to be approved by the BoCC.

ENG2.) A pre-construction meeting must be held prior to construction.

ENG3.) No Building Permits/CO's can be issued until all Public Improvements have been installed and have received Preliminary Acceptance from the Adams County Department of Public Works.

ENG4.) A construction Permit cannot be issued until all construction plans have been reviewed and approved, and the Subdivision Improvement Agreement has been approved by the Adams County BoCC.
 ENG5.) The construction of Curb, Gutter and Sidewalk is required to be completed for the entire length of Aspen St. from 26th Avenue to Sunset Avenue.

ENG6.) A detail needs to be provided at Aspen St. and Sunset Ave. This detail needs to show how the proposed facilities in Aspen St. will interact with the existing facilities already constructed in Sunset Ave. ENG7.) A striping and signage plan shall be submitted to Adams County for review and approval. ENG8.) West Road shown o drawings should be designated as Troutt Street.

Community & Economic Development Department

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000 Brighton, CO 80601-8204 РНОВЕ 720.523.6800 FAX 720.523.6998

Development Review Team Comments

Date: 9/19/2019 Project Number: PLT2019-00001 Project Name: Blackstone Ranch, Filing 4

Commenting Division: Plan Coordination 3rd Review Name of Reviewer: Greg Barnes Date: 09/19/2019 Email: gjbarnes@adcogov.org

Pending Public Hearing

Commenting Division: Development Engineering Review 3rd Review

Name of Reviewer: Greg Labrie

Date: 09/17/2019

Email: glabrie@adcogov.org

Resubmittal Required

ENG1: All references to the Adams County Transportation Department in the SIA shall be changed to Public Works.

ENG2: The following paragraph in the SIA should be worded as follows:

"No building permits will be issued until said collateral is furnished in the amount required and in a form acceptable to the BoCC, and until the final plat has been approved. No Certificate of Occupancy shall be issued until the improvements described in Exhibit "B" have been preliminarily accepted by the County." ENG3: Please add a plat note stating that no access will be granted for individual lots along Aspen Street.

Eva J. Henry DISTRICT 1 BOARD OF COUNTY COMMISSIONERS

Charles "Chaz" Tedesco DISTRICT 2 Emma Pinter DISTRICT 3

Steve O'Dorisio

Mary Hodge DISTRICT 5

Page 1 of 7

Commenting Division: SIA Review 2 - Finance Name of Reviewer: Laura Garcia Date: 09/16/2019 Email: Complete

FIN01: No further comments

Commenting Division: SIA Review 2 - Attorney Name of Reviewer: Christine Fitch Date: 09/16/2019 Email:

Resubmittal Required ATY01: Please see attached redline markup of SIA.

Commenting Division: Planner Review 3rd Review

Name of Reviewer: Greg Barnes

Date: 09/16/2019

Email: gjbarnes@adcogov.org

Complete

PLN02: I have attached a spreadsheet of Public Land Dedication fee calculation. You will be expected to provide cash-in-lieu of public land dedication. These fees should be paid prior to scheduling the hearing for this case.

PLN03: Collateral for the subdivision improvements agreement shall be provided prior to the public hearing. In an effort to facilitate easier reimbursement, it is recommended that two bonds be provided. One in the amount of 80% and the other in the amount of 20%

Commenting Division: ROW Review 3rd Review

Name of Reviewer: Marissa Hillje

Date: 09/13/2019

Email: mhillje@adcogov.org

Complete

ROW1: The applicant has addressed all ROW comments

Commenting Division: Application Intake 3rd Review Name of Reviewer: Megan Ulibarri Date: 08/29/2019 Email: Complete

Commenting Division: Plan Coordination 2nd Review Name of Reviewer: Greg Barnes Date: 08/06/2019 Email: gjbarnes@adcogov.org Resubmittal Required

Commenting Division: Planner Review 2nd Review

Name of Reviewer: Greg Barnes

Date: 08/06/2019

Email: gjbarnes@adcogov.org

Resubmittal Required

PLN02: I have attached a spreadsheet of Public Land Dedication fee calculation. You will be expected to provide
cash-in-lieu of public land dedication. These fees should be paid prior to scheduling the hearing for this case.
PLN03: Collateral for the subdivision improvements agreement shall be provided prior to the public hearing. In
an effort to facilitate easier reimbursement, it is recommended that two bonds be provided. One in the amount

of 80% and the other in the amount of 20%

Commenting Division: Development Engineering Review 2nd Review

Name of Reviewer: Jen Rutter

Date: 07/29/2019

Email: jrutter@adcogov.org

Complete

(comment was added by Greg Labrie)

Commenting Division: Development Engineering Review 2nd Review

Name of Reviewer: Greg Labrie

Date: 07/15/2019

Email: glabrie@adcogov.org

Comment

ENG1.) A Subdivision Improvement Agreement (SIA) and related collateral will be required for the construction of all Public Facilities as they relate to this subdivision construction. This agreement will have to be approved by the BoCC.

ENG2.) A pre-construction meeting must be held prior to construction.

ENG3.) No Building Permits/CO's can be issued until all Public Improvements have been installed and have received Preliminary Acceptance from the Adams County Department of Public Works.

ENG4.) A construction Permit cannot be issued until all construction plans have been reviewed and approved, and the Subdivision Improvement Agreement has been approved by the Adams County BoCC. ENG5.) The construction of Curb, Gutter and Sidewalk is required to be completed for the entire length of Aspen St. from 26th Avenue to Sunset Avenue.

ENG6.) A detail needs to be provided at Aspen St. and Sunset Ave. This detail needs to show how the proposed facilities in Aspen St. will interact with the existing facilities already constructed in Sunset Ave. ENG7.) A striping and signage plan shall be submitted to Adams County for review and approval. ENG8.) West Road shown o drawings should be designated as Troutt Street.

Commenting Division: ROW Review 2nd Review

Name of Reviewer: Marissa Hillje

Date: 07/09/2019

Email: mhillje@adcogov.org

Resubmittal Required

ROW1: Add the address table or each address to each lot.

Commenting Division: Planner Review 2nd Review Name of Reviewer: Greg Barnes Date: 06/26/2019 Email: gjbarnes@adcogov.org External Agencies Selected Commenting Division: Application Intake 2nd Review Name of Reviewer: Erin McMorries Date: 06/25/2019 Email: Complete

Commenting Division: Planner Review Name of Reviewer: Greg Barnes Date: 03/25/2019 Email: gjbarnes@adcogov.org

Resubmittal Required

PLN01: The application is for major subdivision final plat to create 75 single-family residential lots in the R-1-C zone district.

PLN02: I have attached a spreadsheet of Public Land Dedication fee calculation. You will be expected to provide cash-in-lieu of public land dedication. These fees should be paid prior to scheduling the hearing for this case.

PLN03: Collateral for the subdivision improvements agreement shall be provided prior to the public hearing. In an effort to facilitate easier reimbursement, it is recommended that two bonds be provided. One in the amount of 80% and the other in the amount of 20%

Commenting Division: Development Engineering Review Name of Reviewer: Greg Labrie Date: 03/08/2019 Email: glabrie@adcogov.org

Resubmittal Required

a) The Operations and Maintenance Manual must be recorded at the Adams County Clerks and Recorder Office and the record number must be documented on the plat or an equivalent engineering document.c) A driveway culvert plan for the subdivision is required to be submitted for review and approval.

a) All necessary paperwork such as Commissioners Resolutions, Development Agreements, and Collateral Agreements will need to be on file with the Adams County Public Works Department / Construction Management section prior to the issuance of any building permits.

b) Upon completion of review and approval of these drawings, the applicant will be required to obtain the necessary permits in order to construct the proposed improvements. This/these permit(s) will be obtained from the Adams County One Stop Permit Center. No Certificate of Occupancy will be issued for any new Building Construction, until all roadway and drainage improvements as required by the approved construction plans have been completed, in place and certified by the original design engineer.

a) The traffic control study, the drainage report, and drainage plan shall be updated to show that the analysis includes Blackstone Filings 3 and 4. This update shall be shown in the title of the reports, the text of the reports, the exhibits of the reports and the final design drawings of the reports.

a) The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is not within the County's MS4 Stormwater Permit area. Therefore, the applicant is responsible for the installation of erosion and sediment control BMPs.b) The site is not located in a floodplain. A floodplain use permit will not be required.

a) A striping and signage plan shall be submitted to Adams County for review and approval.b) The design drawings shall show the new manhole cover detail. This detail can be found on the Adams County website, under the Development Standards and Regulations, in Appendix C.c) All construction traffic shall use Aspen Street to access the project site.

a) The segment of Aspen Street adjacent to the project site for Filing 4 shall be designed and constructed as part of this phase of the project.

b) West Road shown on the drawings shall be designated at Troutt Street.

a) If off- site fill material is required to support the grading plan, the fill source and quantity are required to be indicated on the drawings and it shall include the source and quantity of selected off-site material.b) A Geotechnical report is required to be completed to support the design details for the roadway.

Commenting Division: ROW Review Name of Reviewer: Marissa Hillje Date: 03/04/2019 Email: mhillje@adcogov.org Resubmittal Required

ROW1: See redlines on attached plat

Commenting Division: Addressing Review Name of Reviewer: Marissa Hillje Date: 03/04/2019 Email: mhillje@adcogov.org

Complete

See address table attached. Please add these to the plat.

Greg Barnes

From:	Gordon Stevens
Sent:	Friday, February 22, 2019 12:15 PM
То:	Greg Barnes
Cc:	David Rausch; Juliana J. Archuleta; Russell Nelson; Jen Rutter; Ian Cortez; Brian Staley
Subject:	RE: For Review: Blackstone Ranch, Filing 4 (PLT2019-00001)
Attachments:	DOCS-#5904214-v1-SUBMITTALBLACKSTONE_RANCH_FILNO4 PLAT_SUBMITTALpdf

Good Afternoon Mr. Barnes,

Thank you for this opportunity to review this submittal. The Adams County Dept. of Public Works, Infrastructure Management, Construction Inspection Division offers the following comments on this case:

- 1.) As previously attached, the SIA has been submitted with this case. Approved collateral will also be submitted and approved as well.
- 2.) No building permits will be issued until the site has received Preliminary Acceptance from the Adams County Dept. of Public Works.
- 3.) Per the Development Standards and Regulations, construction phasing will not be allowed.
- 4.) In the submitted plat, West Rd. must be renamed to Trout Rd.
- 5.) In the preliminary review of the submitted construction plans, it does not appear that Aspen St. is to be constructed south of the previously constructed intersection of 24th Pl. and Aspen St. Per the Development Standards and Regulations, construction of Aspen St. will be required along the westerly frontage of this subdivision.
- 6.) There is also a missing 700l.f. section of Aspen St., adjacent to the church property along the west side that must be constructed as well to provided connectivity from Strasburg to 26th Ave. The Right of Way in this portion already exists.

Again, thank you for the opportunity to review these plans. If I can be of any further assistance, please let me know.

Sincerely,



Gordon Stevens

Construction Inspection Supervisor, Department of Public Works Infrastructure Management Division ADAMS COUNTY, COLORADO 4430 So, Adams County Parkway, 1st Floor, Suite W2000B Brighton, CO 80601-8218 0: 720-523-6965 | gstevens@adcogov.org, www.adcogov.org

c: 303-947-9633

From: Greg Barnes
Sent: Thursday, February 21, 2019 12:33 PM
To: Greg Barnes
Subject: For Review: Blackstone Ranch, Filing 4 (PLT2019-00001)

The Adams County Planning Commission is requesting comments on the following request: **major subdivision final plat for 75 single-family residential lots.** This request is located at approximately 2,000 feet southwest of East 26th Avenue and Monroe Street. The Assessor's Parcel Number is 0181333100008.

Applicant Information:	Kimley Horn
	Eric Gunderson
	4582 South Ulster Street
	Suite 1500
	Denver, CO 80237

Please forward any written comments on this application to the Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216, or call (720) 523-6800 by **03/14/2019** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to <u>GJBarnes@adcogov.org</u>. Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you for your information.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.



Greg Barnes Planner II, *Community and Economic Development Dept.* ADAMS COUNTY, COLORADO 4430 S. Adams County Parkway, 1st Floor, Suite W2000A Brighton, CO 80601-8216 720.523.6853 *gjbarnes@adcogov.org* adcogov.org

Greg Barnes

From: Sent:	Gordon Stevens Tuesday, June 25, 2019 11:09 AM
То:	Greg Labrie
Cc:	Greg Barnes; David Rausch
Subject:	Blackstone Ranch Fil. No. 4, EGR2019-00003, PLT2019-00001

Good Morning Greg,

Thank you for the opportunity to review this submittal. The Adams County Dept. of Public Works, Infrastructure Management, Construction Inspection Division offers the following comments:

- 1.) A Subdivision Improvement Agreement (SIA) and related collateral will be required for the construction of all Public Facilities as they relate to this subdivision construction. This agreement will have to be approved by the BoCC.
- 2.) Construction plans must be submitted and approved prior to the beginning of construction.
- 3.) A pre-construction meeting must be held prior to construction.
- 4.) No Building Permits/CO's can be issued until all Public Improvements have been installed and have received Preliminary Acceptance from the Adams County Department of Public Works.
- 5.) A construction Permit cannot be issued until all construction plans have been reviewed and approved, and the Subdivision Improvement Agreement has been approved by the Adams County BoCC.
- 6.) Why is the construction of Curb, Gutter and Sidewalk not being completed/considered for the entire length of Aspen St.?
- 7.) A detail needs to be provided at Aspen St. and Sunset Ave. This detail needs to show how the proposed facilities in Aspen St. will interact with the existing facilities already constructed in Sunset Ave.

Again, thank you for the opportunity to review this submittal. If I can be of any further assistance, please do not hesitate to contact me at anytime.



Gordon Stevens

Construction Inspection Supervisor, Department of Public Works Infrastructure Management Division ADAMS COUNTY, COLORADO 4430 So, Adams County Parkway, 1st Floor, Suite W2000B Brighton, CO 80601-8218 0: 720-523-6965 | <u>gstevens@adcogov.org</u>, <u>www.adcogov.org</u> c: 303-947-9633





Parks and Wildlife

Department of Natural Resources

Northeast Regional Office 6060 Broadway Denver, CO 80216 P 303.291.7227 | F 303.291.7114

March 7, 2019

Greg Barnes Adams County Community and Economic Development Department 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216

RE: Blackstone Ranch, Filing No. 4, Major Subdivision Final Plat (Case No.: PLT2019-00001)

Dear Mr. Barnes:

Thank you for the opportunity to comment on the proposed Blackstone Ranch, Filing No. 4. The mission of Colorado Parks and Wildlife (CPW) is to perpetuate the wildlife resources of the state, to provide a quality state parks system, and to provide enjoyable and sustainable outdoor recreation opportunities that educate and inspire current and future generations to serve as active stewards of Colorado's natural resources. Our goal in responding to land use proposals such as this is to provide complete, consistent, and timely information to all entities who request comment on matters within our statutory authority.

The proposed Blackstone Ranch, Filing No. 4 is located approximately 2,000-feet southwest of East 26th Avenue and Monroe Street, Strasburg, Adams County, Colorado (parcel # 0181333100008). The proposed 23.3-acre residential subdivision will consist of 75 new lots, generally located to the south of Blackstone Ranch Filing No. 3, a 163-lot development on approximately 54.8-acres.

District Wildlife Manager Serena Rocksund recently analyzed this site. The main impacts to wildlife from this proposal include fragmentation and loss of habitat. Fragmentation of wildlife habitat has been shown to impede the movement of wildlife across the landscape. Open space areas are more beneficial to wildlife if they connect to other natural areas. The areas of wildlife habitat that most closely border human development show heavier impact than do areas on the interior of the open space. However, when open space areas are smaller in size, the overall impact of the fragmentation is greater (Odell and Knight, 2001). By keeping open space areas contiguous and of larger size the overall benefit to wildlife increases dramatically.

CPW would expect a variety of wildlife species to utilize this site on a regular basis, most notably, small to mid-sized mammals, song birds, and raptors. The potential also exists



for large mammals such as deer and pronghorn to frequent this site. Raptors and other migratory birds are protected from take, harassment, and nest disruption at both the state and federal levels. If an active nest is discovered within the development area, CPW recommends that buffer zones around nest sites be implemented during any period of activity that may interfere with nesting season. This will prevent the intentional or unintentional destruction of an active nest.

For further information on this topic, a copy of the document "Recommended Buffer Zones and Seasonal Restrictions for Colorado Raptors," is available from your local District Wildlife Manager. Following the recommendations outlined in this document will decrease the likelihood of unintentional take through disturbance.

If a prairie dog colony is discovered within the project area, the potential may also exist for the presence of burrowing owls. Burrowing owls live on flat, treeless land with short vegetation, and nest underground in burrows dug by prairie dogs, badgers, and foxes. These raptors are classified as a state threatened species and are protected by both state and federal laws, including the Migratory Bird Treaty Act. These laws prohibit the killing of burrowing owls or disturbance of their nests. Therefore, if any earth-moving will begin between March 15th and October 31st, a burrowing owl survey should be performed. Guidelines for performing a burrowing owl survey can also be obtained from the local District Wildlife Manager.

If prairie dog colonies are present, CPW would recommend prairie dogs either be captured alive and moved to another location or humanely euthanized before any earthmoving occurs. The possibility of live-trapping and donating to a raptor rehabilitation facility may also exist. If interested, please contact the local District Wildlife Manager. Be aware that a permit and approval from county commissioners may be required for live relocation.

Future residents should be informed that wildlife such as fox, coyotes, and raccoons might frequent the development area in search of food and cover. Coyotes, foxes, cottontail rabbits, and raccoons are several species that have adapted to living in urban environments. CPW recommends that people moving into and residing in this area take the proper precautions to prevent unnecessary conflicts with wildlife. Due to the potential for human-wildlife conflicts associated with this project, please consider the following recommendations when educating future homeowners about the existence of wildlife in the area:

- Pet foods and bowls should be kept indoors.
- Garbage should be kept in secure containers to minimize its attractiveness to wildlife. Trash should be placed in containers with tight seals and remain indoors until shortly before pickup.
- Feeding of wildlife, with the exception of birds, is illegal.
- "Living with Wildlife" pamphlets are available through CPW offices or online.

For further information, Colorado Parks and Wildlife can provide copies of the following brochures: "Your Guide to Avoiding Human-Coyote Conflicts", "Don't Feed the Wildlife", and "Too Close for Comfort: Avoiding Conflicts with Wildlife in the City" to residents of

the surrounding open space. The brochures can also be downloaded from our web site at: http://cpw.state.co.us/learn/Pages/LivingwithWildlife.aspx.

Thank you again for the opportunity to comment on the proposed Blackstone Ranch, Filing No. 4. Please do not hesitate to contact us again about ways to continue managing the property in order to maximize wildlife value while minimizing potential conflicts. If you have any further questions, please contact District Wildlife Manager Serena Rocksund at (303) 291-7132 or <u>serena.rocksund@state.co.us.</u>

Sincerely,

Crystal Chick

Crystal Chick Area 5 Wildlife Manager

Cc: M. Leslie, T. Kroening, S. Rocksund



COLORADO Division of Water Resources Department of Natural Resources Colorado Ground Water Commission

March 12, 2019

Greg Barnes Adams County Community and Economic Development Department gjbarnes@adcogov.org

> RE: Blackstone Ranch Filing No. 4, PLT2019-00001 Part NE4 Section 33, T3S, R62W, 6th P.M. Water Division 1, Water District 1 Kiowa-Bijou Designated Basin

Dear Mr. Barnes:

We have received your February 21, 2019 submittal concerning the above-referenced proposal to subdivide 23.3 acres into 75 single family residential lots. The submittal indicates this request is for final plat approval of Blackstone Ranch Filing No. 4.

When submitting further requests for the State Engineer's opinion on proposed water supplies to preliminary plans of Blackstone Ranch, the county should be aware of the following.

A number of our previous letters to the county opining on the proposed water supply to Blackstone Ranch, referenced and relied on a letter from our office dated February 8, 2005, which opined that the water supply to the entire Blackstone Ranch subdivision (which was to subdivide 108 acres into 234 residential lots) was adequate. The "Explanation of the Request" that was provided with the submittal for Filing No. 4 states that subsequent to the county's 2004 approval of the preliminary plat [a.k.a. preliminary plan] for the entire Blackstone Ranch subdivision, the county expired that preliminary approval. Therefore, because the county has determined that the 2004 preliminary plat has expired, our February 8, 2005 is also no longer valid, and we will no longer rely on that letter in subsequent opinions involving the adequacy of the water supply to Blackstone Ranch subdivision.

While information in our files indicate the county has approved preliminary and/or final plats for Blackstone Ranch Filings Nos. 1, 2, and 3, the information is conflicting on the number of lots in each filing, and the number of lots in total, that have received such approval. A number of submittals to our office have contained no information on the estimated water demand of the filing for which an opinion on the adequacy of the water supply is being requested.

In order for our office to provide an opinion of the adequacy of the proposed water supply to any future submittals from the county on Blackstone Ranch preliminary plans, the submittal need to contain the following.

- 1. The total number of lots in each filing that have received preliminary plan and final plat approval.
- 2. The total estimated demand for water for each filing that has already received



preliminary plan and final plat approval.

- 3. The total estimated demand for water for the filing that is the subject of the submittal.
- 4. A written commitment for service from the water provider (i.e. Easter Adams County Metropolitan District) referencing the name of the subdivision and filing number and a level of commitment in terms of uses to be served and/or water demand.

The county may wish to forward the requirements listed above to the developer of Blackstone Ranch subdivision so future submittals to the county and our office are adequate.

If you, or the applicant, have any questions, please contact Ailis Thyne at 303-866-3581 ext. 8216.

Sincerely,

Keith Vander Horst

Keith Vander Horst Chief of Water Supply, Basins

Cc: Division 1 Blackstone_Filing4.docx

Greg Barnes

From:	Williams - DNR, Joanna [joanna.williams@state.co.us]
Sent:	Wednesday, July 03, 2019 12:08 PM
To:	Greg Barnes; Keith Vander Horst - DNR
Subject:	Re: For Review: Blackstone Ranch, Filing 4 Final Plat (PLT2019-00001)

Please be cautious: This email was sent from outside Adams County

Good Morning Greg,

This office previously commented on this proposal in our letter dated March 12, 2019 (copy included in referral). The comments from our previous letter dated March 12, 2019 regarding the water supply for this subdivision still apply since the requested information has not been provided.

Please contact me if you have questions. Regards, Joanna

On Wed, Jun 26, 2019 at 1:53 PM Greg Barnes <<u>GJBarnes@adcogov.org</u>> wrote:

The attached case material has been resubmitted to the County. You are receiving this e-mail, because you provided comments on the initial review. The applicant believes that all outstanding comments have been resolved. Please review the material to ensure compliance. Any additional comments that you may have, should be e-mailed to me by July 14, 2019. Thank you!



Greg Barnes

Planner III, Community and Economic Development Dept.

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

Joanna Williams, P.E. Water Resource Engineer



September 17, 2019

Greg Barnes Adams County Community and Economic Development Department gjbarnes@adcogov.org

> RE: Blackstone Ranch Filing No. 4, PLT2019-00001 Part NE ¼, Section 33, T3S, R62W, 6th P.M. Water Division 1, Water District 1 Kiowa-Bijou Designated Basin

We have received your September 5, 2019 submittal concerning the above-referenced proposal to subdivide 23.3 acres into 75 single family residential lots. The submittal indicates this request is for final plat approval of Blackstone Ranch Filing No. 4. This office previously commented on this proposal in our letter dated March 12, 2019. This letter replaces the March 12, 2019 letter.

Water Supply Demand

According to the letter dated September 5, 2019 by Kimley-Horn and Associates ("letter"), the total estimated water requirement is 37.5 acre-feet/year. This estimate is based on 0.5 acre-feet per year for each of the proposed 75 single family lots.

Source of Water Supply

Eastern Adams County Metropolitan District ("District") is the proposed water supplier. The District has provided a letter dated September 5, 2019 committing to serve 75 single family lots within Blackstone Ranch Filing No. 4.

The District's sources of water are a combination of bedrock aquifer allocations from the Denver Basin as well as alluvial sources. The State Engineer's Office does not have evidence regarding the length of time for which the bedrock aquifer sources will be a physically and economically viable source of water. According to 37-90-107(7)(a), C.R.S., "Permits issued pursuant to this subsection (7) shall allow withdrawals on the basis of an aquifer life of 100 years." Based on this <u>allocation</u> approach, the annual amounts of water determined are equal to one percent of the total amount, as determined by rule 5.3.2.1 of the Designated Basin Rules, 2 CCR 410-1. Therefore, the water may be withdrawn in those annual amounts for a maximum of 100 years.

In the Adams *County Development Standards and Regulations*, Effective April 15, 2002, Section 5-04-05-06-04 states:

"Prior to platting, the developer shall demonstrate that...the water supply is dependable in quantity and quality based on a minimum useful life of three-hundred (300) years. A minimum 300-year useful life means the water supply from both a static and dynamic basis will be viable for a minimum 300-year period. The static analysis shall include evaluation of the volume of water that is appropriable for the proposed subdivision. The dynamic analysis shall evaluate whether the appropriable water supply is sustainable for three-hundred (300) years, giving consideration to the location and extent of the aquifer, as well as impacts caused by both current and future pumping by others from the aquifer."



Blackstone Ranch Filing 4 September 17, 2019 Page 2 of 3

The State Engineer's Office does not have evidence regarding the length of time for which this source will be "dependable in quantity and quality." However, treating Adam County's requirement as an <u>allocation</u> approach based on three hundred years, the total water requirement for the development over a 300 year period would be 11,250 acre-feet which is 300 times the annual requirement of 37.5 acre-feet. The State Engineer's Office has no comment on the quality of the water supply or the required 'dynamic analysis' to evaluate whether the appropriable water supply is sustainable for three hundred years.

Information available in our files indicates the District's water rights may produce a total of approximately 208,920 acre-feet over a 300 year period (95,160 acre-feet from bedrock aquifers and 113,760 acre-feet from the alluvial aquifer), and it has approximately 97,053 acre-feet previously committed to supplying subdivisions (some for a period of 100 years and some for a period of 300 years).

The uncommitted water supply of approximately 111,867 acre-feet over a 300 year period is more than the estimated demand of 11,250 acre-feet over a 300 year period for Blackstone Ranch Filing 4.

State Engineer's Office Opinion

Based upon the above and pursuant to Section 30-28-136(1)(h)(II), C.R.S., it is our opinion that the proposed water supply is adequate and can be provided without causing injury to decreed water rights.

Our opinion that the water supply is adequate is based on our determination that the amount of water required to serve the subdivision over a period of 300 years is currently physically available, based on current estimated aquifer conditions.

Our opinion that the water supply can be provided without causing injury is based on our determination that the amount of water that is legally available over a period of 300 years is greater than the amount of water required to supply the District's existing water commitments (some for a period of 100 years and some for a period of 300 years) and the demands of the proposed subdivision over a period of 300 years.

Our opinion is qualified by the following:

The Ground Water Commission has retained jurisdiction over the final amount of water available to the bedrock aquifer, pending actual geophysical data from the aquifer.

The amounts of water in the Denver Basin aquifer, and identified in this letter, are calculated based on estimated current aquifer conditions. For planning purposes the county should be aware that the economic life of a water supply based on wells in a given Denver Basin aquifer may be less than the 100 (or 300) years used for <u>allocation</u> due to anticipated water level declines. We recommend that the county determine whether it is appropriate to require development of renewable water resources for this subdivision to provide for a long-term water supply.

Blackstone Ranch Filing 4 September 17, 2019 Page 3 of 3

If you, or the applicant, have any questions, please contact Ailis Thyne at 303-866-3581 ext. 8216.

Sincerely,

Keich Vander Horst

Keith Vander Horst Chief of Water Supply, Designated Basins

Ec: Subdivision file 25948 Blackstone Ranch_Filing4_Sept2019.docx 1801 Moly Road Golden, Colorado 80401



Karen Berry State Geologist

March 13, 2019

Greg Barnes Adams County Community & Economic Development Department 4430 S. Adams County Parkway, Suite W2000A Brighton, CO 80601

Location: NW NE and SW NE Section 33, T3S, R62W of the 6th P.M. 39.7492, -104.3284

Subject: Blackstone Ranch, Filing 4 – Major Subdivision Final Plat <u>Project Number PLT2019-00001; Adams County, CO; CGS Unique No. AD-19-0021</u>

Dear Mr. Barnes:

Colorado Geological Survey has reviewed the Blackstone Ranch Filing 4 final plat referral. I understand the applicant proposes 75 SF residential lots on approximately 23.3 acres located south of Blackstone Ranch Filing 3. With this referral, I received a request for CGS's review (February 21, 2019), an Explanation of the Request (undated), Site Plan Exhibit (Kimley-Horn, January 29, 2019), set of five plat sheets (AzTec, October 26, 2018), and other documents.

The site does not contain steep slopes, is located in an "Area of Minimal Flood Hazard," is not undermined, and is not exposed to any identified geologic hazards that would preclude the proposed residential use and density. The applicant states in their Explanation of Request that lot-specific geotechnical investigations will be completed prior to issuance of building permits. **CGS therefore has no objection to approval of the plat as proposed.**

Mineral resource potential. According to the Atlas of Sand, Gravel, and Quarry Aggregate Resources, Colorado Front Range Counties (Schwochow et al, Colorado Geological Survey Special Publication 5-A, 1974, Plate 2), the subject property is not mapped as containing a sand, gravel, or aggregate resource.

As noted in our previous Blackstone Ranch review letters, potential constraints that will need to be considered as development progresses include:

Collapsible soils. The site is underlain by relatively low density, low strength, eolian (wind-deposited) silts, clays and sands. Some of the soils are calcareous. Eolian soils, especially those containing soluble calcareous minerals, tend to be loose, fine-grained, and hydrocompactive, meaning they can lose strength, settle, compress, or collapse under a structural load and/or when water infiltrates the soils. Thick columns of compressible or collapsible soils can result in very significant settlement and structural damage. Alternatively, clay minerals and clayey pockets within the surficial soils may exhibit structurally damaging volume changes (shrink-swell) in response to changes in water content. Potentially highly expansive Denver Formation claystones and shales are present at unknown depths beneath the surficial soils. If claystone layers capable of producing high swell pressures are present within a few feet of foundation bearing depths, they can cause severe structural damage if not properly characterized and mitigated.

Lot-specific geotechnical investigations consisting of drilling, sampling, lab testing and analysis will be needed, once building locations have been finalized to: determine the thickness and extent to which the soils beneath each

Greg Barnes March 13, 2019 Page 2 of 2

proposed home are subject to collapse under loading and/or wetting; characterize soil and bedrock engineering properties such as density, strength, water content, swell/consolidation potential and bearing capacity; determine depths to groundwater, bedrock, and any impermeable layers that might lead to development of a perched water condition; verify the feasibility of full-depth basements, if planned; and provide earthwork, foundation, floor system, subsurface drainage, and pavement recommendations for design purposes. It is imperative that grading, surface drainage, and subsurface drainage are correctly designed, constructed and maintained to prevent wetting of potentially collapsible soils in the immediate vicinity of foundation elements.

Thank you for the opportunity to review and comment on this project. If you have questions or require additional review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely, lad

Jill Carlson, C.E.G. Engineering Geologist

Greg Barnes

From:	Brooks Kaufman <bkaufman@irea.coop></bkaufman@irea.coop>
Sent:	Tuesday, March 12, 2019 7:19 AM
То:	Greg Barnes
Subject:	RE: For Review: Blackstone Ranch, Filing 4 (PLT2019-00001)
Attachments:	Package_SAwUMk1aIEl26z1SwDFUhcKMLFpjUtn8MKh_Sh5Y.html

The following attachment has been sent to you using Mail Express®:

IREA COMMENTS PLT2019-00001.pdf (4.1 MB)

Click the links above or visit the <u>pick-up portal</u> for batch retrieval. *These links will expire in 2 weeks.*

Dear Mr. Barnes;

The Association is requesting the dedication of utility easements to be changed as following:

<u>CHANGE NOTE GRANT UTILITY EASEMENT TO UTILITIES AND NOT ADAMS COUNTY</u> - NON-EXCLUSIVE UTILITY EASEMENTS LOCATED AS SHOWN ARE HEREBY GRANTED FOR THE INSTALLATION, MAINTENANCE, AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES, INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES, AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE, AND REPLACEMENT OF SUCH LINES.

Respectfully

Brooks Kaufman Intermountain Rural Electric Association Lands and Rights of Way Director 5496 N. US Hwy 85 Sedalia, CO 80135 Direct : 720.733.5493 Cell : 303.912.0765 bkaufman@irea.coop



From: Greg Barnes [mailto:GJBarnes@adcogov.org]
Sent: Thursday, February 21, 2019 12:33 PM
To: Greg Barnes
Subject: For Review: Blackstone Ranch, Filing 4 (PLT2019-00001)

CAUTION:

This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

The Adams County Planning Commission is requesting comments on the following request: **major subdivision final plat for 75 single-family residential lots.** This request is located at approximately 2,000 feet southwest of East 26th Avenue and Monroe Street. The Assessor's Parcel Number is 0181333100008.

Applicant Information:	Kimley Horn
	Eric Gunderson
	4582 South Ulster Street
	Suite 1500
	Denver, CO 80237

Please forward any written comments on this application to the Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216, or call (720) 523-6800 by **03/14/2019** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to <u>GJBarnes@adcogov.org</u>. Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you for your information.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.



Greg Barnes

Planner II, Community and Economic Development Dept. ADAMS COUNTY, COLORADO 4430 S. Adams County Parkway, 1st Floor, Suite W2000A Brighton, CO 80601-8216 720.523.6853 <u>gibarnes@adcogov.org</u> adcogov.org

Greg Barnes

From: Sent:	Patrick Conroy [pconroy@svfd8.org] Sunday, March 10, 2019 5:59 PM
То:	Greg Barnes
Cc:	Gerri Ventura
Subject:	Re: For Review: Blackstone Ranch, Filing 4 (PLT2019-00001)

Greg:

No specific comments at this time other then I will need to verify the fire hydrant spacing. I can discuss this at the hearing when it is scheduled.

Anything I should be entering into Acela for this at this point?

Thanks.

Pat

On Thu, Feb 21, 2019 at 12:35 PM Gerri Ventura <<u>gventura@svfd8.org</u>> wrote:

----- Forwarded message ------From: **Greg Barnes** <<u>GJBarnes@adcogov.org</u>> Date: Thu, Feb 21, 2019 at 12:33 PM Subject: For Review: Blackstone Ranch, Filing 4 (PLT2019-00001) To: Greg Barnes <<u>GJBarnes@adcogov.org</u>>

The Adams County Planning Commission is requesting comments on the following request: **major subdivision final plat for 75 single-family residential lots.** This request is located at approximately 2,000 feet southwest of East 26th Avenue and Monroe Street. The Assessor's Parcel Number is 0181333100008.

Applicant Information:

Kimley Horn

Eric Gunderson

4582 South Ulster Street

Suite 1500

Denver, CO 80237

Please forward any written comments on this application to the Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216, or call (720) 523-6800 by **03/14/2019** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to <u>GJBarnes@adcogov.org</u>. Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you for your information.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.



Greg Barnes

Planner II, Community and Economic Development Dept.

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

Gerri Ventura District Clerk, Strasburg Fire Protection District #8 P.O. Box 911 56281 E. Colfax Avenue Strasburg, CO 80136-0911 303-622-4444 option 1 gventura@svfd8.org

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sender to notify them immediately and destroy all documents contained in this transmission.

Patrick Conroy, CFEI ICC Certified Building Official ICC Certified Fire Marshal Colorado Fire Plans Examiner Fire Marshal Strasburg Fire Protection District Station: 303-622-4444 Cell: 720-775-8515

--

Greg Barnes

From: Sent:	Patrick Conroy [pconroy@svfd8.org] Thursday, July 11, 2019 6:23 PM
To:	Greg Barnes
Cc:	Williams - DNR, Joanna; CGS_LUR; Rocksund - DNR, Serena; Gerri Ventura; Monica Johnson; landuse@tchd.org; George, Donna L; eliza.hunholz@state.co.us; Greg Labrie; Marissa Hillje
Subject:	Re: For Review: Blackstone Ranch, Filing 4 Final Plat (PLT2019-00001)

Please be cautious: This email was sent from outside Adams County

I do not have any particular comments on this. I did inspect and sign-off on the fire hydrant installation.

I would like to get a GIS shape file for the 3rd and 4th plats though if possible. None of the addresses/block ranges or the new streets geocode in the Computer Aided Dispatch system used by our Dispatch Center so we would like to get them the GIS data to upload. A KMZ or KML file should work fine.

Thanks.

Pat

On Wed, Jun 26, 2019 at 1:53 PM Greg Barnes <<u>GJBarnes@adcogov.org</u>> wrote:

The attached case material has been resubmitted to the County. You are receiving this e-mail, because you provided comments on the initial review. The applicant believes that all outstanding comments have been resolved. Please review the material to ensure compliance. Any additional comments that you may have, should be e-mailed to me by July 14, 2019. Thank you!



Greg Barnes

Planner III, Community and Economic Development Dept.

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

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Patrick Conroy, CFEI ICC Certified Building Official ICC Certified Fire Marshal Colorado Fire Plans Examiner Fire Marshal Strasburg Fire Protection District Station: 303-622-4444 Cell: 720-775-8515



District Mission: Develop responsible and productive members of society 56729 E. Colorado Ave, Strasburg, CO 80135 Phone: (303) 622-9211 Fax: (303) 622-9224

February 26, 2019

Mr. Greg Barnes Planner II, Community and Economic Development Dept. Adams County, Colorado

Mr. Barnes –

In response to the request for comment regarding the major subdivision final plat for 75 singlefamily residential lots in Strasburg, I would like to bring to the committee the impact that new residential development has on the Strasburg School District.

Currently our Elementary School is at full capacity the Middle School and High School have experienced increased enrollment that has required the District to add additional classes. We are currently working with a team of architects, demographers, and an owner's representative to develop a strategic plan. We will need to create additional classrooms and address the traffic impact that currently exists and will only worsen as new families move into the community. Additionally, our technology infrastructure has been overwhelmed with the additional students requiring us to have the system re-engineered to meet the new demand.

We do not object to development, and we are aware that the new development does fit within the planned growth of Strasburg. However, we request that we receive cash in lieu of land for all development and that the cash in lieu be at the market value.

I welcome an opportunity to discuss this further.

Sincerely,

Monica Johnson Superintendent



March 8, 2019

Greg Barnes Adams County Community and Economic Development 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601

RE: Blackstone Ranch, Filing 4, PLT2019-00001 TCHD Case No. 5461

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the major subdivision final plat for 75 single-family residential lots located approximately 2,000 feet southwest of East 26th Avenue and Monroe Street. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has the following comments.

Community design to support walking and bicycling

Because chronic diseases related to physical inactivity and obesity now rank among the country's greatest public health risks, TCHD encourages community designs that make it easy for people to include regular physical activity, such as walking and bicycling, in their daily routines. Because research shows that the way we design our communities can encourage regular physical activity, TCHD strongly supports community plans that incorporate pedestrian and bicycle amenities that support the use of a broader pedestrian and bicycle network.

In order to promote walking and bicycling through this development, TCHD encourages the applicant to consider the inclusion of the following as they design the community.

- 1. A system of sidewalks, bike paths and open space trail networks that are welldesigned and well-lit, safe, and attractive so as to promote bicycle and pedestrian use.
- 2. Bicycle and pedestrian networks that provide direct connections between destinations in and adjacent to the community.
- 3. Where public transportation systems exist, direct pedestrian access should be provided to increase transit use and reduce unnecessary vehicle trips, and related vehicle emissions. The pedestrian/bicycle networks should be integrated with the existing and future transit plans for the area.

Blackstone Ranch, Filing March 8, 2019 Page 2 of 2

- 4. Streets that are designed to be pedestrian/bike friendly and to reduce vehicle and pedestrian/bicycle fatalities.
- 5. Bicycle facilities and racks are provided in convenient locations.

Please feel free to contact me at 720-200-1585 or aheinrich@tchd.org if you have any questions.

Sincerely,

ill

Annemarie Heinrich, MPH/MURP Land Use and Built Environment Specialist

cc: Sheila Lynch, Monte Deatrich, TCHD



July 15, 2019

Greg Barnes Adams County Community and Economic Development 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601

RE: Blackstone Ranch, Filing 4, PLT2019-00001 TCHD Case No. 5709

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the resubmittal of the major subdivision final plat for 75 single-family residential lots located approximately 2,000 feet southwest of East 26th Avenue and Monroe Street. Tri-County Health Department (TCHD) staff previously reviewed the application for the major subdivision final plat, in a letter dated March 8, 2019 responded with the comments included below. TCHD has no further comments.

Community design to support walking and bicycling

Because chronic diseases related to physical inactivity and obesity now rank among the country's greatest public health risks, TCHD encourages community designs that make it easy for people to include regular physical activity, such as walking and bicycling, in their daily routines. Because research shows that the way we design our communities can encourage regular physical activity, TCHD strongly supports community plans that incorporate pedestrian and bicycle amenities that support the use of a broader pedestrian and bicycle network.

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- 2. Bicycle and pedestrian networks that provide direct connections between destinations in and adjacent to the community.
- 3. Where public transportation systems exist, direct pedestrian access should be provided to increase transit use and reduce unnecessary vehicle trips, and related vehicle emissions. The pedestrian/bicycle networks should be integrated with the existing and future transit plans for the area.

Blackstone Ranch, Filing July 15, 2019 Page 2 of 2

- 4. Streets that are designed to be pedestrian/bike friendly and to reduce vehicle and pedestrian/bicycle fatalities.
- 5. Bicycle facilities and racks are provided in convenient locations.

Please feel free to contact me at 720-200-1585 or aheinrich@tchd.org if you have any questions.

Sincerely,

ill

Annemarie Heinrich, MPH/MURP Land Use and Built Environment Specialist

cc: Sheila Lynch, Monte Deatrich, TCHD



September 16, 2019

Greg Barnes Adams County Community and Economic Development 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601

RE: Blackstone Ranch, Filing 4, PLT2019-00001 TCHD Case No. 5842

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the resubmittal of the major subdivision final plat for 75 single-family residential lots located approximately 2,000 feet southwest of East 26th Avenue and Monroe Street. Tri-County Health Department (TCHD) staff previously reviewed the application for the major subdivision final plat, in letters dated March 8 and July 15, 2019 responded with the comments included below. TCHD has no further comments.

Community design to support walking and bicycling

Because chronic diseases related to physical inactivity and obesity now rank among the country's greatest public health risks, TCHD encourages community designs that make it easy for people to include regular physical activity, such as walking and bicycling, in their daily routines. Because research shows that the way we design our communities can encourage regular physical activity, TCHD strongly supports community plans that incorporate pedestrian and bicycle amenities that support the use of a broader pedestrian and bicycle network.

In order to promote walking and bicycling through this development, TCHD encourages the applicant to consider the inclusion of the following as they design the community.

- 1. A system of sidewalks, bike paths and open space trail networks that are welldesigned and well-lit, safe, and attractive so as to promote bicycle and pedestrian use.
- 2. Bicycle and pedestrian networks that provide direct connections between destinations in and adjacent to the community.
- 3. Where public transportation systems exist, direct pedestrian access should be provided to increase transit use and reduce unnecessary vehicle trips, and related vehicle emissions. The pedestrian/bicycle networks should be integrated with the existing and future transit plans for the area.

Blackstone Ranch, Filing September 16, 2019 Page 2 of 2

- 4. Streets that are designed to be pedestrian/bike friendly and to reduce vehicle and pedestrian/bicycle fatalities.
- 5. Bicycle facilities and racks are provided in convenient locations.

Please feel free to contact me at 720-200-1585 or aheinrich@tchd.org if you have any questions.

Sincerely,

ill

Annemarie Heinrich, MPH/MURP Land Use and Built Environment Specialist

cc: Sheila Lynch, Monte Deatrich, TCHD



Right of Way & Permits 1123 West 3rd Avenue Denver, Colorado 80223 Telephone: **303.571.3306** Facsimile: 303. 571.3284 donna.l.george@xcelenergy.com

March 15, 2019

Adams County Community and Economic Development Department 4430 South Adams County Parkway, 3rd Floor, Suite W3000 Brighton, CO 80601

Attn: Greg Barnes

Re: Blackstone Ranch Filing No. 4, Case # PLT2019-00001

Public Service Company of Colorado's Right of Way & Permits Referral Desk has reviewed the plat for **Blackstone Ranch F4** and has **no conflict**.

Donna George Right of Way and Permits Public Service Company of Colorado / Xcel Energy Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com



Right of Way & Permits 1123 West 3rd Avenue Denver, Colorado 80223 Telephone: **303.571.3306** Facsimile: 303. 571.3284 donna.l.george@xcelenergy.com

July 12, 2019

Adams County Community and Economic Development Department 4430 South Adams County Parkway, 3rd Floor, Suite W3000 Brighton, CO 80601

Attn: Greg Barnes

Re: Blackstone Ranch Filing No. 4 – 2nd referral, Case # PLT2019-00001

Public Service Company of Colorado's Right of Way & Permits Referral Desk has reviewed the plat for **Blackstone Ranch F4** and *still* has **no conflict**.

I do not need to see resubmittals of this plat review.

Donna George Right of Way and Permits Public Service Company of Colorado / Xcel Energy Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com Community & Economic Development Department Development Services Division

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000B Brighton, CO 80601-8218 PHONE 720.523.6800 FAX 720.523.6967

Request for Comments

Case Name: Case Number: Blackstone Ranch, Filing 4 PLT2019-00001

February 21, 2019

The Adams County Planning Commission is requesting comments on the following request: **major subdivision final plat for 75 single-family residential lots.** This request is located at approximately 2,000 feet southwest of East 26th Avenue and Monroe Street. The Assessor's Parcel Number is 0181333100008.

Applicant Information:

Kimley Horn Eric Gunderson 4582 South Ulster Street Suite 1500 Denver, CO 80237

Please forward any written comments on this application to the Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216, or call (720) 523-6800 by **03/14/2019** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to <u>GJBarnes@adcogov.org</u>. Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you for your information.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at <u>www.adcogov.org/planning/currentcases</u>.

Thank you for your review of this case.

Greg Barnes Planner II

Eva J. Henry DISTRICT 1 Charles "Chaz" Tedesco

BOARD OF COUNTY COMMISSIONERS

Emma Pinter DISTRICT 3 Steve O'Dorisio DISTRICT 4 Mary Hodge DISTRICT 5



Referral Listing Case Number PLT2019-00001 Blackstone Ranch, Filing 4

Agency	Contact Information
Adams County Attorney's Office	Christine Fitch CFitch@adcogov.org 4430 S Adams County Pkwy Brighton CO 80601 720-523-6352
Adams County CEDD Addressing	Marissa Hillje PLN 720.523.6837 mhillje@adcogov.org
Adams County CEDD Development Services Engineer	Devt. Services Engineering 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6800
Adams County CEDD Right-of-Way	Marissa Hillje 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6837 mhillje@adcogov.org
Adams County Construction Inspection	Gordon .Stevens 4430 S. Adams County Pkwy Brighton CO 80601 720-523-6965 gstevens@adcogov.org
Adams County Development Services - Building	Justin Blair 4430 S Adams County Pkwy Brighton CO 80601 720-523-6825 JBlair@adcogov.org
Adams County Parks and Open Space Department	Aaron Clark mpedrucci@adcogov.org (303) 637-8005 aclark@adcogov.org
Adams County Sheriff's Office: SO-HQ	Rick Reigenborn (303) 654-1850 rreigenborn@adcogov.org
Adams County Sheriff's Office: SO-SUB	SCOTT MILLER 720-322-1115 smiller@adcogov.org

Agency	Contact Information	
Adams County Treasurer	Lisa Culpepper 4430 S Adams County Pkwy Brighton CO 80601 720.523.6166 lculpepper@adcogov.org	
Century Link, Inc	Brandyn Wiedreich 5325 Zuni St, Rm 728 Denver CO 80221 720-578-3724 720-245-0029 brandyn.wiedrich@centurylink.com	
Code Compliance Supervisor	Eric Guenther eguenther@adcogov.org 720-523-6856 eguenther@adcogov.org	
COLO DIV OF WATER RESOURCES	Joanna Williams OFFICE OF STATE ENGINEER 1313 SHERMAN ST., ROOM 818 DENVER CO 80203 303-866-3581 joanna.williams@state.co.us	
COLORADO DIVISION OF WILDLIFE	Eliza Hunholz Northeast Regional Engineer 6060 BROADWAY DENVER CO 80216-1000 303-291-7454 eliza.hunholz@state.co.us	
COLORADO DIVISION OF WILDLIFE	Serena Rocksund 6060 BROADWAY DENVER CO 80216 3039471798 serena.rocksund@state.co.us	
COLORADO GEOLOGICAL SURVEY	Jill Carlson 1500 Illinois Street Golden CO 80401 303-384-2643 303-384-2655 CGS_LUR@mines.edu	
Colorado Geological Survey: CGS_LUR@mines.edu	Jill Carlson Mail CHECK to Jill Carlson 303-384-2643 303-384-2655 CGS_LUR@mines.edu	
COMCAST	JOE LOWE 8490 N UMITILLA ST FEDERAL HEIGHTS CO 80260 303-603-5039 thomas_lowe@cable.comcast.com	
Intermountain Rural Electric Asso - IREA	Brooks Kaufman PO Box Drawer A 5496 North US Hwy 85 Sedalia CO 80135 303-688-3100 x105 bkaufman@intermountain-rea.com	

Agency	Contact Information
NS - Code Compliance	Gail Moon gmoon@adcogov.org 720.523.6833 gmoon@adcogov.org
STRASBURG FIRE PROTECTION DIST #8	GERRI VENTURA PO BOX 911 STRASBURG CO 80136 303-622-4814 gventura@svfd8.org
STRASBURG PARKS AND REC DIST.	Angie Graf P.O. BOX 118 STRASBURG CO 80136 (303) 622-4260 angie@strasburgparks.org
STRASBURG SCHOOL DISTRICT 31J	Monica Johnson 56729 E Colorado Ave STRASBURG CO 80136 303-622-9211 mjohnson@strasburg31j.org
Strasburg Water & Sanitation Dist	Tracy Griffin PO Box 596 Strasburg CO 80136 303-622-4443 strawaternsan@tds.net
TRI-COUNTY HEALTH DEPARTMENT	MONTE DEATRICH 4201 E. 72ND AVENUE SUITE D COMMERCE CITY CO 80022 (303) 288-6816 mdeatrich@tchd.org
TRI-COUNTY HEALTH DEPARTMENT	Sheila Lynch 6162 S WILLOW DR, SUITE 100 GREENWOOD VILLAGE CO 80111 720-200-1571 landuse@tchd.org
Tri-County Health: Mail CHECK to Sheila Lynch	Tri-County Health landuse@tchd.org
UNITED STATES POST OFFICE	MARY C. DOBYNS 56691 E COLFAX AVENUE STRASBURG CO 80136-8115 303-622-9867 mary.c.dobyns@usps.gov
Xcel Energy	Donna George 1123 W 3rd Ave DENVER CO 80223 303-571-3306 Donna.L.George@xcelenergy.com

BENNETT JAMES R AND BENNETT LEEANN 2330 WAGNER ST STRASBURG CO 80136-7548

BLACKSTONE RANCH HOMEOWNERS ASSOCIATION 100 SAINT PAUL ST STE 300 DENVER CO 80206-5136

BLACKSTONE RANCH HOMESOWNERS ASSOCIATION 3855 LEWISTON ST SUITE 100 AURORA CO 80011

BOYD CHRISTOPHER DAVID BOYD RENEE ALLISON 2390 WAGNER ST STRASBURG CO 80136-7548

BRADLEY ELIZABETH L 56548 E 24TH PL STRASBURG CO 80136-7528

BUCK MICHAEL AND BUCK MAUREEN PO BOX 1838 ELIZABETH CO 80107-1838

CHAVEZ OSCAR J VALENZUELA AND GONZALEZ MARIA VARGAS 56549 E 23RD PL STRASBURG CO 80136

COVER GLENN C AND COVER DIANE M 2310 MAIN ST STRASBURG CO 80136-7546

EASTERN SLOPE HOUSING 56175 SUNSET AVE STRASBURG CO 80136-0557

ENGELBRECHT RUSSELL R 2024 STRASBURG ROAD STRASBURG CO 80136 FRISBY KARL 2290 WAGNER ST STRASBURG CO 80135

GALVAN EMIR 2310 WAGNER ST STRASBURG CO 80136-7548

HULL PAULA 56400 E 28TH AVE STRASBURG CO 80136-8007

PAPPEL COLBY DILLION 56612 23RD AVE STRASBURG CO 80136-7555

PAULS DEVELOPMENT EAST LLC 270 SAINT PAUL ST STE 300 DENVER CO 80206-5133

PAULSCORP LLC 100 SAINT PAUL ST STE 300 DENVER CO 80206-5107

REED CHRISTON SETH AND REED MEGAN EVA 56550 23RD PL STRASBURG CO 80136-7557

RIED LOUIS JR 203 HOOVER AVE LOUISVILLE CO 80027-2166

STRASBURG COMMUNITY CHURCH PO BOX 556 STRASBURG CO 80136

STRASBURG METROPOLITAN PARKS AND RECREATION DIRSTRICT 1932 BURTON ST STRASBURG CO 80136 STRASBURG PARK AND RECREATION DISTRICT 1932 BURTON ST STRASBURG CO 80136-7826

STRASBURG SANITATION AND WATER DISTRICT 56829 COLORADO AVE /PO BOX 596 STRASBURG CO 80136

STRASBURG SCHOOL DISTRICT 31J PO BOX 207 STRASBURG CO 80136

STRASBURG WATER AND SANITATION DIST 7400 E ORCHARD RD STE 3300 GREENWOOD VILLAGE CO 80111-2545

SUNDIN MIKAEL ARTHUR AND SUNDIN NICOLE L 56639 23RD PL STRASBURG CO 80136-7558

URBIES FARM TRUST PO BOX 115 ILIFF CO 80736-0115

AGUIRRE BENJAMIN AND AGUIRRE PATRICIA OR CURRENT RESIDENT 56659 E 23RD PL STRASBURG CO 80136

ANDERSON LEIF ANDERSON LISA OR CURRENT RESIDENT 56642 E 23RD AVE STRASBURG CO 80136-7555

APPLE JUSTIN J OR CURRENT RESIDENT 56733 E 24TH PL STRASBURG CO 80136-7535

AUTHIER SCOTT M AND AUTHIER JENNIFER OR CURRENT RESIDENT 56585 E 25TH AVE STRASBURG CO 80136-7531 BIBEAU CHARLES R AND BIBEAU GERYL L OR CURRENT RESIDENT 56280 E 28TH COURT STRASBURG CO 80136

BOUCHER ROBERT JOSEPH AND BOUCHER MELISSA SUE OR CURRENT RESIDENT 56607 E 23RD AVE STRASBURG CO 80136-7555

BRINSON JAMES SCOTT AND BRINSON ERICA LYN OR CURRENT RESIDENT 56672 E 23RD AVE STRASBURG CO 80136-7555

CABALLERO OSCAR MACIEL OR CURRENT RESIDENT 56610 E 23RD PL STRASBURG CO 80136-7558

CAMPBELL JAMES P AND CAMPBELL DEBRA A OR CURRENT RESIDENT 56675 E 25TH AVE STRASBURG CO 80136-7530

CLARK THOMAS A CLARK LAURIE L OR CURRENT RESIDENT 56641 E 24TH AVE STRASBURG CO 80136-7525

COCHRAN CODY L AND COCHRAN EMILY J OR CURRENT RESIDENT 56640 E 23RD PL STRASBURG CO 80136-7558

COOK ERICK OR CURRENT RESIDENT 56594 E 24TH AVE STRASBURG CO 80136-7523

CORLEY MARTIN W AND CORLEY LINDA J OR CURRENT RESIDENT 2371 ADAMS CT STRASBURG CO 80136-7540

CRAWFORD THOMAS M AND CRAWFORD DEBORAH K OR CURRENT RESIDENT 56591 E 24TH AVE STRASBURG CO 80136-7524 CRITES BRIAN L OR CURRENT RESIDENT 56730 E 25TH AVE STRASBURG CO 80136-7532

DAVIS CHERYL A AND COOPER RONALD E OR CURRENT RESIDENT 56644 E 24TH AVE STRASBURG CO 80136-7527

DELANEY JOSH NEIL OR CURRENT RESIDENT 56599 E 23RD PL STRASBURG CO 80136

DODGE CHARLES R III AND DODGE LINDA L OR CURRENT RESIDENT 56547 E 23RD AVE STRASBURG CO 80136

DRIER NOEL OR CURRENT RESIDENT 56532 E 23RD AVE STRASBURG CO 80136-7554

EASTERN SLOPE HOUSING OR CURRENT RESIDENT 56175 SUNSET AVE STRASBURG CO 80136-0557

EASTWOOD RYAN J AND EASTWOOD KELLI J OR CURRENT RESIDENT 56745 E 25TH AVE STRASBURG CO 80136-7529

EHMANN GEORGE O AND EHMANN JOYCE OR CURRENT RESIDENT 56708 E 22ND PL STRASBURG CO 80136-7552

ELGIN HENRY AND ELGIN DARLENE OR CURRENT RESIDENT 56635 E 25TH AVE STRASBURG CO 80136-7530

ESTRADA MARCOS AND ESTRADA MARIA OR CURRENT RESIDENT 2350 MAIN ST STRASBURG CO 80136-7546 FERREL STEPHEN AND FERREL LAURIE OR CURRENT RESIDENT 2351 ADAMS CT STRASBURG CO 80136-7540

FOSTER LOUIS E FOSTER BELINDA W OR CURRENT RESIDENT 56692 E 23RD AVE STRASBURG CO 80136-7555

FRANZ GEORGE W AND FRANZ DONA RAE J OR CURRENT RESIDENT 56582 E 23RD AVE STRASBURG CO 80136-7554

HARRINGTON SHAUN MICHAEL AND HARRINGTON ELIZABETH MARIE OR CURRENT RESIDENT 2330 MAIN ST STRASBURG CO 80136-7546

HAUN ROBERT AND HAUN MARGARET D OR CURRENT RESIDENT 56734 E 24TH AVE STRASBURG CO 80136

HOLDSWORTH JUSTIN AND HOLDSWORTH MISTY OR CURRENT RESIDENT 56770 E 25TH AVE STRASBURG CO 80136-7532

HUCK FRANK C AND HUCK SHARON A OR CURRENT RESIDENT 56598 E 24TH PL STRASBURG CO 80136-7528

HULBURT ALYSSA OR CURRENT RESIDENT 56670 E 23RD PL STRASBURG CO 80136-7558

HUMBERT EUGENE I AND HUMBERT PATRICIA A AND HUMBERT SEANDRA OR CURRENT RESIDENT 56360 E 28TH CT STRASBURG CO 80136-8036

JONES MATTHEW M JONES KRISTIN L OR CURRENT RESIDENT 56690 E 23RD PL STRASBURG CO 80136-7558 KEYWORTH JONATHAN OR CURRENT RESIDENT 56534 E 24TH AVE STRASBURG CO 80136-7523

KUBISCHTA KEVIN OR CURRENT RESIDENT 56511 E 24TH AVE STRASBURG CO 80136-7524

MARRERO MICHAEL A OR CURRENT RESIDENT 56555 E 25TH AVE STRASBURG CO 80136-7531

MATHIS CONNIE OR CURRENT RESIDENT 56640 E 25TH AVE STRASBURG CO 80136-7533

MELE SANDRA L AND MELE ROGER W AND SHIELDS BERNADINE OR CURRENT RESIDENT 56689 E 23RD PL STRASBURG CO 80136

MILLER ROBERT J AND MILLER SHANNON K OR CURRENT RESIDENT 56680 E 25TH AVE STRASBURG CO 80136-7533

MOORE MICHAEL R AND MOORE KAREN SUSAN OR CURRENT RESIDENT 56530 E 23RD PL STRASBURG CO 80136

MUTSCHELKNAUS RYAN AND MUTSCHELKNAUS CRAIG AND ESQUIBEL SARA OR CURRENT RESIDENT 56531 E 24TH AVE STRASBURG CO 80136-7524

NEUMANN RICHARD JR OR CURRENT RESIDENT 56561 E 24TH AVE STRASBURG CO 80136-7524

NORDLOH JOLENE R AND NORDLOH JAY H OR CURRENT RESIDENT 56684 E 24TH AVE STRASBURG CO 80136-7527 PARSONS ROSS N AND PARSONS TRACY LYNN OR CURRENT RESIDENT 56580 E 23RD PL STRASBURG CO 80136

PEREZ RAMUNDO A AND PEREZ TRACY L OR CURRENT RESIDENT 56564 E 24TH AVE STRASBURG CO 80136

PLAVEN LOUISE S OR CURRENT RESIDENT 56593 E 24TH PL STRASBURG CO 80136-7537

POSTMA DIANA K OR CURRENT RESIDENT 56657 E 23RD AVE STRASBURG CO 80136

QUINN ROBERT W III AND QUINN KATHERINE L OR CURRENT RESIDENT 56577 E 23RD AVE STRASBURG CO 80136

RODIE WARREN W AND RODIE AMY E OR CURRENT RESIDENT 56552 E 23RD AVE STRASBURG CO 80136

SEGLER ALLAN L OR CURRENT RESIDENT 2370 MAIN ST STRASBURG CO 80136-7546

SHARFF TIMOTHY AND SHARFF ALISA OR CURRENT RESIDENT 56681 E 24TH AVENUE STRASBURG CO 80136

SMITH HOWARD A AND SMITH LUCIANA M OR CURRENT RESIDENT 56643 E 24TH PL STRASBURG CO 80136-7536

SPOONER MICHAEL W OR CURRENT RESIDENT 56725 E 25TH AVE STRASBURG CO 80136-7529 SPRINKLE RANDY AND SPRINKLE NANCY OR CURRENT RESIDENT 56683 E 24TH PL STRASBURG CO 80136-7536

STOEN LAURA AND STOEN ERIC C OR CURRENT RESIDENT 56568 E 24TH PL STRASBURG CO 80136-7528

TAPPARO KENNETH L AND TAPPARO LORI A OR CURRENT RESIDENT 56560 E 25TH AVE STRASBURG CO 80136-7534

TAYLOR NANCY P AND TAYLOR WILLIAM D OR CURRENT RESIDENT 56275 E 28TH CT STRASBURG CO 80136-8060

TRUJILLO EDWARD SABINO JR OR CURRENT RESIDENT 56765 E 25TH AVE STRASBURG CO 80136-7529

VALENCIA MYRNA AND VALENCIA RAUL OR CURRENT RESIDENT 2331 ADAMS CT STRASBURG CO 80136-7540

WELLER DIANNA K OR CURRENT RESIDENT 56688 E 24TH PL STRASBURG CO 80136-7538

WILKES NICHOLAS AND WILKES KAYLA R OR CURRENT RESIDENT 56579 E 23RD PL STRASBURG CO 80136

WILLIAMS RANDALL JASON AND WILLIAMS AMIE KAY OR CURRENT RESIDENT 56773 E 24TH PL STRASBURG CO 80136-7535

WILMES PHILIP STEPHEN AND WILMES DE ANNA LYNN OR CURRENT RESIDENT 56563 E 24TH PL STRASBURG CO 80136-7537 YOUNG SHAWN C AND YOUNG LANETTE C OR CURRENT RESIDENT 56702 E 23RD AVE STRASBURG CO 80136

YUAN RUI OR CURRENT RESIDENT 56590 E 25TH AVE STRASBURG CO 80136-7534

ZESSIN JEFFREY AND ZESSIN RUTH OR CURRENT RESIDENT 56609 E 23RD PL STRASBURG CO 80136

ZIPPE MATTHEW J AND ZIPPE MELISSA E OR CURRENT RESIDENT 56597 E 23RD AVE STRASBURG CO 80136-7554

CURRENT RESIDENT 56648 E 24TH PL STRASBURG CO 80136-7538

CURRENT RESIDENT 2210 WAGNER ST STRASBURG CO 80136-7549

CURRENT RESIDENT 2100 WAGNER ST STRASBURG CO 80136-7726

CURRENT RESIDENT 2024 STRASBURG RD STRASBURG CO 80136-7803

CURRENT RESIDENT 56400 E 28TH CT STRASBURG CO 80136-8036

CURRENT RESIDENT 56210 E 20TH CT STRASBURG CO 80136-8102



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 29, 2019			
SUBJECT:	Agreement Regarding Design and Construction of Drainage and Flood Control		
	Improvements for Dahlia Street Outfall – Dahlia Pond – Adams County – Agreement		
	No. 19-05.07		
FROM:	Kristin Sullivan, AICP, Director of Public Works		
	Brian Staley, PE, PTOE, Deputy Director of Public Works		
	René Valdez, Capital Improvements Program Manager of Public Works		
AGENCY/DEPARTMENT: Public Works			
HEARD AT STUDY SESSION ON: August 20, 2019			
AUTHORIZATION TO MOVE FORWARD: 🛛 YES 🗌 NO			
RECOMME	NDED ACTION: That the Board of County Commissioners approve Agreement		
	Regarding Design and Construction of Drainage and Flood Control Improvements for		

Dahlia Street Outfall – Dahlia Pond – Adams County – Agreement No. 19-05.07

BACKGROUND:

Adams County and the Urban Drainage and Flood Control District (DBA Mile High Flood District) participated in a joint planning study titled "Drainage Outfall Systems Update Northern Commerce City and Irondale Area Basin D Outfall Alternatives Analysis" by ICON Engineering, Inc, dated June 8, 2017. The Plan recommended drainage and flood control improvements for Dahlia Street Outfall – Dahlia Pond, which the County and District now desire to proceed with design and construction.

The improvements contemplated for this Project will improve detention capacity, provide pond maintenance and water quality. The Parties wish to continue collaboration, dedicate resources and combine funds toward the goal of completing the Plan for the benefit of all Adams County citizens.

This agreement will provide the funding necessary for the design of the Plan. Funds for construction shall be added to this agreement at a future date.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Public Works; Urban Drainage and Flood Control District; Office of County Attorney

ATTACHED DOCUMENTS:

- Agreement Regarding Design and Construction of Drainage and Flood Control Improvements for Dahlia Street Outfall - Dahlia Pond - Adams County (Agreement No. 19-05.07)
- 2. Draft Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 7

Cost Center: 3704

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object	Subledger	Amount
	Account		
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:	9105	37041902	\$200,000
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			\$200,000

New FTEs requested:	YES	🖂 NO

Future Amendment Needed:	YES	🖂 NO
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Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AGREEMENT REGARDING FINAL DESIGN, RIGHT-OF-WAY ACQUISITION, AND CONSTRUCTION OF DRAINAGE AND FLOOD CONTROL IMPROVEMENTS FOR DAHLIA POND AT I-76, ADAMS COUNTY Agreement No. 18-11.19

WHEREAS, Adams County (County) and the Urban Drainage and Flood Control District (District) wish to enter into Agreement Regarding Final Design, Right-Of-Way Acquisition, and Construction of Drainage and Flood Control Improvements for Dahlia Pond at I-76, Adams County – Agreement No. 18-11.19; and,

WHEREAS, District per their policy statements adopted by Resolution No. 14, Series of 1970 and Resolution No. 11, Series of 1973, expressed an intent to assist public bodies which have heretofore enacted floodplain regulation measures; and,

WHEREAS, the County and the District participated in a joint planning study titled "Drainage Outfall Systems Update Northern Commerce City and Irondale Area Basin D Outfall Alternatives Analysis" by ICON Engineering, Inc. dated June 8, 2017 (hereinafter called "Plan"); and,

WHEREAS, the County and the District now desire to proceed with the design, right-of-way acquisition, and construction of drainage and flood control improvements for Dahlia Pond at I-76 in Adams County (hereinafter called "Project"); and,

WHEREAS, District has adopted at a public hearing a Five-Year Capital Improvement Program (Resolution No. 67, Series of 2018) for drainage and flood control facilities in which Project was included in the 2019 calendar year.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Agreement Regarding Final Design, Right-Of-Way Acquisition, and Construction of Drainage and Flood Control Improvements for Dahlia Pond at I-76, Adams County - Agreement No. 18-11.19, a copy of which is attached hereto and incorporated by this reference, be approved.

BE IT FURTHER RESOLVED, that the Board Chair is authorized to execute said Agreement on behalf of Adams County.

AGREEMENT REGARDING DESIGN AND CONSTRUCTION OF DRAINAGE AND FLOOD CONTROL IMPROVEMENTS FOR DAHLIA STREET OUTFALL – DAHLIA POND ADAMS COUNTY

Agreement No. 19-05.07 Project No. 107418

THIS AGREEMENT, by and between URBAN DRAINAGE AND FLOOD CONTROL DISTRICT (hereinafter called "DISTRICT") and ADAMS COUNTY (hereinafter called "COUNTY") and collectively known as "PARTIES";

WITNESSETH:

WHEREAS, DISTRICT, in a policy statement previously adopted, (Resolution No. 14, Series of 1970 and Resolution No. 11, Series of 1973) expressed an intent to assist public bodies which have heretofore enacted floodplain regulation measures; and

WHEREAS, PARTIES participated in a joint planning study titled "Drainage Outfall Systems Update Northern Commerce City and Irondale Area Basin D Outfall Alternatives Analysis" by ICON Engineering, Inc., dated June 8, 2017 (hereinafter called "PLAN"); and

WHEREAS, PARTIES now desire to proceed with design and construction of drainage and flood control improvements for Dahlia Street Outfall – Dahlia Pond (hereinafter called "PROJECT"); and

WHEREAS, DISTRICT's Board of Directors reviewed and authorized expenditures for the 2019 Maintenance Work Program (Resolution No. 67, Series of 2018); and

WHEREAS, the County Commissioners of COUNTY and the Board of Directors of DISTRICT have authorized, by appropriation or resolution, all of PROJECT costs of the respective PARTIES.

NOW, THEREFORE, in consideration of the mutual promises contained herein, PARTIES hereto agree as follows:

1. <u>SCOPE OF AGREEMENT</u>

This Agreement defines the responsibilities and financial commitments of PARTIES with respect to PROJECT.

- 2. <u>SCOPE OF PROJECT</u>
 - A. <u>Final Design</u>. PROJECT shall include the final design of improvements in accordance with the recommendations defined in PLAN. Specifically, the final design of facilities shall be bound by I-76, Brighton Boulevard, and the O'Brian Canal, as shown on Exhibit A.
 - B. <u>Construction</u>. PROJECT shall include construction by DISTRICT of the drainage and flood control improvements as set forth in the final design including vegetation establishment.

3. <u>PUBLIC NECESSITY</u>

PARTIES agree that the work performed pursuant to this Agreement is necessary for the health, safety, comfort, convenience, and welfare of all the people of the State, and is of particular benefit to the inhabitants of PARTIES and to their property therein.

4. PROJECT COSTS AND ALLOCATION OF COSTS

- A. PARTIES agree that for the purposes of this Agreement PROJECT costs shall consist of and be limited to the following:
 - 1. Final design services;
 - 2. Construction of improvements;
 - 3. Contingencies mutually agreeable to PARTIES.
- B. It is understood that PROJECT costs as defined above are not to exceed \$400,000 without amendment to this Agreement.

PROJECT costs for the various elements of the effort are estimated as follows:

	ITEM	AMOUNT
1.	Final Design	\$ 300,000
2.	Construction *	\$ 100,000
3.	Contingency	\$ 0
	Grand Total	\$ 400,000

* It is anticipated that funds for construction shall be added to this Agreement at a future date.

This breakdown of costs is for estimating purposes only. Costs may vary between the various elements of the effort without amendment to this Agreement provided the total expenditures do not exceed the maximum contribution by all PARTIES plus accrued interest, if applicable.

C. Based on total PROJECT costs, the maximum percent and dollar contribution by each party shall be:

	Percentage Share	Maximum <u>Contribution</u>
DISTRICT	50.00%	\$ 200,000
COUNTY	50.00%	\$ 200,000
TOTAL	100.00%	\$ 400,000

5. <u>MANAGEMENT OF FINANCES</u>

As set forth in DISTRICT policy (Resolution No. 11, Series of 1973, Resolution No. 49, Series of 1977, and Resolution No. 37, Series of 2009), the funding of a local body's one-half share may come from its own revenue sources or from funds received from state, federal or other sources of funding without limitation and without prior DISTRICT approval.

Payment of each party's full share (COUNTY - \$200,000; DISTRICT - \$200,000) shall be made to DISTRICT subsequent to execution of this Agreement and within 30 days of request for payment by DISTRICT. The payments by PARTIES shall be held by DISTRICT in a special fund to pay for increments of PROJECT as authorized by PARTIES, and as defined herein. DISTRICT shall provide a periodic accounting of PROJECT funds as well as a periodic notification to COUNTY of any unpaid obligations. Any interest earned by the monies contributed by PARTIES shall be accrued to the special fund established by DISTRICT for PROJECT and such interest shall be used only for PROJECT upon approval by the contracting officers (Paragraph 13). Within one year of completion of PROJECT if there are monies including interest earned remaining which are not committed, obligated, or disbursed, each party shall receive a share of such monies, which shares shall be computed as were the original shares; or, at COUNTY request, COUNTY share of remaining monies shall be transferred to another special fund held by DISTRICT.

6. <u>FINAL DESIGN</u>

The contracting officers for PARTIES, as defined under Paragraph 13 of this Agreement, shall select an engineer mutually agreeable to both PARTIES. DISTRICT shall contract with selected engineer and shall supervise and coordinate the final design including right-of-way delineation subject to approval of the contracting officer for COUNTY. Payment for final design shall be made by DISTRICT as the work progresses from the PROJECT fund established as set forth above.

Final design services shall consist of, but not be limited to, the following:

- A. Preparation of a work plan schedule identifying the timing of major elements in the design;
- B. Preparation of detailed construction plans and specifications;
- C. Preparation of an estimate of probable construction costs of the work covered by the plans and specifications;
- D. Preparation of an appropriate construction schedule.

DISTRICT shall provide any written work product by the engineer to COUNTY.

7. OWNERSHIP OF PROPERTY AND LIMITATION OF USE

COUNTY shall own the property either in fee or non-revocable easement and shall be responsible for same. It is specifically understood that the right-of-way is being used for drainage and flood control purposes. The properties upon which PROJECT is constructed shall not be used for any purpose that shall diminish or preclude its use for drainage and flood control purposes. COUNTY may not dispose of or change the use of the properties without approval of DISTRICT. If, in the future, COUNTY disposes of any portion of or all of the properties acquired upon which PROJECT is constructed pursuant to this Agreement; changes the use of any portion or all of the properties upon which PROJECT is constructed pursuant to this Agreement; or modifies any of the improvements located on any portion of the properties upon which PROJECT is constructed pursuant to this Agreement; and COUNTY has not obtained the written approval of DISTRICT prior to such action, COUNTY shall take any and all action necessary to reverse said unauthorized activity and return the properties and improvements thereon, acquired and constructed pursuant to this Agreement, to the ownership and condition they were in immediately prior to the unauthorized activity at COUNTY's sole expense. In the event COUNTY breaches the terms and provisions of this Paragraph 7 and does not voluntarily cure as set forth above, DISTRICT shall have the right to pursue a claim against COUNTY for specific performance of this portion of the Agreement.

8. MANAGEMENT OF CONSTRUCTION

- A. <u>Costs</u>. Construction costs shall consist of those costs as incurred by the most qualified contractor(s) including detour costs, licenses and permits, utility relocations, and construction related engineering services as defined in Paragraph 4 of this Agreement.
- B. Construction Management and Payment
 - 1. DISTRICT, with the concurrence of COUNTY, shall administer and coordinate the construction-related work as provided herein.
 - DISTRICT, with concurrence of COUNTY, shall select and award construction contract(s).
 - 3. DISTRICT shall require the contractor to provide adequate liability insurance that includes COUNTY. The contractor shall be required to indemnify COUNTY. Copies of the insurance coverage shall be provided to COUNTY.
 - 4. DISTRICT, with assistance of COUNTY, shall coordinate field surveying; staking; inspection; testing; acquisition of right-of-way; and engineering as required to construct PROJECT. DISTRICT, with assistance of COUNTY, shall assure that construction is performed in accordance with the construction contract documents including approved plans and specifications and shall accurately record the quantities and costs relative thereto. Copies of all inspection reports shall be furnished to COUNTY on a weekly basis. DISTRICT shall retain an engineer to perform all or a part of these duties.
 - 5. DISTRICT, with concurrence of COUNTY, shall contract with and provide the services of the design engineer for basic engineering construction services to include addendum preparation; survey control points; explanatory sketches; revisions of contract plans; shop drawing review; as-built plans; weekly inspection of work; and final inspection.
 - 6. PARTIES shall have access to the site during construction at all times to observe the progress of work and conformance to construction contract documents including plans and specifications.
 - 7. DISTRICT shall review and approve contractor billings.. DISTRICT shall remit payment to contractor based on billings.
 - 8. DISTRICT, with concurrence of COUNTY, shall prepare and issue all written change or work orders to the contract documents.

- 9. PARTIES shall jointly conduct a final inspection and accept or reject the completed PROJECT in accordance with the contract documents.
- 10. DISTRICT shall provide COUNTY a set of reproducible "as-built" plans.
- C. <u>Construction Change Orders</u>. In the event that it becomes necessary and advisable to change the scope or detail of the work to be performed under the contract(s), such changes shall be rejected or approved in writing by the contracting officers. No change orders shall be approved that increase the costs beyond the funds available in the PROJECT fund, including interest earned on those funds, unless and until the additional funds needed to pay for the added costs are committed by all PARTIES.

9. <u>MAINTENANCE</u>

PARTIES agree that COUNTY shall own and be responsible for maintenance of the completed and accepted PROJECT. PARTIES further agree that DISTRICT, at COUNTY's request, shall assist COUNTY with the maintenance of all facilities constructed or modified by virtue of this Agreement to the extent possible depending on availability of DISTRICT funds. Such maintenance assistance shall be limited to drainage and flood control features of PROJECT. Maintenance assistance may include activities such as keeping flow areas free and clear of debris and silt, keeping culverts free of debris and sediment, repairing drainage and flood control structures such as drop structures and energy dissipaters, and clean-up measures after periods of heavy runoff. The specific nature of the maintenance assistance shall be set forth in a memorandum of understanding from DISTRICT to COUNTY, upon acceptance of DISTRICT's annual Maintenance Work Program.

DISTRICT shall have right-of-access to right-of-way and storm drainage improvements at all times for observation of flood control facility conditions and for maintenance when funds are available.

10. FLOODPLAIN REGULATION

COUNTY agrees to regulate and control the floodplain of the South Platte River within COUNTY in the manner prescribed by the National Flood Insurance Program and prescribed regulations thereto as a minimum.

PARTIES understand and agree, however, that COUNTY cannot obligate itself by contract to exercise its police powers. If COUNTY fails to regulate the floodplain of South Platte River within COUNTY in the manner prescribed by the National Flood Insurance Program and prescribed regulations thereto as a minimum, DISTRICT may exercise its power to do so and COUNTY shall cooperate fully.

11. TERM OF AGREEMENT

Despite the date that this Agreement is signed by PARTIES, the term of this Agreement shall commence upon the earlier of the date of final execution by all PARTIES or December 31 of the year that it is tendered to COUNTY for execution and shall terminate three (3) years after the final payment is made to the construction contractor and the final accounting of funds on deposit at DISTRICT is provided to all PARTIES pursuant to Paragraph 5 herein, except for Paragraph 10.

FLOODPLAIN REGULATION, Paragraph 7. OWNERSHIP OF PROPERTY AND

LIMITATION OF USE, and Paragraph 9. MAINTENANCE, which shall run in perpetuity.

12. <u>LIABILITY</u>

Each party hereto shall be responsible for any suits, demands, costs or actions at law resulting from its own acts or omissions and may insure against such possibilities as appropriate.

13. <u>CONTRACTING OFFICERS</u>

- A. The contracting officer for COUNTY shall be the Engineering Manager, 4430 South Adams County Parkway, Suite 2000B, Brighton, Colorado 80601.
- B. The contracting officer for DISTRICT shall be the Executive Director, 2480 West 26th Avenue, Suite 156B, Denver, Colorado 80211.
- C. The contracting officers for PARTIES each agree to designate and assign a PROJECT representative to act on the behalf of said PARTIES in all matters related to PROJECT undertaken pursuant to this Agreement. Each representative shall coordinate all PROJECT-related issues between PARTIES, shall attend all progress meetings, and shall be responsible for providing all available PROJECT-related file information to the engineer upon request by DISTRICT or COUNTY. Said representatives shall have the authority for all approvals, authorizations, notices or concurrences required under this Agreement. However, in regard to any amendments or addenda to this Agreement, said representative shall be responsible to promptly obtain the approval of the proper authority.

14. <u>RESPONSIBILITIES OF PARTIES</u>

DISTRICT shall be responsible for coordinating with COUNTY the information developed by the various consultants hired by DISTRICT and for obtaining all concurrences from COUNTY needed to complete PROJECT in a timely manner. COUNTY agree to review all concept plans, preliminary design plans, and final plans and specifications; and to provide comments within 21 calendar days after the drafts have been provided by DISTRICT to COUNTY.

15. <u>AMENDMENTS</u>

This Agreement contains all of the terms agreed upon by and among PARTIES. Any amendments to this Agreement shall be in writing and executed by PARTIES hereto to be valid and binding.

16. <u>SEVERABILITY</u>

If any clause or provision herein contained shall be adjudged to be invalid or unenforceable by a court of competent jurisdiction or by operation of any applicable law, such invalid or unenforceable clause or provision shall not affect the validity of the Agreement as a whole and all other clauses or provisions shall be given full force and effect.

17. <u>APPLICABLE LAWS</u>

This Agreement shall be governed by and construed in accordance with the laws of the State of Colorado. Jurisdiction for any and all legal actions regarding this Agreement shall be in the State of Colorado and venue for the same shall lie in the county where PROJECT is located.

18. ASSIGNABILITY

No party to this Agreement shall assign or transfer any of its rights or obligations hereunder without the prior written consent of the nonassigning party or parties to this Agreement.

19. <u>BINDING EFFECT</u>

The provisions of this Agreement shall bind and shall inure to the benefit of PARTIES hereto and to their respective successors and permitted assigns.

20. ENFORCEABILITY

PARTIES hereto agree and acknowledge that this Agreement may be enforced in law or in equity, by decree of specific performance or damages, or such other legal or equitable relief as may be available subject to the provisions of the laws of the State of Colorado.

21. TERMINATION OF AGREEMENT

This Agreement may be terminated upon thirty (30) days' written notice by any party to this Agreement, but only if there are no contingent, outstanding contracts. If there are contingent, outstanding contracts, this Agreement may only be terminated upon the cancellation of all contingent, outstanding contracts. All costs associated with the cancellation of the contingent contracts shall be shared between PARTIES in the same ratio(s) as were their contributions.

22. PUBLIC RELATIONS

It shall be at COUNTY's sole discretion to initiate and to carry out any public relations program to inform the residents in PROJECT area as to the purpose of PROJECT and what impact it may have on them. Technical information shall be presented to the public by the selected engineer. In any event DISTRICT shall have no responsibility for a public relations program, but shall assist COUNTY as needed and appropriate.

23. <u>NO DISCRIMINATION IN EMPLOYMENT</u>

In connection with the performance of work under this Agreement, PARTIES agree not to refuse to hire, discharge, promote or demote, or to discriminate in matters of compensation against any person otherwise qualified because of race, color, ancestry, creed, religion, national origin, gender, age, military status, sexual orientation, marital status, or physical or mental disability and further agree to insert the foregoing provision in all subcontracts hereunder.

24. APPROPRIATIONS

Notwithstanding any other term, condition, or provision herein, each and every obligation of COUNTY and/or DISTRICT stated in this Agreement is subject to the requirement of a prior appropriation of funds therefore by the appropriate governing body of COUNTY and/or DISTRICT.

25. NO THIRD PARTY BENEFICIARIES

It is expressly understood and agreed that enforcement of the terms and conditions of this Agreement, and all rights of action relating to such enforcement, shall be strictly reserved to PARTIES, and nothing contained in this Agreement shall give or allow any such claim or right of action by any other or third person on such Agreement. It is the express intention of PARTIES that any person or party other than any one of PARTIES receiving services or benefits under this Agreement shall be deemed to be an incidental beneficiary only.

26. ILLEGAL ALIENS

PARTIES agree that any public contract for services executed as a result of this intergovernmental agreement shall prohibit the employment of illegal aliens in compliance with §8-17.5-101 C.R.S. *et seq.* The following language shall be included in any contract for public services:

- A. At the time of execution of this Agreement, CONTRACTOR does not knowingly employ or contract with an illegal alien who will perform work under this Agreement.
- B. CONTRACTOR shall participate in the E-Verify Program, as defined in § 8 17.5-101(3.7),
 C.R.S., to confirm the employment eligibility of all employees who are newly hired for employment to perform work under this Agreement.
- C. CONTRACTOR shall not knowingly employ or contract with an illegal alien to perform work under this Agreement.
- D. CONTRACTOR shall not enter into a contractor with a subconsultant or subcontractor that fails to certify to CONTRACTOR that it shall not knowingly employ or contact with an illegal alien to perform work under this Agreement.
- E. CONTRACTOR shall confirm the employment eligibility of all employees who are newly hired for employment to perform work under this Agreement through participation in the E-Verify Program.
- F. CONTRACTOR is prohibited from using the E-Verify Program procedures to undertake pre-employment screening of job applicants while performing its obligation under this Agreement, and that otherwise requires CONTRACTOR to comply with any and all federal requirements related to use of the E-Verify Program including, by way of example, all program requirements related to employee notification and preservation of employee rights.
- G. If CONTRACTOR obtains actual knowledge that a subconsultant or subcontracctor performing work under this Agreement knowingly employs or contract with an illegal alien, it will notify such subconsultant or subcontractor and PARTIES within three (3) days. CONTRACTOR shall also then terminate such subconsultant or subcontractor if within three (3) days after such notice the subconsultant or subcontractor does not stop employing or contracting with the illegal alien, unless during such three (3) day period the subconsultant or subcontractor provides information to establish that the subconsultant or subcontractor has not knowingly employed or contracted with an illegal alien.
- H. CONTRACTOR shall comply with any reasonable request made in the course of an investigation by the Colorado Department of Labor and Employment under authority of § 8-17.5-102(5), C.R.S.
- I. CONTRACTOR shall, within twenty days after hiring an employee who is newly hired for employment to perform work under this Agreement, affirms that it has examined the legal work status of such employees, retained file copies of the documents required by 8 U.S.C.

Section 1324a, and not altered or falsified the identification documents for such employees. CONTRACTOR shall provide a written, notarized copy of the affirmation to PARTIES.

27. GOVERNMENTAL IMMUNITIES

PARTIES hereto intend that nothing herein shall be deemed or construed as a waiver by any party of any rights, limitations, or protections afforded to them under the Colorado Governmental Immunity Act (§ 24-10-101, *et seq.*, C.R.S.) as now or hereafter amended or otherwise available at law or equity.

28. INTENT OF AGREEMENT

Except as otherwise stated herein, this Agreement is intended to describe the rights and responsibilities of and between PARTIES and is not intended to and shall not be deemed to confer rights upon any person or entities not named as PARTIES, nor to limit in any way the powers and responsibilities of COUNTY, DISTRICT or any other entity not a party hereto.

29. EXECUTION IN COUNTERPARTS – ELECTRONIC SIGNATURES

This Agreement, and all subsequent documents requiring the signatures of PARTIES to this Agreement, may be executed in two or more counterparts, each of which shall be deemed an original, but all of which shall constitute one and the same instrument. PARTIES approve the use of electronic signatures for execution of this Agreement, and all subsequent documents requiring the signatures of PARTIES to this Agreement. Only the following two forms of electronic signatures shall be permitted to bind PARTIES to this Agreement, and all subsequent documents requiring the signatures of PARTIES to this Agreement.

A. Electronic or facsimile delivery of a fully executed copy of a signature page; or

B. The image of the signature of an authorized signer inserted onto PDF format documents.
 Documents requiring notarization may also be notarized by electronic signature, as provided above.
 All use of electronic signatures shall be governed by the Uniform Electronic Transactions Act,
 CRS §§ 24-71.3-101 to -121.

WHEREFORE, PARTIES hereto have caused this instrument to be executed by properly authorized signatories as of the date and year first above written.

WHEREFORE, PARTIES hereto have caused this instrument to be executed by properly authorized signatories as of the date and year written below.

URBAN DRAINAGE AND FLOOD CONTROL DISTRICT

By_____

Name Ken A. MacKenzie

Checked By

Title Executive Director

Date____



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 29, 2019

SUBJECT: Resolution accepting a deed conveying property to Adams County for the dedication of rightof-way

FROM: Jill Jennings Golich, Director, Community & Economic Development Department

AGENCY/DEPARTMENT: Community & Economic Development

HEARD AT STUDY SESSION ON: N/A

AUTHORIZATION TO MOVE FORWARD:
YES NO

RECOMMENDED ACTION: That the Board of County Commissioners approve a resolution accepting a Quitclaim Deed from Dennis Edward Smialek and Beth Ann Smialek to Adams County for the dedication of right-of-way for Converse Road, East 56th Avenue and Kiowa-Bennett Road.

BACKGROUND:

Dennis Edward Smialek and Beth Ann Smialek have executed a Quitclaim Deed to dedicate road rightof-way to Adams County. The property is located in the north half of Section 22, and all of Section 15, Township 3 South, Range 63 West of the 6th Principal Meridian. The right-of-way is being dedicated as part of a requirement for a solar development project and future building permits on the property.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Community & Economic Development, Public Works, Office of the County Attorney

ATTACHED DOCUMENTS:

Quitclaim Deed Board of County Commissioners Resolution Planning Commission Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact \boxtimes . If there is fiscal impact, please fully complete the section below.

Fund:

Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested:	YES	NO NO
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Future Amendment Needed:	YES	🖂 NO
i uvui e i innenumente i teeueut		

Additional Note:

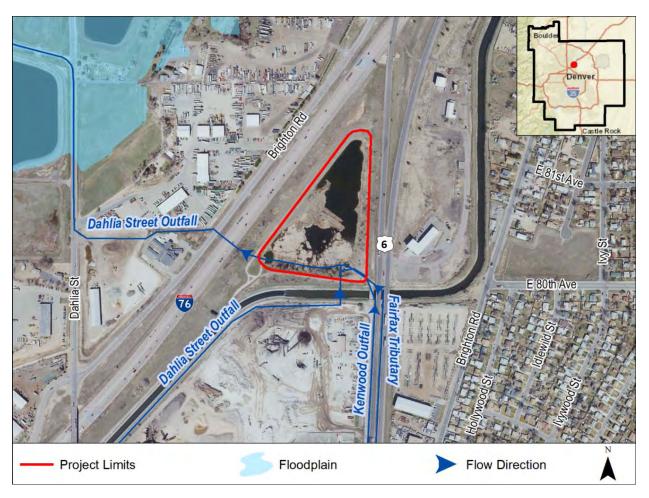
ADAMS COUNTY

By	
Name	
Title	
Date	

AGREEMENT REGARDING DESIGN AND CONSTRUCTION OF DRAINAGE AND FLOOD CONTROL IMPROVEMENTS FOR DAHLIA STREET OUTFALL – DAHLIA POND ADAMS COUNTY

Agreement No. 19-05.07 Project No. 107418

Exhibit A



BOARD OF COUNTY COMMISSIONERS FOR ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING QUITCLAIM DEED CONVEYING PROPERTY FROM DENNIS EDWARD SMIALEK AND BETH ANN SMIALEK, TO ADAMS COUNTY FOR THE DEDICATION OF ROAD RIGHT-OF-WAY

WHEREAS, Dennis Edward Smialek and Beth Ann Smialek, have executed a Quitclaim Deed to dedicate a parcel of land for right-of-way purposes for Converse Road, East 56th Avenue and Kiowa-Bennett Road that complies with County standards and will benefit the citizens of Adams County; and,

WHEREAS, this right-of-way dedication is in conjunction with a solar development project and future building permits on the property; and,

WHEREAS, the Planning Commission for Adams County, Colorado, has considered the advisability of accepting the Quitclaim Deed from Dennis Edward Smialek and Beth Ann Smialek, for property located in the North Half of Section 22, and all of Section 15, Township 3 South, Range 63 West of the 6th Principal Meridian as described in the attached Quitclaim Deed; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 26th day of September 2019, the Planning Commission recommended that the Board of County Commissioners accept said Quitclaim Deed.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Quitclaim Deed from Dennis Edward Smialek and Beth Ann Smialek, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

QUITCLAIM DEED

THIS DEED, dated this <u>30^{-*}</u> day of <u>luquest</u> 2019, between Dennis Edward Smialek and Beth Ann Smialek, whose legal address is 47770 East 56th Avenue, Bennet, CO 80102, grantor, and THE COUNTY OF ADAMS, State of Colorado, grantee, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601, Brighton, Colorado 80601:

WITNESS, that the grantor, for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, have remised, released, sold and QUITCLAIMED, and by these presents remise, release, sell and QUITCLAIM unto the grantee, its successors and assigns forever, all the right, title, interest, claim and demand which the grantor has in and to the real property, together with improvements, if any, situate, lying and being in the said County of Adams, State of Colorado, described as follows:

Legal description as set forth in Exhibit "A, B & C" attached hereto and incorporated herein by this reference.

Dedicated for Converse Road, East 56th Avenue and Kiowa-Bennett Road Assessor's schedule or parcel number: part of 0181500000246, 018150000032, 018150000034 and 0181500000051

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor, either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the same, together with all and singular the appurtenances and privileges thereunto belonging, or in anywise thereunto appertaining, and all the estate, right, title, interest and claim whatsoever of the grantor, either in law or equity, to the only proper use, benefit and behoove of the grantee, its successors and assigns forever.

The singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

IN WITNESS WHEREOF, the grantor has executed this deed on the date set forth above.

By: Dennis Edward Smialet

Dennis Edward Smialek, Owner

280 ann Smialek By

Beth Ann Smialek, Owner

STATE OF COLORADO)

County of Adams)§

The foregoing instrument was acknowledged before me this 30th day of August, 2019, Dennis Edward Sminikand Beth Am Smialck, as owners.

My commission expires: May 28, 2023

Witness my hand and official seal.

Notary Public

MICHAEL BORRASTERO NOTARY PUBLIC - STATE OF COLORADO NOTARY ID 20194019893 MY COMMISSION EXPIRES MAY 28, 2023

EXHIBIT "A" LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE WEST HALF OF SECTION 22 AND THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 63 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, ALSO BEING A PORTION OF LANDS DESCRIBED AT RECEPTION NO. 2012000045574, FILED IN THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARING OF THIS DESCRIPTION IS ALONG THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 15, ASSUMED TO BEAR N89'01'40"E A DISTANCE OF 2625.57 FEET FROM THE NORTHWEST CORNER OF SAID SECTION 15 TO THE NORTH QUARTER CORNER OF SAID SECTION 15;

BEGINNING AT A POINT ON THE SOUTHERLY RIGHT OF WAY OF EAST 56TH AVENUE, SAID POINT BEARS S45'42'57"E A DISTANCE OF 42.24 FEET FROM SAID NORTHWEST CORNER OF SECTION 15;

THENCE N89'01'40"E ALONG SAID SOUTHERLY RIGHT-OF-WAY A DISTANCE OF 10.00 FEET; THENCE S00'27'40"E A DISTANCE OF 2,615.80 FEET; THENCE S00'32'59"E A DISTANCE OF 2,633.27 FEET; THENCE S00'29'41"E A DISTANCE OF 1,321.13 FEET TO THE SOUTH LINE OF THE NORTH HALF OF THE NORTH HALF OF SAID SECTION 22; THENCE S89'00'15"W ALONG SAID SOUTH LINE A DISTANCE OF 10.00 FEET TO THE EASTERLY RIGHT-OF-WAY OF NORTH CONVERSE ROAD; THENCE ALONG SAID EASTERLY RIGHT-OF-WAY THE FOLLOWING THREE (3) COURSES: 1)THENCE NO0°29'41"W A DISTANCE OF 1,321.11 FEET; 2)THENCE NO0°32'59"W A DISTANCE OF 2,633.27 FEET; 3)THENCE NO0°27'40"W A DÍSTANCE OF 2,615.83 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 65,702 SQUARE FEET OR 1.508 ACRES, MORE OR LESS.

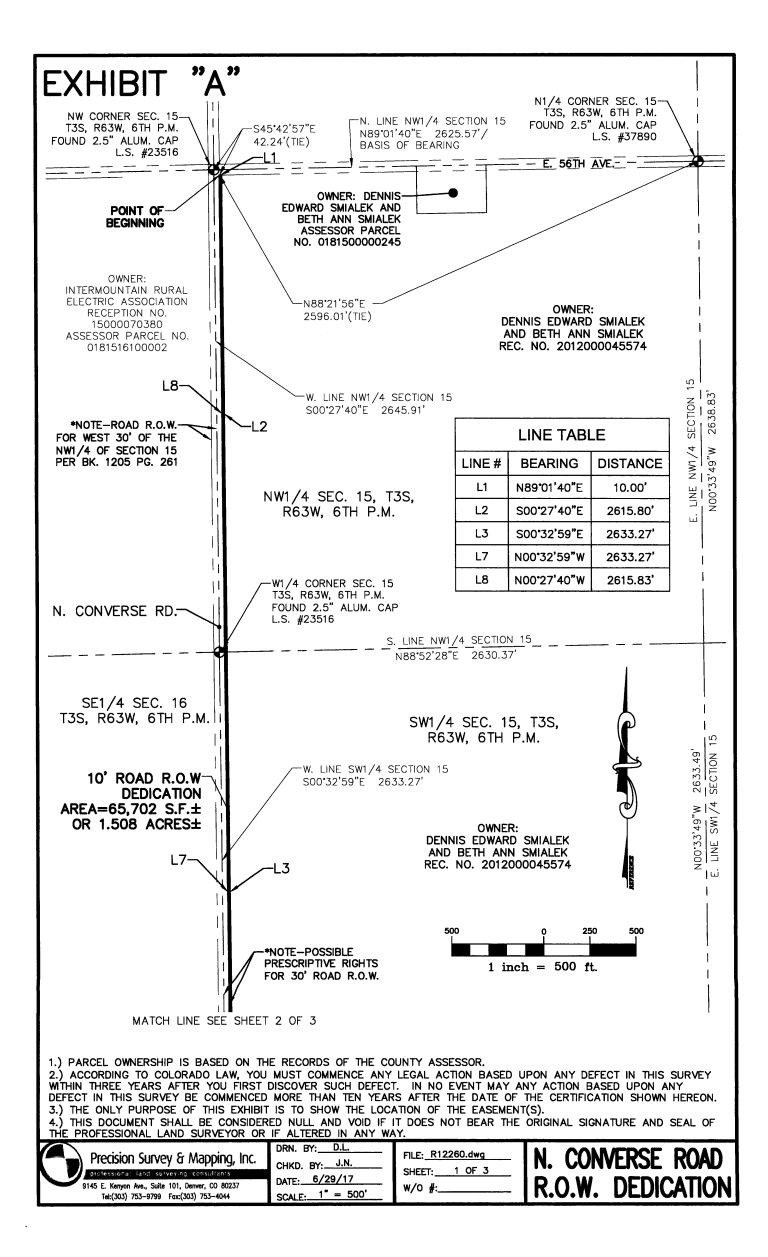
CHRISTON R P. JULIAN P.L.S. 31158 DATE FOR AND BEHALL OF PRECISION SURVEY & MAPPING, INC.

O REG

I, THE UNDERSIGNED, A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY STATE THAT THIS EXHIBIT WAS PREPARED BY ME OR UNDER MY SUPERVISION AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE.

6/29/17

Precision Survey & Mapping, Inc. professional land surveying consultants 9145 E. Kenyon Ave., Suite 101, Derwer, CO 80237 Tel:(303) 753-9799 Fax:(303) 753-4044	DRN. BY: <u>D.L.</u> CHKD. BY: <u>J.N.</u> DATE: <u>6/29/17</u> SCALE: <u>1" = 500'</u>	FILE: <u>R12260.dwg</u> SHEET: <u>3 OF 3</u> W/O #:	NORTH CONVERSE ROAD R.O.W. DEDICATION



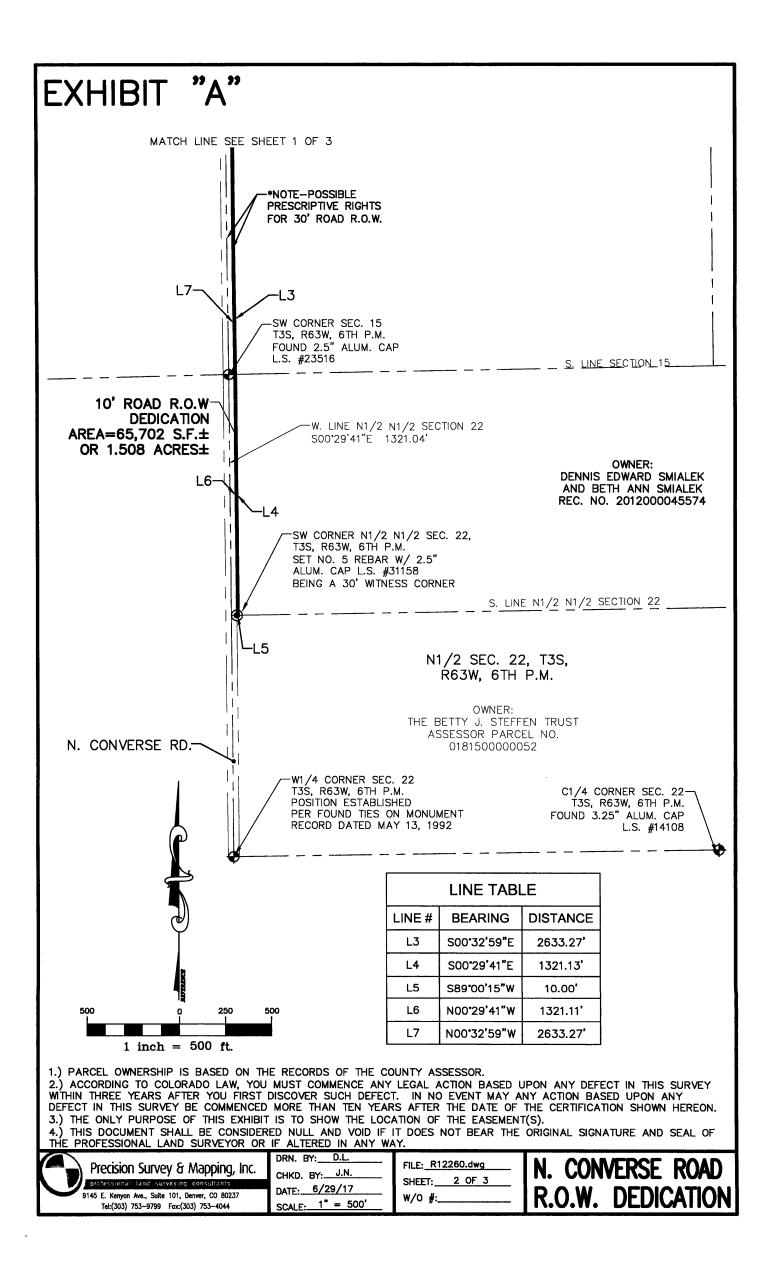


EXHIBIT "B" LEGAL DESCRIPTION

TWO (2) PARCELS OF LAND LOCATED IN THE NORTH HALF OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 63 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, ALSO BEING PORTIONS OF LANDS DESCRIBED AT RECEPTION NO. 2012000045574, FILED IN THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARING OF THIS DESCRIPTION IS ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 15, ASSUMED TO BEAR N89'01'40"E A DISTANCE OF 2625.09 FEET FROM THE NORTH QUARTER CORNER OF SAID SECTION 15 TO THE NORTHEAST CORNER OF SAID SECTION 15;

PARCEL A:

BEGINNING AT A POINT ON THE WESTERLY RIGHT-OF-WAY OF KIOWA-BENNETT ROAD (ALSO KNOW AS STATE HIGHWAY 79), SAID POINT BEARS S89'01'40"W A DISTANCE OF 30.00 FEET FROM SAID NORTHEAST CORNER OF SECTION 15;

THENCE S00[•]29[•]01"E ALONG SAID WESTERLY RIGHT-OF-WAY A DISTANCE OF 30.00 FEET; THENCE S89[•]01'40"W A DISTANCE OF 3,741.88 FEET; THENCE N00[•]27'40"W A DISTANCE OF 30.00 FEET TO THE NORTHERLY LINE OF SAID NORTH HALF OF SECTION 15; THENCE N89[•]01'40"E ALONG SAID NORTHERLY LINE A DISTANCE OF 3,741.87 FEET TO THE POINT OF BEGINNING; WHENCE SAID NORTH QUARTER CORNER OF SECTION 15 BEARS S89[•]01'40"W A DISTANCE OF 2595.09 FEET.

SAID PARCEL CONTAINS 112,255 SQUARE FEET OR 2.577 ACRES, MORE OR LESS.

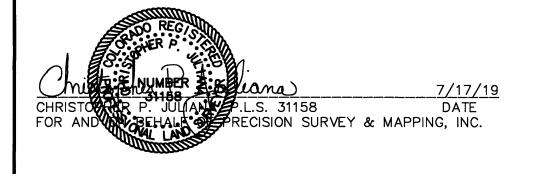
PARCEL B:

BEGINNING AT A POINT ON SAID NORTHERLY LINE OF THE NORTH HALF OF SECTION 15; SAID POINT BEARS S89'02'52"W A DISTANCE OF 1557.69 FEET FROM SAID NORTH QUARTER CORNER OF SECTION 15;

THENCE S00°27'40"E A DISTANCE OF 30.00 FEET; THENCE S89°01'40"W A DISTANCE OF 1,070.00 FEET TO THE EASTERLY RIGHT-OF-WAY OF NORTH CONVERSE ROAD; THENCE N00°27'40"W ALONG SAID EASTERLY RIGHT-OF-WAY, A DISTANCE OF 30.00 FEET TO SAID NORTHERLY LINE OF THE NORTH HALF OF SECTION 15; THENCE N89°01'40"E ALONG SAID NORTHERLY LINE A DISTANCE OF 1,070.00 FEET TO THE POINT OF BEGINNING; WHENCE SAID NORTHEAST CORNER OF SECTION 15 BEARS N89°02'07"E A DISTANCE OF 4182.78 FEET.

SAID PARCEL CONTAINS 32,100 SQUARE FEET OR 0.737 ACRES, MORE OR LESS.

I, THE UNDERSIGNED, A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY STATE THAT THIS EXHIBIT WAS PREPARED BY ME OR UNDER MY SUPERVISION AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE.



Precision Survey & Mapping, Inc. protessional land surveying consultants 9025 E. Kenyon Ave., Suite 150, Denver, CO 80237	DRN. BY: M.C. CHKD. BY: J.L. DATE: 7/17/19	File: <u>R12260.dwg</u> Sheet: <u>2 OF 2</u> W/O #:	E. 56TH AVENUE R.O.W. DEDICATION
Tel:(303) 753–9799 Fax:(303) 753–4044	SCALE: 1" = 1000'	w/o #:	R.U.W. DEDICATION

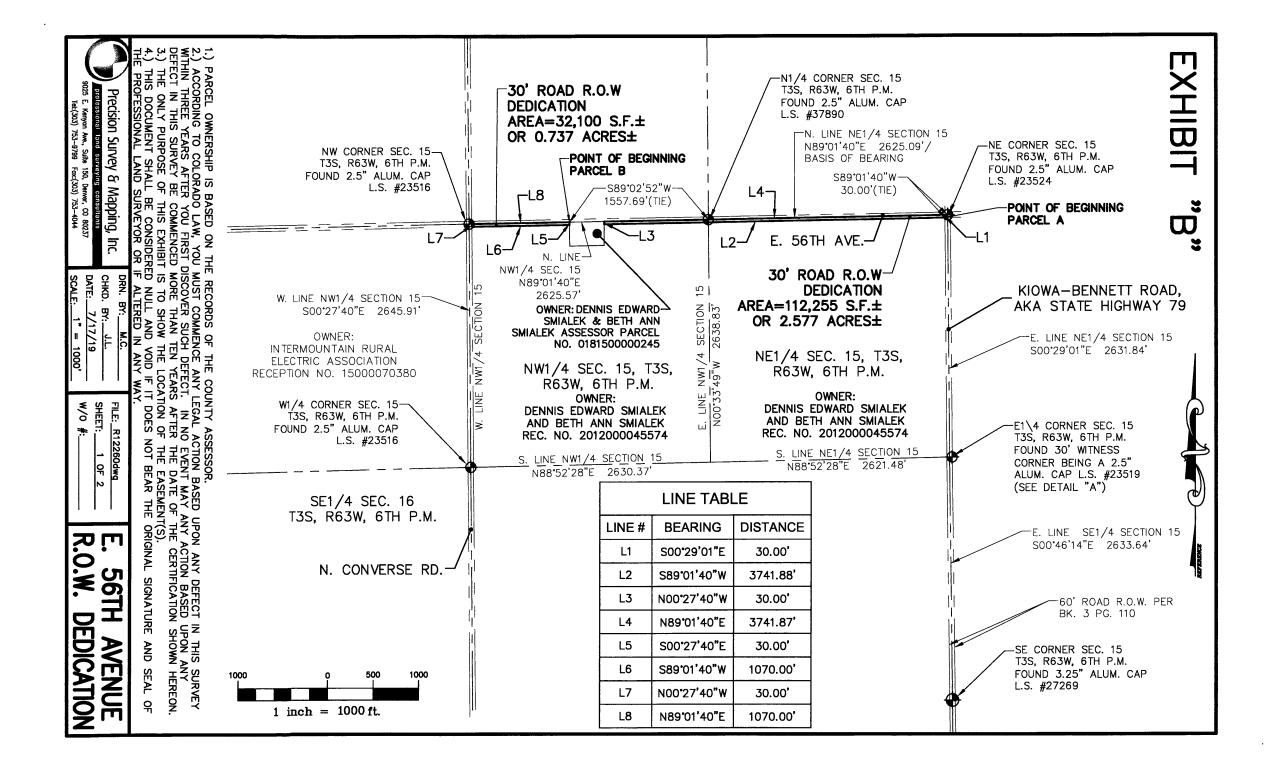


EXHIBIT "C" LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE EAST HALF OF SECTION 15 AND THE NORTHEAST QUARTER OF SECTION 22 TOWNSHIP 3 SOUTH, RANGE 63 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, ALSO BEING A PORTION OF LANDS DESCRIBED AT RECEPTION NO. 2012000045574, FILED IN THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARING OF THIS DESCRIPTION IS ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 15, ASSUMED TO BEAR N89°01'40"E A DISTANCE OF 2625.09 FEET FROM THE NORTH QUARTER CORNER OF SAID SECTION 15 TO THE NORTHEAST CORNER OF SAID SECTION 15;

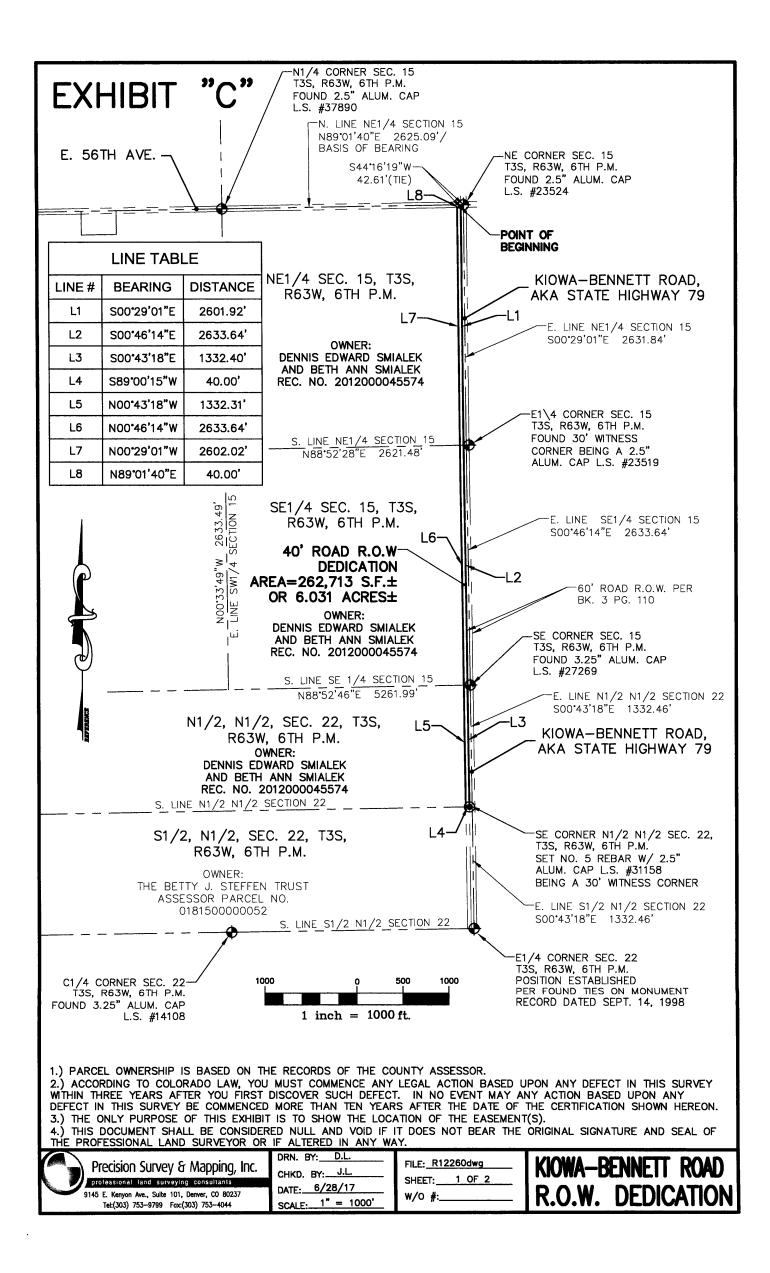
BEGINNING AT A POINT ON THE EXISTING WESTERLY RIGHT OF WAY OF KIOWA-BENNETT ROAD (ALSO KNOW AS STATE HIGHWAY 79), SAID POINT BEARS S44"16'19"W A DISTANCE OF 42.61 FEET FROM SAID NORTHEAST CORNER OF SECTION 15;

THENCE ALONG SAID WESTERLY RIGHT-OF-WAY THE FOLLOWING THREE (3) COURSES: 1)THENCE SO0'29'01"E A DISTANCE OF 2,601.92 FEET; 2)THENCE SO0'46'14"E A DISTANCE OF 2,633.64 FEET; 3)THENCE SO0'43'18"E A DISTANCE OF 1332.40 FEET TO THE SOUTH LINE OF THE NORTH HALF OF THE NORTH HALF OF SAID SECTION 22, TOWNSHIP 3 SOUTH, RANGE 63 WEST OF THE SIXTH PRINCIPAL MERIDIAN; THENCE S89'07'14"W ALONG SAID SOUTH LINE A DISTANCE OF 40.00 FEET; THENCE N00'43'18"W A DISTANCE OF 1332.31 FEET; THENCE N00'46'14"W A DISTANCE OF 2,633.64 FEET; THENCE N00'29'01"W A DISTANCE OF 2,602.02 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF EAST 56TH AVENUE; THENCE N89'01'40"E ALONG SAID SOUTHERLY RIGHT-OF-WAY A DISTANCE OF 40.00 FEET TO THE POINT OF BEGINNING; WHENCE SAID NORTH QUARTER CORNER OF SECTION 15 BEARS S89'41'25"W A DISTANCE OF 2595.01 FEET.

SAID PARCEL CONTAINS 262,713 SQUARE FEET OR 6.031 ACRES, MORE OR LESS.

I, THE UNDERSIGNED, A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY STATE THAT THIS EXHIBIT WAS PREPARED BY ME OR UNDER MY SUPERVISION AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE.

CHRISTONNER P. JULIAN P.	ana) L.S. 31158 ECISION SURVEY & MAR	6/29/17 DATE PPING, INC.	
Precision Survey & Mapping, Inc. professional land surveying consultants 9145 E. Kenyon Ave., Suite 101, Denver, CO 80237 Tel:(303) 753-9799 Fox:(303) 753-4044			-BENNETT ROAD V. DEDICATION



PLANNING COMMISSION FOR ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A QUITCLAIM DEED FROM DENNIS EDWARD SMIALEK AND BETH ANN SMIALEK, TO ADAMS COUNTY FOR RIGHT-OF-WAY PURPOSES

At a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton Colorado on Thursday the 26th day of September 2019, the following proceedings, among others, were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of accepting a Quitclaim Deed from Dennis Edward Smialek and Beth Ann Smialek, for the dedication of road right-of-way for Converse Road, East 56th Avenue and Kiowa-Bennett Road being on the following described properties:

See Legal Description as set forth in Exhibit "A, B & C" attached hereto and incorporated herein by this reference.

WHEREAS, these properties are located in the North Half of Section 22, and all of Section 15, Township 3 South, Range 63 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED that the Adams County Planning Commission recommends to the Board of County Commissioners that said Quitclaim Deed be accepted by the Board of County Commissioners for road right-of-way as designated above.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, $\frac{4}{3}$ row $\frac{1}{2}$ Chair of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.

Chair Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 29, 2019
SUBJECT: Ambulance License Renewal
FROM: Brandan Slattery – License Administrator
AGENCY/DEPARTMENT: Community and Economic Development Department
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: VES NO
RECOMMENDED ACTION: That the Board of County Commissioners Approves the ambulance license renewal for Bennett Fire Protection District #7.

BACKGROUND:

Through a Multi-County Ambulance Committee Intergovernmental Agreement, the Community and Economic Development Department is responsible for the licensing of all private ambulances in the county. The ambulance license for Bennett Fire Protection District #7 is due for renewal. The application packet has been received and is deemed complete. Included in the packet is a licensing fee waiver request, due to a limited operating budget and a department that is made up of a largely volunteer staff. This request has been applied for historically.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Community and Economic Development Department

ATTACHED DOCUMENTS:

Resolution, Fee waiver request and License for Bennett Fire Protection District #7.

FISCAL IMPACT:

Please check if there is no fiscal impact \boxtimes . If there is fiscal impact, please fully complete the section below.

Fund: 0001

Cost Center: 1190.5125

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested:	YES	NO NO

Future Amendment Needed:	YES	🖂 NO
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Additional Note:

RESOLUTION APPROVING AMBULANCE SERVICE LICENSE FOR BENNETT FIRE PROTECTION DISTRICT #7

WHEREAS, the General Assembly of the State of Colorado has enacted the Colorado Medical and Trauma Services Act, Section 25-3.5-101 et seq. C.R.S. ("Act"); and,

WHEREAS, the Act requires the Board of County Commissioners for each County to administer licensure of ambulance services; and,

WHEREAS, under the provisions of the Act, each ambulance operated by a licensed ambulance service in the State of Colorado must be issued a license and permit evidencing that the ambulance and its equipment meets applicable state requirements; and,

WHEREAS, Adams County has entered into an intergovernmental agreement with the City and County of Broomfield and the counties of Arapahoe, Douglas, Denver, Elbert, and Jefferson to establish a licensing program that provides for reciprocal inspection, licensing, and permitting that may be used by all parties, creating efficiency and cost saving to the parties and to the ambulance service providers; and,

WHEREAS, Bennett Fire Protection District #7, 825 Shari's Court, Bennett, CO 80102, has applied for an Ambulance Service License through Adams County; and,

WHEREAS, Bennett Fire Protection District #7, has applied for a licensing fee waiver due to a limited operating budget and a department comprised of a majority of volunteers; and,

WHEREAS, Adams County has reviewed the inspection performed through the intergovernmental agreement and the application of Bennett Fire Protection District #7 and has found that the ambulances meet the standards set forth in the March 2011 Adams County Ambulance Services Regulations; and,

WHEREAS, Bennett Fire Protection District #7 has complied with all regulations set forth in the March 2011 Adams County Ambulance Services Regulations.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Ambulance Service License for Bennett Fire Protection District #7, and fee waiver, are hereby approved to provide ambulance services in the County of Adams.

BE IT FURTHER RESOLVED, that the Chairman is authorized to sign said license on behalf of Adams County.

County of Adams, State of Colorado

No. <u>ADCO 10/19</u>

Licensing Fee: Waived

Ambulance Service License

This is to Certify, that **Bennett Fire Protection District #7, 825 Shari's Court, Bennett, CO, 80102**, having applied for a license to provide **Advanced Life Support** ambulance services, and having paid to the Treasurer of Adams County the required fees therefore, the above named applicant is hereby licensed to provide ambulance services within and without the County of Adams, State of Colorado, for one year from the **31th of October 2019**, unless this license be sooner revoked or suspended as provided by law.

This license is subject to the laws of the State of Colorado, and the Resolutions of the Board of County Commissioners of the County of Adams, passed pursuant thereto.

In Testimony Whereof, the Board of County Commissioners of the County of Adams has hereunto subscribed its name by its officers duly authorized, this _____ day of _____, ____.

Board of County Commissioners of the County of Adams, State of Colorado

Attest:

Chair

Clerk



Bennett-Watkins Fire Rescue

District Office: 303-644-3572 Fax: 303-644-3401 355 4th Street, Bennett, CO 80102 Email: Info@BennettFireRescue.org

"Striving to Preserve Life and Property"

August 28, 2019

Adams County Commissioners Adams County Office of Emergency Preparedness 4430 South Adams County Parkway 3rd Floor, Suite C3000 Brighton, CO 80601-8214 ATTN: Mr. Brandan Slattery

Dear Mr. Slattery:

This letter is to request a waiver for the licensing fees on our ambulances. We are a department comprised of approximately 58 members, of which the majority is volunteers. While we are growing in numbers of paid staff, we still depend on largely on our volunteers. These volunteers dedicate many hours and sacrifice many things to help their community with little to no thanks for the job they do.

Your consideration of this wavier of fees would be greatly appreciated.

Thank You,

Melanie Porter EMS Coordinator Bennett Fire Protection District #7 355 4th Street Bennett, CO 80102 Office: 303-644-3592 Fax: 303-644-3401 Email: melanieporter@bennettfirerescue.org



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 29, 2019

SUBJECT: Ambulance License Renewal

FROM: Brandan Slattery Licensing Administrator, CEDD

AGENCY/DEPARTMENT: Community and Economic Development Department

HEARD AT STUDY SESSION ON: N/A

AUTHORIZATION TO MOVE FORWARD: VES NO

RECOMMENDED ACTION: That the Board of County Commissioners Approves the ambulance license renewal for Platte Valley Ambulance Service.

BACKGROUND:

Through a Multi-County Ambulance Committee Intergovernmental Agreement, the Community and Economic Development Department is responsible for the licensing of all private ambulances in the county. The ambulance license for Platte Valley Ambulance Service is due for renewal. The application packet has been received and is deemed complete.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Community and Economic Development Department

ATTACHED DOCUMENTS:

Resolution and License for Platte Valley Ambulance Service.

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 0001

Cost Center: 1190.5125

	Object	Subledger	Amount
	Account		
Current Budgeted Revenue:	5125		\$875.00
Additional Revenue not included in Current Budget:			
Total Revenues:	5125		\$875.00

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested:	YES	🛛 NO
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YES NO

Additional Note:

RESOLUTION APPROVING AMBULANCE SERVICE LICENSE FOR PLATTE VALLEY AMBULANCE SERVICE

WHEREAS, the General Assembly of the State of Colorado has enacted the Colorado Medical and Trauma Services Act, Section 25-3.5-101 et seq. C.R.S. ("Act"); and,

WHEREAS, the Act requires the Board of County Commissioners for each County to administer licensure of ambulance services; and,

WHEREAS, under the provisions of the Act, each ambulance operated by a licensed ambulance service in the State of Colorado must be issued a license and permit evidencing that the ambulance and its equipment meets applicable state requirements; and,

WHEREAS, Adams County has entered into an intergovernmental agreement with the City and County of Broomfield and the counties of Arapahoe, Douglas, Denver, Elbert, and Jefferson to establish a licensing program that provides for reciprocal inspection, licensing, and permitting that may be used by all parties, creating efficiency and cost saving to the parties and to the ambulance service providers; and,

WHEREAS, Platte Valley Ambulance Service, 1600 Prairie Center Parkway, Brighton, CO 80601, has applied for an Ambulance Service License through Adams County; and,

WHEREAS, Adams County has reviewed the inspection performed through the intergovernmental agreement and the application of Platte Valley Ambulance Service and has found that the ambulances meet the standards set forth in the March 2011 Adams County Ambulance Services Regulations; and,

WHEREAS, Platte Valley Ambulance Service has complied with all regulations set forth in the March 2011 Adams County Ambulance Services Regulations.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Ambulance Service License for Platte Valley Ambulance Service is hereby approved to provide ambulance services in the County of Adams.

BE IT FURTHER RESOLVED, that the Chair is authorized to sign said license on behalf of Adams County.

County of Adams, State of Colorado

No. <u>ADCO 10/19</u>

Licensing Fee: \$875

Ambulance Service License

This is to Certify, that Platte Valley Ambulance Service, 1600 Prairie Center Parkway, Brighton, CO 80601, having applied for a license to provide Advanced Life Support ambulance services, and having paid to the Treasurer of Adams County the required fees therefore, the above named applicant is hereby licensed to provide ambulance services within and without the County of Adams, State of Colorado, for one year from the 31th of October 2019, unless this license be sooner revoked or suspended as provided by law.

This license is subject to the laws of the State of Colorado, and the Resolutions of the Board of County Commissioners of the County of Adams, passed pursuant thereto.

In Testimony Whereof, the Board of County Commissioners of the County of Adams has hereunto subscribed its name by its officers duly authorized, this ______ day of ______, _____.

Board of County Commissioners of the County of Adams, State of Colorado

Attest:

Chair

Clerk



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 29, 2019

SUBJECT: Ambulance License Renewal

FROM: Brandan Slattery - License Administrator CEDD

AGENCY/DEPARTMENT: Community and Economic Development Department

HEARD AT STUDY SESSION ON: N/A

AUTHORIZATION TO MOVE FORWARD: VES NO

RECOMMENDED ACTION: That the Board of County Commissioners Approves the ambulance license renewal for Strasburg Fire Protection District #8.

BACKGROUND:

Through a Multi-County Ambulance Committee Intergovernmental Agreement, the Community and Economic Development Department is responsible for the licensing of all private ambulances in the county. The ambulance license for Strasburg Fire Protection District #8 is due for renewal. The application packet has been received and is deemed complete. Included in the packet is a licensing fee waiver request, due to a limited operating budget and a department that is made up of a largely volunteer staff. This request has been applied for historically.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Community and Economic Development Department

ATTACHED DOCUMENTS:

Resolution, Fee Waiver Request and License for Strasburg Fire Protection District #8.

FISCAL IMPACT:

Please check if there is no fiscal impact \boxtimes . If there is fiscal impact, please fully complete the section below.

Fund: 0001

Cost Center: 1190.5125

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested:	YES	NO NO

Future Amendment Needed:	YES	🖂 NO
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Additional Note:

RESOLUTION APPROVING AMBULANCE SERVICE LICENSE FOR STRASBURG FIRE PROTECTION DISTRICT #8

WHEREAS, the General Assembly of the State of Colorado has enacted the Colorado Medical and Trauma Services Act, Section 25-3.5-101 et seq. C.R.S. ("Act"); and,

WHEREAS, the Act requires the Board of County Commissioners for each County to administer licensure of ambulance services; and,

WHEREAS, under the provisions of the Act, each ambulance operated by a licensed ambulance service in the State of Colorado must be issued a license and permit evidencing that the ambulance and its equipment meets applicable state requirements; and,

WHEREAS, Adams County has entered into an intergovernmental agreement with the City and County of Broomfield and the counties of Arapahoe, Douglas, Denver, Elbert, and Jefferson to establish a licensing program that provides for reciprocal inspection, licensing, and permitting that may be used by all parties, creating efficiency and cost saving to the parties and to the ambulance service providers; and,

WHEREAS, Strasburg Fire Protection District #8, 56281 E. Colfax Ave., Strasburg, CO 80136, has applied for an Ambulance Service License through Adams County; and,

WHEREAS, Strasburg Fire Protection District #8, has applied for a licensing fee waiver due to a limited operating budget and a department comprised of a majority of volunteers; and,

WHEREAS, Adams County has reviewed the inspection performed through the intergovernmental agreement and the application of Strasburg Fire Protection District #8 ambulances and has found that the ambulances meet the standards set forth in the March 2011 Adams County Ambulance Services Regulations; and,

WHEREAS, Strasburg Fire Protection District #8 has complied with all regulations set forth in the March 2011 Adams County Ambulance Services Regulations.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Ambulance Service License for Strasburg Fire Protection District #8, and fee waiver, are hereby approved to provide ambulance services in the County of Adams.

BE IT FURTHER RESOLVED, that the Chair is authorized to sign said license on behalf of Adams County.

County of Adams, State of Colorado

No. <u>ADCO 10/19</u>

Licensing Fee: Waived

Ambulance Service License

This is to Certify, that **Strasburg Fire Protection District #8, 56281 E. Colfax Ave., Strasburg, CO 80136**, having applied for a license to provide **Advanced Life Support** ambulance services, and having paid to the Treasurer of Adams County the required fees therefore, the above named applicant is hereby licensed to provide ambulance services within and without the County of Adams, State of Colorado, for one year from the **31th of October 2019**, unless this license be sooner revoked or suspended as provided by law.

This license is subject to the laws of the State of Colorado, and the Resolutions of the Board of County Commissioners of the County of Adams, passed pursuant thereto.

In Testimony Whereof, the Board of County Commissioners of the County of Adams has hereunto subscribed its name by its officers duly authorized, this ______ day of ______, _____.

Board of County Commissioners of the County of Adams, State of Colorado

Attest:

Chair

Clerk

Strasburg Fire Protection District #8



56281 E. Colfax Avenue P.O. Box 911 Strasburg, CO 80136 Phone: 303-622-4444 e-mail: info@svfd8.org

September 16, 2019

To Whom It May Concern,

Strasburg Fire Protection District would like to request that the licensing fees for our ambulance which operate in both Adams and Arapahoe Counties be waived based upon the fact we are a largely volunteer agency. We only staff one career Firefighter/EMT/Paramedic or one Firefighter/EMT per 24-hour shift, seven days per week based upon a 48hours on duty/96 hours off duty schedule.

We thank you in advance for your consideration.

Respectfully,

Frank Fields, Fire Chief Strasburg Fire Protection District #8 720-237-7267



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 29, 2019

SUBJECT: Resolution accepting Quitclaim Deed conveying property from David L. Hall to Adams County, for the dedication of road right-of-way

FROM: Kristin Sullivan, AICP, Director of Public Works Brian Staley, P.E., PTOE, Deputy Director of Public Works

AGENCY/DEPARTMENT: Public Works

HEARD AT STUDY SESSION ON: N/A

AUTHORIZATION TO MOVE FORWARD: YES NO

RECOMMENDED ACTION: That the Board of County Commissioners accepts the Quitclaim Deed for the acquisition of property needed for road right-of-way.

BACKGROUND:

Adams County is in the process of acquiring right-of-way for an emergency road repair project at the northeast corner of the intersection East 96th Avenue and McKay Road. The intention of this Project is to replace a collapsed culvert within the right-of-way of East 96th Avenue, located east of the intersection with McKay Road The attached resolution allows Adams County to accept the Quitclaim Deed.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Draft resolution Quitclaim Deed Planning Commission resolution

FISCAL IMPACT:

Please check if there is no fiscal impact \boxtimes . If there is fiscal impact, please fully complete the section below.

Fund:

Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested:	YES	🛛 NO

⊲ no

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING QUITCLAIM DEED CONVEYING PROPERTY FROM DAVID L. HALL TO ADAMS COUNTY, FOR THE DEDICATION OF ROAD RIGHT-OF-WAY

WHEREAS, Adams County is in the process of acquiring right-of-way for an emergency road repair project at the northeast corner of the intersection East 96th Avenue and McKay Road ("Project"); and,

WHEREAS, the right-of-way parcel is from property located in the Southeast Quarter of Section 17, Township 2 South, Range 67 West of the 6th Principal Meridian, County of Adams, State of Colorado and is owned by David L. Hall ("Parcel"); and,

WHEREAS, Adams County requires ownership of the Parcel for construction of the Project; and,

WHEREAS, David L. Hall, has executed a Quitclaim Deed to dedicate the Parcel for road right-of-way purposes for Monaco Street that complies with County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 11th day of April, 2019, the Planning Commission recommended that the Board of County Commissioners accept said Quitclaim Deed.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Quitclaim Deed from David L. Hall, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

8207 SO. DEER CREEK GAWYON RD. NORALSW, CO. 80465 QUITCLAIM DEED

address is 806 South Logan Street, Denver, Colorado 80209-4128, grantor, and The County of Adams, State of Colorado, grantee, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601.

WITNESS, that the grantor, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, has remised, released, sold and QUITCLAIMED, and by these presents does remise, release, sell and QUITCLAIM unto the grantee, its successors and assigns forever, all the right, title, interest, claim and demand which the grantor has in and to the real property, together with improvements, if any, situate, lying and being in the said County of Adams and State of Colorado, described as follows:

Legal description as set forth is Exhibit "A" attached hereto and incorporated herein by this reference.

Dedicated for Monaco Street Assessor's schedule or parcel numbers: part of 01721-17-0-04-002

My commission expires: 107077

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the same, together with all and singular the appurtenances and privileges thereunto belonging, or in anywise thereunto appertaining, and all the estate, right, title, interest and claim whatsoever of the grantor, either in law or equity, to the only proper use, benefit and behoove of the grantee, its successors and assigns forever.

The singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

IN WITNESS WHEREOF, the grantor has executed this deed on the date set forth ab SAMANTHA AUTUMN SKELLS BY NOTARY PUBLIC STATE OF COLORADO David L. Hall NOTARY ID 20174044098 MY COMMISSION EXPIRES OCT. 24, 2021 STATE OF COLORADO) County of 201 by David L. Hall.

Witness my hand and official seal

Notary Public

EXHIBIT "A"

DEED FROM DAVID L. HALL TO THE COUNTY OF ADAMS, STATE OF COLORADO

Legal Description

A parcel of land being a portion of that tract described at Reception No. 2005000268930 in the Office of the Clerk and Recorder of Adams County, Colorado, located in the Southeast Quarter of Section 17, Township 2 South, Range 67 West of the 6th Principal Meridian, being more particularly described as follows:

Commencing at the Southwesterly Corner of said tract, thence North 26°16'12" East, along the Westerly line of said tract, a distance of 75.01 feet to the Northerly line of said tract;

Thence leaving said Westerly line, North 64°46'39" East, a distance of 160.35 feet along the Northerly line of said tract;

Thence leaving said Northerly line and running South 25°13'21" East, to a point on the Southerly line of said tract;

Thence South 64°46'39" West, a distance of 158.98 feet along said Southerly line of said tract to the Point of Beginning.

Containing: 11,975 square feet, more or less.

Legal description prepared by:

Ian Cortez, PLS Colorado Professional Land Surveyor No. 32822 For and on behalf of: Adams County, Colorado

Exhibit "B" attached and hereby made a part thereof.





PLANNING COMMISSION FOR ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A QUITCLAIM DEED FROM DAVID L. HALL TO THE COUNTY OF ADAMS FOR DEDICATION OF ROAD RIGHT-OF-WAY

At a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton, Colorado, on Thursday the 11th day of April, 2019, the following proceedings, among others, were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Quitclaim Deed from David L. Hall for the dedication of road right-of-way for East 96th Avenue and McKay Road on the following described land to wit:

See Legal Description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this property is being conveyed for emergency road repairs at the northeast corner of the intersection of East 96th Avenue and McKay Road, located in the Southeast Quarter of Section 17, Township 2 South, Range 67 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED that the Adams County Planning Commission recommends to the Board of County Commissioners that said Quitclaim Deed from David L. Hall be accepted by the Board of County Commissioners for road right of way as designated above.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, \underline{Haroh} , \underline{Hcroh} , Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.

Chairperson/Acting, Chairman Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 29, 2019

SUBJECT: Resolution accepting Quitclaim Deed conveying property from New Direction IRA FBO David Lawrence Hall to Adams County, for the dedication of road right-of-way

FROM: Kristin Sullivan, AICP, Director of Public Works Brian Staley, P.E., PTOE, Deputy Director of Public Works

AGENCY/DEPARTMENT: Public Works

HEARD AT STUDY SESSION ON: N/A

AUTHORIZATION TO MOVE FORWARD: YES NO

RECOMMENDED ACTION: That the Board of County Commissioners accepts the Quitclaim Deed for the acquisition of property needed for road right-of-way.

BACKGROUND:

Adams County is in the process of acquiring right-of-way for an emergency road repair project at the northeast corner of the intersection East 96th Avenue and McKay Road. The intention of this Project is to replace a collapsed culvert within the right-of-way of East 96th Avenue, located east of the intersection with McKay Road The attached resolution allows Adams County to accept the Quitclaim Deed.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Draft resolution Quitclaim Deed Planning Commission resolution

FISCAL IMPACT:

Please check if there is no fiscal impact \boxtimes . If there is fiscal impact, please fully complete the section below.

Fund:

Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested:	YES	🛛 NO

NO
>

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING QUITCLAIM DEED CONVEYING PROPERTY FROM NEW DIRECTION IRA FBO DAVID LAWRENCE HALL TO ADAMS COUNTY, FOR THE DEDICATION OF ROAD RIGHT-OF-WAY

WHEREAS, Adams County is in the process of acquiring right-of-way for an emergency road repair project at the northeast corner of the intersection East 96th Avenue and McKay Road ("Project"); and,

WHEREAS, the right-of-way parcel is from property at 7061 East 96th Avenue, located in the Southeast Quarter of Section 17, Township 2 South, Range 67 West of the 6th Principal Meridian, County of Adams, State of Colorado and is owned by New Direction IRA FBO David Lawrence Hall ("Parcel"); and,

WHEREAS, Adams County requires ownership of the Parcel for construction of the Project; and,

WHEREAS, New Direction IRA FBO David Lawrence Hall, has executed a Quitclaim Deed to dedicate the Parcel for road right-of-way purposes for East 96th Avenue Street that complies with County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 11th day of April, 2019, the Planning Commission recommended that the Board of County Commissioners accept said Quitclaim Deed.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Quitclaim Deed from New Direction IRA FBO David Lawrence Hall, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

QUITCLAIM DEED

THIS DEED, made this 197^{H} day of FEBUARY, 2014, between New Direction IRA FBO David Lawrence Hall, whose legal address is 1070 W. Century Drive, Suite 101, Louisville, Colorado 80027-1657, grantor, and The County of Adams, State of Colorado, grantee, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601.

WITNESS, that the grantor, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, has remised, released, sold and QUITCLAIMED, and by these presents does remise, release, sell and QUITCLAIM unto the grantee, its successors and assigns forever, all the right, title, interest, claim and demand which the grantor has in and to the real property, together with improvements, if any, situate, lying and being in the said County of Adams and State of Colorado, described as follows:

Legal description as set forth is Exhibit "A" attached hereto and incorporated herein by this reference.

Dedicated for East 96th Avenue Also known by street and number as: 7061 East 96th Avenue Assessor's schedule or parcel numbers: part of 01721-17-04-003

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the same, together with all and singular the appurtenances and privileges thereunto belonging, or in anywise thereunto appertaining, and all the estate, right, title, interest and claim whatsoever of the grantor, either in law or equity, to the only proper use, benefit and behoove of the grantee, its successors and assigns forever.

The singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

IN WITNESS WHEREOF, the grantor has executed this deed on the date set forth above.

SAMANTHA AUTUMN SKELLS NOTARY PUBLIC STATE OF COLORADO NOTARY ID 20174044098 MY COMMISSION EXPIRES OCT. 24, 2021

New Direction IRA FBO David Lawrenge Hall BY David Lawrence Hall

STATE OF COLORADO)

County of MAFersen

2019 The foregoing instrument was acknowledged before me this 22 day of by David L. Hall, for New Direction IRA FBO David Lawrence Hall.

Witness my hand and official seal.

My commission expires: 0797

Notary Public

EXHIBIT "A"

DEED FROM NEW DIRECTION IRA TO THE COUNTY OF ADAMS, STATE OF COLORADO

Legal Description

A parcel of land being a portion of Block 3 of the JAQUEZ LIEN CO. GRAVEL OPERATION, a Subdivision recorded on January 4, 1977 in File No. 14 Map 302 Reception No. B055808 in the Office of the Clerk and Recorder of Adams County, Colorado, located in the Southeast Quarter of Section 17, Township 2 South, Range 67 West of the 6th Principal Meridian, being more particularly described as follows:

<u>Beginning</u> at the Southwesterly Corner of said Block 3, thence North 26°16'12" East, along the Westerly line of said Block 3, a distance of 6.99 feet to the Northerly line of said Block 3;

Thence leaving said Westerly line, North 64°46'39" East, a distance of 158.98 feet along the Northerly line of said Block 3;

Thence leaving said Northerly line and running South 25°13'21" East, to a point on the Southerly line of said Block 3;

Thence South 89°35'10" West, a distance of 175.00 feet along said Southerly line of Block 3 to the <u>Point of Beginning</u>.

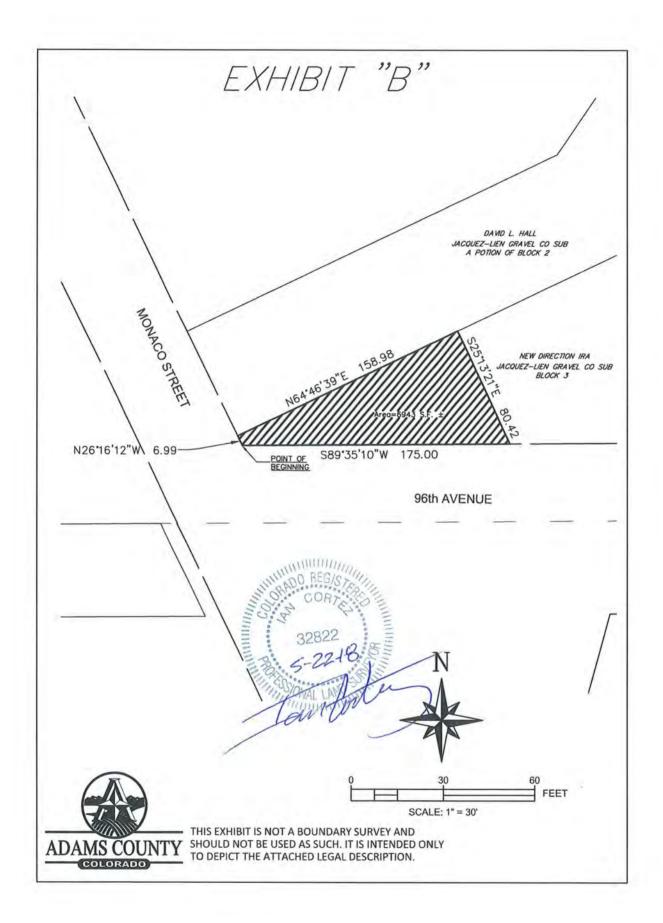
Containing: 6,943 square feet, more or less.

Legal description prepared by:

Ian Cortez, PLS Colorado Professional Land Surveyor No. 32822 For and on behalf of: Adams County, Colorado

Exhibit "B" attached and hereby made a part thereof.





PLANNING COMMISSION FOR ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A QUITCLAIM DEED FROM NEW DIRECTION IRA FBO DAVID LAWRENCE HALL TO THE COUNTY OF ADAMS FOR DEDICATION OF ROAD RIGHT-OF-WAY

At a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton, Colorado, on Thursday the 11th day of April, 2019, the following proceedings, among others, were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Quitclaim Deed from New Direction IRA FBO David Lawrence Hall for the dedication of road right-of-way for East 96th Avenue and McKay Road on the following described land to wit:

See Legal Description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this property is being conveyed for emergency road repairs at the northeast corner of the intersection of East 96th Avenue and McKay Road and being a portion of 7061 East 96th Avenue, located in the Southeast Quarter of Section 17, Township 2 South, Range 67 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED that the Adams County Planning Commission recommends to the Board of County Commissioners that said Quitclaim Deed from New Direction IRA FBO David Lawrence Hall be accepted by the Board of County Commissioners for road right of way as designated above.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, Harow Here vertice weight, Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.

Chairperson/Acting, Chairman Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 29, 2019

SUBJECT: 2019 Adams County Board of Equalization Hearing Officers Recommendations and Request for Approval

FROM: Beth Albright, BOE Coordinator

AGENCY/DEPARTMENT: County Attorney's Office

HEARD AT STUDY SESSION ON: N/A

AUTHORIZATION TO MOVE FORWARD: VES NO

RECOMMENDED ACTION: That the Board of County Commissioners sitting as the Adams County Board of Equalization Approve the Resolution Setting Forth the Final Decisions of the Adams County Board of Equalization for Tax Year 2019.

BACKGROUND:

Between September 24, 2019 and October 18, 2019, the Adams County Board of Equalization's duly appointed hearing officers met and held real and personal property tax evaluation hearings as required annually pursuant to C.R.S. § 39-8-101 *et seq.* Their findings and recommendations are attached hereto for review, consideration and approval. C.R.S. § 39-8-107(2) requires that all hearings must be held and all decisions rendered by the close of business on November 1, 2019.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Assessor's Office

ATTACHED DOCUMENTS:

The Findings and Recommendations of the 2019 County Board of Equalization Hearing Officers

FISCAL IMPACT:

Please check if there is no fiscal impact \boxtimes . If there is fiscal impact, please fully complete the section below.

Fund:

Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested:	YES	🛛 NO

Future Amendment Needed:	YES	🖂 NO

Additional Note:

RESOLUTION SETTING FORTH THE FINAL DECISIONS OF THE ADAMS COUNTY BOARD OF EQUALIZATION FOR TAX YEAR 2019

WHEREAS, pursuant to C.R.S. § 39-8-101, the Board of County Commissioners of Adams County comprise the Adams County Board of Equalization; and,

WHEREAS, Independent Referees duly appointed in accordance with C.R.S. § 39-8-107(2)(i) by the Adams County Board of Equalization (Board of Equalization) conducted property tax valuation appeal hearings from September 24, 2019, through October 18, 2019; and,

WHEREAS, pursuant to C.R.S. § 39-8-102(1) the Board of Equalization reviews the valuations for assessment of all taxable property in the County for errors, omissions and to promote the end that all valuations for assessment are just and equalized within the County; and,

WHEREAS, the findings and recommendations of the Independent Referees are presented in the attached summary and are being submitted to the Board of Equalization for review and approval.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, sitting as the Adams County Board of Equalization, that the findings and recommendations presented by the Independent Referees are hereby ratified and confirmed and letters of decision are to be mailed via United States Postal Service, or sent via electronic mail, to all petitioners and/or their designated agent in accordance with the attached summary.

	COUNT	
Adjust	186	
	10.1%	
Agricultural	1	
Commercial	33	
Industrial	1	
Residential	151	
Deny	1036	
	56.1%	
Agricultural	2	
Commercial	309	
Industrial	52	
Personal	11	
Residential	662	
Stipulated	433	
	23.4%	
Agricultural	5	
Commercial	64	
Industrial	6	
Personal	2	
Producing Mine	3	
Residential	353	
Withdrawn	192	
	10.4%	
Commercial	59	
Industrial	3	
Residential	130	

Total Protests:

1847

Value Detail

2019

Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Adjust						
R0000777	Residential	0156500000215	\$1,014,083	\$950,000	(\$64,083)	115758
R0009070	Residential	0157121000018	\$440,100	\$300,000	(\$140,100)	115773
R0012599	Residential	0157132313029	\$385,955	\$375,000	(\$10,955)	115627
R0013652	Residential	0157134000029	\$63,661	\$28,000	(\$35,661)	115824
R0013669	Commercial	0157134000060	\$1,252,982	\$795,000	(\$457,982)	115825
R0014337	Residential	0157312000020	\$322,121	\$282,000	(\$40,121)	116445
R0014374	Residential	0157313006006	\$770,053	\$700,000	(\$70,053)	115559
R0014450	Residential	0157313009015	\$781,335	\$575,000	(\$206,335)	116114
R0031242	Residential	0171904203001	\$592,740	\$580,000	(\$12,740)	116130
R0031544	Residential	0171904306038	\$445,000	\$411,000	(\$34,000)	115614
R0032025	Residential	0171905105011	\$455,000	\$440,000	(\$15,000)	116083
R0032085	Residential	0171905107001	\$30,078,000	\$27,758,986	(\$2,319,014)	116538
R0032086	Residential	0171905108001	\$27,997,432	\$25,838,829	(\$2,158,603)	116539
R0032774	Residential	0171906009002	\$535,045	\$500,000	(\$35,045)	115618
R0033109	Residential	0171907113009	\$455,244	\$400,000	(\$55,244)	116132
R0033171	Residential	0171907115070	\$341,447	\$336,000	(\$5,447)	115669
R0034659	Residential	0171908426014	\$368,663	\$355,000	(\$13,663)	116133
R0034745	Residential	0171908432036	\$566,887	\$535,000	(\$31,887)	116131
R0035011	Residential	0171909107002	\$496,545	\$470,000	(\$26,545)	116104
R0035264	Residential	0171909119009	\$453,427	\$445,000	(\$8,427)	115595
R0038119	Residential	0171911216002	\$339,315	\$321,000	(\$18,315)	115843
R0039362	Residential	0171912411001	\$51,285,600	\$50,500,000	(\$785,600)	116415
R0040210	Residential	0171913401001	\$314,587	\$300,000	(\$14,587)	115852
R0046414	Residential	0171918204003	\$402,918	\$399,000	(\$3,918)	115984
R0046587	Residential	0171918216008	\$489,102	\$475,000	(\$14,102)	115570
R0046736	Residential	0171918302023	\$482,000	\$460,000	(\$22,000)	116084
R0049621	Residential	0171920308035	\$348,012	\$304,000	(\$44,012)	116126
R0051150	Commercial	0171922304004	\$201,300	\$181,805	(\$19,495)	115901
R0051151	Commercial	0171922304005	\$208,100	\$187,915	(\$20,185)	115900
R0051152	Commercial	0171922304006	\$208,100	\$187,915	(\$20,185)	115896
R0051153	Commercial	0171922304007	\$194,616	\$175,695	(\$18,921)	115895
R0051154	Commercial	0171922304008	\$198,576	\$179,335	(\$19,241)	115894
R0051155	Commercial	0171922304009	\$198,576	\$179,270	(\$19,306)	115893
R0059207	Residential	0171928101091	\$230,000	\$225,000	(\$5,000)	116088
R0059544	Industrial	0171928200019	\$7,392,048	\$6,800,000	(\$592,048)	116335
R0060567	Residential	0171928417008	\$314,290	\$270,000	(\$44,290)	115904
R0060661	Residential	0171928424002	\$364,111	\$295,000	(\$69,111)	115903
R0061981	Residential	0171929421027	\$404,808	\$360,000	(\$44,808)	115981
R0065576	Residential	0171932105003	\$304,542	\$278,000	(\$26,542)	116140
R0066459	Residential	0171932301002	\$351,892	\$315,000	(\$36,892)	116141

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Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Adjust			· · · · · · · · · · · · · · · · · · ·		<u> . </u>	
R0082501	Residential	0181527201001	\$227,000	\$190,000	(\$37,000)	115817
R0083541	Residential	0181730403001	\$509,000	\$490,850	(\$18,150)	116523
R0086591	Residential	0182134300017	\$435,898	\$370,000	(\$65,898)	115777
R0086637	Residential	0182134305003	\$293,854	\$291,854	(\$2,000)	11594(
R0088005	Residential	0182305111017	\$440,000	\$395,000	(\$45,000)	115555
R.0088758	Residential	0182305309002	\$250,647	\$235,000	(\$15,647)	115944
R0089803	Commercial	0182306115017	\$173,486	\$141,300	(\$32,186)	116004
R0094906	Residential	0182334319007	\$708,242	\$610,000	(\$98,242)	11567
R0095653	Commercial	0182334428011	\$534,681	\$450,000	(\$84,681)	11590
R0097232	Residential	0182335332001	\$18,043,200	\$16,560,000	(\$1,483,200)	115882
R0098300	Residential	0182503203006	\$356,203	\$330,000	(\$26,203)	11572
R0098606	Residential	0182504100019	\$338,000	\$300,000	(\$38,000)	11583
R0098697	Residential	0182504102019	\$351,745	\$310,000	(\$41,745)	11596
R0099628	Residential	0182504300028	\$349,877	\$300,000	(\$49,877)	11594
R0102327	Residential	0182507108008	\$411,556	\$380,000	(\$31,556)	11581
R0102718	Residential	0182507219019	\$411,148	\$375,000	(\$36,148)	11591
R0103319	Commercial	0182509300047	\$3,811,154	\$2,700,000	(\$1,111,154)	11582
R0103325	Commercial	0182509300061	\$712,800	\$525,000	(\$187,800)	11582
R0104133	Commercial	0182515204006	\$2,246,400	\$7,200,000	\$4,953,600	11638
R0107460	Residential	0157316005045	\$645,144	\$607,000	(\$38,144)	11565
R0107497	Residential	0157316012011	\$632,996	\$607,000	(\$25,996)	11565
R0107518	Residential	0157316012022	\$633,967	\$607,000	(\$26,967)	11563
R0109578	Residential	0157312003007	\$794,182	\$774,184	(\$19,998)	11559
R0111899	Residential	0173100000137	\$431,510	\$410,000	(\$21,510)	11611
R0116038	Agricultural	0156503100003	\$364,906	\$345,000	(\$19,906)	11568
R0116237	Residential	0182507233011	\$399,336	\$390,000	(\$9,336)	11561
R0117547	Residential	0157111301001	\$642,444	\$600,000	(\$42,444)	11560
R0121606	Residential	0156702202016	\$620,000	\$580,000	(\$40,000)	11611
R0121621	Residential	0156702302004		\$545,000	(\$39,588)	11611
R0125018	Residential	0171907408025		\$675,000	(\$30,881)	11569
R0125150	Residential	0171907414001		\$775,000	(\$69,733)	11628
R0125186	Residential	0171907414017		\$664,000	(\$29,591)	11645
R0125405	Commercial	0171930223006	-	\$2,458,771	(\$639,829)	11610
R0137076	Residential	0157334315001		\$66,357,760	(\$3,193,215)	11641
R0141853	Residential	0157334316003		\$64,284,080	\$1,706,197	11641
R0142049	Residential	0171931312014		\$300,000	(\$15,000)	11556
R0143650	Residential	0171907304027		\$758,000	(\$139,426)	11613
R0144848	Residential	0171914319016		\$415,000	(\$20,624)	11610
R0144859	Residential	0171914316024		\$432,000	(\$18,302)	11595
R0144916	Residential	0171914206008	-	\$385,000	(\$10,000)	11578

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Adjust						
R0147769	Residential	0171905408039	\$701,745	\$675,000	(\$26,745)	115889
R0150325	Residential	0171924115065	\$83,280,206	\$80,330,000	(\$2,950,206)	116412
R0155346	Residential	0171921312038	\$240,000	\$175,000	(\$65,000)	115789
R0162283	Residential	0157129217006	\$548,285	\$522,000	(\$26,285)	115717
R0162976	Residential	0171906132022	\$635,000	\$610,000	(\$25,000)	115670
R0163048	Residential	0171906136009	\$613,000	\$590,000	(\$23,000)	116142
R0163055	Residential	0171906136002	\$622,000	\$570,000	(\$52,000)	116135
R0163895	Residential	0157133314022	\$625,809	\$550,000	(\$75,809)	115632
R0165251	Commercial	0157113101031	\$82,560	\$61,605	(\$20,955)	115866
R0165252	Commercial	0157113101046	\$66,545	\$61,605	(\$4,940)	115866
R0165253	Commercial	0157113101032	\$76,795	\$59,932	(\$16,863)	115866
R0165254	Commercial	0157113101045	\$71,349	\$59,932	(\$11,417)	115866
R0165255	Commercial	0157113101033	\$62,275	\$59,932	(\$2,343)	115866
R0165256	Commercial	0157113101044	\$62,275	\$59,932	(\$2,343)	115866
R0165257	Commercial	0157113101034	\$62,275	\$59,932	(\$2,343)	115866
R0165258	Commercial	0157113101043	\$62,275	\$59,932	(\$2,343)	115866
R0165259	Commercial	0157113101035	\$62,275	\$59,932	(\$2,343)	115866
R0165260	Commercial	0157113101042	\$62,275	\$59,932	(\$2,343)	115866
R0165261	Commercial	0157113101036	\$62,275	\$59,932	(\$2,343)	115866
R0165262	Commercial	0157113101041	\$62,275	\$59,932	(\$2,343)	115866
R0165263	Commercial	0157113101037	\$76,795	\$59,932	(\$16,863)	115866
R0165264	Commercial	0157113101040	\$69,120	\$59,932	(\$9,188)	115866
R0165265	Commercial	0157113101038	\$82,560	\$61,605	(\$20,955)	115866
R0165266	Commercial	0157113101039	\$82,560	\$61,605	(\$20,955)	115866
R0171084	Residential	0157116134047	\$501,382	\$480,000	(\$21,382)	115629
R0171109	Residential	0157116128008	\$431,000	\$405,000	(\$26,000)	115554
R0171120	Residential	0157116128019	\$443,000	\$430,000	(\$13,000)	115729
R0171239	Residential	0157116124008	\$627,640	\$593,433	(\$34,207)	115739
R0171241	Residential	0157116124010	\$620,136	\$608,000	(\$12,136)	115831
R0171725	Residential	0157116121006	\$430,000	\$420,000	(\$10,000)	115725
R0178959	Residential	0171914131004	\$107,441,654	\$106,578,000	(\$863,654)	116411
R0180920	Commercial	0182509300061	\$53,808	\$49,000	(\$4,808)	115822
R0184287	Residential	0172309218016	\$496,378	\$486,000	(\$10,378)	115807
R0185018	Residential	0157116239105	\$638,500	\$615,000	(\$23,500)	115636
R0185754	Commercial	0157322101068	\$5,955,684	\$5,375,000	(\$580,684)	116297
R0186540	Residential	0157116240105	\$470,000	\$460,000	(\$10,000)	115609
R0186809	Commercial	0171903124001	\$37,538,450	\$29,500,000	(\$8,038,450)	115967
R0190905	Residential	0171912424054	\$297,800	\$287,800	(\$10,000)	115585
R0194298	Commercial	0171922409011	\$40,982,077	\$20,000,000	(\$20,982,077)	115965
R0197696	Residential	0156902109083	\$75,953	\$70,800	(\$5,153)	116265

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Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Adjust						
R0197697	Residential	0156902109084	\$75,953	\$70,800	(\$5,153)	116265
R0197698	Residential	0156902109085	\$75,953	\$70,800	(\$5,153)	116265
R0197699	Residential	0156902109086	\$75,953	\$70,800	(\$5,153)	116265
R0197700	Residential	0156902109087	\$75,953	\$70,800	(\$5,153)	116265
R0197701	Residential	0156902109088	\$75,953	\$70,800	(\$5,153)	116265
R0197702	Residential	0156902109089	\$75,953	\$70,800	(\$5,153)	116265
R0197704	Residential	0156902110017	\$75,953	\$70,800	(\$5,153)	116265
R0197705	Residential	0156902110018	\$75,953	\$70,800	(\$5,153)	116265
R0197706	Residential	0156902110019	\$75,953	\$70,800	(\$5,153)	116265
R0197707	Residential	0156902110020	\$75,953	\$70,800	(\$5,153)	116265
R0197708	Residential	0156902110021	\$75,953	\$70,800	(\$5,153)	116265
R0197709	Residential	0156902110022	\$75,953	\$70,800	(\$5,153)	116265
R0197710	Residential	0156902110023	\$75,953	\$70,800	(\$5,153)	116265
R0197711	Residential	0156902110024	\$75,953	\$70,800	(\$5,153)	116265
R0197712	Residential	0156902110025	\$75,953	\$70,800	(\$5,153)	116265
R0197713	Residential	0156902110026	\$75,953	\$70,800	(\$5,153)	116265
R0197714	Residential	0156902111008	\$75,953	\$70,800	(\$5,153)	116265
R0197715	Residential	0156902111009	\$75,953	\$70,800	(\$5,153)	116265
R0197716	Residential	0156902111010	\$75,953	\$70,800	(\$5,153)	116265
R0197717	Residential	0156902111011	\$75,953	\$70,800	(\$5,153)	116265
R0197718	Residential	0156902111012	\$75,953	\$70,800	(\$5,153)	116265
R0197719	Residential	0156902111013	\$75,953	\$70,800	(\$5,153)	116265
R0197720	Residential	0156902111014	\$75,953	\$70,800	(\$5,153)	116265
R0197721	Residential	0156902111015	\$75,953	\$70,800	(\$5,153)	116265
R0197722	Residential	0156902111016	\$75,953	\$70,800	(\$5,153)	116265
R0197735	Residential	0156902125030	\$75,953	\$70,800	(\$5,153)	116265
R0197736	Residential	0156902125031	\$75,953	\$70,800	(\$5,153)	116265
R0197737	Residential	0156902125032	\$75,953	\$70,800	(\$5,153)	116265
R0197738	Residential	0156902125033	\$75,953	\$70,800	(\$5,153)	116265
R0197739	Residential	0156902125034	\$75,953	\$70,800	(\$5,153)	116265
R0197740	Residential	0156902125035	\$75,953	\$70,800	(\$5,153)	116265
R0197741	Residential	0156902125036		\$70,800	(\$5,153)	116265
R0197742	Residential	0156902125037	\$75,953	\$70,800	(\$5,153)	116265
R0197743	Residential	0156902125038	\$75,953	\$70,800	(\$5,153)	116265
R0197744	Residential	0156902125039		\$70,800	(\$5,153)	116265
R0197745	Residential	0156902125040		\$70,800	(\$5,153)	116265
R0197746	Residential	0156902125041		\$70,800	(\$5,153)	116265
R0197747	Residential	0156902125042	•	\$70,800	(\$5,153)	116265
R0197752	Residential	0156902406024	-	\$70,800	(\$5,153)	116265
R0197753	Residential	0156902406025	-	\$70,800	(\$5,153)	116265

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Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Adjust						
R0197754	Residential	0156902406026	\$75,953	\$70,800	(\$5,153)	116265
R0197755	Residential	0156902406027	\$75,953	\$70,800	(\$5,153)	116265
R0197756	Residential	0156902406028	\$75,953	\$70,800	(\$5,153)	116265
R0197757	Residential	0156902406029	\$75,953	\$70,800	(\$5,153)	116265
R0197760	Residential	0156902406032	\$75,953	\$70,800	(\$5,153)	116265
R0197761	Residential	0156902406033	\$75,953	\$70,800	(\$5,153)	116265
R0197762	Residential	0156902406034	\$75,953	\$70,800	(\$5,153)	116265
R0197763	Residential	0156902406035	\$75,953	\$70,800	(\$5,153)	116265
R0197764	Residential	0156902407023	\$75,953	\$70,800	(\$5,153)	116265
R0197765	Residential	0156902407024	\$75,953	\$70,800	(\$5,153)	116265
R0197766	Residential	0156902407025	\$75,953	\$70,800	(\$5,153)	116265
R0197767	Residential	0156902407026	\$75,953	\$70,800	(\$5,153)	116265
R0197772	Residential	0156902407031	\$75,953	\$70,800	(\$5,153)	116265
R0197773	Residential	0156902407032	\$75,953	\$70,800	(\$5,153)	116265
R0197774	Residential	0156902407033	\$75,953	\$70,800	(\$5,153)	116265
R0197775	Residential	0156902407034	\$75,953	\$70,800	(\$5,153)	116265
R0197776	Residential	0156902408022	\$75,953	\$70,800	(\$5,153)	116265
R0197777	Residential	0156902408023	\$75,953	\$70,800	(\$5,153)	116265
R0197778	Residential	0156902408024	\$75,953	\$70,800	(\$5,153)	116265
R0197779	Residential	0156902408025	\$75,953	\$70,800	(\$5,153)	116265
R0197783	Residential	0156902408029	\$75,953	\$70,800	(\$5,153)	116265
R0197784	Residential	0156902408030	\$75,953	\$70,800	(\$5,153)	116265
R0197785	Residential	0156902408031	\$75,953	\$70,800	(\$5,153)	116265
R0197786	Residential	0156902408032	\$75,953	\$70,800	(\$5,153)	116265
R0197787	Residential	0156902409024	\$75,953	\$70,800	(\$5,153)	116265
R0197788	Residential	0156902409025	\$75,953	\$70,800	(\$5,153)	116265
Number of Accounts: 186		\$598,756,081	\$555,610,986	(\$43,145,095)		

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Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Deny					<u> </u>	
P0006071	Personal	0171915411010	\$1,826,438	\$1,826,438	\$0	116025
P0008410	Personal	0156918201006	\$2,309,336	\$2,309,336	\$0	116027
P0016624	Personal	0182307407006	\$2,213,596	\$2,213,596	\$0	116028
P0021481	Personal	0171915411009	\$1,403,978	\$1,403,978	\$0	116029
P0024766	Personal	0182128101002	\$2,683,475	\$2,683,475	\$0	116030
P0027030	Personal	0157327201001	\$1,313,340	\$1,313,340	\$0	116031
P0030192	Personal	0157129417005	\$1,293,844	\$1,293,844	\$0	116032
P0031930	Personal	0171926207038	\$1,244,602	\$1,244,602	\$0	116033
P0033588	Personal	0171910401023	\$1,106,637	\$1,106,637	\$0	116034
P0034481	Personal	0182505116002	\$1,056,716	\$1,056,716	\$0	116035
P0035557	Personal		\$738,612	\$738,612	\$0	116026
R0001649	Residential	0156900001003	\$600,000	\$600,000	\$0	115858
R0001666	Residential	0156904000006	\$500,000	\$500,000	\$0	115780
R0002081	Residential	0156905311013	\$233,780	\$233,780	\$0	115657
R0002811	Commercial	0156906311010	\$606,619	\$606,619	\$0	116489
R0002854	Commercial	0156906315012	\$1,111,530	\$1,111,530	\$0	116065
R0003353	Commercial	0156906426013	\$854,640	\$854,640	\$0	116544
R0003993	Commercial	0156907214001	\$654,001	\$654,001	\$0	116234
R0004482	Residential	0156907316014	\$256,897	\$256,897	\$0	115755
R0004611	Residential	0156907403003	\$665,408	\$665,408	\$0	116129
R0004612	Residential	0156907403004	\$665,408	\$665,408	\$0	116128
R0006050	Residential	0156908220007	\$400,135	\$400,135	\$0	116022
R0008123	Residential	0157103300006	\$300,923	\$300,923	\$0	115668
R0008853	Commercial	0157112410005	\$2,014,380	\$2,014,380	\$0	116180
R0011803	Commercial	0157131326008	\$7,011,086	\$7,011,086	\$0	115827
R0013504	Residential	0157132420025	\$321,735	\$321,735	\$0	116122
R0013772	Commercial	0157135007003	\$1,400,000	\$1,400,000	\$0	116199
R0013773	Commercial	0157135007004	\$1,173,868	\$1,173,868	\$0	116200
R0014148	Residential	0157309004028	\$911,337	\$911,337	\$0	116112
R0014383	Residential	0157313006018	\$705,606	\$705,606	\$0	116115
R0014552	Residential	0157316002025	\$872,378	\$872,378	\$0	115644
R0017127	Residential	0157326107011	\$445,700	\$445,700	\$0	115911
R0017405	Residential	0157326119001	\$406,713	\$406,713	\$0	115582
R0018379	Residential	0157326402038	\$920,200	\$920,200	\$0	115680
R0019986	Residential	0157328216006		\$315,352	\$0	115625
R0024143	Residential	0157333012008		\$520,000	\$0	115790
R0024445	Commercial	0157334002022		\$985,286	\$0	116567
R0024462	Commercial	0157334004019	\$3,706,736	\$3,706,736	\$0	116226
R0025078	Commercial	0157334310004		\$43,502	\$0	116375
R0025079	Commercial	0157334310005	•	\$57,568	\$0	116429

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Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Deny					· <u> </u>	
R0025080	Commercial	0157334310006	\$7,512,000	\$7,512,000	\$0	116428
R0025153	Residential	0157334314001	\$60,858,959	\$60,858,959	\$0	116414
R0025311	Residential	0157335403015	\$38,481,380	\$38,481,380	\$0	116408
R0025791	Residential	0157336309006	\$377,775	\$377,775	\$0	115812
R0025838	Commercial	0157336309056	\$1,069,785	\$1,069,785	\$0	116463
R0026211	Residential	0157336410117	\$276,692	\$276,692	\$0	116663
R0026212	Residential	0157336410118	\$268,708	\$268,708	\$0	116662
R0026213	Residential	0157336410119	\$268,708	\$268,708	\$0	116661
R0026866	Residential	0171901203035	\$324,751	\$324,751	\$0	115778
R0027044	Commercial	0171901214012	\$3,171,860	\$3,171,860	\$0	116182
R0027532	Residential	0171901405009	\$342,412	\$342,412	\$0	115781
R0028587	Commercial	0171902209021	\$701,371	\$701,371	\$0	116462
R0029433	Residential	0171902322030	\$310,608	\$310,608	\$0	116159
R0029888	Residential	0171902416008	\$310,358	\$310,358	\$0	115920
R0030247	Residential	0171903102051	\$253,684	\$253,684	\$0	116532
R0030268	Residential	0171903103017	\$254,159	\$254,159	\$0	116531
R0030311	Residential	0171903104043	\$269,887	\$269,887	\$0	116527
R0030320	Residential	0171903105011	\$229,376	\$229,376	\$0	116533
R0030321	Residential	0171903105012	\$237,588	\$237,588	\$0	116534
R0030345	Residential	0171903105036	\$269,229	\$269,229	\$0	116529
R0030352	Residential	0171903105043	\$269,229	\$269,229	\$0	116530
R0030375	Residential	0171903106013	\$267,723	\$267,723	\$0	116526
R0030415	Commercial	0171903111031	\$661,446	\$661,446	\$0	116641
R0030506	Residential	0171903117008	\$26,106,713	\$26,106,713	\$0	116420
R0031067	Residential	0171903410017	\$19,582,160	\$19,582,160	\$0	115796
R0031214	Residential	0171904201011	\$624,374	\$624,374	\$0	116080
R0031373	Commercial	0171904209002	\$1,949,160	\$1,949,160	\$0	116436
R0031585	Residential	0171904308001	\$587,449	\$587,449	\$0	115983
R0031827	Residential	0171904401001	\$26,559,998	\$26,559,998	\$0	116537
R0032087	Residential	0171905109001	\$45,651,999	\$45,651,999	\$0	116299
R0032406	Residential	0171905314036	\$377,240	\$377,240	\$0	115946
R0033766	Residential	0171908102032	\$484,170	\$484,170	\$0	115703
R0034848	Residential	0171908439044	\$466,048	\$466,048	\$0	115685
R0034869	Residential	0171908439065	\$480,359	\$480,359	\$0	115677
R0035824	Residential	0171909321001	\$31,115,731	\$31,115,731	\$0	115881
R0036331	Residential	0171910108017	\$303,449	\$303,449	\$0	115926
R0036547	Residential	0171910115013	\$308,399	\$308,399	\$0 \$0	115923
R0036560	Residential	0171910116008	\$296,127	\$296,127	\$0	115913
R0036686	Residential	0171910120010	\$293,608	\$293,608	\$0 \$0	115915
R0037101	Commercial	0171910217001	\$915,770	\$915,770	\$0 \$0	116206

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Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Deny						
R0037129	Commercial	0171910217029	\$165,000	\$165,000	\$0	116207
R0037137	Commercial	0171910217037	\$915,460	\$915,460	\$0	116205
R0037160	Commercial	0171910304005	\$2,515,723	\$2,515,723	\$0	116337
R0037161	Commercial	0171910304006	\$2,515,722	\$2,515,722	\$0	116337
R0037162	Commercial	0171910304007	\$2,515,000	\$2,515,000	\$0	116337
R0037169	Residential	0171910304018	\$15,162,000	\$15,162,000	\$0	116419
R0037173	Commercial	0171910304029	\$874,800	\$874,800	\$0	115957
R0037174	Commercial	0171910304030	\$472,400	\$472,400	\$0	116275
R0037254	Residential	0171910403011	\$304,338	\$304,338	\$0	115927
R0037566	Residential	0171910415035	\$308,462	\$308,462	\$0	116161
R0037670	Residential	0171910423013	\$298,243	\$298,243	\$0	115925
R0037708	Commercial	0171911102017	\$2,337,682	\$2,337,682	\$0	116624
R0037709	Commercial	0171911102018	\$488,480	\$488,480	\$0	116625
R0037817	Commercial	0171911109018	\$622,512	\$622,512	\$0	116076
R0037901	Residential	0171911204004	\$305,679	\$305,679	\$0	115924
R0038501	Residential	0171911306011	\$295,207	\$295,207	\$0	115919
R0038618	Residential	0171911310008	\$303,769	\$303,769	\$0	115915
R0038953	Residential	0171911406006	\$302,426	\$302,426	\$0	115922
R0038977	Residential	0171911407004	\$331,995	\$331,995	\$0	115914
R0039082	Commercial	0171911411043	\$8,862,456	\$8,862,456	\$0	116173
R0039777	Residential	0171913306036	\$283,601	\$283,601	\$0	115842
R0040295	Residential	0171913403020	\$350,583	\$350,583	\$0	115749
R0041722	Commercial	0171915201008	\$6,735,700	\$6,735,700	\$0	116618
R0041723	Commercial	0171915201010	\$1,108,164	\$1,108,164	\$0	116619
R0041725	Commercial	0171915201024	\$3,024,585	\$3,024,585	\$0	116666
R0041728	Commercial	0171915201027	\$663,180	\$663,180	\$0	116620
R0041729	Commercial	0171915201028	\$1,331,011	\$1,331,011	\$0	116621
R0041735	Commercial	0171915201034	\$897,859	\$897,859	\$0	116623
R0041737	Commercial	0171915201036	\$82,614	\$82,614	\$0	116665

\$275,996

\$389,000

\$322,869

\$326,000

\$405,052

\$405,918

\$490,000

\$1,554,855

\$1,795,207

\$486,000

\$116,111,996

\$275,996

\$389,000

\$322,869

\$326,000

\$405,052

\$405,918

\$490,000

\$486,000

\$1,554,855 \$1,795,207

\$116,111,996

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R0041750

R0042117

R0042192

R0042700

R0046558

R0046896

R0047843

R0048010

R0048122

R0048124

R0048188

Commercial

Residential

Residential

Residential

Residential

Residential

Residential

Residential

Commercial

Commercial

Residential

0171915202015

0171915311017

0171915315012

0171916110009

0171918213018

0171918402017

0171919203001

0171919308042

0171919323003

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116622

116253

115907

116451

115737

116168

116413

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115732

116247

Value Detail

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Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Deny		<u></u>				
R0048714	Commercial	0171920102002	\$191,664	\$191,664	\$0	116325
R0048730	Commercial	0171920102035	\$185,600	\$185,600	\$0	116324
R0049586	Residential	0171920307025	\$340,000	\$340,000	\$0	116248
R0050034	Residential	0171920326003	\$38,605,825	\$38,605,825	\$0	116536
R0051581	Residential	0171923105015	\$284,869	\$284,869	\$0	115692
R0052162	Residential	0171923201011	\$289,360	\$289,360	\$0	115918
R0052164	Residential	0171923201013	\$294,292	\$294,292	\$0	115917
R0052379	Residential	0171923210028	\$285,221	\$285,221	\$0	115616
R0053877	Residential	0171924213001	\$318,237	\$318,237	\$0	115948
R0054799	Agricultural	0171925000052	\$269,971	\$269,97 1	\$0	116389
R0055348	Residential	0171925214099	\$168,170	\$168,170	\$0	115851
R0055349	Residential	0171925215001	\$1,177	\$1,177	\$0	115859
R0055350	Residential	0171925215002	\$1,177	\$1,177	\$0	115859
R0055351	Residential	0171925215003	\$1,177	\$1,177	\$0	115859
R0055352	Residential	0171925215004	\$1,177	\$1,177	\$0	115859
R0055353	Residential	0171925215005	\$1,177	\$1,177	\$0	115859
R0055354	Residential	0171925215006	\$1,177	\$1,177	\$0	115859
R0055355	Residential	0171925215007	\$1,177	\$1,177	\$0	115859
R0055356	Residential	0171925215008	\$1,177	\$1,177	\$0	115859
R0055357	Residential	0171925215009	\$1,177	\$1,177	\$0	115859
R0055358	Residential	0171925215010	\$1,177	\$1,177	\$0	115859
R0055359	Residential	0171925215011	\$1,177	\$1,177	\$0	115859
R0055360	Residential	0171925215012	\$1,177	\$1,177	\$0	115859
R0055361	Residential	0171925215013	\$1,177	\$1,177	\$0	115859
R0055362	Residential	0171925215014	\$1,177	\$1,177	\$0	115859
R0055363	Residential	0171925215015	\$1,177	\$1,177	\$0	115859
R0055364	Residential	0171925215016	\$1,177	\$1,177	\$0	115859
R0055365	Residential	0171925215017	\$1,177	\$1,177	\$0	115859
R0055366	Residential	0171925215018	\$1,177	\$1,177	\$0	115859
R0055367	Residential	0171925215019	\$1,177	\$1,177	\$0	115859
R0055368	Residential	0171925215020	\$1,177	\$1,177	\$0	115859
R0055369	Residential	0171925215021	\$1,177	\$1,177	\$0	115859
R0055370	Residential	0171925215022	\$1,177	\$1,177	\$0	115859
R0055371	Residential	0171925215023	\$1,177	\$1,177	\$0	115859
R0055372	Residential	0171925215024	\$1,177	\$1,177	\$0	115859
R0055373	Residential	0171925215025	\$1,177	\$1,177	\$0	115859
R0055374	Residential	0171925215026	\$1,177	\$1,177	\$0 \$0	115859
R0055375	Residential	0171925215027	\$1,177	\$1,177	\$0 \$0	115859
R0055376	Residential	0171925215027	\$1,177	\$1,177	\$0 \$0	115859
R0055377	Residential	0171925215020	\$1,177	\$1,177	\$0 \$0	115859

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2019

Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Deny					· · · · · · · · · · · · · · · · · · ·	· · ·
R0055382	Residential	0171925215034	\$1,177	\$1,177	\$0	115859
R0055383	Residential	0171925215035	\$1,177	\$1,177	\$0	115859
R0055384	Residential	0171925215036	\$1,177	\$1,177	\$0	115859
R0055385	Residential	0171925215037	\$1,177	\$1,177	\$0	115859
R0055386	Residential	0171925215038	\$1,177	\$1,177	\$0	115859
R0055387	Residential	0171925215039	\$1,177	\$1,177	\$0	115859
R0055388	Residential	0171925215040	\$1,177	\$1,177	\$0	115859
R0055389	Residential	0171925215041	\$1,177	\$1,177	\$0	115859
R0055390	Residential	0171925215042	\$1,177	\$1,177	\$0	115859
R0055391	Residential	0171925215043	\$1,177	\$1,177	\$0	115859
R0055392	Residential	0171925215044	\$1,177	\$1,177	\$0	115859
R0055393	Residential	0171925215045	\$1,177	\$1,177	\$0	115859
R0055394	Residential	0171925215046	\$1,177	\$1,177	\$0	115859
R0055395	Residential	0171925215047	\$1,177	\$1,177	\$0	115859
R0055396	Residential	0171925215048	\$1,177	\$1,177	\$0	115859
R0055397	Residential	0171925215049	\$1,177	\$1,177	\$0	115859
R0055398	Residential	0171925215050	\$1,177	\$1,177	\$0	115859
R0055399	Residential	0171925215051	\$1,177	\$1,177	\$0	115859
R0055400	Residential	0171925215052	\$1,177	\$1,177	\$0	115859
R0055401	Residential	0171925215053	\$1,177	\$1,177	\$0	115859
R0055402	Residential	0171925215054	\$1,177	\$1,177	\$0	115859
R0055403	Residential	0171925215055	\$1,177	\$1,177	\$0	115859
R0055404	Residential	0171925215056	\$1,177	\$1,177	\$0	115859
R0055405	Residential	0171925215057	\$1,177	\$1,177	\$0	115859
R0055406	Residential	0171925215058	\$1,177	\$1,177	\$0	115859
R0055407	Residential	0171925215059	\$1,177	\$1,177	\$0	115859
R0055413	Residential	0171925215065	\$1,177	\$1,177	\$0	115859
R0055414	Residential	0171925215066	\$1,177	\$1,177	\$0	115859
R0055415	Residential	0171925215067	\$1,177	\$1,177	\$0	115859
R0055416	Residential	0171925215068	\$1,177	\$1,177	\$0	115859
R0055417	Residential	0171925215069	\$1,177	\$1,177	\$0	115859
R0055418	Residential	0171925215070	\$1,177	\$1,177	\$0	115859
R0055419	Residential	0171925215071	\$1,177	\$1,177	\$0	115859
R0055420	Residential	0171925215072	\$1,177	\$1,177	\$0	115859
R0055421	Residential	0171925215073		\$1,177	\$0	115859
R0055422	Residential	0171925215074		\$1,177	\$0	115859
R0055423	Residential	0171925215075		\$1,177	\$0	115859
R0055424	Residential	0171925215076	\$1,177	\$1,177	\$0	115859
R0055425	Residential	0171925215077		\$1,177	\$0	115859
R0055426	Residential	0171925215078		\$1,177	\$0	115859

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2019

Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Deny						
R0055427	Residential	0171925215079	\$1,177	\$1,177	\$0	115859
R0055428	Residential	0171925215080	\$1,177	\$1,177	\$0	115859
R0055429	Residential	0171925215081	\$1,177	\$1,177	\$0	115859
R0055430	Residential	0171925215082	\$1,177	\$1,177	\$0	115859
R0055431	Residential	0171925215083	\$1,177	\$1,177	\$0	115859
R0055432	Residential	0171925215084	\$1,177	\$1,177	\$0	115859
R0055433	Residential	0171925215085	\$1,177	\$1,177	\$0	115859
R0055434	Residential	0171925215086	\$1,177	\$1,177	\$0	115859
R0055435	Residential	0171925215087	\$1,177	\$1,177	\$0	115859
R0055436	Residential	0171925215088	\$1,177	\$1,177	\$0	115859
R0055437	Residential	0171925215089	\$1,177	\$1,177	\$0	115859
R0055438	Residential	0171925215090	\$1,177	\$1,177	\$0	115859
R0055439	Residential	0171925215091	\$1,177	\$1,177	\$0	115859
R0055440	Residential	0171925215092	\$1,177	\$1,177	\$0	115859
R0055441	Residential	0171925215093	\$1,177	\$1,177	\$0	115859
R0055442	Residential	0171925215094	\$1,177	\$1,177	\$0	115859
R0055443	Residential	0171925215095	\$1,177	\$1,177	\$0	115859
R0055444	Residential	0171925215096	\$1,177	\$1,177	\$0	115859
R0055445	Residential	0171925215097	\$1,177	\$1,177	\$0	115859
R0055446	Residential	0171925215098	\$1,177	\$1,177	\$0	115859
R0055447	Residential	0171925215099	\$1,177	\$1,177	\$0	115859
R0055448	Residential	0171925215100	\$1,177	\$1,177	\$0	115859
R0055449	Residential	0171925215101	\$1,177	\$1,177	\$0	115859
R0055450	Residential	0171925215102	\$1,177	\$1,177	\$0	115859
R0055454	Residential	0171925218001	\$1,177	\$1,177	\$0	115859
R0055455	Residential	0171925218002	\$1,177	\$1,177	\$0	115859
R0055456	Residential	0171925218003	\$1,177	\$1,177	\$0	115859
R0055457	Residential	0171925218004	\$1,177	\$1,177	\$0	115859
R0055458	Residential	0171925218005	\$1,177	\$1,177	\$0	115859
R0055459	Residential	0171925218006	\$1,177	\$1,177	\$0	115859
R0055460	Residential	0171925218007	\$1,177	\$1,177	\$0	115859
R0055461	Residential	0171925218008	\$1,177	\$1,177	\$0	115859
R0055462	Residential	0171925218009	\$1,177	\$1,177	\$0 \$0	115859
R0055463	Residential	0171925218010	\$1,177	\$1,177	\$0	115859
R0055464	Residential	0171925218011	\$1,177	\$1,177	\$0 \$0	115859
R0055465	Residential	0171925218012	\$1,177	\$1,177	\$0 \$0	115859
R0055466	Residential	0171925218012	\$1,177	\$1,177	\$0 \$0	115859
R0055467	Residential	0171925218013	\$1,177	\$1,177	\$0 \$0	115859
R.0055468	Residential	0171925218015	\$1,177	\$1,177	\$0 \$0	
R0055469	Residential	0171925218015	\$1,177	\$1,177 \$1,177	\$0 \$0	115859 115859

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2019

Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Deny						
R0055470	Residential	0171925218017	\$1,177	\$1,177	\$0	115859
R0055471	Residential	0171925218018	\$1,177	\$1,177	\$0	115859
R0055472	Residential	0171925218019	\$1,177	\$1,177	\$0	115859
R0055473	Residential	0171925218020	\$1,177	\$1,177	\$0	115859
R0055474	Residential	0171925218021	\$1,177	\$1,177	\$0	115859
R0055475	Residential	0171925218022	\$1,177	\$1,177	\$0	115859
R0055476	Residential	0171925218023	\$1,177	\$1,177	\$0	115859
R0055477	Residential	0171925218024	\$1,177	\$1,177	\$0	115859
R0055478	Residential	0171925218025	\$1,177	\$1,177	\$0	115859
R0055479	Residential	0171925218026	\$1,177	\$1,177	\$0	115859
R0055480	Residential	0171925218027	\$1,177	\$1,177	\$0	115859
R0055481	Residential	0171925218028	\$1,177	\$1,177	\$0	115859
R0055482	Residential	0171925218029	\$1,177	\$1,177	\$0	115859
R0055483	Residential	0171925218030	\$1,177	\$1,177	\$0	115859
R0055484	Residential	0171925218031	\$1,177	\$1,177	\$0	115859
R0055485	Residential	0171925218032	\$1,177	\$1,177	\$0	115859
R0055486	Residential	0171925218033	\$1,177	\$1,177	\$0	115859
R0055487	Residential	0171925218034	\$1,177	\$1,177	\$0	11 5859
R0055488	Residential	0171925218035	\$1,177	\$1,177	\$0	115859
R0055489	Residential	0171925218036	\$1,177	\$1,177	\$0	115859
R0055491	Residential	0171925218038	\$1,177	\$1,177	\$0	115859
R0055492	Residential	0171925218039	\$1,177	\$1,177	\$0	115859
R0055493	Residential	0171925218040	\$1,177	\$1,177	\$0	115859
R0055494	Residential	0171925218041	\$1,177	\$1,177	\$0	115859
R0055495	Residential	0171925218042	\$1,177	\$1,177	\$0	115859
R0055496	Residential	0171925218043	\$1,177	\$1,177	\$0	115859
R0055497	Residential	0171925218044	\$1,177	\$1,177	\$0	115859
R0055498	Residential	0171925218045	\$1,177	\$1,177	\$0	115859
R0056070	Residential	0171926127001	\$1,177	\$1,177	\$0	115859
R0056071	Residential	0171926127002	\$1,177	\$1,177	\$0	115859
R0056072	Residential	0171926127003	\$1,177	\$1,177	\$0	115859
R0056073	Residential	0171926127004		\$1,177	\$0	115859
R0056074	Residential	0171926127005		\$1,177	\$0	115859
R0056075	Residential	0171926127006		\$1,177	\$0	115859
R0056076	Residential	0171926127007		\$1,177	\$0	115859
R0056077	Residential	0171926127008		\$1,177	\$0	115859
R0056078	Residential	0171926127009		\$1,177	\$0	115859
R0056079	Residential	0171926127010		\$1,177	\$0	115859
R0056080	Residential	0171926127011		\$1,177	\$0	115859
R0056081	Residential	0171926127012		\$1,177	\$0	115859

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Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Deny						
R0056082	Residential	0171926127013	\$1,177	\$1,177	\$0	115859
R0056083	Residential	0171926127014	\$1,177	\$1,177	\$0	115859
R0056084	Residential	0171926127015	\$1,177	\$1,177	\$0	115859
R0056085	Residential	0171926127016	\$1,177	\$1,177	\$0	115859
R0056086	Residential	0171926127017	\$1,177	\$1,177	\$0	115859
R0056087	Residential	0171926127018	\$1,177	\$1,177	\$0	115859
R0056088	Residential	0171926127019	\$1,177	\$1,177	\$0	115859
R0056089	Residential	0171926127020	\$1,177	\$1,177	\$0	115859
R0056090	Residential	0171926127021	\$1,177	\$1,177	\$0	115859
R0056091	Residential	0171926127022	\$1,177	\$1,177	\$0	115859
R0056092	Residential	0171926127023	\$1,177	\$1,177	\$0	115859
R0056093	Residential	0171926127024	\$1,177	\$1,177	\$0	115859
R0056094	Residential	0171926127025	\$1,177	\$1,177	\$0	115859
R0056095	Residential	0171926127026	\$1,177	\$1,177	\$0	115859
R0056096	Residential	0171926127027	\$1,177	\$1,177	\$0	115859
R0056097	Residential	0171926127028	\$1,177	\$1,177	\$0	115859
R0056425	Residential	0171926212002	\$334,168	\$334,168	\$0	116090
R0057639	Residential	0171926408015	\$19,475,006	\$19,475,006	\$0	116319
R0057640	Residential	0171926408016	\$16,715,008	\$16,715,008	\$Ò	116320
R0057641	Residential	0171926408017	\$229,998	\$229,998	\$0	116323
R0057642	Residential	0171926408018	\$18,200,000	\$18,200,000	\$0	116454
R0058470	Commercial	0171927306013	\$587,914	\$587,914	\$0	115854
R0058515	Residential	0171927309017	\$329,820	\$329,820	\$0	115621
R0059242	Residential	0171928101126	\$225,000	\$225,000	\$0	116087
R0059888	Residential	0171928312024	\$325,000	\$325,000	\$0	115645
R0061922	Residential	0171929418018	\$327,000	\$327,000	\$0	116086
R0062003	Commercial	0171929424001	\$3,964,585	\$3,964,585	\$0	116373
R0062655	Residential	0171930202007	\$327,686	\$327,686	\$0	115786
R0062916	Commercial	0171930217012	\$14,830,000	\$14,830,000	\$0	116192
R0062937	Commercial	0171930220021	\$2,979,701	\$2,979,701	\$0	116305
R0062946	Commercial	0171930223004	\$7,914,000	\$7,914,000	\$0	116427
R0062955	Commercial	0171930300012	\$1,607,040	\$1,607,040	\$0	116228
R0062958	Commercial	0171930300027	\$73,176	\$73,176	\$0	116154
R0063013	Residential	0171930305004	\$369,863	\$369,863	\$0	115990
R0063279	Residential	0171930317001	\$74,134,116	\$74,134,116	\$0	116508
R0063280	Residential	0171930318002	\$16,807,218	\$16,807,218	\$0	116535
R0063281	Residential	0171930318003	\$16,613,779	\$16,613,779	\$0	116535
R0063282	Residential	0171930318004	\$16,615,048	\$16,615,048	\$0	116535
R0063410	Residential	0171930406012	\$317,000	\$317,000	\$0 \$0	115673
R0063468	Residential	0171930400012	\$306,584	\$306,584	\$0 \$0	115982

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R0065060	Residential	0171931404020	\$349,600	\$349,600	\$0	116150
R0065341	Residential	0171931417003	\$1,463,000	\$1,463,000	\$0	116660
R0065357	Residential	0171931417025	\$2,926,000	\$2,926,000	\$0	116664
R0068508	Commercial	0171933307035	\$1,757,970	\$1,757,970	\$0	116333
R0068522	Residential	0171933308007	\$332,200	\$332,200	\$0	116446
R0068798	Residential	0171933321004	\$13,482,535	\$13,482,535	\$0	116316
R0068799	Residential	0171933321005	\$13,494,775	\$13,494,775	\$0	116317
R0068800	Residential	0171933321006	\$27,084,441	\$27,084,441	\$0	116311
R0068953	Residential	0171933408019	\$292,200	\$292,200	\$0	116167
R0069039	Commercial	0171933414005	\$5,801,714	\$5,801,714	\$0	115865
R0069042	Commercial	0171933414011	\$452,589	\$452,589	\$0	116626
R0070622	Commercial	0171934402015	\$7,514,000	\$7,514,000	\$0	116378
R0070624	Commercial	0171934402017	\$2,311,623	\$2,311,623	\$0	116380
R0070914	Commercial	0171935200021	\$5,235,000	\$5,235,000	\$0	116172
R0071005	Commercial	0171935302004	\$3,726,979	\$3,726,979	\$0	116501
R0071007	Commercial	0171935302010	\$7,939,476	\$7,939,476	\$0	116456
R0071024	Commercial	0171935303005	\$1,421,347	\$1,421,347	\$0	116203
R0071031	Commercial	0171935303013	\$963,301	\$963,301	\$0	116204
R0071092	Commercial	0171935401006	\$1,077,630	\$1,077,630	\$0	116223
R0071103	Commercial	0171935404008	\$1,039,704	\$1,039,704	\$0	116646
R0071137	Commercial	0171936202007	\$1,015,771	\$1,015,771	\$0	116062
R0071159	Commercial	0171936300064	\$2,663,890	\$2,663,890	\$0	116221
R0071692	Residential	0172106106020	\$404,982	\$404,982	\$0	115556
R0071745	Residential	0172106108023	\$355,621	\$355,621	\$0	115951
R0075184	Industrial	0172110001019	\$1,885,714	\$1,885,714	\$0	116224
R0075192	Commercial	0172110004005	\$1,819,211	\$1,819,211	\$0	116229
R0075196	Industrial	0172110005001	\$2,741,627	\$2,741,627	\$0	116407
R0075216	Commercial	0172110006013	\$1,276,000	\$1,276,000	\$0	116630
R0075365	Commercial	0172116006001	\$3,207,392	\$3,207,392	\$0	116177
R0076894	Commercial	0172120000020	\$295,327	\$295,327	\$0	116500
R0076895	Commercial	0172120000026	\$401,726	\$401,726	\$0	116499
R0076907	Commercial	0172120000063	-	\$47,162	\$0	116477
R0076941	Commercial	0172120003001	\$256,772	\$256,772	\$0	116478
R0076942	Commercial	0172120004002		\$144,456	\$0	116476
R0076943	Commercial	0172120004003		\$139,740	\$0	116475
R0076944	Commercial	0172120004004	,	\$319,677	\$0	116474
R0076945	Commercial	0172120004005	•	\$182,712	\$0	116473
R0076946	Commercial	0172120004006	•	\$86,817	\$0	116433
R0076952	Commercial	0172120006005		\$2,209,957	\$0	116498
R0076953	Commercial	0172120006006		\$586,830	\$0	116497

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Deny						
R0076954	Commercial	0172120007001	\$1,855,543	\$1,855,543	\$0	116438
R0076969	Commercial	0172120010003	\$3,777,312	\$3,777,312	\$0	116377
R0076998	Commercial	0172121005026	\$1,396,788	\$1,396,788	\$0	115641
R0077029	Commercial	0172122007008	\$12,181,714	\$12,181,7 14	\$0	115698
R0077032	Commercial	0172122008005	\$547,181	\$547,181	\$0	115698
R0077303	Residential	0172128300112	\$196,023	\$196,023	\$0	115690
R0077932	Commercial	0172131313001	\$2,115,976	\$2,115,976	\$0	116349
R0077960	Commercial	0172131402004	\$2,521,200	\$2,521,200	\$0	116216
R0077962	Commercial	0172131402019	\$101,822	\$101,822	\$0	116217
R0077964	Commercial	0172131402021	\$700,719	\$700,719	\$0	116218
R0077966	Commercial	0172131402024	\$1,320,000	\$1,320,000	\$0	116219
R0078092	Residential	0172132104010	\$203,000	\$203,000	\$0	116252
R0079443	Commercial	0172132318042	\$739,201	\$739,201	\$0	116589
R0080401	Industrial	0172306004001	\$2,666,902	\$2,666,902	\$0	116652
R0082508	Residential	0181527201009	\$291,000	\$291,000	\$0	115816
R0083501	Commercial	0181716403004	\$22,800	\$22,800	\$0	116023
R0083564	Residential	0181731101011	\$414,000	\$414,000	\$0	115814
R0083749	Residential	0181936402001	\$14,400	\$14,400	\$0	115605
R0083906	Commercial	0182100007001	\$924,877	\$924,877	\$0	116362
R0083907	Commercial	0182100007002	\$8,204,000	\$8,204,000	\$0	116367
R0083908	Commercial	0182100007003	\$8,204,000	\$8,204,000	\$0	116367
R0083915	Commercial	0182119003002	\$4,208,671	\$4,208,671	\$0	116546
R0083935	Commercial	0182126001001	\$13,418,001	\$13,418,001	\$0	116181
R0083953	Commercial	0182126004001	\$9,125,926	\$9,125,926	\$0	116492
R0083966	Industrial	0182126005005	\$3,818,483	\$3,818,483	\$0	116599
R0084041	Industrial	0182127006006	\$11,965,012	\$11,965,012	\$0	115870
R0084086	Commercial	0182129000035	\$1,076,799	\$1,076,799	\$0	116633
R0084229	Commercial	0182129218001	\$561,636	\$561,636	\$0	116232
R0084237	Commercial	0182130002005	\$8,200,000	\$8,200,000	\$0	116341
R0084250	Commercial	0182130004011	\$8,955,000	\$8,955,000	\$0	116368
R0084273	Commercial	0182130009003	\$11,636,000	\$11,636,000	\$0	116358
R0084320	Commercial	0182130014007	\$708,473	\$708,473	\$0	116640
R0085648	Commercial	0182131412002	\$618,149	\$618,149	\$0	116176
R0085675	Residential	0182131416014	\$300,000	\$300,000	\$0	115845
R0085933	Commercial	0182132315012	\$649,896	\$649,896	\$0	116581
R0085956	Commercial	0182132315044	\$2,011,429	\$2,011,429	\$0	115697
R0086201	Commercial	0182133006002	\$577,420	\$577,420	\$0	116230
R0086202	Commercial	0182133006003	\$542,428	\$542,428	\$0	116231
R0086203	Commercial	0182133006004	\$1,251,556	\$1,251,556	\$0 \$0	116557
R0086204	Commercial	0182133006005	\$388,773	\$388,773	\$0	116558

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R0086205	Commercial	0182133006006	\$740,520	\$740,520	\$0	116559
R0086206	Commercial	0182133006007	\$12,887,776	\$12,887,776	\$0	116554
R0086214	Commercial	0182133011008	\$47,334,760	\$47,334,760	\$0	116259
R0086583	Residential	0182134300009	\$264,845	\$264,845	\$0	116124
R0086584	Commercial	0182134300010	\$346,337	\$346,337	\$0	116171
R0087076	Commercial	0182134324001	\$155,074	\$155,074	\$0	116153
R0087496	Commercial	0182135008001	\$3,073,840	\$3,073,840	\$0	116355
R0087497	Commercial	0182135008002	\$1,110,780	\$1,110,780	\$0	116340
R0088659	Residential	0182305304012	\$272,152	\$272,152	\$0	115943
R0088841	Residential	0182305312027	\$250,004	\$250,004	\$0	115935
R0089046	Residential	0182305323004	\$226,643	\$226,643	\$0	115651
R0089800	Commercial	0182306115009	\$560,560	\$560,560	\$0	116005
R0089801	Commercial	0182306115015	\$843,980	\$843,980	\$0	116003
R0090173	Commercial	0182306300044	\$2,042,070	\$2,042,070	\$0	116350
R0090850	Commercial	0182307107011	\$906,046	\$906,046	\$0	116466
R0090935	Industrial	0182307200033	\$1,940,970	\$1,940,970	\$0	116225
R0090967	Commercial	0182307300016	\$1,783,659	\$1,783,659	\$0	116645
R0090971	Commercial	0182307300035	\$2,875,000	\$2,875,000	\$0	116339
R0091007	Commercial	0182307400038	\$1,468,000	\$1,468,000	\$0	116184
R0091019	Commercial	0182307400066	\$2,228,160	\$2,228,160	\$0	116552
R0092138	Residential	0182308411014	\$79,800	\$79,800	\$0	116398
R0092139	Residential	0182308411015	\$5,184,001	\$5,184,001	\$0	116400
R0092233	Residential	0182308417005	\$205,000	\$205,000	\$0	115631
R0092644	Industrial	0182317215009	\$2,362,572	\$2,362,572	\$0	116636
R0092645	Industrial	0182317215010	\$3,682,436	\$3,682,436	\$0	116635
R0092711	Commercial	0182317400012	\$4,239,175	\$4,239,175	\$0	116493
R0092832	Commercial	0182318105001	\$735,680	\$735,680	\$0	116405
R0092833	Commercial	0182318105002	\$650,000	\$650,000	\$0	116404
R0092867	Commercial	0182318400007	\$534,767	\$534,767	\$0	116553
R0093106	Commercial	0182325211003	\$12,580,606	\$12,580,606	\$0	116296
R0093111	Commercial	0182325213002	\$4,646,844	\$4,646,844	\$0	116359
R0093880	Commercial	0182326101037		\$2,194,133	\$0	116548
R0093905	Commercial	0182326104002		\$501,714	\$0	116392
R0093906	Commercial	0182326104003		\$1,003,200	\$0	116486
R0094378	Residential	0182334128011		\$2,016,000	\$0	116250
R0094831	Residential	0182334316002		\$467,306	\$0	116447
R0094943	Residential	0182334321010		\$408,000	\$0	115699
R0095071	Commercial	0182334329012	•	\$352,574	\$0	116484
R0095072	Commercial	0182334329013		\$89,232	\$0	116490
R0095103	Residential	0182334331001	•	\$420,000	\$0	115602

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Deny						
R0095950	Residential	0182335117011	\$349,497	\$349,497	\$0	115928
R0096141	Residential	0182335127039	\$626,365	\$626,365	\$0	116139
R0096424	Residential	0182335220004	\$331,000	\$331,000	\$0	115844
R0096886	Residential	0182335310017	\$259,628	\$259,628	\$0	115646
R0096890	Residential	0182335310021	\$256,448	\$256,448	\$0	115552
R0097737	Residential	0182335427015	\$12,502,000	\$12,502,000	\$0	116399
R0097859	Industrial	0182501103004	\$4,373,700	\$4,373,700	\$0	116213
R0098061	Commercial	0182502203025	\$3,686,773	\$3,686,773	\$0	116202
R0098117	Commercial	0182502303001	\$1,217,477	\$1,217,477	\$0	116565
R0098152	Commercial	0182502308025	\$1,303,052	\$1,303,052	\$0	116648
R0098161	Residential	0182502401009	\$266,064	\$266,064	\$0	115741
R0098167	Commercial	0182502401032	\$2,868,644	\$2,868,644	\$0	116644
R0098196	Residential	0182502403023	\$388,736	\$388,736	\$0	115596
R0098349	Residential	0182503206024	\$286,000	\$286,000	\$0	116249
R0098691	Residential	0182504102013	\$324,752	\$324,752	\$0	116170
R0098818	Residential	0182504108004	\$2,660,000	\$2,660,000	\$0	116658
R0099649	Commercial	0182504402007	\$3,038,934	\$3,038,934	\$0	116348
R0100104	Commercial	0182505220005	\$1,511,000	\$1,511,000	\$0	115867
R0100447	Commercial	0182505318029	\$150,857	\$150,857	\$0	116244
R0100746	Residential	0182505406002	\$430,000	\$430,000	\$0	116020
R0100773	Residential	0182505406032	\$423,670	\$423,670	\$0	115746
R0100873	Commercial	0182506100088	\$1,366,766	\$1,366,766	\$0	116659
R0100894	Residential	0182506106005	\$53,930,683	\$53,930,683	\$0	116318
R0101046	Residential	0182506204032	\$315,000	\$315,000	\$0	115665
R0101252	Residential	0182506211027	\$449,997	\$449,997	\$0	115710
R0101632	Commercial	0182506316023	\$728,124	\$728,124	\$0	115855
R0101738	Residential	0182506318122	\$296,306	\$296,306	\$0	115578
R0101744	Residential	0182506318128	\$341,067	\$341,067	\$0	116120
R0101954	Residential	0182506319086	\$362,174	\$362,174	\$0	115586
R0102991	Commercial	0182507308002	\$1,274,437	\$1,274,437	\$0	116588
R0102992	Commercial	0182507308004	\$2,189,410	\$2,189,410	\$0	116579
R0103030	Commercial	0182508100029	\$1,507,498	\$1,507,498	\$0	116385
R0103038	Commercial	0182508102001	\$1,015,403	\$1,015,403	\$0	116647
R0103172	Residential	0182508212032	\$825,000	\$825,000	\$0	116021
R0103173	Residential	0182508212033	\$950,000	\$950,000	\$0	115783
R0103239	Commercial	0182508300047	\$205,380	\$205,380	\$0	115711
R0103490	Commercial	0182510200047	\$2,200,000	\$2,200,000	\$0	116222
R0103521	Commercial	0182510301032	\$2,541,753	\$2,541,753	\$0	116592
R0103560	Commercial	0182510403008	\$3,132,910	\$3,132,910	\$0 \$0	116064
R0103606	Commercial	0182510408008	\$1,833,333	\$1,833,333	\$0 \$0	116642

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Deny						
R0103609	Commercial	0182510409001	\$3,575,777	\$3,575,777	\$0	116347
R0103614	Commercial	0182510409006	\$1,477,100	\$1,477,100	\$0	116607
R0103670	Commercial	0182511204006	\$5,500,993	\$5,500,993	\$0	116288
R0103701	Commercial	0182511300064	\$938,667	\$938,667	\$0	116649
R0103769	Industrial	0182511400021	\$1,084,160	\$1,084,160	\$0	116183
R0103770	Industrial	0182511400022	\$21,780	\$21,780	\$0	116183
R0103771	Commercial	0182511400024	\$1,353,005	\$1,353,005	\$0	116183
R0103772	Industrial	0182511400037	\$8,712	\$8,712	\$0	116183
R0103774	Commercial	0182511400040	\$445,700	\$445,700	\$0	116608
R0103775	Commercial	0182511400049	\$55,539	\$55,539	\$0	116609
R0103780	Commercial	0182511400064	\$75,903	\$75,903	\$0	116616
R0103781	Industrial	0182511402001	\$8,320,563	\$8,320,563	\$0	116617
R0103796	Commercial	0182511408001	\$1,257,768	\$1,257,768	\$0	116183
R0104113	Commercial	0182515200008	\$953,000	\$953,000	\$0	116502
R0104119	Commercial	0182515200014	\$6,456,000	\$6,456,000	\$0	116295
R0104125	Commercial	0182515202005	\$1,856,000	\$1,856,000	\$0	116303
R0104130	Industrial	0182515202010	\$143,712	\$143,712	\$0	116396
R0104135	Commercial	0182515206002	\$4,316,400	\$4,316,400	\$0	116582
R0104397	Residential	0182516213012	\$505,822	\$505,822	\$0	115700
R0105460	Commercial	0182518231003	\$60,984	\$60,984	\$0	116561
R0105461	Commercial	0182518231006	\$557,108	\$557,108	\$0	116562
R0106321	Residential	0157131325005	\$27,657,350	\$27,657,350	\$0	116164
R0107091	Residential	0171912410032	\$355,000	\$355,000	\$0	116082
R0107196	Residential	0171916226019	\$387,715	\$387,715	\$0	115971
R0107280	Residential	0171916228024	\$412,187	\$412,187	\$0	115572
R0107295	Residential	0171916228039	\$416,925	\$416,925	\$0	115573
R0107473	Residential	0157316005058	\$607,048	\$607,048	\$0	115806
R0107751	Commercial	0172129405020	\$3,960,000	\$3,960,000	\$0	116078
R0107864	Industrial	0182501402002	\$1,376,711	\$1,376,711	\$0	116605
R0107992	Commercial	0171906005024		\$985,246	\$0	115941
R0108160	Residential	0157325013004	\$409,225	\$409,225	\$0	115976
R0108352	Commercial	0182100011001		\$10,589,001	\$0	116366
R0108444	Commercial	0182502303012	\$2,231,941	\$2,231,941	\$0	116566
R0108532	Residential	0157316008042	\$783,512	\$783,512	\$0	115655
R0109965	Commercial	0182100011004	-	\$22,632,000	\$0	116072
R0110679	Commercial	0171920102043		\$4,313,396	\$0	115958
R0110770	Commercial	0182502105020		\$274,227	\$0	116208
R0110771	Commercial	0182502105021		\$132,617	\$0	116209
R0110772	Commercial	0182502105022		\$131,494	\$0	116210
R0110773	Commercial	0182502105023		\$131,497	\$0	116211

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Deny		· · · · · · · · · · · · · · · · · · ·				
R0110774	Commercial	0182502105024	\$132,617	\$132,617	\$0	116212
R0110809	Industrial	0171911101041	\$1,864,297	\$1,864,297	\$0	116352
R0110915	Industrial	0172115006005	\$3,965,944	\$3,965,944	\$0	116591
R0111444	Commercial	0157333006024	\$4,397,876	\$4,397,876	\$0	116583
R0111445	Commercial	0157333006024	\$374,398	\$374,398	\$0	116584
R0111527	Residential	0171908430039	\$441,467	\$441,467	\$0	115815
R0111560	Industrial	0182126011012	\$11,940,589	\$11,940,589	\$0	115877
R0111886	Residential	0171917118001	\$42,470,400	\$42,470,400	\$0	116417
R0111887	Residential	0171917118002	\$42,784,677	\$42,784,677	\$0	116417
R0111889	Residential	0182306406018	\$10,192,126	\$10,192,126	\$0	116165
R0111890	Residential	0182305101057	\$8,098,869	\$8,098,869	\$0	116166
R0111988	Residential	0157133013006	\$1,093,515	\$1,093,515	\$0	115623
R0112102	Commercial	0172132316016	\$532,109	\$532,109	\$0	116353
R0112160	Residential	0171904405136	\$290,000	\$290,000	\$0	115849
R0112255	Residential	0171908431004	\$62,085,772	\$62,085,772	\$0	115705
R0113537	Residential	0171907111022	\$660,000	\$660,000	ʻ \$ 0	115678
R0113636	Industrial	0172110005013	\$1,230,429	\$1,230,429	\$0	116627
R0113680	Residential	0157325013023	\$455,707	\$455,707	\$0	115580
R0113792	Commercial	0182504108024	\$810,316	\$810,316	\$0	116467
R0113837	Commercial	0171936305003	\$4,053,632	\$4,053,632	\$0	116593
R0114361	Residential	0171905323047	\$615,569	\$615,569	\$0	115726
R0114367	Residential	0171905323053	\$574,102	\$574,102	\$0	116149
R0114727	Commercial	0171912411011	\$1,518,867	\$1,518,867	\$0	116629
R0114765	Residential	0157316201034	\$875,127	\$875,127	\$0	116450
R0114808	Commercial	0172115009005	\$2,722,719	\$2,722,719	\$0	116547
R0114809	Industrial	0172115009006	\$1,205,229	\$1,205,229	\$0	116650
R0115204	Commercial	0182505407025	\$3,093,799	\$3,093,799	\$0	116632
R0115385	Residential	0157131323047	\$40,343,317	\$40,343,317	\$0	116312
R0115393	Residential	0157131323048	\$23,040,000	\$23,040,000	\$0	116313
R0115399	Residential	0157131323049	\$3,840,000	\$3,840,000	\$0	116315
R0115401	Residential	0157131323050	\$23,082	\$23,082	\$0	116314
R0115417	Industrial	0172115011001	\$729,143	\$729,143	\$0	116388
R0115926	Commercial	0157333005018	\$1,554,030	\$1,554,030	\$0	116371
R0116055	Industrial	0171911102051	\$1,760,000	\$1,760,000	\$0	116587
R0116056	Industrial	0171911102052	\$1,679,662	\$1,679,662	\$0	116643
R0116112	Industrial	0182318103006	\$813,078	\$813,078	\$0	116397
R0116833	Residential	0171904405210	\$291,260	\$291,260	\$0 \$0	115908
R0117477	Commercial	0182129301001	\$650,000	\$650,000	\$0	116227
R0117524	Residential	0157111301023	\$766,017	\$766,017	\$0	115630
R0117563	Residential	0157111302015	\$606,654	\$606,654	\$0 \$0	116106

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Deny						
R0118160	Commercial	0182132316016	\$2,194,169	\$2,194,169	\$0	116580
R0118729	Residential	0156703303001	\$540,000	\$540,000	\$0	116017
R0118939	Commercial	0171915109001	\$712,400	\$712,400	\$0	116289
R0119551	Commercial	0171922403010	\$1,440,000	\$1,440,000	\$0	116327
R0119605	Commercial	0172116302001	\$4,965,751	\$4,965,751	\$0	116570
R0120401	Residential	0155521400001	\$272,000	\$272,000	\$0	115767
R0121100	Commercial	0171917113007	\$3,249,948	\$3,249,948	\$0	116345
R0121103	Commercial	0171917113006	\$1,310,848	\$1,310,848	\$0	116550
R0121104	Commercial	0171917113008	\$681,109	\$681,109	\$0	116344
R0121106	Commercial	0171917113009	\$1,678,650	\$1,678,650	\$0	116468
R0121108	Commercial	0171917113011	\$2,299,229	\$2,299,229	\$0	116354
R0121188	Commercial	0157334401004	\$1,875,000	\$1,875,000	\$0	115878
R0121200	Residential	0171912301001	\$78,790,090	\$78,790,090	\$0	116541
R0121201	Residential	0171912301002	\$42,425,879	\$42,425,879	\$0	116541
R0121202	Residential	0171912301003	\$172,980	\$172,980	\$0	116541
R0121203	Residential	0171912301004	\$50,378	\$50,378	\$0	116541
R0121417	Residential	0171905402010	\$1,050,000	\$1,050,000	\$0	115828
R0121623	Residential	0156702302002	\$530,541	\$530,541	\$0	116117
R0122268	Commercial	0181333421015	\$429,125	\$429,125	\$0	116235
R0122444	Residential	0156304300001	\$529,000	\$529,000	\$0	115663
R0122805	Residential	0172102413010	\$413,957	\$413,957	\$0	116015
R0123248	Commercial	0182127301003	\$21,353,470	\$21,353,470	\$0	115880
R0123887	Residential	0156909110033	\$502,443	\$502,443	\$0	115564
R0124558	Residential	0157335303002	\$100,607,999	\$100,607,999	\$0	116506
R0125310	Residential	0171922307050	\$38,309,917	\$38,309,917	\$0	116540
R0125423	Residential	0171907129001	\$58,012,500	\$58,012,500	\$0	116418
R0125743	Residential	0157115302004	\$699,646	\$699,646	\$0	116107
R0125792	Residential	0157115401018	\$601,156	\$601,156	\$0	115912
R0127861	Residential	0182506416007		\$551,761	\$0	115562
R0128573	Residential	0157335403019	\$69,629,190	\$69,629,190	\$0	116422
R0129031	Commercial	0171922102008	\$9,686,842	\$9,686,842	\$ 0	115762
R0129054	Industrial	0182508103012	\$1,198,561	\$1,198,561	\$0	116606
R0129242	Residential	0157335403020	\$76,705,383	\$76,705,383	\$0	116422
R0129573	Residential	0171914109069		\$476,254	\$0	116162
R0129961	Commercial	0182510201007		\$1,565,352	\$0	116435
R0129963	Residential	0182518253004		\$17,157,603	\$0	116310
R0129979	Residential	0171908202021		\$453,095	\$0	116121
R0130553	Residential	0157324304006	-	\$445,842	\$0	116110
R0131306	Industrial	0156911106010		\$4,632,936	\$0	116342
R0131307	Commercial	0156911106009		\$4,670,000	\$0	116174
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Deny						
R0131378	Residential	0182518253002	\$12,868,202	\$12,868,202	\$0	116309
R0131483	Residential	0171907416025	\$408,259	\$408,259	\$0	116237
R0131491	Residential	0171907416033	\$428,935	\$428,935	\$0	115648
R0131657	Residential	0157324320005	\$526,619	\$526,619	\$0	115709
R0131710	Residential	0157324316008	\$489,556	\$489,556	\$0	116256
R0132030	Commercial	0182127102002	\$11,948,470	\$11,948,470	\$0	115873
R0132031	Commercial	0182127102001	\$15,334,000	\$15,334,000	\$0	115876
R0133383	Commercial	0182502403044	\$1,470,578	\$1,470,578	\$0	116563
R0134498	Residential	0171914126017	\$432,478	\$432,478	\$0	115706
R0134918	Residential	0156917304022	\$429,726	\$429,726	\$0	115560
R0135850	Residential	0171914201017	\$115,539,998	\$115,539,998	\$0	116510
R0136843	Residential	0182518253005	\$9,394	\$9,394	\$0	116308
R0137096	Industrial	0172115101004	\$1,643,951	\$1,643,951	\$0	116336
R0137097	Industrial	0172115101005	\$1,473,726	\$1,473,726	\$0	116346
R0137130	Residential	0156915201002	\$19,876,326	\$19,876,326	\$0	116037
R0137585	Commercial	0172117402002	\$1,193,090	\$1,193,090	\$0	116634
R0137597	Commercial	0182510302018	\$5,941,956	\$5,941,956	\$0	116302
R0138738	Commercial	0171910302007	\$46,479,334	\$46,479,334	\$0	116511
R0138739	Commercial	0171910302014	\$1,199,641	\$1,199,641	\$0	116512
R0138740	Commercial	0171910302013	\$1,391,501	\$1,391,501	\$0	116513
R0138741	Commercial	0171910302012	\$527,877	\$527,877	\$0 ~	116514
R0138742	Commercial	0171910302011	\$802,900	\$802,900	\$0	116516
R0138743	Commercial	0171910302010	\$365,500	\$365,500	\$0	116517
R0138744	Commercial	0171910302009	\$672,345	\$672,345	\$0	116518
R0138745	Commercial	0171910302008	\$4,337,105	\$4,337,105	\$0	115891
R0139062	Commercial	0172110108001	\$1,034,550	\$1,034,550	\$0	116555
R0139063	Commercial	0172110108001	\$1,633,736	\$1,633,736	\$0	116556
R0139643	Residential	0156903216023	\$401,887	\$401,887	\$0	115863
R0141211	Residential	0171905314105	\$403,620	\$403,620	\$0	115649
R0142131	Commercial	0182503103028	\$12,823,926	\$12,823,926	\$0	116491
R0142132	Industrial	0182503103027	\$448,086	\$448,086	\$0	116391
R0142135	Industrial	0182126101001	\$15,682,166	\$15,682,166	\$0	116356
R0143630	Residential	0171907304007	\$743,220	\$743,220	\$0	115830
R0143940	Residential	0171911405019	\$94,496,790	\$94,496,790	\$0	116040
R0143953	Residential	0171907424002	\$685,176	\$685,176	\$0	116147
R0143958	Residential	0171907301037	\$680,006	\$680,006	\$0	115647
R0144115	Residential	0172309301058	\$380,431	\$380,431	\$0	115686
R0144704	Residential	0172309327004	\$575,179	\$575,179	\$0	116158
R0144858	Residential	0171914316025	\$451,894	\$451,894	\$0	116160
R0145691	Industrial	0182509104008	\$407,918	\$407,918	\$0	116572

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Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Deny	_					
R0145692	Industrial	0182509104009	\$2,042,922	\$2,042,922	\$0	116573
R0145696	Commercial	0182517104050	\$1,390,000	\$1,390,000	\$0	116326
R0145915	Commercial	0182120402002	\$9,395,400	\$9,395,400	\$0	116304
R0146528	Residential	0172105318007	\$386,662	\$386,662	\$0	115676
R0147228	Residential	0156714101032	\$554,291	\$554,291	\$0	115832
R0147759	Residential	0171905408029	\$688,699	\$688,699	\$0	11598(
R0147777	Residential	0171905409007	\$693,198	\$693,198	\$0	116148
R0149401	Residential	0172317419003	\$360,034	\$360,034	\$0	115574
R0149892	Residential	0172305203012	\$403,036	\$403,036	\$0	115638
R0151164	Residential	0172305310031	\$451,557	\$451,557	\$0	116097
R0151445	Commercial	0171915102028	\$6,356,880	\$6,356,880	\$0	116420
R0151448	Commercial	0157119301010	\$1,714,001	\$1,714,001	\$0	11663
R0151835	Commercial	0157335203001	\$8,101,163	\$8,101,163	\$0	11662
R0151947	Commercial	0182508300067	\$704,000	\$704,000	\$0	11556
R0152152	Residential	0172308309005	\$397,172	\$397,172	\$0	11574
R0153352	Residential	0157105304034	\$693,300	\$693,300	\$0	11643
R0153645	Residential	0172316226011	\$407,205	\$407,205	\$0	11615
R0153652	Residential	0172316214009	\$452,554	\$452,554	\$0	11570
R0153739	Residential	0172316231010	\$428,890	\$428,890	\$0	11601
R0155005	Residential	0171908431035	\$311,264	\$311,264	\$0	11596
R0155124	Commercial	0171927118018	\$28,829,000	\$28,829,000	\$0	11601
R0155542	Residential	0182110416146	\$182,000	\$182,000	\$0	11567
R0155956	Residential	0171919415020	\$453,000	\$453,000	\$0	11624
R0156418	Residential	0157133103015	\$795,707	\$795,707	\$0	11571:
R0156475	Residential	0157302110013	\$521,043	\$521,043	\$0	11610
R0156593	Commercial	0182334429025	\$948,967	\$948,967	\$0	11666
R0157856	Residential	0172316302003	\$504,243	\$504,243	\$0	11615
R0158255	Commercial	0171909117163	\$509,000	\$509,000	\$0	11600
R0158500	Commercial	0182502401040	\$2,447,140	\$2,447,140	\$0	11656
R0159375	Commercial	0182120403001	\$11,265,000	\$11,265,000	\$0	116292
R0159439	Industrial	0182318203001	\$2,206,371	\$2,206,371	\$0	11635
R0160581	Residential	0156908402011	\$515,000	\$515,000	\$0	11601
R0160783	Residential	0157105201026	•	\$691,306	\$0	11568
R0160785	Residential	0157105201028	, ,	\$706,094	\$0	11560
R0160931	Residential	0157321105003	•	\$1,001,250	\$0	11566
R0160935	Residential	0157321105007		\$1,015,400	\$0	11593
R0161111	Industrial	0181931301004	· -	\$16,992,775	\$0	11628
R0161630	Industrial	0182508103049		\$1,349,267	\$0	11645
R0161631	Residential	0182508103050		\$100	\$0	11646
R0161633	Industrial	0182508103051	\$710,573	\$710,573	\$0	11606

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R0161635 Residential 0182508103053 \$100 \$100 \$0 11646 R0161887 Commercial 0172121202001 \$1,875,000 \$468,000 \$468,000 \$0 116293 R0162675 Residential 0172111401002 \$159,520 \$0 116187 R0162676 Residential 0172111401001 \$119,952 \$119,952 \$0 116187 R0162676 Residential 0171906119027 \$480,000 \$480,000 \$0 11555 R0164303 Commercial 0182134101008 \$988,026 \$50 116633 R0167476 Residential 0157324203013 \$520,903 \$520,903 \$0 115624 R0168037 Commercial 0157324106057 \$446,453 \$0 115624 R016856 Commercial 0182129404001 \$1,422,081 \$1,422,081 \$0 115624 R0168574 Commercial 0182129404001 \$1,422,081 \$0 116347 R0169033 Commercial 0182128102003 \$1,901,400 <th>Account #</th> <th>Account Type</th> <th>Parcel #</th> <th>Current Total Value</th> <th>BOE Total Value</th> <th>Difference</th> <th>Review #</th>	Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
R0161635 Residential 0182508103053 \$100 \$100 \$0 116460 R0161887 Commercial 0172121202001 \$1,875,000 \$1,875,000 \$0 116291 R0162675 Residential 0172111401002 \$159,520 \$0 116187 R0162676 Residential 0172111401001 \$119,952 \$119,952 \$0 116187 R0162676 Residential 0172111401001 \$119,952 \$199,952 \$0 116660 R0164303 Commercial 0182134101008 \$988,026 \$58,022,459 \$0 116660 R016792 Residential 015732203002 \$5,202,459 \$0 115622 R0168037 Residential 0157324100057 \$446,453 \$0 115624 R016856 Commercial 0182128102003 \$1,901,400 \$1,422,081 \$0 116476 R016903 Genmercial 0187332401012 \$1,275,001 \$1,275,83 \$0 115624 R0169048 Residential 0171914318070 \$1,52	Deny	· · · · · · · · · · · · · · · · · · ·	·				
R0161887 Commercial 0172121202001 \$1,875,000 \$1,875,000 \$468,000 \$0 11578 R0162675 Residential 017211401002 \$159,520 \$159,520 \$0 116188 R0162676 Residential 0172111401001 \$119,552 \$0 116188 R0162676 Residential 017211401002 \$159,520 \$119,952 \$0 116188 R0163244 Residential 017211401008 \$988,026 \$988,026 \$0 116604 R0164303 Commercial 015732209002 \$5,202,459 \$0 116632 R0167992 Residential 0157324103013 \$444,221 \$444,623 \$0 115624 R0168030 Residential 0157324106057 \$446,6453 \$446,453 \$0 115648 R0168586 Commercial 0182128102003 \$1,901,400 \$1,901,400 \$0 116474 R0169033 Commercial 017313216047 \$545,000 \$545,000 \$0 115672 R0169173 Commercial </td <td>R0161634</td> <td>Industrial</td> <td>0182508103052</td> <td>\$552,541</td> <td>\$552,541</td> <td>\$0</td> <td>116393</td>	R0161634	Industrial	0182508103052	\$552,541	\$552,541	\$0	116393
R0162311 Residential 0157129218007 \$468,000 \$468,000 \$0 11578- R0162675 Residential 0172111401001 \$119,952 \$0 11618 R0162676 Residential 0172111401001 \$119,952 \$0 11618 R016324 Residential 0172111401001 \$119,952 \$0 11660- R0164255 Commercial 0182134101008 \$988,026 \$988,026 \$0 11660- R01642303 Commercial 0157324203013 \$520,903 \$0 115624 R0167902 Residential 0157324113003 \$444,221 \$444,421 \$0 115624 R0168030 Residential 0157324106057 \$446,453 \$446,453 \$0 11564 R0168574 Commercial 0182128102003 \$1,901,400 \$1,901,400 \$0 116476 R0169037 Commercial 017914318070 \$1,273,001 \$1,275,001 \$101757 R0169104 Residential 0173332401012 \$1,275,001 \$1,275,001	R0161635	Residential	0182508103053	\$100	\$100	\$0	116460
R0162675 Residential 0172111401002 \$159,520 \$159,520 \$0 116184 R0162676 Residential 0172111401001 \$119,952 \$119,952 \$0 116184 R0163244 Residential 0171906119027 \$480,000 \$480,000 \$0 116563 R0164255 Commercial 0157302209002 \$5,202,459 \$5,202,459 \$0 116663 R0167476 Residential 0157324100037 \$446,453 \$444,6453 \$0 115664 R0168030 Residential 0157324106057 \$446,453 \$446,453 \$0 115647 R0168037 Commercial 0182128102003 \$1,901,400 \$1,901,400 \$0 116474 R0169033 Commercial 018128102003 \$1,901,400 \$1,901,400 \$0 116174 R0169033 Commercial 01872181070 \$1,275,001 \$0 116174 R0169173 Commercial 0187313216047 \$545,000 \$545,000 \$0 116175 R01708076 Resid	R0161887	Commercial	0172121202001	\$1,875,000	\$1,875,000	\$0	116298
R0162676 Residential 0172111401001 \$119,952 \$119,952 \$119,952 \$0 11618'' R0163244 Residential 0171906119027 \$440,000 \$480,000 \$0 11553 R0164303 Commercial 0182134101008 \$988,026 \$988,026 \$0 116633 R0164303 Commercial 015732209002 \$5,202,459 \$5,202,459 \$0 11564 R016792 Residential 0157324106057 \$446,453 \$0 115564 R0168576 Commercial 0182129404001 \$1,422,081 \$1,422,081 \$0 116476 R0169033 Commercial 0171914318070 \$1,523,292 \$1,523,292 \$0 115526 R0169133 Commercial 017313216047 \$1,275,001 \$0 11617 R0169233 Residential 0157313216047 \$528,000 \$528,000 \$0 11577 R0170924 Residential 0157132402066 \$571,000 \$0 11677 R0172825 Commercial 015716240	R0162311	Residential	0157129218007	\$468,000	\$468,000	\$0	115784
R0163244 Residential 0171906119027 \$480,000 \$480,000 \$50 11555 R0164255 Commercial 0187302209002 \$5,202,459 \$5,202,459 \$50 116633 R0164303 Commercial 0157302209002 \$5,202,459 \$5,202,459 \$50 116524 R016792 Residential 015732413003 \$444,221 \$444,221 \$0 115524 R0168030 Residential 0157324106057 \$446,453 \$446,453 \$0 115564 R0168574 Commercial 0182129404001 \$1,422,081 \$1,422,081 \$0 116524 R0168574 Commercial 0182128102003 \$1,901,400 \$1,923,292 \$0 115624 R0169133 Commercial 0157332401012 \$1,275,001 \$0 116171 R0169023 Residential 015733240007 \$528,000 \$528,000 \$0 116172 R0170976 Residential 0157116124032 \$598,306 \$598,306 \$0 115601 R0170822 R	R0162675	Residential	0172111401002	\$159,520	\$159,520	\$0	116186
R0164255 Commercial 0182134101008 \$988,026 \$988,026 \$\$0 116604 R0164303 Commercial 0157302209002 \$\$5,202,459 \$\$0 116634 R016792 Residential 0157324203013 \$\$20,903 \$\$20,903 \$\$0 115624 R0168030 Residential 0157324113003 \$\$444,221 \$\$444,453 \$\$0 115624 R0168030 Residential 0157324106057 \$\$446,453 \$\$446,453 \$\$0 115624 R01680574 Commercial 0182129404001 \$\$1,422,081 \$\$1,422,081 \$\$0 116549 R0169033 Commercial 0182128102003 \$\$1,901,400 \$\$0 11647 R0169033 Commercial 0157332401012 \$\$1,275,001 \$\$1,275,001 \$\$0 11617 R0169173 Commercial 0157313216047 \$\$545,000 \$\$0 116175 R0170926 Residential 0157116124039 \$\$00,670 \$\$00,670 \$\$0 115560 R0172825 Commercial 015733305005	R0162676	Residential	0172111401001	\$119,952	\$119,952	\$0	116187
R0164303 Commercial 0157302209002 \$5,202,459 \$5,202,459 \$0 116633 R0167476 Residential 0157324203013 \$520,903 \$\$20,903 \$\$0 115684 R0167992 Residential 0157324113003 \$444,221 \$444,221 \$\$0 115624 R0168574 Commercial 0182129404001 \$1,422,081 \$1,422,081 \$0 115564 R0168586 Commercial 0182128102003 \$1,901,400 \$1,901,400 \$0 1166476 R0169033 Commercial 0181333103008 \$375,583 \$30 115562 R0169104 Residential 0157332401012 \$1,275,001 \$1,275,001 \$0 116176 R0169203 Residential 015713216047 \$545,000 \$545,000 \$0 11575 R0169231 Residential 01571313216047 \$545,000 \$545,000 \$0 11575 R0170926 Residential 0157133220606 \$571,000 \$500,670 \$0 115602 R0172826 <td< td=""><td>R0163244</td><td>Residential</td><td>0171906119027</td><td>\$480,000</td><td>\$480,000</td><td>\$0</td><td>115558</td></td<>	R0163244	Residential	0171906119027	\$480,000	\$480,000	\$0	115558
R0167476 Residential 0157324203013 \$520,903 \$520,903 \$0 115684 R0167992 Residential 0157324113003 \$446,453 \$444,221 \$444,221 \$0 115623 R0168030 Residential 0157324106057 \$446,453 \$446,453 \$0 115623 R0168574 Commercial 0182128102003 \$1,901,400 \$1,422,081 \$0 116543 R0169033 Commercial 0182128102003 \$1,901,400 \$1,523,292 \$0 115624 R0169173 Commercial 0181333103008 \$375,583 \$375,583 \$0 115675 R0169173 Commercial 0157332401012 \$1,275,001 \$1,275,001 \$0 116117 R0169203 Residential 0157116124032 \$549,000 \$500,670 \$0 115757 R0170976 Residential 0157116124032 \$598,306 \$598,306 \$0 116601 R0172825 Commercial 0157332402006 \$571,000 \$4,000,000 \$4,000,000 \$0	R0164255	Commercial	0182134101008	\$988,026	\$988,026	\$0	116604
R0167992 Residential 0157324113003 \$444,221 \$444,221 \$0 115624 R0168030 Residential 0157324106057 \$446,453 \$446,453 \$0 115564 R0168574 Commercial 0182129404001 \$1,422,081 \$1,422,081 \$0 116543 R0168586 Commercial 0182128102003 \$1,901,400 \$1,901,400 \$0 116470 R0169033 Commercial 0171914318070 \$1,523,292 \$1,523,292 \$0 115556 R0169104 Residential 0181333103008 \$375,583 \$375,583 \$0 115670 R0169203 Residential 0157313216047 \$\$45,000 \$545,000 \$0 115775 R0170921 Residential 0157116124039 \$500,670 \$500,670 \$0 115569 R0170282 Residential 015733305005 \$4,000,000 \$4,000,000 \$0 116487 R0172825 Commercial 0182127103002 \$12,872,011 \$12,877,720 \$0 115877	R0164303	Commercial	0157302209002	\$5,202,459	\$5,202,459	\$ 0	116638
R0168030 Residential 0157324106057 \$446,453 \$446,453 \$0 115563 R0168574 Commercial 0182129404001 \$1,422,081 \$1,422,081 \$0 116549 R0169033 Commercial 0182128102003 \$1,901,400 \$1,901,400 \$0 116470 R0169033 Commercial 0171914318070 \$1,523,292 \$1,523,292 \$0 115624 R0169104 Residential 0187332401012 \$1,275,001 \$1,275,001 \$0 11617 R0169020 Residential 0157313216047 \$545,000 \$528,000 \$0 115752 R0170982 Residential 0157116124032 \$598,306 \$598,306 \$0 115660 R0172842 Commercial 0157332402006 \$571,000 \$71,000 \$0 116487 R0172845 Commercial 0157333305005 \$4,000,000 \$4,000,000 \$0 115872 R0172846 Commercial 0182136201001 \$24,430,547 \$24,430,547 \$0 116365	R0167476	Residential	0157324203013	\$520,903	\$520,903	\$ 0	115684
R0168574 Commercial 0182129404001 \$1,422,081 \$1,422,081 \$0 116549 R0168576 Commercial 0182128102003 \$1,901,400 \$1,901,400 \$0 116470 R0169033 Commercial 0171914318070 \$1,523,292 \$1,523,292 \$0 115624 R0169173 Commercial 0157332401012 \$1,275,001 \$0 116178 R0169203 Residential 015713216047 \$545,000 \$5528,000 \$0 115779 R0170976 Residential 0157116124032 \$598,306 \$598,306 \$0 115696 R0170976 Residential 0157116124032 \$598,306 \$598,306 \$0 115696 R0172322 Residential 0157333305005 \$4,000,000 \$4,000,000 \$0 116867 R0172848 Commercial 0182127013002 \$12,872,011 \$0 115872 R0172868 Commercial 0182120401004 \$1,709,763 \$0 116325 R0173560 Commercial 0157336315001	R0167992	Residential	0157324113003	\$444,221	\$444,221	\$0	115628
R0168586 Commercial 0182128102003 \$1,901,400 \$1,901,400 \$0 116470 R0169033 Commercial 0171914318070 \$1,523,292 \$1,523,292 \$0 115624 R0169104 Residential 0181333103008 \$375,583 \$375,583 \$0 115624 R0169173 Commercial 0157332401012 \$1,275,001 \$1,275,001 \$0 116177 R0169203 Residential 0157313216047 \$\$545,000 \$528,000 \$0 115775 R0170982 Residential 0157116124039 \$500,670 \$500,670 \$0 115601 R0170982 Residential 0157116124032 \$598,306 \$598,306 \$0 116696 R0172825 Commercial 015733305005 \$4,000,000 \$4,000,000 \$0 116487 R0172848 Commercial 0182127103002 \$12,872,011 \$12,872,011 \$0 115877 R0173650 Commercial 0182127103003 \$12,067,720 \$12,067,720 \$0 116437	R0168030	Residential	0157324106057	\$446,453	\$446,453	\$0	115568
R0169033 Commercial 0171914318070 \$1,523,292 \$1,523,292 \$0 115624 R0169104 Residential 0181333103008 \$375,583 \$375,583 \$0 115624 R0169173 Commercial 0157332401012 \$1,275,001 \$1,275,001 \$0 116173 R0169203 Residential 0157313216047 \$545,000 \$545,000 \$0 115775 R0170831 Residential 0157116124032 \$598,306 \$500,670 \$0 115755 R0170982 Residential 0157116124032 \$598,306 \$571,000 \$0 115690 R0172825 Commercial 015733305005 \$4,000,000 \$4,000,000 \$0 116847 R0172848 Commercial 0182127103002 \$12,872,011 \$0 115871 R0173650 Commercial 0182127103003 \$12,067,720 \$12,067,720 \$0 116351 R0173564 Commercial 0182127103003 \$12,067,720 \$0 116437 R0173569 Commercial	R0168574	Commercial	0182129404001	\$1,422,081	\$1,422,081	\$0	116549
R0169104 Residential 0181333103008 \$375,583 \$375,583 \$0 115850 R0169173 Commercial 0157332401012 \$1,275,001 \$1,275,001 \$0 116173 R0169203 Residential 0157313216047 \$545,000 \$545,000 \$0 115175 R0170831 Residential 0157116124039 \$500,670 \$500,670 \$0 115755 R0170976 Residential 0157116124032 \$598,306 \$598,306 \$0 115600 R0172322 Residential 01571332402006 \$571,000 \$571,000 \$0 116847 R0172825 Commercial 018212621001 \$24,430,547 \$0 115870 R0172848 Commercial 0182127103002 \$12,067,720 \$12,067,720 \$0 115871 R0173650 Commercial 0182127103003 \$12,067,720 \$12,067,720 \$0 116357 R0173650 Commercial 0182127103003 \$12,067,720 \$12,067,720 \$0 116425 R0173564	R0168586	Commercial	0182128102003	\$1,901,400	\$1,901,400	\$0	116470
R0169173 Commercial 0157332401012 \$1,275,001 \$1,275,001 \$0 116174 R0169203 Residential 0157313216047 \$545,000 \$545,000 \$0 116173 R0170831 Residential 0157109418067 \$528,000 \$528,000 \$0 115752 R0170976 Residential 0157116124032 \$598,306 \$598,306 \$0 115601 R0172322 Residential 0157333402006 \$571,000 \$571,000 \$0 116487 R0172825 Commercial 0182136201001 \$24,430,547 \$24,430,547 \$0 116366 R0172867 Commercial 0182127103002 \$12,872,011 \$12,872,011 \$0 115877 R0172868 Commercial 0182127103003 \$12,067,720 \$0 116351 R0173562 Commercial 0182127103003 \$12,050,000 \$1,20,000 \$0 116351 R0173564 Commercial 01821201003 \$1,250,000 \$1,250,000 \$0 116351 R0173750	R0169033	Commercial	0171914318070	\$1,523,292	\$1,523,292	\$0	115624
R0169203Residential0157313216047\$545,000\$545,000\$0116113R0170831Residential0157109418067\$528,000\$528,000\$0115775R0170976Residential0157116124039\$500,670\$500,670\$0115752R0170982Residential0157116124032\$598,306\$598,306\$0115601R0172322Residential0157332402006\$571,000\$571,000\$0116692R0172825Commercial0182136201001\$24,430,547\$24,430,547\$0116369R0172867Commercial0182127103002\$12,872,011\$12,872,011\$0115877R0172868Commercial0182127103003\$12,067,720\$12,067,720\$0116351R0173562Commercial0182120401004\$1,709,763\$1,709,763\$0116351R0173564Commercial015733615001\$1,250,000\$1,250,000\$0116351R0173575Residential0172107319002\$969,787\$969,787\$0116327R0173730Commercial0156921201003\$7,371,282\$7,371,282\$0116542R0173756Residential018233610001\$42,656,986\$42,656,986\$0116542R01737801Commercial0172112303077\$209,088\$209,088\$0116542R0173805Commercial0172112303073\$240,512\$240,512\$0116243R0173806Commercial0172112303073\$240,512\$240,512	R0169104	Residential	0181333103008	\$375,583	\$375,583	\$0	115850
R0170831Residential0157109418067\$528,000\$522,000\$0115779R0170976Residential0157116124039\$500,670\$500,670\$0115752R0170982Residential0157116124032\$598,306\$598,306\$0115600R0172322Residential0157332402006\$571,000\$571,000\$0116690R0172825Commercial015733305005\$4,000,000\$4,000,000\$0116487R0172848Commercial0182136201001\$24,430,547\$24,430,547\$0116369R0172867Commercial0182127103002\$12,872,011\$12,872,011\$0115872R0172868Commercial0182127103003\$12,067,720\$12,067,720\$0116351R0173562Commercial0182120401004\$1,709,763\$1,709,763\$0116257R0173569Commercial0172107319002\$969,787\$969,787\$0116437R0173700Residential017904403058\$375,861\$375,861\$0116254R0173730Commercial0156921201003\$7,371,282\$7,371,282\$0115826R0173757Residential0182336201002\$45,976,053\$45,976,053\$0116542R0173801Commercial0172112303077\$209,088\$209,088\$0115868R0173805Commercial0172112303073\$240,512\$240,512\$0116243R0173805Commercial0172112303073\$240,512\$240,512 </td <td>R0169173</td> <td>Commercial</td> <td>0157332401012</td> <td>\$1,275,001</td> <td>\$1,275,001</td> <td>\$0</td> <td>116178</td>	R0169173	Commercial	0157332401012	\$1,275,001	\$1,275,001	\$0	116178
R0170976Residential0157116124039\$500,670\$500,670\$0115752R0170982Residential0157116124032\$598,306\$598,306\$0115600R0172322Residential0157332402006\$571,000\$571,000\$0115690R0172825Commercial015733305005\$4,000,000\$4,000,000\$0116487R0172848Commercial018212601001\$24,430,547\$24,430,547\$0116369R0172867Commercial0182127103002\$12,872,011\$12,872,011\$0115872R0173868Commercial0182127103003\$12,067,720\$12,067,720\$0116351R0173569Commercial0157336315001\$1,250,000\$1,250,000\$0116351R0173570Residential0172107319002\$969,787\$969,787\$0116427R0173730Commercial0156921201003\$7,371,282\$7,371,282\$0115826R0173756Residential0182336106001\$42,656,986\$42,656,986\$0116542R0173801Commercial0172112303077\$209,088\$209,088\$0115868R0173805Commercial0172112303073\$240,512\$0116237R0173805Commercial0172112303073\$240,512\$0116247R0173805Commercial0172112303073\$240,512\$0116247R0173806Commercial0172112303073\$240,512\$0116247R0173806Commercial	R0169203	Residential	0157313216047	\$545,000	\$545,000	\$0	116113
R0170982Residential0157116124032\$598,306\$598,306\$508,306\$0115601R0170982Residential0157116124032\$598,306\$598,306\$0115690R0172322Residential0157333305005\$4,000,000\$4,000,000\$0116487R0172825Commercial0182136201001\$24,430,547\$24,430,547\$0116369R0172848Commercial0182127103002\$12,872,011\$12,872,011\$0115872R0172868Commercial0182127103003\$12,067,720\$12,067,720\$0115872R0173562Commercial0182120401004\$1,709,763\$1,709,763\$0116437R0173569Commercial0157336315001\$1,250,000\$1,250,000\$0116437R0173570Residential0171904403058\$375,861\$375,861\$011623R0173730Commercial0156921201003\$7,371,282\$7,371,282\$0115422R0173757Residential0182336106001\$42,656,986\$42,656,986\$0116423R0173801Commercial0172112303077\$209,088\$209,088\$0115628R0173805Commercial0172112303073\$240,512\$240,512\$0116235R0173805Commercial0172112303073\$240,512\$240,512\$0116242R0173806Commercial0172112303073\$240,512\$240,512\$0116242R0173806Commercial0172112303073\$240,5	R0170831	Residential	0157109418067	\$528,000	\$528,000	\$0	115779
R0172322Residential0157332402006\$571,000\$571,000\$0115696R0172825Commercial015733305005\$4,000,000\$4,000,000\$0116487R0172848Commercial0182136201001\$24,430,547\$24,430,547\$0116369R0172867Commercial0182127103002\$12,872,011\$12,872,011\$0115872R0172868Commercial0182127103003\$12,067,720\$12,067,720\$0116357R0173862Commercial0182120401004\$1,709,763\$1,709,763\$0116357R0173562Commercial0157336315001\$1,250,000\$1,250,000\$0116357R0173579Commercial0172107319002\$969,787\$969,787\$0116427R0173700Residential0171904403058\$375,861\$375,861\$0116542R0173730Commercial0156921201003\$7,371,282\$7,371,282\$0115426R0173756Residential0182336106001\$42,656,986\$42,656,986\$0116542R0173801Commercial0172112303077\$209,088\$209,088\$01156868R0173803Commercial0172112303073\$240,512\$0116242R0173805Commercial0172112303073\$240,512\$240,512\$0116242R0173805Commercial0172112303073\$240,512\$240,512\$0116242R0173805Commercial0172112303073\$240,512\$240,512\$0	R0170976	Residential	0157116124039	\$500,670	\$500,670	\$0	115752
R0172825Commercial015733305005\$4,000,000\$4,000,000\$0116487R0172848Commercial0182136201001\$24,430,547\$24,430,547\$0116369R0172867Commercial0182127103002\$12,872,011\$12,872,011\$0115872R0172868Commercial0182127103003\$12,067,720\$12,067,720\$0115871R0173562Commercial0182120401004\$1,709,763\$1,709,763\$0116351R0173569Commercial0172107319002\$969,787\$969,787\$0116437R0173670Residential0171904403058\$375,861\$375,861\$0116123R0173730Commercial0156921201003\$7,371,282\$7,371,282\$0116542R0173756Residential0182336106001\$42,656,986\$42,656,986\$0116542R0173801Commercial0172112303077\$209,088\$209,088\$0116542R0173805Commercial0172112303073\$240,512\$240,512\$0116249R0173805Commercial0172112303073\$240,512\$240,512\$0116240R0173806Commercial0172112303073\$240,512\$205,740\$0116245R0173806Commercial0172112303072\$205,740\$205,740\$0116245R0174859Commercial0157135101001\$1,943,677\$1,943,677\$0116201	R0170982	Residential	0157116124032	\$598,306	\$598,306	\$0	115601
R0172848Commercial0182136201001\$24,430,547\$24,430,547\$0116369R0172867Commercial0182127103002\$12,872,011\$12,872,011\$0115872R0172868Commercial0182127103003\$12,067,720\$12,067,720\$0115871R0173562Commercial0182120401004\$1,709,763\$1,709,763\$0116257R0173569Commercial0157336315001\$1,250,000\$1,250,000\$0116351R0173584Commercial0172107319002\$969,787\$969,787\$0116437R0173670Residential0171904403058\$375,861\$375,861\$0116123R0173730Commercial0156921201003\$7,371,282\$7,371,282\$0116542R0173756Residential018236201002\$45,976,053\$45,976,053\$0116542R0173801Commercial0172112303077\$209,088\$209,088\$0116239R0173805Commercial0172112303073\$240,512\$240,512\$0116240R0173806Commercial0172112303072\$205,740\$205,740\$0116241R0174687Residential0182505310035\$500,000\$500,000\$0116245R0174859Commercial0157135101001\$1,943,677\$1,943,677\$0116201	R0172322	Residential	0157332402006	\$571,000	\$571,000	\$0	115696
R0172867Commercial0182127103002\$12,872,011\$12,872,011\$0115872R0172868Commercial0182127103003\$12,067,720\$12,067,720\$0115871R0173562Commercial0182120401004\$1,709,763\$1,709,763\$0116257R0173569Commercial0157336315001\$1,250,000\$1,250,000\$0116351R0173584Commercial0172107319002\$969,787\$969,787\$0116437R0173670Residential0171904403058\$375,861\$375,861\$0116123R0173730Commercial0156921201003\$7,371,282\$7,371,282\$0115826R0173756Residential0182336106001\$42,656,986\$42,656,986\$0116542R0173757Residential0182336201002\$45,976,053\$45,976,053\$0116239R0173801Commercial0172112303077\$209,088\$209,088\$0116239R0173805Commercial0172112303075\$235,026\$235,026\$0116249R0173806Commercial0172112303072\$205,740\$205,740\$0116241R0173806Commercial0172112303072\$205,740\$205,740\$0116241R0173806Commercial0172112303075\$500,000\$500,000\$0116241R0174687Residential0182505310035\$500,000\$500,000\$0116241R0174859Commercial0157135101001\$1,943,677\$1,943,6	R0172825	Commercial	0157333305005	\$4,000,000	\$4,000,000	\$0	116487
R0172868Commercial0182127103003\$12,067,720\$12,067,720\$0115871R0173562Commercial0182120401004\$1,709,763\$1,709,763\$0116257R0173569Commercial0157336315001\$1,250,000\$1,250,000\$0116351R0173584Commercial0172107319002\$969,787\$969,787\$0116437R0173670Residential0171904403058\$375,861\$375,861\$0116123R0173730Commercial0156921201003\$7,371,282\$7,371,282\$0115826R0173756Residential0182336106001\$42,656,986\$42,656,986\$0116542R0173757Residential0182336201002\$45,976,053\$45,976,053\$0116239R0173801Commercial0172112303077\$209,088\$209,088\$0116249R0173805Commercial0172112303073\$240,512\$240,512\$0116249R0173806Commercial0172112303072\$205,740\$205,740\$0116241R0174687Residential0182505310035\$500,000\$500,000\$0116245R0174859Commercial0157135101001\$1,943,677\$1,943,677\$0116201	R0172848	Commercial	0182136201001	\$24,430,547	\$24,430,547	\$0	116369
R0173562Commercial0182120401004\$1,709,763\$1,709,763\$1,709,763\$0116257R0173569Commercial0157336315001\$1,250,000\$1,250,000\$0116351R0173584Commercial0172107319002\$969,787\$969,787\$0116437R0173670Residential0171904403058\$375,861\$375,861\$0116123R0173730Commercial0156921201003\$7,371,282\$7,371,282\$0115826R0173756Residential0182336106001\$42,656,986\$42,656,986\$0116423R0173757Residential0182336201002\$45,976,053\$45,976,053\$0116237R0173801Commercial0172112303077\$209,088\$209,088\$0115868R0173803Commercial0172112303075\$235,026\$235,026\$0116247R0173806Commercial0172112303072\$205,740\$0116241R0174687Residential0182505310035\$500,000\$500,000\$0116245R0174859Commercial0157135101001\$1,943,677\$1,943,677\$0116240	R0172867	Commercial	0182127103002	\$12,872,011	\$12,872,011	\$0	115872
R0173569Commercial0157336315001\$1,250,000\$1,250,000\$0116351R0173584Commercial0172107319002\$969,787\$969,787\$0116437R0173670Residential0171904403058\$375,861\$375,861\$0116123R017370Commercial0156921201003\$7,371,282\$7,371,282\$0115826R0173756Residential0182336106001\$42,656,986\$42,656,986\$0116423R0173757Residential0182336201002\$45,976,053\$45,976,053\$0116542R0173801Commercial0172112303077\$209,088\$209,088\$0115868R0173803Commercial0172112303075\$235,026\$235,026\$0116239R0173805Commercial0172112303072\$205,740\$205,740\$0116241R0174687Residential0182505310035\$500,000\$500,000\$0116245R0174859Commercial0157135101001\$1,943,677\$1,943,677\$0116201	R0172868	Commercial	0182127103003	\$12,067,720	\$12,067,720	\$0	115871
R0173584Commercial0172107319002\$969,787\$969,787\$0116437R0173670Residential0171904403058\$375,861\$375,861\$0116123R0173730Commercial0156921201003\$7,371,282\$7,371,282\$0115826R0173756Residential0182336106001\$42,656,986\$42,656,986\$0116542R0173757Residential0182336201002\$45,976,053\$45,976,053\$0116542R0173801Commercial0172112303077\$209,088\$209,088\$0115868R0173803Commercial0172112303075\$235,026\$235,026\$0116239R0173805Commercial0172112303072\$205,740\$205,740\$0116241R0173806Commercial0172112303072\$205,740\$205,740\$0116245R0174687Residential0182505310035\$500,000\$500,000\$0116245R0174859Commercial0157135101001\$1,943,677\$1,943,677\$0116201	R0173562	Commercial	0182120401004	\$1,709,763	\$1,709,763	\$0	116257
R0173670Residential0171904403058\$375,861\$375,861\$0116123R0173730Commercial0156921201003\$7,371,282\$7,371,282\$0115826R0173756Residential0182336106001\$42,656,986\$42,656,986\$0116542R0173757Residential0182336201002\$45,976,053\$45,976,053\$0116542R0173801Commercial0172112303077\$209,088\$209,088\$0115868R0173803Commercial0172112303075\$235,026\$235,026\$0116240R0173805Commercial0172112303072\$240,512\$0116240R0173806Commercial0172112303072\$205,740\$205,740\$0116241R0174877Residential0182505310035\$500,000\$500,000\$0116245R0174859Commercial0157135101001\$1,943,677\$1,943,677\$0116201	R0173569	Commercial	0157336315001	\$1,250,000	\$1,250,000	\$0	116351
R0173730Commercial0156921201003\$7,371,282\$7,371,282\$0115826R0173756Residential0182336106001\$42,656,986\$42,656,986\$0116542R0173757Residential0182336201002\$45,976,053\$45,976,053\$0116542R0173801Commercial0172112303077\$209,088\$209,088\$0116542R0173803Commercial0172112303075\$235,026\$235,026\$0116240R0173805Commercial0172112303072\$240,512\$240,512\$0116240R0173806Commercial0172112303072\$205,740\$205,740\$0116241R0174687Residential0182505310035\$500,000\$500,000\$0116245R0174859Commercial0157135101001\$1,943,677\$1,943,677\$0116201	R0173584	Commercial	0172107319002	\$969,787	\$969,787	\$0	116437
R0173730Commercial0156921201003\$7,371,282\$7,371,282\$0115826R0173756Residential0182336106001\$42,656,986\$42,656,986\$0116542R0173757Residential0182336201002\$45,976,053\$45,976,053\$0116542R0173801Commercial0172112303077\$209,088\$209,088\$0115868R0173803Commercial0172112303075\$235,026\$235,026\$0116249R0173805Commercial0172112303073\$240,512\$240,512\$0116240R0173806Commercial0172112303072\$205,740\$205,740\$0116240R0174687Residential0182505310035\$500,000\$500,000\$0116245R0174859Commercial0157135101001\$1,943,677\$1,943,677\$0116201	R0173670	Residential	0171904403058	\$375,861	\$375,861	\$0	116123
R0173757Residential0182336201002\$45,976,053\$45,976,053\$0116542R0173801Commercial0172112303077\$209,088\$209,088\$0115868R0173803Commercial0172112303075\$235,026\$235,026\$0116239R0173805Commercial0172112303073\$240,512\$240,512\$0116240R0173806Commercial0172112303072\$205,740\$205,740\$0116241R0174687Residential0182505310035\$500,000\$500,000\$0116245R0174859Commercial0157135101001\$1,943,677\$1,943,677\$0116201	R0173730	Commercial	0156921201003	\$7,371,282	\$7,371,282	\$0	115826
R0173801Commercial0172112303077\$209,088\$209,088\$0115868R0173803Commercial0172112303075\$235,026\$235,026\$0116239R0173805Commercial0172112303073\$240,512\$240,512\$0116240R0173806Commercial0172112303072\$205,740\$205,740\$0116241R0174687Residential0182505310035\$500,000\$500,000\$0116245R0174859Commercial0157135101001\$1,943,677\$1,943,677\$0116201	R0173756	Residential	0182336106001	\$42,656,986	\$42,656,986	\$0	116542
R0173801Commercial0172112303077\$209,088\$209,088\$0115868R0173803Commercial0172112303075\$235,026\$235,026\$0116239R0173805Commercial0172112303073\$240,512\$240,512\$0116240R0173806Commercial0172112303072\$205,740\$205,740\$0116241R0174687Residential0182505310035\$500,000\$500,000\$0116245R0174859Commercial0157135101001\$1,943,677\$1,943,677\$0116201	R0173757	Residential	0182336201002				116542
R0173803Commercial0172112303075\$235,026\$235,026\$0116239R0173805Commercial0172112303073\$240,512\$240,512\$0116240R0173806Commercial0172112303072\$205,740\$205,740\$0116241R0174687Residential0182505310035\$500,000\$500,000\$0116245R0174859Commercial0157135101001\$1,943,677\$1,943,677\$0116201	R0173801	Commercial					115868
R0173805Commercial0172112303073\$240,512\$240,512\$0116240R0173806Commercial0172112303072\$205,740\$205,740\$0116241R0174687Residential0182505310035\$500,000\$500,000\$0116245R0174859Commercial0157135101001\$1,943,677\$1,943,677\$0116201	R0173803	Commercial			•		116239
R0173806Commercial0172112303072\$205,740\$205,740\$0116241R0174687Residential0182505310035\$500,000\$500,000\$0116245R0174859Commercial0157135101001\$1,943,677\$1,943,677\$0116201							116240
R0174687Residential0182505310035\$500,000\$500,000\$0116245R0174859Commercial0157135101001\$1,943,677\$1,943,677\$0116201		Commercial		-			
R0174859 Commercial 0157135101001 \$1,943,677 \$1,943,677 \$0 116201	R0174687	Residential			•		116245
	R0174905		0172128114001	\$1,055,749	\$1,055,749	\$0 \$0	116175

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Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Deny						
R0175440	Commercial	0171933414018	\$1,368,144	\$1,368,144	\$0	116601
R0175492	Commercial	0171921103053	\$294,023	\$294,023	\$0	115702
R0175508	Commercial	0182120403002	\$11,630,000	\$11,630,000	\$0	116291
R0175804	Residential	0156932320069	\$493,893	\$493,893	\$0	115667
R0175805	Residential	0156932320068	\$190,899	\$190,899	\$0	115666
R0175819	Commercial	0157328125004	\$1,108,800	\$1,108,800	\$0	116551
R0176048	Residential	0172111401043	\$647,619	\$647,619	\$0	116185
R0176127	Residential	0172316401018	\$71,751	\$71,751	\$0	116403
R0176128	Residential	0172316401017	\$71,751	\$71,751	\$0	116403
R0176129	Residential	0172316401016	\$71,751	\$71,751	\$0	116403
R0176130	Residential	0172316401015	\$71,751	\$71,751	\$0	116403
R0176131	Residential	0172316401014	\$71,751	\$71,751	\$0	116403
R0176132	Residential	0172316401013	\$71,751	\$71,751	\$0	116403
R0176133	Residential	0172316401012	\$71,751	\$71,751	\$0	116403
R0176134	Residential	0172316401011	\$71,751	\$71,751	\$0	116403
R0176135	Residential	0172316401010	\$71,751	\$71,751	\$0	116403
R0176136	Residential	0172316401009	\$71,751	\$71,751	\$0	116403
R0176137	Residential	0172316401008	\$71,751	\$71,751	\$0	116403
R0176138	Residential	0172316401007	\$71,751	\$71,751	\$0	116403
R0176139	Residential	0172316401006	\$71,751	\$71,751	\$0	116403
R0176140	Residential	0172316401005	\$71,751	\$71,751	\$0	116403
R0176141	Residential	0172316401004	\$71,751	\$71,751	\$0	116403
R0176142	Residential	0172316401003	\$71,751	\$71,751	\$0	116403
R0176143	Residential	0172316401002	\$71,751	\$71,751	\$0	116403
R0176144	Residential	0172316401001	\$71,751	\$71,751	\$0	116403
R0176145	Residential	0172316402018	\$71,751	\$71,751	\$0	116403
R0176147	Residential	0172316402016	\$71,751	\$71,751	\$0	116403
R0176148	Residential	0172316402015	\$71,751	\$71,751	\$0	116403
R0176149	Residential	0172316402014	\$71,751	\$71,751	\$0	116403
R0176150	Residential	0172316402013		\$71,751	\$0	116403
R0176151	Residential	0172316402012		\$71,751	\$0	116403
R0176152	Residential	0172316402011	\$71,751	\$71,751	\$0	116403
R0176153	Residential	0172316402010	\$71,751	\$71,751	\$0	116403
R0176154	Residential	0172316402009		\$71,751	\$0	116403
R0176155	Residential	0172316402008		\$71,751	\$0	116403
R0176156	Residential	0172316402007	-	\$71,751	\$0	116403
R0176157	Residential	0172316402006	-	\$71,751	\$0	116403
R0176158	Residential	0172316402005	,	\$71,751	\$0	116403
R0176159	Residential	0172316402004	-	\$71,751	\$0	116403
R0176160	Residential	0172316402003	-	\$71,751	\$0	116403

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Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Deny				······································		
R0176161	Residential	0172316402002	\$71,751	\$71,751	\$0	116403
R0176162	Residential	0172316402001	\$71,751	\$71,751	\$0	116403
R0176163	Residential	0172316403001	\$71,751	\$71,751	\$0	116403
R0176164	Residential	0172316403026	\$71,751	\$71,751	\$0	116403
R0176165	Residential	0172316403025	\$71,751	\$71,751	\$0	116403
R0176166	Residential	0172316403024	\$71,751	\$71,751	\$0	116403
R0176167	Residential	0172316403023	\$71,751	\$71,751	\$0	116403
R0176168	Residential	0172316403022	\$71,751	\$71,751	\$0	116403
R0176169	Residential	0172316403021	\$71,751	\$71,751	\$ 0	116403
R0176170	Residential	0172316403020	\$71,751	\$71,751	\$0	116403
R0176171	Residential	0172316403019	\$71,751	\$71,751	\$0	116403
R0176172	Residential	0172316403018	\$71,751	\$71,751	\$0	116403
R0176173	Residential	0172316403017	\$7 1,751	\$71,751	\$0	116403
R0176174	Residential	0172316403016	\$71,751	\$71,751	\$0	116403
R0176175	Residential	0172316403015	\$71,751	\$71,751	\$0	116403
R0176176	Residential	0172316403014	\$71,751	\$71,751	\$0	116403
R0176177	Residential	0172316403013	\$71,751	\$71,751	\$0	116403
R0176178	Residential	0172316403012	\$71,751	\$71,751	\$0	116403
R0176179	Residential	0172316403011	\$71,751	\$71,751	\$0	116403
R0176180	Residential	0172316403010	\$71,751	\$71,751	\$0	116403
R0176181	Residential	0172316403009	\$71,751	\$71,751	\$0	116403
R0176182	Residential	0172316403008	\$71,751	\$71,751	\$0	116403
R0176183	Residential	0172316403007	\$71,751	\$71,751	\$0	116403
R0176184	Residential	0172316403006	\$71,751	\$71,751	\$ 0	116403
R0176185	Residential	0172316403005	\$71,751	\$71,751	\$ 0	116403
R0176186	Residential	0172316403004	\$71,751	\$71,751	\$0	116403
R0176187	Residential	0172316403003	\$71,751	\$71,751	\$0	116403
R0176188	Residential	0172316403002	\$71,751	\$71,751	\$0	116403
R0176189	Residential	0172316404001	\$71,751	\$71,751	\$0	116403
R0176190	Residential	0172316404026	\$71,751	\$71,751	\$0	116403
R0176191	Residential	0172316404025	\$71,751	\$71,751	\$0	116403
R0176192	Residential	0172316404024	\$71,751	\$71,751	\$0	116403
R0176193	Residential	0172316404023	\$71,751	\$71,751	\$0	116403
R0176194	Residential	0172316404022	\$71,751	\$71,751	\$0	116403
R0176195	Residential	0172316404021	\$71,751	\$71,751	\$0	116403
R0176196	Residential	0172316404020	\$71,751	\$71,751	\$0	116403
R0176197	Residential	0172316404019	\$71,751	\$71,751	\$0	116403
R0176198	Residential	0172316404018	\$71,751	\$71,751	\$0	116403
R0176199	Residential	0172316404017	\$71,751	\$71,751	\$0	116403
R0176200	Residential	0172316404016	\$71,751	\$71,751	\$0	116403

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Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Deny		······				
R0176201	Residential	0172316404015	\$71,751	\$71,751	\$0	1 16403
R0176202	Residential	0172316404014	\$71,751	\$71,751	\$0	116403
R0176203	Residential	0172316404013	\$71,751	\$71,751	\$0	116403
R0176204	Residential	0172316404012	\$71,751	\$71,751	\$0	116403
R0176205	Residential	0172316404011	\$71,751	\$71,751	\$0	116403
R0176206	Residential	0172316404010	\$71,751	\$71,751	\$0	116403
R0176207	Residential	0172316404009	\$71,751	\$71,751	\$0	116403
R0176208	Residential	0172316404008	\$71,751	\$71,751	\$0	116403
R0176209	Residential	0172316404007	\$71,751	\$71,751	\$0	116403
R0176210	Residential	0172316404006	\$71,751	\$71,751	\$0	116403
R0176211	Residential	0172316404005	\$71,751	\$71,751	\$0	116403
R0176212	Residential	0172316404004	\$71,751	\$71,751	\$0	116403
R0176213	Residential	0172316404003	\$71,751	\$71,751	\$0	116403
R0176214	Residential	0172316404002	\$71,751	\$71,751	\$0	116403
R0176215	Residential	0172316410024	\$71,751	\$71,751	\$0	116403
R0176216	Residential	0172316410023	\$71,751	\$71,751	\$0	116403
R0176217	Residential	0172316410022	\$71,751	\$71,751	\$0	116403
R0176218	Residential	0172316410021	\$71,751	\$71,751	\$0	116403
R0176219	Residential	0172316410020	\$71,751	\$71,751	\$0	116403
R0176220	Residential	0172316410019	\$71,751	\$71,751	\$0	116403
R0176221	Residential	0172316410018	\$71,751	\$71,751	\$0	116403
R0176222	Residential	0172316410017	\$71,751	\$71,751	\$0	116403
R0176227	Residential	0172316410012	\$71,751	\$71,751	\$0	116403
R0176228	Residential	0172316410011	\$71,751	\$71,751	\$0	116403
R0176229	Residential	0172316410010	\$71,751	\$71,751	\$0	116403
R0176230	Residential	0172316410009	\$71,751	\$71,751	\$0	116403
R0176231	Residential	0172316410008	\$71,751	\$71,751	\$0	116403
R0176232	Residential	0172316410007	\$71,751	\$71,751	\$0	116403
R0176233	Residential	0172316410006	\$71,751	\$71,751	\$0	116403
R0176234	Residential	0172316410005	\$71,751	\$71,751	\$0	116403
R0176235	Residential	0172316410004	\$71,751	\$71,751	\$0	116403
R0176236	Residential	0172316410003	\$71,751	\$71,751	\$0	116403
R0176237	Residential	0172316410002	\$71,751	\$71,751	\$0	116403
R0176238	Residential	0172316410001	\$71,751	\$71,751	\$0	116403
R0176239	Residential	0172316409024	-	\$71,751	\$0	116403
R0176240	Residential	0172316409023	\$71,751	\$71,751	\$0	116403
R0176241	Residential	0172316409022		\$71,751	\$0	116403
R0176242	Residential	0172316409021		\$71,751	\$0	116403
R0176243	Residential	0172316409020		\$71,751	\$0	116403
R0176244	Residential	0172316409019	\$71,751	\$71,751	\$0	116403

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R0176246 Residential 0172316409017 \$71,751 \$71,751 \$0 11644 R0176247 Residential 0172316409015 \$71,751 \$71,751 \$0 11644 R0176248 Residential 0172316409013 \$71,751 \$71,751 \$0 11644 R0176247 Residential 0172316409012 \$71,751 \$71,751 \$0 11644 R0176250 Residential 0172316409012 \$71,751 \$71,751 \$0 11644 R0176251 Residential 0172316409010 \$71,751 \$71,751 \$0 11644 R0176252 Residential 0172316409008 \$71,751 \$71,751 \$0 11644 R0176257 Residential 0172316409006 \$71,751 \$71,751 \$0 11644 R0176258 Residential 0172316409005 \$71,751 \$71,751 \$0 11644 R0176268 Residential 0172316409003 \$71,751 \$71,751 \$0 11644 R0176261 Residential	Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
R0176246 Residential 0172316409017 \$71,751 \$71,751 \$0 11644 R0176247 Residential 0172316409015 \$71,751 \$71,751 \$0 11644 R0176248 Residential 0172316409013 \$71,751 \$71,751 \$0 11644 R0176247 Residential 0172316409012 \$71,751 \$71,751 \$0 11644 R0176250 Residential 0172316409012 \$71,751 \$71,751 \$0 11644 R0176251 Residential 0172316409010 \$71,751 \$71,751 \$0 11644 R0176252 Residential 0172316409008 \$71,751 \$71,751 \$0 11644 R0176257 Residential 0172316409006 \$71,751 \$71,751 \$0 11644 R0176258 Residential 0172316409005 \$71,751 \$71,751 \$0 11644 R0176268 Residential 0172316409003 \$71,751 \$71,751 \$0 11644 R0176261 Residential	Deny				······································		
R0176247 Residential 0172316409016 \$71,751 \$71,751 \$0 11644 R0176248 Residential 0172316409015 \$71,751 \$71,751 \$0 11644 R0176254 Residential 0172316409012 \$71,751 \$71,751 \$0 11644 R0176257 Residential 0172316409012 \$71,751 \$71,751 \$0 11644 R0176252 Residential 0172316409010 \$71,751 \$71,751 \$0 11644 R0176254 Residential 0172316409009 \$71,751 \$71,751 \$0 11644 R0176256 Residential 0172316409007 \$71,751 \$71,751 \$0 11644 R0176256 Residential 0172316409005 \$71,751 \$71,751 \$0 11644 R0176260 Residential 0172316409002 \$71,751 \$71,751 \$0 11644 R0176261 Residential 0172316409002 \$71,751 \$71,751 \$0 11644 R0176264 Residential	R0176245	Residential	0172316409018	\$71,751	\$71,751	\$0	116403
R0176248 Residential 0172316409015 \$71,751 \$71,751 \$0 11644 R0176249 Residential 0172316409013 \$71,751 \$71,751 \$0 11644 R0176250 Residential 0172316409012 \$71,751 \$71,751 \$0 11644 R0176251 Residential 0172316409011 \$71,751 \$71,751 \$0 11644 R0176252 Residential 0172316409009 \$71,751 \$71,751 \$0 11644 R0176254 Residential 0172316409008 \$71,751 \$71,751 \$0 11644 R0176256 Residential 0172316409005 \$71,751 \$71,751 \$0 11644 R0176257 Residential 0172316409005 \$71,751 \$71,751 \$0 11644 R0176250 Residential 0172316409003 \$71,751 \$71,751 \$0 11644 R0176260 Residential 0172316409001 \$71,751 \$71,751 \$0 11644 R0176261 Residential	R0176246	Residential	0172316409017	\$71,751	\$71,751	\$0	116403
R0176249 Residential 0172316409014 \$71,751 \$71,751 \$0 11644 R0176250 Residential 0172316409013 \$71,751 \$71,751 \$0 11644 R0176251 Residential 0172316409011 \$71,751 \$71,751 \$0 11644 R0176252 Residential 0172316409010 \$71,751 \$71,751 \$0 11644 R0176253 Residential 0172316409009 \$71,751 \$71,751 \$0 11644 R0176256 Residential 0172316409006 \$71,751 \$71,751 \$0 11644 R0176257 Residential 0172316409005 \$71,751 \$71,751 \$0 11644 R0176258 Residential 0172316409004 \$71,751 \$71,751 \$0 11644 R0176261 Residential 0172316409001 \$71,751 \$71,751 \$0 11644 R0176262 Residential 0172316405014 \$71,751 \$71,751 \$0 11644 R0176264 Residential	R0176247	Residential	0172316409016	\$71,751	\$71,751	\$0	116403
R0176250 Residential 0172316409013 \$71,751 \$0 11644 R0176251 Residential 0172316409012 \$71,751 \$71,751 \$0 11644 R0176252 Residential 0172316409010 \$71,751 \$71,751 \$0 11644 R0176253 Residential 0172316409010 \$71,751 \$71,751 \$0 11644 R0176254 Residential 0172316409009 \$71,751 \$71,751 \$0 11644 R0176256 Residential 0172316409007 \$71,751 \$71,751 \$0 11644 R0176257 Residential 0172316409005 \$71,751 \$71,751 \$0 11644 R0176258 Residential 0172316409002 \$71,751 \$71,751 \$0 11644 R0176260 Residential 0172316409002 \$71,751 \$71,751 \$0 11644 R0176261 Residential 0172316409001 \$71,751 \$71,751 \$0 11644 R0176262 Residential 0172316405014	R0176248	Residential	0172316409015	\$71,751	\$71,751	\$0	116403
R0176251 Residential 0172316409012 \$71,751 \$71,751 \$0 11640 R0176252 Residential 0172316409010 \$71,751 \$71,751 \$0 11640 R0176253 Residential 0172316409010 \$71,751 \$71,751 \$0 11640 R0176254 Residential 0172316409008 \$71,751 \$71,751 \$0 11640 R0176255 Residential 0172316409006 \$71,751 \$71,751 \$0 11640 R0176257 Residential 0172316409006 \$71,751 \$71,751 \$0 11640 R0176257 Residential 0172316409003 \$71,751 \$71,751 \$0 11640 R0176260 Residential 0172316409001 \$71,751 \$71,751 \$0 11640 R0176262 Residential 0172316409001 \$71,751 \$71,751 \$0 11640 R0176262 Residential 0172316405014 \$71,751 \$71,751 \$0 11640 R0176264 Residential	R0176249	Residential	0172316409014	\$71,751	\$71,751	\$0	116403
R0176252 Residential 0172316409011 \$71,751 \$71,751 \$0 11640 R0176253 Residential 0172316409010 \$71,751 \$71,751 \$0 11640 R0176253 Residential 0172316409009 \$71,751 \$71,751 \$0 11640 R0176255 Residential 0172316409006 \$71,751 \$71,751 \$0 11640 R0176256 Residential 0172316409006 \$71,751 \$71,751 \$0 11640 R0176257 Residential 0172316409005 \$71,751 \$71,751 \$0 11640 R0176259 Residential 0172316409004 \$71,751 \$71,751 \$0 11640 R0176261 Residential 0172316409001 \$71,751 \$71,751 \$0 11640 R0176262 Residential 0172316405014 \$71,751 \$71,751 \$0 11640 R0176264 Residential 0172316405014 \$71,751 \$71,751 \$0 11640 R0176266 Residential	R0176250	Residential	0172316409013	\$71,751	\$71,751	\$0	116403
R0176233Residential0172316409010 $$71,751$ $$71,751$ $$0$ 11640R0176254Residential0172316409009 $$71,751$ $$71,751$ $$0$ 11640R0176255Residential0172316409007 $$71,751$ $$71,751$ $$0$ 11640R0176256Residential0172316409007 $$71,751$ $$71,751$ $$0$ 11640R0176257Residential0172316409005 $$71,751$ $$71,751$ $$0$ 11640R0176258Residential0172316409003 $$71,751$ $$71,751$ $$0$ 11640R0176260Residential0172316409003 $$71,751$ $$71,751$ $$0$ 11640R0176261Residential0172316409002 $$71,751$ $$71,751$ $$0$ 11640R0176262Residential0172316409001 $$71,751$ $$71,751$ $$0$ 11640R0176263Residential0172316405011 $$71,751$ $$71,751$ $$0$ 11640R0176264Residential0172316405013 $$71,751$ $$71,751$ $$0$ 11640R0176266Residential0172316405012 $$71,751$ $$71,751$ $$0$ 11640R0176267Residential0172316405010 $$71,751$ $$71,751$ $$0$ 11640R0176268Residential0172316405010 $$71,751$ $$71,751$ $$0$ 11640R0176269Residential0172316405006 $$71,751$ $$71,751$ $$0$ 11640R0176270Residential0172316405006 $$71,$	R0176251	Residential	0172316409012	\$71,751	\$71,751	\$0	116403
R0176254 Residential 0172316409009 \$71,751 \$71,751 \$0 11640 R0176255 Residential 0172316409007 \$71,751 \$71,751 \$0 11640 R0176257 Residential 0172316409007 \$71,751 \$71,751 \$0 11640 R0176257 Residential 0172316409005 \$71,751 \$71,751 \$0 11640 R0176258 Residential 0172316409005 \$71,751 \$71,751 \$0 11640 R0176260 Residential 0172316409002 \$71,751 \$71,751 \$0 11640 R0176262 Residential 0172316409001 \$71,751 \$71,751 \$0 11640 R0176262 Residential 0172316405011 \$71,751 \$71,751 \$0 11640 R0176263 Residential 0172316405012 \$71,751 \$71,751 \$0 11640 R0176264 Residential 0172316405011 \$71,751 \$71,751 \$0 11640 R0176267 Residential	R0176252	Residential	0172316409011	\$71,751	\$71,751	\$0	116403
R0176255 Residential 0172316409008 \$71,751 \$71,751 \$0 11640 R0176256 Residential 0172316409007 \$71,751 \$71,751 \$0 11640 R0176257 Residential 0172316409005 \$71,751 \$71,751 \$0 11640 R0176259 Residential 0172316409005 \$71,751 \$71,751 \$0 11640 R0176260 Residential 0172316409003 \$71,751 \$71,751 \$0 11640 R0176261 Residential 0172316409002 \$71,751 \$71,751 \$0 11640 R0176262 Residential 0172316409001 \$71,751 \$71,751 \$0 11640 R0176263 Residential 0172316405014 \$71,751 \$71,751 \$0 11640 R0176264 Residential 0172316405012 \$71,751 \$71,751 \$0 11640 R0176267 Residential 0172316405010 \$71,751 \$71,751 \$0 11640 R0176268 Residential	R0176253	Residential	0172316409010	\$71,751	\$71,751	\$0	116403
R0176256 Residential 0172316409007 \$71,751 \$71,751 \$0 11640 R0176257 Residential 0172316409005 \$71,751 \$71,751 \$0 11640 R0176258 Residential 0172316409005 \$71,751 \$71,751 \$0 11640 R0176259 Residential 0172316409004 \$71,751 \$71,751 \$0 11640 R0176260 Residential 0172316409002 \$71,751 \$71,751 \$0 11640 R0176261 Residential 0172316409001 \$71,751 \$71,751 \$0 11640 R0176262 Residential 0172316405001 \$71,751 \$71,751 \$0 11640 R0176263 Residential 0172316405014 \$71,751 \$71,751 \$0 11640 R0176266 Residential 0172316405012 \$71,751 \$71,751 \$0 11640 R0176267 Residential 0172316405010 \$71,751 \$71,751 \$0 11640 R0176267 Residential	R0176254	Residential	0172316409009	\$71,751	\$71,751	\$0	116403
R0176257Residential0172316409006\$71,751\$71,751\$011640R0176258Residential0172316409005\$71,751\$71,751\$011640R0176259Residential0172316409003\$71,751\$71,751\$011640R0176261Residential0172316409002\$71,751\$71,751\$011640R0176262Residential0172316409002\$71,751\$71,751\$011640R0176263Residential0172316409001\$71,751\$71,751\$011640R0176264Residential0172316405001\$71,751\$71,751\$011640R0176265Residential0172316405014\$71,751\$71,751\$011640R0176266Residential0172316405013\$71,751\$71,751\$011640R0176267Residential0172316405012\$71,751\$71,751\$011640R0176268Residential0172316405012\$71,751\$71,751\$011640R0176269Residential0172316405009\$71,751\$71,751\$011640R0176270Residential0172316405007\$71,751\$71,751\$011640R0176271Residential0172316405007\$71,751\$71,751\$011640R0176272Residential0172316405005\$71,751\$71,751\$011640R0176274Residential0172316405004\$71,751\$71,751\$011640R0176275Residential<	R0176255	Residential	0172316409008	\$71,751	\$71,751	\$0	116403
R0176258Residential0172316409005 $\$71,751$ $\$71,751$ $\$0$ 11640R0176259Residential0172316409004 $\$71,751$ $\$71,751$ $\$0$ 11640R0176260Residential0172316409002 $\$71,751$ $\$71,751$ $\$0$ 11640R0176261Residential0172316409002 $\$71,751$ $\$71,751$ $\$0$ 11640R0176262Residential0172316409001 $\$71,751$ $\$71,751$ $\$0$ 11640R0176263Residential0172316405014 $\$71,751$ $\$71,751$ $\$0$ 11640R0176264Residential0172316405014 $\$71,751$ $\$71,751$ $\$0$ 11640R0176266Residential0172316405012 $\$71,751$ $\$71,751$ $\$0$ 11640R0176267Residential0172316405012 $\$71,751$ $\$71,751$ $\$0$ 11640R0176268Residential0172316405011 $\$71,751$ $\$71,751$ $\$0$ 11640R0176269Residential0172316405010 $\$71,751$ $\$71,751$ $\$0$ 11640R0176270Residential0172316405007 $\$71,751$ $\$71,751$ $\$0$ 11640R0176270Residential0172316405007 $\$71,751$ $\$71,751$ $\$0$ 11640R0176271Residential0172316405005 $\$71,751$ $$71,751$ $$0$ 11640R0176273Residential0172316405005 $$71,751$ $$71,751$ $$0$ 11640R0176274Residential0172316405003 $$71,$	R0176256	Residential	0172316409007	\$71,751	\$71,751	\$0	116403
R0176259 Residential 0172316409004 \$71,751 \$71,751 \$0 11640 R0176260 Residential 0172316409003 \$71,751 \$71,751 \$0 11640 R0176261 Residential 0172316409002 \$71,751 \$71,751 \$0 11640 R0176262 Residential 0172316409001 \$71,751 \$71,751 \$0 11640 R0176263 Residential 0172316405014 \$71,751 \$71,751 \$0 11640 R0176264 Residential 0172316405014 \$71,751 \$71,751 \$0 11640 R0176265 Residential 0172316405012 \$71,751 \$71,751 \$0 11640 R0176266 Residential 0172316405012 \$71,751 \$71,751 \$0 11640 R0176267 Residential 0172316405010 \$71,751 \$71,751 \$0 11640 R0176268 Residential 0172316405007 \$71,751 \$71,751 \$0 11640 R0176270 Residential	R0176257	Residential	0172316409006	\$71,751	\$71,751	\$0	116403
R0176260 Residential 0172316409003 \$71,751 \$71,751 \$0 11640 R0176261 Residential 0172316409002 \$71,751 \$71,751 \$0 11640 R0176262 Residential 0172316409001 \$71,751 \$71,751 \$0 11640 R0176263 Residential 0172316405001 \$71,751 \$71,751 \$0 11640 R0176264 Residential 0172316405013 \$71,751 \$71,751 \$0 11640 R0176265 Residential 0172316405013 \$71,751 \$71,751 \$0 11640 R0176266 Residential 0172316405012 \$71,751 \$71,751 \$0 11640 R0176267 Residential 0172316405012 \$71,751 \$71,751 \$0 11640 R0176267 Residential 0172316405009 \$71,751 \$71,751 \$0 11640 R0176269 Residential 0172316405009 \$71,751 \$71,751 \$0 11640 R0176270 Residential 0172316405007 \$71,751 \$71,751 \$0 11640	R0176258	Residential	0172316409005	\$71,751	\$71,751	\$0	116403
R0176261 Residential 0172316409002 \$71,751 \$71,751 \$0 11640 R0176262 Residential 0172316409001 \$71,751 \$71,751 \$0 11640 R0176263 Residential 0172316405001 \$71,751 \$71,751 \$0 11640 R0176264 Residential 0172316405014 \$71,751 \$71,751 \$0 11640 R0176265 Residential 0172316405012 \$71,751 \$71,751 \$0 11640 R0176266 Residential 0172316405012 \$71,751 \$71,751 \$0 11640 R0176267 Residential 0172316405010 \$71,751 \$71,751 \$0 11640 R0176267 Residential 0172316405009 \$71,751 \$71,751 \$0 11640 R0176268 Residential 0172316405008 \$71,751 \$71,751 \$0 11640 R0176270 Residential 0172316405007 \$71,751 \$71,751 \$0 11640 R0176271 Residential 0172316405005 \$71,751 \$71,751 \$0 11640	R0176259	Residential	0172316409004	\$71,751	\$71,751	\$0	116403
R0176262 Residential 0172316409001 \$71,751 \$71,751 \$0 11640 R0176263 Residential 0172316405001 \$71,751 \$71,751 \$0 11640 R0176264 Residential 0172316405014 \$71,751 \$71,751 \$0 11640 R0176265 Residential 0172316405013 \$71,751 \$71,751 \$0 11640 R0176266 Residential 0172316405012 \$71,751 \$71,751 \$0 11640 R0176267 Residential 0172316405012 \$71,751 \$71,751 \$0 11640 R0176268 Residential 0172316405010 \$71,751 \$71,751 \$0 11640 R0176270 Residential 0172316405009 \$71,751 \$71,751 \$0 11640 R0176271 Residential 0172316405007 \$71,751 \$71,751 \$0 11640 R0176272 Residential 0172316405005 \$71,751 \$71,751 \$0 11640 R0176273 Residential	R0176260	Residential	0172316409003	\$71,751	\$71,751	\$0	116403
R0176263 Residential 0172316405001 \$71,751 \$71,751 \$0 11640 R0176264 Residential 0172316405014 \$71,751 \$71,751 \$0 11640 R0176265 Residential 0172316405013 \$71,751 \$71,751 \$0 11640 R0176266 Residential 0172316405012 \$71,751 \$71,751 \$0 11640 R0176266 Residential 0172316405012 \$71,751 \$71,751 \$0 11640 R0176267 Residential 0172316405010 \$71,751 \$71,751 \$0 11640 R0176268 Residential 0172316405009 \$71,751 \$71,751 \$0 11640 R0176270 Residential 0172316405008 \$71,751 \$71,751 \$0 11640 R0176271 Residential 0172316405007 \$71,751 \$71,751 \$0 11640 R0176273 Residential 0172316405005 \$71,751 \$71,751 \$0 11640 R0176274 Residential 0172316405002 \$71,751 \$71,751 \$0 11640	R0176261	Residential	0172316409002	\$71,751	\$71,751	\$0	116403
R0176264 Residential 0172316405014 \$71,751 \$71,751 \$0 11640 R0176265 Residential 0172316405013 \$71,751 \$71,751 \$0 11640 R0176266 Residential 0172316405012 \$71,751 \$71,751 \$0 11640 R0176266 Residential 0172316405012 \$71,751 \$71,751 \$0 11640 R0176267 Residential 0172316405010 \$71,751 \$71,751 \$0 11640 R0176268 Residential 0172316405009 \$71,751 \$71,751 \$0 11640 R0176269 Residential 0172316405009 \$71,751 \$71,751 \$0 11640 R0176270 Residential 0172316405007 \$71,751 \$71,751 \$0 11640 R0176271 Residential 0172316405006 \$71,751 \$71,751 \$0 11640 R0176273 Residential 0172316405004 \$71,751 \$71,751 \$0 11640 R0176274 Residential 0172316405002 \$71,751 \$71,751 \$0 11640	R0176262	Residential	0172316409001	\$71,751	\$71,751	\$0	116403
R0176265 Residential 0172316405013 \$71,751 \$71,751 \$0 11640 R0176266 Residential 0172316405012 \$71,751 \$71,751 \$0 11640 R0176267 Residential 0172316405012 \$71,751 \$71,751 \$0 11640 R0176267 Residential 0172316405010 \$71,751 \$71,751 \$0 11640 R0176268 Residential 0172316405009 \$71,751 \$71,751 \$0 11640 R0176269 Residential 0172316405009 \$71,751 \$71,751 \$0 11640 R0176270 Residential 0172316405008 \$71,751 \$71,751 \$0 11640 R0176271 Residential 0172316405007 \$71,751 \$71,751 \$0 11640 R0176272 Residential 0172316405005 \$71,751 \$71,751 \$0 11640 R0176273 Residential 0172316405005 \$71,751 \$71,751 \$0 11640 R0176274 Residential 0172316405003 \$71,751 \$71,751 \$0 11640	R0176263	Residential	0172316405001	\$71,751	\$71,751	\$0	116403
R0176266Residential0172316405012\$71,751\$71,751\$011640R0176267Residential0172316405011\$71,751\$71,751\$011640R0176268Residential0172316405010\$71,751\$71,751\$011640R0176269Residential0172316405009\$71,751\$71,751\$011640R0176270Residential0172316405008\$71,751\$71,751\$011640R0176271Residential0172316405007\$71,751\$71,751\$011640R0176272Residential0172316405006\$71,751\$71,751\$011640R0176273Residential0172316405005\$71,751\$71,751\$011640R0176274Residential0172316405004\$71,751\$71,751\$011640R0176276Residential0172316405003\$71,751\$71,751\$011640R0176276Residential0172316405002\$71,751\$71,751\$011640R0176276Residential0172316405002\$71,751\$71,751\$011640R0176280Residential0172316408007\$71,751\$71,751\$011640R0176281Residential0172316408005\$71,751\$71,751\$011640R0176282Residential0172316408004\$71,751\$71,751\$011640R0176283Residential0172316408003\$71,751\$71,751\$011640R0176284Residential </td <td>R0176264</td> <td>Residential</td> <td>0172316405014</td> <td>\$71,751</td> <td>\$71,751</td> <td>\$0</td> <td>116403</td>	R0176264	Residential	0172316405014	\$71,751	\$71,751	\$0	116403
R0176267Residential0172316405011\$71,751\$71,751\$011640R0176268Residential0172316405010\$71,751\$71,751\$011640R0176269Residential0172316405009\$71,751\$71,751\$011640R0176270Residential0172316405008\$71,751\$71,751\$011640R0176271Residential0172316405007\$71,751\$71,751\$011640R0176272Residential0172316405006\$71,751\$71,751\$011640R0176273Residential0172316405005\$71,751\$71,751\$011640R0176274Residential0172316405004\$71,751\$71,751\$011640R0176275Residential0172316405003\$71,751\$71,751\$011640R0176276Residential0172316405002\$71,751\$71,751\$011640R0176279Residential0172316408008\$71,751\$71,751\$011640R0176280Residential0172316408007\$71,751\$71,751\$011640R0176283Residential0172316408004\$71,751\$71,751\$011640R0176284Residential0172316408002\$71,751\$71,751\$011640R0176286Residential0172316408002\$71,751\$71,751\$011640R0176286Residential0172316408002\$71,751\$71,751\$011640R0176286Residential </td <td>R0176265</td> <td>Residential</td> <td>0172316405013</td> <td>\$71,751</td> <td>\$71,751</td> <td>\$0</td> <td>116403</td>	R0176265	Residential	0172316405013	\$71,751	\$71,751	\$0	116403
R0176268Residential0172316405010\$71,751\$71,751\$011640R0176269Residential0172316405009\$71,751\$71,751\$011640R0176270Residential0172316405008\$71,751\$71,751\$011640R0176271Residential0172316405007\$71,751\$71,751\$011640R0176272Residential0172316405006\$71,751\$71,751\$011640R0176273Residential0172316405005\$71,751\$71,751\$011640R0176274Residential0172316405005\$71,751\$71,751\$011640R0176275Residential0172316405002\$71,751\$71,751\$011640R0176276Residential0172316405002\$71,751\$71,751\$011640R0176279Residential0172316408008\$71,751\$71,751\$011640R0176280Residential0172316408007\$71,751\$71,751\$011640R0176281Residential0172316408005\$71,751\$71,751\$011640R0176282Residential0172316408003\$71,751\$71,751\$011640R0176284Residential0172316408003\$71,751\$71,751\$011640R0176285Residential0172316408002\$71,751\$71,751\$011640R0176284Residential0172316408003\$71,751\$71,751\$011640R0176286Residential </td <td>R0176266</td> <td>Residential</td> <td>0172316405012</td> <td>\$71,751</td> <td>\$71,751</td> <td>\$0</td> <td>116403</td>	R0176266	Residential	0172316405012	\$71,751	\$71,751	\$0	116403
R0176269Residential0172316405009\$71,751\$71,751\$011640R0176270Residential0172316405008\$71,751\$71,751\$011640R0176271Residential0172316405007\$71,751\$71,751\$011640R0176272Residential0172316405006\$71,751\$71,751\$011640R0176273Residential0172316405005\$71,751\$71,751\$011640R0176274Residential0172316405004\$71,751\$71,751\$011640R0176275Residential0172316405003\$71,751\$71,751\$011640R0176276Residential0172316405002\$71,751\$71,751\$011640R0176276Residential0172316405002\$71,751\$71,751\$011640R0176280Residential0172316408008\$71,751\$71,751\$011640R0176280Residential0172316408005\$71,751\$71,751\$011640R0176281Residential0172316408005\$71,751\$71,751\$011640R0176284Residential0172316408003\$71,751\$71,751\$011640R0176285Residential0172316408002\$71,751\$71,751\$011640R0176286Residential0172316408002\$71,751\$71,751\$011640R0176286Residential0172316408002\$71,751\$71,751\$011640R0176286Residential </td <td>R0176267</td> <td>Residential</td> <td>0172316405011</td> <td>\$71,751</td> <td>\$71,751</td> <td>\$0</td> <td>116403</td>	R0176267	Residential	0172316405011	\$71,751	\$71,751	\$0	116403
R0176270 Residential 0172316405008 \$71,751 \$71,751 \$0 11640 R0176271 Residential 0172316405007 \$71,751 \$71,751 \$0 11640 R0176272 Residential 0172316405006 \$71,751 \$71,751 \$0 11640 R0176272 Residential 0172316405006 \$71,751 \$71,751 \$0 11640 R0176273 Residential 0172316405005 \$71,751 \$71,751 \$0 11640 R0176274 Residential 0172316405004 \$71,751 \$71,751 \$0 11640 R0176275 Residential 0172316405003 \$71,751 \$71,751 \$0 11640 R0176276 Residential 0172316405002 \$71,751 \$71,751 \$0 11640 R0176279 Residential 0172316408008 \$71,751 \$71,751 \$0 11640 R0176280 Residential 0172316408005 \$71,751 \$71,751 \$0 11640 R0176282 Residential 0172316408005 \$71,751 \$71,751 \$0 11640	R0176268	Residential	0172316405010	\$71,751	\$71,751	\$0	116403
R0176271Residential0172316405007\$71,751\$71,751\$011640R0176272Residential0172316405006\$71,751\$71,751\$011640R0176273Residential0172316405005\$71,751\$71,751\$011640R0176274Residential0172316405004\$71,751\$71,751\$011640R0176275Residential0172316405003\$71,751\$71,751\$011640R0176276Residential0172316405002\$71,751\$71,751\$011640R0176276Residential0172316405002\$71,751\$71,751\$011640R0176279Residential0172316408008\$71,751\$71,751\$011640R0176280Residential0172316408007\$71,751\$71,751\$011640R0176282Residential0172316408005\$71,751\$71,751\$011640R0176283Residential0172316408004\$71,751\$71,751\$011640R0176284Residential0172316408003\$71,751\$71,751\$011640R0176285Residential0172316408002\$71,751\$71,751\$011640R0176286Residential0172316408002\$71,751\$71,751\$011640R0176286Residential0172316408001\$71,751\$71,751\$011640R0176286Residential0172316408001\$71,751\$71,751\$011640R0176286Residential </td <td>R0176269</td> <td>Residential</td> <td>0172316405009</td> <td>\$71,751</td> <td>\$71,751</td> <td>\$0</td> <td>116403</td>	R0176269	Residential	0172316405009	\$71,751	\$71,751	\$0	116403
R0176272Residential0172316405006\$71,751\$71,751\$011640R0176273Residential0172316405005\$71,751\$71,751\$011640R0176274Residential0172316405004\$71,751\$71,751\$011640R0176275Residential0172316405002\$71,751\$71,751\$011640R0176276Residential0172316405002\$71,751\$71,751\$011640R0176276Residential0172316405002\$71,751\$71,751\$011640R0176279Residential0172316408008\$71,751\$71,751\$011640R0176280Residential0172316408007\$71,751\$71,751\$011640R0176282Residential0172316408005\$71,751\$71,751\$011640R0176283Residential0172316408004\$71,751\$71,751\$011640R0176284Residential0172316408003\$71,751\$71,751\$011640R0176285Residential0172316408002\$71,751\$71,751\$011640R0176286Residential0172316408002\$71,751\$71,751\$011640R0176286Residential0172316408002\$71,751\$71,751\$011640R0176286Residential0172316408001\$71,751\$71,751\$011640R0176286Residential0172316408001\$71,751\$71,751\$011640R0176286Residential </td <td>R0176270</td> <td>Residential</td> <td>0172316405008</td> <td>\$71,751</td> <td>\$71,751</td> <td>\$0</td> <td>116403</td>	R0176270	Residential	0172316405008	\$71,751	\$71,751	\$0	116403
R0176273Residential0172316405005\$71,751\$71,751\$011640R0176274Residential0172316405004\$71,751\$71,751\$011640R0176275Residential0172316405003\$71,751\$71,751\$011640R0176276Residential0172316405002\$71,751\$71,751\$011640R0176276Residential0172316405002\$71,751\$71,751\$011640R0176279Residential0172316408008\$71,751\$71,751\$011640R0176280Residential0172316408007\$71,751\$71,751\$011640R0176282Residential0172316408005\$71,751\$71,751\$011640R0176283Residential0172316408004\$71,751\$71,751\$011640R0176284Residential0172316408003\$71,751\$71,751\$011640R0176285Residential0172316408002\$71,751\$71,751\$011640R0176286Residential0172316408002\$71,751\$71,751\$011640R0176286Residential0172316408002\$71,751\$71,751\$011640R0176286Residential0172316408001\$71,751\$71,751\$011640R0176286Residential0172316408001\$71,751\$71,751\$011640R0176286Residential0172316408001\$71,751\$71,751\$011640R0176286Residential </td <td>R0176271</td> <td>Residential</td> <td>0172316405007</td> <td>\$71,751</td> <td>\$71,751</td> <td>\$0</td> <td>116403</td>	R0176271	Residential	0172316405007	\$71,751	\$71,751	\$0	116403
R0176274Residential0172316405004\$71,751\$71,751\$011640R0176275Residential0172316405003\$71,751\$71,751\$011640R0176276Residential0172316405002\$71,751\$71,751\$011640R0176279Residential0172316408008\$71,751\$71,751\$011640R0176280Residential0172316408007\$71,751\$71,751\$011640R0176282Residential0172316408005\$71,751\$71,751\$011640R0176283Residential0172316408004\$71,751\$71,751\$011640R0176284Residential0172316408003\$71,751\$71,751\$011640R0176285Residential0172316408002\$71,751\$71,751\$011640R0176286Residential0172316408002\$71,751\$71,751\$011640R0176286Residential0172316408001\$71,751\$71,751\$011640	R0176272	Residential	0172316405006	\$71,751	\$71,751	\$0	116403
R0176275Residential0172316405003\$71,751\$71,751\$011640R0176276Residential0172316405002\$71,751\$71,751\$011640R0176279Residential0172316408008\$71,751\$71,751\$011640R0176280Residential0172316408007\$71,751\$71,751\$011640R0176282Residential0172316408007\$71,751\$71,751\$011640R0176283Residential0172316408005\$71,751\$71,751\$011640R0176284Residential0172316408003\$71,751\$71,751\$011640R0176285Residential0172316408002\$71,751\$71,751\$011640R0176286Residential0172316408002\$71,751\$71,751\$011640R0176286Residential0172316408001\$71,751\$71,751\$011640	R0176273	Residential	0172316405005	\$71,751	\$71,751	\$0	116403
R0176276Residential0172316405002\$71,751\$71,751\$011640R0176279Residential0172316408008\$71,751\$71,751\$011640R0176280Residential0172316408007\$71,751\$71,751\$011640R0176282Residential0172316408005\$71,751\$71,751\$011640R0176283Residential0172316408005\$71,751\$71,751\$011640R0176284Residential0172316408003\$71,751\$71,751\$011640R0176285Residential0172316408002\$71,751\$71,751\$011640R0176286Residential0172316408002\$71,751\$71,751\$011640R0176286Residential0172316408001\$71,751\$71,751\$011640	R0176274	Residential	0172316405004	\$71,751	\$71,751	\$0	116403
R0176279Residential0172316408008\$71,751\$71,751\$011640R0176280Residential0172316408007\$71,751\$71,751\$011640R0176282Residential0172316408005\$71,751\$71,751\$011640R0176283Residential0172316408004\$71,751\$71,751\$011640R0176284Residential0172316408003\$71,751\$71,751\$011640R0176285Residential0172316408002\$71,751\$71,751\$011640R0176286Residential0172316408001\$71,751\$71,751\$011640R0176286Residential0172316408001\$71,751\$71,751\$011640	R0176275	Residential	0172316405003	\$71,751	\$71,751	\$0	116403
R0176280Residential0172316408007\$71,751\$71,751\$011640R0176282Residential0172316408005\$71,751\$71,751\$011640R0176283Residential0172316408004\$71,751\$71,751\$011640R0176284Residential0172316408003\$71,751\$71,751\$011640R0176285Residential0172316408002\$71,751\$71,751\$011640R0176286Residential0172316408001\$71,751\$71,751\$011640R0176286Residential0172316408001\$71,751\$71,751\$011640	R0176276	Residential	0172316405002	\$71,751	\$71,751	\$0	116403
R0176282Residential0172316408005\$71,751\$71,751\$011640R0176283Residential0172316408004\$71,751\$71,751\$011640R0176284Residential0172316408003\$71,751\$71,751\$011640R0176285Residential0172316408002\$71,751\$71,751\$011640R0176286Residential0172316408001\$71,751\$71,751\$011640R0176286Residential0172316408001\$71,751\$71,751\$011640	R0176279	Residential	0172316408008	\$71,751	\$71,751	\$0	116403
R0176283Residential0172316408004\$71,751\$71,751\$011640R0176284Residential0172316408003\$71,751\$71,751\$011640R0176285Residential0172316408002\$71,751\$71,751\$011640R0176286Residential0172316408001\$71,751\$71,751\$011640R0176286Residential0172316408001\$71,751\$71,751\$011640	R0176280	Residential	0172316408007	\$71,751	\$71,751	\$0	116403
R0176283Residential0172316408004\$71,751\$71,751\$011640R0176284Residential0172316408003\$71,751\$71,751\$011640R0176285Residential0172316408002\$71,751\$71,751\$011640R0176286Residential0172316408001\$71,751\$71,751\$011640	R0176282	Residential	0172316408005	\$71,751			116403
R0176284Residential0172316408003\$71,751\$71,751\$011640R0176285Residential0172316408002\$71,751\$71,751\$011640R0176286Residential0172316408001\$71,751\$71,751\$011640R0176286Residential0172316408001\$71,751\$71,751\$011640	R0176283	Residential	0172316408004	-	<i>,</i>		116403
R0176285Residential0172316408002\$71,751\$71,751\$011640R0176286Residential0172316408001\$71,751\$71,751\$011640	R0176284	Residential	0172316408003				116403
R0176286 Residential 0172316408001 \$71,751 \$71,751 \$0 11640	R0176285	Residential	0172316408002				116403
		Residential					116403
		Agricultural					115610

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Deny						
R0177281	Commercial	0171906302004	\$614,608	\$614,608	\$0	116255
R0177296	Commercial	0182507309003	\$1,033,409	\$1,033,409	\$0	116597
R0177337	Industrial	0182307203004	\$3,710,001	\$3,710,001	\$0	116585
R0177662	Commercial	0182126403001	\$10,820,229	\$10,820,229	\$0	116494
R0177783	Commercial	0172121104002	\$3,620,910	\$3,620,910	\$0	116374
R0177795	Commercial	0172121104006	\$2,748,429	\$2,748,429	\$0	116586
R0178223	Commercial	0172120102002	\$1,549,754	\$1,549,754	\$0	116603
R0178225	Commercial	0172120102002	\$2,760,439	\$2,760,439	\$0	116603
R0178260	Commercial	0156915101027	\$1,199,036	\$1,199,036	\$0	116464
R0178455	Commercial	0156915201013	\$298,808	\$298,808	\$0	115836
R0178499	Residential	0157109423045	\$464,872	\$464,872	\$0	115740
R0178624	Commercial	0182336105018	\$37,295,512	\$37,295,512	\$0	115890
R0178792	Commercial	0172102206001	\$1,191,394	\$1,191,394	\$0	116602
R0178819	Commercial	0156921302001	\$3,267,088	\$3,267,088	\$0	116637
R0178862	Residential	0171922401007	\$16,394,400	\$16,394,400	\$0	116423
R0178863	Residential	0171922401008	\$41,624,322	\$41,624,322	\$0	116423
R0178864	Residential	0171922401009	\$1,181,132	\$1,181,132	\$0	116423
R0178865	Residential	0171922401010	\$8,299	\$8,299	\$0	116423
R0178984	Residential	0157313202095	\$579,267	\$579,267	\$0	115584
R0179197	Commercial	0172327301001	\$15,169,739	\$15,169,739	\$0	116329
R0179224	Commercial	0172305217001	\$395,943	\$395,943	\$0	115954
R0179225	Commercial	0172305217002	\$277,954	\$277,954	\$0	116276
R0179226	Commercial	0172305217003	\$246,173	\$246,173	\$0	116277
R0179227	Commercial	0172305217004	\$371,180	\$371,180	\$ 0	11 6279
R0179228	Commercial	0172305217005	\$175,989	\$175,989	\$0	116280
R0179229	Commercial	0172305217006	\$173,606	\$173,606	\$0	116281
R0179230	Commercial	0172305217007	\$186,186	\$186,186	\$0	116282
R0179588	Commercial	0182336111002	\$4,787,118	\$4,787,118	\$0	115715
R0179737	Commercial	0156915201026	\$591,944	\$591,944	\$0	115835
R0179912	Commercial	0182100007001	\$738,571	\$738,571	\$0	116362
R0179965	Residential	0182336112001	\$61,092,480	\$61,092,480	\$0	116542
R0179966	Residential	0182336202001	\$56,754,567	\$56,754,567	\$0	116542
R0180006	Commercial	0182128102011	\$2,173,121	\$2,173,121	\$0	116651
R0180289	Commercial	0172112303079	\$536,056	\$536,056	\$0	116242
R0180291	Commercial	0172112303081	\$158,460	\$158,460	\$0	116243
R0180307	Commercial	0182516102010	\$1,893,838	\$1,893,838	\$0	116505
R0180526	Commercial	0171906101016	\$3,747,638	\$3,747,638	\$0	115837
R0180532	Residential	0171915413006	\$62,662,933	\$62,662,933	\$0	116410
R0180560	Commercial	0156916401010	\$5,514,577	\$5,514,577	\$0	115838
R0180873	Industrial	0182509404003	\$260,100	\$260,100	\$0	116578

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Deny						
R0180874	Industrial	0182509104032	\$432,936	\$432,936	\$0	116575
R0180876	Industrial	0182509104031	\$21,677	\$21,677	\$0	116574
R0180878	Industrial	0182509104034	\$9,248	\$9,248	\$0	116577
R0180879	Industrial	0182509104033	\$1,782,333	\$1,782,333	\$0	116576
R0180888	Industrial	0182126404003	\$3,807,894	\$3,807,894	\$0	116600
R0180897	Commercial	0156908105119	\$1,837,498	\$1,837,498	\$0	116590
R0180976	Commercial	0182509401006	\$5,181,038	\$5,181,038	\$0	116560
R0180978	Industrial	0182509101013	\$1,835,100	\$1,835,100	\$0	116568
R0180979	Industrial	0182509101014	\$1,094,576	\$1,094,576	\$0	116569
R0181331	Residential	0171924101040	\$1,664,892	\$1,664,892	\$0	116361
R0181787	Commercial	0182127104001	\$29,878,521	\$29,878,521	\$0	115874
R0181790	Residential	0171903301.009	\$65,485,304	\$65,485,304	\$0	116509
R0181943	Residential	0157315201010	\$43,308,480	\$43,308,480	\$0	116425
R0181944	Residential	0157315201011	\$66,649,794	\$66,649,794	\$0	116424
R0182982	Commercial	0171915104010	\$2,505,175	\$2,505,175	\$0	116394
R0184279	Residential	0172309218008	\$513,879	\$513,879	\$0	116157
R0184698	Commercial	0172318102011	\$494,600	\$494,600	\$0	116063
R0184969	Residential	0157116238011	\$498,313	\$498,313	\$0	116452
R0185920	Commercial	0182502303014	\$1,973,025	\$1,973,025	\$0	116220
R0186494	Residential	0157116237168	\$464,078	\$464,078	\$0	115587
R0186496	Residential	0157116237170	\$463,000	\$463,000	\$0	115626
R0186502	Residential	0157116237176	\$490,884	\$490,884	\$0	115793
R0186513	Residential	0157116237187	\$449,000	\$449,000	\$0	115718
R0187245	Residential	0171928205047	\$345,835	\$345,835	\$0	115813
R0187293	Industrial	0182325103011	\$18,237,811	\$18,237,811	\$0	116372
R0187864	Residential	0171935113003	\$328,926	\$328,926	\$0	116483
R0187865	Commercial	0171935113002	\$6,680,382	\$6,680,382	\$0	116504
R0188147	Commercial	0157332401027	\$965,563	\$965,563	\$0	116179
R0188625	Residential	0171907213129	\$605,209	\$605,209	\$0	115744
R0188682	Residential	0171913101371	\$40,754,409	\$40,754,409	\$0	116670
R0188684	Residential	0171913101373	\$997	\$997	\$0	116266
R0188878	Residential	0156902229001	\$84,772	\$84,772	\$0	116402
R0188879	Residential	0156902229002	\$84,772	\$84,772	\$0	116402
R0188881	Residential	0156902229004	\$84,772	\$84,772	\$0	116402
R0188882	Residential	0156902229005	\$84,772	\$84,772	\$0	116402
R0188883	Residential	0156902229006	\$84,772	\$84,772	\$0	116402
R0188884	Residential	0156902229007	\$84,772	\$84,772	\$0	116402
R0188885	Residential	0156902229008	\$84,772	\$84,772	\$0	116402
R0188886	Residential	0156902229009	\$84,772	\$84,772	\$0	116402
R0188887	Residential	0156902229010	\$84,772	\$84,772	\$0 \$0	116402

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Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Deny	· · · ·	-				****
R0188888	Residential	0156902229011	\$84,772	\$84,772	\$0	116402
R0188889	Residential	0156902229012	\$84,772	\$84,772	\$0	116402
R0188890	Residential	0156902229013	\$84,772	\$84,772	\$0	116402
R0188891	Residential	0156902229014	\$84,772	\$84,772	\$0	116402
R0188892	Residential	0156902229015	\$84,772	\$84,772	\$0	116402
R0188893	Residential	0156902229016	\$84,772	\$84,772	\$0	116402
R0188894	Residential	0156902229017	\$84,772	\$84,772	\$0	116402
R0188895	Residential	0156902229018	\$84,772	\$84,772	\$0	116402
R0188908	Residential	0156902232006	\$84,772	\$84,772	\$0	116402
R0188916	Residential	0156902232014	\$84,772	\$84,772	\$0	116402
R0188918	Residential	0156902232016	\$84,772	\$84,772	\$0	116402
R0188920	Residential	0156902232018	\$84,772	\$84,772	\$0	116402
R0188921	Residential	0156902232019	\$84,772	\$84,772	\$0	116402
R0188922	Residential	0156902232020	\$84,772	\$84,772	\$0	116402
R0188923	Residential	0156902232021	\$84,772	\$84,772	\$0	116402
R0188924	Residential	0156902232022	\$84,772	\$84,772	\$0	116402
R0188925	Residential	0156902232023	\$84,772	\$84,772	\$0	116402
R0188926	Residential	0156902232024	\$84,772	\$84,772	\$0	116402
R0188927	Residential	0156902232025	\$84,772	\$84,772	\$0	116402
R0188928	Residential	0156902232026	\$84,772	\$84,772	\$0	116402
R0188929	Residential	0156902232027	\$84,772	\$84,772	\$0	116402
R0188930	Residential	0156902232028	\$84,772	\$84,772	\$0	116402
R0188937	Residential	0156902232035	\$84,772	\$84,772	\$0	116402
R0188938	Residential	0156902232036	\$84,772	\$84,772	\$0	116402
R0188939	Residential	0156902232037	\$84,772	\$84,772	\$0	116402
R0188941	Residential	0156902232039	\$84,772	\$84,772	\$0	116402
R0188944	Residential	0156902232042	\$84,772	\$84,772	\$0	116402
R0188951	Residential	0156902232049	\$84,772	\$84,772	\$0	116402
R0188952	Residential	0156902232050	\$84,772	\$84,772	\$0	116402
R0188953	Residential	0156902232051	\$84,772	\$84,772	\$0	116402
R0188959	Residential	0156902232057	\$84,772	\$8 4,772	\$0	116402
R0188960	Residential	0156902232058	\$84,772	\$84,772	\$0	116402
R0188979	Residential	0156902233003	\$84,772	\$84,772	\$0	116402
R0188983	Residential	0156902233007	\$84,772	\$84,772	\$0	116402
R0188984	Residential	0156902233008		\$84,772	\$0	116402
R0188994	Residential	0156902235004		\$84,772	\$0	116401
R0188995	Residential	0156902235005		\$84,772	\$0	116401
R0188996	Residential	0156902235006		\$84,772	\$0	116401
R0188997	Residential	0156902235007	-	\$84,772	\$0	116401
R0188998	Residential	0156902235008		\$84,772	\$0	116401

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Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Deny						
R0188999	Residential	0156902235009	\$84,772	\$84,772	\$0	116401
R0189000	Residential	0156902235010	\$84,772	\$84,772	\$0	116401
R0189001	Residential	0156902235011	\$84,772	\$84,772	\$0	116401
R0189002	Residential	0156902235012	\$84,772	\$84,772	\$0	116401
R0189003	Residential	0156902235013	\$84,772	\$84,772	\$0	116401
R0189004	Residential	0156902235014	\$84,772	\$84,772	\$0	116401
R0189005	Residential	0156902235015	\$84,772	\$84,772	\$0	116401
R0189006	Residential	0156902235016	\$84,772	\$84,772	\$0	116401
R0189007	Residential	0156902235017	\$84,772	\$84,772	\$0	116401
R0189332	Commercial	0182126103002	\$32,544,883	\$32,544,883	\$0	116496
R0189391	Residential	0157312201143	\$513,790	\$513,790	\$0	115785
R0189801	Industrial	0182507401018	\$6,736,878	\$6,736,878	\$0	115879
R0189802	Industrial	0182507401019	\$7,433,500	\$7,433,500	\$0	115879
R0190338	Commercial	0182102301001	\$73,696	\$73,696	\$0	116002
R0190339	Commercial	0182102301001	\$674,999,999	\$674,999,999	\$0	116001
R0190340	Commercial	0182102301001	\$1,385,720	\$1,385,720	\$0	116000
R0190483	Industrial	0182129402004	\$19,520,600	\$19,520,600	\$0	116376
R0190498	Residential	0157116131012	\$596,936	\$596,936	\$0	115804
R0190550	Residential	0157116241129	\$621,123	\$621,123	\$0	115683
R0190581	Commercial	0171915413010	\$1,748,470	\$1,748,470	\$0	115840
R0190582	Commercial	0171915413011	\$1,762,785	\$1,762,785	\$0	115840
R0190616	Commercial	0172317214013	\$1,484,279	\$1,484,279	\$0	115892
R0190624	Residential	0171913114107	\$34,444,800	\$34,444,800	\$0	116268
R0190625	Residential	0171913114108	\$300	\$300	\$0	116267
R0191098	Commercial	0182127101002	\$11,860,510	\$11,860,510	\$0	115875
R0191101	Commercial	0182127402001	\$31,178,023	\$31,178,023	\$0	115869
R0191292	Industrial	0182136302001	\$56,631,532	\$56,631,532	\$0	116495
R0192463	Commercial	0171913113006	\$680,138	\$680,138	\$0	115606
R0193517	Commercial	0171911324001	\$1,218,375	\$1,218,375	\$0	116465
R.0193833	Commercial	0157327101013	\$1,327,203	\$1,327,203	\$0	116596
R0194196	Commercial	0171916202056	\$5,482,974	\$5,482,974	\$0	116594
R0194211	Commercial	0156911305018	\$31,532,549	\$31,532,549	\$0	116571
R0195348	Industrial	0182136401004	\$2,198,073	\$2,198,073	\$0	116360
R0195687	Commercial	0172121403001	\$7,813,027	\$7,813,027	\$0	116307
R0198520	Commercial	0156921103004	\$1,046,726	\$1,046,726	\$0	115820
R0198521	Commercial	0156921103005	\$369,325	\$369,325	\$0	115818
Number of Accounts: 1036		\$4,465,591,716	\$4,465,591,716	\$0		

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Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Stipulated	 l				· · · · · · · · · · · · · · · · · · ·	
P0000931	Personal	0172131401005	\$7,984,244	\$7,695,082	(\$289,162)	115660
P0036249	Personal	0157333402004	\$402,349	\$81,649	(\$320,700)	115613
R0001246	Commercial	0156707404002	\$86,000	\$25,000	(\$61,000)	115929
R0001795	Residential	0156905105001	\$1,744,896	\$1,190,000	(\$554,896)	115960
R0001796	Residential	0156905105002	\$5,234,688	\$4,080,000	(\$1,154,688)	116272
R0001797	Residential	0156905105003	\$5,234,688	\$4,080,000	(\$1,154,688)	116273
R0001798	Residential	0156905105004	\$5,234,688	\$4,080,000	(\$1,154,688)	116274
R0002569	Industrial	0156906112003	\$1,076,687	\$1,014,000	(\$62,687)	116269
R0002570	Commercial	0156906112004	\$1,076,687	\$1,014,000	(\$62,687)	116270
R0006870	Agricultural	0156919000015	\$248,683	\$55,772	(\$192,911)	115724
R0008302	Residential	0157109002008	\$748,973	\$670,000	(\$78,973)	115975
R0008881	Residential	0157113000034	\$321,339	\$300,000	(\$21,339)	116449
R0010133	Residential	0157130309006	\$370,000	\$355,000	(\$15,000)	115563
R0011802	Commercial	0157131326005	\$2,487,035	\$2,299,950	(\$187,085)	116610
R0013594	Residential	0157133000035	\$453,370	\$400,000	(\$53,370)	115764
R0014249	Residential	0157309412028	\$598,215	\$451,986	(\$146,229)	115962
R0014556	Residential	0157316002029	\$902,214	\$850,000	(\$52,214)	115639
R0015127	Residential	0157323000010	\$754,182	\$563,000	(\$191,182)	115862
R0017768	Residential	0157326210029	\$544,830	\$528,066	(\$16,764)	115977
R0018057	Residential	0157326307007	\$66,528,006	\$63,888,000	(\$2,640,006)	115839
R0018600	Residential	0157327002024	\$637,285	\$614,172	(\$23,113)	116448
R0025923	Residential	0157336314001	\$78,143,996	\$76,944,000	(\$1,199,996)	116457
R0027089	Commercial	0171901218001	\$4,212,341	\$3,476,900	(\$735,441)	116194
R0028287	Residential	0171902116014	\$315,898	\$305,000	(\$10,898)	115932
R0029582	Residential	0171902401052	\$330,464	\$286,145	(\$44,319)	115593
R0031211	Residential	0171904201008	\$623,218	\$515,000	(\$108,218)	115656
R0031517	Residential	0171904306011	\$714,308	\$652,000	(\$62,308)	116137
R0034498	Commercial	0171908405007	\$2,000,197	\$1,600,000	(\$400,197)	116331
R0040569	Residential	0171913416024	\$325,012	\$270,000	(\$55,012)	115994
R0041605	Residential	0171915104008	\$24,881,000	\$23,549,690	(\$1,331,310)	115760
R0041607	Commercial	0171915105015	\$9,196,779	\$8,140,713	(\$1,056,066)	116074
R0042005	Residential	0171915306018	\$345,085	\$325,000	(\$20,085)	115809
R0042423	Residential	0171915403011	\$364,885	\$353,000	(\$11,885)	115802
R0042950	Commercial	0171916200002	\$3,036,765	\$2,700,000	(\$336,765)	116196
R0043503	Commercial	0171916215004	\$651,344	\$572,610	(\$78,734)	116198
R0045322	Residential	0171917304001	\$1,000	\$1,000	\$0	116543
R0045323	Residential	0171917304002	\$377,762	\$330,492	(\$47,270)	116543
R0045324	Residential	0171917304003	\$381,596	\$333,846	(\$47,750)	116543
R0045325	Residential	0171917304004	\$373,667	\$326,909	(\$46,758)	116543
R0045326	Residential	0171917304005	\$380,670	\$333,036	(\$47,634)	116543

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Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Stipulated						· · · · · · · · · · · · · · · · · · ·
R0045327	Residential	0171917304006	\$395,661	\$346,151	(\$49,510)	116543
R0045328	Residential	0171917304007	\$386,916	\$338,500	(\$48,416)	116543
R0045329	Residential	0171917304008	\$367,242	\$321,288	(\$45,954)	116543
R0045330	Residential	0171917304009	\$371,715	\$325,201	(\$46,514)	116543
R0045331	Residential	0171917304010	\$391,320	\$342,353	(\$48,967)	116543
R0045332	Residential	0171917304011	\$363,015	\$317,590	(\$45,425)	116543
R0045333	Residential	0171917304012	\$364,091	\$318,531	(\$45,560)	116543
R0045334	Residential	0171917304013	\$372,279	\$325,695	(\$46,584)	116543
R0045335	Residential	0171917304014	\$367,127	\$321,187	(\$45,940)	116543
R0045336	Residential	0171917304015	\$363,943	\$318,402	(\$45,541)	116543
R0045337	Residential	0171917304016	\$370,621	\$324,244	(\$46,377)	116543
R0045338	Residential	0171917304017	\$364,514	\$318,901	(\$45,613)	116543
R0045339	Residential	0171917304018	\$364,169	\$318,600	(\$45,569)	116543
R0045340	Residential	0171917304019	\$374,081	\$327,271	(\$46,810)	116543
R0045341	Residential	0171917304020	\$2,500	\$2,500	\$0	116543
R0045342	Residential	0171917304021	\$273,450	\$239,232	(\$34,218)	116543
R0045343	Residential	0171917304022	\$294,405	\$257,565	(\$36,840)	116543
R0045344	Residential	0171917304023	\$286,950	\$251,043	(\$35,907)	116543
R0045345	Residential	0171917304024	\$294,405	\$257,565	(\$36,840)	116543
R0045346	Residential	0171917304025	\$286,950	\$251,043	(\$35,907)	116543
R0045347	Residential	0171917304026	\$262,630	\$229,766	(\$32,864)	116543
R0045348	Residential	0171917304027	\$23,012,000	\$20,131,254	(\$2,880,746)	116543
R0045349	Residential	0171917305001	\$361,915	\$316,628	(\$45,287)	116543
R0045350	Residential	0171917305002	\$361,694	\$316,434	(\$45,260)	116543
R0045351	Residential	0171917305003	\$382,259	\$334,426	(\$47,833)	116543
R0045352	Residential	0171917305004	\$380,739	\$333,096	(\$47,643)	116543
R0045353	Residential	0171917305005	\$386,829	\$338,424	(\$48,405)	116543
R0045354	Residential	0171917305006	\$380,877	\$333,217	(\$47,660)	116543
R0045355	Residential	0171917305007	\$390,688	\$341,800	(\$48,888)	116543
R0045356	Residential	0171917305008	\$361,992	\$316,695	(\$45,297)	116543
R0045357	Residential	0171917305009	\$370,941	\$324,524	(\$46,417)	116543
R0045358	Residential	0171917305010	\$362,188	\$316,866	(\$45,322)	116543
R0045359	Residential	0171917305011	\$386,883	\$338,471	(\$48,412)	116543
R0045360	Residential	0171917305012	\$391,851	\$342,818	(\$49,033)	116543
R0045361	Residential	0171917305013	\$385,438	\$337,207	(\$48,231)	116543
R0045362	Residential	0171917305014	\$380,884	\$333,223	(\$47,661)	116543
R0045363	Residential	0171917305015	\$390,630	\$341,749	(\$48,881)	116543
R0045364	Residential	0171917305016	\$380,698	\$333,060	(\$47,638)	116543
R0045365	Residential	0171917305017	\$440,931	\$385,756	(\$55,175)	116543
R0045366	Residential	0171917305018	\$380,698	\$333,060	(\$47,638)	116543

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R0045368 Residential 0171917305020 S522,680 \$457,276 \$65,404 116543 R0045370 Residential 0171917305021 S273,450 \$239,232 \$(\$34,218) 116543 R0045371 Residential 0171917305022 S294,405 \$257,565 \$(\$35,840) 116543 R0045371 Residential 0171917305024 \$262,630 \$229,766 \$(\$32,864) 116543 R0045373 Residential 0171917305025 \$273,450 \$239,232 \$(\$34,218) 116543 R0045377 Residential 0171917305027 \$286,950 \$251,043 \$(\$35,907) 116543 R0045377 Residential 0171917305029 \$226,630 \$229,766 \$(\$32,864) 116543 R0045377 Residential 0171917305031 \$294,405 \$257,565 \$(\$36,840) 116543 R0045380 Residential 0171917305032 \$273,450 \$239,232 \$(\$34,218) 116543 R0045380 Residential 0171917305033 \$273,450 \$239,232 \$(\$34,2	Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
R0045368 Residential 0171917305020 \$522,680 \$457,276 (\$65,404) 116543 R0045369 Residential 0171917305021 \$273,450 \$223,232 (\$34,218) 116543 R0043571 Residential 0171917305023 \$226,630 \$221,043 (\$33,907) 116543 R0043571 Residential 0171917305026 \$273,450 \$223,755 (\$36,640) 116543 R0043571 Residential 0171917305026 \$273,450 \$225,755 (\$35,640) 116543 R0043576 Residential 0171917305027 \$286,950 \$221,043 (\$33,907) 116543 R0045377 Residential 0171917305029 \$262,630 \$229,766 (\$32,864) 116543 R0045377 Residential 0171917305031 \$224,405 \$227,555 (\$36,640) 116543 R0045381 Residential 0171917305032 \$273,450 \$239,232 (\$34,218) 116543 R0045381 Residential 0171917305035 \$224,405 \$257,555 (\$35,640) <td>Stipulated</td> <td>l</td> <td></td> <td></td> <td></td> <td></td> <td></td>	Stipulated	l					
R0045369 Residential 0171917305021 \$273,450 \$239,232 \$\$34,218 116543 R0045370 Residential 0171917305022 \$224,405 \$257,565 \$(536,840) 116543 R0045371 Residential 0171917305023 \$286,950 \$223,232 \$(\$34,218) 116543 R0045373 Residential 0171917305024 \$224,213 \$(\$35,907) 116543 R0045374 Residential 0171917305026 \$224,405 \$2257,565 \$(\$32,864) 116543 R0045376 Residential 0171917305028 \$2262,630 \$229,766 \$(\$32,864) 116543 R0045377 Residential 0171917305031 \$224,405 \$257,565 \$(\$36,840) 116543 R0045378 Residential 0171917305032 \$273,450 \$239,232 \$(\$34,218) 116543 R0045380 Residential 0171917305033 \$273,450 \$239,232 \$(\$34,218) 116543 R0045380 Residential 0171917305035 \$226,630 \$227,565 \$(\$35,907) 11	R0045367	Residential	0171917305019	\$390,630	\$341,749	(\$48,881)	116543
R0045370 Residential 0171917305022 S294,405 \$257,565 \$(\$36,840) 116543 R0045371 Residential 0171917305024 \$262,630 \$229,766 \$(\$32,864) 116543 R0045373 Residential 0171917305026 \$273,450 \$239,212 \$(\$34,218) 116543 R0045374 Residential 0171917305026 \$2294,405 \$257,565 \$(\$36,840) 116543 R0045377 Residential 0171917305027 \$226,630 \$229,766 \$(\$32,864) 116543 R0045377 Residential 0171917305029 \$226,2630 \$229,766 \$(\$32,864) 116543 R0045378 Residential 0171917305031 \$244,405 \$257,565 \$(\$36,840) 116543 R0045380 Residential 0171917305032 \$273,450 \$239,232 \$(\$34,218) 116543 R0045381 Residential 0171917305033 \$273,450 \$239,232 \$(\$34,218) 116543 R0045381 Residential 0171917305035 \$226,950 \$251,043 \$(R0045368	Residential	0171917305020	\$522,680	\$457,276	(\$65,404)	116543
R0045371 Residential 0171917305023 \$286,950 \$251,043 \$(\$35,907) 116543 R0045372 Residential 0171917305024 \$226,630 \$229,766 \$(\$32,864) 116543 R0045373 Residential 0171917305025 \$273,450 \$239,232 \$(\$34,218) 116543 R0045374 Residential 0171917305026 \$224,405 \$2257,565 \$(\$36,840) 116543 R0045376 Residential 0171917305029 \$262,630 \$229,766 \$(\$32,864) 116543 R0045377 Residential 0171917305031 \$286,950 \$251,043 \$(\$35,907) 116543 R0045380 Residential 0171917305031 \$294,405 \$257,565 \$(\$36,840) 116543 R0045380 Residential 0171917305033 \$273,450 \$239,232 \$(\$34,218) 116543 R0045380 Residential 0171917305035 \$286,950 \$251,043 \$(\$35,907) 116543 R0045381 Residential 0171917305035 \$286,950 \$251,043 \$(\$	R0045369	Residential	0171917305021	\$273,450	\$239,232	(\$34,218)	116543
R0045372 Residential 0171917305024 \$262,630 \$229,766 \$32,864 116543 R0045373 Residential 0171917305025 \$273,450 \$239,232 \$\$34,218 116543 R0045375 Residential 0171917305026 \$294,405 \$2257,565 \$\$36,840 116543 R0045376 Residential 0171917305027 \$236,950 \$221,043 \$\$35,907 116543 R0045377 Residential 0171917305029 \$262,630 \$229,766 \$\$32,864 116543 R0045377 Residential 0171917305031 \$294,405 \$227,555 \$\$36,840 116543 R0045387 Residential 0171917305033 \$273,450 \$239,232 \$\$34,218 116543 R0045381 Residential 0171917305034 \$294,405 \$257,565 \$\$36,840 116543 R0045384 Residential 0171917305037 \$286,950 \$251,043 \$\$35,907 116543 R0045386 Residential 0171917305037 \$286,950 \$251,043 \$\$35,907	R0045370	Residential	0171917305022	\$294,405	\$257,565	(\$36,840)	116543
R0045373 Residential 0171917305025 \$273,450 \$239,232 \$(\$34,218) 116543 R0045374 Residential 0171917305026 \$294,405 \$257,565 \$(\$36,840) 116543 R0045375 Residential 0171917305027 \$286,950 \$221,043 \$(\$32,864) 116543 R0045376 Residential 0171917305029 \$262,630 \$229,766 \$(\$32,864) 116543 R0045377 Residential 0171917305029 \$262,630 \$229,766 \$(\$32,864) 116543 R0045379 Residential 0171917305031 \$294,405 \$257,565 \$(\$36,840) 116543 R0045381 Residential 0171917305032 \$273,450 \$239,232 \$(\$34,218) 116543 R0045381 Residential 0171917305035 \$286,950 \$251,043 \$(\$35,907) 116543 R0045384 Residential 0171917305036 \$294,405 \$257,565 \$(\$36,840) 116543 R0045384 Residential 0171917305038 \$262,630 \$229,766 \$(\$3	R0045371	Residential	0171917305023	\$286,950	\$251,043	(\$35,907)	116543
R0043374 Residential 0171917305026 \$294,405 \$257,565 \$(\$36,840) 116543 R0043375 Residential 0171917305027 \$286,950 \$251,043 \$(\$35,907) 116543 R0045376 Residential 0171917305028 \$226,630 \$229,766 \$(\$32,864) 116543 R0045377 Residential 0171917305029 \$226,630 \$229,766 \$(\$32,864) 116543 R0045379 Residential 0171917305031 \$294,405 \$257,565 \$(\$36,840) 116543 R0045380 Residential 0171917305032 \$273,450 \$239,232 \$(\$34,218) 116543 R0045381 Residential 0171917305034 \$294,405 \$257,565 \$(\$36,840) 116543 R0045382 Residential 0171917305035 \$286,950 \$251,043 \$(\$35,907) 116543 R0045384 Residential 0171917305037 \$286,950 \$251,043 \$(\$35,907) 116543 R0045385 Residential 0171917305037 \$286,950 \$251,043 \$(\$3	R0045372	Residential	0171917305024	\$262,630	\$229,766	(\$32,864)	116543
R0045375 Residential 0171917305027 \$286,950 \$251,043 \$(\$35,907) 116543 R0045376 Residential 0171917305028 \$262,630 \$229,766 \$(\$32,864) 116543 R0045377 Residential 0171917305030 \$226,630 \$229,766 \$(\$32,864) 116543 R0045378 Residential 0171917305030 \$226,950 \$251,043 \$(\$35,907) 116543 R0045378 Residential 0171917305032 \$273,450 \$239,232 \$(\$34,218) 116543 R0045382 Residential 0171917305034 \$294,405 \$257,565 \$(\$36,840) 116543 R0045382 Residential 0171917305037 \$226,950 \$251,043 \$35,907) 116543 R0045384 Residential 0171917305037 \$286,950 \$251,043 \$35,907) 116543 R0045385 Residential 0171917305037 \$286,950 \$251,043 \$35,907) 116543 R0045386 Residential 0171917305043 \$262,630 \$229,766 \$32,864) </td <td>R0045373</td> <td>Residential</td> <td>0171917305025</td> <td>\$273,450</td> <td>\$239,232</td> <td>(\$34,218)</td> <td>116543</td>	R0045373	Residential	0171917305025	\$273,450	\$239,232	(\$34,218)	116543
R0045376 Residential 0171917305028 \$262,630 \$229,766 (\$32,864) 116543 R0045377 Residential 0171917305029 \$262,630 \$229,766 (\$32,864) 116543 R0045378 Residential 0171917305030 \$226,950 \$251,043 (\$35,907) 116543 R0045380 Residential 0171917305032 \$273,450 \$229,232 (\$34,218) 116543 R0045381 Residential 0171917305033 \$273,450 \$239,232 (\$34,218) 116543 R0045381 Residential 0171917305035 \$286,950 \$251,043 (\$35,907) 116543 R0045384 Residential 0171917305037 \$226,260 \$227,765 (\$36,840) 116543 R0045387 Residential 0171917305037 \$226,2630 \$229,766 (\$32,864) 116543 R0045387 Residential 0171917305037 \$226,630 \$229,766 (\$32,864) 116543 R0045387 Residential 0171917305041 \$286,950 \$251,043 (\$35,907) <td>R0045374</td> <td>Residential</td> <td>0171917305026</td> <td>\$294,405</td> <td>\$257,565</td> <td>(\$36,840)</td> <td>116543</td>	R0045374	Residential	0171917305026	\$294,405	\$257,565	(\$36,840)	116543
Rool45377 Residential 0171917305029 \$262,630 \$229,766 (\$32,864) 116543 R0045377 Residential 0171917305030 \$286,950 \$251,043 (\$35,907) 116543 R0045377 Residential 0171917305031 \$294,405 \$257,565 (\$36,840) 116543 R0045380 Residential 0171917305032 \$273,450 \$239,232 (\$34,218) 116543 R0045381 Residential 0171917305035 \$286,950 \$251,043 (\$35,907) 116543 R0045382 Residential 0171917305036 \$294,405 \$257,565 (\$36,840) 116543 R0045387 Residential 0171917305036 \$229,766 \$(\$32,864) 116543 R0045387 Residential 0171917305037 \$286,950 \$251,043 \$35,907) 116543 R0045387 Residential 0171917305038 \$227,3450 \$229,766 \$32,864) 116543 R0045388 Residential 0171917305042 \$262,630 \$229,766 \$32,864) 116543	R0045375	Residential	0171917305027	\$286,950	\$251,043	(\$35,907)	116543
R0045378 Residential 0171917305030 \$286,950 \$251,043 \$(\$35,907) 116543 R0045379 Residential 0171917305031 \$294,405 \$257,565 \$(\$36,840) 116543 R0045380 Residential 0171917305032 \$273,450 \$239,232 \$(\$34,218) 116543 R0045381 Residential 0171917305034 \$294,405 \$257,565 \$(\$36,840) 116543 R0045382 Residential 0171917305035 \$286,950 \$251,043 \$(\$35,907) 116543 R0045384 Residential 0171917305037 \$286,950 \$251,043 \$(\$35,907) 116543 R0045385 Residential 0171917305037 \$286,950 \$251,043 \$(\$35,907) 116543 R0045387 Residential 0171917305048 \$262,630 \$229,766 \$(\$32,864) 116543 R0045391 Residential 0171917305042 \$262,630 \$229,766 \$(\$32,864) 116543 R0045392 Residential 0171917305043 \$262,630 \$229,766 \$(\$3	R0045376	Residential	0171917305028	\$262,630	\$229,766	(\$32,864)	116543
R0045379 Residential 0171917305031 \$294,405 \$257,565 (\$36,840) 116543 R0045380 Residential 0171917305032 \$273,450 \$239,232 (\$34,218) 116543 R0045381 Residential 0171917305033 \$2273,450 \$239,232 (\$34,218) 116543 R0045382 Residential 0171917305034 \$294,405 \$257,565 (\$36,840) 116543 R0045383 Residential 0171917305036 \$294,405 \$257,565 (\$35,907) 116543 R0045385 Residential 0171917305037 \$286,950 \$251,043 (\$35,907) 116543 R0045386 Residential 0171917305037 \$286,950 \$251,043 (\$35,907) 116543 R0045387 Residential 0171917305040 \$224,405 \$257,565 (\$36,840) 116543 R0045389 Residential 0171917305041 \$286,950 \$251,043 (\$35,907) 116543 R0045391 Residential 0171917305042 \$262,630 \$229,766 \$32,864	R0045377	Residential	0171917305029	\$262,630	\$229,766	(\$32,864)	116543
R0045380 Residential 0171917305032 \$273,450 \$239,232 (\$34,218) 116543 R0045381 Residential 0171917305033 \$273,450 \$239,232 (\$34,218) 116543 R0045382 Residential 0171917305034 \$294,405 \$257,565 (\$36,840) 116543 R0045384 Residential 0171917305035 \$2286,950 \$251,043 (\$\$5,907) 116543 R0045384 Residential 0171917305036 \$294,405 \$257,565 (\$36,840) 116543 R0045386 Residential 0171917305037 \$286,950 \$221,043 (\$35,907) 116543 R0045387 Residential 0171917305038 \$262,630 \$229,766 (\$32,864) 116543 R0045389 Residential 0171917305041 \$286,950 \$251,043 (\$35,907) 116543 R0045390 Residential 0171917305042 \$262,630 \$229,766 (\$32,864) 116543 R0045391 Residential 0171917305043 \$262,630 \$229,766 (\$32,864) <td>R0045378</td> <td>Residential</td> <td>0171917305030</td> <td>\$286,950</td> <td>\$251,043</td> <td>(\$35,907)</td> <td>116543</td>	R0045378	Residential	0171917305030	\$286,950	\$251,043	(\$35,907)	116543
R0045381 Residential 0171917305033 \$273,450 \$239,232 (\$34,218) 116543 R0045382 Residential 0171917305034 \$294,405 \$257,565 (\$36,840) 116543 R0045384 Residential 0171917305035 \$286,950 \$2251,043 (\$35,907) 116543 R0045385 Residential 0171917305037 \$286,950 \$2251,043 (\$35,907) 116543 R0045386 Residential 0171917305037 \$286,950 \$221,043 (\$35,907) 116543 R0045386 Residential 0171917305039 \$273,450 \$229,766 (\$32,864) 116543 R0045387 Residential 0171917305040 \$224,405 \$257,565 (\$36,840) 116543 R0045390 Residential 0171917305041 \$286,950 \$251,043 (\$35,907) 116543 R0045391 Residential 0171917305042 \$262,630 \$229,766 (\$32,864) 116543 R0045392 Residential 0171917305043 \$262,630 \$229,765 (\$36,840) </td <td>R0045379</td> <td>Residential</td> <td>0171917305031</td> <td>\$294,405</td> <td>\$257,565</td> <td>(\$36,840)</td> <td>116543</td>	R0045379	Residential	0171917305031	\$294,405	\$257,565	(\$36,840)	116543
R0045382Residential0171917305034\$294,405\$257,565(\$36,840)116543R0045383Residential0171917305035\$286,950\$251,043(\$35,907)116543R0045384Residential0171917305036\$294,405\$257,565(\$36,840)116543R0045385Residential0171917305037\$286,950\$251,043(\$35,907)116543R0045386Residential0171917305039\$273,450\$229,766(\$32,864)116543R0045387Residential0171917305040\$294,405\$257,565(\$36,840)116543R0045389Residential0171917305040\$294,405\$257,565(\$36,840)116543R0045390Residential0171917305041\$286,950\$251,043(\$35,907)116543R0045391Residential0171917305043\$262,630\$229,766(\$32,864)116543R0045392Residential0171917305044\$286,950\$251,043(\$35,907)116543R0045393Residential0171917305045\$294,405\$257,565(\$36,840)116543R0045394Residential0171917305046\$273,450\$239,232(\$34,218)116543R0045395Residential0171917305047\$273,450\$239,232(\$34,218)116543R0045396Residential0171917305048\$294,405\$257,565(\$36,840)116543R0045397Residential0171917305047\$273,450\$239,232(\$34,218)116543R0045	R0045380	Residential	0171917305032	\$273,450	\$239,232	(\$34,218)	116543
R0045383Residential0171917305035\$286,950\$251,043(\$35,907)116543R0045384Residential0171917305036\$294,405\$257,565(\$36,840)116543R0045385Residential0171917305037\$286,950\$251,043(\$35,907)116543R0045386Residential0171917305038\$262,630\$229,766(\$32,864)116543R0045387Residential0171917305039\$273,450\$239,232(\$34,218)116543R0045388Residential0171917305040\$294,405\$257,565(\$36,840)116543R0045390Residential0171917305041\$286,950\$251,043(\$35,907)116543R0045391Residential0171917305042\$262,630\$229,766(\$32,864)116543R0045392Residential0171917305043\$262,630\$229,766(\$32,864)116543R0045393Residential0171917305045\$294,405\$257,565(\$36,840)116543R0045394Residential0171917305045\$294,405\$257,565(\$36,840)116543R0045395Residential0171917305046\$273,450\$239,232(\$34,218)116543R0045396Residential0171917305047\$273,450\$239,232(\$34,218)116543R0045397Residential0171917305048\$294,405\$257,565(\$36,840)116543R0045398Residential0171917305051\$273,450\$239,232(\$34,218)116543R0045	R0045381	Residential	0171917305033	\$273,450	\$239,232	(\$34,218)	116543
R0045384Residential0171917305036\$294,405\$257,565(\$36,840)116543R0045385Residential0171917305037\$286,950\$251,043(\$35,907)116543R0045386Residential0171917305038\$262,630\$229,766(\$32,864)116543R0045387Residential0171917305039\$273,450\$239,232(\$34,218)116543R0045388Residential0171917305040\$294,405\$257,565(\$36,840)116543R0045390Residential0171917305041\$286,950\$251,043(\$35,907)116543R0045391Residential0171917305042\$262,630\$229,766(\$32,864)116543R0045392Residential0171917305043\$262,630\$229,766(\$32,864)116543R0045393Residential0171917305044\$286,950\$251,043(\$35,907)116543R0045394Residential0171917305045\$294,405\$257,565(\$36,840)116543R0045395Residential0171917305046\$273,450\$239,232(\$34,218)116543R0045396Residential0171917305047\$273,450\$239,232(\$34,218)116543R0045397Residential0171917305048\$294,405\$257,565(\$36,840)116543R0045398Residential0171917305051\$262,630\$229,766(\$32,864)116543R0045399Residential0171917305052\$294,405\$257,565(\$36,840)116543R0045	R0045382	Residential	0171917305034	\$294,405	\$257,565	(\$36,840)	116543
R0045385Residential0171917305037\$286,950\$251,043(\$35,907)116543R0045386Residential0171917305038\$262,630\$229,766(\$32,864)116543R0045387Residential0171917305039\$273,450\$239,232(\$34,218)116543R0045388Residential0171917305040\$294,405\$257,565(\$36,840)116543R0045389Residential0171917305041\$286,950\$251,043(\$35,907)116543R0045390Residential0171917305042\$262,630\$229,766(\$32,864)116543R0045391Residential0171917305043\$262,630\$229,766(\$32,864)116543R0045392Residential0171917305044\$286,950\$251,043(\$35,907)116543R0045393Residential0171917305045\$294,405\$257,565(\$36,840)116543R0045394Residential0171917305046\$273,450\$239,232(\$34,218)116543R0045395Residential0171917305047\$273,450\$239,232(\$34,218)116543R0045396Residential0171917305049\$286,950\$251,043(\$35,907)116543R0045397Residential0171917305051\$273,450\$239,232(\$34,218)116543R0045398Residential0171917305051\$273,450\$239,232(\$34,218)116543R0045400Residential0171917305051\$273,450\$257,565(\$36,840)116543R0045	R0045383	Residential	0171917305035	\$286,950	\$251,043	(\$35,907)	116543
R0045386Residential0171917305038\$262,630\$229,766(\$32,864)116543R0045387Residential0171917305039\$273,450\$239,232(\$34,218)116543R0045388Residential0171917305040\$294,405\$257,565(\$36,840)116543R0045389Residential0171917305041\$286,950\$251,043(\$35,907)116543R0045390Residential0171917305042\$262,630\$229,766(\$32,864)116543R0045391Residential0171917305043\$262,630\$229,766(\$32,864)116543R0045392Residential0171917305044\$286,950\$251,043(\$35,907)116543R0045393Residential0171917305045\$294,405\$257,565(\$36,840)116543R0045394Residential0171917305046\$273,450\$239,232(\$34,218)116543R0045395Residential0171917305047\$273,450\$239,232(\$34,218)116543R0045396Residential0171917305048\$294,405\$257,565(\$36,840)116543R0045397Residential0171917305050\$262,630\$229,766(\$32,864)116543R0045398Residential0171917305051\$273,450\$239,232(\$34,218)116543R0045400Residential0171917305051\$273,450\$239,232(\$34,218)116543R0045401Residential0171917305053\$286,950\$251,043\$35,9071116543R00454	R0045384	Residential	0171917305036	\$294,405	\$257,565	(\$36,840)	116543
R0045387Residential0171917305039\$273,450\$239,232(\$34,218)116543R0045388Residential0171917305040\$294,405\$257,565(\$36,840)116543R0045389Residential0171917305041\$286,950\$251,043(\$35,907)116543R0045390Residential0171917305042\$262,630\$229,766(\$32,864)116543R0045391Residential0171917305043\$262,630\$229,766(\$32,864)116543R0045392Residential0171917305044\$286,950\$251,043(\$35,907)116543R0045393Residential0171917305045\$294,405\$257,565(\$36,840)116543R0045394Residential0171917305046\$273,450\$239,232(\$34,218)116543R0045395Residential0171917305047\$273,450\$239,232(\$34,218)116543R0045396Residential0171917305048\$294,405\$257,565(\$36,840)116543R0045397Residential0171917305049\$286,950\$251,043(\$35,907)116543R0045398Residential0171917305050\$262,630\$229,766(\$32,864)116543R0045399Residential0171917305051\$273,450\$239,232(\$34,218)116543R0045400Residential0171917305052\$294,405\$257,565(\$36,840)116543R0045401Residential0171917305053\$286,950\$251,043(\$35,907)116543R0045	R0045385	Residential	0171917305037	\$286,950	\$251,043	(\$35,907)	116543
R0045388Residential0171917305040\$294,405\$257,565(\$36,840)116543R0045389Residential0171917305041\$286,950\$251,043(\$35,907)116543R0045390Residential0171917305042\$262,630\$229,766(\$32,864)116543R0045391Residential0171917305043\$262,630\$229,766(\$32,864)116543R0045392Residential0171917305044\$286,950\$251,043(\$35,907)116543R0045393Residential0171917305046\$273,450\$229,765(\$36,840)116543R0045394Residential0171917305046\$273,450\$239,232(\$34,218)116543R0045395Residential0171917305047\$273,450\$229,766(\$36,840)116543R0045396Residential0171917305048\$294,405\$257,565(\$36,840)116543R0045397Residential0171917305049\$286,950\$251,043(\$35,907)116543R0045398Residential0171917305050\$262,630\$229,766(\$32,864)116543R0045399Residential0171917305051\$273,450\$239,232(\$34,218)116543R0045400Residential0171917305053\$286,950\$251,043(\$35,907)116543R0045401Residential0171917305054\$294,405\$257,565(\$36,840)116543R0045402Residential0171917305055\$286,950\$251,043(\$35,907)116543R0045	R0045386	Residential	0171917305038	\$262,630	\$229,766	(\$32,864)	116543
R0045389Residential0171917305041\$286,950\$251,043(\$35,907)116543R0045390Residential0171917305042\$262,630\$229,766(\$32,864)116543R0045391Residential0171917305043\$262,630\$229,766(\$32,864)116543R0045392Residential0171917305044\$286,950\$251,043(\$35,907)116543R0045393Residential0171917305045\$294,405\$257,565(\$36,840)116543R0045394Residential0171917305046\$273,450\$239,232(\$34,218)116543R0045395Residential0171917305047\$273,450\$239,232(\$34,218)116543R0045396Residential0171917305048\$294,405\$257,565(\$36,840)116543R0045397Residential0171917305049\$286,950\$251,043(\$35,907)116543R0045398Residential0171917305050\$262,630\$229,766(\$32,864)116543R0045399Residential0171917305051\$273,450\$239,232(\$34,218)116543R0045400Residential0171917305053\$286,950\$251,043(\$35,907)116543R0045401Residential0171917305054\$294,405\$257,565(\$36,840)116543R0045402Residential0171917305055\$286,950\$251,043(\$35,907)116543R0045403Residential0171917305055\$286,950\$251,043(\$35,907)116543R0045	R0045387	Residential	0171917305039	\$273,450	\$239,232	(\$34,218)	116543
R0045390Residential0171917305042\$262,630\$229,766(\$32,864)116543R0045391Residential0171917305043\$262,630\$229,766(\$32,864)116543R0045392Residential0171917305044\$286,950\$251,043(\$35,907)116543R0045393Residential0171917305045\$294,405\$257,565(\$36,840)116543R0045394Residential0171917305046\$273,450\$239,232(\$34,218)116543R0045395Residential0171917305047\$273,450\$239,232(\$34,218)116543R0045396Residential0171917305048\$294,405\$257,565(\$36,840)116543R0045397Residential0171917305049\$286,950\$251,043(\$35,907)116543R0045398Residential0171917305051\$273,450\$229,766(\$32,864)116543R0045399Residential0171917305051\$273,450\$239,232(\$34,218)116543R0045401Residential0171917305051\$273,450\$239,232(\$34,218)116543R0045402Residential0171917305053\$286,950\$251,043(\$35,907)116543R0045403Residential0171917305054\$294,405\$257,565(\$36,840)116543R0045402Residential0171917305055\$286,950\$251,043(\$35,907)116543R0045403Residential0171917305055\$286,950\$251,043(\$35,907)116543R0045	R0045388	Residential	0171917305040	\$294,405	\$257,565	(\$36,840)	116543
R0045391Residential0171917305043\$262,630\$229,766(\$32,864)116543R0045392Residential0171917305044\$286,950\$251,043(\$35,907)116543R0045393Residential0171917305045\$294,405\$257,565(\$36,840)116543R0045394Residential0171917305046\$273,450\$239,232(\$34,218)116543R0045395Residential0171917305047\$273,450\$229,232(\$34,218)116543R0045396Residential0171917305048\$294,405\$257,565(\$36,840)116543R0045397Residential0171917305049\$286,950\$251,043(\$35,907)116543R0045398Residential0171917305050\$262,630\$229,766(\$32,864)116543R0045399Residential0171917305051\$273,450\$239,232(\$34,218)116543R0045400Residential0171917305052\$294,405\$257,565(\$36,840)116543R0045401Residential0171917305051\$273,450\$239,232(\$34,218)116543R0045401Residential0171917305053\$286,950\$251,043(\$35,907)116543R0045402Residential0171917305054\$294,405\$257,565(\$36,840)116543R0045403Residential0171917305055\$286,950\$251,043(\$35,907)116543R0045403Residential0171917305056\$262,630\$229,766(\$32,864)116543R0045	R0045389	Residential	0171917305041	\$286,950	\$251,043	(\$35,907)	116543
R0045392Residential0171917305044\$286,950\$251,043(\$35,907)116543R0045393Residential0171917305045\$294,405\$257,565(\$36,840)116543R0045394Residential0171917305046\$273,450\$239,232(\$34,218)116543R0045395Residential0171917305047\$273,450\$239,232(\$34,218)116543R0045396Residential0171917305047\$273,450\$239,232(\$34,218)116543R0045397Residential0171917305048\$294,405\$257,565(\$36,840)116543R0045398Residential0171917305050\$262,630\$229,766(\$32,864)116543R0045399Residential0171917305051\$273,450\$239,232(\$34,218)116543R0045400Residential0171917305052\$294,405\$257,565(\$36,840)116543R0045401Residential0171917305053\$286,950\$251,043(\$35,907)116543R0045402Residential0171917305054\$294,405\$257,565(\$36,840)116543R0045403Residential0171917305055\$286,950\$251,043(\$35,907)116543R0045404Residential0171917305056\$262,630\$251,043(\$35,907)116543R0045403Residential0171917305056\$262,630\$251,043(\$35,907)116543R0045404Residential0171917305056\$262,630\$251,043(\$35,907)116543R0045	R0045390	Residential	0171917305042	\$262,630	\$229,766	(\$32,864)	116543
R0045393Residential0171917305045\$294,405\$257,565(\$36,840)116543R0045394Residential0171917305046\$273,450\$239,232(\$34,218)116543R0045395Residential0171917305047\$273,450\$239,232(\$34,218)116543R0045396Residential0171917305047\$273,450\$229,232(\$34,218)116543R0045396Residential0171917305048\$294,405\$257,565(\$36,840)116543R0045397Residential0171917305049\$286,950\$251,043(\$35,907)116543R0045398Residential0171917305050\$262,630\$229,766(\$32,864)116543R0045399Residential0171917305051\$273,450\$239,232(\$34,218)116543R0045400Residential0171917305052\$294,405\$257,565(\$36,840)116543R0045401Residential0171917305053\$286,950\$251,043(\$35,907)116543R0045402Residential0171917305054\$294,405\$257,565(\$36,840)116543R0045403Residential0171917305055\$286,950\$251,043(\$35,907)116543R0045404Residential0171917305056\$262,630\$229,766(\$32,864)116543R0045404Residential0171917305056\$262,630\$229,766(\$32,864)116543R0045405Residential0171917305056\$262,630\$229,766(\$32,864)116543R0045	R0045391	Residential	0171917305043	\$262,630	\$229,766	(\$32,864)	116543
R0045394Residential0171917305046\$273,450\$239,232(\$34,218)116543R0045395Residential0171917305047\$273,450\$239,232(\$34,218)116543R0045396Residential0171917305048\$294,405\$257,565(\$36,840)116543R0045397Residential0171917305049\$286,950\$251,043(\$35,907)116543R0045398Residential0171917305050\$262,630\$229,766(\$32,864)116543R0045399Residential0171917305051\$273,450\$239,232(\$34,218)116543R0045400Residential0171917305052\$294,405\$257,565(\$36,840)116543R0045401Residential0171917305053\$286,950\$251,043(\$35,907)116543R0045402Residential0171917305054\$294,405\$257,565(\$36,840)116543R0045403Residential0171917305055\$286,950\$251,043(\$35,907)116543R0045404Residential0171917305055\$286,950\$251,043(\$35,907)116543R0045404Residential0171917305055\$286,950\$251,043(\$35,907)116543R0045404Residential0171917305056\$262,630\$229,766(\$32,864)116543R0045405Residential0171917305057\$273,450\$239,232(\$34,218)116543R0045405Residential0171917305057\$273,450\$239,232(\$34,218)116543R0045	R0045392	Residential	0171917305044	\$286,950	\$251,043	(\$35,907)	116543
R0045395Residential0171917305047\$273,450\$239,232(\$34,218)116543R0045396Residential0171917305048\$294,405\$257,565(\$36,840)116543R0045397Residential0171917305049\$286,950\$251,043(\$35,907)116543R0045398Residential0171917305050\$262,630\$229,766(\$32,864)116543R0045399Residential0171917305051\$273,450\$239,232(\$34,218)116543R0045400Residential0171917305052\$294,405\$257,565(\$36,840)116543R0045401Residential0171917305053\$286,950\$251,043(\$35,907)116543R0045402Residential0171917305054\$294,405\$257,565(\$36,840)116543R0045403Residential0171917305055\$286,950\$251,043(\$35,907)116543R0045404Residential0171917305055\$286,950\$251,043(\$35,907)116543R0045403Residential0171917305055\$286,950\$251,043(\$35,907)116543R0045404Residential0171917305056\$262,630\$229,766(\$32,864)116543R0045405Residential0171917305056\$262,630\$229,766(\$32,864)116543R0045405Residential0171917305057\$273,450\$239,232(\$34,218)116543R0045405Residential0171917305057\$273,450\$239,232(\$34,218)116543 <td>R0045393</td> <td>Residential</td> <td>0171917305045</td> <td>\$294,405</td> <td>\$257,565</td> <td>(\$36,840)</td> <td>116543</td>	R0045393	Residential	0171917305045	\$294,405	\$257,565	(\$36,840)	116543
R0045396Residential0171917305048\$294,405\$257,565(\$36,840)116543R0045397Residential0171917305049\$286,950\$251,043(\$35,907)116543R0045398Residential0171917305050\$262,630\$229,766(\$32,864)116543R0045399Residential0171917305051\$273,450\$239,232(\$34,218)116543R0045400Residential0171917305052\$294,405\$257,565(\$36,840)116543R0045401Residential0171917305053\$286,950\$251,043(\$35,907)116543R0045402Residential0171917305054\$294,405\$257,565(\$36,840)116543R0045403Residential0171917305055\$286,950\$251,043(\$35,907)116543R0045404Residential0171917305055\$286,950\$251,043(\$35,907)116543R0045405Residential0171917305056\$262,630\$229,766(\$32,864)116543R0045405Residential0171917305056\$262,630\$229,766(\$32,864)116543R0045405Residential0171917305057\$273,450\$239,232(\$34,218)116543R0045405Residential0171917305057\$273,450\$239,232(\$34,218)116543	R0045394	Residential	0171917305046	\$273,450	\$239,232	(\$34,218)	116543
R0045397Residential0171917305049\$286,950\$251,043(\$35,907)116543R0045398Residential0171917305050\$262,630\$229,766(\$32,864)116543R0045399Residential0171917305051\$273,450\$239,232(\$34,218)116543R0045400Residential0171917305052\$294,405\$257,565(\$36,840)116543R0045401Residential0171917305053\$286,950\$251,043(\$35,907)116543R0045402Residential0171917305054\$294,405\$257,565(\$36,840)116543R0045403Residential0171917305055\$286,950\$251,043(\$35,907)116543R0045404Residential0171917305055\$286,950\$251,043(\$35,907)116543R0045405Residential0171917305056\$262,630\$229,766(\$32,864)116543R0045405Residential0171917305057\$273,450\$239,232(\$34,218)116543R0045405Residential0171917305057\$273,450\$239,232(\$34,218)116543	R0045395	Residential	0171917305047	\$273,450	\$239,232	(\$34,218)	116543
R0045398Residential0171917305050\$262,630\$229,766(\$32,864)116543R0045399Residential0171917305051\$273,450\$239,232(\$34,218)116543R0045400Residential0171917305052\$294,405\$257,565(\$36,840)116543R0045401Residential0171917305053\$286,950\$251,043(\$35,907)116543R0045402Residential0171917305054\$294,405\$257,565(\$36,840)116543R0045403Residential0171917305055\$286,950\$251,043(\$35,907)116543R0045404Residential0171917305056\$262,630\$229,766(\$32,864)116543R0045405Residential0171917305057\$273,450\$239,232(\$34,218)116543	R0045396	Residential	0171917305048	\$294,405	\$257,565	(\$36,840)	116543
R0045399Residential0171917305051\$273,450\$239,232(\$34,218)116543R0045400Residential0171917305052\$294,405\$257,565(\$36,840)116543R0045401Residential0171917305053\$286,950\$251,043(\$35,907)116543R0045402Residential0171917305054\$294,405\$257,565(\$36,840)116543R0045403Residential0171917305055\$286,950\$251,043(\$35,907)116543R0045404Residential0171917305055\$286,950\$251,043(\$35,907)116543R0045405Residential0171917305056\$262,630\$229,766(\$32,864)116543R0045405Residential0171917305057\$273,450\$239,232(\$34,218)116543	R0045397	Residential	0171917305049	\$286,950	\$251,043	(\$35,907)	116543
R0045400Residential0171917305052\$294,405\$257,565(\$36,840)116543R0045401Residential0171917305053\$286,950\$251,043(\$35,907)116543R0045402Residential0171917305054\$294,405\$257,565(\$36,840)116543R0045403Residential0171917305055\$286,950\$251,043(\$35,907)116543R0045404Residential0171917305056\$2262,630\$229,766(\$32,864)116543R0045405Residential0171917305057\$273,450\$239,232(\$34,218)116543	R0045398	Residential	0171917305050	\$262,630	\$229,766	(\$32,864)	116543
R0045401Residential0171917305053\$286,950\$251,043(\$35,907)116543R0045402Residential0171917305054\$294,405\$257,565(\$36,840)116543R0045403Residential0171917305055\$286,950\$251,043(\$35,907)116543R0045404Residential0171917305056\$262,630\$229,766(\$32,864)116543R0045405Residential0171917305057\$273,450\$239,232(\$34,218)116543	R0045399	Residential	0171917305051	\$273,450	\$239,232	(\$34,218)	116543
R0045402Residential0171917305054\$294,405\$257,565(\$36,840)116543R0045403Residential0171917305055\$286,950\$251,043(\$35,907)116543R0045404Residential0171917305056\$262,630\$229,766(\$32,864)116543R0045405Residential0171917305057\$273,450\$239,232(\$34,218)116543	R0045400	Residential	0171917305052	\$294,405	\$257,565	(\$36,840)	116543
R0045403Residential0171917305055\$286,950\$251,043(\$35,907)116543R0045404Residential0171917305056\$262,630\$229,766(\$32,864)116543R0045405Residential0171917305057\$273,450\$239,232(\$34,218)116543	R0045401	Residential	0171917305053	\$286,950	\$251,043	(\$35,907)	116543
R0045404Residential0171917305056\$262,630\$229,766(\$32,864)116543R0045405Residential0171917305057\$273,450\$239,232(\$34,218)116543	R0045402	Residential	0171917305054	\$294,405	\$257,565	(\$36,840)	116543
R0045405Residential0171917305057\$273,450\$239,232(\$34,218)116543	R0045403	Residential	0171917305055	\$286,950	\$251,043	(\$35,907)	116543
	R0045404	Residential	0171917305056	\$262,630	\$229,766	(\$32,864)	116543
R0045406 Residential 0171917305058 \$294,405 \$257,565 (\$36,840) 116543	R0045405	Residential	0171917305057	\$273,450	\$239,232	(\$34,218)	116543
	R0045406	Residential	0171917305058	\$294,405	\$257,565	(\$36,840)	116543

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Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Stipulated	<u> </u>					
R0045407	Residential	0171917305059	\$286,950	\$251,043	(\$35,907)	116543
R0045408	Residential	0171917305060	\$294,405	\$257,565	(\$36,840)	116543
R0045409	Residential	0171917305061	\$286,950	\$251,043	(\$35,907)	116543
R0045410	Residential	0171917305062	\$262,630	\$229,766	(\$32,864)	116543
R0045411	Residential	0171917305063	\$262,630	\$229,766	(\$32,864)	116543
R0045412	Residential	0171917305064	\$286,950	\$251,043	(\$35,907)	116543
R0045413	Residential	0171917305065	\$294,405	\$257,565	(\$36,840)	116543
R0045414	Residential	0171917305066	\$286,950	\$251,043	(\$35,907)	116543
R0045415	Residential	0171917305067	\$294,405	\$257,565	(\$36,840)	116543
R0045416	Residential	0171917305068	\$273,450	\$239,232	(\$34,218)	116543
R0045417	Residential	0171917305069	\$262,630	\$229,766	(\$32,864)	116543
R0045418	Residential	0171917305070	\$286,950	\$251,043	(\$35,907)	116543
R0045419	Residential	0171917305071	\$294,405	- \$257,565	(\$36,840)	116543
R0045420	Residential	0171917305072	\$286,950	\$251,043	(\$35,907)	116543
R0045421	Residential	0171917305073	\$294,405	\$257,565	(\$36,840)	116543
R0045422	Residential	0171917305074	\$273,450	\$239,232	(\$34,218)	116543
R0045423	Residential	0171917305075	\$273,450	\$239,232	(\$34,218)	116543
R0045424	Residential	0171917305076	\$294,405	\$257,565	(\$36,840)	116543
R0045425	Residential	0171917305077	\$286,950	\$251,043	(\$35,907)	116543
R0045426	Residential	0171917305078	\$294,405	\$257,565	(\$36,840)	116543
R0045427	Residential	0171917305079	\$286,950	\$251,043	(\$35,907)	116543
R0045428	Residential	0171917305080	\$262,630	\$229,766	(\$32,864)	116543
R0045429	Residential	0171917305081	\$273,450	\$239,232	(\$34,218)	116543
R0045430	Residential	0171917305082	\$294,405	\$257,565	(\$36,840)	116543
R0045431	Residential	0171917305083	\$286,950	\$251,043	(\$35,907)	116543
R0045432	Residential	0171917305084	\$294,405	\$257,565	(\$36,840)	116543
R0045433	Residential	0171917305085	\$286,950	\$251,043	(\$35,907)	116543
R0045434	Residential	0171917305086	\$262,630	\$229,766	(\$32,864)	116543
R0045435	Residential	0171917305087	\$273,450	\$239,232	(\$34,218)	116543
R0045436	Residential	0171917305088	\$294,405	\$257,565	(\$36,840)	116543
R0045437	Residential	0171917305089	\$286,950	\$251,043	(\$35,907)	116543
R0045438	Residential	0171917305090	\$294,405	\$257,565	(\$36,840)	116543
R0045439	Residential	0171917305091	\$286,950	\$251,043	(\$35,907)	116543
R0045440	Residential	0171917305092	\$262,630	\$229,766	(\$32,864)	116543
R0045441	Residential	0171917305093	\$262,630	\$229,766	(\$32,864)	116543
R0045442	Residential	0171917305094	\$286,950	\$251,043	(\$35,907)	116543
R0045443	Residential	0171917305095	\$294,405	\$257,565	(\$36,840)	116543
, R0045444	Residential	0171917305096	\$286,950	\$251,043	(\$35,907)	116543
R0045445	Residential	0171917305097	\$294,405	\$257,565	(\$36,840)	116543
R0045446	Residential	0171917305098	\$273,450	\$239,232	(\$34,218)	116543

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Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Stipulated	1			·····		
R0045447	Residential	0171917305099	\$262,630	\$229,766	(\$32,864)	116543
R0045448	Residential	0171917305100	\$286,950	\$251,043	(\$35,907)	116543
R0045449	Residential	0171917305101	\$294,405	\$257,565	(\$36,840)	116543
R0045450	Residential	0171917305102	\$286,950	\$251,043	(\$35,907)	116543
R0045451	Residential	0171917305103	\$294,405	\$257,565	(\$36,840)	116543
R0045452	Residential	0171917305104	\$273,450	\$239,232	(\$34,218)	116543
R0045453	Residential	0171917305105	\$273,450	\$239,232	(\$34,218)	116543
R0045454	Residential	0171917305106	\$294,405	\$257,565	(\$36,840)	116543
R0045455	Residential	0171917305107	\$286,950	\$251,043	(\$35,907)	116543
R0045456	Residential	0171917305108	\$262,630	\$229,766	(\$32,864)	116543
R0045457	Residential	0171917305109	\$1,000	\$1,000	\$0	116543
R0045458	Residential	0171917305110	\$378,528	\$331,162	(\$47,366)	116543
R0045459	Residential	0171917305111	\$374,081	\$327,271	(\$46,810)	116543
R0045460	Residential	0171917305112	\$377,268	\$330,059	(\$47,209)	116543
R0045461	Residential	0171917305113	\$378,528	\$331,162	(\$47,366)	116543
R0045462	Residential	0171917305114	\$377,268	\$330,059	(\$47,209)	116543
R0045463	Residential	0171917305115	\$373,607	\$326,857	(\$46,750)	116543
R0045464	Residential	0171917305116	\$1,000	\$1,000	\$0	116543
R0045465	Residential	0171917306001	\$1,000	\$1,000	\$0	116543
R0045466	Residential	0171917306002	\$373,833	\$327,054	(\$46,779)	116543
R0045467	Residential	0171917306003	\$381,596	\$333,846	(\$47,750)	116543
R0045468	Residential	0171917306004	\$376,883	\$329,723	(\$47,160)	116543
R0045469	Residential	0171917306005	\$367,631	\$321,628	(\$46,003)	116543
R0045470	Residential	0171917306006	\$365,354	\$319,636	(\$45,718)	116543
R0045471	Residential	0171917306007	\$364,919	\$319,256	(\$45,663)	116543
R0045472	Residential	0171917306008	\$370,748	\$324,355	(\$46,393)	116543
R0045473	Residential	0171917306009	\$364,229	\$318,652	(\$45,577)	116543
R0045474	Residential	0171917306010	\$386,730	\$338,337	(\$48,393)	116543
R0045475	Residential	0171917306011	\$392,460	\$343,350	(\$49,110)	116543
R0045476	Residential	0171917306012	\$388,054	\$339,496	(\$48,558)	116543
R0045477	Residential	0171917306013	\$384,184	\$336,110	(\$48,074)	116543
R0045478	Residential	0171917306014	\$387,458	\$338,974	(\$48,484)	116543
R0045479	Residential	0171917306015	\$392,261	\$343,176	(\$49,085)	116543
R0045480	Residential	0171917306016	\$387,392	\$338,917	(\$48,475)	116543
R0045481	Residential	0171917306017	\$392,393	\$343,292	(\$49,101)	116543
R0045482	Residential	0171917306018	\$386,398	\$338,047	(\$48,351)	116543
R0045483	Residential	0171917306019	\$390,561	\$341,689	(\$48,872)	116543
R0045484	Residential	0171917306020	\$385,162	\$336,966	(\$48,196)	116543
R0045485	Residential	0171917306021	\$390,561	\$341,689	(\$48,872)	116543
R0045486	Residential	0171917306022	\$385,162	\$336,966	(\$48,196)	116543

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Stipulated						
R0045487	Residential	0171917306023	\$390,561	\$341,689	(\$48,872)	116543
R0045488	Residential	0171917306024	\$385,162	\$336,966	(\$48,196)	116543
R0045489	Residential	0171917306025	\$390,561	\$341,689	(\$48,872)	116543
R0045490	Residential	0171917306026	\$385,162	\$336,966	(\$48,196)	116543
R0045491	Residential	0171917306027	\$390,561	\$341,689	(\$48,872)	116543
R0045492	Residential	0171917306028	\$385,162	\$336,966	(\$48,196)	116543
R0045493	Residential	0171917306029	\$390,561	\$341,689	(\$48,872)	116543
R0045494	Residential	0171917306030	\$385,162	\$336,966	(\$48,196)	116543
R0045495	Residential	0171917306031	\$1,000	\$1,000	\$0	116543
R0045496	Residential	0171917306032	\$377,268	\$330,059	(\$47,209)	116543
R0045497	Residential	0171917306033	\$378,528	\$331,162	(\$47,366)	116543
R0045498	Residential	0171917306034	\$377,268	\$330,059	(\$47,209)	116543
R0045499	Residential	0171917306035	\$374,081	\$327,271	(\$46,810)	116543
R0045500	Residential	0171917306036	\$378,528	\$331,162	(\$47,366)	116543
R0045501	Residential	0171917306037	\$377,268	\$330,059	(\$47,209)	116543
R0045502	Residential	0171917306038	\$378,528	\$331,162	(\$47,366)	116543
R0045503	Residential	0171917306039	\$377,268	\$330,059	(\$47,209)	116543
R0045504	Residential	0171917306040	\$374,081	\$327,271	(\$46,810)	116543
R0045505	Residential	0171917306041	\$378,528	\$331,162	(\$47,366)	116543
R0045506	Residential	0171917306042	\$377,268	\$330,059	(\$47,209)	116543
R0045507	Residential /	0171917306043	\$377,268	\$330,059	(\$47,209)	116543
R0045508	Residential	0171917306044	\$374,081	\$327,271	(\$46,810)	116543
R0045509	Residential	0171917307001	\$1,000	\$1,000	\$0	116543
R0045510	Residential	0171917307002	\$378,528	\$331,162	(\$47,366)	116543
R0045511	Residential	0171917307003	\$381,596	\$333,846	(\$47,750)	116543
R0045512	Residential	0171917307004	\$374,081	\$327,271	(\$46,810)	116543
R0045513	Residential	0171917307005	\$381,596	\$333,846	(\$47,750)	116543
R0045514	Residential	0171917307006	\$374,081	\$327,271	(\$46,810)	116543
R0045515	Residential	0171917307007	\$381,596	\$333,846	(\$47,750)	116543
R0045516	Residential	0171917307008	\$385,959	\$337,663	(\$48,296)	116543
R0045517	Residential	0171917307009	\$383,571	\$335,574	(\$47,997)	116543
R0045518	Residential	0171917307010	\$367,586	\$321,589	(\$45,997)	116543
R0045519	Residential	0171917307011	\$381,774	\$334,002	(\$47,772)	116543
R0045520	Residential	0171917307012	\$390,895	\$341,981	(\$48,914)	116543
R0045521	Residential	0171917307013	\$385,162	\$336,966	(\$48,196)	116543
R0045522	Residential	0171917307014	\$380,629	\$333,000	(\$47,629)	116543
R0045523	Residential	0171917307015	\$390,561	\$341,689	(\$48,872)	116543
R0045524	Residential	0171917307016	\$385,162	\$336,966	(\$48,196)	116543
R0045525	Residential	0171917307017	\$380,629	\$333,000	(\$47,629)	116543
R0045526	Residential	0171917307018	\$390,561	\$341,689	(\$48,872)	116543

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R0045527	Residential	0171917307019	\$385,162	\$336,966	(\$48,196)	116543
R0045528	Residential	0171917307020	\$380,629	\$333,000	(\$47,629)	116543
R0045529	Residential	0171917307021	\$370,830	\$324,427	(\$46,403)	116543
R0045530	Residential	0171917307022	\$1,000	\$1,000	\$0	116543
R0045531	Residential	0171917307023	\$398,227	\$348,396	(\$49,831)	116543
R0045532	Residential	0171917307024	\$396,131	\$346,562	(\$49,569)	116543
R0045533	Residential	0171917307025	\$392,670	\$343,534	(\$49,136)	116543
R0045534	Residential	0171917307026	\$394,931	\$345,512	(\$49,419)	116543
R0045535	Residential	0171917307027	\$396,506	\$346,890	(\$49,616)	116543
R0045536	Residential	0171917307028	\$392,670	\$343,534	(\$49,136)	116543
R0045537	Residential	0171917307029	\$394,931	\$345,512	(\$49,419)	116543
R0045538	Residential	0171917307030	\$392,670	\$343,534	(\$49,136)	116543
R0045539	Residential	0171917307031	\$396,506	\$346,890	(\$49,616)	116543
R0048489	Residential	0171919413047	\$554,011	\$496,000	(\$58,011)	116524
R0050279	Residential	0171920429007	\$346,026	\$276,000	(\$70,026)	116138
R0050594	Residential	0171921312018	\$163,000	\$135,000	(\$28,000)	115788
R0050913	Residential	0171921405004	\$380,000	\$360,000	(\$20,000)	116127
R0055760	Residential	0171926111016	\$325,840	\$321,000	(\$4,840)	115652
R0060566	Residential	0171928417007	\$333,364	\$313,600	(\$19,764)	115902
R0061958	Residential	0171929421004	\$383,069	\$355,000	(\$28,069)	115659
R0062566	Residential	0171930122045	\$310,292	\$276,948	(\$33,344)	115575
R0063539	Residential	0171930423001	\$414,073	\$385,000	(\$29,073)	116151
R0064823	Residential	0171931322026	\$654,181	\$620,000	(\$34,181)	115978
R0065046	Residential	0171931404006	\$310,801	\$291,000	(\$19,801)	115787
R0066455	Commercial	0171932300078	\$9,289,999	\$8,750,000	(\$539,999)	115974
R0068604	Residential	0171933311009	\$374,814	\$340,000	(\$34,814)	115693
R0069034	Commercial	0171933413014	\$2,397,600	\$1,760,400	(\$637,200)	116066
R0076888	Commercial	0172120000011	\$413,820	\$372,438	(\$41,382)	116390
R0077242	Residential	0172128300023	\$187,944	\$100,000	(\$87,944)	115995
R0078522	Residential	0172132120018	\$118,500	\$67,500	(\$51,000)	115846
R0078604	Residential	0172132123007	\$287,670	\$240,000	(\$47,670)	115565
R0079061	Residential	0172132222016	\$267,973	\$229,223	(\$38,750)	115579
R0081487	Residential	018130000002	\$187,785	\$150,000	(\$37,785)	115589
R0081547	Agricultural	0181300000086	\$91,780	\$24,258	(\$67,522)	115603
R0082296	Residential	0181500000227		\$271,000	(\$121,866)	115848
R0083392	Residential	0181700000240	\$561,640	\$450,000	(\$111,640)	115992
R0083572	Residential	0181731102001	\$500,985	\$450,000	(\$50,985)	115754
R0083776	Residential	0181936409003		\$435,000	(\$45,000)	115949
R0084069	Commercial	0182128006009	•	\$8,569,445	(\$6,035,739)	116042
R0084111	Commercial	0182129007001		\$6,310,714	(\$4,118,917)	116043

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Stipulated						
R0084258	Commercial	0182130005008	\$5,163,000	\$4,543,714	(\$619,286)	116041
R0084937	Residential	0182131113014	\$400,081	\$370,000	(\$30,081)	116672
R0087831	Residential	0182305103032	\$170,000	\$155,000	(\$15,000)	116254
R0088020	Residential	0182305112010	\$211,755	\$200,000	(\$11,755)	115934
R0088376	Residential	0182305209008	\$253,845	\$225,000	(\$28,845)	115635
R0088419	Residential	0182305211015	\$244,765	\$220,000	(\$24,765)	115936
R0088604	Residential	0182305302014	\$273,208	\$255,000	(\$18,208)	115939
R0088641	Residential	0182305303032	\$253,463	\$215,000	(\$38,463)	115937
R0089808	Commercial	0182306118001	\$462,075	\$429,000	(\$33,075)	116525
R0090171	Residential	0182306300042	\$248,226	\$125,000	(\$123,226)	115753
R0091009	Residential	0182307400043	\$11,888,249	\$8,640,000	(\$3,248,249)	116479
R0091010	Residential	0182307400044	\$15,799,772	\$11,520,000	(\$4,279,772)	116458
R0092717	Commercial	0182317402023	\$1,100,000	\$1,050,000	(\$50,000)	115731
R0094891	Residential	0182334318019	\$1,380,000	\$1,238,000	(\$142,000)	115988
R0094957	Residential	0182334322002	\$1,380,000	\$1,238,000	(\$142,000)	115987
R0094958	Residential	0182334322003	\$623,829	\$600,000	(\$23,829)	115592
R0094959	Residential	0182334322004	\$623,829	\$600,000	(\$23,829)	115590
R0098019	Commercial	0182502105009	\$3,518,044	\$3,300,000	(\$218,044)	116 444
R0098132	Commercial	0182502305002	\$2,817,672	\$2,724,183	(\$93,489)	116012
R0099616	Commercial	0182504223005	\$6,480,358	\$4,244,890	(\$2,235,468)	115600
R0099844	Residential	0182505111004	\$351,859	\$340,000	(\$11,859)	115634
R0100715	Residential	0182505405005	\$266,627	\$160,000	(\$106,627)	115942
R0101264	Residential	0182506212007	\$492,511	\$400,000	(\$92,511)	115853
R0102002	Residential	0182506400030	\$801,773	\$340,000	(\$461,773)	115791
R0102723	Residential	0182507220005	\$384,800	\$350,000	(\$34,800)	115591
R0102968	Commercial	0182507300048	\$243,169	\$170,218	(\$72,951)	115571
R0103158	Residential	0182508212018	\$964,108	\$820,000	(\$144,108)	115996
R0103779	Commercial	0182511400063	\$3,743,423	\$3,500,000	(\$243,423)	116441
R0104854	Residential	0182517202004	\$256,141	\$160,000	(\$96,141)	115792
R0105282	Residential	0182518111022	\$412,799	\$285,000	(\$127,79 9)	115611
R0107074	Residential	0181300015001	\$489,720	\$477,000	(\$12,720)	115991
R0107874	Residential	0171931329004	\$15,809,178	\$9,282,841	(\$6,526,337)	115887
R0107877	Residential	0171931329005	\$629,980	\$450,000	(\$179,980)	115888
R0107878	Residential	0171931329006	\$9,894,850	\$9,445,300	(\$449,550)	115885
R0108242	Commercial	0171930223005	\$372,669	\$300,000	(\$72,669)	115772
R0108350	Industrial	0182129007005	\$11,171,385	\$6,759,532	(\$4,411,853)	116044
R0108359	Industrial	0182128006013	\$8,690,000	\$7,647,892	(\$1,042,108)	116481
R0109035	Residential	0171931121019	\$516,733	\$475,000	(\$41,733)	116251
R0110355	Industrial	0182128004008	\$13,472,878	\$9,316,697	(\$4,156,181)	116047
R0110501	Agricultural	0157325020001	\$1,807,793	\$1,551,000	(\$256,793)	116024

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R0111258	Industrial	0182128004009	\$13,033,778	\$8,140,821	(\$4,892,957)	116048
R0112610	Residential	0172130001005	\$489,515	\$350,000	(\$139,515)	115808
R0113106	Residential	0157110028011	\$572,072	\$534,817	(\$37,255)	115581
R0113897	Commercial	0182129009007	\$9,024,628	\$4,992,532	(\$4,032,096)	116046
R0113915	Residential	0182502404012	\$358,160	\$298,000	(\$60,160)	115721
R0115331	Commercial	0182129011001	\$8,141,000	\$7,165,059	(\$975,941)	116049
R0115960	Commercial	0182326407013	\$4,198,650	\$3,275,000	(\$923,650)	115955
R0118589	Residential	0171931329016	\$3,374,133	\$2,400,000	(\$974,133)	115886
R0119547	Residential	0171903410025	\$15,458,050	\$14,600,000	(\$858,050)	115795
R0121157	Industrial	0156906112008	\$2,346,626	\$2,210,000	(\$136,626)	11627 1
R0121198	Residential	0171918222001	\$14,486,716	\$11,400,000	(\$3,086,716)	115798
R0124974	Residential	0171907408006	\$686,000	\$665,000	(\$21,000)	115979
R0125157	Residential	0171907414004	\$814,011	\$709,207	(\$104,804)	115745
R0125171	Residential	0171907414010	\$907,352	\$850,000	(\$57,352)	115653
R0125195	Residential	0171907414021	\$826,994	\$725,000	(\$101,994)	116236
R0125235	Residential	0171907417005	\$733,119	\$692,000	(\$41,119)	115598
R0126234	Commercial	0171911405016	\$7,238,827	\$5,000,000	(\$2,238,827)	115997
R0127699	Residential	0171903214002	\$86,441,045	\$75,000,000	(\$11,441,045)	115736
R0129787	Commercial	0157335301005	\$14,141,474	\$12,964,666	(\$1,176,808)	116069
R0130090	Residential	0171901416015	\$456,307	\$425,000	(\$31,307)	115811
R0131146	Residential	0156724101002	\$418,935	\$390,000	(\$28,935)	115947
R0131360	Commercial	0156905335003	\$2,523,150	\$2,465,478	(\$57,672)	116613
R0131516	Residential	0171907416059	\$455,740	\$420,000	(\$35,740)	115708
R0131950	Residential	0182306112019	\$416,000	\$360,000	(\$56,000)	116058
R0133071	Residential	0157130401122	\$289,832	\$276,147	(\$13,685)	115617
R0133493	Residential	0157336112007	\$375,000	\$369,000	(\$6,000)	115950
R0134522	Agricultural	0174103100001	\$187,375	\$105,758	(\$81,617)	115583
R0137623	Residential	0171903302001	\$19,667,161	\$14,500,000	(\$5,167,161)	116038
R0137634	Commercial	0182129102003	\$11,557,334	\$7,459,264	(\$4,098,070)	116050
R0138403	Residential	0156517400002	\$1,217,648	\$1,100,000	(\$117,648)	115860
R0138650	Residential	0157110302002	\$653,700	\$598,899	(\$54,801)	116111
R0139064	Commercial	0182128301001	\$12,351,064	\$8,857,277	(\$3,493,787)	116053
R0139159	Residential	0157328303008	\$589,255	\$560,022	(\$29,233)	115588
R0140151	Residential	0156903118019	\$340,000	\$320,000	(\$20,000)	116055
R0141056	Residential	0156908123005	\$19,728,093	\$18,360,000	(\$1,368,093)	115615
R0142584	Residential	0157313204020	\$450,556	\$430,661	(\$19,895)	115801
R0143752	Residential	0171907307013	\$1,308,043	\$1,200,000	(\$108,043)	115637
R0143761	Residential	0171907307022	\$1,111,013	\$1,000,000	(\$111,013)	115681
R0144005	Residential	0171907423006	\$623,649	\$595,000	(\$28,649)	115701
R0145155	Residential	0157122102030	\$667,570	\$570,648	(\$96,922)	115756

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R0145156	Residential	0157122102029	\$636,205	\$562,810	(\$73,395)	116081
R0145746	Residential	0171906111013	\$670,005	\$625,000	(\$45,005)	115751
R0146016	Residential	0156701202021	\$614,000	\$585,000	(\$29,000)	115722
R0147507	Residential	0157129320007	\$464,228	\$450,000	(\$14,228)	115567
R0147935	Producing Mine	0181103400002	\$955,554	\$222,453	(\$733,101)	115774
R0148018	Residential	0172926300001	\$366,960	\$250,000	(\$116,960)	115557
R0148308	Commercial	0171928205024	\$2,451,544	\$2,342,700	(\$108,844)	116611
R0150880	Residential	0172907200001	\$520,281	\$455,000	(\$65,281)	115712
R0150967	Commercial	0171927101006	\$2,658,080	\$2,463,426	(\$194,654)	116612
R0151359	Residential	0172308205004	\$508,068	\$495,000	(\$13,068)	116016
R0153334	Residential	0157105404017	\$749,722	\$685,000	(\$64,722)	115803
R0155163	Residential	0172316103009	\$391,878	\$391,878	\$0	115805
R0157621	Commercial	0171915105019	\$36,892,624	\$32,040,000	(\$4,852,624)	116363
R0159593	Residential	0171932318024	\$319,000	\$283,000	(\$36,000)	115993
R0160852	Residential	0157321101015	\$827,412	\$751,410	(\$76,002)	115723
R0160886	Residential	0157321101036	\$815,274	\$740,209	(\$75,065)	116109
R0160896	Residential	0157321101046	\$831,277	\$756,334	(\$74,943)	115704
R0160900	Residential	0157321104003	\$806,600	\$731,536	(\$75,064)	116079
R0160902	Residential	0157321104005	\$807,381	\$732,317	(\$75,064)	115730
R0160903	Residential	0157321104006	\$753,102	\$686,244	(\$66,858)	115738
R0160944	Residential	0157321101068	\$1,072,500	\$1,042,000	(\$30,500)	116105
R0161412	Commercial	0157336410159	\$4,961,222	\$3,570,000	(\$1,391,222)	116434
R0161445	Commercial	0157302207003	\$9,637,873	\$8,835,840	(\$802,033)	116073
R0161858	Commercial	0156921201001	\$8,530,563	\$7,820,677	(\$709,886)	116145
R0162186	Agricultural	0156918301001	\$1,374,370	\$1,200,000	(\$174,370)	116431
R0162787	Commercial	0157332401005	\$2,300,000	\$2,140,000	(\$160,000)	115972
R0163054	Residential	0171906136003	\$589,000	\$572,000	(\$17,000)	115905
R0164562	Commercial	0171932421001	\$2,847,645	\$2,750,000	(\$97,645)	115682
R0165790	Commercial	0156921101001	\$14,277,447	\$13,089,324	(\$1,188,123)	116071
R0167193	Residential	0171936200035	\$708,672	\$450,000	(\$258,672)	115800
R0168920	Commercial	0157135401006	\$3,028,233	\$2,450,000	(\$578,233)	115956
R0169019	Residential	0171922407079	\$63,739,197	\$61,446,000	(\$2,293,197)	115761
R0169056	Commercial	0182128101009	\$8,661,878	\$7,941,064	(\$720,814)	116144
R0169058	Commercial	0157322301002	\$8,131,457	\$7,950,000	(\$181,457)	115973
R0169129	Commercial	0157315301003	\$14,423,634	\$13,223,345	(\$1,200,289)	116070
R0170390	Commercial	0157303401005	\$13,733,614	\$12,800,000	(\$933,614)	116006
R0171736	Residential	0157116121013	\$538,704	\$503,208	(\$35,496)	115727
R0172837	Residential	0171912302002	\$58,905,956	\$20,340,000	(\$38,565,956)	115576
R0173556	Residential	0171934121071	\$593,113	\$420,523	(\$172,590)	115619
R01755556	Commercial	0172310303001	\$998,243	\$662,320	(\$335,923)	116190

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Stipulated						
R0174146	Commercial	0172310302001	\$391,064	\$285,410	(\$105,654)	116189
R0174147	Commercial	0172310301005	\$605,223	\$441,710	(\$163,513)	116188
R0174247	Commercial	0157315301006	\$12,373,392	\$12,000,000	(\$373,392)	115742
R0174911	Commercial	0182510405009	\$8,300,000	\$7,774,845	(\$525,155)	116301
R0178319	Commercial	0157336309072	\$3,005,911	\$2,573,100	(\$432,811)	116195
R0178498	Residential	0157109423044	\$512,000	\$468,012	(\$43,988)	115857
R0178850	Commercial	0171915109002	\$2,591,240	\$2,561,580	(\$29,660)	116615
R0178999	Residential	0182305425046	\$364,941	\$160,000	(\$204,941)	115642
R0180011	Residential	0171901214020	\$84,358,594	\$79,968,000	(\$4,390,594)	115834
R0180294	Commercial	0157131114003	\$6,311,959	\$4,750,000	(\$1,561,959)	115965
R0180297	Residential	0157131114004	\$39,980,600	\$22,000,000	(\$17,980,600)	116011
R0180482	Commercial	0182128101016	\$15,000,000	\$14,051,550	(\$948,450)	116365
R0180985	Commercial	0172307401012	\$2,165,525	\$1,420,000	(\$745,525)	116306
R0180986	Commercial	0172307401013	\$2,492,235	\$2,282,000	(\$210,235)	116334
R0181245	Commercial	0171926207044	\$2,284,581	\$2,000,000	(\$284,581)	116332
R0181468	Commercial	0156906203001	\$4,211,197	\$3,250,552	(\$960,645)	116293
R0182789	Residential	0157312207001	\$618,758	\$468,900	(\$149,858)	115794
R0182927	Residential	0157312215004	\$642,419	\$593,437	(\$48,982)	115620
R0183465	Commercial	0181533402001	\$3,584,654	\$3,054,126	(\$530,528)	116294
R0184322	Commercial	0171925201024	\$3,000,000	\$2,591,000	(\$409,000)	116233
R0185028	Residential	0157116239115	\$655,624	\$633,800	(\$21,824)	115661
R0185597	Commercial	0172317214012	\$2,745,676	\$2,534,220	(\$211,456)	116614
R0185629	Commercial	0172112425008	\$1,529,770	\$1,401,840	(\$127,930)	115969
R0185635	Commercial	0182507302005	\$1,794,800	\$1,600,000	(\$194,800)	115714
R0185659	Residential	0157315301043	\$11,200,000	\$10,000,000	(\$1,200,000)	115763
R0185660	Residential	0157315301044	\$72,800,000	\$65,000,000	(\$7,800,000)	115759
R0186638	Residential	0171906138014	\$564,673	\$554,000	(\$10,673)	115608
R0189337	Commercial	0156909211006	\$429,390	\$244,203	(\$185,187)	115968
R0190480	Residential	0157335301023	\$52,989,882	\$34,900,000	(\$18,089,882)	115797
R0192477	Commercial	0172112303082	\$1,750,000	\$1,500,000	(\$250,000)	116013
R0194005	Residential	0171904101014	\$88,985,176	\$81,900,000	(\$7,085,176)	115733
R0198051	Producing Mine	0172120301006	\$1,836,789	\$630,371	(\$1,206,418)	115775
R0198052	Producing Mine	0172120301007	\$1,625,414	\$557,829	(\$1,067,585)	115776
Number of Accounts: 433		\$1,452,605,347	\$1,214,152,195	(\$238,453,152)		

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Withdraw	'n					
R0040835	Commercial	0171914203002	\$9,504,533	\$9,504,533	\$0	116290
R0041727	Commercial	0171915201026	\$1,744,840	\$1,744,840	\$0	115998
R0041736	Commercial	0171915201035	\$3,160,104	\$3,160,104	\$0	115999
R0043501	Commercial	0171916215001	\$3,832,897	\$3,832,897	\$0	116197
R0046792	Residential	0171918304033	\$439,787	\$439,787	\$0	116152
R0048742	Commercial	0171920104008	\$1,895,780	\$1,895,780	\$0	116442
R0054235	Residential	0171924309013	\$308,504	\$308,504	\$0	116089
R0070623	Commercial	0171934402016	\$1,104,081	\$1,104,081	\$0	116379
R0070625	Commercial	0171934402018	\$1,371,705	\$1,371,705	\$0	116381
R0070626	Commercial	0171934402019	\$2,049,631	\$2,049,631	\$0	116382
R0070627	Commercial	0171934402020	\$2,164,930	\$2,164,930	\$0	116383
R0077203	Commercial	0172128209005	\$1,340,114	\$1,340,114	\$0	116440
R0084269	Commercial	0182130008017	\$4,556,576	\$4,556,576	\$0	115883
R0084357	Residential	0182130303003	\$314,000	\$314,000	\$0	116091
R0084396	Residential	0182130306011	\$304,923	\$304,923	\$0	116092
R0084626	Residential	0182130317003	\$293,360	\$293,360	\$0	116094
R0088255	Residential	0182305200039	\$300,000	\$300,000	\$0	116095
R0088590	Residential	0182305301012	\$220,000	\$220,000	\$0	115750
R0089151	Residential	0182305400033	\$240,000	\$240,000	\$0	116096
R0089772	Commercial	0182306112007	\$1,700,000	\$1,700,000	\$0	116386
R0093319	Residential	0182325312010	\$328,473	\$328,473	\$0	116163
R0095536	Residential	0182334419014	\$1,209,500	\$1,209,500	\$0	115989
R0097201	Commercial	0182335325006	\$3,508,306	\$3,508,306	\$0	116099
R0098131	Commercial	0182502305001	\$1,375,817	\$1,375,817	\$0	116432
R0099615	Commercial	0182504223004	\$222,633	\$222,633	\$0	115599
R0099617	Commercial	0182504223006	\$154,071	\$154,071	\$0	115597
R0103116	Commercial	0182508202042	\$1,478,400	\$1,478,400	\$0	116387
R0103714	Commercial	0182511300087	\$2,011,289	\$2,011,289	\$0	116098
R0103784	Industrial	0182511405008	\$349,604	\$349,604	\$0	116482
R0103785	Commercial	0182511405009	\$1,800,741	\$1,800,741	\$0	116482
R0103786	Commercial	0182511405010	\$2,141,203	\$2,141,203	\$0	116482
R0103787	Commercial	0182511405011	\$1,955,556	\$1,955,556	\$0	116482
R0103788	Commercial	0182511405012	\$2,803,614	\$2,803,614	\$0	116482
R0103789	Commercial	0182511405013	\$1,515,359	\$1,515,359	\$0	116482
R0103790	Commercial	0182511405014	\$1,863,074	\$1,863,074	\$0	116482
R0104115	Commercial	0182515200009	\$8,152,788	\$8,152,788	\$0	116300
R0104136	Commercial	0182515206003	\$7,395,129	\$7,395,129	\$0	115675
R0107887	Residential	0171931329015	\$2,684,859	\$2,684,859	\$0 \$0	115884
R0108351	Industrial	0182129007004	\$9,358,423	\$9,358,423	\$0	116045
R0115412	Industrial	0182129012001	\$9,928,097	\$9,928,097	\$0	116051

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Value Detail

2019

Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Withdraw	/ n					
R0115425	Commercial	0172115011006	\$2,050,714	\$2,050,714	\$0	116343
R0115907	Commercial	0171932317003	\$848,995	\$848,995	\$0	116238
R0117841	Residential	0171914424006	\$352,139	\$352,139	\$0	115933
R0118354	Residential	0172102105015	\$320,196	\$320,196	\$0	115577
R0121769	Commercial	0172131106035	\$5,741,120	\$5,741,120	\$0	116439
R0129784	Commercial	0157335301010	\$1,317,624	\$1,317,624	\$0	116471
R0129786	Commercial	0157335301009	\$5,319,914	\$5,319,914	\$0	116471
R0129788	Commercial	0157335301008	\$1,393,718	\$1,393,718	\$0	116471
R0141062	Commercial	0157335302008	\$1,540,954	\$1,540,954	\$0	116471
R0141063	Commercial	0157335302009	\$1,289,286	\$1,289,286	\$0	116471
R0141064	Commercial	0157335302007	\$2,884,200	\$2,884,200	\$0	116471
R0141065	Commercial	0157335301015	\$15,239,383	\$15,239,383	\$0	116471
R0144990	Commercial	0157335301018	\$1,513,493	\$1,513,493	\$0	116471
R0144991	Commercial	0157335301017	\$12,693,557	\$12,693,557	\$0	116471
R0153779	Commercial	0182508105009	\$352,001	\$352,001	\$0	116067
R0153780	Commercial	0182508105010	\$603,430	\$603,430	\$0	116067
R0153781	Commercial	0182508105011	\$352,001	\$352,001	\$0	116067
R0160055	Residential	0172112303052	\$406,098	\$406,098	\$0	115654
R0168424	Residential	0182110110006	\$452,917	\$452,917	\$0	115829
R0168918	Commercial	0171903409021	\$625,842	\$625,842	\$0	116191
R0170376	Commercial	0171917117002	\$1,866,340	\$1,866,340	\$0	116370
R0173028	Commercial	0182128101012	\$2,148,458	\$2,148,458	\$0	116364
R0173595	Commercial	0182317403028	\$1,725,387	\$1,725,387	\$0	115959
R0174912	Commercial	0182510405009	\$117,486	\$117,486	\$0	116668
R0175860	Commercial	0157129310044	\$3,200,000	\$3,200,000	\$0	116077
R0178466	Commercial	0156916401002	\$7,300,000	\$7,300,000	\$0	116395
R0179282	Residential	0157109202025	\$88,176	\$88,176	\$0	116264
R0179284	Residential	0157109202027	\$88,176	\$88,176	\$0	116264
R0179285	Residential	0157109202028	\$88,176	\$88,176	\$0	116264
R0179286	Residential	0157109202029		\$88,176	\$0	116264
R0179287	Residential	0157109202030	\$88,176	\$88,176	\$0	116264
R0179288	Residential	0157109202031		\$88,176	\$0	116264
R0179326	Residential	0157109203035	\$70,541	\$70,541	\$0	116264
R0179327	Residential	0157109203036	\$70,541	\$70,541	\$0	116264
R0179328	Residential	0157109203037		\$70,541	\$0	116264
R0179329	Residential	0157109203038		\$70,541	\$0	116264
R0179330	Residential	0157109203039		\$70,541	\$0	116264
R0179331	Residential	0157109203040		\$70,541	\$0	116264
R0179332	Residential	0157109203041	•	\$70,541	\$0	116264
R0179333	Residential	0157109203042	•	\$70,541	\$0	116264

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Value Detail

2019

Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Withdraw	'n					
R0179334	Residential	0157109203043	\$70,541	\$70,541	\$0	116264
R0179384	Residential	0157109207002	\$70,541	\$70,541	\$0	116264
R0179385	Residential	0157109207003	\$70,541	\$70,541	\$0	116264
R0179386	Residential	0157109207004	\$70,541	\$70,541	\$0	116264
R0179387	Residential	0157109207005	\$70,541	\$70,541	\$0	116264
R0179388	Residential	0157109207006	\$70,54 1	\$70,541	\$0	116264
R0179389	Residential	0157109207007	\$70,541	\$70,541	\$0	116264
R0179390	Residential	0157109207008	\$70,541	\$70,541	\$0	116264
R0179391	Residential	0157109207009	\$70,541	\$70,541	\$0	116264
R0179392	Residential	0157109207010	\$70,541	\$70,541	\$0	116264
R0179393	Residential	0157109207011	\$70,541	\$70,541	\$0	116264
R0179394	Residential	0157109207012	\$70,541	\$70,541	\$0	116264
R0179406	Residential	0157109208001	\$70,541	\$70,541	\$0	116264
R0179407	Residential	0157109208002	\$70,541	\$70,541	\$0	116264
R0179408	Residential	0157109208003	\$70,541	\$70,541	\$0	116264
R0179409	Residential	0157109208004	\$70,541	\$70,541	\$0	116264
R0179410	Residential	0157109208005	\$70,541	\$70,541	\$0	11 6264
R0179411	Residential	0157109208006	\$70,541	\$70,541	\$0	116264
R0179412	Residential	0157109208007	\$70,541	\$70,541	\$0	116264
R0179413	Residential	0157109208008	\$70,541	\$70,541	\$0	116264
R0179414	Residential	0157109208009	\$70,541	\$70,541	\$0	116264
R0179415	Residential	0157109208010	\$70,541	\$70,541	\$0	116264
R0179416	Residential	0157109208011	\$70,541	\$70,541	\$0	116264
R0179417	Residential	0157109208012	\$70,54 1	\$70,541	\$0	116264
R0179418	Residential	0157109208013	\$70,541	\$70,541	\$0	116264
R0179419	Residential	0157109208014	\$70,541	\$70,541	\$0	116264
R0179420	Residential	0157109208015	\$70,541	\$70,541	\$0	116264
R0179421	Residential	0157109208016	\$70,541	\$70,541	\$0	116264
R0179422	Residential	0157109209001	\$70,541	\$70,541	\$0	116264
R0179423	Residential	0157109209002	\$70,541	\$70,541	\$0	116264
R0179424	Residential	0157109209003	\$70,541	\$70,541	\$0	116264
R0179425	Residential	0157109209004	\$70,541	\$70,541	\$0	116264
R0179426	Residential	0157109209005	\$70,541	\$70,541	\$0	116264
R0179427	Residential	0157109209006	\$70,541	\$70,541	\$0	116264
R0179428	Residential	0157109209007	\$70,541	\$70,541	\$0	116264
R0179429	Residential	0157109209008	\$70,541	\$70,541	\$0	116264
R0179431	Residential	0157109210001	\$70,541	\$70,541	\$0	116264
R0179432	Residential	0157109210002	\$70,541	\$70,541	\$0	116264
R0179433	Residential	0157109210003	\$70,541	\$70,541	\$0	116264
R0179436	Residential	0157109211002	\$70,541	\$70,541	\$0	116264

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Value Detail

2019

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Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Withdraw	'n					
R0179447	Residential	0157109212007	\$70,541	\$70,541	\$0	116264
R0179498	Residential	0157109322011	\$70,541	\$70,541	\$0	116264
R0179512	Residential	0157109322025	\$70,541	\$70,541	\$0	116264
R0179513	Residential	0157109322026	\$130,000	\$130,000	\$0	116264
R0179516	Residential	0157109322029	\$70,541	\$70,541	\$0	116264
R0179517	Residential	0157109322030	\$70,541	\$70,541	\$0	116264
R0179518	Residential	0157109322031	\$70,541	\$70,541	\$0	116264
R0179519	Residential	0157109322032	\$70,541	\$70,541	\$0	116264
R0179520	Residential	0157109322033	\$70,541	\$70,541	\$0	116264
R0179521	Residential	0157109322034	\$70,541	\$70,541	\$0	116264
R0179522	Residential	0157109322035	\$70,541	\$70,541	\$0	116264
R0179525	Residential	0157109322038	\$88,176	\$88,176	\$0	116264
R0179526	Residential	0157109322039	\$88,176	\$88,176	\$0	116264
R0179571	Residential	0157109327008	\$70,541	\$70,541	\$0	116264
R0180528	Commercial	0182127202010	\$2,540,529	\$2,540,529	\$0	116328
R0180613	Commercial	0171920104008	\$64,662	\$64,662	\$0	116443
R0180917	Commercial	0182504223004	\$78,404	\$78,404	\$0	116214
R0185624	Commercial	0172112425003	\$978,44 1	\$978,441	\$0	115970
R0185649	Commercial	0182128103001		\$19,677,807	\$0	116054
R0186679	Commercial	0157322202001	\$7,706,000	\$7,706,000	\$0	116008
R0188683	Residential	0171913101372	\$110	\$110	\$0	116039
R0190451	Commercial	0182307408005	\$10,112,783	\$10,112,783	\$0	116286
R0191812	Residential	0157109211007	\$70,541	\$70,541	\$0	116264
R0191813	Residential	0157109211008	\$70,541	\$70,541	\$0	116264
R0191814	Residential	0157109211009	\$70,541	\$70,541	\$0	116264
R0191815	Residential	0157109211010	\$70,541	\$70,541	\$0	116264
R0191816	Residential	0157109212028	\$70,541	\$70,541	\$0	116264
R0191817	Residential	0157109212029	\$70,541	\$70,541	\$0	116264
R0191818	Residential	0157109212030	\$70,541	\$70,541	\$0	116264
R0191819	Residential	0157109212031	\$70,541	\$70,541	\$0	116264
R0191820	Residential	0157109212032	\$70,541	\$70,541	\$0	116264
R0191821	Residential	0157109212033	\$70,541	\$70,541	\$0	116264
R0191822	Residential	0157109212034	\$70,541	\$70,541	\$0	116264
R0191823	Residential	0157109212035	\$70,541	\$70,541	\$0	116264
R0191824	Residential	0157109212036	-	\$70,541	\$0	116264
R0191825	Residential	0157109212037		\$70,541	\$0	116264
R0191826	Residential	0157109212038		\$70,541	\$0	116264
R0191827	Residential	0157109212039		\$70,541	\$0	116264
R0191828	Residential	0157109212040		\$70,541	\$0	116264
R0191829	Residential	0157109212041	-	\$70,541	\$0	116264

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Adams County Board of Equalization ProtestValue Detail

2019

Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Withdraw	'n					
R0191830	Residential	0157109212042	\$70,541	\$70,541	\$0	116264
R0191831	Residential	0157109212043	\$70,541	\$70,541	\$0	116264
R0191832	Residential	0157109212044	\$70,541	\$70,541	\$0	116264
R0191833	Residential	0157109212045	\$70,541	\$70,541	\$0	116264
R0191834	Residential	0157109212046	\$70,541	\$70,541	\$0	116264
R0191835	Residential	0157109212047	\$70,541	\$70,541	\$0	116264
R0191836	Residential	0157109212048	\$70,541	\$70,541	\$0	116264
R0191837	Residential	0157109212049	\$70,541	\$70,541	\$0	116264
R0191838	Residential	0157109212050	\$70,541	\$70,541	\$0	116264
R0191839	Residential	0157109212051	\$70,54 1	\$70,541	\$0	116264
R0191840	Residential	0157109212052	\$70,541	\$70,541	\$0	116264
R0191851	Residential	0157109322042	\$70,541	\$70,541	\$0	116264
R0191852	Residential	0157109322043	\$70,541	\$70,541	\$ 0	116264
R0191854	Residential	0157109325009	\$70,541	\$70,541	\$0	116264
R0191855	Residential	0157109325010	\$70,541	\$70,541	\$0	116264
R0191856	Residential	0157109325011	\$70,541	\$70,541	\$0	116264
R0191857	Residential	0157109325012	\$70,541	\$70,541	\$0	116264
R0191858	Residential	0157109325013	\$70,541	\$70,541	\$0	116264
R0191859	Residential	0157109325014	\$70,541	\$70,541	\$0	116264
R0191860	Residential	0157109325015	\$70,541	\$70,541	\$0	116264
R0191861	Residential	0157109325016	\$70,541	\$70,541	\$0	116264
R0191863	Residential	0157109326010	\$70,541	\$70,541	\$0	116264
R0191864	Residential	0157109326011	\$70,541	\$70,541	\$0	116264
R0191865	Residential	0157109326012	\$70,541	\$70,541	\$0	116264
R0191866	Residential	0157109326013	\$70,541	\$70,541	\$0	116264
R0191867	Residential	0157109326014	\$70,541	\$70,541	\$0	116264
R0191868	Residential	0157109326015	\$70,541	\$70,541	\$0	116264
R0194300	Commercial	0171904101016	\$11,906,400	\$11,906,400	\$0	115674
R0194301	Commercial	0171904101017	\$8,089,714	\$8,089,714	\$0	115674
R0194590	Residential	0171919204015	\$15,427,678	\$15,427,678	\$0	115964
R0195686	Commercial	0172121302002	\$35,945,100	\$35,945,100	\$0	116075
R0198533	Commercial	0171910307040	\$4,631,915	\$4,631,915	\$0	116330
Number of Accounts: 192		\$294,069,169	\$294,069,169	\$0		

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Adams County Board of Equalization ProtestValue Detail2019

Account #	Account Type	Parcel #	Current Total Value	BOE Total Value	Difference	Review #
Grand Tota	lls Adjusted / Stipu	lated Decisions:	\$2,051,361,428	\$1,769,763,181	(\$281,598,247)	
	Grand Tota	als All Decisions	: \$6,811,022,313	\$6,529,424,066	(\$281,598,247)	. <u></u>

Total Number of Accounts Overall: 1847

10/28/2019

Adams County Board of Equalization Protest Value Summary 2019 **Current Total Value BOE** Total Value Difference Adjust Number of Accounts: 186 \$598,756,081 \$555,610,986 (\$43,145,095) Deny Number of Accounts: 1036 **\$0** \$4,465,591,716 \$4,465,591,716 Stipulated Number of Accounts: 433 \$1,452,605,347 \$1,214,152,195 (\$238,453,152) Withdrawn Number of Accounts: 192 \$294,069,169 \$294,069,169 **\$0**

Grand Totals Adjusted / Stipulated Decisions:	\$2,051,361,428	\$1,769,763,181	(\$281,598,247)
Grand Totals All Decisions:	\$6,811,022,313	\$6,529,424,066	(\$281,598,247)

Total Number of Accounts Overall: 1847



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 29, 2019

SUBJECT: Ambulance License Renewal

FROM: Brandan Slattery – License Administrator

AGENCY/DEPARTMENT: Community and Economic Development Department

HEARD AT STUDY SESSION ON: N/A

AUTHORIZATION TO MOVE FORWARD: VES NO

RECOMMENDED ACTION: That the Board of County Commissioners Approves the ambulance license renewal for Western Ambulance Inc.

BACKGROUND:

Through a Multi-County Ambulance Committee Intergovernmental Agreement, the Community and Economic Development Department is responsible for the licensing of all private ambulances in the county. The ambulance license for Western Ambulance Inc. is due for renewal. The application packet has been received and is deemed complete.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Community and Economic Development Department

ATTACHED DOCUMENTS:

Resolution and License for Western Ambulance Inc.

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 0001

Cost Center: 1190.5125

	Object	Subledger	Amount
	Account		
Current Budgeted Revenue:	5125		\$750.00
Additional Revenue not included in Current Budget:			
Total Revenues:	5125		\$750.00

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested:	YES	🖂 NO
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⊲ no

Additional Note:

RESOLUTION APPROVING AMBULANCE SERVICE LICENSE FOR WESTERN <u>AMBULANCE INC.</u>

WHEREAS, the General Assembly of the State of Colorado has enacted the Colorado Medical and Trauma Services Act, Section 25-3.5-101 et seq. C.R.S. ("Act"); and,

WHEREAS, the Act requires the Board of County Commissioners for each County to administer licensure of ambulance services; and,

WHEREAS, under the provisions of the Act, each ambulance operated by a licensed ambulance service in the State of Colorado must be issued a license and permit evidencing that the ambulance and its equipment meets applicable state requirements; and,

WHEREAS, Adams County has entered into an intergovernmental agreement with the City and County of Broomfield and the counties of Arapahoe, Douglas, Denver, Elbert, and Jefferson to establish a licensing program that provides for reciprocal inspection, licensing, and permitting that may be used by all parties, creating efficiency and cost saving to the parties and to the ambulance service providers; and,

WHEREAS, Western Ambulance Inc., 6541 Washington St., Unit R, Denver, CO 80229, has applied for an Ambulance Service License through Adams County; and,

WHEREAS, Adams County has reviewed the inspection performed through the intergovernmental agreement and the application of Western Ambulance Inc. and has found that the ambulances meet the standards set forth in the March 2011 Adams County Ambulance Services Regulations; and,

WHEREAS, Western Ambulance Inc. has complied with all regulations set forth in the March 2011 Adams County Ambulance Services Regulations.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Ambulance Service License for Western Ambulance Inc. is hereby approved to provide ambulance services in the County of Adams.

BE IT FURTHER RESOLVED, that the Chairman is authorized to sign said license on behalf of Adams County.

County of Adams, State of Colorado

No. <u>ADCO 10/19</u>

Licensing Fee: \$750

Ambulance Service License

This is to Certify, that Western Ambulance Inc., 6541 Washington Street Unit R, Denver, CO 80229, having applied for a license to provide Advanced Life Support ambulance services, and having paid to the Treasurer of Adams County the required fees therefore, the above named applicant is hereby licensed to provide ambulance services within and without the County of Adams, State of Colorado, for one year from the 31th of October 2019, unless this license be sooner revoked or suspended as provided by law.

This license is subject to the laws of the State of Colorado, and the Resolutions of the Board of County Commissioners of the County of Adams, passed pursuant thereto.

In Testimony Whereof, the Board of County Commissioners of the County of Adams has hereunto subscribed its name by its officers duly authorized, this ______ day of ______, _____.

Board of County Commissioners of the County of Adams, State of Colorado

Attest:

Chair

Clerk



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 29. 2019

SUBJECT: Adams County Head Start's Colorado Preschool Special Education Program Annual Cost Rate Addendum Agreement with School District 27J for PY 2019-2020

FROM: Katie Griego, Director of Human Services Department

AGENCY/DEPARTMENT: Human Services Department

HEARD AT STUDY SESSION ON: N/A

AUTHORIZATION TO MOVE FORWARI): 🗌] YES	
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RECOMMENDED ACTION: That the Board of County Commissioners Approves the resolution for Head Start to enter into the Colorado Preschool Special Education Program Annual Cost Rate Addendum Agreement with School District 27J for PY 2019-2020

BACKGROUND:

Adams County Head Start would like to enter into the Colorado Preschool Special Education Program Annual Cost Rate Addendum Agreement with School District 27J for PY 2019-2020. Adams County Head Start will have the ability to enroll up to ten (10) student(s) with a disability and eligible for specialized instruction and supplementary aids and services under The Individual with Disabilities Education Act. For each child enrolled, School District 27J will pay to Adams County Head Start the sum of \$216 per child, per month for 10 months, not to exceed a total of \$2,160.32 per enrollee.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

School District 27J

ATTACHED DOCUMENTS:

Resolution attached Colorado Preschool Special Education Program Annual Cost Rate Addendum Agreement with School District 27J for PY 2019-2020

Revised 06/2016

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 31

Cost Center: various

	Object	Subledger	Amount
	Account		
Current Budgeted Revenue:	5660		\$21,603.20
Additional Revenue not included in Current Budget:			\$
Total Revenues:			\$21,603.20

	Object	Subledger	Amount
	Account		
Current Budgeted Operating Expenditure:	7000.9999		\$21,603.20
Add'l Operating Expenditure not included in Current Budget:			\$
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			\$21,603.20

New FTEs requested:	YES	🛛 NO

Future Amendment Needed:	YES	🖂 NO
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Additional Note:

RESOLUTION APPROVING THE COLORADO PRESCHOOL SPECIAL EDUCATION PROGRAM ANNUAL COST RATE ADJUSTMENT BETWEEN ADAMS COUNTY HEAD START AND SCHOOL DISTRICT 27J FOR 2019-2020

WHEREAS, Adams County Head Start would like to enter into the attached Colorado Preschool Special Education Program Annual Cost Rate Addendum Agreement with School District 27J; and,

WHEREAS, pursuant to the agreement, School District 27J will provide ten (10) Colorado Preschool Special Education Program slots at \$2,160.32 per enrollee to Adams County Head Start to provide services for children.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the Colorado Preschool Special Education Program Annual Cost Rate Addendum Agreement 2019-20 between Adams County Head Start and School District 27J be approved.

BE IT FURTHER RESOLVED, that the Chairman is authorized to execute said agreement on behalf of Adams County.

INTERGOVERNMENTAL AGREEMENT BETWEEN ADAMS COUNTY AND 27J Schools SCHOOL DISTRICT REGARDING COLORADO PRESCHOOL SPECIAL EDUCATION PROGRAM

THIS INTERGOVERNMENTAL AGREEMENT ("IGA") is entered into this 10th day of September 2019, by and between the Board of County Commissioners of Adams County, State of Colorado, located at 4430 S. Adams County Parkway, Brighton, Colorado 80601, hereinafter referred to as "County," and 27J Schools located at 18551 E. 160th Avenue, CO 80601, hereinafter referred to as "District".

WHEREAS, County is qualified to provide services to students with a disability within the District's service area; and,

WHEREAS, District is willing to provide County with 10 openings for student(s) with a disability and eligible for specialized instruction and supplementary aids and services under The Individual with Disabilities Education Act (IDEA) upon the terms and conditions of this IGA.

NOW, THEREFORE, for the consideration hereinafter set forth, the Parties agree as follows:

- 1. Scope of Services. County shall provide the services outlined in Exhibit 1, to be provided at Adams County Head Start Brighton.
- **2. Term.** The term of this IGA shall be from August 2019, through May 2020.
- **3. Payment.** District shall pay County as follows: \$216 per child per month ("slot") for a maximum of 10 slots accordingly, the total payments pursuant to this IGA shall not exceed \$2,160.32. District shall process payments within thirty days of receipt of a valid invoice to the District's Accounts Payable office.
- 4. **Fund Availability.** This IGA shall not constitute a multi-year fiscal obligation and is expressly subject to annual appropriation. In the event funds are not appropriated in any fiscal year, either party may terminate this IGA.
- 5. No Waiver. Neither party gives up any rights by failing to enforce any terms of this IGA.
- 6. Governmental Immunity. The parties are governmental entities subject to the Colorado Governmental Immunity Act ("CGIA"). Nothing in this IGA shall be construed as waiving the provisions of the CGIA.
- 7. Jurisdiction and Venue. The laws of the State of Colorado shall govern as to the interpretation, validity, and effect of this IGA. The Parties agree that jurisdiction and venue for any disputes arising under this IGA shall be in Adams County, Colorado.

- 8. Integration of Understanding. This IGA contains the entire understanding of the Parties hereto and the rights and obligations contained therein may be changed, modified, or waived only by an instrument in writing signed by the Parties hereto.
- 9. Paragraph Headings. Paragraph headings are inserted for the convenience of reference only.
- 10. Parties Interested Herein. Nothing expressed or implied in this IGA is intended or shall be construed to confer upon or to give to any person other than the Parties any right, remedy, or claim under or by reason of this IGA. All covenants, terms, conditions, and provisions in this IGA shall be for the sole and exclusive benefit of County and District.
- 11. Severability. If any provision of this IGA is determined to be unenforceable or invalid for any reason, the remainder of the IGA shall remain in effect, unless otherwise terminated in accordance with the terms contained herein.
- 12. Authorization. Each party represents and warrants that it has the power and ability to enter into this IGA, to grant the rights granted herein, and to perform the duties and obligations herein described.
- **13**. **Insurance.** The parties are governmental entities, insured in compliance with the requirements of the Colorado Governmental Immunity Act. During the term of this IGA the parties shall maintain such insurance.

IN WITNESS WHEREOF, the Parties hereto have caused their names to be affixed hereto.

COUNTY: BOARD OF COUNTY COMMISSIONERS ADAMS COUNTY, COLORADO

Chairman

Date

ATTEST: JOSH ZYGIELBAUM CLERK AND RECORDER

APPROVED AS TO FORM:

Deputy Clerk

Adams County Attorney's Office

SCHOOL DISTRICT

9-10-19

Date





Student Services Department

Mary Gomez, Director of Special Education 18551 E. 160th Avenue, Brighton, CO 80601 Superintendent Chris Fiedler, Ed.D. 27J Schools Board of Education Roberta Thimmig, President Greg Piotraschke, Vice President Kevin Kerber, Director Lloyd Worth, Director Blaine Nickeson, Director Mandy Thomas, Director Jenn Venerable, Director

Exhibit 1: Annual Cost Rate Addendum Agreement between School District 27J and Adams County Head Start Brighton Site Colorado Preschool Special Education Program 2019-2020

- 1. Adams County Head Start Brighton Site shall have the ability to enroll up to ten (10) student(s) with a disability and eligible for specialized instruction and supplementary aids and services under The Individual with Disabilities Education Act (IDEA). These children must be three years or older during the 2019-2020 school year and have an active Individual Education Plan (IEP)
- 2. School District 27J will compensate Adams County Head Start Brighton Site for enrollees who are absent for 5 or less days within a given month. Enrollees who are absent for 6 or more days, will not receive compensation for those days missed.
- 3. School District 27J shall pay all monies owed for program enrollees on a monthly basis to Adams County Head Start Brighton Site no later than the fifteenth of the month in accordance with the Invoice presented. Adams County Head Start Brighton Site Invoice will include full names and attendance information of all IEP students served at the site for the program month billed.
- 4. School District 27J shall provide the specialized instructional services and supports as documented within the child's IEP during the time the child is in attendance in the Adams County Head Start Brighton Site.
- 5. Brighton Head Start shall abide by all requirements of the Colorado Preschool Program Act, Section 22-28-109, et seq., C.R.S. and all rules and regulations hereunder, including the following:
 - (a) Adams County Head Start Brighton Site will provide a quality program which meets the requirements of Section 22-28-108(1) and (2), C.R.S., and will provide any information about the program School District 27J deems necessary to ensure that Adams County Head Start Brighton Site is complying with those requirements.
 - (b) Adams County Head Start Brighton Site assures the District that the services provided to each child under this agreement are in addition to services that Brighton Head Start is otherwise providing and that any payments made under this agreement to Brighton Head Start do not supplant monies available to it to fund other services provided by Adams County Head Start Brighton Site.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 29, 2019					
SUBJECT	SUBJECT: Community Transit A-LIFT Service Provider				
FROM:	Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Benjamin Dahlman, Finance Director Jen Tierney Hammer, Procurement and Contracts Manager				
AGENCY/DEPARTMENT: Regional Affairs					
HEARD AT STUDY SESSION ON: N/A					
AUTHORIZATION TO MOVE FORWARD: YES NO					
RECOMMENDED ACTION: That the Board of County Commissioners approves Amendment Two to the agreement with the Seniors' Resource Center for Community Transit Services.					

BACKGROUND:

The A-LIFT program offers transportation services to Adams County residents who are disabled regardless of their age or who are 60 years of age and older. Transportation services include trips for; medical appointments, dental appointments, groceries, food bank sites, congregate meal sites, adult day and respite services, and personal trips.

The A-LIFT program receives eligible funds from Title III Older American Act and State of Colorado funding for Senior Services.

A formal Request for Proposal (RFP) was posted on Rocky Mountain Bidnet System on June 2, 2017, to seek a contractor to provide transportation services for the A-LIFT program. The Seniors' Resource Center (SRC) was the only responder to the RFP. The Board of County Commissioners approved the agreement for a one-year term, with two one-year renewal options.

Staff is pleased with the services provided by SRC and is seeking to renew the agreement for one additional year, the last of the two one-year renewal options. SRC has proposed a \$31.84 per rider fee for this service, \$3.18 per ride increase from last year to cover increased insurance and transportation costs. The Denver Regional Council of Governments (DRCOG) has approved this increase. The increase will not impact riders as A-Lift will continue providing rides to our Senior and Special Needs residents at no cost to them. Amendment Two will be in the not to exceed amount of \$700,480.00 bringing the contract total to \$1,939,750.00.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Regional Affairs

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 1

Cost Center: 1033

	Object Account	Subledger	Amount
Current Budgeted Revenue:	5690		\$448,290.00
Additional Revenue not included in Current Budget:			
Total Revenues:			\$448,290.00

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	7630		\$607,290.00
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			\$607,290.00

New FTEs requested:	YES	NO NO
Future Amendment Needed:	YES	🖂 NO

Additional Note:

The fiscal year for A-Lift is July-June, whereas the County budgets January-December. The above fiscal impact shows only the 2019 approved budget. The other \$95,000 will be addressed in the 2020 budget, subject to BOCC appropriations. Revenue sources: \$450,000 from DRCOG \$150,000 from Cities served

BOARD OF COUNTY COMMISSIONERS FOR ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMENDMENT TWO TO THE AGREEMENT WITH SENIORS' RESOURCE CENTER FOR COMMUNITY TRANSIT SERVICES

WHEREAS, the Board of County Commissioners approved an agreement for Community Transit Services with Seniors' Resource Center in 2017; and,

WHEREAS, the County is pleased with services provided by Seniors' Resource Center and desires to renew the agreement for the last optional one additional year; and,

WHEREAS, Seniors' Resource Center agrees to provide the Community Transit Services in the not to exceed amount of \$700,480.00.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment Two to the agreement with Seniors' Resource Center to provide Community Transit Services be approved.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign Amendment Two to the agreement with Seniors' Resource Center after negotiation and approval as to form is completed by the County Attorney's Office.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 29, 2019

SUBJECT: General Contractor for Construction of new Taxiway R3

FROM: Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Benjamin Dahlman, Finance Director Jen Tierney Hammer, Procurement and Contracts Manager

AGENCY/DEPARTMENT: Colorado Air and Space Port

HEARD AT STUDY SESSION ON: N/A

AUTHORIZATION TO MOVE FORWARD: YES NO

RECOMMENDED ACTION: That the Board of County Commissioners approves an agreement with PLM Asphalt and Concrete LLC, to provide services as a General Contractor for Construction of new Taxiway R3.

BACKGROUND:

The Colorado Air and Space Port (CASP) maintains a Capital improvement Plan with the Federal Aviation Administration (FAA) for projects that are eligible for federal grant funding. The rehabilitation of the east terminal aircraft apron is listed on the plan for construction in 2021.

CASP currently has one taxiway into the hangar area. As the hangar area continues to develop, additional access is needed to ease aircraft congestion by alleviating the pinch point at existing Taxiway A7. The purpose of this project is to construct a new Taxiway R3 from Taxiway A on the eastside of the existing hangar area. The new Taxiway R3, was previously designed with Taxiway A7 Rehabilitation project that was completed in 2018.

A formal Invitation for Bid was posted on BidNet Direct and bids were opened on August 20, 2019. Three bids were submitted: from Kiewit Infrastructure Co., AB Underground, and PLM Asphalt and Concrete LLC. After reviewing the bids, Colorado Air and Space Port confirmed that PLM Asphalt and Concrete LLC, submitted the lowest responsive, responsible, bid.

<u>Contractor</u>	Bid Total
PLM Asphalt and Concrete LLC	\$485,352.75
Kiewit Infrastructure Co.	\$568,099.50
AB Underground	\$714,035.10

CASP recommends awarding an agreement to PLM Asphalt and Concrete LLC, in the amount of \$485,352.75.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Colorado Air and Space Port

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT: Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 43

Cost Center: 4304

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

			Object Account	Subledger	Amount
Current Budgeted Operating Expendence	liture:				
Add'l Operating Expenditure not inc	cluded in Curren	nt Budget:			
Current Budgeted Capital Expenditu	ire:		9136	43041901	\$485,352.75
Add'l Capital Expenditure not inclue	ded in Current I	Budget:			
Total Expenditures:					\$485,352.75
New FTEs requested:	YES	NO NO			
Future Amendment Needed:	YES	NO NO			

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR ADAMS COUNTY, STATE OF COLORADO

RESOLUTION AWARDING AN AGREEMENT TO PLM ASPHALT AND CONCRETE, LLC, TO PROVIDE GENERAL CONTRACTOR SERVICES FOR CONSTRUCTION OF NEW TAXIWAY R3

WHEREAS, PLM Asphalt and Concrete, LLC, submitted a bid to provide services as a General Contractor for Construction of new Taxiway R3 for Colorado Air and Space Port; and,

WHEREAS, PLM Asphalt and Concrete, LLC, was the lowest most responsible bidder, and agrees to provide the services in the not to exceed amount of \$485,352.75.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that PLM Asphalt and Concrete, LLC, is hereby awarded an agreement to provide General Contractor services for construction of new Taxiway R3.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign said Agreement with PLM Asphalt and Concrete, LLC, after negotiation and approval as to form is completed by the County Attorney's Office.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 29, 2019

SUBJECT: Contractor Pre-Qualification for Construction Manager/General Contractor Services

FROM: Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Benjamin Dahlman, Finance Director Jennifer Tierney Hammer, Procurement and Contracts Manager

AGENCY/DEPARTMENT: Facilities and Fleet Management Department

HEARD AT STUDY SESSION ON: N/A

AUTHORIZATION TO MOVE FORWARD: YES NO

RECOMMENDED ACTION: That the Board of County Commissioners approves the Pre-Qualification list of the Construction Managers/General Contractors (CMGC) Services for the South Platte Crossing Renovation Project.

BACKGROUND:

In August 2014, the Board of County Commissioners (BOCC) adopted the Purchasing Policy #1071, Procurement of New Building Construction and Major Improvement/Remodeling. The policy stipulates that pre-qualification is required of contractors for projects in excess of \$1 million dollars prior to participating in the Request for Proposal (RFP) process, and the results of such be presented to the BOCC for review and comment. The pre-qualified contractors will then be invited to participate in the formal RFP process.

The Statement of Qualifications (SOQ) was posted for the South Platte Crossing Renovation Project on Bidnet Direct, with submittals due September 12, 2019. The following contractors responded:

- 1. Roche Constructors, Inc.
- 2. Krische Construction, Inc.
- 3. Alliance Construction Solutions, LLC
- 4. MW Golden Constructors
- 5. Taylor Kohrs LLC
- 6. Saunders Construction, LLC
- 7. Petra, Inc.

After a thorough review by the Evaluation Committee, the following contractors have been accepted and recommended as pre-qualified for the CMGC Services for the South Platte Crossing Renovation Project:

- 1. Roche Constructors, Inc.
- 2. Krische Construction, Inc.
- 3. Alliance Construction Solutions, LLC
- 4. MW Golden Constructors
- 5. Taylor Kohrs LLC
- 6. Saunders Construction, LLC

The recommendation is that the Board of County Commissioners approves the pre-qualified contractors for the South Platte Crossing Renovation Project.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Facilities and Fleet Management Department

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact \boxtimes . If there is fiscal impact, please fully complete the section below.

Fund:

Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object	Subledger	Amount
	Account		
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested:	YES	
Future Amendment Needed:	YES	

Additional Note:

Revised 06/2016

BOARD OF COUNTY COMMISSIONERS FOR ADAMS COUNTY, STATE OF COLORADO

RESOLUTION DESIGNATING PRE-QUALIFIED CONTRACTORS FOR THE CONSTRUCTION MANAGER GENERAL CONTRACTOR QUALIFICATIONS FOR THE SOUTH PLATTE CROSSING RENOVATION PROJECT

WHEREAS, Adams County procedures allow for the pre-qualification of contractors for Construction Management General Contractor (CMGC) proposal qualifications; and,

WHEREAS, Adams County believes a pre-qualification process would be useful for the County's construction of the South Platte Crossing Renovation Project; and,

WHEREAS, the following contractors submitted qualifications for the CMGC proposal for the South Platte Crossing Renovation Project: Roche Constructors, Inc., Krische Construction, Inc., Alliance Construction Solutions, LLC, MW Golden Constructors, Taylor Kohrs LLC, Saunders Construction, LLC, and Petra, Inc.; and,

WHEREAS, Roche Constructors, Inc., Krische Construction, Inc., Alliance Construction Solutions, LLC, MW Golden Constructors, Taylor Kohrs LLC, and Saunders Construction, LLC were recommended contractors and should be deemed eligible to provide proposals for the South Platte Crossing Renovation Project.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado that Roche Constructors, Inc., Krische Construction, Inc., Alliance Construction Solutions, LLC, MW Golden Constructors, Taylor Kohrs LLC, and Saunders Construction, LLC are hereby authorized to participate in the CMGC proposal process for the South Platte Crossing Renovation Project.



COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

CASE NO.: EXG2019-00001 CASE NAME: AGGREGATE INDUSTRIES TUCSON SOUTH

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6.6 Certificate of Posting



COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT STAFF REPORT

Board of County Commissioners

October 29, 2019

CASE No.: EXG2019-000	01 CASE NAME: Aggregate Industries Tucson South
Owner's Name:	City of Aurora and Aggregate Industries-WCR, Inc.
Applicant's Name:	Aggregate Industries-WCR, Inc.
Applicant's Address:	1687 Cole Blvd., Ste. 300, Golden, CO 80401
Location of Requests:	Area surrounding 16202 Tucson Street
Nature of Requests:	Conditional use permit for extraction and disposal use in the Agricultural-1 (A-1) zone district
Zone Districts:	Agricultural-1 (A-1)
Comprehensive Plan:	Agriculture
Site Size:	284 acres
Proposed Uses:	Extraction and Disposal
Existing Use:	Vacant
Hearing Date(s):	PC: September 26, 2019 / 6:00 p.m.
	BOCC: October 29, 2018 /9:30 a.m.
Report Date:	September 18, 2019
Case Manager:	Greg Barnes
PC Recommendation:	APPROVAL with 8 Findings-of-Fact, 9 Conditions Precedent, 24
	Conditions, and 1 note

BOARD OF COUNTY COMMISSIONERS UPDATE

The Board of County Commissioners (BoCC) considered this case on October 8, 2019 and voted (4-1) to recommend continuation of the request until October 29, 2019 to allow the applicant more time to refine their proposed mining.

Since October 8, 2019, the applicant has agreed to exclude mining operations on Parcel #0157112000006 from the proposal. The exclusion of this parcel, which is located south of State Highway 7, would prevent mining-related traffic from crossing the state highway. With the exclusion, all mining-related activities would utilize Tucson Street and East 168th Avenue.

In addition, the City of Aurora has agreed to a wood and wire fence design to secure the future proposed water reservoir on the property. The City of Aurora has evaluated opportunities for recreation and public use surrounding the reservoirs, however security and public safety are impediments for the city to allow these activities on their property.

SUMMARY OF APPLICATION

Background

Aggregate Industries-WCR, Incorporated is requesting a conditional use permit for an extraction and disposal use, which will include a sand and gravel mine in the A-1 zone district. Subsequent to the mining operations, the site is proposed to be water storage reservoirs for the City of Aurora. The proposed site is approximately 1.5 miles south of the Wattenberg Lakes Mine in southern Weld County. Excavated product would be transferred from the various mine phases north to the Wattenberg Lakes Mine.

The proposed mine operation has been divided into three phases (See Exhibit 3.2).

- Phase I is located southwest of the intersection of State Highway 7 and Tucson Street and is the only portion of the site that is located to the south of State Highway 7. <u>UPDATE:</u> After extensive discussion with neighboring property owners, residents, and the City of Brighton, the applicant has agreed to forego mining activity on this phase and is excluding the parcel from consideration of approval.
- Phase II is located north of State Highway 7 and east of Tucson Street. Phase II extends approximately 3,000 feet north of State Highway 7 and a half-mile east of Tucson Street. The South Platte River forms a portion of the eastern boundary of Phase II. The entirety of Phase II is located south of East 168th Avenue. A slurry wall will be installed and subsequently the site will be dewatered, which will allow the site to be dry-mined.
- Phase III is located to the west of Tucson Street and north of State Highway 7. This phase extends approximately a half-mile north of State Highway 7 and a half-mile west of Tucson Street. The entirety of Phase II is located south of East 168th Avenue. A slurry wall will be installed and subsequently the site will be dewatered, which will allow the site to be dry-mined.

The proposed mining activities are anticipated to take place for approximately eight years, depending on market conditions. Phases II and III will be expected to take four years each. Staff is recommending a condition to limit the mining activities to ten years and allow an additional year to reclaim the land. Both Phases II and III would be mined from south to north and material would be hauled north along Tucson Street into Weld County. The operator is proposing a conveyor system, which is anticipated to be operational within a year and would convey material under Tucson Street and East 168th Avenue into Weld County.

Setbacks from the top of the slope to the proposed permit boundary or man-made structures (not owned by the applicant) will be at least thirty (30) feet. Mining activities are proposed to continue to a depth of 20-40 feet below the surface and the active mining face would not extend more than 1,500 feet in length. No blasting is being proposed. During mining and reclamation activities, watering trucks are proposed to be used as needed for dust mitigation and control.

Site Characteristics:

The subject properties currently consist of dryland agriculture, one single-family dwelling, and water utility infrastructure. In addition, there are two active oil and gas wells located on the properties. The wells are expected to be plugged and abandoned this year. No mining is proposed within seventy-five (75) feet of the wells until they are plugged and abandoned by Colorado Oil and Gas Conservation Commission standards. Extensive portions of all three phases are located within the floodway and 100-year floodplain of the South Platte River.

Development Standards and Regulations Requirements:

Per Section 3-07-01 of the Adams County Development Standards and Regulations, a conditional use permit is required for extraction and disposal uses in the Agriculture-1 (A-1) zone district. Section 4-10-02-03-01 of the County's Development Standards and Regulations outlines performance standards for the use and are discussed in detail below. Compliance with the requirements for the Colorado Department of Natural Resources Division of Mining, Reclamation, and Safety (DRMS) is required, and a reclamation contract shall be signed and approved by the owner and the DRMS.

Future Land Use Designation/Goals of the Comp-Plan for the Area

The Future Land Use Designation on the property is Agriculture. Per Chapter 5 of the County's Comprehensive Plan, the purpose of the Agriculture Land Use is to preserve areas for long-term farming, conserve environmentally sensitive areas, separate and define urban areas, prevent urban nuisance complaints, limit the extension of services where they are costly and difficult to provide, and conserve environmentally-sensitive areas. The subject request is temporary. Once the extraction use has been completed, the property is expected to be reclaimed into usable land. Reclamation of the site will include placement and seeding of cover material over fill areas.

The Comprehensive Plan also discusses the importance of mineral extraction to the local economy, providing both employment to residents and tax income to the County. Mining locally allows for lower shipping costs for construction materials. Once the mining operation is complete, the proposed water storage use is supported by *Strategy 7.5.d. Multipurpose Uses for Reclaimed Land*.

The South Platte River Heritage Plan encourages mining operations to reclaim lands in a way that creates habitat, restores vegetation, contributes to flood retention, and/or provides recreational opportunities. After the sand and gravel are extracted at the proposed Tucson South Mine, it is anticipated to become water storage reservoirs for the City of Aurora, which will provide for migratory bird habitat. In addition, the City of Brighton has requested a trail connection, which will provide a recreational opportunity. This proposed development will help to fulfill the intent of the South Platte River Heritage Plan by enhancing the reclamation and trail access at an important gateway in the County.

The Adams County Mineral Extraction Plan identifies regions of the County where controls for conservation and utilization of natural resources. The plan intends to provide more detailed guidance on post-mining reclamation and to ensure a high quality of life for residents near mining activities. These regions are defined as the Mineral Conservation Overlay (MCO)

District. The subject proposal is not located within the MCO District, and therefore does not have additional provisions for conservation controls.

Northwest	North	Northeast
A-1	A-1	I-3
Agriculture / Vacant	Water Storage Reservoir	Vacant / South Platte River
West	Subject Property	East
PUD/RE	A-1	City of Brighton
Vacant/S-F Residential	Vacant / Agriculture	Vacant / South Platte River
Southwest	South	Southeast
A-1	A-1	A-1/City of Brighton
S-F Residential	Agriculture / Vacant	S-F Residential

Surrounding Zoning Designations and Existing Use Activity:

Compatibility with the Surrounding Land Uses:

Most of the area surrounding the site is undeveloped. The site is located within a floodway and floodplain. As a result of the floodway, the applicant is proposing a wood and wire fence, since fencing structure types are restricted in this area. The nearest residential development is located west of the site. Although many of the nearby homes are rural residential, the site is directly adjacent to the Bartley Subdivision on the western side. In addition, Highway 7 is a gateway into Downtown Brighton. Staff has presented concerns that the use may have some compatibility conflicts with the surrounding area. Staff has proposed many conditions of approval to attempt to reduce these conflicts, including restricted hours of operation, a designated haul route, and air monitoring.

Section 3-38-06 outlines the performance standards for mining operations, including setbacks, hours of operation, and haul routes within the Mineral Conservation Overlay District. Although the site is not located within the Mineral Conservation Overlay District, many of these standards are intended to guide minimum requirements to mitigate off-site impacts but may be strengthened on a site-specific basis through Conditions of Approval to ensure better compatibility of the proposed operation with the surrounding land uses. The property boundary setback for excavation and stockpiling is twenty-five (25) feet and the applicant is meeting that standard by proposing setbacks of thirty (30) feet. The closest residential dwelling to any mining operation will be setback 200 feet from mining activities. Hours of operation of the proposed mining operation include all uses on the site and are proposed to be limited to the hours of 7:00 am to 7:00 pm, Monday-Saturday. These are stricter than those outlined in the Development Standards due to the urban setting of the proposed operation.

Section 3-38-06-09 of the Development Standards and Regulations outlines the requirements for a hauling routes within the Mineral Conservation Overlay District and allows the Director of Community and Economic Development to place reasonable restrictions on use of rights-of-way that are not designated for such haulage by reason of load limit, dust, pavement width, or other factors. The proposed haul route for the mining operation is limited to: the site to Tucson Street to 168th Avenue and north on Weld County Road 23 ¹/₂. This will ensure that the heavy trucks

take the shortest route possible to the processing facility in Weld County and have the least impact on County roads and nearby residents.

In addition, Tucson Street is not currently to a standard that could accommodate the anticipated heavy truck traffic, so the County is requiring a Roadway Maintenance Agreement (RMA) with the operator. This RMA will require the applicant to assess the current condition of Tucson Street through a geotechnical analysis and pay for the reconstruction or repair of the road, as recommended by that analysis. The RMA also requires the operator to ensure the roadways are kept up to a safe standard by performing regular maintenance, reconstruction, or repair of the roadways within the haul route, as determined by the Adams County Public Works Department.

Air emissions and water quality impacts have been addressed through several Conditions of Approval, which will require the operator to follow CDPHE air quality regulations, shut down operations at times of high winds, and monitor the ground water wells in the surrounding area.

Per Section 3-37-07-07-12 of the Development Standards and Regulations, the extraction, excavation, and hauling of sand and gravel resources shall meet specific performance standards and guidelines that protect rivers and streams from erosion and degradation, which may result from such operations. In addition, the operations shall not impact the flow of floodwaters from reaching the South Platte River. A Floodplain Use Permit has been obtained by the applicant, which ensures that the proposed operations comply with the Federal, State, and Local regulations.

PLANNING COMMISSION UPDATE

The Planning Commission (PC) considered this case on September 26, 2019 and voted (4-3) to recommend approval of the request. The applicant spoke at the meeting and had no concerns with the staff report, presentation, or recommended conditions of approval.

The Planning Commission also had several questions regarding the timeline of mining, the installation of the conveyor system, and the installation of the proposed trail. The applicant stated that the they hope to have the conveyor system operational with two or three years. Phase I will take three years, and by the time Phase II begins, they hope to use the conveyor. According to the applicant, Phases II and II will take approximately ten years, depending on the market. The construction of the proposed trail will begin after the reclamation of the land.

During the public hearing, several members of the public spoke in opposition to the request. Among the concerns noted at the public hearing were: compatibility to the surrounding area, the perceived negative effect that the proposed mining activity may have to commercial activities to the east of the site (particularly Downtown Brighton), that the proposed reservoir will not be an asset to the community since it will likely be fenced and will not have public access, the need for greater outreach and public noticing, and the potential for increased traffic activity that includes 400 additional trucks per day. In addition, a property owner near Phase I stated that she would prefer to see the land associated with Phase I placed under a conservation easement after reclamation.

<u>Staff Recommendations</u>:

Based upon the application, the criteria for approval of a conditional use permit, and a recent site visit, staff recommends approval of the request with 8 findings-of-fact, 8 conditions precedent, 24 conditions, and 1 note.

<u>RECOMMENDED FINDINGS-OF-FACT</u>:

- 1. The conditional use is permitted in the applicable zone district.
- 2. The conditional use is consistent with the purposes of these standards and regulations.
- 3. The conditional use will comply with the requirements of these standards and regulations, including but not limited to, all applicable performance standards.
- 4. The conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
- 5. The conditional use permit has addressed all off-site impacts.
- 6. The site is suitable for the proposed conditional use including adequate usable space, adequate access, and absence of environmental constraints.
- 7. The site plan for the proposed conditional use will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
- 8. Sewer, water, storm water drainage, fire protection, police protection, and roads are to be available and adequate to serve the needs of the conditional use as designed and proposed.

RECOMMENDED CONDITIONS OF APPROVAL:

Conditions Precedent

- 1. Approval of an amended Floodplain Use Permit, which excludes the parcel south of Highway 7 (Parcel #0157112000006). Any conditions of the approved floodplain use permit shall become conditions of this conditional use permit.
- The applicant shall submit revised case material, which excludes Parcel #0157112000006, as presented and approved by the Board of County Commissioners
- 3. The applicant shall provide evidence that the State of Colorado has approved the ground water monitoring and mitigation plan for the site that specifically addresses impacts to owners of affected, adjacent, permitted groundwater wells.
- 4. Applicant shall provide the County with verification that a Colorado Discharge Permitting System (CDPS) permit from CDPHE, has been obtained prior to site preparation activities and commencement of mining operations.
- 5. Applicant shall provide Wildlife Survey Reports for burrowing owls conducted immediately prior to the start of clearing and grubbing operations and for raptors if construction will occur between October 15th and July 31st.
- 6. Prior to the commencement of mining activities on the site, the applicant shall host a neighborhood meeting to introduce and distribute contact information for those responsible for mining activities on the site. Notification of the neighborhood meeting will be required for all property owners and residents within 1,000 feet of the subject parcels.

- 7. The applicant shall perform all necessary roadway assessments, repairs, and/or improvements, as outlined in the Roadway Maintenance Agreement.
- 8. Applicant shall submit and obtain approval of a landscape plan from the Community & Economic Development Director to address the visual impact of the site along public roadways and adjacent residential uses.

Conditions of Approval

- 1. Extraction and disposal use shall not proceed until a "Notice to Proceed" is issued by the Adams County Community and Economic development Department, after all the condition's precedent have been completed.
- 2. The operator will conform to all terms of the executed Roadway Maintenance Agreement.
- 3. Applicant shall notify the County of all complaints from any well owner within 600 feet from the site boundary and necessary actions taken to address impacts within 30 days of filing such reports with DRMS. For subject wells put to beneficial use prior to commencement of mining activities, Aggregate Industries will begin to implement one or more mitigation measures if mining and reclamation activity is determined to be a significant contributing factor to groundwater changes requiring mitigation.
- 4. Fugitive dust control measures as prescribed within the facility's Air Pollutant Emission Notice permit, issued by CDPHE, must always be in place and functioning to ensure on-site visible emissions do not exceed 20% at any time. There must be no off-property transport of visible emissions.
- 5. The facility shall cease operations during periods of high winds as measured by anemometer or other type of wind gauge permanently stationed on-site. High winds shall be defined as when wind speeds exceed 35 mph or a sustained 25 mph.
- 6. Reclamation activity and sequential extraction of material must be initiated to keep the total disturbed areas at any one time to a minimum.
- 7. All fluid spills such as hydraulic and oil from maintenance of equipment, shall be removed and disposed of at a facility permitted for such disposal.
- 8. Aboveground petroleum storage tanks used for equipment fueling must be placed within secondary containment.
- 9. Any new sources of filling, other than the ones listed within the application, shall require a "Notice to Proceed" to be issued by the Department of Community and Economic Development, after the applicant has certified the cleanliness of the new source material and any new haul routes are approved.
- 10. Mining and Reclamation shall comply with the Mineral Conservation Overlay (MCO) and the section titled Extraction and Disposal Uses found within the Industrial Use Performance Standards, as adopted by Adams County fond within the Adams County Development Standards.
- 11. Applicant shall provide copies of CWA 404 Permit and WQCD 401 Certification as required for operations affecting the South Platte River and adjacent riparian wetlands.
- 12. Mining and Reclamation shall comply with the Mineral Conservation Overlay (MCO) and the section titled Extraction and Disposal Uses found within the Industrial Use Performance Standards, as adopted by Adams County found within the Adams County Development Standards and Regulations.

- 13. Applicant shall conform to the mosquito control plan submitted with this application.
- 14. No storage or processing of materials that are buoyant, flammable, hazardous, explosive, or considered solid waste shall be allowed within the floodplain.
- 15. Materials that are not required for regular operations or reclamation shall not be imported into the site without the permission of the Adams County Director of Community and Economic Development.
- 16. The mining operations will conform to the phasing plan provided with the application.
- 17. Hours of operation to include all uses on the site shall only occur between the hours of 7:00 am to 7:00 pm, Monday-Saturday.
- 18. The applicant shall install radar-activated white noise backup alarms for their equipment.
- 19. All hauling shall conform to the traffic routes outlined in the application.
- 20. Mining operations shall be completed no later than October 29, 2029. Final reclamation of sloping, grading, and initial seeding shall be completed by October 29, 2030.
- 21. Stockpiles of material shall not exceed a maximum of twenty (20) feet in height. Stockpiles shall not be stored in the floodway.
- 22. The applicant shall comply with all the requirements specified by the Colorado Department of Natural Resources' Division of Parks & Wildlife provided in their letter dated March 7, 2019, including surveying the site for nesting birds, swift foxes, prairie dogs, and burrowing owls if installation of panels occurs between March 15th and July 31st of the year.
- 23. The applicant shall comply with all the requirements specified by the Tri-County Health Department provided in their letter dated March 7, 2019.
- 24. The applicant shall construct a trail and dedicate an easement for said trail to the Adams County Parks, Open Space, & Cultural Arts Department after mining operations are complete. The trail design shall be reviewed and approved by both the City of Brighton, City of Aurora, CDOT, and Adams County by October 10, 2025

<u>RECOMMENDED NOTES TO THE APPLICANT</u>:

1. All applicable building, zoning, health, engineering, and fire codes shall be adhered to with this request.

FUBLIC COMMENTS		
Notices Sent	Number of Responses	
866	23	

PUBLIC COMMENTS

Property owners and residents within a half-mile of the site were notified of the subject request. As of writing this report, staff has received 23 responses regarding the application.

Those opposing the application have cited multiple concerns. Three letters cited a potential problem relating to an increase in truck traffic. Five letters cited concerns for the potential of pollution resulting from the mine, and three of those letters specifically expressed concern about the environmentally sensitive nature of the floodplain. Two letters cited concerns that increased particulate matter in the atmosphere can have negative health effects. One letter stated that the proximity to downtown Brighton made the site inappropriate for mining operations. An additional comment cited the proximity to residential uses made the proposal incompatible.

Staff received nine letters from those supporting the application that expressed that they are employees of Aggregate Industries and the decision on this application will affect their livelihoods. In addition, these respondents expressed support for the future trail development and water reservoir. An additional letter was received from an area resident who supports the request and feels that the proposal is compatible to the area.

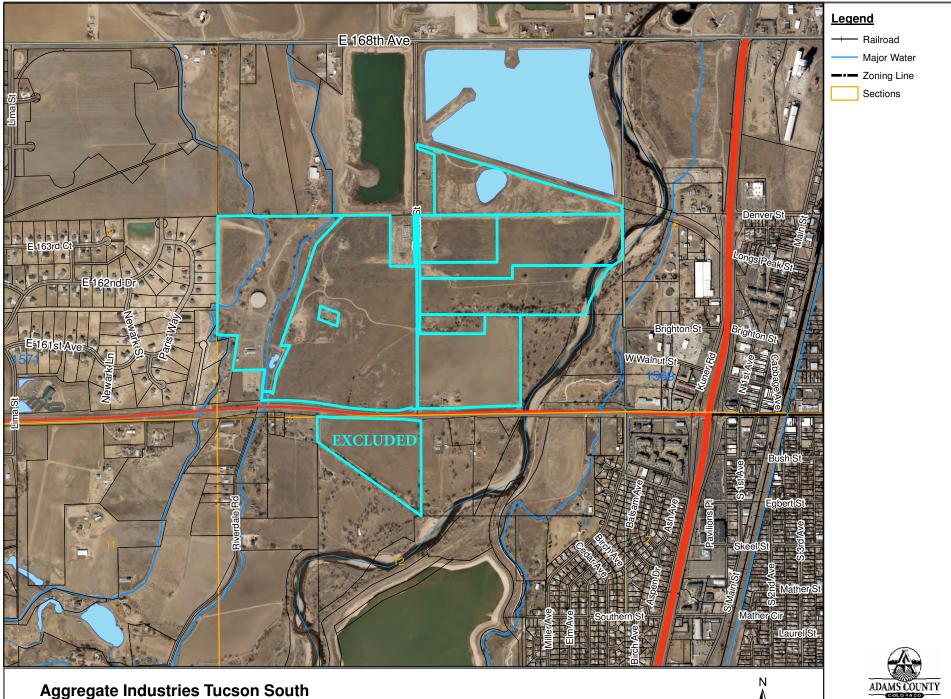
The City of Aurora Water Department provided a letter of support for the application and indicated that the project is essential to providing Aurora with water resources. The Colorado Chamber of Commerce, Colorado Ready Mixed Concrete Association, and the Colorado Contractors Association all provided letters of support for the application and stated that the project provides an essential resource in constructing infrastructure that supports economic development in the State.

REFERRAL AGENCY COMMENTS

During the referral process, the City of Brighton expressed concerns that the proposed use may have negative impacts on the gateway into their downtown. The applicant and the City of Brighton negotiated the installation of a trail along portions of the Highway 7 right-of-way. At the time of this report, the City of Brighton did not oppose the application. The Tri-County Health Department, Colorado Division of Parks & Wildlife, CDPHE, and CDOT all provided comments that were used to draft conditions of approval.

Responding with Concerns:

City of Brighton Colorado Department of Natural Resources, Division of Parks & Wildlife Colorado Department of Public Health and Environment Colorado Department of Transportation **Tri-County Health Department Responding without Concerns:** City of Aurora **Xcel Energy** Notified but not Responding / Considered a Favorable Response: Brantner Extension Ditch **Brighton Ditch Company Brighton Fire District** Brighton School District 27J Century Link Comcast Eagle Shadow Metro District McCann Ditch & Reservoir Metro Wastewater & Reclamation RTD Todd Creek Village Metro District Union Pacific Railroad

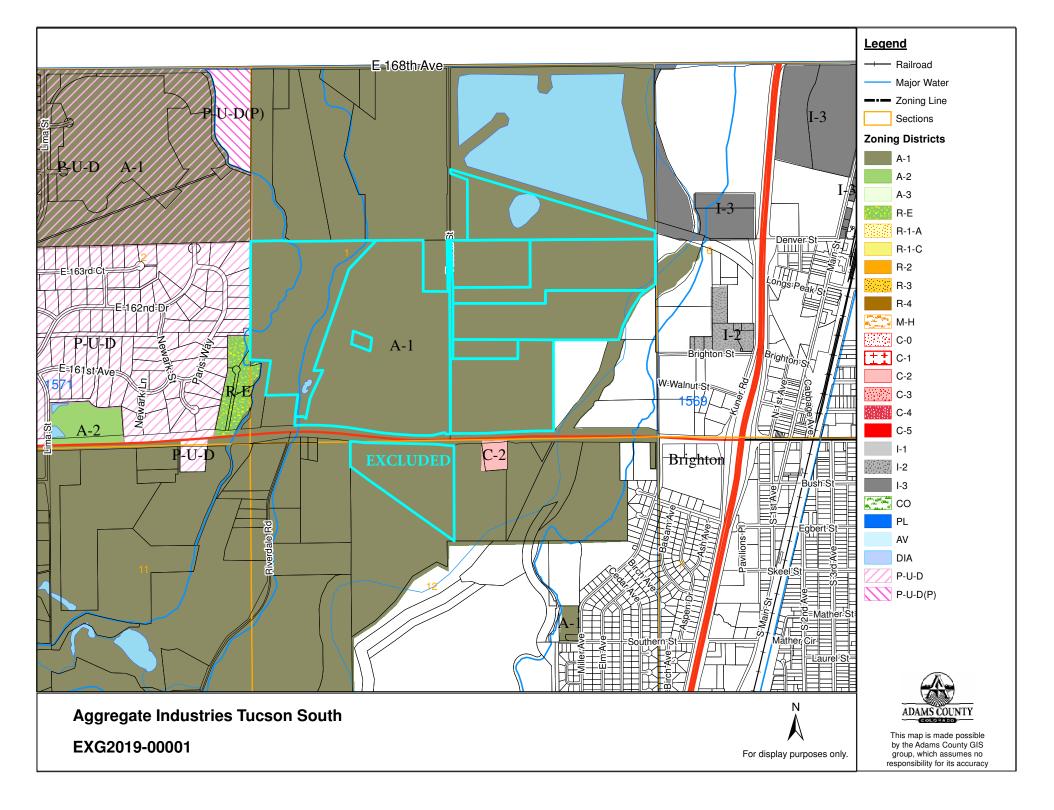


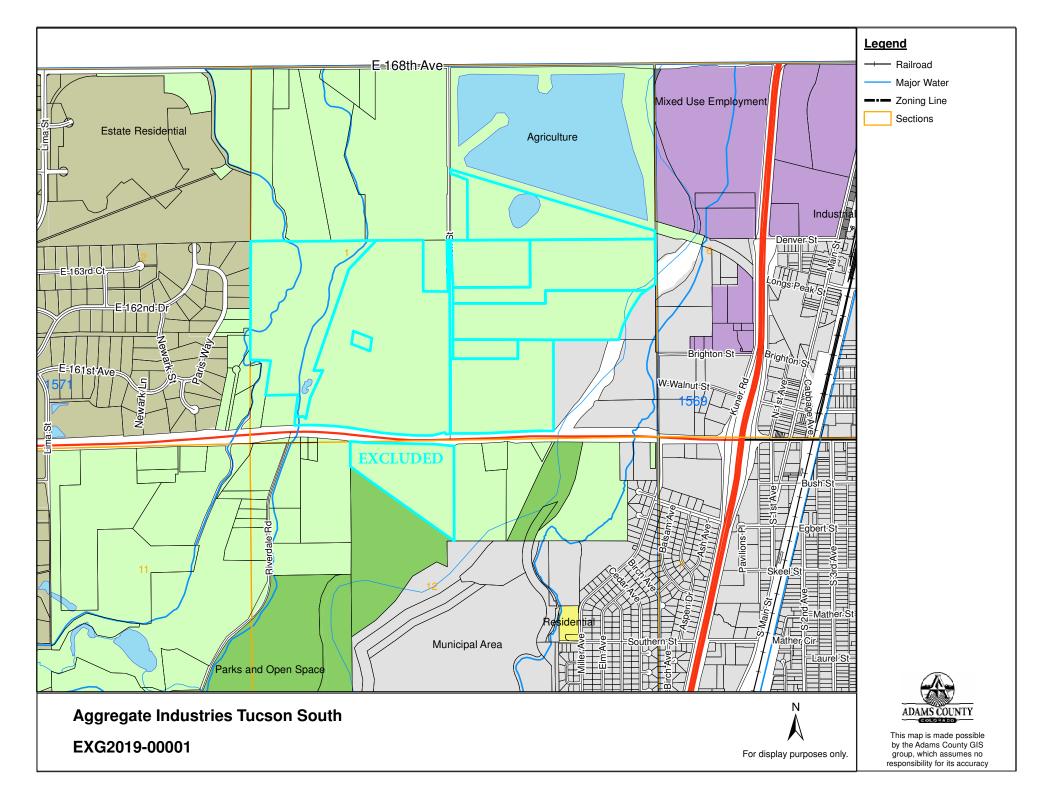
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This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy





TUCSON SOUTH RESOURCE CONDITIONAL USE PERMIT PROJECT DESCRIPTION

INTRODUCTION AND OVERVIEW

The Tucson South Resource permit area is currently owned by Aggregate Industries-WCR, Inc. and the City of Aurora and consists of dryland agriculture, a small, partially reclaimed gravel resource and a former greenhouse growing operation and water utility infrastructure including an above ground tank and auxiliary building. The property is located both north and south of Colorado Highway 7, bisected by Tucson Street. Mining of the Tucson South Resource is proposed to happen in three phases. The South cell (Phase 1) is located south of Colorado Highway 7, the East cell (Phase 2) is located north of Colorado Highway 7 and east of Tucson Street, and the West cell (Phase 3) is located north of Colorado Highway 7 and west of Tucson Street.

In general, drainage on the site flows toward the South Platte River to the north and east of the property. The South cell located south of Colorado State Highway 7 generally drains north toward Highway 7 where it is then conveyed east to the river. The East cell generally drains north and east to the river via overland flow or through existing channels and ditches left by historic disturbance. The pattern in the West cell either flows to local low spots on the property, is conveyed off-site to the north, or is conveyed via an irrigation return ditch to the East cell.

Permit Boundary Area

The proposed Permit Boundary contains the following areas as shown on Sheet 1 of the Conditional Use Site Plan:

- Tracts of land owned by Aggregate Industries-WCR, Inc. referred to on our mapping as Tracts A, B, D, E, F, H, I and M.
- Tracts of land owned by the City of Aurora referred to on our mapping as Tracts C, G and K.
- Tucson Street right-of-way referred to on our maps as Tract L (the slurry wall liner for the future water storage reservoir will cross under Tucson Street Right-of-Way (ROW) in two locations as shown on the Site Plan Sheets 4 and 5 Mining Plan Maps and Site Plan Sheets 6 and 7 Reclamation Plan Maps.)
- Land owned by the City of Thornton referred to on our maps as Tract J. The applicant is working with the landowner to obtain a right-of-way easement for a conveyor on this tract. The goal is to reduce truck traffic and transport the material to the existing Wattenberg Lakes Mine (M-2004-051) via conveyor.

Affected Land

• The Affected Land includes all Tracts described in the Permit Boundary and that portion of Tract K that is east of the Brighton Ditch. The area of Tract K located west of and including the Brighton Ditch will not be disturbed by the mining activities and reclamation operations. Therefore, it was excluded from the Affected Land.

Existing Land Uses

The proposed Tucson South Resource mine currently consists of dryland agriculture, one house and a former greenhouse growing operation. The former greenhouse growing operation is currently being

demolished by the City of Aurora in preparation for mining. Aggregate Industries is currently renting the existing house and they have given the renters notice to vacate the property by March 31, 2019. The Todd Creek water well and associated United Power overhead electric line on the west side of the West area and associated easement will also be removed. There is one rural residential property located adjacent to property on Tucson Street (west of Track M), several rural residential properties south of Tract H and Highway 7 and east of Tract I, and there is a developing residential subdivision located west of Track K. The South Platte River corridor receives recreational use and the City of Brighton operates a parks and wildlife recreational area east of Tract H along the west side of the South Platte River.

Improvements owned by the applicant or property owners that are located within the Permit Boundary Area such as un-improved roads, fences, alluvial water wells and associated pumps, houses and outbuildings, irrigation ditches and laterals, may be removed or relocated during mining and reclamation. There are two established oil and gas wells and associated facilities located on the property. The operator of the well has notified Aggregate Industries that the wells will be capped and abandoned in 2019. No mining will take **place within 75' of the existing oil and gas wells until the wells are plugged and abandoned per Colorado Oil** and Gas Conservation Commission standards. Structures, easements, or rights-of-ways not owned by the applicant or property owner will not be disturbed without prior permission (see Site Plan sheets 2 and 3). None of the easements, rights-of-ways, or associated structures are expected to be negatively affected by mining or reclamation operations.

Final Proposed Land Use

The current land use for the Tucson South Resource property is a combination of partially reclaimed mining area, dryland agriculture, upland meadow and a City of Aurora water facility. The City of Aurora water facility (located outside the Affected Lands, west of the Brighton Ditch) will be removed from the Permit Boundary at a future date and continue to operate. The proposed final land use for the remainder of the property is lined municipal water storage for the West cell and the majority of the East cell, upland meadow on the northern portion of the East cell and an upland meadow for South cell. Surrounding land uses include: Water storage to the north, rural residential and agriculture to the south, Town of Brighton wildlife conservation area and the South Platte River to the east and water storage and suburban residential to the west. The lined storage and upland meadows are compatible with existing and future adjacent land uses. This property lies within the City of Brighton Urban Growth area and is designated as natural resource conservation and flood plain on the 2016 Future Land Use Map

MINING PLAN

The proposed Tucson South Resource Conditional Use for Gravel Mining permit area is approximately 1.5 miles south of the Aggregate Industries Wattenberg Lakes Mine (M-2004-051), which supplies aggregate construction materials to much of southern Weld and western Adams counties. The Permit Boundary contains substantiated aggregate resources to continue the supply in this region of Colorado. Supplementing resources at the Wattenberg operation, new supplies from the amended Tucson South Resource will continue to provide construction materials to meet the Front Range Colorado demand.

Nature of Deposit to be Mined

Test borings indicate a layer of topsoil and overburden ranging from 1 to 11 feet in depth with a typical depth of 5 feet. In the western part of the site, the topsoil has been tilled until recently and likely contains a significant amount of organics. The overburden is underlain by an aggregate layer with a thickness ranging

from 0 to 46 feet with a typical thickness of 25 feet. In some parts of the site, the aggregate layer contains a 2- to 9-foot thick mud lense. The total depth to bedrock from the surface grade ranges from 5 feet in the west to approximately 50 feet in an apparent paleochannel in the eastern part of the site. The typical depth to bedrock is approximately 27 feet over most of the mine area. The aggregate layer overlies sedimentary bedrock of the Denver Basin. A complete soils report is attached in Exhibit I of the 2018 CDRMS Permit Application.

Mine Phasing

Aggregate Industries anticipates mining and reclaiming the proposed Tucson South Resource site in approximately 5 to 10 years. The rate of mining and overall life of the mine is dependent on several factors including product demand. In addition to the commercial sand and gravel materials, clay, silt, and other non-marketable materials excavated from the proposed permit area will be used on-site for reclamation.

The mining plan currently includes mining in three phases:

- South (Phase 1), is located south of State Highway 7, and includes Tract I
- East (Phase 2) is north of Highway 7 and east of Tucson Street and includes Tracts D, E, F, G and H
- West (Phase 3), is located north of Highway 7 and west of Tucson Street and includes Tracts A, B, C, and that portion of Tract K east of the Brighton Ditch

Tract J will contain the conveyor to carry product off-site to the processing facility at the Wattenberg Lakes Mine and will be used during all mining phases. Tract M was previously mined and will be disturbed and reclaimed during mining elsewhere on the site.

The South mining cell (Phase 1, 24.3 acres) will be mined from the east to the west utilizing a wet mining technique. Material will be transported across Highway 7 to the designated area in the East mining cell for transport to the Wattenberg Lakes Mine (M-2004-051). Processing and sale of the material will occur on the Platte Valley site (M-1989-120). When mining in the South cell is complete, overburden from the East cell will be trucked across Highway 7 and used to back fill the South cell to create an upland meadow. The East mining cell (Phase 2 - 139.6 acres) will be mined from south to north. The West mining cell (Phase 3, 88.6 acres) will be mined from south to north. All necessary permits will be obtained, and any required special construction techniques will be used prior to disturbance in any jurisdictional Waters of the U.S. A summary of mining phases is presented in the following table.

Mine Phase	Total Acreage To be mined (acres)	Duration (years)
1. South	14.7	2
2. East	79.5	4
3. West	69.2	4
Total	163.4	10

Mine Phasing	Summary	(From	Site	Plan	Sheet 1))

The Tucson South Resource Mine will be mined in three phases with three mining cells. Mining will be integrated with concurrent reclamation activities. As mining progresses in the South cell (Phase 1), it is anticipated that a slurry wall encompassing the East cell (Phase 2) and West cell (Phase 3) will be constructed. South cell side slopes will be created from South cell overburden material and rough graded

to create minimum of 3H:1V slopes as mining progresses in the South cell. The South cell will be backfilled with overburden from the East and West cells to create an upland meadow as mining proceeds in the East and West cells.

Mining Methods

There will be two methods of mining used within the permit boundary:

- Phase 1 will be mined using excavators, transport trucks, and active dewatering during mining. Topsoil will be stripped and stockpiled in locations shown on Site Plans Sheets 4 and 5 Mining Plan maps. Material will be excavated and transferred to transport vehicles and either transported directly to the Wattenberg site via truck or be transported to the East cell for transfer via conveyor to the Wattenberg site.
- The slurry wall liner for the East and West cells will be installed concurrent with mining in the South cell. Once the slurry wall is installed the East and West cells will be dewatered. The deposit will be dry mined using dewatering trenches and pumps within the slurry lined area. Prior to excavation of each mining phase, trenches will be cut along the perimeter of the cell area to begin dewatering the sand and gravel material. The trenches will extend through the overburden and alluvium to bedrock. Pumps will be used to remove the groundwater that drains from the deposit within the lined cell. If necessary, water from the trenches will be circulated through a settling pond prior to being discharged to adjacent drainage ditches and/or the South Platte River (see Site Plan Sheets 4 and 5 Mining Plan Maps). As excavation begins, the mining cell and dewatering trenches on the cell floor will continue to collect any water entering the lined cell, keeping the deposit material relatively dry. The collected water will be directed to settling ponds within the cells or near the final discharge point to South Platte River. It is anticipated that dewatering will be completed within the slurry wall lined mining area within 12 months and dewatering throughout the life of the mine will be limited to precipitation, stormwater runoff that drains into the mining cells, and minor amounts of groundwater.

Earth Moving

Setbacks from the top of slope of each mining cell to the proposed permit boundary or man-made structures not owned by the applicant will generally be 30 feet or greater. Specific setbacks from Highway 7 and Tucson Street also account for future expansion of the roadways. The perimeter setbacks from the permit boundary are shown on Site Plan Sheets 4 and 5 Mining Plan Maps.

These setbacks were determined in combination with Adams County regulations and the Slope Stability Analysis prepared by Tetra Tech provided in the Geotechnical Stability Exhibit of the DRMS Permit Application. The setbacks reflect the Factors of Safety in the Proposed Slope Stability/Geotechnical Analysis Policy in the DRMS memorandum dated May 16, 2018.

Areas to be mined will be prepared by removal of topsoil and overburden. Each preparation area may be as much as 100 feet wide along the anticipated mining face. Usually, only enough area is stripped and prepared to provide the estimated needs for the next 10 to 14 months of mining. Surface topsoil material will be stripped separate from the underlying, deeper subsoil or overburden material. This topsoil layer contains most of the soils organic matter and will be stockpiled separately for use in reclamation. Once the

topsoil has been removed, the rest of the overburden will be stripped and stockpiled separate from the topsoil.

When the alluvial material is exposed and sufficiently dewatered, the aggregate material will be recovered using equipment typical for sand and gravel mining operations. Aggregates in the South, East, and West cells will be mined using conventional dry mining methods. Earth moving equipment may include, but is not limited to, dozers, loaders, scrapers, and excavators as mining progresses to a depth of 20 to 40 feet below the surface. The alluvial material is an unconsolidated deposit and, therefore, no blasting is required. The aggregate material from the cell will be temporarily stockpiled within the cell, conveyed to the staging area, or immediately transported off-site for processing. During mining and reclamation activities, watering trucks for dust control will be used as needed.

The active mining face will extend no more than 1500 feet in length. During mining in the South cell, the mine walls will be at or near the angle of repose, approximately 2H:1V. During mining and prior to reclamation in the East and West cells, the mine walls will be a nearly vertical to ½H:1V slope (see Site Plan Mining Plan Maps). Mining will progress down to the depth of quality aggregate material. Backfilling and/or grading of side slopes may follow behind the mining activities before mining in the cell is complete.

As mining progresses, topsoil, overburden, and non-marketable materials will be removed and stockpiled for use in reclamation activities. In the South cell, topsoil and overburden will first be stockpiled along the west and north sides of the area, used for screening during the South cell mining activities. Once mining in the South cell is complete, overburden from the East cell will be transported across Highway 7 to backfill the South cell. During mining in the East and West cells, topsoil will be segregated and stockpiled in the locations shown on Site Plan Sheets 4 and 5 Mining Plan Maps. As mining progresses, overburden will be taken directly to mined out slopes for use in reclamation. Topsoil and overburden stockpiles will be configured to have side-slopes no steeper than 3H:1V. If the stockpiles are inactive for more than one growing season, such as the stockpiles used for screening, they will be seeded with the fast-growing grass seed mixture below.

Grass Species	Rate (#PLS/acre)
Intermediate Wheatgrass	6.0
Blue Grama	1.5
White Sweetclover	1.5
Rates are for broadcast seeding.	

Stockpile Grass Seed Mixture

Other than those used for screening, long-term stockpiles are not anticipated. Temporary stockpile materials will continually be used for reclamation and the stockpiles will likely be disturbed on a frequent basis and seeding the stockpiles may not be practical during the operation. If stockpile seeding is not used, surface roughening will be maintained to limit wind and water erosion.

Most of the proposed Tucson South Resource Permit Boundary Area is within the regulatory floodplain of South Platte River. Because of floodplain regulatory restrictions, stockpiling will occur within a mining cell whenever possible with the top of stockpile elevation lower than the pre-project grade. Stockpiles within the modeled floodplain above the existing ground surface, such as those used for screening, will be created

parallel to potential South Platte River flood flows. The stockpiles will be no longer than 300 feet, with minimum spacing of 100 feet between stockpiles for flood flows to pass (see Site Plan Sheets 4 and 5 Mining Plan Maps). Stockpiles outside of the modeled floodplain are not proposed to have any restriction on length or orientation.

Additional mining and reclamation procedures will be used within the regulatory floodplain to minimize damage from potential flood flows. Flood season is considered to be April 1 through September 30. The slopes will either be maintained during mining or established with reclamation backfill. If flood waters reach the mining cells prior to complete reclamation, the 3H:1V slopes will allow controlled flow into the cells while reducing the potential for head cutting and damage to the river channel.

A Floodplain Use Application will be submitted to Adams County for this project. Adams County is the regulating authority on the flood permit; however, Adams County may request review and comment from Urban Drainage and Flood Control District (UD&FCD).

Each aspect of the mining operation is listed in the following table with associated disturbed area. The table illustrates a point in time when the mining disturbance could be at its maximum. At the proposed Tucson South Resource site, it is assumed that the mining disturbance will be at its greatest when the West cell mining is nearly complete. The slurry wall will be completed and backfill, topsoil replacement and initial seeding will be completed for the South and East cells.

Aspect	Mining Operation	Disturbed Area (acres)
A	 Active Mining Area: Near vertical 800-foot active mining face and 100-foot wide pre-stripped area in anticipation of mining. 1. Mining highwall and adjacent cell walls 1,500 feet in length averaging 27 feet deep requiring backfill and rough grading to 3H:1V slopes. 2. Topsoil replacement. 	30
В	 Dewatering: Settling ponds are shown on Site Plan Sheets 4 and 5 Mining Plan Maps. The locations of the settling ponds will vary for each mining area; however, for reclamation cost estimating the maximum settling pond size is 5 acres. The maximum dewatering trench constructed or disturbed at any given time is 54 feet wide, 30 feet deep and approximately 10,600 linear feet. Settling Dewatering Trench 	5 13
С	 Miscellaneous Disturbed Areas for scarifying and topsoil: 1. Internal haul route and main site entrance. 2. Stockpile areas. 3. Off Site Conveyor 	3 5 3.3
D	 Final Reclamation: 1. Seeding – entire East cell above the highwater line of the reservoir plus internal haul route and the conveyor route. 	73 22

Mine Operation Aspects and Disturbance Areas

	2.	Weed management and re-seeding (20% of the Affected Lands located above the highwater line of the reservoirs)	
Total Disturbed Area		95	

Diversions and Impoundments

Roads and irrigation ditches will effectively minimize stormwater surface run-on to the mining site, so runon diversion structures are not anticipated. The existing grade of the proposed permit area generally drains to the South Platte River. To manage stormwater runoff, stormwater that falls directly on the affected area will be contained in the reclaimed reservoirs, upland meadow and active mining cells. The reservoirs and mining cells will effectively contain stormwater flows and prevent surface runoff from the site. Stormwater entering the active mining cell will be controlled in the dewatering trenches and, if necessary, circulated through a settling pond prior to being discharged to South Platte River.

Material Processing and Associated Facilities

Pit run material will be hauled or conveyed off-site to the Wattenberg Lakes Mine (M-2004-051) to be conveyed for processing at the Platte Valley site (M-1989-120).

Commodities to be Mined and Intended Use

Sand and gravel for use as construction materials will be the primary products produced from the proposed Tucson South Resource. Test pits have verified that commercial deposits of sand and gravel exist up to 46 feet below the surface of the ground. In addition to the commercial sand and gravel materials, topsoil and overburden materials will be used on-site for reclamation.

Use of Explosives

The material is unconsolidated deposits, no explosives or blasting will be employed.

RECLAMATION

General Overview of the Reclamation Plan

Reclamation of the proposed permit area will contain two land forms; uplands and lined, open water reservoirs. Cottonwoods and shrubs will be planted along the South Platte River on the eastern side of the east cell. Timing and installation of the plantings will be coordinated with the Urban Drainage and Flood Control District. It is anticipated that these plantings will be installed concurrent to mining in the East cell and will be established as part of the concurrent reclamation of the site. The primary reclamation process will be backfilling the slopes of the mined-out areas to be reclaimed as reservoirs and backfill of the South cell and the partially reclaimed area on the northern end of the East cell to create an upland meadow. Overburden, and non-marketable materials from the site will be used as backfill. As mined out cells are backfilled, rough grading will establish the slopes and elevations necessary to facilitate the appropriate land form for that specific area of the site. In upland areas backfill materials will be placed to an elevation near or below the pre-mining surface elevation. For areas where reservoirs are to be located, backfill will be

used to create pond side slopes. Pond depth may extend all the way to bedrock and side slopes will be 3H:1V.

Except for pond slopes below normal average highwater surface elevation, all areas disturbed by mining activities will be prepared with topsoil to a minimum of 6 to 12 inches and revegetated during reclamation. Revegetation will generate a blend of upland grass species. Given suitable precipitation, seeding should produce good vegetation cover over much of the reclaimed site. Roads not necessary for future access and other disturbed areas will be reclaimed with topsoil and overburden replacement and vegetative cover to stabilize the areas and minimize erosion.

Reclamation Measures/Materials Handling

All available topsoil and overburden material will be used for backfilling and reclamation. Earth moving equipment may include, but is not limited to dozers, loaders, scrapers, and excavators. Additional farm equipment for grading and seeding may be used for revegetation activities.

Materials Handling – Backfilling

The site will be concurrently reclaimed to create the water storage reservoirs. Compaction for the reservoir side slopes at this site will be 95 percent (or better) standard proctor. When an area is completely mined out from grade to bedrock, each section approximately 1,000-foot-wide (or approximately 30 acres), will begin side slope construction while the next contiguous area or consecutive phase is beginning mining. Due to the floodway, there is limited space for stockpile placement at this site; by concurrently reclaiming, as an area is being prepared for mining, the overburden and topsoil can be stripped and immediately placed, or stockpiled in the previously mined area, limiting the material handling. It is estimated that within 6 months of an area being completely mined, it will be reclaimed.

Backfilling of mining cells and other reclamation activities will be concurrent with mining. Topsoil, overburden, and non-marketable material excavated during mining will be used almost immediately. The only exception is during mining in the South cell (Phase 1) when topsoil and overburden will be used to create stockpiles along the north side of the cell for screening. Scrapers or haul trucks will be used to transport backfill material from the East and/or West cells (Phases 2 and 3), to the mined-out South cell for backfilling. Once the South cell is backfilled, the reserved topsoil and overburden will be used to create the finished grade prior to revegetation. Small temporary stockpiles may be created within or along the edge of the mining cells. When enough material is available in the stockpile, the material will be graded into the previously mined areas. Locations of topsoil and overburden stockpiles are shown on Site Plan Sheets 4 and 5 Mining Plan Maps.

Material may be imported for reclamation if on-site material is insufficient to create the reclaimed pond slopes and backfill the South cell. Prior to receiving any backfill material from outside the proposed permit area, the operator will provide notice with information that includes the backfill location and volume of off-site material to be used, an affidavit certifying that the material is clean and inert, an approximate time frame for backfilling with off-site material, and an update regarding material placement procedures and the final reclamation configuration. The on-site or off-site backfill material used will not contain known toxic or hazardous materials.

All backfilling and grading will be done to stabilize the material and control erosion. Final grading and seeding will be done as soon as possible after backfilling, grading, and top soiling have been completed.

The reclamation will not leave high walls on the property. In addition, there will be no auger holes, excavations, or shafts left on the property.

Materials Handling - Grading

Once backfill is placed to the approximate final grade for upland meadow or pond side slope creation, the area will be rough graded to establish final elevations, slopes, and transitions. Final grading will include addition of topsoil and surface preparation for revegetation. Special attention shall be given to transitions from reclaimed areas to undisturbed land. The final topography will not create new surface drainage directed onto adjacent properties.

Reservoir side slopes will include reclaimed grades of 3H:1V. The side slopes will be graded smooth to accommodate future maintenance of the lined reservoirs. The reclamation will not leave high walls on the property.

Materials Handling – Slurry Wall

The proposed slurry wall will provide a vertical, low permeable cutoff between alluvial groundwater outside of mining cells and water stored below-grade inside of mining cells. Slurry walls (also known as slurry cutoff walls or slurry trenches) are non-structural liners constructed to provide a primary low permeability liner and isolate a mining cell from the existing alluvial aquifer. Soil-bentonite slurry walls are a very common type of liner constructed in Colorado. Construction of a soil-bentonite slurry wall liner is planned at the Tucson South Resource. Once the liners are constructed and meet a **State Engineer's Office (SEO)** required 90-day minimum leak test, lined water storage reservoirs located north of State Highway 7 will be available for use. Draft Technical Specifications dated July 2004 for the construction of soil-bentonite slurry wall liners at Tucson South in Adams County Colorado were prepared by Tetra Tech RMC and submitted **to the Division for review. These specifications are a "placeholder" and are on record with the Division as** part of the existing permit for this property. Aggregate Industries has contracted with Deere and Ault Consultants, Inc. to provide a final design of a soil-bentonite slurry wall liner for Tucson South.

The slurry wall will be constructed with a long reach excavator, clamshell, or other suitable trenching equipment. A trench approximately 3 to 5 feet wide and 100 to 150 feet in length will be excavated through the existing alluvium and several feet into the underlying shale bedrock. The total slurry wall depth varies from top to bottom based on the existing geology, but will average 30 feet deep for this project. The trench will be flooded with fresh bentonite slurry to stabilize the excavation during construction of the slurry wall. A mixture of alluvium excavated from the trench, dry bentonite, and clayey supplemental fines will be mixed at the surface and placed into the trench in a semi-fluid state typically with a bulldozer and/or second excavator. The slurry in the trench is displaced by the soil-bentonite backfill as the excavation of the trench is advanced. Once the excavation of the trench followed by the backfill operation is complete, the soil-bentonite backfill consolidates and behaves as a soft clayey soil. The top of the slurry wall is typically capped with a few feet of clayey soils to speed up the primary consolidation, identify the approximate location of the slurry wall, and provide clayey soils to fill depressions due to the consolidation of the slurry wall.

Other considerations required for successful construction of a soil-bentonite slurry wall include a stable, relatively flat gently sloping (i.e. less than 2 percent parallel to the wall) construction platform along the proposed slurry wall alignment. Construction of the construction platform along the slurry wall alignment is primarily on stable, native soils found at the site and should not present a challenge for construction

equipment. There are narrow areas proposed for the construction platform at this site. However, the narrow areas are relatively short and soil-bentonite slurry wall construction activities should not be greatly affected by these sections. Once soil-bentonite slurry wall construction is complete, the construction platform will be final graded for stability and an operations and maintenance access route will be left in place. The route will be reclaimed and stabilized as a low traffic dirt road.

Water Resources

This site is directly adjacent to the Brantner Ditch, Brighton Ditch and the South Platte River. The Brantner Ditch, the Brighton Ditch and South Platte River will not be disturbed because of the mining and reclamation activities on the site.

Water use at the site is governed by the current well permit (Permit No. 81342-F) and the associated Substitute Water Supply Plan (SWSP) for the site. Water use will be at its highest during the mining phase of the project. Mining at the site will intercept groundwater tributary to the South Platte River. Consumptive uses of groundwater at the site include evaporation from groundwater exposed to the atmosphere, water retained in material hauled off sites, and water used for dust control.

Evaporative losses at the site are attributable to groundwater exposed in the dewatering trenches in the East and West cells (Phases 2 and 3), groundwater exposed in the settling pond, and groundwater exposed as a result of mining in the South cell (Phase 1). The dewatering trenches will be constructed following completion of the slurry walls surrounding the East and West cells. The maximum exposed surface area during the life of the mine is equal to the combined total mined area of the South cell (Phase 1), the dewatering trench surrounding the West cell (Phase 3), and the settling pond associated with the West cell. The maximum exposed surface area during the life of the mine is eater a during the life of the mine is estimated at 18.5 acres. Additional exposed groundwater from the old Tucson Pit (DRMS Permit No. M-1991-140) has been incorporated into the permit boundary of the Tucson South Pit. Therefore, the maximum exposed groundwater allowed pursuant to the approved well permit is 25 acres.

Potential Mining Impacts

Tucson South Resource Groundwater Modeling Study on the Hydrogeologic Effects of Mining, prepared by Tetra Tech RMC dated August 2004 was submitted as a referral response to DRMS August 3, 2004. The plan was reviewed and approved by the Division as part of the original permit for the site. The approved Groundwater Monitoring and Mitigation Plan is described below.

The Conclusions and Recommendations as outlined in the Groundwater Modeling Study are outlined below. Please note that two of the parcels referenced in the model (Greenhouse parcel owned by Aurora located in the West cell and the Mars parcel owned by Aurora located in the East cell) were previously outside the permit boundary and are both now inside the permit boundary). The model makes recommendations regarding mitigation on these two parcels that are no longer relevant.

A finite difference groundwater model was constructed for the proposed Tucson South Mine. The model indicates the groundwater near the mine will be lowered or slightly raised locally during mining in response to dewatering and slurry wall installation. The most widespread drawdown was found to occur during the dewatering of the Challenger Pit, Baseline Mine, and southern portion of the Rogers Pit. The dewatering of the Challenger Pit could potentially draw some water out of the Brighton Ditch (depending on the hydraulic connection between the Brighton Ditch and groundwater table in that area) unless local mitigation steps are

taken. The largest local drawdown occurred near the greenhouses at the northeast comer of the West cell, after the installation of all slurry walls and slope liners. (*Note: the greenhouses are now included in the permit boundary.*)

Water was found to mound several feet along the upstream (southern and western) edges of the West cell after installation of the slurry wall. Depending on the hydraulic connection between the Brighton Ditch and groundwater table, the ditch could potentially gain over parts of the reach nearest the West cell slurry wall. Simulations run without the presence of the Challenger Pit and Baseline Mine showed that groundwater impacts from only the Tucson South cells was much less compared to the impact of all proposed mines. Specifically, the simulations show that for the isolated Tucson South scenarios, water tends to mound instead of being drawn down. Well impacts in these isolated scenarios are predicted to be minimal. (Note: the greenhouses are no longer in operation and the property is now included in the permit boundary. The Area will be mined and included within the reclaimed reservoir – no mitigation is required.)

Groundwater flows from south-southwest to north-northeast, and hence no "shadowing effect" in the City of Brighton Morgan Smith Natural Area. The proximity of the River also minimizes the impacts of groundwater levels in the Morgan Smith Natural Area. Scenario 4 (Figures 5 and 6), was modeled as dewatering the Tucson South Phase 2A (now East cell, Phase 2) area, dewatering the Challenger mine, and the slurry wall around the Tucson South Phase 2 (now East cell, Phase 2) East cell is not yet constructed. The groundwater model predicts a 2- to 3-foot draw-down in the Morgan Smith Natural Area. However, the impact from the Phase 2A (now East cell, Phase 2) area has historically been occurring for the period mining and dewatering has been happening in this area, with no known measured impact. If the trees in this area are impacted, Aggregate can direct dewatering water to the ground surface in this area for irrigation. This draw-down would be temporary until the slurry wall is installed around the Phase 2 (now East cell, Phase 2) area.

As indicated in Scenario 5 and shown graphically in Figure 7 and 8 of the modeling report, the simulated cumulative effect of the groundwater for the area after the slurry wall is installed around the Phase 2 (now East cell, Phase 2), has no impact on groundwater levels in the Morgan Smith Natural Area.

Based on the groundwater model, there will be no impact to the Brighton or Brantner Ditches from mine dewatering operations.

Groundwater monitoring and evaluation of potential mining or reclamation impacts shall be conducted as part of the Groundwater Monitoring and Mitigation Plan. The monitoring plan was reviewed and approved by the Division with the original permit and will be used during mining and reclamation activities. The plan is outlined below.

To establish a baseline, Aggregate installed 17 monitoring wells at the mining site and is measuring water levels monthly prior to beginning of mining, and quarterly thereafter. (Note: MW-11 was removed during **Todd Creek Metropolitan District's construction of a water pipeline** and will not be replaced.) MW-2 on the Bloom property was replaced with a new well in roughly the same location in January 2019. The monitoring plan now consists of 16 monitoring wells. Monitoring data will be used to identify potential changes in alluvial groundwater flow or elevation associated with mining and reclamation activities. Baseline data collected from the monitoring program will provide a range of relative water levels associated with pre-mining groundwater conditions. Experience at other sand and gravel mine sites in similar geologic

settings has found that groundwater levels tend to fluctuate between two to four feet each year, being highest in the summer and lowest in the winter and early spring.

- If, during mining, the relative seasonal groundwater elevation at any of the monitoring wells differs from the baseline conditions by more than two feet, and the condition was not observed during baseline monitoring, or if Aggregate Industries receives a complaint from any well owner within 600 feet from the site boundary, then Aggregate Industries will evaluate the cause and take action within 30 days and the DRMS will be notified.
- After the DRMS has been notified. Aggregate Industries will review the available data and information
 and submit a report to the DRMS within 30 days. The evaluation will include discussions with any well
 owner who has contacted Aggregate Industries regarding a concern and review of baseline data from
 the well and vicinity to evaluate whether changes may be due to seasonal variations, climate, mining,
 or other factors. The report will identify the extent of potential or actual impacts associated with the
 changes. If the extent of groundwater changes due to mining or reclamation activities is determined to
 be a significant contributing factor that has or may create adverse impacts. the mining associated
 impacts will be addressed to the satisfaction of the DRMS. Aggregate Industries will begin to
 implement one or more mitigation measures if mining and reclamation activity is determined to be a
 significant contributing factor to groundwater changes requiring mitigation. If, however, a subject well
 has not been put to beneficial use prior to mining, then Aggregate Industries would have no
 responsibility to provide mitigation.
- Mitigation measures may include, but are not limited to:
 - Cleaning a well to improve efficiency.
 - Providing an alternative source of water or purchasing additional water to support historic well use in terms of water quantity and quality. If needed, water quality parameters will be checked in affected wells to ensure alternative sources support the historic use.
 - Modifying a well to operate under lower groundwater conditions. This could include deepening existing wells or lowering the pumps. All work would be done at Aggregate Industries' expense except for replacing equipment that was non-functional prior to mining.
 - If existing wells cannot be retrofitted or repaired: replacing the impacted well with a new replacement well.
 - Providing flood irrigation to address concerns over impacts to sub irrigated lands adjacent to the site.
 - Aggregate agrees to provide the water level data collected from monitoring well sampling to the DRMS with the annual report for the site.
- If a groundwater mitigation action is required, Aggregate Industries will notify the DRMS of the condition, action taken and result.

A complete well inventory "Well Inventory, Tucson South/Haake, Aggregate Site near Brighton Colorado dated March 13, 2004" was submitted to the Division with Exhibit G of the original application for this site. The information is on record at the Division. Since that time Aggregate Industries has obtained the required well permit for this property. Copies of the Well Permit and the Well Completion Report are attached in Exhibit G of the 2018 CDRMS Permit Application.

Aggregate Industries, through the SEO well permit process gave notice to well owners within 600 feet of the mining boundary. The potentially impacted well owners entered into agreements with Aggregate Industries for protection for the senior vested water rights. The SEO well permit is attached in Exhibit G of the 2018 CDRMS Permit Application.

Potential Reclamation Impacts

Once mining and reclamation are complete and dewatering pumps are turned off, potential impacts to surrounding wells from mine cell dewatering will cease.

Reclamation Impact Mitigation Plan

Although impacts and damages are not anticipated, it is the intent of the operator and property owners to operate responsibly and to mitigate damage to wells or structures that is directly attributable to the mining and reclamation of the Tucson South Resource site.

If mine cell (or slurry wall) reclamation creates injury to surrounding properties, the applicant will take all necessary actions to remedy the injury. The approved well permit addresses potential impacts to wells within 600 feet of the Permit Boundary.

Additionally, if it is determined that mine cell reclamation creates mounding impacts to surrounding structures or water resources, the applicant will take appropriate corrective action. Impacts would trigger mitigation measures that may include, but are not limited to:

- 1. Installing surface or underground drain systems to transport groundwater from mounding areas to shadowing areas.
- 2. Diverting surface water flows to recharge ponds in shadowing areas.

Water Quality

Mining and reclamation operations shall comply with Colorado Department of Public Health and Environment National Pollution Discharge Elimination System (NPDES) regulations. A Colorado Discharge Permitting System (CDPS) permit for stormwater management and discharge flows to protect surface water quality on and off the proposed permit area from mining and reclamation activities will be obtained. The permit includes the continued updating and implementation of a site Stormwater Management Plan designed to prevent the contact and transport of potential contaminants to surface waters by stormwater flows.

The depth to groundwater fluctuates by a couple of feet depending on the season, but averages about 10 feet below ground surface. Due to the absence of large quantities of potential pollutants on site (no on-site processing or concrete or asphalt production), the mining and reclamation operations are unlikely to affect groundwater quality on or off the site. As stated above, mining and reclamation activities shall operate under a CDPS permit and Stormwater Management Plan. The plan provides for regular inspections of potential contaminant areas such as mobile equipment and fuel or lubricant storage locations. Inspections and best management practices are incorporated into the plan to protect both surface and groundwater quality.

WILDLIFE INFORMATION

Please refer to the attached *Tucson South Sand and Gravel Mine Project*— Adams County, Colorado *Biological Resources Inventory Report September 2018*, prepared by Tetra Tech. Specific details and recommendations regarding vegetation and wildlife are outlined in the report. The general wildlife resources described in the study are as follows:

Biologists documented four of the nine general wildlife species identified as having potential to occur by Colorado Parks and Wildlife (CPW) in the Project area including four black-tailed prairie dogs, one Great Blue Heron, five White Pelicans, and three wild turkeys. In addition, an eastern cottontail rabbit (*Sylvilagus floridanus*) was observed. Other avian species observed perched or flying in the Project area included Mallard (*Anas platyrhynchos*), American Crow (*Corvus brachyrhynchos*), Black-billed Magpies (*Picea hudsonia*), Redwing Blackbird (*Agelaius phoeniceus*), Mourning Dove (*Zenaida macroura*), and Western Tanager, (*Piranga ludoviciana*). All the bird species observed in the Project area are protected under the Migratory Bird Treaty Act (MBTA) (United States Fish and Wildlife Service (USFWS 2013).

The mammals identified by CPW as having potential to occur in the Project area or identified during the survey are not restricted to the site and commonly have large home ranges. Rodent species are known to hibernate or become dormant for portions of the winter. Avian species may be migrants or residents of the Project area.

Activity in the Project area would temporarily displace wildlife and reduce available habitat for animals currently living in the Project area during active operations. Vegetation and preparation of work sites poses the greatest disruption to wildlife in the Project area. During vegetation clearing, most individuals would move away from construction activities given the disruptive nature of these activities. Some individuals would either attempt to hide within the path of disturbance (e.g., small mammals or reptiles may attempt to burrow underground or remain motionless within the vegetation during clearing) or would be unable to relocate away from the disturbed area.

The Project is not expected to have significant impacts on migratory routes for avian resources. The Project is not within any known major avian migration corridors or stop-over sites and would not impede flight for avian resources or prohibit stop-over in nearby areas. The Project may cause a minor temporary displacement in local food resources for carnivores as some small mammals and insects would be displaced or during construction. A slight decrease in available food for herbivores may also occur due to vegetation clearing.

Some species such as birds or ungulates would continue to use the Project area while project activities are underway. Noise and dust emissions during construction would also cause some wildlife to temporarily leave the Project area during construction. No long-term impacts to wildlife species are expected by the Project. Permanent reclamation of the site will be reclaimed as two below-grade water storage reservoirs and a reclaimed upland meadow. Native vegetation will be seeded and planted which will support wildlife species. Wildlife will be allowed to return to the Project area following mining operations. Overall wildlife and vegetation habitat are expected to improve compared to the habitat that currently exists. Available food for both herbivores and carnivores is expected to increase when the Project is completed because wildlife habitat and vegetation habitat is expected to improve.

Conclusions and recommendations regarding wildlife as outlined in the study are as follows:

"This Biological Resources assessment evaluated major categories of resources including special status species, general wildlife and vegetation, and state listed noxious weeds. The special status species included assessment of federal and state listed species, raptors, and migratory birds."

Federal and State Listed Species

No federal listed species were determined to have suitable habitat in the Project area. Five state-listed species were determined to have suitable habitat and potential to occur within the Project area including burrowing owl (ST), brassy minnow (ST), plains minnow (SE), suckermouth minnow (SE), and river otter (ST). These species are protected against take under CRS 33-2-105. Species-specific mitigation measures for each species are described in Section 2.2.1.4 and are summarized in Table 10 below which was taken from the *Tucson South Sand and Gravel Mine Project – Adams County, Colorado Biological Resources Inventory Report September 2018, prepared by Tetra Tech.* All state threatened and state endangered species within the Project area will be protected against take under CRS 33-2-105.

Table 10:

Mitigation Magauraa	for State Listed S	Species With Det	ontial To Occur in	the Draiget Area
Mitigation Measures	TOT State-Listed 3	species with Pot	ential to Occur if	i the Project Area

Common Name	Scientific Name (Release)	Status	Mitigation Measures
Burrowing Owl	Athene cunicularia	ST	Pre-construction surveys for burrowing owls according to CPW- recommended survey protocol would be conducted in these locations if construction occurs during the burrowing owl breeding season (March 15–October 31). If nesting owls are observed, the nesting location will be documented and the CPW-recommended seasonal 150-foot non- encroachment buffer will be implemented to minimize the potential for species harassment
Brassy minnow	Hybognathus hankinsoni	ST	These have potential to occur in perennial and intermittent waters
Plains Minnow	Hybognathus placitus	SE	intersected by the Project. Perennial and intermittent streams in the Project area will be avoided. No impacts to these species are expected.
Suckermouth Minnow	Phenacobius mirabilis	SE	Project area will be avoided. No impacts to these species are expected.
River Otter	Lontra canadensis	ST	The Project would avoid direct impacts to the river otter and impacts to potential river otter breeding habitat along the South Platte River and its associated riparian area including potential natal dens for the river otter. No impacts to the South Platte River, the river otter, or its habitat is anticipated.

Migratory Birds

Two potential raptor nests were observed in the Project area during the raptor nest survey. Both were confirmed to be inactive at the time of the survey. Nest surveys will be completed prior to the first year of construction during the winter months prior to leaf-out of trees in the Project. If an active raptor nest is encountered during pre-construction surveys, Aggregate will follow the recommendations of CPW's "Recommended Buffer Zones and Seasonal Restrictions for Colorado Raptors" (CPW 2008). Construction disturbance is not expected to affect raptors to the extent that injury, loss of productivity, or nest abandonment occurs. All migratory birds within the Project area will be protected against take under the MBTA."

During the previous review of this application, the Division of Wildlife recommended that Aggregate consider creation of islands, varied side slopes, and plantings along the shorelines. Final reclamation of the site is slurry wall-lined water storage reservoirs. Any proposed plantings need to be maintained at a safe distance from the clay liner. This need limits the plantings along the outside edge of the reservoir. The potential fluctuation of the water inside the reservoir is not ideal for plantings along the interior of the liner system. To compensate for wildlife habitat within the water storage vessel, Phase 1 and the portion of Phase 3 located north of the reservoir will be reclaimed as upland. Additional plantings including cottonwoods, chokecherry, wild rose, plum and serviceberry will be planted along the eastern side of Phase 3, adjacent to the South Platte River to enhance wildlife habitat.

VEGETATION INFORMATION

A Biological Resources Inventory Report, September 2018 was prepared for the project area by Tetra Tech. The complete study is included in Exhibit H. The field survey identified 47 species of native and introduced plants within the Project area. Seven main cover types were observed during the field survey: forested riparian floodplain, mowed grassland, fallow corn field, invasive annual grassland, invasive annual/biannual forb land, and riparian/ herbaceous wetland. Shortgrass prairie would be the dominant native ecosystem type in the Project area under natural conditions, which were not observed during the field survey.

Four List B Noxious Weed species were identified in the Project area and two List C noxious weeds were identified. Adams County has listed Russian Olive and Musk Thistle for eradication by 2022. Downy Brome, in particular, was observed in several large dense patches. Tetra Tech recommends consultation with the Adams County noxious weed coordinator to determine requirements for control of noxious weeds prior to construction. The severely degraded riparian area along South Platte River is overrun by invasive species such as Crack Willows, Siberian Elm, and Russian Olive trees that inhibit native Willow and Cottonwood growth.

Weed List (A, B, or C) ¹	Common Name	Scientific Name	State Management Policy
List A Weeds	None observed.	_	-
List B Weeds	Scotch cottonthistle	Onopordum acanthium	Contain: Figure 20.01
	Russian-olive	Elaeagnus angustifolia	Eliminate by 2022
	Musk thistle	Carduus nutans	Eliminate by 2022
	Russian knapweed	Acroptilon repens	Contain: Figure 14.01
List C Weeds	Downy brome	Bromus tectorum	Control up to landowners' discretion
	Field bindweed	Convolvulus arvensis	Control up to landowners' discretion

Noxious Weed Species Observed During Field Surveys

Source: CDA (2017b)

1 List B: the state of Colorado and Adams County have developed noxious weed management plans to stop the continued spread of these species. Figure numbers refer to containment maps included in the 2015 Noxious Weed Act—Rules and Regulation Containment Figures by Counties (CDA 2017b.)

List C: widespread and well-established noxious weed species for which control is recommended but not required by the state.

Following mining, disturbed areas will be seeded with a mixture of upland grass species and a weed management plan will be implemented. Revegetation with native grasses and the weed management plan will help minimize the weedy vegetation that typically degrades wildlife habitat.

Please refer to the attached *Tucson South Sand and Gravel Mine Project*— Adams County, Colorado *Biological Resources Inventory Report September 2018*, prepared by Tetra Tech. Specific details and recommendations regarding vegetation and wildlife are outlined in the report. The conclusions and recommendations regarding vegetation are included below.

<u>Wetlands</u>

TetraTech also prepared the *Tucson South Sand and Gravel Mine Project—Adams County, Colorado Wetland Delineation Report dated September 2017.* The conclusions and recommendations from the report are as follows:

"The wetland and other Waters of the United States (WOTUS) delineation report presents the results of a desktop analysis and field delineation in accordance with methods outlined in the USACE *Wetland Delineation Manual* (USACE 1987) and the *Regional Supplement to the USACE Wetland Delineation Manual: Great Plains Region (Version 2.0)* (USACE 2010).

Fourteen features were delineated in the Project area (Figure 2) including eight wetlands (Table 3), six streams (Table 4), and one pond (Table 5). Tetra Tech identified eleven of these features as not likely jurisdictional and therefore not likely subject to Section 404 permitting. Three features, Wetlands A4 and A6 and Stream A1 (South Platte River) were determined to be likely jurisdictional and subject to Section 404 permitting. Because only the USACE can determine the jurisdictional status of a wetland or other WOTUS, Tetra Tech recommends consultation with the Denver Regulatory Office of USACE prior to construction to confirm our determinations and to identify the permitting requirements, if any, for the development of the project. The USACE typically issues Nationwide permits (NWPs) from the USACE allow for minor impacts in streams, wetlands, and other WOTUS that are jurisdictional under Section 404 of the CWA. A minor impact is generally less than 0.5 acre. When impacts to jurisdictional wetlands or other wOTUS exceed minor impacts, the USACE will generally require an Individual Permit. Should the project construction design include impacts greater than 0.5 acres, the project would likely be subject to an Individual Permit.

The Project area intersects a FEMA mapped floodplain associated with the South Platte River. Tetra Tech recommends consultation with Adams County to determine permitting requirements for construction within the FEMA mapped floodplain.

DRAINAGE

Adams County requires the submittal and preparation of a report regarding on-site grading and drainage as a component of the CUP submittal. A Level 1 – Storm Drainage Plan per Adams County regulations is attached for review. Due to the minimal impacts of the proposed project, higher level studies should not be required. The analysis was prepared to demonstrate no adverse impacts to adjacent landowners due to any increase in runoff from development of the land. A summary of the analysis is presented below.

The Tucson South Resource is a proposed aggregate mine located in unincorporated Adams County. Aggregate Industries proposes to excavate the mine to produce aggregates for sale. The proposed project is expected to occur in phases. Phase 1 is located south of State Highway 7. Phase 2 is located east of Tucson Street and north of State Highway 7. Phase 3 is located west of Tucson Street and north of Highway 7.

Mining Activities

The project phasing delineates the major phases of the project and generally denote a change in operational practices such as hauling and conveying. Initial activities will include the stripping of topsoil and overburden, which will be stockpiled in the locations shown on the CUP mining plans.

A reservoir perimeter access road, temporary haul roads, and a conveyor system will also be installed for mining operations. Due to the phased nature of the work, installation of roads and the conveyor are expected to take place periodically as operational needs dictate. The conveyor will be elevated above the ground on columns.

The haul roads and conveyor columns are the only anticipated impervious cover on the site. Access roads and a conveyor system are proposed only for Phases 2 and 3. The conveyor system will be temporary and will be removed at the end of mining.

Reclamation of each phase will be concurrent with mining with final completion after the conclusion of mining in that phase. Phase 1 will be reclaimed as an upland meadow, which is essentially a backfilling of the mined limits with overburden material or other inert fill. Phases 2 and 3 will be reclaimed was water storage reservoirs. The mined high walls will be lined with a compacted soil slope.

Drainage Impacts of Mining Activities

Aggregate mining, including stripping and stockpiling, are expected to decrease the amount of runoff leaving the site. This is due to the creation of excavations, which will trap all rainfall that falls within the excavation. A minor increase in runoff is expected from the construction of the reservoir access roads and the conveyor system.

These increases will be offset from the reduction in runoff due to the excavation of the cells. Phase 1 will not have a reservoir access road or conveyor system during or after mining. Since there will either be a mine excavation or undisturbed ground, Phase 1 was excluded from runoff calculations. Phase 2 drains east towards the South Platte River. Runoff is generally not concentrated, except in the area where a previous owner constructed outflow ditches to the river. Phase 3 drains north and east into Phase 2.

To evaluate potential impacts, Rational Method calculations were conducted. The runoff calculations were performed in conjunction with the methods, coefficients, and calculations as noted in the Urban Storm Drainage Criteria Manual, published by the Urban Drainage and Flood Control District. For the analysis, runoff was calculated for both the pre-project and post-project conditions. Pre-project conditions were calculated for the total mine phase area. The post-project conditions assumed a smaller area equal to pre-project area less total mine acreage.

The soil types for each of the phases are a combination of hydrologic soil group types A, C, and D. The total area of each per phase for the pre-project evaluations was determined using ArcGIS. For the post-

project evaluation, the soil distribution percentages were adjusted proportionally to the post-project area. The time of concentration was assumed to be the same for both the pre-project and post-project conditions so that a direct comparison could be made. The impacts of the conveyor were neglected because the conveyor is elevated off the ground on columns with relatively minor impervious area. The imperviousness of the access road is approximately 40% according to the Urban Storm Drainage Criteria Manual. The imperviousness of the undeveloped conditions is approximately 2% according to the Urban Storm Drainage Criteria Manual. The total area for Phase 2 is approximately 139.4 acres. Up to 79.5 acres will be mined. The post-project condition runoff generating area is approximately 59.9 acres. The reservoir access road has a surface area of approximately 3.6 acres. The total area for Phase 3 is approximately 88.6 acres. Up to 69.2 acres will be mined. The post-project condition runoff generating area of approximately 3.1 acres. A summary sheet showing the calculations parameters is included in the level 1 Storm Drainage Plan. A table summarizing the calculations is presented below.

Tab	le 1 – Summary of Peak Runoff by Ph	ase
	Pre-Project Runoff 100-Year	Post-Project Runoff 100-Year
Basin	Discharge	Discharge
	(cfs)	(cfs)
Phase 2	144.2	65.6
Phase 3	120.1	29.5

Conclusions

As demonstrated with the calculations, the cumulative impact of mining operations is a net reduction in peak runoff from the site. This reduction is due to the impacts of creating basin which will capture runoff. Runoff that falls in the reservoirs will be released at a controlled rate in accordance with the operational guidelines of the reservoirs.

WATER QUALITY/EROSION CONTROL

Adams County requires the submittal and preparation of an erosion and sediment control plan as a component of the CUP submittal. There are some peculiarities in the regulations covering stormwater discharges for this site. Construction stormwater discharges are regulated and covered by Colorado Discharge Permit System (CDPS) Permit COR030000. This permit specifically covers discharges associated with construction activities only.

As a mine, all stormwater discharges, except as noted in the permit, are covered under permit COG500000, which includes discharges from sand and gravel mining and processing. The published Fact Sheet for **permit COG500000**, **section IV.C**, **states that "Consistent with Division practice, construction** activity does not include land disturbance resulting from the act of mining, such as removal of topsoil and overburden to expose mineable minerals, or the extraction, **removal or recovery of minerals**." **The fact** sheet also states that construction activities including, but not limited to haul roads, pads, structures, etc. are considered construction activities. Construction activities must be covered separately under CDPS Permit COR030000. CDPS Permit COG500000 does require the preparation and maintenance of a Stormwater Management Plan (SWMP) similar in nature to that required by CDPS Permit COR030000.

The SWMP must include erosion control drawings that are periodically updated to reflect the measures installed, maintained, or removed. Since the mine is a multi-year project with only certain mining cells open at any one time, it is impractical to prepare a drawing showing all planned erosion control measures for the lifetime of the mine. Mining operations depend on many conditions and are similarly impractical to predict. The preparation of erosion control drawings for work performed under CDPS Permit COG500000 is not practical due to the nature of the work and thus are not submitted as a part of this application. As a part of the CUP submittal, an engineering application for erosion and sediment control is required. As noted in the fact sheet, some activities on the mine will be considered construction activities. This has been interpreted to mean that haul roads and erection of the conveyor system would be considered construction activities.

Erosion control drawings for construction activities have been prepared as a part of this application. The drawings only cover the haul road construction and erection of the conveyor system. No other structures are planned for this project at this time. Due to the nature of the work, an erosion control drawing for only the initial construction phase is provided. The interim phase, which traditionally refers to the phase after underground utility construction, is not applicable for this project. The final phase, where final stabilization is shown, was also not applicable because disturbed lands near the constructed improvements will be covered by permit COG500000 because it is within the mine boundary

CULTURAL RESOURCES

A Cultural Resource Inventory for the Tucson South Sand and Gravel Mine Project, Adams County, Colorado, was prepared by Tetra Tech in September 2018. A complete copy of the report is included with this application.

Statement of Objectives

The goals of the cultural resource study were to identify cultural resources likely to be present and possibly affected by the Project, evaluate the cultural resources for their NRHP status, and make management recommendations for those cultural resources in relation to the Project. To achieve these goals, seven tasks were undertaken, which are as follows:

- 1. Conduct a site file search of the OAHP database to determine whether previous inventories have been performed in or near the Project Research Area (the area within 0.5 miles of the area of potential effect [APE]), and whether previously recorded cultural resources are present in the Research Area. Review historic maps and GLO records to look for possible historic features found in the Research Area.
- 2. Conduct a cultural resource inventory of the Project APE and identify sites.
- **3.** Record all present cultural resources within the APE. Recordation to include global positioning system (GPS) coordinates, site sketch map, photographs, and site descriptions.
- 4. Complete OAHP site forms for all observed cultural resources within the APE.
- 5. Evaluate all recorded cultural resources within the APE.
- 6. Make appropriate management recommendations for all recorded cultural resources.
- 7. Prepare a report of the results of the inventory and submit to the lead agency with the understanding that the lead agency will submit to the OAHP.

Recommendations

The cultural resource survey resulted in the identification of four new cultural resource (5AM.3866.1, 5AM.3867.1, 5AM.3868.1, and 5AM.3869). Tetra Tech has left site 5AM.3866.1 as unevaluated pending additional research to better assess their NRHP eligibility and should be treated as eligible site and avoided

Tucson South Written Explanation of the Project

by any ground disturbing activity. According to the latest Project engineering design, the site will not be directly impacted by the mine and a slurry wall will be erected along the eastern extent of the ditch segment. Sites 5AM.3867.1, 5AM.3868.1, and IF 5AM.3869 have been recommended as not eligible for inclusion onto the NRHP.

If construction staff or others observe previously unidentified archaeological resources during construction, work should be halted in the vicinity of the find(s) and the Project Archaeologist immediately notified so that the resource value may be assessed as soon as possible, and appropriate next steps determined in coordination with the landowner, OAHP, and/or lead agency. Such finds should be formally recorded and evaluated for NRHP eligibility, as appropriate. The resource should be protected from further disturbance or looting pending evaluation and agreement from the State Historic Preservation Office regarding the **resource's eligibility status. Should the unanticipated discovery be determined to be a historic property that** is NRHP-eligible and cannot be avoided, Aggregate should provide justification why the resource cannot be avoided and recommend treatment options (e.g., data recovery) to the landowner and OAHP.

If human remains are inadvertently discovered during construction activities, all work in the vicinity of the find should cease and the Adams County Coroner contacted immediately to determine the nature of the remains and if the remains are Native American.

TRAFFIC IMPACTS

The attached map illustrates the proposed traffic route for the mining operation. A Traffic Impact Study of the Tucson South area, prepared by Gene Copolla, P.E., PTOE is included with the Conditional Use Site Plan application materials.

The long-term plan is to use a two-mile long conveyor to convey material from the Tucson South site north to the Wattenberg site and then onto the Platte Valley site for processing. The short-term plan is to use trucks to haul material to the Wattenberg site for conveyance to the Platte Valley site. Once the conveyor is installed, the haul truck option will only be used in an emergency. At this time, it is expected that the conveyor will be operational by the end of 2020.

Site generated traffic was estimated using the operating strategies anticipated by Aggregate Industries. The site will operate from 6:00 a.m. to 10:00 p.m. during the peak construction season. During the off-season, shorter operating times and significantly less traffic is expected. All activity will revolve around mining and transport of raw material by conveyor or, while the conveyor is being built, by truck to an off-site processing facility in Weld County. The conveyor is assumed available by December 31, 2020.

Truck activity will be evenly distributed from 6:00 a.m. to 10:00 p.m. with up to 400 round trips by truck expected per day. This equates to about 25 inbound and 25 outbound truck trips each hour. Inbound trucks will generally be empty while outbound trucks will be loaded. The site will have up to four employees spread over two shifts. Shift times will be from 6:00 a.m. to 2:00 p.m. and from 2:00 p.m. to 10:00 p.m. with each shift having two employees. Site traffic is tabulated below.

	7:30 - 8	:30 a.m.	4:30 - 5	:30 p.m.	Daily
	In	Out	In	Out	Round Trips
Employees / Visitors	0	0	0	0	20
Trucks	25	25	25	25	400

TOTAL 25 25 25 420

On a routine, peak season day the site will generate about 50 morning and 50 afternoon highway peak hour trips and 420 daily round trips until the conveyor system is built. The conveyor is expected to be operational in 2020. With the conveyor, truck traffic will be virtually eliminated.

The Conclusions as outlined in the study are as follows:

- Current operating conditions are acceptable around the Tucson South site.
- The Tucson South site will generate about 25 morning and afternoon highway peak hour round trips and 420 total round trips per day. These trips will occur prior to installation of a conveyor system and can be easily served by the existing streets.
- All currently warranted auxiliary lanes exist at the Tucson Street SH 7 intersection.
- The proposed site access points to Tucson Street are planned some 1,100 feet and 1,900 feet north of SH 7. These locations are acceptable.
- No auxiliary lanes are needed at the Tucson Street site access intersections.
- A conveyor system is planned in 2020. Once installed, truck trips will be virtually eliminated.

In summary, Aggregate Industries' Tucson South site will not adversely impact the area street system.

With the planned roadway geometry and the planned conveyor system acceptable operating conditions are expected for the foreseeable future.

FLOOD PLAIN

A complete Floodplain Use Permit Application was prepared by Tetra Tech for this property. The complete application is included with the application materials. The report concluded:

From the results of the modeling, Aggregate Industries has demonstrated compliance with applicable rules and regulations regarding work within the effective floodplain. Fill for temporary stockpiles are proposed in areas that were selected because the location was presumed to have the least impacts on water surface elevations and were located outside the effective floodway. Hydraulic modeling was performed to evaluate the impacts.

Adams County allows up to 0.25 feet of rise in the water surface elevations. The results of the modeling, including the unlikely "all phases" scenario, show that the total impacts on water surface elevation do not exceed 0.09 feet of rise.

ADAMS COUNTY REVIEW CRITERIAL, SECTION 3-38-06 OPERATION AND REHABILITATION STANDARDS FOR ALL MINING OPERATIONS

3-38-06-01 MINING PERMIT REQUIRED

All mining operations shall have a permit to excavate issued by the State of Colorado prior to beginning mineral extraction.

There is an existing State of Colorado Division of Reclamation, Mining and Safety (CDRMS) 112 Permit to mine sand and gravel on the site (M-2002-044). The applicant has applied to amend the permit and a decision on the application is anticipated in February 2019. A complete copy of the CDRMS permit

amendment application is included with this application. Aggregate Industries will not begin mining on the site until all required permits are obtained.

3-38-06-02 EXCAVATION SETBACK FROM ADJACENT PROPERTY

No excavation or deposit of overburden within twenty-five (25) feet of the boundary of adjacent property, easement, irrigation ditch or right-of-way is permitted unless written agreement of the owner(s) of such property, easement, irrigation ditch, or right-of-way is obtained by the mining operation. *The application as presented meets the setback standards as outlined above. Additional setbacks have been determined through slope stability modeling and are illustrated on sheets 4 and 5 of the Conditional Use Site Plan map. The applicant has also submitted structure agreement to all owners of structures within 200' of the area of disturbance as required by the CDRMS. Copies of the agreements are included in <i>Exhibit S of the DRMS application materials.*

3-38-06-03 EXCAVATION SETBACK FROM NEARBY RESIDENCE

No excavation within one-hundred-twenty-five (125) feet of any existing residence is permitted unless written agreement of the owners and occupants of such residence are obtained.

No excavation will take place within 125' of any residence not owned by the applicant. Setbacks have been determined through slope stability modeling.

3-38-06-04 ROCK CRUSHERS SETBACK FROM NEARBY RESIDENCE

No excavation involving the use of rock crushers or other similar equipment shall take place within twohundred-fifty (250) feet of a residence.

There are no rock crushing operations associated with this permit.

3-38-06-05 HAULING ROADS

Hauling roads within the premises shall be maintained in a reasonably dust free condition. Hauling roads will be maintained in a reasonably dust free condition through the use of a watering trucks.

3-38-06-06 HOURS OF OPERATION

Mineral excavation, crushing, hauling, loading, sorting or similar operation shall only occur between the hours of 6:00 a.m. to 10:00 p.m. Shorter hours of operation may be imposed in urbanized areas, as part of conditional use approval.

Proposed hours of operation are 6:00AM to 10:00PM, seven days per week. No onsite crushing or screening is associated with this permit.

3-38-06-07 TWO FEET OF WATER BEARING STRATA

All sand and gravel shall be excavated in such a manner as to have an average of two (2) feet of undisturbed sand and gravel to provide a water bearing strata, unless the reclamation plan provides for a permanent lake or a landfill.

The applicant has proposed permanent lined, municipal water storage reservoirs

3-38-06-08 CUT SLOPES

In no event shall a slope of less than 2:1 be left for dry pits, or a slope of 3:1 to a depth of ten (10) feet and 2:1 thereafter for a wet pit when operations are completed, except as provided herein. All reclaimed slopes will be a minimum of 3:1.

3-38-06-09 HAULING ROUTE

The operator shall submit a route plan to the Director of Community and Economic Development and receive permission to use for haulage any public right-of-way not designated for such haulage by reason of load limit, dust, right-of-way or pavement width or other relevant factors. The Director of Community and Economic Development may place reasonable restrictions on such right-of-way use. This application anticipates a combination of haul trucks and conveyors to transport material off site for processing and sale. The applicant will work with Adams County Public Works and Colorado Department of Transportation to obtain any required permits or agreement regarding access and haul routes.

3-38-06-10 EXCAVATION PIT FLOOR

The floor of excavation pits whether wet or dry shall be left in a reasonably smooth condition. *Reclamation will leave the floor of the reservoirs in a reasonably smooth condition. The south cell will be backfilled to create an upland meadow.*

3-38-06-11 FLOODING AND DRAINAGE

The operator shall not excavate, store overburden, or excavate materials or dike in such a manner as to increase any drainage or flooding on property not owned by the operator or damage to public facilities. *All mining activities will be governed by a Flood Plain Development Permit to assure that this requirement is met.*

3-38-06-12 FENCING

Prior to starting excavation, the operator shall fence gravel pit operations with a "V" mesh or chain link fence to a height of seventy-two (72) inches topped with three strands of barbed wire canted to a forty-five (45) degree angle outward. Where the operation is adjacent to subdivided and/or developed commercial, residential, or industrial property (except I-3) a solid screen fence will be erected to prevent the visibility of the mining operation if deemed necessary by the Community and Economic Development Department. The operator may fence the entire area immediately, or fence only areas of excavation; however, no fence shall be removed until rehabilitation has been completed.

The applicant will install the required fencing in phases when needed along Highway 7 and Tucson Street

3-38-06-13 NOISE

All operations shall conform to noise, vibration, and other standards in the performance standards section of these standards and regulations.

The operation will comply with the standards as required. Aggregate Industries utilizes white noise back up beepers on all of their equipment. On site traffic is managed in a circular pattern to minimize the need for trucks to back up. No onsite crushing or processing is associated with this permit.

3-38-06-14 RECLAMATION OF SPENT AREAS NEAR EXISTING DEVELOPMENT

Where the operation is adjacent to subdivided property and/or to developed commercial, residential or industrial (except I-3), once mining has been completed, said site is not to be used as an area to stockpile sand and gravel resources. The mining operator shall reclaim the area as soon as possible after mining has been completed to prevent soil erosion and nuisance conditions. In all cases, reclamation shall occur no later than five (5) years after mining has been completed.

The site will be concurrently reclaimed to create the water storage reservoirs. Compaction for the reservoir side slopes at this site will be 95 percent (or better) standard proctor. When an area is completely mined out from grade to bedrock, each section approximately 1,000-foot-wide (or approximately 30 acres), will begin side slope construction while the next contiguous area or consecutive phase is beginning mining. Due to the floodway, there is limited space for stockpile placement at this site; by concurrently reclaiming, as an area is being prepared for mining, the overburden and topsoil can be stripped and immediately placed, or stockpiled in the previously mined area, limiting the material handling. It is estimated that within 6 months of an area being completely mined, it will be reclaimed.

Backfilling of mining cells and other reclamation activities will be concurrent with mining. Topsoil, overburden, and non-marketable material excavated during mining will be used almost immediately. The only exception is during mining in the South cell (Phase 1) when topsoil and overburden will be used to create stockpiles along the north side of the cell for screening. Scrapers or haul trucks will be used to transport backfill material from the East cell (Phase 2), to the mined-out South cell for backfilling. Once the South cell is backfilled, the reserved topsoil and overburden will be used to create the finished grade prior to revegetation. Small temporary stockpiles may be created within or along the edge of the mining cells. When enough material is available in the stockpile, the material will be graded into the previously mined areas. Locations of topsoil and overburden stockpiles are shown on Sheets 4 and 5 of the Conditional Use Site Plan.

3-38-06-15 AIR EMISSIONS

All air emissions shall conform to standards established by the Colorado Department of Public Health and Environment.

Aggregate has obtained CDPHE Air Permit 17AD0577F. In addition, all vehicles and on-site equipment meet CDPHE standards for emissions.

3-38-06-16 WATER QUALITY

All water uses, and discharges shall conform to standards established by the State Water Quality Control Commission and the water laws of the State of Colorado.

Adams County requires the submittal and preparation of an erosion and sediment control plan as a component of the CUP submittal. There are some peculiarities in the regulations covering stormwater discharges for this site. Construction stormwater discharges are regulated and covered by Colorado Discharge Permit System (CDPS) Permit COR030000. This permit specifically covers discharges associated with construction activities only. As a mine, all stormwater discharges, except as noted in the permit, are covered under permit COG500000, which includes discharges from sand and gravel mining and **processing.** The published Fact Sheet for permit COG500000, section IV.C, states that "Consistent with Division practice, construction activity does not include land disturbance resulting from the act of mining, such as removal of topsoil and overburden to expose mineable minerals, or the extraction, removal or recovery of minerals." The fact sheet also states that construction activities including, but not limited to haul roads, pads, structures, etc. are considered construction activities. Construction activities must be covered

separately under CDPS Permit COR030000. CDPS Permit COG500000 does require the preparation and maintenance of a Stormwater Management Plan (SWMP) similar in nature to that required by CDPS Permit COR030000. The SWMP must include erosion control drawings that are periodically updated to reflect the measures installed, maintained, or removed. Since the mine is a multi-year project with only certain mining cells open at any one time, it is impractical to prepare a drawing showing all planned erosion control measures for the lifetime of the mine. Mining operations depend on many conditions and are similarly impractical to predict. The preparation of erosion control drawings for work performed under CDPS Permit COG500000 is not practical due to the nature of the work and thus are not submitted as a part of this application. As a part of the CUP submittal, an engineering application for erosion and sediment control is required. As noted in the fact sheet, some activities on the mine will be considered construction activities. This has been interpreted to mean that haul roads and erection of the conveyor system would be considered construction activities.

Erosion control drawings for construction activities have been prepared as a part of this application. The drawings only cover the haul road construction and erection of the conveyor system. No other structures are planned for this project at this time. Due to the nature of the work, an erosion control drawing for only the initial construction phase is provided. The interim phase, which traditionally refers to the phase after underground utility construction, is not applicable for this project. The final phase, where final stabilization is shown, was also not applicable because disturbed lands near the constructed improvements will be covered by permit COG500000 because it is within the mine boundary.

3-38-06-17 SLOPE STABILIZATION

All slopes shall be stabilized and land remaining in the natural water level must be revegetated in a manner compatible with the surrounding area, and subject to the approval of the Adams County Community and Economic Development Department.

Once backfill is placed to the approximate final grade for upland meadow or reservoir side slope creation, the area will be rough graded to establish final elevations, slopes, and transitions. Final grading will include addition of topsoil and surface preparation for revegetation. Special attention shall be given to transitions from reclaimed areas to undisturbed land. The final topography will not create new surface drainage directed onto adjacent properties.

Reservoir side slopes will include reclaimed grades of 3H:1V. The side slopes will be graded smooth to accommodate future maintenance of the lined reservoirs. The reclamation will not leave high walls on the property.

3-38-06-18 REVEGETATION

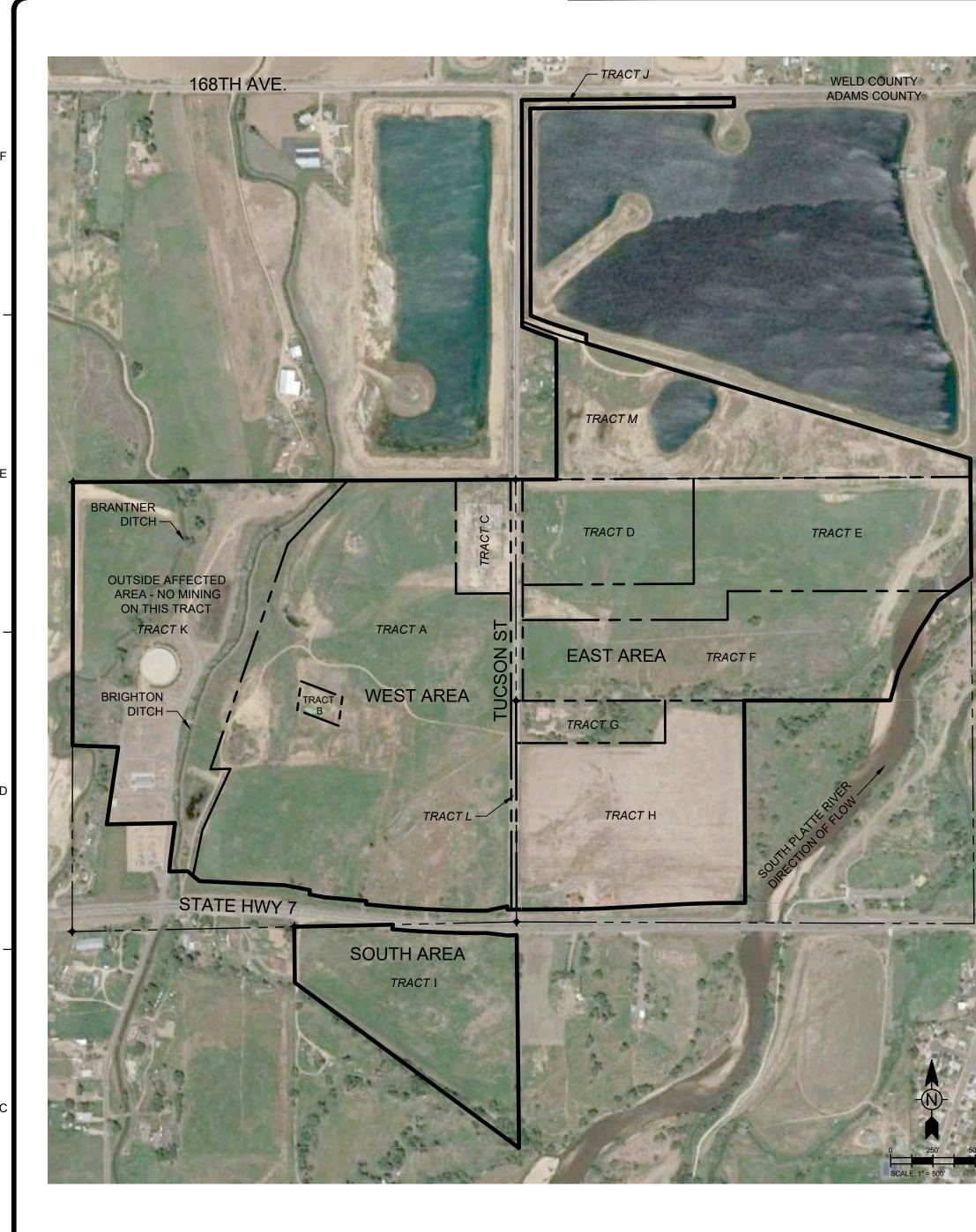
The revegetation plan must meet the standards of the Colorado State University Extension Agency. After revegetation of an area, the area must be maintained for a period of three (3) years or until all vegetation is firmly established in the reclaimed area.

Revegetation will only include grass seeding of disturbed areas. No tree or shrub planting is planned around the perimeter of the reservoirs. Where required, topsoil will be replaced to a depth of 6 to 12 inches. Topsoil will be placed after backfilling and rough grading is completed. As an area is reclaimed, runoff or excess water from adjacent areas will not be allowed to flow over slopes being graded and seeded. If needed, berms or channels will be constructed to divert excess water and dispose of it in a safe and non-erosive manner.

COLORADO DIVISION OF MINERALS AND GEOLOGY 112 PERMIT AMENDMENT APPLICATION

An application to ament the existing CRDMS Permit was submitted to the State of Colorado on November 28, 2018. The application is currently under review. A complete Copy of the Colorado Division or Mining Reclamation and Safety Permit application is attached. Specific technical information referenced throughout the application materials is included in the DRMS Application. The application included the following information:

- APPLICATION FORM (Original and one copy);
- Application Fee; and
- Exhibits
 - EXHIBIT A Legal Description
 - EXHIBIT B Index Map
 - EXHIBIT C Pre-Mining and Mining Plan Maps of Affected Lands
 - EXHIBIT D Mining Plan
 - EXHIBIT E Reclamation Plan
 - EXHIBIT F Reclamation Plan Map
 - EXHIBIT G Water Information
 - EXHIBIT H Wildlife Information
 - EXHIBIT I Soils Information
 - EXHIBIT J Vegetation Information
 - EXHIBIT K Climate Information
 - EXHIBIT L Reclamation Costs
 - EXHIBIT M Other Permits and Licenses
 - EXHIBIT N Source of Legal Right-To-Enter
 - EXHIBIT O Owners of Record of Affected Land (Surface Area) and Owners of Substance to be Mined
 - EXHIBIT P Municipalities Within Two Miles
 - EXHIBIT Q Proof of Mailing Notices to County Commissioners and Conservation District
 - EXHIBIT R Proof of Filing with County Clerk or Recorder
 - EXHIBIT S Permanent Man-Made Structures
 - ADDENDUM 1 Certification of Sign Posting and Letters to Utility Structure Owners
 - Rule 6.5 Geotechnical Stability Exhibit



SHEET INDEX:

1	COVER SHEET
2	EXISTING CONDITIONS - SOUTH AREA AND WEST AREA
3	EXISTING CONDITIONS - EAST AREA
4	MINING PLAN - SOUTH AREA (PHASE 1) AND WEST AREA (PHASE 3)
5	MINING PLAN - EAST AREA (PHASE 2)
6	RECLAMATION PLAN - SOUTH AREA AND WEST AREA
7	RECLAMATION PLAN - EAST AREA
8	MINING AND RECLAMATION PLAN NOTES AND DETAILS

FLOOD HAZARD LEGEND:

EFFECTIVE ZONE AE: AREA OF 1% ANNUAL CHANCE FLOOD WITH BASE FLOOD ELEVATIONS DETERMINED, AS SHOWN ON FEMA FIRM (MARCH 5, 2007)

EFFECTIVE ZONE X: AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD, AS SHOWN ON FEMA FIRM (MARCH 5, 2007)

EFFECTIVE FLOODWAY: THE FLOODWAY IS THE CHANNEL OF A STREAM PLUS ANY ADJACENT FLOODPLAIN AREAS THAT MUST BE KEPT FREE OF ENCROACHMENT SO THAT THE 1% ANNUAL CHANCE FLOOD CAN BE CARRIED WITHOUT SUBSTANTIAL INCREASES IN FLOOD HEIGHTS, AS SHOWN ON FEMA FIRM (MARCH 5, 2007)

PRE-PROJECT / MINING CONDITIONS: AREA OF 1% ANNUAL CHANCE FLOODPLAIN PER TETRA TECH STUDY (NOV. 2018 OR AS REVISED)

TUCSON SOUTH RESOURCE CONDITIONAL USE PERMIT

GRAVEL MINING APPLICANT / OPERATOR:

AGGREGATE INDUSTRIES-WCR, INC. 1687 COLE BLVD. SUITE 300 GOLDEN, COLORADO 80401

SURFACE OWNERS:

AGGREGATE INDUSTRIES-WCR, INC. (TRACTS A, B, D, E, F, H, I, AND M) 1687 COLE BLVD, SUITE 300 GOLDEN, COLORADO 80401

CITY OF AURORA (TRACTS C, G, AND K) 15151 EAST ALAMEDA PARKWAY **SUITE 3600** AURORA, COLORADO 80012

CITY OF THORNTON (TRACT J) 12450 WASHINGTON STREET THORNTON, COLORADO 80241

ADAMS COUNTY (TRACT L) ADAMS COUNTY GOVERNMENT CENTER 4430 SOUTH ADAMS COUNTY PARKWAY BRIGHTON, COLORADO 80601

PLEASE REFER TO SHEETS 2 AND 3 FOR ADJACENT PROPERTY OWNERS WITHIN 200' OF PERMIT BOUNDARY. ADJACENT PROPERTY OWNER INFORMATION WAS PROVIDED BY ADAMS COUNTY AND WELD COUNTY RECORDS.

EXISTING VEGETATION:

THE LAND COVER FOR THE PROJECT AREA WAS DETERMINED THROUGH A DESKTOP ANALYSIS OF THE NATIONAL LAND COVER DATABASE (FRY ET AL 2011). THE PROJECT LIES WITHIN COVER CLASSES IDENTIFIED BY THE NLCD AS CULTIVATED CROPLAND, HAY/PASTURE, HERBACEOUS, GRASSLANDS, WOODY AND HERBACEOUS WETLANDS, AND DEVELOPED AND BARREN.

UTILITY INFORMATION:

UTILITY INFORMATION TAKEN FROM THE TUCSON SOUTH ALTA/NSPS LAND TITLE SURVEY DATED SEPTEMBER 7, 2018 BY CIVIL ARTS.

WETLAND NOTE:

WETLANDS SHOWN ON PLANS ARE PER INVESTIGATION REPORTS BY TETRA TECH DATED AUGUST 2017.

FLOOD HAZARD INFORMATION:

FLOODPLAIN INFORMATION IS FROM FLOOD INSURANCE RATE MAP, PANEL NO. 08001C0327H & 08001C0326H, DATED MARCH 5, 2007. A PORTION OF THIS LAND LIES WITHIN ZONE AE (SPECIAL FLOOD HAZARD AREAS INUNDATED BY THE 1% ANNUAL CHANCE FLOOD) AND REGULATORY FLOODWAY.

MINING AREA ACREAGE TABLE:

AREA/PHASE	TRACT	PERMIT BO	UNDARY	AFFECTE	ED AREA	MINED AREA
SOUTH/PHASE 1	I	24.3	24.3	24.3	24.3	13.6
	А	82.6		82.6		
WEST/	В	1.0	127.6	1.0	00 C	67.0
PHASE 2	С	5.0	137.6	5.0	88.6	67.0
	К	49.0		0.0		
	D	14.4		14.4		
	Е	30.7		30.7		
EAST/	F	29.6	139.4	29.6	120.4	79.8
PHASE 3	G	4.9	159.4	4.9	139.4	79.0
	Н	32.6		32.6		
	М	27.2		27.2		
CONVEYOR	J	3.3	3.3	3.3	3.3	0.0
TUCSON ST	L	2.9	2.9	2.9	2.9	0.0
TOTALS			307.5		258.5	160.4

RECLAMATION AREA ACREAGE TABLE:

RECLAMATION PLAN AREAS	ACREAGES
MINING AREAS RECLAIMED TO UPLAND MEADOW	14.7
MINING AREAS RECLAIMED TO WATER STORAGE	148.7
DISTURBED, BUT NOT MINED LAND RECLAIMED TO UPLAND MEADOW	92.2
UNDISTURBED AREAS OUTSIDE AFFECTED AREA	49.0
TUCSON STREET ROW	2.9
TOTAL	307.5

SEED MIX AND SEED MIX NOTES:

UPLAND MEADOW GRASS SEED	SCIENTIFIC NAME	VARIETY	% OF MIX	APPLICATION RATE* (#PLS/ACRE)
BIG BLUESTEM	ANDROPOGON GERARDII	KAW	15%	1.7
BLUE GRAMA	BOUT ELOUA GRACILIS	HACHITA, LOVINGTON	10%	0.3
GREEN NEEDLAGRASS	NASSELLA VIRIDULA	LODOM	15%	1.5
SIDEOAT S GRAMA	BOUT ELOUA CURTIPENDULA	VAUGHN, BUTTE	10%	1
SWITCHGRASS	PANICIUM VIRGAT UM	BLACKWELL	20%	2
WEST ERN WHEAT GRASS	PASCOPYRUM SMITHII	ARRIBA, BARTON	30%	4.8
TOTAL				11.3
*APPLICATION RATE IS FOR DRILL	SEEDING. IF SEED IS TO BE BR	OADCAST, THE APPLICA	TION RATE	WILL BE DOUBLED.
TEMPORARY STOCKPILE VEGETA	TION:			
LUNA PUBESCENT WHEAT GRASS	– 15 LB/AC			

AMUR INTERMEDIATE WHEAT GRASS – 15 LB/AC

LEGAL DESCRIPTIONS:

TRACT A

THAT PARCEL OF LAND AS DESCRIBED IN A GENERAL WARRANTY DEE RECORDED FEBRUARY 27, 2001 AT RECEPTION NO. C0765905, COUNT OF ADAMS, STATE OF COLORADO.

EXCEPT PARCEL B AS DESCRIBED IN A GENERAL WARRANTY DEE RECORDED FEBRUARY 27, 2001 AT RECEPTION NO. C0765905, COUNT OF ADAMS, STATE OF COLORADO.

AND EXCEPT THAT TRACT OF LAND CONVEYED TO CITY OF AURORA # DESCRIBED IN GENERAL WARRANTY DEED RECORDED DECEMBER 2 2005, AS RECEPTION NO. 20051222001399920, COUNTY OF ADAMS, STA1 OF COLORADO.

TRACT B

A PARCEL OF LAND IN THE SW 1/4 OF SECTION I, TOWNSHIP I SOUT RANGE 67 WEST OF THE 6TH P.M., COUNTY OF ADAMS. STATE C COLORADO, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 1: THENC NORTH ALONG THE WEST LINE OF SAID SECTION 1 A DISTANCE OF 144 FEET; THENCE S84°05'E A DISTANCE OF 1334.7 FEET TO THE TRUE POIN OF BEGINNING: THENCE S69°18'E, 260.7 FEET; THENCE N07°32'E, 171.6 FEET; THENCE N69°18'W, 260.7 FEET; THENCE S07°32'W, 171.6 FEET TO THE POINT OF BEGINNING, COUNTY C ADAMS, STATE OF COLORADO.

TRACT C

ALL THAT TRACT OF LAND DESCRIBED IN THE SPECIAL WARRANTY DEE RECORDED SEPTEMBER 26, 2016 AT RECEPTION NO. 201600008068 COUNTY OF ADAMS, STATE OF COLORADO.

TRACT D

THAT PART OF THE NORTH ONE-HALF SOUTHEAST ONE-QUARTE SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIX1 PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO DESCRIBED AS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTH ONE-HAL SOUTHEAST ONE-QUARTER, SAID POINT BEING THE POINT (BEGINNING; THENCE N. 89.37'18" E. ALONG THE NORTH LINE OF SA NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 1050. FEET; THENCE S. 00°08'29" E, PARALLEL WITH THE WEST LINE OF SA NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 621.9 FEET TO A LINE THAT IS PARALLEL WITH THE NORTH LINE OF SA NORTH ONE-HALF SOUTHEAST ONE QUARTER AND 5 FEET SOUTH OF A EXISTING HOUSE; THENCE S. 89°37'18" W. ALONG SAID LINE A DISTANC OF 1050.57 FEET TO THE WEST LINE OF SAID NORTH ONE-HAL SOUTHEAST ONE-QUARTER; THENCE N. 00°08'29" W. ALONG THE WES LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANC OF 621.95 FEET, TO THE POINT OF BEGINNING; EXCEPT THE WEST 40.(FEET THEREOF, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT E

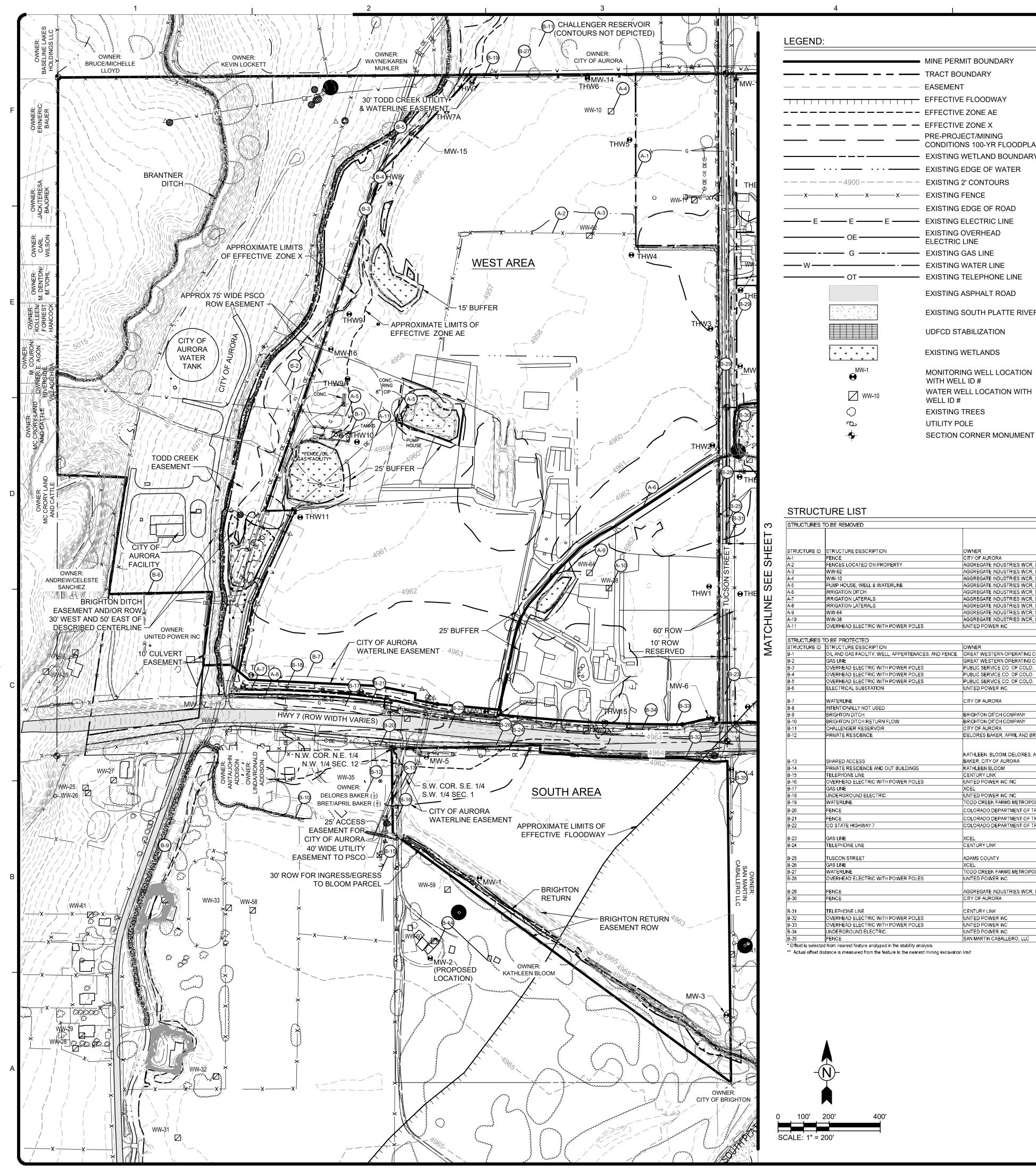
THAT PART OF THE NORTH ONE-HALF SOUTHEAST ONE QUARTE SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIX1 PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO, LYING NORTH AN WEST OF THE CENTERLINE OF THE SOUTH PLATTE RIVER, DESCRIBE AS

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTH ONE-HAL SOUTHEAST ONE-QUARTER; THENCE SOUTH 00°08'29" EAST ALONG TH WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, DISTANCE OF 621.95 FEET TO A LINE THAT IS PARALLEL WITH THE NOR1 LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER AND 5 FEE SOUTH OF AN EXISTING HOUSE AND THE POINT OF BEGINNING; THENC NORTH 89°37'18" EAST. PARALLEL WITH THE NORTH LINE OF SAID NORT ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 1050.57 FEE THENCE NORTH 00°08'29" WEST, PARALLEL WITH THE WEST LINE OF SA NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 621.9 FEET TO THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAS ONE-QUARTER; THENCE NORTH 89°37'18" EAST ALONG THE NORTH LIN OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE C 1635.47 FEET TO THE NORTHEAST CORNER OF SAID NORTH ONE-HAL SOUTHEAST ONE-QUARTER; THENCE SOUTH 00°31'01" EAST ALONG TH EAST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, DISTANCE OF 590.02 FEET TO THE CENTERLINE OF THE SOUTH PLAT1 RIVER; THENCE SOUTHERLY ALONG THE CENTERLINE OF THE SOUT PLATTE RIVER SOUTH 53°55'12" WEST, A DISTANCE OF 142.93 FEET TO LINE THAT IS 646.34 FEET NORTH OF AND PARALLEL WITH THE SOUT LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENC SOUTH 89°54'25" WEST ALONG SAID LINE, A DISTANCE OF 1324.16 FEE TO A LINE THAT IS 1250.00 FEET EAST OF AND PARALLEL WITH THE WES LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENC SOUTH 00°08'29" EAST, PARALLEL WITH THE WEST LINE OF SAID NORT ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 169.08 FEET TO LINE THAT IS 477.26 FEET NORTH OF AND PARALLEL WITH THE SOUT LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENC SOUTH 89°54'25" WEST ALONG SAID LINE , A DISTANCE OF 1250.00 FEE TO THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAS ONE-QUARTER; THENCE NORTH 00°08'29" WEST ALONG THE WEST LIN OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE (207.94 FEET TO THE POINT OF BEGINNING, EXCEPT THE WEST 40.00 FEE THEREOF, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT F

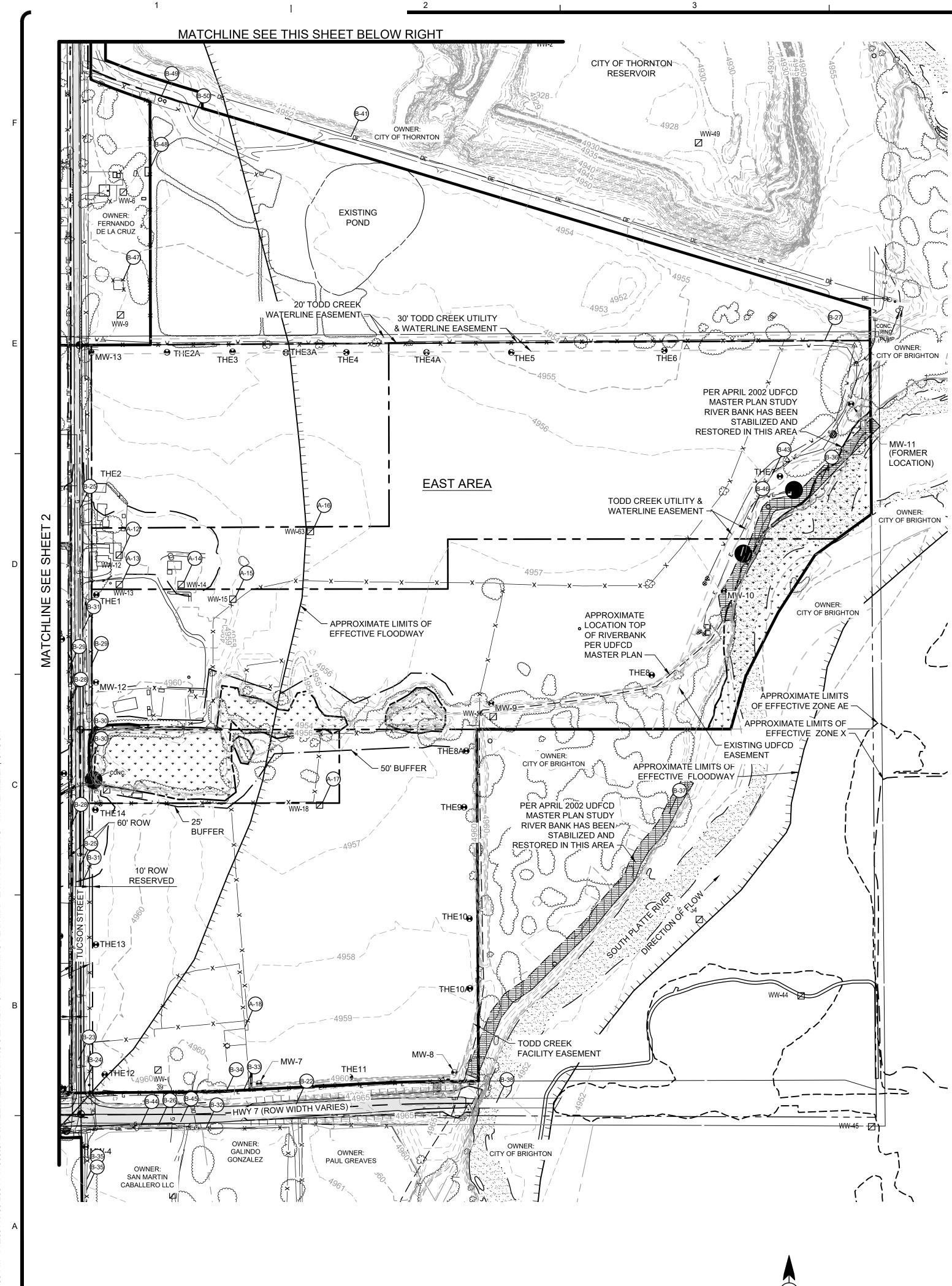
THAT PART OF THE NORTH ONE-HALF OF THE SOUTHEAS ONE-QUARTER, SECTION 1, TOWNSHIP 1, SOUTH, RANGE 67 WEST C THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, STATE OF COLORAD LYING NORTH AND WEST OF THE CENTERLINE OF THE SOUTH PLATT RIVER DESCRIBED AS;

COMMENCING AT THE SOUTHWEST CORNER OF SAID NORTH ONE-HAI SOUTHEAST ONE-QUARTER, SAID POINT BEING THE POINT C BEGINNING; THENCE N00°08'29"W, ALONG THE WEST LINE OF SA NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 477.2 FEET; THENCE N89°54'25"E, PARALLEL WITH THE SOUTH LINE OF SA NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 1250.(FEET; THENCE N00°08'29", PARALLEL WITH THE WEST LINE OF SA NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 169.(FEET; THENCE N89°54'25"E, PARALLEL WITH THE SOUTH LINE OF SA



-	TRACT BOUNDARY
_	EASEMENT
_	EFFECTIVE FLOODWAY
-	EFFECTIVE ZONE AE
_	EFFECTIVE ZONE X
-	PRE-PROJECT/MINING CONDITIONS 100-YR FLOODPLAIN
_	EXISTING WETLAND BOUNDARY
_	EXISTING EDGE OF WATER
_	EXISTING 2' CONTOURS
	EXISTING FENCE
_	EXISTING EDGE OF ROAD
_	EXISTING ELECTRIC LINE
_	EXISTING OVERHEAD ELECTRIC LINE
_	EXISTING GAS LINE
_	EXISTING WATER LINE
_	EXISTING TELEPHONE LINE
	EXISTING ASPHALT ROAD
	EXISTING SOUTH PLATTE RIVER
	UDFCD STABILIZATION
	EXISTING WETLANDS
	MONITORING WELL LOCATION WITH WELL ID # WATER WELL LOCATION WITH

STRUCTURES T	O BE REMOVED				
		014.52		RECOMMENDED OFFSET PER STABILITY	STRUCTURE AGREEMENT OR UDFCD OFFSET
		OWNER	ADDRESS	ANALYSIS (FT)*	(FT)
	FENCE		15151 EAST ALAMEDA PARKWAY, SUITE 3600, AURORA, COLORADO, 80012	· ·	•
A-2	FENCES LOCATED ON PROPERTY	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-
A-3	WW-62	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-
	WW-10	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300. GOLDEN, COLORADO, 80401	•	•
A-5	PUMP HOUSE, WELL & WATERLINE	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-
A-6	IRRIGATION DITCH	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-
A-7 A-8	IRRIGATION LATERALS	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401		-
A-8	IRRIGATION LATERALS	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-
	WW-64	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-
A-10	WW-38	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401		-
A-11	OVERHEAD ELECTRIC WITH POWER POLES	UNITED POWER INC	PO BOX 929, BRIGHTON, CO, 80602	-	-
STRUCTURES T	O BE PROTECTED				
	STRUCTURE DESCRIPTION	OWNER	ADDRESS		
B-1 B-2 B-3 B-4	OIL AND GAS FACILITY, WELL, APPERTENACES, AND FENCE	GREAT WESTERN OPERATING COMPANY, LLC		65	-
B-2	GAS LINE	GREAT WESTERN OPERATING COMPANY, LLC		65	-
B-3	OVERHEAD ELECTRIC WITH POWER POLES	PUBLIC SERVICE CO. OF COLO.	1800 LARIMER ST, DENVER, COLORADO, 80202	100	-
B-4	OVERHEAD ELECTRIC WITH POWER POLES	PUBLIC SERVICE CO. OF COLO.	1800 LARIMER ST, DENVER, COLORADO, 80202	100	-
	OVERHEAD ELECTRIC WITH POWER POLES	PUBLIC SERVICE CO. OF COLO.	1800 LARIMER ST, DENVER, COLORADO, 80202	100	-
			PO BOX 929, BRIGHTON, CO, 80602	100	-
				80 (N OF HWY 7)	
	WATERLINE	CITY OF AURORA	15151 EAST ALAMEDA PARKWAY, SUITE 3600, AURORA, COLORADO, 80012	75 (S OF HWY 7)	60
	INTENTIONALLY NOT USED			-	-
	BRIGHTON DITCH	BRIGHTON DITCH COMPANY	3286 WELD COUNTY ROAD 23, FT LUPTON CO 80621	90	-
	BRIGHTON DITCH RETURN FLOW	BRIGHTON DITCH COMPANY	3286 WELD COUNTY ROAD 23, FT LUPTON CO 80621	105	-
	CHALLENGER RESERVOIR	CITY OF AURORA	15151 EAST ALAMEDA PARKWAY, SUITE 3600, AURORA, COLORADO, 80012	185	-
B-12	PRIVATE RESIDENCE	DELORES BAKER, APRIL AND BRET BAKER	12420 E 160TH AVE, DENVER, CO	75	-
		KATHLEEN BLOOM, DELORES, APRIL & BRET	BAKER: 12420 E 160TH AVE, DENVER, CO BLOOM: 12500 E 160TH AVE, BRIGHTON, COLORADO, 80602 CITY OF AURORA: 15151 EAST ALAMEDA PARKWAY, SUITE 3600. AURORA,	75	-
B-13	SHARED ACCESS				
B-13		BAKER, CITY OF AURORA	COLORADO, 80012	105	
B-14	PRIVATE RESIDENCE AND OUT BUILDINGS	BAKER, CITY OF AURORA KATHLEEN BLOOM	12500 E 160TH AVE, BRIGHTON, COLORADO, 80602	105	-
B-14 B-15	PRIVATE RESIDENCE AND OUT BUILDINGS TELEPHONE LINE	BAKER, CITY OF AURORA KATHLEEN BLOOM CENTURY LINK	12500 E 160TH AVE, BRIGHTON. COLORADO, 80602 PO BOX 2560, OMAHA, NE, 68103	75	-
B-14 B-15 B-16	PRIVATE RESIDENCE AND OUT BUILDINGS TELEPHONE LINE OVERHEAD ELECTRIC WITH POWER POLES	BAKER, CITY OF AURORA KATHLEEN BLOOM CENTURY LINK UNITED POWER INC INC	12500 E 160TH AVE, BRIGHTON. COLORADO, 80602 PO BOX 2560, OMAHA, NE, 68103 PO BOX 929, BRIGHTON, CO, 80602	75 75	-
B-14 B-15 B-16 B-17	PRIVATE RESIDENCE AND OUT BUILDINGS TELEPHONE LINE OVERHEAD ELECTRIC WITH POWER POLES GAS LINE	BAKER, CITY OF AURORA KATHLEEN BLOOM CENTURY LINK UNITED POWER INC INC XCEL	12500 E 160TH AVE, BRIGHTON, COLORADO, 80602 PO BOX 2560, OMAHA, NE, 68103 PO BOX 929, BRIGHTON, CO, 80602 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401	75 75 110	
B-14 B-15 B-16 B-17 B-18	PRIVATE RESIDENCE AND OUT BUILDINGS TELEPHONE LINE OVERHEAD ELECTRIC WITH POWER POLES GAS LINE UNDERGROUND ELECTRIC	BAKER, CITY OF AURORA KATHLEEN BLOOM CENTURY LINK UNITED POWER INC INC XCEL UNITED POWER INC INC	12500 E 160TH AVE, BRIGHTON, COLORADO, 80602 PO BOX 2560, OMAHA, NE, 68103 PO BOX 929, BRIGHTON, CO, 80602 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 929, BRIGHTON, CO, 80602	75 75 110 80	- - - -
B-14 B-15 B-16 B-17 B-18 B-19	PRIVATE RESIDENCE AND OUT BUILDINGS TELEPHONE LINE OVERHEAD ELECTRIC WITH POWER POLES GAS LINE UNDERGROUND ELECTRIC WATERLINE	BAKER, CITY OF AURORA KATHLEEN BLOOM CENTURY LINK UNITED POWER INC INC XCEL UNITED POWER INC INC TODD CREEK FARMS METROPOLITAN DIST. NO. 1	12500 E 160TH AVE, BRIGHTON, COLORADO, 80602 PO BOX 2560, OMAHA, NE, 68103 PO BOX 929, BRIGHTON, CO, 80602 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 929, BRIGHTON, CO, 80602 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401	75 75 110 80 -	
B-14 B-15 B-16 B-17 B-18 B-19	PRIVATE RESIDENCE AND OUT BUILDINGS TELEPHONE LINE OVERHEAD ELECTRIC WITH POWER POLES GAS LINE UNDERGROUND ELECTRIC	BAKER, CITY OF AURORA KATHLEEN BLOOM CENTURY LINK UNITED POWER INC INC XCEL UNITED POWER INC INC	12500 E 160TH AVE, BRIGHTON, COLORADO, 80602 PO BOX 2560, OMAHA, NE, 68103 PO BOX 929, BRIGHTON, CO, 80602 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 929, BRIGHTON, CO, 80602	75 75 110 80	- - - -
B-14 B-15 B-16 B-17 B-18 B-19 B-20	PRIVATE RESIDENCE AND OUT BUILDINGS TELEPHONE LINE OVERHEAD ELECTRIC WITH POWER POLES GAS LINE UNDERGROUND ELECTRIC WATERLINE	BAKER, CITY OF AURORA KATHLEEN BLOOM CENTURY LINK UNITED POWER INC INC XCEL UNITED POWER INC INC TODD CREEK FARMS METROPOLITAN DIST. NO. 1	12500 E 160TH AVE, BRIGHTON, COLORADO, 80602 PO BOX 2560, OMAHA, NE, 68103 PO BOX 929, BRIGHTON, CO, 80602 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 929, BRIGHTON, CO, 80602 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401	75 75 110 80 -	- - - -
B-14 B-15 B-16 B-17 B-18 B-19 B-20 B-21	PRIVATE RESIDENCE AND OUT BUILDINGS TELEPHONE LINE OVERHEAD ELECTRIC WITH POWER POLES GAS LINE UNDERGROUND ELECTRIC WATERLINE FENCE	BAKER, CITY OF AURORA KATHLEEN BLOOM CENTURY LINK UNITED POWER INC INC XCEL UNITED POWER INC INC TODD CREEK FARMS METROPOLITAN DIST. NO. 1 COLORADO DEPARTMENT OF TRANSPORTATION	12500 E 160TH AVE, BRIGHTON, COLORADO, 80602 PO BOX 2560, OMAHA, NE, 68103 PO BOX 929, BRIGHTON, CO, 80602 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 929, BRIGHTON, CO, 80602 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401 2829 W. HOWARD PLACE, DENVER, CO, 80204	75 75 110 80 - 80	- - - -
B-14 B-15 B-16 B-17 B-18 B-19 B-20 B-21 B-22	PRIVATE RESIDENCE AND OUT BUILDINGS TELEPHONE LINE OVERHEAD ELECTRIC WITH POWER POLES GAS LINE UNDERGROUND ELECTRIC WATERLINE FENCE FENCE CO STATE HIGHWAY 7	BAKER, CITY OF AURORA KATHLEEN BLOOM CENTURY LINK UNITED POWER INC INC XCEL UNITED POWER INC INC TODD CREEK FARMS METROPOLITAN DIST. NO. 1 COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION	12500 E 160TH AVE, BRIGHTON, COLORADO, 80602 PO BOX 2560, OMAHA, NE, 68103 PO BOX 929, BRIGHTON, CO, 80602 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 929, BRIGHTON, CO, 80602 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401 2829 W. HOWARD PLACE, DENVER, CO, 80204 2829 W. HOWARD PLACE, DENVER, CO, 80204 2829 W. HOWARD PLACE, DENVER, CO, 80204	75 75 110 80 - 80 80 110 110 (WEST AREA)	- - - - 20 - -
B-14 B-15 B-16 B-17 B-18 B-19 B-20 B-21 B-22 B-23	PRIVATE RESIDENCE AND OUT BUILDINGS TELEPHONE LINE OVERHEAD ELECTRIC WITH POWER POLES GAS LINE UNDERGROUND ELECTRIC WATERLINE FENCE FENCE CO STATE HIGHWAY 7 GAS LINE	BAKER, CITY OF AURORA KATHLEEN BLOOM CENTURY LINK UNITED POWER INC INC XCEL UNITED POWER INC INC TODD CREEK FARMS METROPOLITAN DIST. NO. 1 COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION XCEL	12500 E 160TH AVE, BRIGHTON, COLORADO, 80602 PO BOX 2560, OMAHA, NE, 68103 PO BOX 929, BRIGHTON, CO, 80602 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 929, BRIGHTON, CO, 80602 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401 2829 W. HOWARD PLACE, DENVER, CO, 80204	75 75 110 80 - 80 80 110 110 (WEST AREA) 65 (EAST AREA)	- - - - 20 - - - -
B-14 B-15 B-16 B-17 B-18 B-19 B-20 B-21 B-22 B-23	PRIVATE RESIDENCE AND OUT BUILDINGS TELEPHONE LINE OVERHEAD ELECTRIC WITH POWER POLES GAS LINE UNDERGROUND ELECTRIC WATERLINE FENCE FENCE CO STATE HIGHWAY 7	BAKER, CITY OF AURORA KATHLEEN BLOOM CENTURY LINK UNITED POWER INC INC XCEL UNITED POWER INC INC TODD CREEK FARMS METROPOLITAN DIST. NO. 1 COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION	12500 E 160TH AVE, BRIGHTON, COLORADO, 80602 PO BOX 2560, OMAHA, NE, 68103 PO BOX 929, BRIGHTON, CO, 80602 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 929, BRIGHTON, CO, 80602 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401 2829 W. HOWARD PLACE, DENVER, CO, 80204 2829 W. HOWARD PLACE, DENVER, CO, 80204 2829 W. HOWARD PLACE, DENVER, CO, 80204	75 75 110 80 - 80 80 110 110 (WEST AREA) 65 (EAST AREA) 90	- - - - 20 - -
B-14 B-15 B-16 B-17 B-18 B-19 B-20 B-21 B-22 B-22 B-23 B-24 B-25	PRIVATE RESIDENCE AND OUT BUILDINGS TELEPHONE LINE OVERHEAD ELECTRIC WITH POWER POLES GAS LINE UNDERGROUND ELECTRIC WATERLINE FENCE FENCE CO STATE HIGHWAY 7 GAS LINE	BAKER, CITY OF AURORA KATHLEEN BLOOM CENTURY LINK UNITED POWER INC INC XCEL UNITED POWER INC INC TODD CREEK FARMS METROPOLITAN DIST. NO. 1 COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION XCEL	12500 E 160TH AVE, BRIGHTON, COLORADO, 80602 PO BOX 2560, OMAHA, NE, 68103 PO BOX 929, BRIGHTON, CO, 80602 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 929, BRIGHTON, CO, 80602 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401 2829 W. HOWARD PLACE, DENVER, CO, 80204	75 75 110 80 - 80 80 110 110 (WEST AREA) 65 (EAST AREA)	- - - - 20 - - - -
B-14 B-15 B-16 B-17 B-18 B-19 B-20 B-21 B-22 B-22 B-23 B-24 B-25	PRIVATE RESIDENCE AND OUT BUILDINGS TELEPHONE LINE OVERHEAD ELECTRIC WITH POWER POLES GAS LINE UNDERGROUND ELECTRIC WATERLINE FENCE FENCE CO STATE HIGHWAY 7 GAS LINE TELEPHONE LINE	BAKER, CITY OF AURORA KATHLEEN BLOOM CENTURY LINK UNITED POWER INC INC XCEL UNITED POWER INC INC TODD CREEK FARMS METROPOLITAN DIST. NO. 1 COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION XCEL CENTURY LINK	12500 E 160TH AVE, BRIGHTON, COLORADO, 80602 PO BOX 2560, OMAHA, NE, 68103 PO BOX 929, BRIGHTON, CO, 80602 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 929, BRIGHTON, CO, 80602 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401 2829 W. HOWARD PLACE, DENVER, CO, 80204	75 75 110 80 - 80 80 110 (WEST AREA) 65 (EAST AREA) 90 110 (WEST AREA)	- - - - 20 - - - -
B-14 B-15 B-16 B-17 B-18 B-19 B-20 B-21 B-22 B-22 B-22 B-23 B-24 B-25 B-26	PRIVATE RESIDENCE AND OUT BUILDINGS TELEPHONE LINE OVERHEAD ELECTRIC WITH POWER POLES GAS LINE UNDERGROUND ELECTRIC WATERLINE FENCE FENCE CO STATE HIGHWAY 7 GAS LINE TELEPHONE LINE TUSCON STREET	BAKER, CITY OF AURORA KATHLEEN BLOOM CENTURY LINK UNITED POWER INC INC XCEL UNITED POWER INC INC TODD CREEK FARMS METROPOLITAN DIST. NO. 1 COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION XCEL CENTURY LINK ADAMS COUNTY	12500 E 160TH AVE, BRIGHTON, COLORADO, 80602 PO BOX 2560, OMAHA, NE, 68103 PO BOX 929, BRIGHTON, CO, 80602 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 929, BRIGHTON, CO, 80602 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401 2829 W. HOWARD PLACE, DENVER, CO, 80204 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 2560, OMAHA, NE, 68103 4430 S. ADAMS COUNTY PARKWAY, BRIGHTON, COLORADO, 80601	75 75 110 80 - 80 110 (WEST AREA) 65 (EAST AREA) 90 110 (WEST AREA) 65 (EAST AREA)	- - - - 20 - - - -
B-14 B-15 B-16 B-17 B-18 B-19 B-20 B-21 B-22 B-22 B-23 B-23 B-24 B-25 B-26 B-27	PRIVATE RESIDENCE AND OUT BUILDINGS TELEPHONE LINE OVERHEAD ELECTRIC WITH POWER POLES GAS LINE UNDERGROUND ELECTRIC WATERLINE FENCE FENCE CO STATE HIGHWAY 7 GAS LINE TELEPHONE LINE TUSCON STREET GAS LINE	BAKER, CITY OF AURORA KATHLEEN BLOOM CENTURY LINK UNITED POWER INC INC XCEL UNITED POWER INC INC TODD CREEK FARMS METROPOLITAN DIST. NO. 1 COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION XCEL CENTURY LINK ADAMS COUNTY XCEL	12500 E 160TH AVE, BRIGHTON, COLORADO, 80602 PO BOX 2560, OMAHA, NE, 68103 PO BOX 929, BRIGHTON, CO, 80602 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 929, BRIGHTON, CO, 80602 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401 2829 W. HOWARD PLACE, DENVER, CO, 80204 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 2560, OMAHA, NE, 68103 4430 S. ADAMS COUNTY PARKWAY, BRIGHTON, COLORADO, 80601 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401	75 75 110 80 - 80 80 110 110 (WEST AREA) 65 (EAST AREA) 90 110 (WEST AREA) 65 (EAST AREA) 90	- - - 20 - - - - - - - - - - - - - - -
B-14 B-15 B-16 B-17 B-18 B-19 B-20 B-21 B-22 B-22 B-23 B-24 B-25 B-26 B-27 B-28	PRIVATE RESIDENCE AND OUT BUILDINGS TELEPHONE LINE OVERHEAD ELECTRIC WITH POWER POLES GAS LINE UNDERGROUND ELECTRIC WATERLINE FENCE FENCE CO STATE HIGHWAY 7 GAS LINE TELEPHONE LINE TUSCON STREET GAS LINE WATERLINE OVERHEAD ELECTRIC WITH POWER POLES	BAKER, CITY OF AURORA KATHLEEN BLOOM CENTURY LINK UNITED POWER INC INC XCEL UNITED POWER INC INC TODD CREEK FARMS METROPOLITAN DIST. NO. 1 COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION XCEL CENTURY LINK ADAMS COUNTY XCEL TODD CREEK FARMS METROPOLITAN DIST. NO. 1 UNITED POWER INC	12500 E 160TH AVE, BRIGHTON, COLORADO, 80602 PO BOX 2560, OMAHA, NE, 68103 PO BOX 929, BRIGHTON, CO, 80602 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 929, BRIGHTON, CO, 80602 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401 2829 W. HOWARD PLACE, DENVER, CO, 80204 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 2560, OMAHA, NE, 68103 4430 S. ADAMS COUNTY PARKWAY, BRIGHTON, COLORADO, 80601 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401 PO BOX 929, BRIGHTON, CO, 80602	75 75 110 80 - 80 80 110 (WEST AREA) 65 (EAST AREA) 90 110 (WEST AREA) 90 175 110 110 (WEST AREA)	- - - 20 - - - - - - - - - - - 20
B-14 B-15 B-16 B-17 B-18 B-19 B-20 B-21 B-22 B-22 B-23 B-24 B-25 B-26 B-27 B-28 B-29	PRIVATE RESIDENCE AND OUT BUILDINGS TELEPHONE LINE OVERHEAD ELECTRIC WITH POWER POLES GAS LINE UNDERGROUND ELECTRIC WATERLINE FENCE FENCE CO STATE HIGHWAY 7 GAS LINE TELEPHONE LINE TUSCON STREET GAS LINE WATERLINE OVERHEAD ELECTRIC WITH POWER POLES FENCE	BAKER, CITY OF AURORA KATHLEEN BLOOM CENTURY LINK UNITED POWER INC INC XCEL UNITED POWER INC INC TODD CREEK FARMS METROPOLITAN DIST. NO. 1 COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION XCEL CENTURY LINK ADAMS COUNTY XCEL TODD CREEK FARMS METROPOLITAN DIST. NO. 1 UNITED POWER INC AGGREGATE INDUSTRIES WCR, INC.	12500 E 160TH AVE, BRIGHTON, COLORADO, 80602 PO BOX 2560, OMAHA, NE, 68103 PO BOX 929, BRIGHTON, CO, 80602 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 929, BRIGHTON, CO, 80602 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401 2829 W. HOWARD PLACE, DENVER, CO, 80204 2414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 2560, OMAHA, NE, 68103 4430 S. ADAMS COUNTY PARKWAY, BRIGHTON, COLORADO, 80601 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401 PO BOX 929, BRIGHTON, CO, 80602 1687 COLE BLVD, SUITE 300. GOLDEN, COLORADO. 80401	75 75 110 80 - 80 80 110 (WEST AREA) 65 (EAST AREA) 90 110 (WEST AREA) 90 110 (WEST AREA) 90 175 175 110 110 (WEST AREA) 65 (EAST AREA)	- - - 20 - - - - - - - - - - 20 - - - -
B-14 B-15 B-16 B-17 B-18 B-19 B-20 B-21 B-22 B-23 B-24 B-25 B-26 B-27 B-28 B-29 B-30	PRIVATE RESIDENCE AND OUT BUILDINGS TELEPHONE LINE OVERHEAD ELECTRIC WITH POWER POLES GAS LINE UNDERGROUND ELECTRIC WATERLINE FENCE FENCE CO STATE HIGHWAY 7 GAS LINE TELEPHONE LINE TUSCON STREET GAS LINE WATERLINE OVERHEAD ELECTRIC WITH POWER POLES	BAKER, CITY OF AURORA KATHLEEN BLOOM CENTURY LINK UNITED POWER INC INC XCEL UNITED POWER INC INC TODD CREEK FARMS METROPOLITAN DIST. NO. 1 COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION XCEL CENTURY LINK ADAMS COUNTY XCEL TODD CREEK FARMS METROPOLITAN DIST. NO. 1 UNITED POWER INC	12500 E 160TH AVE, BRIGHTON, COLORADO, 80602 PO BOX 2560, OMAHA, NE, 68103 PO BOX 929, BRIGHTON, CO, 80602 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 929, BRIGHTON, CO, 80602 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401 2829 W. HOWARD PLACE, DENVER, CO, 80204 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 2560, OMAHA, NE, 68103 4430 S. ADAMS COUNTY PARKWAY, BRIGHTON, COLORADO, 80601 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401 PO BOX 929, BRIGHTON, CO, 80602	75 75 110 80 - 80 80 110 (WEST AREA) 65 (EAST AREA) 90 110 (WEST AREA) 90 175 110 110 (WEST AREA)	- - - 20 - - - - - - - - - - - 20
B-14 B-15 B-16 B-17 B-18 B-19 B-20 B-21 B-22 B-23 B-24 B-25 B-24 B-25 B-26 B-27 B-28 B-29 B-30 B-31	PRIVATE RESIDENCE AND OUT BUILDINGS TELEPHONE LINE OVERHEAD ELECTRIC WITH POWER POLES GAS LINE UNDERGROUND ELECTRIC WATERLINE FENCE FENCE CO STATE HIGHWAY 7 GAS LINE TELEPHONE LINE TUSCON STREET GAS LINE WATERLINE OVERHEAD ELECTRIC WITH POWER POLES FENCE	BAKER, CITY OF AURORA KATHLEEN BLOOM CENTURY LINK UNITED POWER INC INC XCEL UNITED POWER INC INC TODD CREEK FARMS METROPOLITAN DIST. NO. 1 COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION XCEL CENTURY LINK ADAMS COUNTY XCEL TODD CREEK FARMS METROPOLITAN DIST. NO. 1 UNITED POWER INC AGGREGATE INDUSTRIES WCR, INC.	12500 E 160TH AVE, BRIGHTON, COLORADO, 80602 PO BOX 2560, OMAHA, NE, 68103 PO BOX 929, BRIGHTON, CO, 80602 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 929, BRIGHTON, CO, 80602 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401 2829 W. HOWARD PLACE, DENVER, CO, 80204 2414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 2560, OMAHA, NE, 68103 4430 S. ADAMS COUNTY PARKWAY, BRIGHTON, COLORADO, 80601 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401 PO BOX 929, BRIGHTON, CO, 80602 1687 COLE BLVD, SUITE 300. GOLDEN, COLORADO. 80401	75 75 110 80 - 80 80 110 (WEST AREA) 65 (EAST AREA) 90 110 (WEST AREA) 65 (EAST AREA) 90 175 110 110 (WEST AREA) 65 (EAST AREA) 65 (EAST AREA) 65 (EAST AREA)	- - - 20 - - - - - - - - - - 20 - - - -
B-14 B-15 B-16 B-17 B-18 B-19 B-20 B-21 B-22 B-23 B-24 B-25 B-24 B-25 B-26 B-27 B-28 B-29 B-30 B-31 B-32	PRIVATE RESIDENCE AND OUT BUILDINGS TELEPHONE LINE OVERHEAD ELECTRIC WITH POWER POLES GAS LINE UNDERGROUND ELECTRIC WATERLINE FENCE FENCE CO STATE HIGHWAY 7 GAS LINE TELEPHONE UNE TUSCON STREET GAS LINE WATERLINE OVERHEAD ELECTRIC WITH POWER POLES FENCE FENCE FENCE	BAKER, CITY OF AURORA KATHLEEN BLOOM CENTURY LINK UNITED POWER INC INC XCEL UNITED POWER INC INC TODD CREEK FARMS METROPOLITAN DIST. NO. 1 COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION XCEL CENTURY LINK ADAMS COUNTY XCEL TODD CREEK FARMS METROPOLITAN DIST. NO. 1 UNITED POWER INC AGGREGATE INDUSTRIES WCR, INC. CITY OF AURORA	12500 E 160TH AVE, BRIGHTON, COLORADO, 80602 PO BOX 2560, OMAHA, NE, 68103 PO BOX 929, BRIGHTON, CO, 80602 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 929, BRIGHTON, CO, 80602 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401 2829 W. HOWARD PLACE, DENVER, CO, 80204 2430 S. ADAMS COUNTY PARKWAY, BRIGHTON, COLORADO, 80601 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 2560, OMAHA, NE, 68103 4430 S. ADAMS COUNTY PARKWAY, BRIGHTON, COLORADO, 80601 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401 PO BOX 929, BRIGHTON, CO, 80602 1687 COLE BLVD, SUITE 300. GOLDEN, COLORADO, 80401 15151 EAST ALAMEDA PARKWAY, SUITE 3600, AURORA, COLORADO, 80012	75 75 110 80 - 80 80 110 (WEST AREA) 65 (EAST AREA) 90 110 (WEST AREA) 90 175 110 110 (WEST AREA) 65 (EAST AREA) 65 (EAST AREA) 65 (EAST AREA) 10 (WEST AREA) 65 110 (WEST AREA)	- - - 20 - - - - - - - - - - 20 - - - -
B-14 B-15 B-16 B-17 B-18 B-19 B-20 B-21 B-22 B-23 B-24 B-25 B-26 B-27 B-28 B-29 B-30 B-31 B-32	PRIVATE RESIDENCE AND OUT BUILDINGS TELEPHONE LINE OVERHEAD ELECTRIC WITH POWER POLES GAS LINE UNDERGROUND ELECTRIC WATERLINE FENCE FENCE CO STATE HIGHWAY 7 GAS LINE TUSCON STREET GAS LINE TUSCON STREET GAS LINE WATERLINE OVERHEAD ELECTRIC WITH POWER POLES FENCE FENCE FENCE FENCE TELEPHONE LINE	BAKER, CITY OF AURORA KATHLEEN BLOOM CENTURY LINK UNITED POWER INC INC XCEL UNITED POWER INC INC TODD CREEK FARMS METROPOLITAN DIST. NO. 1 COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION XCEL CENTURY LINK ADAMS COUNTY XCEL TODD CREEK FARMS METROPOLITAN DIST. NO. 1 UNITED POWER INC AGGREGATE INDUSTRIES WCR, INC. CITY OF AURORA CENTURY LINK	12500 E 160TH AVE, BRIGHTON, COLORADO, 80602 PO BOX 2560, OMAHA, NE, 68103 PO BOX 929, BRIGHTON, CO, 80602 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 929, BRIGHTON, CO, 80602 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401 2829 W. HOWARD PLACE, DENVER, CO, 80204 2430 S. ADAMS COUNTY PARKWAY, BRIGHTON, COLORADO, 80601 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 2560, OMAHA, NE, 68103 4430 S. ADAMS COUNTY PARKWAY, BRIGHTON, COLORADO, 80601 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401 PO BOX 929, BRIGHTON, CO, 80602 1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401 15151 EAST ALAMEDA PARKWAY, SUITE 3600, AURORA, COLORADO, 80012 PO BOX 2560, OMAHA, NE, 68103	75 75 110 80 - 80 80 110 (WEST AREA) 65 (EAST AREA) 90 110 (WEST AREA) 90 175 110 110 (WEST AREA) 65 (EAST AREA) 65 110 (WEST AREA) 65 110 (WEST AREA) 65	- - - 20 - - - - - - - - - - 20 - - - -
B-14 B-15 B-16 B-17 B-18 B-19 B-20 B-21 B-22 B-23 B-24 B-25 B-26 B-27 B-28 B-30 B-31 B-32 B-33 B-34	PRIVATE RESIDENCE AND OUT BUILDINGS TELEPHONE LINE OVERHEAD ELECTRIC WITH POWER POLES GAS LINE UNDERGROUND ELECTRIC WATERLINE FENCE FENCE CO STATE HIGHWAY 7 GAS LINE TUSCON STREET GAS LINE TUSCON STREET GAS LINE WATERLINE OVERHEAD ELECTRIC WITH POWER POLES FENCE FENCE FENCE FENCE TELEPHONE LINE OVERHEAD ELECTRIC WITH POWER POLES	BAKER, CITY OF AURORA KATHLEEN BLOOM CENTURY LINK UNITED POWER INC INC XCEL UNITED POWER INC INC TODD CREEK FARMS METROPOLITAN DIST. NO. 1 COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION XCEL CENTURY LINK ADAMS COUNTY XCEL TODD CREEK FARMS METROPOLITAN DIST. NO. 1 UNITED POWER INC AGGREGATE INDUSTRIES WCR, INC. CITY OF AURORA CENTURY LINK UNITED POWER INC	12500 E 160TH AVE, BRIGHTON, COLORADO, 80602 PO BOX 2560, OMAHA, NE, 68103 PO BOX 929, BRIGHTON, CO, 80602 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 929, BRIGHTON, CO, 80602 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401 2829 W. HOWARD PLACE, DENVER, CO, 80204 2829 W. HOWARD PLACE, BENVER, CO, 80204 2829 W. HOWARD PLACE, DENVER, CO, 80204 2829 W. HOWARD PLACE, BENVER, CO, 80204 2829 W. HOWARD PLACE, DENVER, CO, 80204 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401 PO BOX 929, BRIGHTON, CO, 80602 1687 COLE BLVD, SUITE 300. GOLDEN, COLORADO. 80401 15151 EAST ALAMEDA PARKWAY, SUITE 3600, AURORA, COLORADO. 80012 PO BOX 2560, OMAHA, NE, 68103 PO BOX 929, BRIGHTON, CO, 80602	75 75 110 80 - 80 80 110 (WEST AREA) 65 (EAST AREA) 90 110 (WEST AREA) 65 (EAST AREA) 90 175 110 110 (WEST AREA) 65 5110 (WEST AREA) 65 110 (WEST AREA) 65 110 (WEST AREA) 65	- - - 20 - - - - - - - - - - - - - - - -
B-14 B-15 B-16 B-17 B-18 B-19 B-20 B-21 B-22 B-23 B-24 B-25 B-26 B-27 B-28 B-29 B-30 B-31 B-32 B-33 B-34	PRIVATE RESIDENCE AND OUT BUILDINGS TELEPHONE LINE OVERHEAD ELECTRIC WITH POWER POLES GAS LINE UNDERGROUND ELECTRIC WATERLINE FENCE FENCE CO STATE HIGHWAY 7 GAS LINE TUSCON STREET GAS LINE WATERLINE OVERHEAD ELECTRIC WITH POWER POLES FENCE FENCE FENCE FENCE TELEPHONE LINE OVERHEAD ELECTRIC WITH POWER POLES OVERHEAD ELECTRIC WITH POWER POLES OVERHEAD ELECTRIC WITH POWER POLES	BAKER, CITY OF AURORA KATHLEEN BLOOM CENTURY LINK UNITED POWER INC INC XCEL UNITED POWER INC INC TODD CREEK FARMS METROPOLITAN DIST. NO. 1 COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION COLORADO DEPARTMENT OF TRANSPORTATION XCEL CENTURY LINK ADAMS COUNTY XCEL TODD CREEK FARMS METROPOLITAN DIST. NO. 1 UNITED POWER INC AGGREGATE INDUSTRIES WCR, INC. CITY OF AURORA CENTURY LINK UNITED POWER INC UNITED POWER INC	12500 E 160TH AVE, BRIGHTON, COLORADO, 80602 PO BOX 2560, OMAHA, NE, 68103 PO BOX 929, BRIGHTON, CO, 80602 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 929, BRIGHTON, CO, 80602 7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401 2829 W. HOWARD PLACE, DENVER, CO, 80204 2829 W. HOWARD PLACE, BENVER, CO, 80204 2829 W. HOWARD PLACE, DENVER, CO, 80204 2829 W. HOWARD PLACE, BENVER, CO, 80204 414 NICOLLET MALL, MINNEAPOLIS, MN, 55401 PO BOX 2560, OMAHA, NE, 68103 PO BOX 929, BRIGHTON, CO, 80602 1687 COLE BLVD, SUITE 300. GOLDEN, COLORADO. 80401 15151 EAST ALAMEDA PARKWAY, SUITE 3600, AURORA, COLORADO. 80012 PO BOX 929, BRIGHTON, CO, 80602 PO BOX 929, BRIGHTON, CO, 80602 PO BOX 929, BRIGHTON, CO, 80602	75 75 110 80 - 80 80 110 (WEST AREA) 65 (EAST AREA) 90 110 (WEST AREA) 65 (EAST AREA) 90 175 110 110 (WEST AREA) 65 5110 (WEST AREA) 65 110 (WEST AREA) 65 110 (WEST AREA) 90 110 (WEST AREA) 90	- - - 20 - - - - - - - - - - - - - - - -



LEGEND:		
	MINE PERMIT BOUNDARY TRACT BOUNDARY EASEMENT EFFECTIVE FLOODWAY EFFECTIVE ZONE AE EFFECTIVE ZONE X PRE-PROJECT/MINING CONDITIONS 100-YR FLOODPLAIN	
	EXISTING WETLAND BOUNDARY EXISTING EDGE OF WATER	₩₩-1 ₩₩-10
	EXISTING 2' CONTOURS	
EEE	EXISTING EDGE OF ROAD EXISTING ELECTRIC LINE	•
OE	EXISTING OVERHEAD ELECTRIC LINE	
G W CT	EXISTING GAS LINE EXISTING WATER LINE EXISTING TELEPHONE LINE	

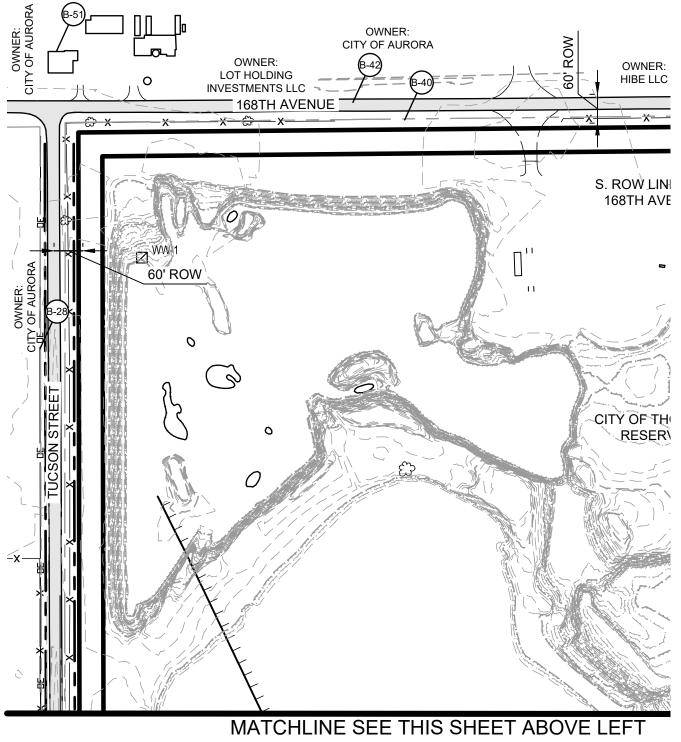
5

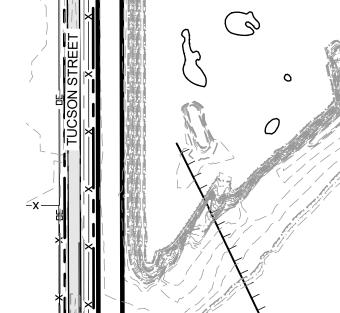
STRUCTURE LIST

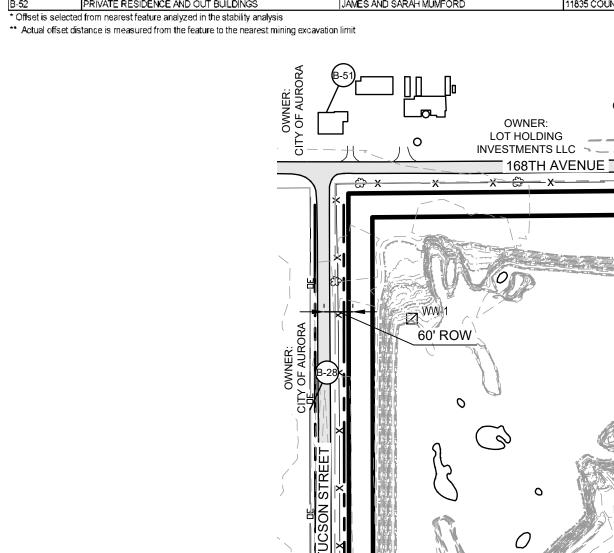
100' 200'

SCALE: 1" = 200'

UIROUIGNEU				RECOMMENT OFFSET PER STABILITY
STRUCTURE ID	STRUCTURE DESCRIPTION	OWNER	ADDRESS	ANALYSIS (FT
A-12	WW-12	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	•
A-13	WW-13	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	•
A-14	WW-14	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-
A-15	WW-15	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	
A-16	WW-63	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	•
A-17	WW-18	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	
A-18	PRIVATE RESIDENCE	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-
	TO BE PROTECTED			
		OWNER	ADDDECC	•
	STRUCTURE DESCRIPTION	OWNER	ADDRESS	
B-21	FENCE	COLORADO DEPARTMENT OF TRANSPORTATION	2829 W. HOWARD PLACE, DENVER, CO, 80204	105
B-22	CO STATE HIGHWAY 7	COLORADO DEPARTMENT OF TRANSPORTATION	2829 W. HOWARD PLACE, DENVER, CO, 80204	105
				110 (WEST A
B-23	GAS LINE	XCEL	414 NICOLLET MALL, MINNEAPOLIS, MN, 55401	65 (EAST AF
B-24	TELEPHONE LINE	CENTURY LINK	PO BOX 2560, OMAHA, NE, 68103	65
				110 (WEST A
B-25	TUCSON STREET		4430 S. ADAMS COUNTY PARKWAY, BRIGHTON, COLORADO, 80601	65 (EAST AF
B-26	GAS LINE	XCEL	414 NICOLLET MALL, MINNEAPOLIS, MN, 55401	105
B-27	WATERLINE	TODD CREEK FARMS METROPOLITAN DIST. NO. 1	7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401	175
B-28	OVERHEAD ELECTRIC WITH POWER POLES		PO BOX 929, BRIGHTON, CO, 80602	110
D 000				110 (WEST A
B-29	FENCE	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	65 (EAST AF
B-30	FENCE		15151 EAST ALAMEDA PARKWAY, SUITE 3600, AURORA, COLORADO, 80012	65
B-31	TELEPHONE LINE	CENTURY LINK	PO BOX 2560, OMAHA, NE, 68103	110 (WEST A 65 (EAST AF
B-32	OVERHEAD ELECTRIC WITH POWER POLES	UNITED POWER INC	PO BOX 929, BRIGHTON, CO, 80602	90
B-33	OVERHEAD ELECTRIC WITH POWER POLES	UNITED POWER INC	PO BOX 929, BRIGHTON, CO, 80602	110
B-34	UNDERGROUND ELECTRIC	UNITED POWER INC	PO BOX 929, BRIGHTON, CO, 80602	1 10
B-35	FENCE	SAN MARTIN CABALLERO, LLC	13110 E 160TH AVE, BRIGHTON, CO, 80601	-
B-36	RIVERBANK STABILIZATION	URBAN DRAINAGE AND FLOOD CONTROL DISTRICT	2480 W. 26TH AVE, SUITE 156B, DENVER, COLORADO, 80211	· .
B-37	RIVERBANK STABILIZATION	URBAN DRAINAGE AND FLOOD CONTROL DISTRICT	2480 W. 26TH AVE, SUITE 156B, DENVER, COLORADO, 80211	•
B-38	HIGHWAY 7 BRIDGE	COLORADO DEPARTMENT OF TRANSPORTATION	2829 W. HOWARD PLACE, DENVER, CO, 80204	-
B-39	THORNTON RESERVOIR	CITY OF THORNTON	9500 CMC DR. THORNTON CO 80229-4326	-
B-40	OVERHEAD ELECTRIC WITH POWER POLES		PO BOX 929, BRIGHTON, CO, 80602	-
B-41	OVERHEAD ELECTRIC WITH POWER POLES		PO BOX 929, BRIGHTON, CO, 80602	-
B-42	168TH STREET	ADAMS COUNTY	4430 S. ADAMS COUNTY PARKWAY, BRIGHTON, COLORADO, 80601	
B-42	WATERLINE, WELL, PUMP HOUSE & APPURTENANCES	TODD CREEK FARMS METROPOLITAN DIST. NO. 1	7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401	-•
B-44	GUARDRAIL	COLORADO DEPARTMENT OF TRANSPORTATION	2829 W. HOWARD PLACE, DENVER, CO. 80204	105
B-45	INTENTIONALLY NOT USED			-
B-46	UNDERGROUND ELECTRIC	TODD CREEK FARMS METROPOLITAN DIST. NO. 1	7550 EAST 152ND AVE. BRIGHTON, COLORADO, 80401	· · ·
B-40 B-47	PRIVATE RESIDENCE AND OUT BUILDINGS	FERNANDO DE LA CRUZ	16400 TUCSON STREET, BRIGHTON, COLORADO, 80401	· · ·
B-48	PRIVATE RESIDENCE AND OUT BUILDINGS	FERNANDO DE LA CRUZ FERNANDO ARMANDO DE LA CRUZ BRECEDA	16400 TUCSON STREET, BRIGHTON, CO, 80601	
	OIL AN D GAS FACILITY	GREAT WESTERN OPERATING COMPANY, LLC		
		JOREAL WESTERN OPERATING COMPANY, LLC		
B-49		ACODECATE INDUCTORS WOOD INC		
B-50 B-51	ACCESS ROAD PRIVATE RESIDENCE AND OUT BUILDINGS	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN. COLORADO, 80401 11585 COUNTY ROAD 2, BRIGHTON, CO, 80603	







EXISTING ASPHALT ROA

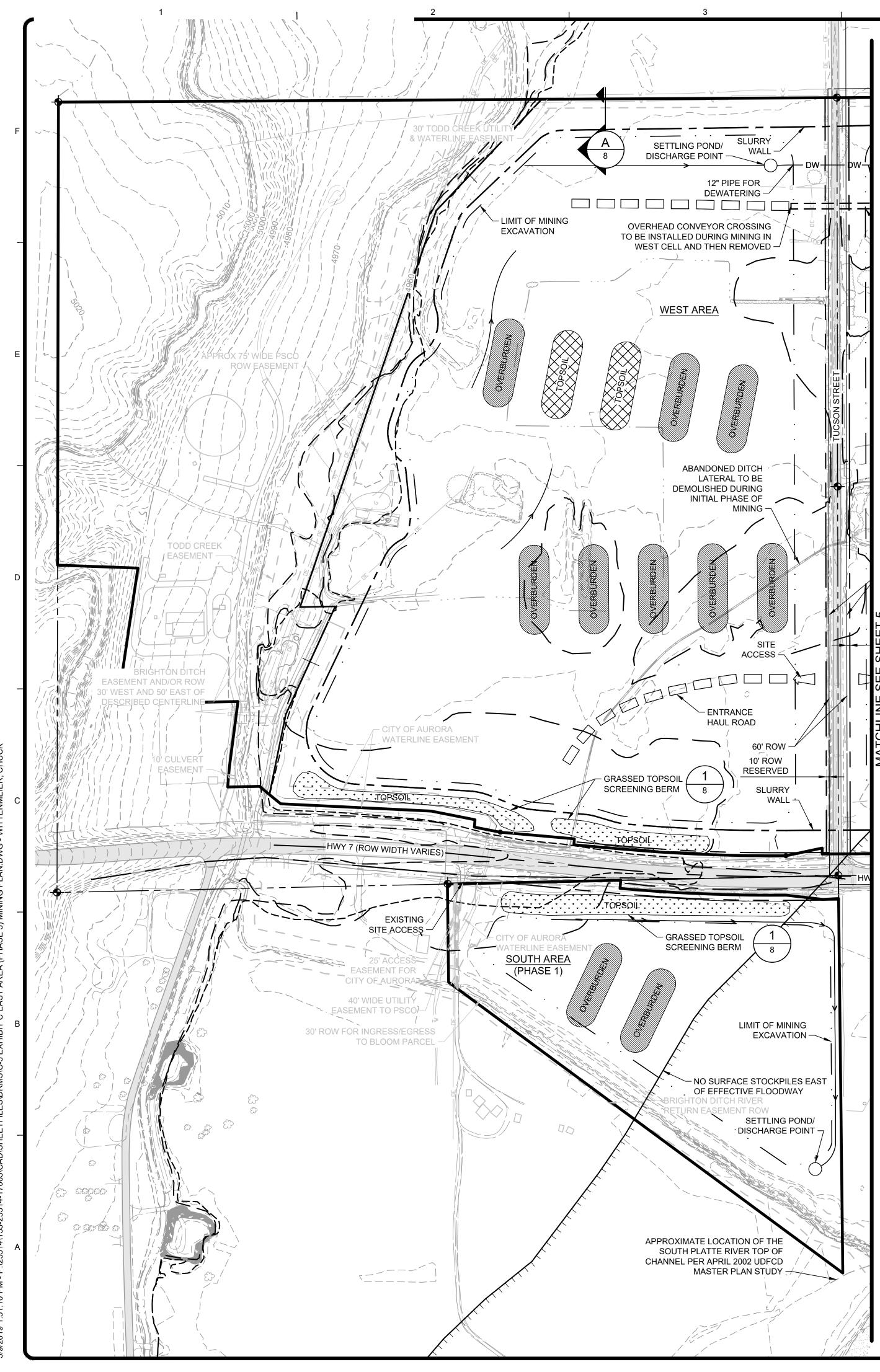
EXISTING SOUTH PLATT

UDFCD STABILIZATION

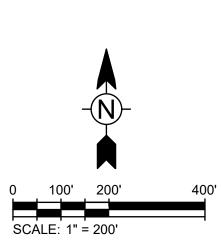
EXISTING WETLANDS

MONITORING WELL LOC WITH WELL ID # WATER WELL LOCATION WELL ID # EXISTING TREES UTILITY POLE

SECTION CORNER MON



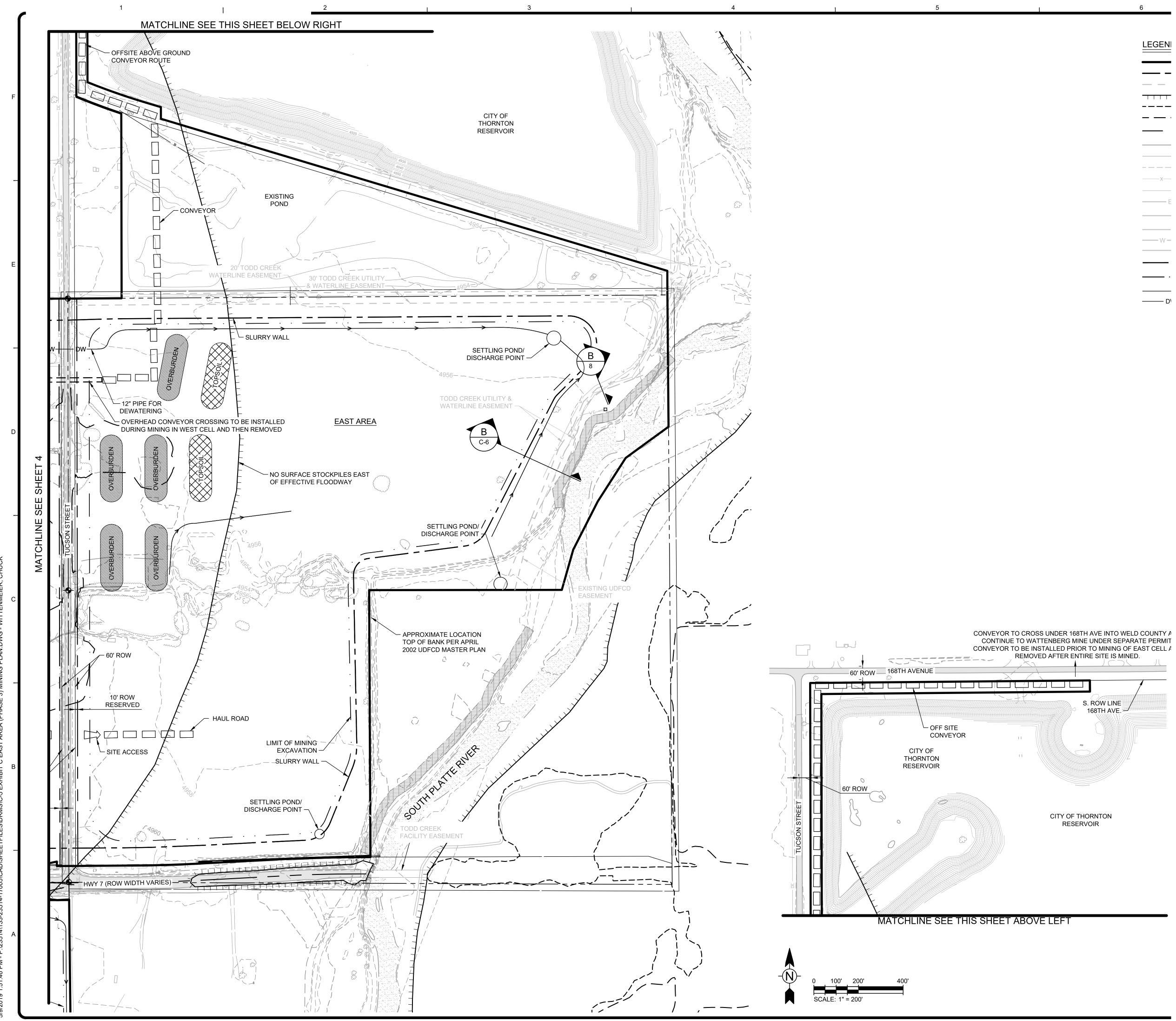
^{19/2019} 1:51:10 PM - P:\23514\133-23514-17005\CAD\SHEETFILES\DRMS\C-5 EXHIBIT C EAST AREA (PHASE 3) MINING PLAN.DWG - WITTENMEIER, CHUC



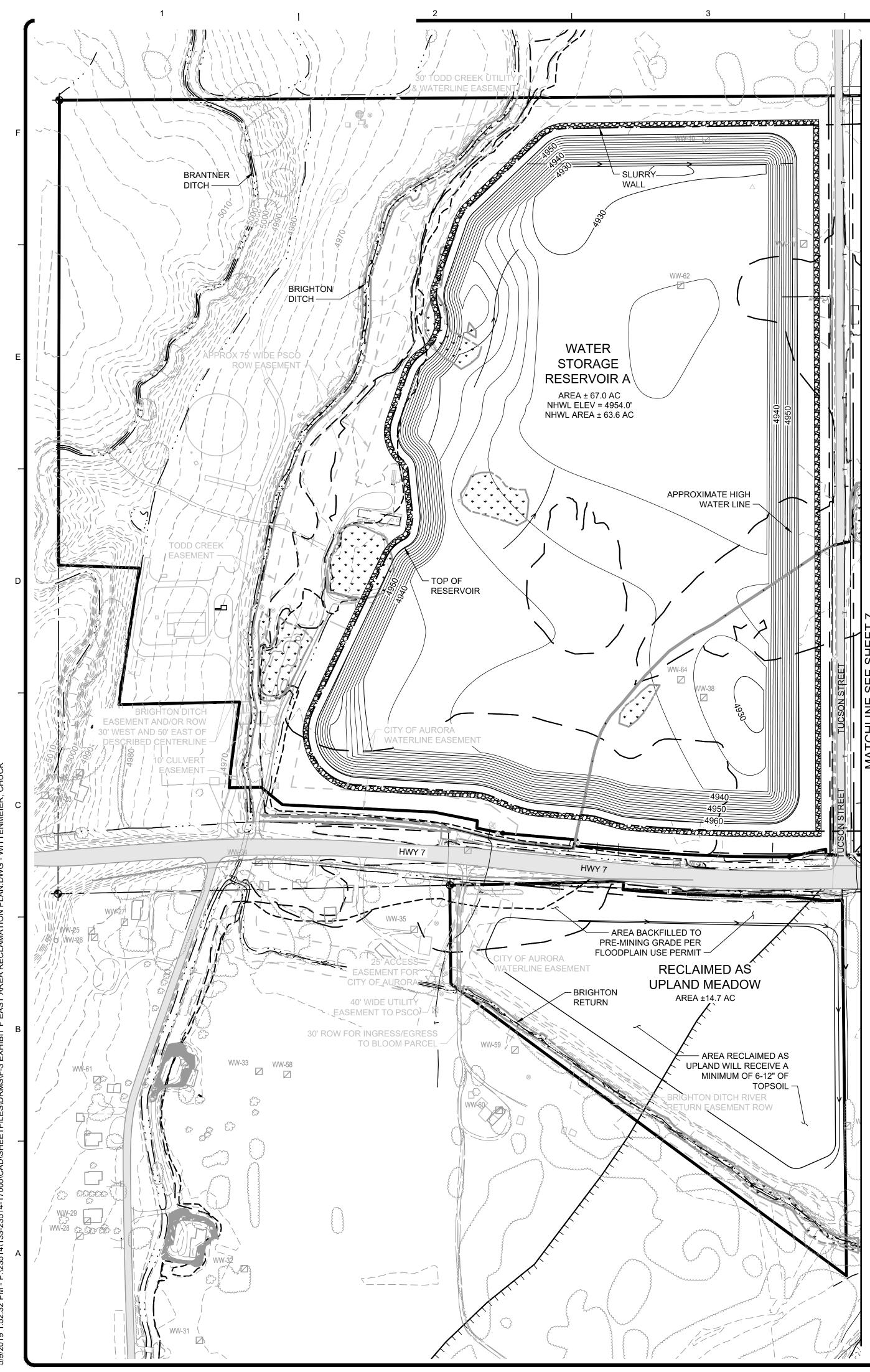
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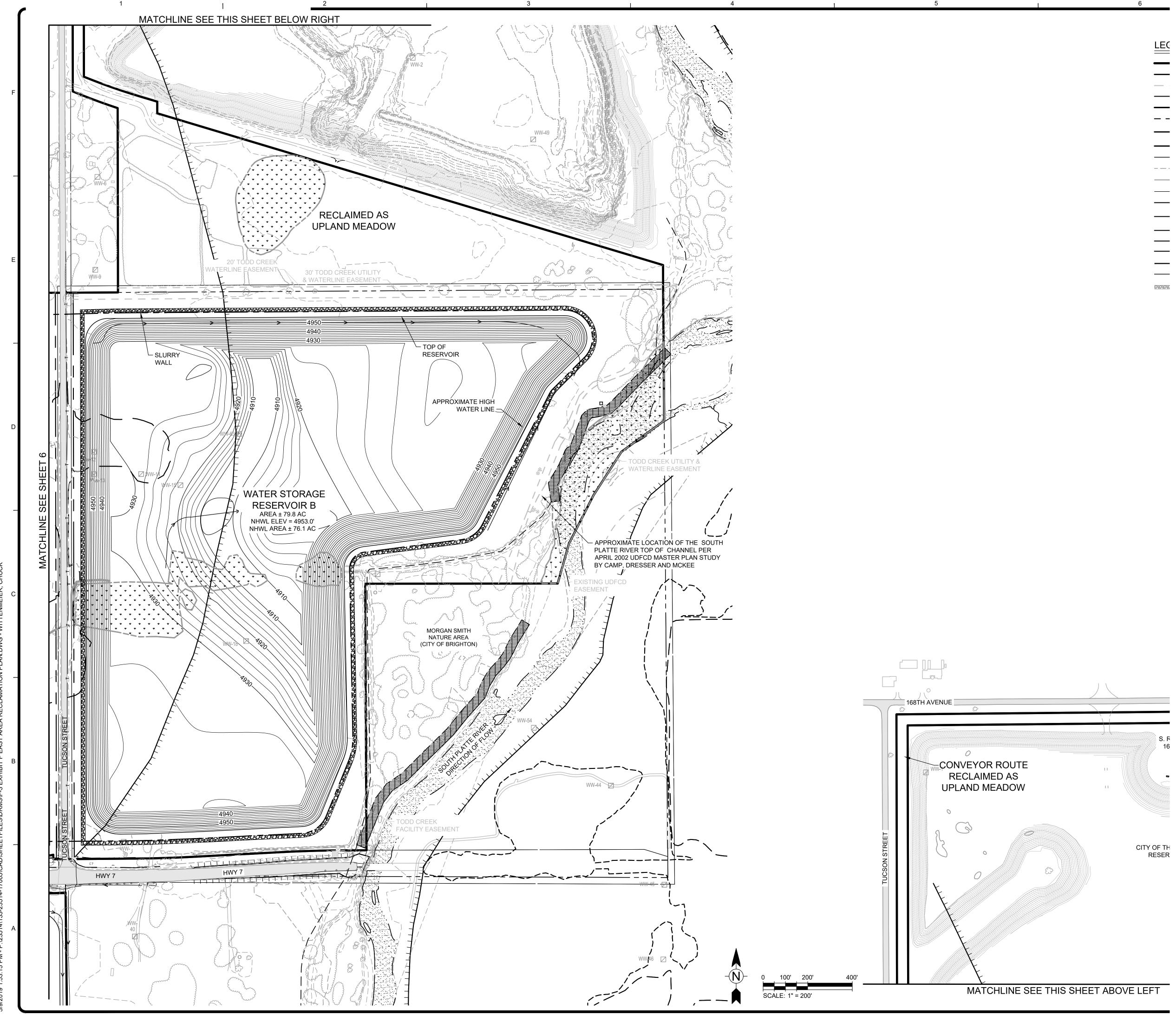
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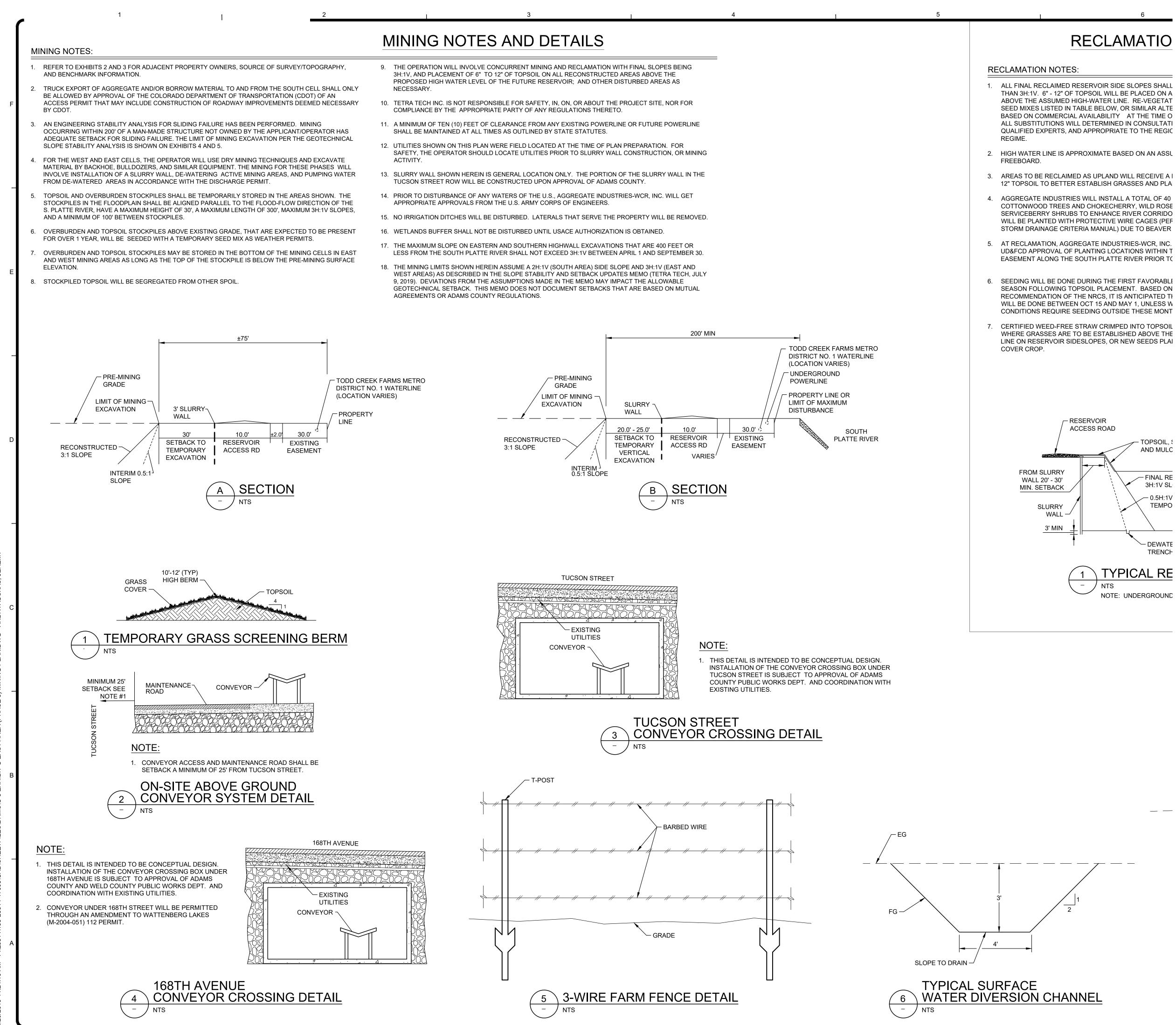


3/2019 1:52:32 PM - P:\23514\133-23514-17005\CAD\SHEETFILES\DRMS\F-3 EXHIBIT F EAST AREA RECLAMATION PLAN.DWG - WITTENMEIER, CHU

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0 100' 200' 400' SCALE: 1" = 200' 6





Aggregate Industries – WCR, Inc. Tucson South Resource Brighton, CO 80601

Mosquito Control Plan

The Plant Manager is responsible for taking the following actions listed below to reduce the potential of mosquito infestation at sand and gravel facilities. Funding for mosquito control shall be made available by Aggregate Industries. Areas shall be inspected on a monthly basis starting the first week of April through September, every year. Initial training on identifying mosquito habitat and mosquito larvae is recommended. Contact Tri County Health Department for site specific training (phone 303-288-6816).

General Site Activities:

- 1. Remove items that could collect water such as old tires, cups, and buckets
- 2. Cover containers or turn upside down so they do not hold water
- 3. Cover chain link fence posts with metal or plastic caps since they are hollow pipes
- 4. Fix leaks around faucets, air conditioner units and hoses
- 5. Keep dumpsters covered, and remove any water inside and under dumpsters
- 6. Examine machinery and clean any areas that hold water
- 7. Unused pipes should be kept inside or turned over so that no water accumulates
- 8. Keep rain gutters clear of debris, which can become breeding areas of standing water
- 9. Remove/mow weeds around areas close to water
- 10. Store wheelbarrow vertically or tuned over to prevent water accumulation
- 11. Maintain Best Management Practices (BMPs) as identified in the Stormwater Management Plan. Some specific areas of maintenance to BMPs include, but are not limited to:
 - a. Ensure erosion check dams and stormwater drainage channels are free from debris and cleaned as needed. If stagnant water is visible in structures, immediate action must be taken to create flow of water or prohibit mosquito breeding areas.
 - b. Detention and retention ponds, as well as constructed wetlands shall be inspected to ensure water does not become stagnant and promote mosquito breeding activity.
 - c. Process water discharge points will remain active during groundwater dewatering activities. Discharge points will be kept clean of material/debris which could promote the breeding of mosquitoes. Process water will be discharged in accordance with the National Pollutant Discharge Elimination System (NPDES) permit.

Due to the nature of sand and gravel mining, standing water along slurry wall construction and roadways are sometimes unavoidable. Areas of standing and/or stagnant water will be treated as follows:

Standing Water/Pond Treatment

1. Stock - ponds, wetlands, and other areas of standing water, with mosquito eating fish or bacteria products that eat mosquito larvae. Follow instructions for safe use and appropriate application rate.

Examples of products include:

Dunks – Dunks are donut shaped pellets that kill mosquito larvae but are nontoxic to animals. They dissolve slowly in water. Available in hardware and garden stores.

BTI (Vectobac) – A natural bacteria that kills mosquito and fly larvae yet is non-toxic to animals when used properly. Kills larvae developing in water and may be more appropriate for larger bodies of water. Available in hardware and garden stores. Vectobac Briquettes – comes 100 bricks to a case. The briquettes are a "donut" that can be used in water or areas where water is anticipated to rise. Each briquette treats 100 square feet per season. Contact American Pride Coop in Brighton – 303-653-3643.

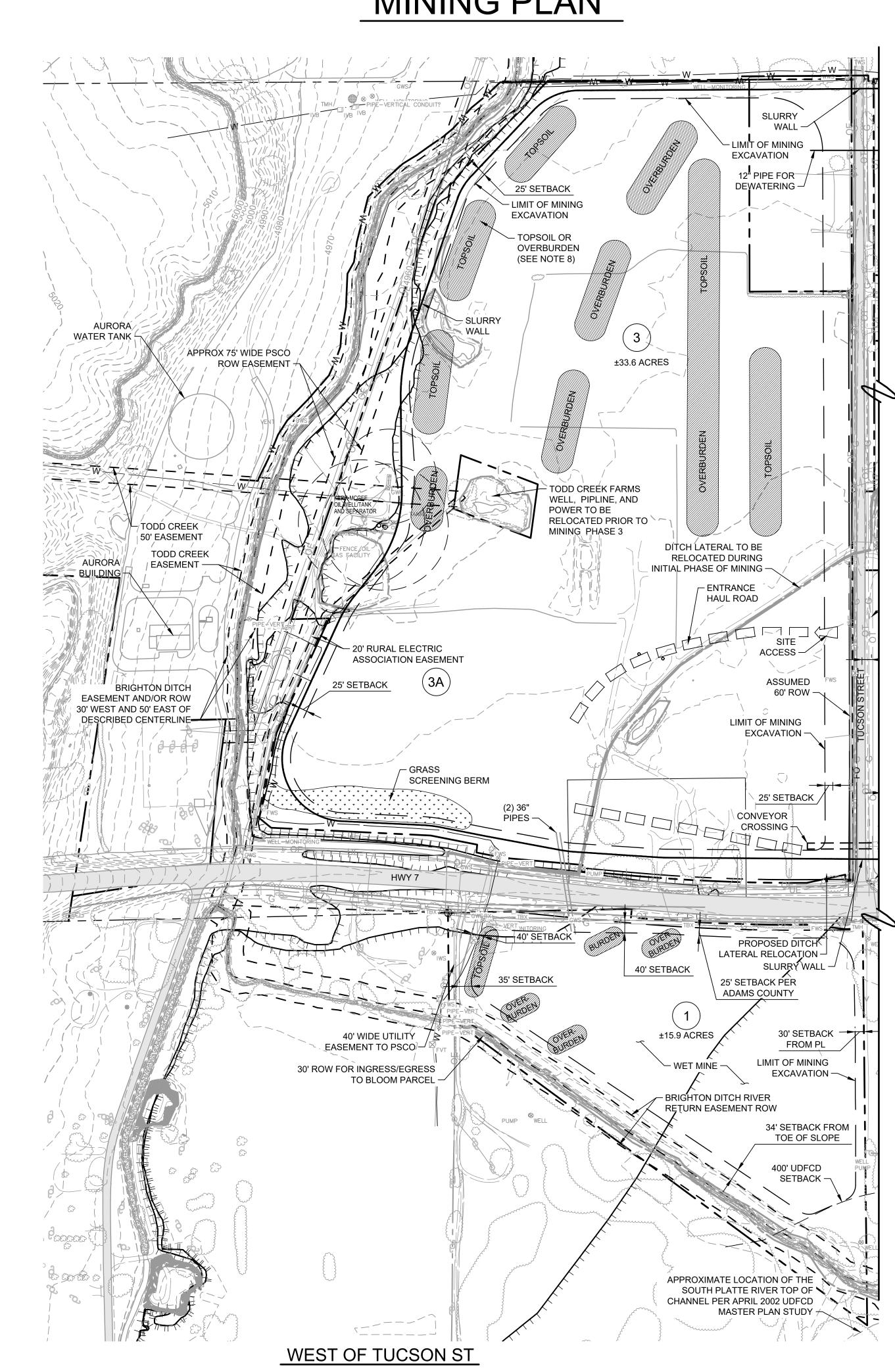
Bactimos – A natural bacteria, comes in granular form in 40 lb. bags. Contact American Pride Coop in Brighton – 303-659-3643.

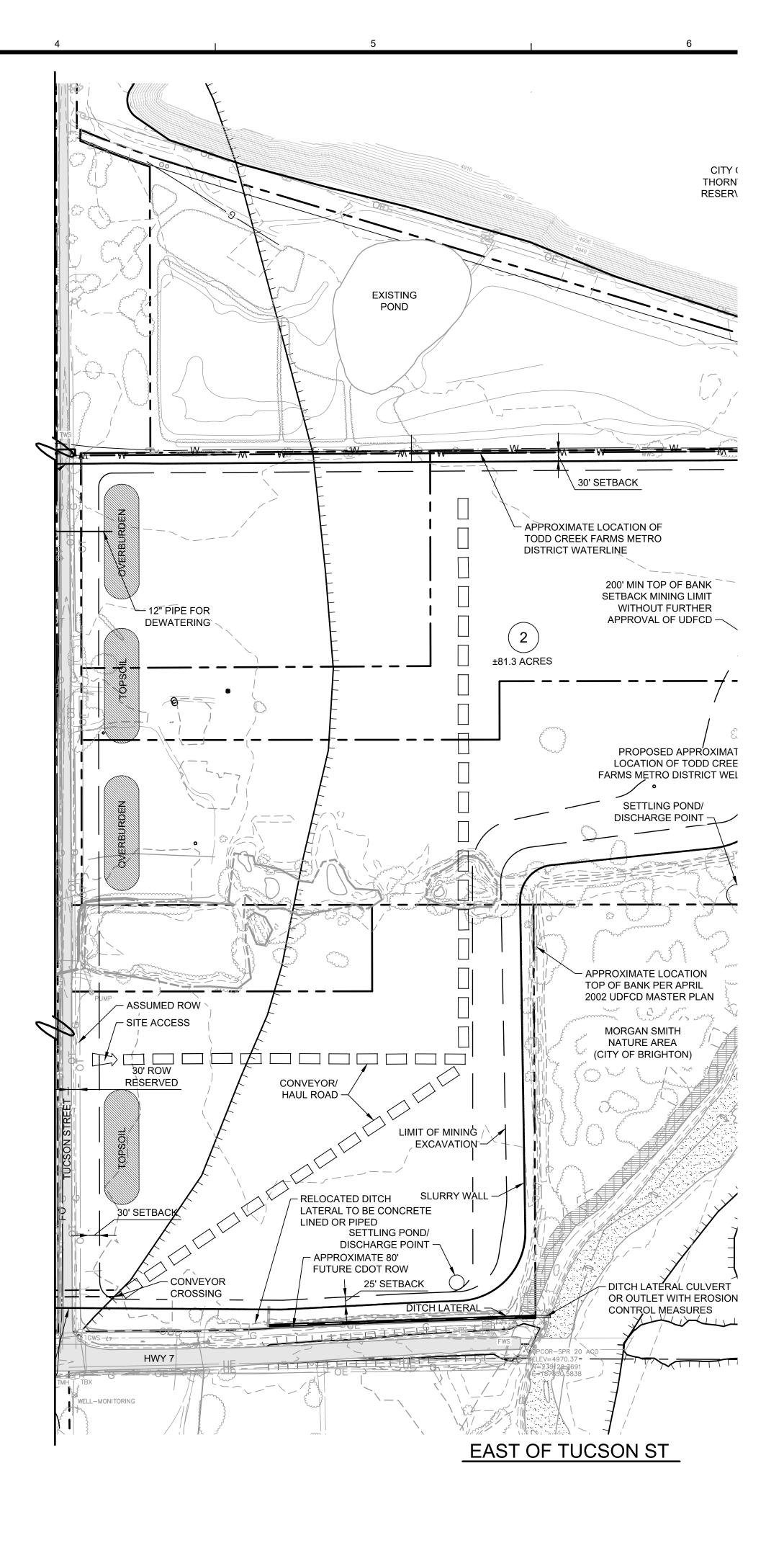
 If additional measures are required to control mosquitoes, Tri-County Health Department will be consulted for technical assistance (303-288-6816), or a licensed commercial control contractor will be contacted. Some contact names include, but are not limited to: Colorado Mosquito Control – 303-588-8730 Greystone Environmental - 303-850-0930

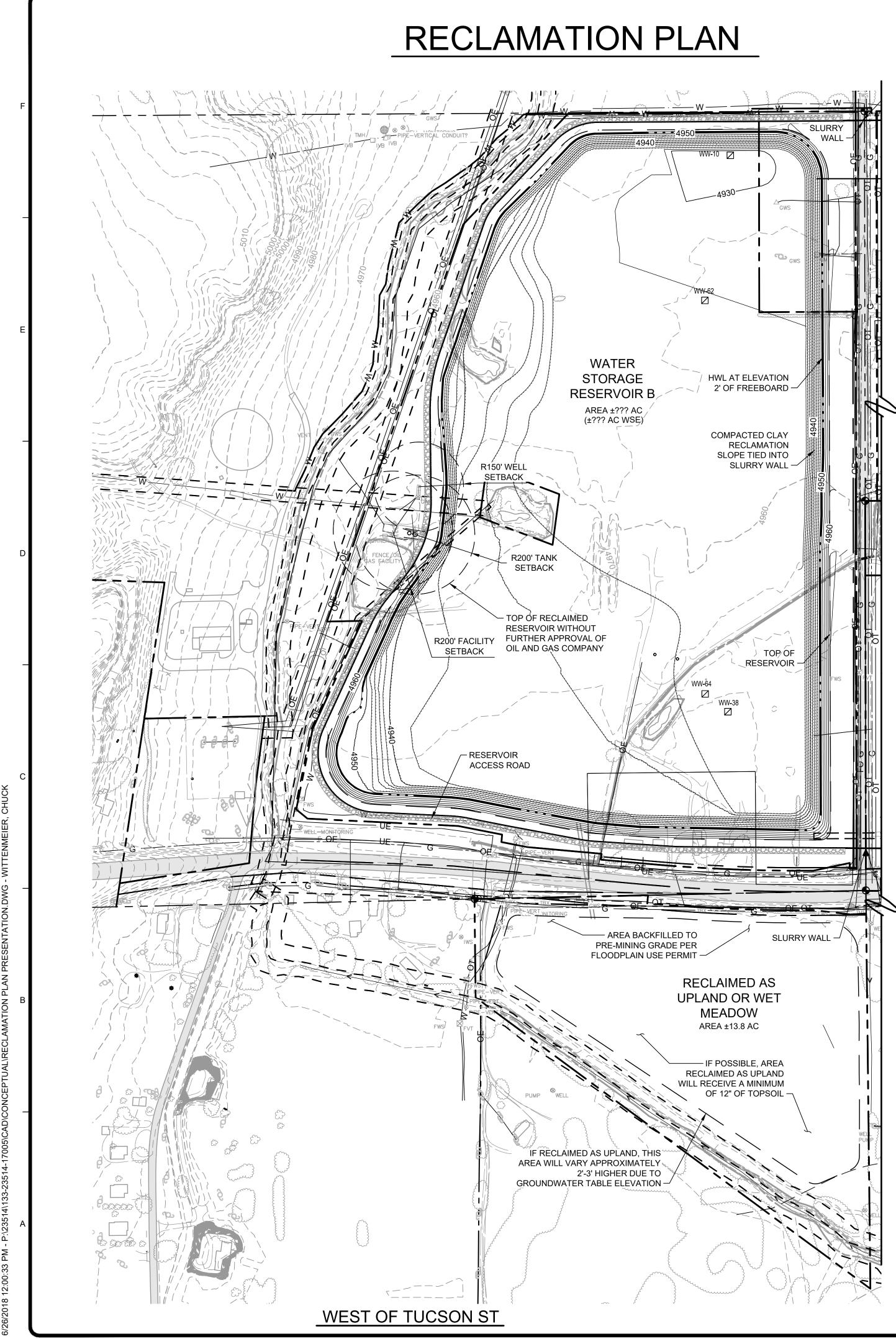
High Plains Pest Control - 303-659-0358

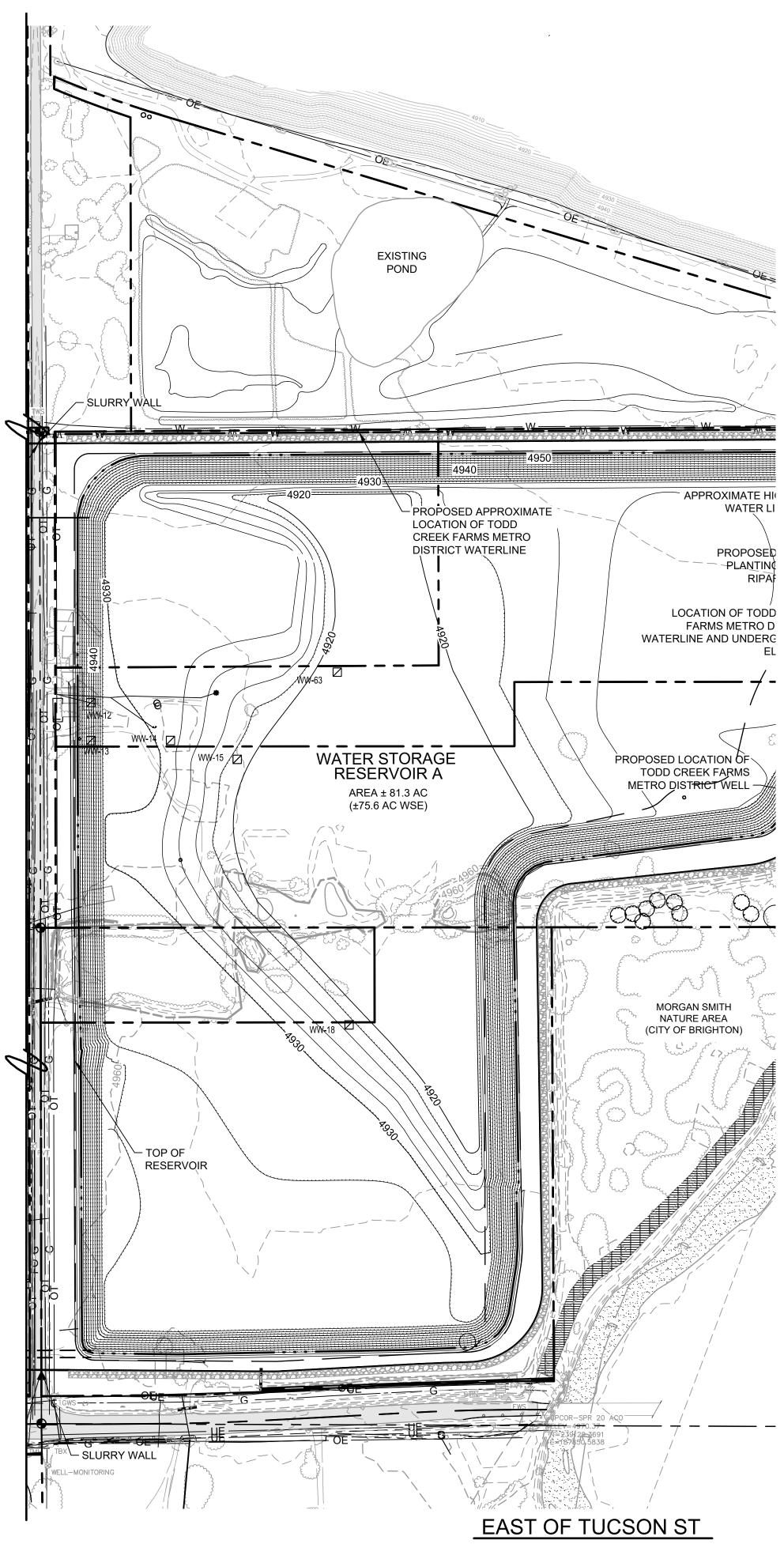
Swingle Tree and Landscape – 303-306-3143

MINING PLAN









September 19, 2019

Christine Felz Land and Environment Manager | Colorado, Arizona LafargeHolcim | Aggregate Industries Address: 1687 Cole Boulevard, Suite 300, Golden, CO 80401 Office & Mobile: 303.809.7231 Christine.Felz@lafargeholcim.com

Attn: Ms. Felz

Re: Tucson South Mine Traffic Control and Operations Memorandum Adams County, Colorado

Dear Ms. Felz:

The purpose of this memorandum is to prepare and document the project timeline, project route and operations, and traffic control associated with the Tucson South Mine project. Four distinguished project areas are included within the overall project site for planning purposes. The Wattenberg Site is the north project area and is located 0.5 miles north of the 168th Avenue & WCR 23 ¹/₂ intersection in Weld County, Colorado. The east and west project areas ("East Area" and "West Area") are located at the northeast and northwest corners of the SH-7 & Tucson Street intersection, respectively, and the south project area ("South Area") is located at the southwest corner of the SH-7 & Tucson Street intersection in Adam's County, Colorado. This project proposes gravel mining within the South Area and replacing the mined site with overburden, and mining reclamation as lined storage reservoirs in the East Area and West Area.

The Tucson South Mine Project site operations are anticipated to include two phases. Phase I of mining operations will include mining and hauling gravel from the South Area and transporting it to the Wattenberg Site. It is expected that Phase I of operations will be completed by the end of 2020. Phase II of reclamation operations will include transporting overburden from the East Area and West Area to the South Area. It is expected that Phase I of operations will occur over a period of two years from 2021 to 2023. The "Aggregate Industries Tucson South Traffic Impact Study" that included this overall project area was completed in January 2019 by Gene Copolla, P.E., PTOE and was used as reference for this memorandum.

No processed or finished product will be transported from the Tucson South Mine. All material will be transferred to a Weld County facility for processing and final sale. Trucks leaving the Weld County facility will adhere to the Weld County USR approval and road maintenance agreement.

EXISTING ROADWAY NETWORK

The existing roadway network near the Tucson South Mine facility extends north to WCR 23 ½. The South Platte River borders the project site to the south and east. A mix of rural residential and vacant land surrounds the site in all directions. The City of Brighton is located further east of the project area. Further to the west, residential neighborhoods exist.

Tucson South Mine 096548004 Page 2

This project proposes mining gravel from the South Area located on approximately 24 acres of vacant land at the southwest corner of the SH-7 & Tucson Street intersection. The Weld County south limit and the Adams County north limit exists at 168th Avenue.

Regional access to the Tucson South Mine will be provided by Interstate 25 (I-25), E-470, and US Highway-85 (US-85). Primary access will be provided by SH-7 (160th Avenue), Tucson Street, 168th Avenue, and WCR 23 ½. Direct access to the proposed mining location in the South Area will be provided from an improved driveway along SH-7 (160th Avenue) located approximately 1,250 feet west of Tucson Street. No traffic from the mining site will travel east of Tucson Street on SH-7 or 168th Avenue. Direct access from the East Cell and West Cell will be provided onto Tucson Street. These access points and Tucson Street will be used to haul material to the South Cell for reclamation.

State Highway 7 (SH-7) is a CDOT Highway and is classified as an R-A: Regional highway. SH-7 provides one lane of travel in each direction, eastbound and westbound, with left-turn lanes at all major intersections and a posted speed limit of 50 miles per hour adjacent to the project site. Tucson Street is a local roadway that provides one lane of travel in each direction, northbound and southbound, with a 40 mile per hour posted speed limit. 168th Avenue provides one lane of travel in each direction, eastbound and westbound, with a 45 mile per hour posted speed limit. Adams County right-of-way includes only the eastbound travel lane along 168th Avenue. Weld County Road 23 ½ is an unpaved gravel roadway that extends in the north-south direction.

Existing site photos and additional documentation of existing conditions is provided in Appendix A.

PROJECT SCHEDULE

The number of trips determined for the Tucson South Mine facility is based on anticipated operations activity during Phase I and Phase II of operations. Phase I includes hauling of gravel from the South Area to the Wattenberg Site. Phase II includes hauling of overburden from the East Area and West Area to the South Area.

Phase I of operation will occur through 2020. During this time material from the South Area will be hauled by truck to the Wattenberg Site. Phase I will include mining the South Area for gravel and transporting it to the Wattenberg Site. During Phase I operations the Tucson South Mine facility will have daily trips for operations as well as occasional trips for maintenance. Truck hauling hours will be limited from 9 AM to 3 PM and from 6 PM to 7 PM to avoid morning and afternoon peak hour traffic along SH-7. No hauling operations will be completed on Sundays. The final anticipated volume of truck trips per day and truck trips per hour will be determined through the CDOT Access Permit process. However, it is anticipated that the number of round trips during the daily peak hour to the facility will be approximately twenty (20) trips per hour, twenty (20) inbound and twenty (20) outbound. This is five (5) more round trips per daily peak hour than identified in the previously prepared "Aggregate Industries Tucson South Traffic Impact Study". These trips will include truck trips by operational personnel for general facility operations. During the off-season, shorter operating times and significantly less truck traffic is expected.

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Phase II of the South Cell mining and reclamation operation will occur during 2021 through 2023. During this time gravel from the East Area and West Area will be transferred by conveyor to the processing area located in Weld County and therefore, there will be no truck traffic associated with mining. However, Phase II will include transporting overburden from the East Area and West Area to the South Area by truck. During the Phase II the Tucson South Mine facility is anticipated to have a very low amount of truck traffic. Therefore, during Phase II of the project, traffic impacts related to the surrounding street network are anticipated to be negligible. Operations North of SH-7 will be ongoing until mining and reclamation are complete.

ROADWAY MAINTENANCE AND OPERATIONS

Truck access roadway locations may require routine cleaning. During operations, mechanical street sweeping will be conducted to clear roadways a minimum of three (3) times per day or as needed. Street sweepers will be water sweepers, not mechanical push broom sweepers. These trips will include truck trips for routine roadway maintenance and cleaning. If significant or frequent precipitation occurs arrangements will be made for additional street cleaning.

Water trucks and management of speed limits on haul roads will be used as needed to control dust abatement as needed. Reference Air Permit 17AD0577F.

Aggregate Industries and the County are in the process of developing the following Road Maintenance Agreement - Aggregate Industries Tucson South Project, Case EXG2019-00001. Please see the final agreement to be provided in Appendix C for terms concerning improvements and payments that are deemed necessary to support the traffic generated by the Tucson South Mine.

PROJECT HAUL ROUTE

Phase I of South Cell operations will include mining the South Area located at the southwest corner of SH-7/Tucson Street and unloading gravel within the Wattenberg Site. The Phase I haul route will include empty trucks departing the Wattenberg Site by traveling southbound on WCR 23 ¹/₂, traveling eastbound on 168th Avenue, traveling southbound on Tucson Street, and traveling westbound on SH-7 to reach the South Area. Trucks will be loaded with gravel and will depart the South Area by traveling eastbound on SH-7, northbound on Tucson Street, westbound on 168th Avenue, and northbound on WCR 23 ¹/₂ to unload at the Wattenberg Site. The Phase I truck haul route is shown in **Exhibit 1**.

Phase II of the South Cell mining and reclamation operations will include hauling overburden from the East Area and West Area into the South Area. The Phase II haul route will include full trucks departing the East Area and West Area by traveling southbound on Tucson Street and traveling westbound on SH-7 to reach the South Area. Trucks will then be unloaded and will depart the South Area by traveling eastbound on SH-7 and northbound on Tucson Street to reach the East Area and West Area. The Phase II truck haul route is shown in **Exhibit 2**.

Although it is not anticipated, if either of the primary haul routes are closed for any reason and an alternative haul route is needed, temporary access would be requested from adjacent municipalities in order to determine a temporary haul route. An alternate haul route

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is not currently in place due to existing restrictions of adjacent municipalities Traffic control for the alterative haul route will be addressed at the time of need.

TRAFFIC CONTROL

The project haul route should include traffic control with W8-6 "TRUCK CROSSING" signs installed along SH-7 and 168th Avenue 500-foot in advance of the driveways and cross streets where trucks are entering the roadway per MUTCD guidelines. Restriping will be required along SH-7 as required by CDOT to develop a westbound left-turn lane from SH-7 to the project driveway. No other roadway stripping improvements will be necessary due to the low number of project truck traffic. Reference **Exhibit 1** and **Exhibit 2** for signing locations.

To minimize the amount of sediment and soil transported from the project site to an existing paved roadway, vehicle tracking pads will be installed where trucks access SH-7 and Tucson Street. According to the CDOT Erosion Control and Stormwater Quality Field Guide vehicle tracking pads made of coarse aggregate and geotextile fabric and must be constructed at minimum with 70-foot in length, 12-foot in width, and 0.5-foot in depth. The proposed vehicle tracking pads will be maintained as needed. Whenever the tracking rock becomes flattened, a loader or bulldozer will back-drag the tracking rock with its shovel or blade in order to raise the tracking rock creating a more effective catchment area for any mud or debris. Additional tracking rock will be stockpiled at the site and will be added to the tracking rock area whenever the tracking rock catchment becomes ineffective using the back-dragging method. If vehicle tracking pads prove to be ineffective and do not adequately control the amount of sediment and soil transported from the project site to an existing paved roadway, the County may request an alternative approach. Reference **Exhibit 1** and **Exhibit 2** for vehicle tracking pad locations.

The truck traffic generated by this project site is anticipated to be minimal and will occur over short periods of time. The surrounding street network is anticipated to successfully accommodate project traffic. Therefore, traffic flaggers are not anticipated to be required in association with this project. Adams County shall contact Aggregate Industries to request traffic flaggers if required.

CDOT ACCESS PERMIT AND TURN BAY ANALYSIS

The threshold for requiring an access permit along CDOT roadways occurs when project traffic is anticipated to increase the existing access traffic volumes by more than 20 percent. Based on traffic projections, the addition of project traffic at the SH-7 access is anticipated to increase traffic volumes by more than 20 percent, therefore, it is believed that an access permit will be required by CDOT for this intersection in association with this project.

Since SH-7 is a state owned and maintained facility, it is recommended that auxiliary turn lanes along SH-7 be constructed in accordance with the current CDOT State Highway Access Code (SHAC). CDOT categorizes the segment of SH-7 through the study area as R-A: Regional Highway. According to the State Highway Access Code for category R-A roadways, the following thresholds apply:

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- A left-turn deceleration lane and taper with storage length is required for any access with a projected peak hour left ingress turning volume greater than 10 vehicles per hour (vph). The taper length will be included within the required deceleration length.
- A right-turn deceleration lane and taper is required for any access with a projected peak hour right ingress turning volume greater than 25 vph. The taper length will be included within the required deceleration length.
- A right-turn acceleration lane and taper is required for any access with a projected peak hour right-turning volume greater than 50 vph. The taper length will be included within the required acceleration length.

Based on traffic projections and the above thresholds, auxiliary turn lane requirements were calculated for the SH-7 project access Intersection. SH-7 provides one lane of travel in each direction and has a posted speed limit of 50 miles adjacent to the project site. As such, turn lane requirements at the study area intersections along SH-7 are as follows:

- A westbound left-turn deceleration lane <u>is</u> warranted based on projected 2019 project traffic being 20 westbound left-turns during the peak hour and the threshold being 10 vph. Since SH-7 has a category of R-A, the left-turn lane requirement is a deceleration length plus storage length. Based on a speed limit of 50 mph, the required total westbound left-turn deceleration length is 515 feet (a 335 feet deceleration lane plus a 180-foot taper length, with 15 to 1 ratio).
- An eastbound right-turn deceleration lane <u>is not</u> warranted based on projected 2019 project traffic being 0 southbound right-turns during the peak hour and the threshold being 25 vph.
- An eastbound acceleration lane from the northbound right-turn <u>is not</u> warranted based on projected 2019 project traffic being 20 northbound right-turns during the peak hour and the threshold being 50 vph.

It is recommended that a 515-foot westbound left-turn lane is constructed at the SH-7 project driveway. Appropriate pavement width currently exists on SH-7 in order for a westbound left-turn lane to be easily striped and incorporated into the existing SH-7 roadway section at that location. There is an existing eastbound left-turn lane located at the intersection of SH-7/Tucson Street. No conflict is anticipated with this location. The back to back left-turn configuration would allow for approximately 560 feet left-turn lane length into the project site with a shared taper length of 180 feet. No additional civil improvements are anticipated to be necessary. All improvements along SH-7 will be coordinated with CDOT. Adams County will be informed if CDOT requires any additional improvements prior to trucks accessing SH-7 from the South Area.

As stated above, an eastbound acceleration lane from the northbound right-turn movement is not required in order to meet CDOT SHAC standards and guidelines. Further, this acceleration lane is not recommended due to the existing constraints along SH-7 including the eastbound left-turn lane that exists at the SH-7/Tucson Street intersection.



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A CDOT State Highway Access Permit Application and supporting improvements plans were submitted to CDOT on September 11, 2019. The access permit included the previously mentioned twenty (20) round trips during the daily peak hour to the facility. The improvement plans included design details for the proposed left-turn deceleration lane referenced above as well as access improvements at the existing driveway. The CDOT State Highway Access Permit Application and supporting improvement plans are included in Appendix B.

Any traffic volume in excess of the final anticipated volume of truck trips per day and truck trips per hour established through the CDOT Access Permit process (anticipated to be twenty (20) trips per hour) will be considered a worst-case scenario and will require flagger operations.

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CONCLUSION

Due to the proposed project location and low traffic generation, Kimley-Horn and Associates, Inc. believes the Tucson South Mine project will be successfully incorporated into the existing roadway network. The following conclusions and recommendations are provided for consideration based on project generated traffic:

- The project haul routes should include traffic control with W8-6 "TRUCK CROSSING" signs installed along SH-7, 168th Avenue, and Tuscon Street 500-foot in advance of the driveway as per MUTCD guidelines. Restriping will be required along SH-7 as required by CDOT. No other roadway stripping improvements will be necessary due to the low number of project truck traffic.
- To minimize the amount of sediment and soil transported from the project site to an existing paved roadway, vehicle tracking pads will be installed where trucks access SH-7 and Tucson Street. According to the CDOT Erosion Control and Stormwater Quality Field Guide vehicle tracking pads made of coarse aggregate and geotextile fabric and must be constructed, at minimum, with 70-foot in length, 12-foot in width, and 0.5-foot in depth. If vehicle tracking pads prove to be ineffective and do not adequately control the amount of sediment and soil transported from the project site to an existing paved roadway, the County may request an alternative approach.
- Based on the State Highway Access Code (SHAC) guidelines, a westbound left-turn deceleration lane is warranted at the SH-7 project access intersection. The total required westbound left-turn deceleration length is 515 feet (a 335-foot deceleration length plus a 180-foot taper length, 15 to 1 ratio). There is currently adequate pavement width along SH-7, therefore, this lane should be restriped to include the required westbound left-turn deceleration lane length. This will not have a conflict with the existing eastbound left-turn lane at SH-7 and Tucson Street which is currently built to CDOT standards. These improvements can be accomplished by restriping of the existing SH-7 pavement.
- All on-site and off-site signing and striping improvements should be incorporated into the Civil Drawings, and conform to Adams County standards as well as the Manual on Uniform Traffic Control Devices 2009 Edition (MUTCD).

If you have any questions or require anything further, please feel free to call me at (720) 943-5660.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

Matt Ciarkowski, P.E.



<u>EXHIBIT 1 – PHASE I MINING (SOUTH AREA)</u> <u>TRUCK GRAVEL MINING ROUTE AND TRAFFIC CONTROL IMPROVEMENTS</u>

NOTES: 1. 2019 TO 2020 ANTICIPATED TIMELINE 2. 400 VEHICLES PER DAY, 20 VEHICLES PER HOUR 3. HOURS OF OPERATION MONDAY-FRIDAY: SPRING/SUMMER: 6:30 AM - 7:00 PM FALL/WINTER: 7:00 AM - 7:00 PM SATURDAY: 8:00 AM - 4:00 PM CLOSED SUNDAYS AND MAJOR HOLIDAYS 4. HAULING HOURS MONDAY-FRIDAY: 9:00 AM - 3:00 PM 6:00 PM - 7:00 PM 5. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). LEGEND NORTHBOUND TRAFFIC PATTERN SOUTHBOUND TRAFFIC PATTERN PROPOSED SIGN STOP EXISTING STOP SIGN NORTH N.T.S **KimleyHorn** © 2019 KIMLEY-HORN AND ASSOCIATES, INC. SOUTH ULSTER STREET, SUITE 1500, DENVER, CO 80237 PHONE: 303-228-2300



<u>EXHIBIT 2 – PHASE II RECLAMATION (SOUTH AREA)</u> OVERBURDEN TRUCK ROUTE AND TRAFFIC CONTROL IMPROVEMENTS

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		LEGEND NORTHBOUND TRAFFIC PATTERN
	1	SOUTHBOUND TRAFFIC PATTERN
1. a.		PROPOSED SIGN
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The state of the second second		NORTH N.T.S
	-	Kimley Horn • 2019 KIMLEY-HORN AND ASSOCIATES, INC. 4582 SOUTH LISTER STREET, SUITE 1500, DEHVER, CO 80237 PHONE: 303-228-2300

Kimley »Horn

Tucson South Mine 096548004 Page 8

Appendix A SITE PHOTOS

SH-7 & Tucson Street (Looking South)

SH-7 & Tucson Street (Looking North)



kimley-horn.com 4852 South Ulster Street, Suite 1500, Denver, CO 80237

303 228 2300

Kimley **»Horn**

Tucson South Mine 096548004 Page 9

SH-7 & Tucson Street (Looking West)



SH-7 & Tucson Street (Looking East)



Kimley *Whorn*

Tucson South Mine 096548004 Page 10

168th Avenue & Tucson Street (Looking North)



168th Avenue & Tucson Street (Looking East)



Kimley »Horn

Tucson South Mine 096548004 Page 11

168th Avenue & Tucson Street (Looking West)



168th Avenue & Tucson Street (Intersection Pavement Conditions)



Kimley *Whorn*

Tucson South Mine 096548004 Page 12

168th Avenue & WCR 23 ½ (Looking South)



168th Avenue & WCR 23 ½ (Looking North)



Kimley *Whorn*

Tucson South Mine 096548004 Page 13



SH-7 & Tucson Mine South Area Driveway (Looking North)

Tucson Street Pavement Conditions



Kimley **»Horn**

Tucson South Mine 096548004 Page 14



168th Avenue Pavement Conditions



Kimley »Horn

Tucson South Mine 096548004 Page 15

Appendix B

CDOT STATE HIGHWAY ACCESS PERMIT APPLICATION AND IMPROVEMENT PLANS

	ARTMENT OF TRA			PLICATION		Issuing authority app acceptance date:	lication
Instructions: Please print or type	 Contact the Colorado Contact the issuing au Complete this form (si Submit an application If you have any quest For additional information 	athority to determin ome questions may for each access a ions contact the is	ne what plans ay not apply to affected. ssuing authori	and other documents an you) and attach all nec ty.	e required to be sub essary documents a	mitted with your appl nd Submit it to the is	ication. suing authority.
1) Property owner (Perm Aggregate Industri	a second s			2) Agent for permittee	e (if different from pro Associates, Inc. (N		
Street address 1687 Cole Bouleva				Mailing address	er Street, Suite 15		
City, state & zip Golden, CO 80401		one# 803-8097231		City, state & zip Denver, CO 802	237	Phone # (require (303) 228-23	
E-mail address Christine.Felz@laf	argeholcim.com			E-mail address if avai	lable Økimley-horn.com		
	be served by permit (rec orner of SH-7 and Tuc		ms County,	Colorado			
county subo	roperty: If within jurisdicti livision	ional limits of Mun	icipality, city a	nd/or County, which on section	e? township	, range	
	ire you requesting acces	s from?		6) What side of the high		-	V of 6th Prin.
Highway 7 D	proposed access from the	e nearest mile post	? How man	y feet is the proposed a	S E E	W	
			1,200				
0) Provide existing prop Vacant 1) Do you have knowle Kno	berty use dge of any State Highway es, if yes - what are the p	y access permits s permit number(s) a	erving this pro and provide co	operty, or adjacent prop		ave a property intere nd/or, permit date:	st?
	vner own or have any inte es, if yes - please descr		ent property?				
	ng or dedicated public sti es, if yes - list them on y					?	
4) If you are requesting	agricultural field access	- how many acres	will the acces	s serve?			
	commercial or industrial ness/land use		licate the type uare footage		sses and provide the usiness	floor area square fo	otage of each. square footage
Special Use - Mini	ng Operation	0					
	residential developemen					r of units?	
type	<u>.</u>	nun	nber of units	()	/pe		number of unit
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17) Provide the following	vehicle count estimates		2012 A.				
Indicate if your counts an	e average daily volum	# of passenger c	2012 A.	I cess. Leaving the prope ks at peak hour volumes		wo counts. ks at peak hour volumes	

Previous editions are obsolete and may not be used

Page 1 of 2 CDOT Form #137 12/04

18) Check with the issuing authority to determine which of the following documents are required to complete the review of your application.

- a) Property map indicating other access, bordering roads and streets.
- b) Highway and driveway plan profile.
- c) Drainage plan showing impact to the highway right-of-way.
- d) Map and letters detailing utility locations before and after
 - development in and along the right-of-way.

- e) Subdivision, zoning, or development plan.
- f) Proposed access design.
- g) Parcel and ownership maps including easements.
- h) Traffic studies.
- i) Proof of ownership.

1- It is the applicant's responsibility to contact appropriate agencies and obtain all environmental clearances that apply to their activities. Such clearances may include Corps of Engineers 404 Permits or Colorado Discharge Permit System permits, or ecological, archeological, historical or cultural resource clearances. The CDOT Environmental Clearances Information Summary presents contact information for agencies administering certain clearances, information about prohibited discharges, and may be obtained from Regional CDOT Utility/Special Use Permit offices or accessed via the CDOT Planning/Construction-Environmental-Guidance webpage http://www.dot.state.co.us/environmental/Forms.asp.

2- All workers within the State Highway right of way shall comply with their employer's safety and health policies/ procedures, and all applicable U.S. Occupational Safety and Health Administration (OSHA) regulations - including, but not limited to the applicable sections of 29 CFR Part 1910 - Occupational Safety and Health Standards and 29 CFR Part 1926 - Safety and Health Regulations for Construction.

Personal protective equipment (e.g. head protection, footwear, high visibility apparel, safety glasses, hearing protection, respirators, gloves, etc.) shall be worn as appropriate for the work being performed, and as specified in regulation. At a minimum, all workers in the State Highway right of way, except when in their vehicles, shall wear the following personal protective equipment: High visibility apparel as specified in the Traffic Control provisions of the documentation accompanying the Notice to Proceed related to this permit (at a minimum, ANSI/ISEA 107-1999, class 2); head protection that complies with the ANSI Z89.1-1997 standard; and at all construction sites or whenever there is danger of injury to feet, workers shall comply with OSHA's PPE requirements for foot protection per 29 CFR 1910.136, 1926.95, and 1926.96. If required, such footwear shall meet the requirements of ANSI Z41-1999.

Where any of the above-referenced ANSI standards have been revised, the most recent version of the standard shall apply.

3- The Permittee is responsible for complying with the Revised Guidelines that have been adopted by the Access Board under the American Disabilities Act (ADA). These guidelines define traversable slope requirements and prescribe the use of a defined pattern of truncated domes as detectable warnings at street crossings. The new Standards Plans and can be found on the Design and Construction Project Support web page at: http://www.dot.state.co.us/DesignSupport/, then click on *Design Bulletins*.

If an access permit is issued to you, it will state the terms and conditions for its use. Any changes in the use of the permitted access not consistent with the terms and conditions listed on the permit may be considered a violation of the permit.

The applicant declares under penalty of perjury in the second degree, and any other applicable state or federal laws, that all information provided on this form and submitted attachments are to the best of their knowledge true and complete.

I understand receipt of an access permit does not constitute permission to start access construction work.

Print name
Jester Conxin

If the applicant is not the owner of the property, we require this application also to be signed by the property owner or their legally authorized representative (or other acceptable written evidence). This signature shall constitute agreement with this application by all owners-of-interest unless stated in writing. If a permit is issued, the property owner, in most cases, will be listed as the permittee.

Property owner signature	Print name	Date

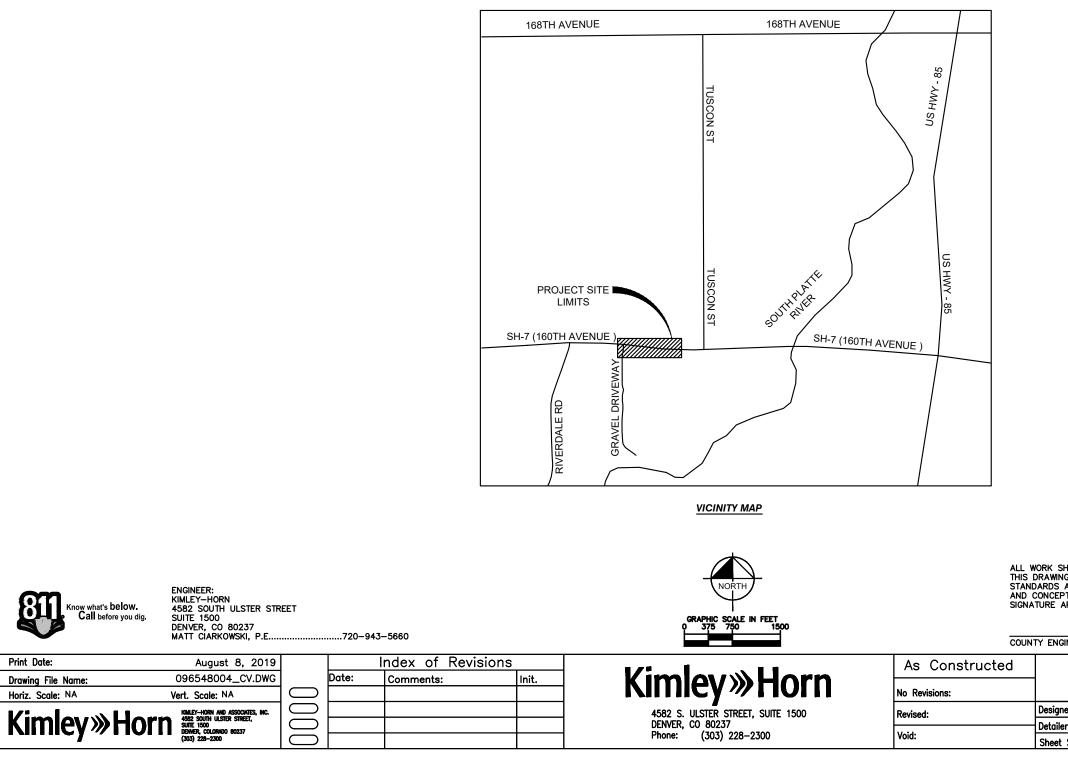
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Date

08

STATE HIGHWAY 7 (160TH AVENUE) **TUSCON SOUTH MINE** STRIPING IMPROVEMENTS

ADAMS COUNTY, COLORADO



SHEET INDEX

1 – TITLE SHEET 2 – CDOT STANDARD PLANS 3 – IMPROVEMENT PLAN

ALL WORK SHALL BE CONSTRUCTED TO ADAMS COUNTY AND CDOT STANDARDS AND SPECIFICATIONS. THIS DRAWING HAS BEEN REVIEWED AND FOUND TO BE IN GENERAL COMPLIANCE WITH THESE STANDARDS AND SPECIFICATIONS AND OTHER BROOMFIELD REQUIREMENTS. THE ENGINEERING DESIGN AND CONCEPT REMAINS THE RESPONSIBILITY OF THE PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE APPEAR HEREON.

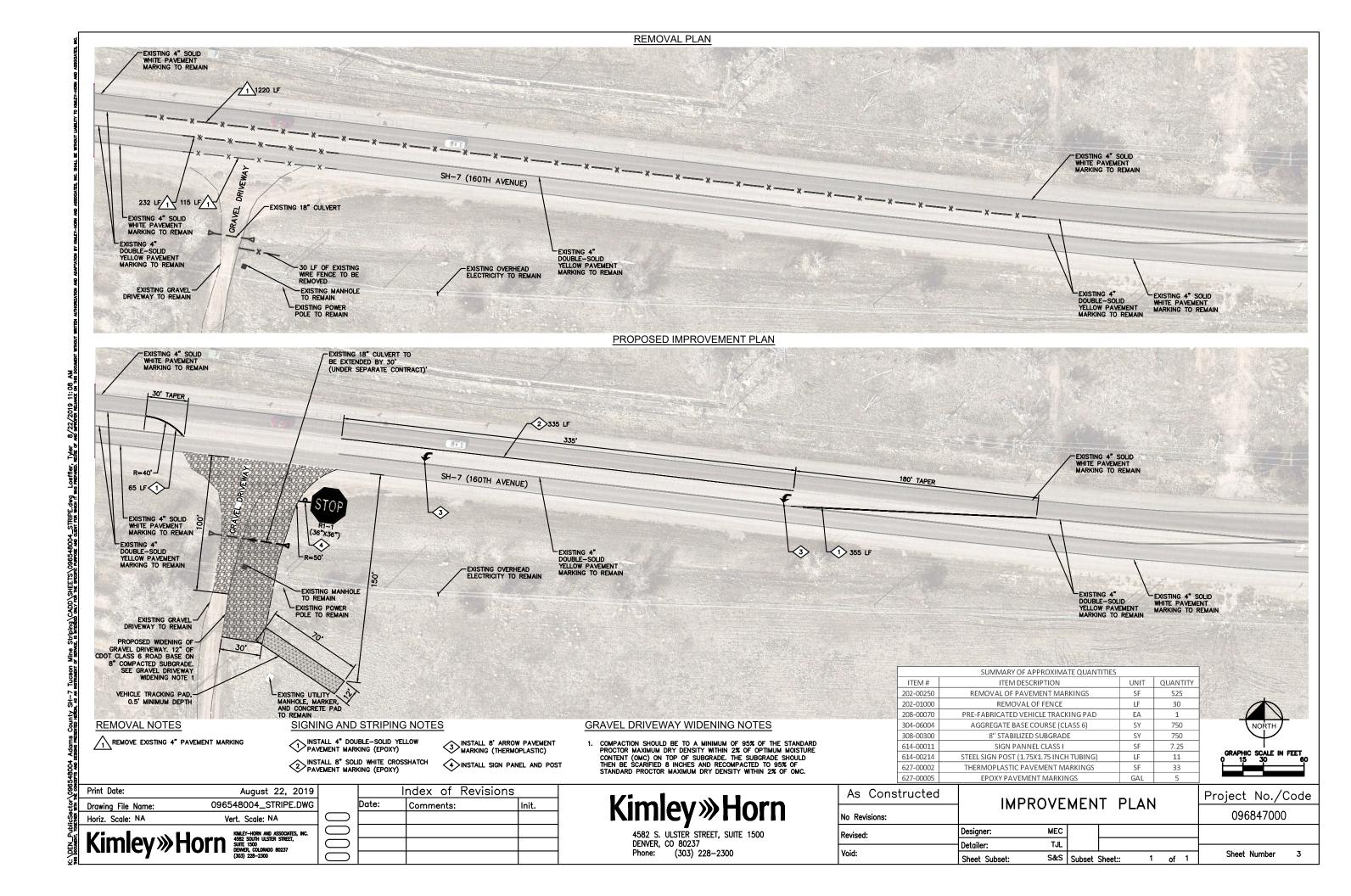
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PLAN <u>NUMBER</u>		D <u>TITLE</u>	NU		NEW R REVIS	ED <u>TITLE</u>	PAGE NUMBER	NUMBER		SED	STANDARD <u>TITLE</u>	L
M-100-1		STANDARD SYMBOLS (3 SHEETS)				WIRE FENCES AND GATES (3 SHEETS)					TIONS (8 SHEETS) (REVISED ON AF	
M-100-2	_	ACRONYMS AND ABBREVIATIONS (4				CHAIN LINK FENCE (3 SHEETS)		S-614-1			NT (2 SHEETS) (REVISED ON DECEM	
M-203-1		APPROACH ROADS (REVISED ON JULY 08, 2013).				BARRIER FENCE					JUNE 24, 2016)	
M-203-2		DITCH TYPES			-4 🗖	DEER FENCE, GATES, AND GAME RAMPS (5 SHE (REVISED ON APRIL 30, 2015)	ETS) 107–109	S-614-3	_			
M-203-11		SUPERELEVATION CROWNED AND DIVIDED HIGHWAYS (3 SHEETS)		10-12 M-607	-10	PICKET SNOW FENCE		S-614-4			HEETS) (REVISED ON DECEMBER 17, 2014) .	
M-203-12	2	SUPERELEVATION STREETS (2 SHEE	TS)	13-14 M-607	-15	RDAD CLOSURE GATE (9 SHEETS)				FOR GROUND SIGNS (2	PORT DETAILS (REVISED ON FEBRUA SHEETS)	WRY 8, 2017
M-206-1		EXCAVATION AND BACKFILL FOR ST (2 SHEETS)				CURB RAMPS (10 SHEETS) (REVISED ON MAY 3, 2019) CURBS, GUTTERS, AND SIDEWALKS (4 SHEETS)	from some and			CONCRETE FOOTINGS A FOR CLASS III SIGNS	ND SIGN ISLANDS	16, 2013)
M-206-2		EXCAVATION AND BACKFILL FOR BR	NIDGES (2 SHEETS)	. 17-18 M-611-	-1	CATTLE GUARD (2 SHEETS)		S-614-8		TUBULAR STEEL SIGN (REVISED ON APRIL 12, 2018)	SUPPORT DETAILS (7 SHEE	TS)
M-208-1		TEMPORARY EROSION CONTROL (11 S		IVI OII	-2 🗖	DEER GUARD (2 SHEETS) (NEW ON APRIL 30, 2015)		S-614-9			TON POST ASSEMBLY (REVISED	ON MAY 2
M-210-1		MAILBOX SUPPORTS (2 SHEETS)		. 31-32 M-613	-1	RDADWAY LIGHTING (4 SHEETS)		S-614-10			STALLATIONS	
M-214-1		PLANTING DETAILS		33 M-614	-1	RUMBLE STRIPS (3 SHEETS)					FOR HIGH SNOW AREAS	
M-216-1		SOIL RETENTION COVERING (2 SHE	the second se	M-614	-2	SAND BARREL ARRAYS (2 SHEETS)					ISTALLATION (2 SHEETS)	
M-412-1		CONCRETE PAVEMENT JDINTS (5 SH	HEETS) JANUARY 18, 2018)	34-38 M-615	-1	EMBANKMENT PROTECTOR TYPE 3	141		_	(REVISED ON APRIL 30, 2018)		
M-510-1		STRUCTURAL PLATE PIPE H-20 LOA	DING	39 м-615	-2	EMBANKMENT PROTECTOR TYPE 5		S-614-14		FLASHING BEACON AND	SIGN INSTALLATIONS (3 S	SHEETS)
M-601-1		SINGLE CONCRETE BOX CULVERT (((2 SHEETS) (REVISED ON APRIL 05, 2019)		M-620		INVERTED SIPHON FIELD LABORATORY CLASS 1		S-614-20 S-614-21		CONCRETE BARRIER SI	SIGN INSTALLATIONS GN POST INSTALLATIONS	
M-601-2		DOUBLE CONCRETE BOX CULVERT ((2 SHEETS) (REVISED ON APRIL 05, 2019)	CAST-IN-PLACE)	. 42 43 M-620		FIELD LABORATORY CLASS 2 (2 SHEETS)				(REVISED ON MAY 24, 2016)		
M-601-3		TRIPLE CONCRETE BOX CULVERT (((2 SHEETS) (REVISED ON APRIL 05, 2019)	CAST-IN-PLACE)	. 44-45 M-620 M-620		FIELD OFFICE CLASS 1		S-614-22 S-614-40			NSTALLATIONS	
M-601-10		HEADWALL FOR PIPES		46 M-620		SURVEY MONUMENTS (2 SHEETS)					SIGNAL INSTALLATION DET	ATLS
M-601-11		TYPE "S" SADDLE HEADWALLS FOR						5-014-404		(4 SHEETS) (REVISED ON JUNE		AILS
M-601-12		HEADWALLS AND PIPE OUTLET PAV		48				S-614-41		TEMPORARY SPAN WIR	E SIGNALS (REVISED ON APRIL 02, 2015)	
M-601-20		WINGWALLS FOR PIPE OR BOX CUL (REVISED ON SEPTEMBER 04, 2018)	VERTS (2 SHEETS)	49				S-614-42		CABINET FOUNDATION	DETAIL (4 SHEETS)	
M-603-1		METAL PIPE (4 SHEETS) (REVISED ON DC	TORER 02 2014)	50 53				S-614-43			SCELLANEOUS SIGNAL DETAI	ILS
M-603-2		REINFORCED CONCRETE PIPE (REVISED	,			COLORADO			_	(10 SHEETS)		
M-603-3		PRECAST CONCRETE BOX CULVERT				DEPARTMENT OF TRANSPORTATION		S-614-44			LS (2 SHEETS) (REVISED ON JUNE 17	
M-603-4 M-603-5		CORRUGATED POLYETHYLENE PIPE POLYVINYL CHLORIDE (PVC) PIPE ((AASHTO M294) (REVISED OCT. 02, 2	014) 56	М8	S STANDARDS PLANS LI	ST	S-614-50 S-614-60		(REVISED ON JUNE 17, 2016)	E STRUCTURES (12 SHEETS IBE STRUCTURES (14 SHEET	
M-603-6		STEEL REINFORCED POLYETHYLENE		014)		July 04, 2012		S-627-1		(REVISED ON JUNE 17, 2016)	8 SHEETS) (REVISED ON FEBRUARY 08,	
	_	(AASHTO MP 20) (NEW ON APRIL 30, 2015)	(REVISED	Nee se		00.) 01.) 2012		S-630-1			R HIGHWAY CONSTRUCTION	
M-603-10		CONCRETE AND METAL END SECTIO						5-050-1		(24 SHEETS) (REVISED ON JU		
M-604-1 M-604-1		INLET, TYPE C INLET, TYPE D				Revised on May 03, 2019		S-630-2		BARRICADES, DRUMS, CO AND VERTICAL PANELS	NCRETE BARRIERS (TEMP) (REVISED ON JUNE 23, 2016)	
M-604-1	2	CURB INLET TYPE R (2 SHEETS)		62-63				S-630-3		FLASHING BEACON (PO	RTABLE) DETAILS	
M-604-1 M-604-2		CONCRETE INLET TYPE 13 MANHOLES (3 SHEETS)						S-630-4		STEEL SIGN SUPPORT DETAILS (2 SHEETS)	(TEMPORARY) INSTALLATION	
M-604-2		VANE GRATE INLET (5 SHEETS)			ALL OF	THE M&S STANDARD PLANS, AS SUPPLEME	ENTED	S-630-5		PORTABLE RUMBLE STR (REVISED ON AUGUST 13, 2015)	IPS (TEMPORARY) (2 SHEET	TS)
M-605-1		SUBSURFACE DRAINS				VISED, APPLY TO THIS PROJECT WHEN US		S-630-6			AREA (TEMPORARY)	
M-606-1		GUARDRAIL TYPE 3 W-BEAM (20 S	HEETS) (REVISED ON OCTOBER 27, 2014)	.74 92		SIGNATED PAY ITEM OR SUBSIDIARY ITEM		S-630-7			FOR TRAFFIC CONTROL	
M-606-1		MIDWEST GUARDRAIL SYSTEM (MGS TYPE 3 W-BEAM 31 INCHES (19 SH	EETS) (REVISED ON DECEMBER							(3 SHEETS)		
M-606-1		GUARDRAIL TYPE 7 F-SHAPE BARR			TO THI	R REVISED STANDARD PLAN SHEETS APPL S PROJECT, INDICATED BY A MARKED BOX						
M-606-1-		PRECAST TYPE 7 CONCRETE BARRI		. 97-99	WILL B	E ATTACHED TO THE PLANS.						
M-606-1	5 🗖	GUARDRAIL TYPE 9 SINGLE SLOPE (REVISED DN JULY 16, 2018)	BARRIER (11 SHEETS)									
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Kimley »Horn

Tucson South Mine 096548004 Page 16

Appendix C

ROADWAY MAINTENANCE AGREEMENT – AGGREGATE INDUSTRIES TUCSON SOUTH PROJECT, CASE EXG2019-00001

NEIGHBORHOOD MEETING SUMMARY

Aggregate Industries-WCR, Inc. hosted a neighborhood meeting for this application on Thursday, June 28, 2018 from 6:00PM to 7:00 PM at the Anythink Brighton Library Community Room, 327 E. Bridge St. 80601 Brighton, Colorado. The format of the meeting was an open house. Aggregate Industries-WCR, Inc. discussed the plans for the project and gathered comments and input from those in attendance.

Copies of the notice, sign in sheet for the meeting, comment sheets received at the meeting and information as presented at the meeting are attached.

Eight members of the public were in attendance. Key comments and concerns are as follows:

- Dust Mitigation concerns regarding blowing dust from the operation
- Noise, light and Air Quality monitoring and controls to prevent impacts to the neighborhood
- Duration of the mining and reclamation activities want specific time frame for mining and reclamation
- Concerned about lack of public use of the reclaimed reservoirs desire for public access to the lakes
- Asked for information regarding the economic impact of the operations specific impacts to Adams County
- Requested information regarding availability to review of the traffic study fir the application desire to review the study as the application proceeds through the review process.
- Requested controls for Truck traffic crossing HWY 7 concerned about potential conflicts and accidents.
- Support for conveyor transport of the material to reduce truck traffic on County roads saw a specific need to secure the right of way for the conveyor.

Several of those in attendance were part of the previous review process for this application. They are concerned with follow through by CDRMS and other regulatory agencies on previous mining operations in the vicinity. They expressed concerns that the conditions of any approval will be monitored and enforced.

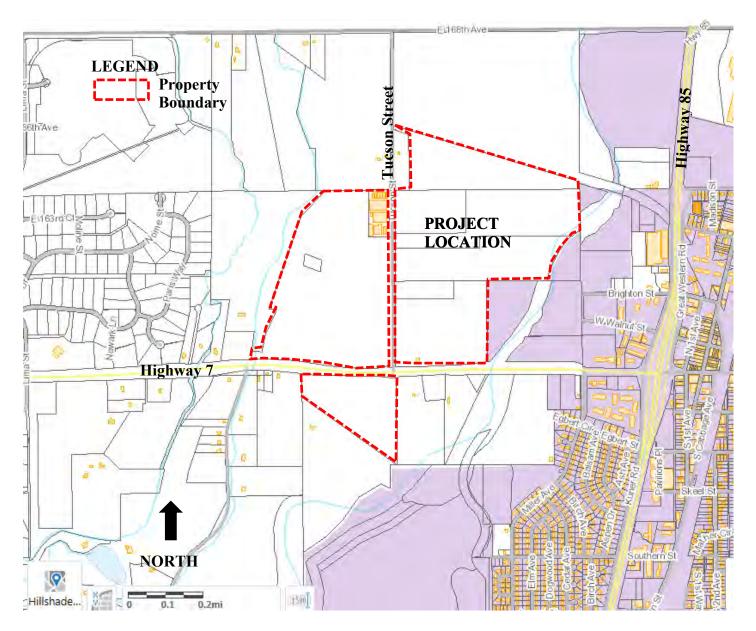
TUCSON SOUTH NOTICE OF NEIGHBORHOOD MEETING June 14, 2018

Date: Thursday, June 28, 2018

Time: 6:00PM to 7:00 PM

Location: Anythink Brighton Library Community Room 327 E. Bridge St. 80601 Brighton, CO

NOTICE is hereby given of a neighborhood meeting/open house for an application to Adams County for a Conditional Use Permit for Gravel Mining. The location of the site is illustrated below. The open house will take place on Thursday, June 28th in the community room at the Anythink Brighton Library, 327 E. Bridge Street, Brighton, Colorado. The applicant will be present to discuss the plans for the project, gather comments and input from the surrounding community and answer questions. Please join us.



Aggregate Industries Tucson South Neighborhood Meeting Talking Points:

6/28/2018

SIGN IN TABLE:

- Welcome
- Please sign in
- Comment sheets available
- Water and Cookies please help yourself
- Purpose of the Meeting
 - o Part of the Adams County Review Process for a conditional Use Site Plan for Gravel mining
 - Here to get input from the neighborhood prior to submittal
 - Open house format maps and AI rep at each station to answer questions
- List of people notified provided by Adams County

OVERVIEW MAP (Barb)

Project Overview

- Proposal to mine sand and gravel on approximately 300 acres
- Context Hwy 7, Tucson Street, River, Hwy 85
- This site went through the Adams County Review Process in 2005, economy prevented AI from mining and the permit expired.
- The new application includes a little different site configuration go over the boundary of the site
- There is an existing Colorado Division of Reclamation, Mining and Safety (CDRMS) permit that will also be amended as part of this process.
- MINING: Remove material and use a combination of trucks and conveyor to transport the material to another AI site located in Weld County for processing and distribution.
- RECLAMATION: Lined municipal water storage and an upland meadow
- Additional details about the mining and reclamation are at the other two stations.

Adams County Review Process - Conditional Use Site Plan for Gravel mining

- Neighborhood Meeting
- Submit Application
- County sends the Application out for review and comment
- Applicant responds to comments
- Complete Staff review
- Planning Commission Public Hearing
- County Commissioners Hearing

Additional Permits

- CDRMS 112 Permit Amendment
- CDPHE Air Pollution Emission Permit (Dust Control)
- CDPHE Discharge permit for site dewatering
- Flood Plain Development Permit Adams County
- CDOT Access Permit for mining on the south side of Tucson Street
- USACE 404 Permit
- Colorado Office of the State Engineer Well Permit

MINING MAP (David)

General Plan: Remove material and use a combination of trucks and conveyor to transport the material to another AI site located in Weld County for processing and distribution.

North of Hwy 7:

- Generally, mine from west to east and south to north.
- All AI equipment will utilize white noise back up alarms, and onsite traffic will use a circular pattern to limit the need for backing up
- Remove topsoil and over burden and stockpile for use in reclamation
- Dewater the site during mining
- Use dozers and loaders to load trucks and/or conveyors to remove the material from the property
- Material to leave the site travelling north: via trucks on Tucson Street or conveyors (exact location of the conveyor route is unknown at this time).
- No crushing or processing on the site, material to be processed at another AI site in Weld County
- Exact hours of operation will be determined through the review process generally daylight to dark Monday through Saturday, equipment maintenance only on Sunday if necessary.
- Estimate 6-10 years to mine the site dependent on the economy and demand for gravel.

South of Hwy 7

- Small area may be wet mined to protect adjacent conservation area, alternative may include dewatering into the conservation area to support the existing vegetation during mining.
- Remove topsoil and stockpile for use in reclamation
- Material to be excavated and loaded into trucks, transported to the north side of Hwy 7 for stockpile/dry out and will leave the site as described above

RECLAMATION MAP (Joel)

General Plan: Create lined, municipal water storage on the north side of Hwy 7, both sides of Tucson Street: Reclaim the portion of the site located south of Hwy 7 to an upland meadow.

- Install Slurry Wall (under-ground clay liner for reservoir) around the perimeter of the property north of HWY 7.
- Describe concurrent reclamation, backfill slopes as excavation is complete
- May seed some stockpiles and reclaimed slopes to a temporary cover crop
- Ongoing weed management throughout the life of the project
- Install additional riparian vegetation, outside the line along the eastern perimeter of the site
- Finished water storage, below grade reservoirs with native grass slopes, no trees or shrubs because of conflicts with the pond liner.
- Area on the south side of Hwy 7 to be backfilled to pre-mining grade and reseeded to an upland meadow
- Overburden from the area on the north side of Hwy 7 will be used to backfill the area on the south side of Hwy 7.

HARTIGAN PROPERTIES LLC 2021 KENTMERE DR LONGMONT CO 80504-2324	MACIAS HELEN R AND MACIAS ROBERT A 16080 OAKLAND CT BRIGHTON CO 80602-8296	RICHFIELD HOMES LLC 428 KIMBARK ST LONGMONT CO 80501-5526
HOOD BESSIE B 98% INT AND HOOD JAMES ALAN 2% INT 12502 E 168TH AVE BRIGHTON CO 80602-6660	MAHNKE GARY AND MAHNKE JUDITH M 5855 W 56TH AVE ARVADA CO 80002-2810	RIOJAS GIOVANNI 474 W EGBERT CIR BRIGHTON CO 80601-2930
INDEPENDENT HOLDING LLC 189 N KUNER RD BRIGHTON CO 80601-2883	MALAYA RE LLC 303 S BROADWAY STE 200-502 DENVER CO 80209-1558	RIVERSIDE VILLAGE OWNERS ASSOCIATION 7501 VILLAGE SQUARE DR STE 205 CASTLE PINES CO 80108-3700
INGRAM MICHAEL AND MCRAE-INGRAM JULIANE 16184 PARIS WAY BRIGHTON CO 80602-8297	MANGUS GERALD H AND MANGUS RAMONA R 16144 PARIS WAY BRIGHTON CO 80602-8297	ROBBINS DAVID C AND DENISE M 455 W EGBERT CIR BRIGHTON CO 80601
J AND J FAMILY TRUST THE 6455 E 167TH AVE BRIGHTON CO 80602-6066	MC CRORY LAND AND CATTLE LLC 16155 HIGHWAY 7 BRIGHTON CO 80602-7648	SAN MARTIN CABALLERO LLC 13110 E 160TH AVE BRIGHTON CO 80601-8209
KELLEY RODNEY D 15891 RIVERDALE RD BRIGHTON CO 80602-8216	MEDLIN WAYNE E AND MEDLIN PATRICIA L 15655 RIVERDALE RD BRIGHTON CO 80602-8216	SANCHEZ CELESTE MAE AND SANCHEZ ANDREW ROMAN 12101 E 160TH AVE BRIGHTON CO 80602
KING HUGH J AND KING PAULA J 251 MILLER AVE BRIGHTON CO 80601-2938	MUHLER WAYNECAND MUHLER KAREN A 185 E PIPER DRIVE ERIE CO 80516	TMP VENTURES LLC 5120 OSAGE ST STE 100 DENVER CO 80221-7825
KUSEK JEWEL AND KUSEK EDWARD ALAN 16164 PARIS WAY BRIGHTON CO 80602-8297	NESS CHRISTOPHER 15861 RIVERDALE RD BRIGHTON CO 80602-8216	TODD CREEK VILLAGE METROPOLITAN DISTRICT 10450 E 159TH CT BRIGHTON CO 80602-7977
LLOYD BRUCE MICHL 12202 E 168TH AVE BRIGHTON CO 80602-6661	PROCHOWNIK LORRAINE H AND PROCHOWNIK MICHAEL R 106 MELODY LANE PLATTEVILLE CO 80651	UNITED POWER INC PO BOX 929 BRIGHTON CO 80602
Lockett Kevin Lee 12302 e 168th ave Brighton co 80602-6627	RANDALL ELIZABETH M 16001 RIVERDALE RD BRIGHTON CO 80602-8304	VOHL MATTHEW AND DENTON MICHELLE 16274 PARIS WAY BRIGHTON CO 80602-8299

209 KUNER LLC 209 N KUNER RD BRIGHTON CO 80601-2822

ADAMS COUNTY 4430 SOUTH ADAMS COUNTY PKWY BRIGHTON CO 80601-8204

ADDISON JOHN AND ADDISON ANITA PO BOX 154 BRIGHTON CO 80601

ADDISON LINDA GERALDINE AND ADDISON RONALD EDWARD 107 6TH STREET/PO BOX 562 DACONO CO 80514

AGGREGATE INDUSTRIES WCR INC 1687 COLE BLVD STE 300 GOLDEN CO 80401-3318

ARMIJO LOUIS J 11830 E 160TH AVE BRIGHTON CO 80602

BAJOREK JACK D AND BAJOREK TERESA L 16320 PARIS WAY BRIGHTON CO 80602-8298

BAKER DELORES R 1/3 INT AND BAKER BRET A/APRIL K 2/3 INT 12420 E 160TH AVE BRIGHTON CO 80602-8221

BARRON ROSE E 51 MILLER AVE BRIGHTON CO 80601-2887

BAUER ERIN F AND BAUER ERIC F 16340 PARIS WAY BRIGHTON CO 80602-8298 BLACK JOSEPH D AND BLACK JENNIFER 16050 OAKLAND CT BRIGHTON CO 80602-8296

BLOOM JACK D AND BLOOM KATHLEEN L 12500 E 160TH AVENUE BRIGHTON CO 80602

BRIGHTON INDUSTRIAL PARK LLC 12501 RIVERDALE RD BRIGHTON CO 80602-8161

BROADVIEW LLC 13200 E 160TH AVE BRIGHTON CO 80602-8224

BROOKS GREASE MANAGEMENT LLC 3104 N ERIE AVE TULSA OK 74115-1900

CITY OF AURORA 15151 E ALAMEDA PARKWAY 5TH FLOOR AURORA CO 80012

CITY OF BRIGHTON 500 S 4TH AVE BRIGHTON CO 80601-3165

CITY OF THORNTON 9500 CIVIC DR THORNTON CO 80229-4326

COLORADO STATE HIGHWAY 2000 S HOLLY ST DENVER CO 80222-4818

D Z AND J LLC 401 N KUNER RD BRIGHTON CO 80601-2841 DE LA CRUZ BRECEDA FERNANDO ARMANDO 16400 TUCSON ST BRIGHTON CO 80601-8302

DELUZIO BRIAN J 16030 OAKLAND CT BRIGHTON CO 80602-8296

DOBBINS CHRISTOPHER LAND DOBBINS JILLIAN S 15851 RIVERDALE RD BRIGHTON CO 80602-8216

GARRETT RONALD L AND LINDA L 475 W EGBERT CIR BRIGHTON CO 80601-2930

GLIDEWELL BRADLEY G AND GLIDEWELL CRISTINA 11981 E 160TH AVENUE BRIGHTON CO 80602

GONZALES CHARLES AND GONZALES LISA 16021 OAKLAND CT BRIGHTON CO 80602-8296

GONZALEZ GALINDO L 13182 GRAPE CT THORNTON CO 80241-2317

GREAVES PAUL W 13200 E 160TH AVE BRIGHTON CO 80601

HART DARRELL LAVERN 15864 RIVERDALE ROAD BRIGHTON CO 80602

HART RONALD J 15840 RIVERDALE RD BRIGHTON CO 80601

WILLIAMS SUSAN 25040 N 44TH AVE PHOENIX AZ 85083-2433	WILSON CARL M 16300 PARIS WAY BRIGHTON CO 80602-8298	WOOD JERRY D 11880 E 160TH AVE BRIGHTON CO 80602-7437

Community & Economic Development Department

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000 Brighton, CO 80601-8204 PHONE 720.523.6800 FAX 720.523.6998

Development Review Team

Date: 3/18/2019

Project Number: RCU2019-00002

Project Name: Aggregate Industries WCR, Inc. - Gravel Mining Area

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for the conditional use permit application. At this time, a resubmittal is required. The Development Review Team review comments may change if you provide different information during the resubmittal. Please provide a written response to each comment provided. A paper and digital copy of all new material is required. All resubmittals shall be deposited with our One-Stop Customer Service Center, and shall include the attached resubmittal form. Please contact the case manager if you have any questions:

Commenting Division: Environmental Analyst Review

Name of Reviewer: Jen Rutter

Date: 03/18/2019

Email: jrutter@adcogov.org

Resubmittal Required

ENV1. Due to the disturbance of land within the Natural Resource Conservation Overlay, a Resources Review is required. See section 4-11-02-03-04 for the methodology and content requirements.

ENV02: The original case for this mine (EXG2004-00004) shows that there were issues raised by several referral agencies, including CPW, CDPHE, City of Brighton, and the County Parks Department. The applicant should contact all of the agencies that responded to the original case and resolve any issues that may remain or have come up in the past 14 years.

ENV03: 3-38-06-06 HOURS OF OPERATION

Mineral excavation, crushing, hauling, loading, sorting or similar operation shall only occur between the hours of 6:00 a.m. to 10:00 p.m. Shorter hours of operation may be imposed in urbanized areas, as part of conditional use approval. Proposed hours of operation are 6:00AM to 10:00PM, seven days per week. These need to be shortened.

Commenting Division:

Planner Review

Name of Reviewer: Greg Barnes

Date: 03/18/2019

Email: gjbarnes@adcogov.org

Resubmittal Required

PLN01: The application is for a Conditional Use Permit within the A-1 zone district with NRCO overlay to allow for excavation use.

PLN02: Prior to the approval of a Conditional Use Permit by the Board of County Commissioners, a reclamation contract shall be signed and approved by the owner or operator and the Colorado Department of Natural Resources. All mining operations shall have a permit to excavate issued by the State of Colorado prior to beginning mineral extraction.

PLN03: Hauling roads within the premises shall be maintained in a reasonably dust free condition. Please elaborate on how frequently these roads will be watered. Provide more detail on the watering plan.

PLN04: Were specific fence details included in your plan?

PLN05: Criterion #4 of the approval criteria for conditional use permits states that the conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. In making this determination, the Planning Commission and the Board of County Commissioners shall find, at a minimum, that the conditional use will not result in excessive traffic generation, noise, vibration, dust, glare, heat, smoke, fumes, gas, odors, or inappropriate hours of operation. Based on the surrounding area, presence of floodplain, and proximity to heavily populated areas into Brighton, there are concerns that this use does not comply.

PLN06: The Adams County Comprehensive Plan has a designated future land use of Agriculture in the area. The subject properties are within the City of Brighton's Growth Area. Policy 2.1 of Adams County Comprehensive Plan identifies a County goal to cooperate with municipal growth areas. Please consult the City of Brighton to address their concerns with this application.

PLN07: the Adams County Mineral Extraction Plan supports compatibility with the Comprehensive Plan. This plan will be used to evaluate your request.

Commenting Division: Development Engineering Review

Name of Reviewer: Matthew Emmens

Date: 03/18/2019

Email: memmens@adcogov.org

Complete

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0327H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, a portion of the project site is located within a special flood hazard delineated area; If construction activity occurs in this area of the project site, A floodplain use permit will be required.

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is not within the County's MS4 Stormwater Permit area. The installation of erosion and sediment control BMPs are expected.

ENG3: If the proposed development generates over 20 vehicles per day a Traffic Impact Study (TIS) is required to be submitted to Adams County for review and approval. At this time, the applicant is required to submit a Trip Generation Analysis, showing the number of vehicle trips per day that will be generated by the proposed conditional use. The Trip Generation Analysis will be used by County staff will determine if a TIS is needed and, if so, the level of TIS required. The Trip Generation Analysis must be prepared by an engineer licensed in the state of Colorado. The applicant will be responsible for constructing any roadway improvements required by the TIS.

ENG4: The developer is responsible for the repair or replacement of any broken or damaged section of curb gutter and sidewalk.

ENG5: If the applicant is proposing to install over 3,000 square feet of impervious area on the project site, a drainage report and drainage plans in accordance to Chapter 9 of the Adams County Development Review Manual, are required to be completed by a registered professional engineer and submitted to Adams County for review and final approval.

Commenting Division: Parks Review

Name of Reviewer: Aaron Clark

Date: 03/08/2019

Email: aclark@adcogov.org

Complete

PRK1: Parks is pleased that the South Parcel, which is adjacent to a property that is preserved by a conservation easement held by Adams County, will be wet-mined. This will help address our concerns regarding the landowner's well on the preserved property.

PRK2: Parks requests a landscape screen between the South Cell property and the neighboring preserved land.

PRK3: What is the timeframe for completion of mining and reclamation of the South Cell? We would like a definite deadline for completion of this phase in order to minimize impacts to the area.

RCU2019-00002 Aggregate Industries – Tucson South Resources Engineering Review Comments

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0327H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the majority of the project site is located within a special flood hazard delineated area; If construction activity occurs in this area of the project site. The applicant is required to obtain a floodplain use permit from Adams County prior to the commencement of working within the floodplain area.

ENG2: A significant portion of the site is located within a designated floodway. Mining and reclamation activities within the floodway area cannot cause a rise in the floodplain elevation.

ENG3: The applicant is required to dedicate an "Open Space and Drainage Easement" along the South Platte River. The easement boundaries will be eastern property boundary of the site/parcels and extending west to the slurry wall. Mining and/or construction activities along the south Plat River will be limited by this easement.

ENG4: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is not within the County's MS4 Stormwater Permit area. The installation of erosion and sediment control BMPs are expected.

ENG5: The developer is responsible for the repair or replacement of any broken or damaged section of curb gutter and sidewalk and/or other County infrastructure (i.e. street asphalt).

ENG6: The applicant is proposing to install an aerial crossing conveyor belt over East 168th Avenue and Tucson St. The County would only permit this type of structure for a maximum period of 6 months. The applicant is encouraged to underground any conveyor structures, if the time period is to exceed 6 months.

ENG7: The traffic study indicates that materials will be moved by truck temporarily until, the conveyor belt system has been installed. The County is very concerned about damage and dirt tracking to the roadways (Tucson and E 168th Ave.). The applicant is required to submit, for review and approval, a roadway maintenance plan. This plan should include all necessary measures for improving the street asphalt section to handle the increased heavy truck traffic a traffic control plan and, clear plan for cleaning the roadway of tracked dirt. The applicant is encouraged to have only crossing of the streets and having onsite access roads for the majority of the hauling operations.

ENG8: Applicant has made a complete engineering submittal. Engineering review documents are being reviewed and, will be sent to the applicant separate from the Conditional Use case comments.

ENG9: The applicant will need to create separate submittal packages for all future Engineering Review submittals. All construction documents need to be full size (24"x36") and all documents (drainage report, traffic study and, construction plans need to be bound/stapled.

Community & Economic Development Department

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4430 South Adams County Parkway 1st Floor, Suite W2000 Brighton, CO 80601-8204 PHONE 720.523.6800 FAX 720.523.6998

Development Review Team Comments

Date: 6/14/2019 Project Number: EXG2019-00001 Project Name: Aggregate Industries WCR, Inc. - Gravel Mining Area

Commenting Division: Environmental Analyst Review 2nd Review Name of Reviewer: Katie Keefe Date: 06/04/2019 Email: Resubmittal Required

Comments attached in separate document.

Commenting Division: Planner Review 2nd Review Name of Reviewer: Greg Barnes Date: 06/14/2019 Email: gjbarnes@adcogov.org Complete

> Eva J. Henry DISTRICT 1

Charles "Chaz" Tedesco

BOARD OF COUNTY COMMISSIONERS edesco Emma Pinter

Steve O'Dorisio

Mary Hodge DISTRICT 5

DISTRICT 3 Page 1 of 6

Commenting Division: Development Engineering Review 2nd Review

Name of Reviewer: Matthew Emmens

Date: 06/14/2019

Email: memmens@adcogov.org

Complete

Review comments and responses emailed to Planner (Greg Barnes) on 6-14-2019 and saved under doc #5950126.

Commenting Division: Development Engineering Review

Name of Reviewer: Matthew Emmens

Date: 03/18/2019

Email: memmens@adcogov.org

Complete

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0327H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, a portion of the project site is located within a special flood hazard delineated area; If construction activity occurs in this area of the project site, A floodplain use permit will be required.

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is not within the County's MS4 Stormwater Permit area. The installation of erosion and sediment control BMPs are expected.

ENG3: If the proposed development generates over 20 vehicles per day a Traffic Impact Study (TIS) is required to be submitted to Adams County for review and approval. At this time, the applicant is required to submit a Trip Generation Analysis, showing the number of vehicle trips per day that will be generated by the proposed conditional use. The Trip Generation Analysis will be used by County staff will determine if a TIS is needed and, if so, the level of TIS required. The Trip Generation Analysis must be prepared by an engineer licensed in the state of Colorado. The applicant will be responsible for constructing any roadway improvements required by the TIS.

ENG4: The developer is responsible for the repair or replacement of any broken or damaged section of curb gutter and sidewalk.

ENG5: If the applicant is proposing to install over 3,000 square feet of impervious area on the project site, a drainage report and drainage plans in accordance to Chapter 9 of the Adams County Development Review Manual, are required to be completed by a registered professional engineer and submitted to Adams County for review and final approval.

Commenting Division: Planner Review Name of Reviewer: Greg Barnes Date: 03/18/2019 Email: gjbarnes@adcogov.org

Resubmittal Required

PLN01: The application is for a Conditional Use Permit within the A-1 zone district with NRCO overlay to allow for excavation use.

PLN02: Prior to the approval of a Conditional Use Permit by the Board of County Commissioners, a reclamation contract shall be signed and approved by the owner or operator and the Colorado Department of Natural Resources. All mining operations shall have a permit to excavate issued by the State of Colorado prior to beginning mineral extraction.

PLN03: Hauling roads within the premises shall be maintained in a reasonably dust free condition. Please elaborate on how frequently these roads will be watered. Provide more detail on the watering plan.

PLN04: Were specific fence details included in your plan?

PLN05: Criterion #4 of the approval criteria for conditional use permits states that the conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. In making this determination, the Planning Commission and the Board of County Commissioners shall find, at a minimum, that the conditional use will not result in excessive traffic generation, noise, vibration, dust, glare, heat, smoke, fumes, gas, odors, or inappropriate hours of operation. Based on the surrounding area, presence of floodplain, and proximity to heavily populated areas into Brighton, there are concerns that this use does not comply.

PLN06: The Adams County Comprehensive Plan has a designated future land use of Agriculture in the area. The subject properties are within the City of Brighton's Growth Area. Policy 2.1 of Adams County Comprehensive Plan identifies a County goal to cooperate with municipal growth areas.

Commenting Division: Environmental Analyst Review Name of Reviewer: Jen Rutter

Date: 03/15/2019

Email: jrutter@adcogov.org

Resubmittal Required

ENV1. Due to the disturbance of land within the Natural Resource Conservation Overlay, a Resources Review is required. See section 4-11-02-03-04 for the methodology and content requirements. (See ENV6. of the Conceptual Review Meeting comments)

Commenting Division: Parks Review Name of Reviewer: Aaron Clark Date: 03/08/2019 Email: aclark@adcogov.org

Complete

PRK1: Parks is pleased that the South Parcel, which is adjacent to a property that is preserved by a conservation easement held by Adams County, will be wet-mined. This will help address our concerns regarding the landowner's well on the preserved property.

PRK2: Parks requests a landscape screen between the South Cell property and the neighboring preserved land.

PRK3: What is the timeframe for completion of mining and reclamation of the South Cell? We would like a definite deadline for completion of this phase in order to minimize impacts to the area.

Commenting Division: Environmental Analyst Review

Name of Reviewer: Jen Rutter

Date: 03/18/2019

Email: jrutter@adcogov.org

Resubmittal Required

ENV02: The original case for this mine (EXG2004-00004) shows that there were issues raised by several referral agencies, including CPW, CDPHE, City of Brighton, and the County Parks Department. The applicant should contact all of the agencies that responded to the original case and resolve any issues that may remain or have come up in the past 14 years.

ENV03: 3-38-06-06 HOURS OF OPERATION

Mineral excavation, crushing, hauling, loading, sorting or similar operation shall only occur between the hours of 6:00 a.m. to 10:00 p.m. Shorter hours of operation may be imposed in urbanized areas, as part of conditional use approval.

Proposed hours of operation are 6:00AM to 10:00PM, seven days per week. These need to be shortened.

Commenting Division: Parks Review 2nd Review Name of Reviewer: Aaron Clark Date: 06/10/2019 Email: aclark@adcogov.org

Complete

PRK1: Please specify how potential impacts to the groundwater and well on the neighboring property will be monitored. Also, Adams County, through the conservation easement, has a substantial interest in the wildlife habitat of the neighboring property, such as the large cottonwood trees on the north boundary. How will impacts to these be monitored/mitigated?

PRK2: Understood that a landscape border on the property to be mined is not an ideal step. Perhaps the addition of new trees on the neighboring property, south of the ditch, would be more appropriate. If this is an option you would consider, we can discuss with landowner (Bloom).

PRK3: Thank you for the information on the timeframe.

Commenting Division: Application Intake 2nd Review Name of Reviewer: Erin McMorries Date: 05/13/2019 Email: Complete

Commenting Division: ROW Review 2nd Review Name of Reviewer: Marissa Hillje Date: 05/31/2019 Email: mhillje@adcogov.org

Resubmittal Required

ROW1: Tucson Street is classified as a collector street per the 2012 Adams County Master Transportation Plan. As such it should have a half right-of-way width of 40 feet (80ft for full street). Submit legal description and exhibit of right of way dedication.

Commenting Division: Environmental Analyst Review 2nd Review

Name of Reviewer: Katie Keefe

Date: 06/04/2019

Email:

Comment

Comments and Conditions submitted to Greg Barnes via email 6/4/19

EXG2019-00001 Aggregate Industries – Tucson South Resources Engineering Review Comments

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0327H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the majority of the project site is located within a special flood hazard delineated area; If construction activity occurs in this area of the project site. The applicant is required to obtain a floodplain use permit from Adams County prior to the commencement of working within the floodplain area.

<u>Applicant Response:</u> A Floodplain Use Permit application was submitted with the initial application for the Conditional Use Permit. Please forward any review comments as soon as possible.

<u>County Response</u>: The Floodplain Use Permit application (Case # WET2019-00019) is currently under review by the County's Floodplain Manager, Greg Labrie. This is a separate review case from the land-use/Condition use case. Any submittals/resubmittals of the WET permit application should be kept separate from the land use and engineering review cases. If the applicant has any questions or concern regarding the WET permit they should contact Mr. Labrie directly. Mr. Labrie can be contacted at 720-523-6824.

This comment is closed.

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is not within the County's MS4 Stormwater Permit area. The installation of erosion and sediment control BMPs are expected.

<u>Applicant Response:</u> An erosion control and grading permit outlining the stormwater BMPs was included with the initial application. The erosion control and grading permit application discussed our rationale for including fixed - location BMPs. However, due to the fluid nature of mining activities, temporary BMPs cannot be shown because the location is dependent on the mining activity at the time. Aggregate Industries will obtain a Stormwater Discharge Permit from the Colorado Department of Health and the Environment prior to commencement of mining on the property. It should be noted that all mining activities are not subject to the requirements of Colorado Discharge Permit System (CDPS) General Permit COR400000 (Construction Stormwater Discharges). Mining activities are subject to the provisions of General Permit COG500000 (Discharges from Sand and Gravel Mining and Processing). Aggregate Industries will comply with the provisions of COG500000.

<u>County Response</u>: The erosion and sediment control plans have been received and, are a part of the Engineering Review. All review comments for the erosion and sediment control plans will be included in the Engineering review comments.

This comment closed.

ENG3: If the proposed development generates over 20 vehicles per day a Traffic Impact Study (TIS) is required to be submitted to Adams County for review and approval. At this time, the applicant is required to submit a Trip Generation Analysis, showing the number of vehicle trips per day that will be generated by the proposed conditional use. The Trip Generation Analysis will be used by County staff will determine if a TIS is needed and, if so, the level of TIS required. The Trip Generation Analysis must be prepared by an engineer licensed in the state of Colorado. The applicant will be responsible for constructing any roadway improvements required by the TIS.

<u>Applicant Response:</u> A Transportation Impact Study was submitted with the initial application. Please forward any review comments as soon as possible.

<u>County Response</u>: The Transportation Impact Study has been received and, are a part of the Engineering Review. All review comments for the TIS will be included in the Engineering review comments.

This comment closed.

ENG4: The developer is responsible for the repair or replacement of any broken or damaged section of curb gutter and sidewalk.

<u>Applicant Response:</u> Acknowledged. We are not aware of any curb, gutter or walk near this site; however, Aggregate Industries will enter into a Road Maintenance Agreement with Adams County prior to commencement of mining on the property.

<u>County Response</u>: The original comment should have said "any County infrastructure" instead of " section of curb, gutter and walk". However, this issue will be addressed in the roadway maintenance agreement that the applicant will be required to enter into with the County. A draft copy of that document is currently being prepared by the County and will be sent to the applicant when it becomes available. Creation and processing of the roadway maintenance agreement is a part of the Engineering Review case.

This comment is closed.

ENG5: If the applicant is proposing to install over 3,000 square feet of impervious area on the project site, a drainage report and drainage plans in accordance to Chapter 9 of the Adams County Development Review Manual, are required to be completed by a registered professional engineer and submitted to Adams County for review and final approval.

Applicant Response: An On-Site Grading and Drainage application was submitted with the initial application materials. Please forward your review comments as soon as possible.

<u>County Response</u>: The Engineering Review case (case # EGR2019-00009) is currently under review. The EGR case is a separate case than the land use case and the floodplain use permit case. When submitting/resubmitted the engineering review documents, the submittal should be kept separate from the land use or floodplain use documents. Submittals/resubmittals of engineering review documents must be made in hard copy only.

This comment is closed.

EXG2019-00001: Aggregate Industries, Tucson South CUP ENV Review Comments Reviewer: Katie Keefe, Environmental Program Manager Date: 06/03/2019

Comments

ENV1. Rather than blanket herbicidal treatment of topsoil for backfill, could topsoil overburden from specific locations identified as containing List A and/or B noxious weeds be segregated from general overburden stockpiles for treatment or disposal, to preclude site-wide herbicidal application?

ENV2. Implement integrated weed management plan to mitigate noxious weeds during reclamation and post-reclamation maintenance activities utilizing BMPs that are protective of wetland and riparian aquatic habitats. No response necessary.

ENV3. Recommend amending topsoil cover with certified compost to promote revegetation and improve water retention and lower reliance on fertilizer application within reclaimed areas. No response necessary.

ENV4. If perimeter fencing is planned for Reservoir B, recommend installing wildlife-appropriate fencing that preserves visual aesthetic of adjacent natural area reserve utilized by the public.

ENV5. Aggregate Industries has presented conveyor technology slated to commence in late 2020 or after Phase 1 construction, as the primary mitigation measure for noise, air quality, and traffic impacts. Identify the specific BMPs proposed to mitigate dust and noise impacts during Phase 1 prior to conveyor startup.

Recommended Conditions Precedent

1. AI shall provide copy of the Reclamation Plan as submitted to DRMS.

2. AI shall provide a copy of CWA 404 permit issued by USACE.

3. AI shall provide copy of 401 Certification from Water Quality Control Division if Individual 404 Permit is required by USACE or WQCD makes such determination based upon public hearing results or other information that 401 Certification is required.

4. Al shall notify County within 2 weeks of receiving landowner complaint pertaining to ground water conditions.

5. AI shall certify that agreements with adjacent landowners regarding groundwater well monitoring are finalized.

6. AI shall provide Wildlife Survey Reports for burrowing owls conducted immediately prior to the start of clearing and grubbing operations and for raptors if construction will occur between October 15th and July 31st.

7. AI shall provide a copy of initial air quality testing and sampling results at the time of submittal to CDPHE – Air Pollution Control District.

8. AI shall notify Adams County- CEDD upon Notice of Startup form submission to APCD.

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Development Review Team Comments

Date: 6/14/2019 Project Number: EXG2019-00001 Project Name: Aggregate Industries WCR, Inc. - Gravel Mining Area

Commenting Division: Environmental Analyst Review 2nd Review Name of Reviewer: Katie Keefe Date: 06/04/2019 Email: Resubmittal Required

Comments attached in separate document.

Commenting Division: Planner Review 2nd Review Name of Reviewer: Greg Barnes Date: 06/14/2019 Email: gjbarnes@adcogov.org Complete

> Eva J. Henry DISTRICT 1

Charles "Chaz" Tedesco

BOARD OF COUNTY COMMISSIONERS edesco Emma Pinter

Steve O'Dorisio

Mary Hodge DISTRICT 5

DISTRICT 3 Page 1 of 6

Commenting Division: Development Engineering Review 2nd Review

Name of Reviewer: Matthew Emmens

Date: 06/14/2019

Email: memmens@adcogov.org

Complete

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PLN05: Criterion #4 of the approval criteria for conditional use permits states that the conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. In making this determination, the Planning Commission and the Board of County Commissioners shall find, at a minimum, that the conditional use will not result in excessive traffic generation, noise, vibration, dust, glare, heat, smoke, fumes, gas, odors, or inappropriate hours of operation. Based on the surrounding area, presence of floodplain, and proximity to heavily populated areas into Brighton, there are concerns that this use does not comply.

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Date: 03/15/2019

Email: jrutter@adcogov.org

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Resubmittal Required

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ENV03: 3-38-06-06 HOURS OF OPERATION

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Complete

PRK1: Please specify how potential impacts to the groundwater and well on the neighboring property will be monitored. Also, Adams County, through the conservation easement, has a substantial interest in the wildlife habitat of the neighboring property, such as the large cottonwood trees on the north boundary. How will impacts to these be monitored/mitigated?

PRK2: Understood that a landscape border on the property to be mined is not an ideal step. Perhaps the addition of new trees on the neighboring property, south of the ditch, would be more appropriate. If this is an option you would consider, we can discuss with landowner (Bloom).

PRK3: Thank you for the information on the timeframe.

Commenting Division: Application Intake 2nd Review Name of Reviewer: Erin McMorries Date: 05/13/2019 Email: Complete

Commenting Division: ROW Review 2nd Review Name of Reviewer: Marissa Hillje Date: 05/31/2019 Email: mhillje@adcogov.org

Resubmittal Required

ROW1: Tucson Street is classified as a collector street per the 2012 Adams County Master Transportation Plan. As such it should have a half right-of-way width of 40 feet (80ft for full street). Submit legal description and exhibit of right of way dedication.

Commenting Division: Environmental Analyst Review 2nd Review

Name of Reviewer: Katie Keefe

Date: 06/04/2019

Email:

Comment

Comments and Conditions submitted to Greg Barnes via email 6/4/19

EXG2019-00001 Aggregate Industries – Tucson South Resources Engineering Review Comments

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0327H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the majority of the project site is located within a special flood hazard delineated area; If construction activity occurs in this area of the project site. The applicant is required to obtain a floodplain use permit from Adams County prior to the commencement of working within the floodplain area.

<u>Applicant Response:</u> A Floodplain Use Permit application was submitted with the initial application for the Conditional Use Permit. Please forward any review comments as soon as possible.

<u>County Response</u>: The Floodplain Use Permit application (Case # WET2019-00019) is currently under review by the County's Floodplain Manager, Greg Labrie. This is a separate review case from the land-use/Condition use case. Any submittals/resubmittals of the WET permit application should be kept separate from the land use and engineering review cases. If the applicant has any questions or concern regarding the WET permit they should contact Mr. Labrie directly. Mr. Labrie can be contacted at 720-523-6824.

This comment is closed.

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is not within the County's MS4 Stormwater Permit area. The installation of erosion and sediment control BMPs are expected.

<u>Applicant Response:</u> An erosion control and grading permit outlining the stormwater BMPs was included with the initial application. The erosion control and grading permit application discussed our rationale for including fixed - location BMPs. However, due to the fluid nature of mining activities, temporary BMPs cannot be shown because the location is dependent on the mining activity at the time. Aggregate Industries will obtain a Stormwater Discharge Permit from the Colorado Department of Health and the Environment prior to commencement of mining on the property. It should be noted that all mining activities are not subject to the requirements of Colorado Discharge Permit System (CDPS) General Permit COR400000 (Construction Stormwater Discharges). Mining activities are subject to the provisions of General Permit COG500000 (Discharges from Sand and Gravel Mining and Processing). Aggregate Industries will comply with the provisions of COG500000.

<u>County Response</u>: The erosion and sediment control plans have been received and, are a part of the Engineering Review. All review comments for the erosion and sediment control plans will be included in the Engineering review comments.

This comment closed.

ENG3: If the proposed development generates over 20 vehicles per day a Traffic Impact Study (TIS) is required to be submitted to Adams County for review and approval. At this time, the applicant is required to submit a Trip Generation Analysis, showing the number of vehicle trips per day that will be generated by the proposed conditional use. The Trip Generation Analysis will be used by County staff will determine if a TIS is needed and, if so, the level of TIS required. The Trip Generation Analysis must be prepared by an engineer licensed in the state of Colorado. The applicant will be responsible for constructing any roadway improvements required by the TIS.

<u>Applicant Response:</u> A Transportation Impact Study was submitted with the initial application. Please forward any review comments as soon as possible.

<u>County Response</u>: The Transportation Impact Study has been received and, are a part of the Engineering Review. All review comments for the TIS will be included in the Engineering review comments.

This comment closed.

ENG4: The developer is responsible for the repair or replacement of any broken or damaged section of curb gutter and sidewalk.

<u>Applicant Response:</u> Acknowledged. We are not aware of any curb, gutter or walk near this site; however, Aggregate Industries will enter into a Road Maintenance Agreement with Adams County prior to commencement of mining on the property.

<u>County Response</u>: The original comment should have said "any County infrastructure" instead of " section of curb, gutter and walk". However, this issue will be addressed in the roadway maintenance agreement that the applicant will be required to enter into with the County. A draft copy of that document is currently being prepared by the County and will be sent to the applicant when it becomes available. Creation and processing of the roadway maintenance agreement is a part of the Engineering Review case.

This comment is closed.

ENG5: If the applicant is proposing to install over 3,000 square feet of impervious area on the project site, a drainage report and drainage plans in accordance to Chapter 9 of the Adams County Development Review Manual, are required to be completed by a registered professional engineer and submitted to Adams County for review and final approval.

<u>Applicant Response:</u> An On-Site Grading and Drainage application was submitted with the initial application materials. Please forward your review comments as soon as possible.

<u>County Response</u>: The Engineering Review case (case # EGR2019-00009) is currently under review. The EGR case is a separate case than the land use case and the floodplain use permit case. When submitting/resubmitted the engineering review documents, the submittal should be kept separate from the land use or floodplain use documents. Submittals/resubmittals of engineering review documents must be made in hard copy only.

This comment is closed.

ENG6: The County is very concerned about the truck traffic that will be generated by this development, prior to the conveyor belt system being installed. The impact to the street pavement sections, traffic operations at all of the intersections and, vehicles tracking dirt and mud are the three main concerns. The applicant will need to create a roadway operations manual for this project. The manual must include mitigation measure for all of the County's concerns and be approved prior to the commencement of operations.

ENG7: To address the repair of damaged roadway section, per Comment ENG6 above, Aggregate Industries will be required to enter into a Road Maintenance Agreement with Adams County to assure compliance with Adams County standards. The template for this agreement is currently being reviewed and will be forward to the applicant once approved. EXG2019-00001: Aggregate Industries, Tucson South CUP ENV Review Comments Reviewer: Katie Keefe, Environmental Program Manager Date: 07/21/19

All previous comments approved and closed.

Recommended Conditions Precedent

1. AI shall obtain and submit to the County all required and approved DRMS permits prior to commencing any mining activities at the site.

2. AI shall provide copy of the Reclamation Plan as submitted to DRMS.

3. AI shall provide a copy of CWA 404 permit as required and issued by USACE.

4. AI shall provide copy of 401 Certification from Water Quality Control Division if Individual 404 Permit is required by USACE or WQCD makes such determination based upon public hearing results or other information that 401 Certification is required.

5. AI shall submit final groundwater well monitoring plan as approved by DRMS.

6. Al shall provide Wildlife Survey Reports for burrowing owls conducted immediately prior to the start of clearing and grubbing operations and for raptors if construction will occur between October 15th and July 31st.

7. AI shall provide a copy of baseline air quality testing and sampling results at the time of submittal to CDPHE – Air Pollution Control District.

8. AI shall notify Adams County-CEDD, upon Notice of Startup form submission to APCD.

9. A Conditional Use Permit for inert fill operations shall be obtained from Adams County prior to commencing fill and reclamation operations.



Cily of Brighton Community Development 500 South 4th Avenue Brighton, CO 80601 303.655.2059 Office www.brightonco.gov

March 12, 2019

Adams County Community and Economic Development Department 4430 S. Adams County Pkwy. Suite W200A Brighton, CO 80601

Re: Aggregate Industries Mining (Case No. RCU2019-00002)

Mr. Barnes,

On behalf of the City of Brighton, I appreciate the opportunity to comment on the proposed conditional use permit for the Aggregate Industries Mining project.

The City of Brighton would appreciate the opportunity to work with Adams County on a way to mitigate any impacts on the City's infrastructure and traffic and on the health, safety, and welfare of the citizens of Brighton and the surrounding area. Some of the most significant impacts to Brighton will be regarding trucking traffic and trucking routes, lighting, noise, visual impacts, and hours of operation. Additionally, the City would like to understand how long the mining operations will take to complete, when reclamation of the sites will occur, and how the sites will be reclaimed.

Trucking and traffic routes:

The City would like to ensure that all trucking and other vehicular traffic, related to the mining operations, utilize routes that are removed from Brighton's city roadway network as much as possible, especially Hwy 7 east of Tucson Street. Brighton requests that traffic associated with the mining operations use Tucson Street and Baseline Road to US 85 as much as possible, in order to minimize impacts to Brighton's roadway infrastructure and traffic.

Hours of Operation:

Brighton would like to ensure that the hours of operation are limited, to reduce any negative impacts, especially traffic and noise impacts. The City would like to limit hours of operation to between 7:00 am to 7:00 pm on weekdays and between 8:00 am and 5:00 pm on weekends and holidays.

Lighting:

The City requests that all lighting on the site be contained completely on site, with cut-off lighting fixtures, to prevent light from spilling off-site. In addition, the City requests that light poles be no higher than 35-feet tall within 300' of an adjacent roadway and no higher than 50-feet tall at the interior of the site. The City also requests that the lighting levels would be limited to no more than 15 lumens per

square foot in any specific spot, and no more than 100,000 lumens per gross acre (average of 2.3 lumens per gross acre), measured from between three (3) and five (5) feet above finished grade.

Noise and visual impacts:

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The City would like to ensure that all processing of the aggregate materials be moved with conveyor equipment (rather than trucks or other vehicles) to the existing North Tucson Mine site, located along Baseline Road (WCR 2). This will reduce traffic, noise, and other impacts at the south site, located along Highway 7 and the main gateway to the City of Brighton.

Landscaping and Reclamation:

In order to reduce the visual and other impacts to the City of Brighton, the City requests that all mining operations be setback 50-feet from Tucson Street and Hwy 7 in order to accommodate landscaped berms and future roadway improvement/expansion projects.

The City previously negotiated the following conditions during the mining application in 2011. We would appreciate your help in assuring that these conditions be placed on the current conditional use through the county. The City requests that the County and the operators, Aggregate Industries (AI) meet with City staff to establish a reclamation plan, including a landscaping and trails plan prior to approval of the conditional use. More specifically, the City requests the following:

- That landscaping be installed on the site during the first spring planting season, after all necessary
 permits for the mining are obtained.
- That, prior to installing the landscaping, AI work with City staff to determine the location of future trails along the Hwy 7 and Tucson Street corridors, and that AI install landscaping along these roadways in a location that will ensure that a trail can be installed in the future, without disturbing the trees and shrubs and other landscaping.
- That the landscaping shall have a native, irregular character to compliment the riparian corridor and shall include native and adaptive species.
- That AI install an irrigation system to ensure that the plantings are established, and that AI
 maintain the plantings during the mining and reclamation process.
- That AI shall install a grass berm, a minimum of 12-feet tall at the southwest corner of the property to help screen the line of sight to the north, into the mine, from Hwy 7. This berm shall be removed during completion of the reclamation on the site.

Thank you, again, for the opportunity to comment on the proposed project. We appreciate the opportunity to work with the County's staff and Aggregate Industries to ensure the needs and concerns of all parties are adequately addressed.

Cordially,

abon Bradford AICP

Planning Manager





Parks and Wildlife

Department of Natural Resources

Northeast Regional Office 6060 Broadway Denver, CO 80216 P 303.291.7227 | F 303.291.7114

March 7, 2019

Mr. Greg Barnes Adams County Community & Economic Development Department 4430 South Adams County Parkway, 1st Floor, Suite W2000A Brighton, CO 80601-8218

Re: Aggregate Industries Mining, RCU2019-00003

Dear Mr. Barnes:

Thank you for the opportunity to comment on the proposed conditional use permit for the Aggregate Industries Mining, for extraction and disposal of gravel in an Agricultural-1 zone district. The various parcels that are covered by the conditional use permit are owned by Aggregate Industries Mining, City of Thornton and City of Aurora, and comprise a total of approximately 415-acres. Tuscon Street and Highway 7 bisect the proposed permitted property. The South Platte River intertwines with parts of the eastern portion of the property. The property is bounded on the north by Adams County-Weld County line, various parcels of private and local government properties, and by Highway 7. The property is bounded on the east by various City of Brighton properties and private properties. The southern boundary of the property is a mixture of Highway 7, various private properties, City of Brighton, and the South Platte River. The western boundary of the property.

The mission of Colorado Parks and Wildlife (CPW) is to perpetuate the wildlife resources of the state, to provide a quality state parks system, and to provide enjoyable and sustainable outdoor recreation opportunities that educate and inspire current and future generations to serve as active stewards of Colorado's natural resources. Our goal in responding to land use proposals such as this is to provide complete, consistent, and timely information to all entities who request comment on matters within our statutory authority. Current CPW policy directs our efforts towards proposals that will potentially have high impacts to wildlife and wildlife habitat. The emphasis of CPW's concerns is on large acreages, critical habitats, wildlife diversity, and impacts to species of special concern, or those that are state or federally endangered.

CPW would expect to find small passerine birds, wild turkeys, and small mammals, including possibly black-tailed prairie dogs, within the property boundaries or in the vicinity of the property. Due to the low availability of undeveloped habitat surrounding the site, impacts of the development, as proposed, may be characterized as minimal.

If heavy equipment that was used in another stream, river, lake, reservoir, pond, or wetland is used near any water source, including the South Platte River or Brantner Ditch, one of the following disinfection practices is necessary prior to construction to prevent the spread of



New Zealand mud snails, zebra mussels, quagga mussels, whirling disease, and any other aquatic invasive species into this drainage. These practices are also necessary after project completion, prior to this equipment being used in another stream, river, lake, reservoir, pond, or wetland:

- Remove all mud, plants, debris from equipment (tracks, turrets, buckets, drags, teeth, etc.) and spray/soak equipment in a 1:15 solution of Quat 4 or Super HDQ Neutral institutional cleaner and water. Keep equipment moist for at least 10 minutes **OR**
- Remove all mud, plants and debris from equipment (tracks, turrets, buckets, drags, teeth, etc.) and spray/soak equipment with water greater than 140 degrees F for at least 10 minutes.
- Clean hand tools, boots, and any other equipment that will be used in the water with one of the above options as well.
- Do not move water from one water body to another.
- Be sure equipment is dry before use.

If prairie dog towns are present on the sites or if prairie dogs establish themselves on the property prior to development, CPW recommends that a burrowing owl survey be conducted prior to earth moving. Burrowing owls live on flat, treeless land with short vegetation, and nest underground in burrows dug by prairie dogs, badgers, and foxes. These raptors are classified as a state threatened species and are protected by state and federal laws, including the Migratory Bird Treaty Act.

These laws prohibit the killing of burrowing owls or disturbance of their nests. Therefore, if any earth-moving will occur between March 15th and October 31st, a burrowing owl survey should be performed. Guidelines for performing a burrowing owl survey may be obtained from District Wildlife Manager Jordan Likes, by visiting the CPW website at http://cpw.state.co.us or by calling the CPW Northeast Region Office at (303) 291-7227.

Please contact us if we can be of assistance in implementing your proposal to minimize negative impacts and maximizing potential enhancements to support living with wildlife in our community. If you have any further questions, please contact District Wildlife Manager Jordan Likes at (303) 291-7135.

Sincerely,

Crystal Chick

Crystal Chick Area Wildlife Manager

Cc: M. Leslie, T. Kroening, J. Likes

From: Sent: To: Cc: Subject: Likes - DNR, Jordan [jordan.likes@state.co.us] Monday, May 20, 2019 1:30 PM Greg Barnes Chick - DNR, Crystal For Review: Aggregate Industries Tucson Site (EXG2019-00001)

Hi Greg,

After reviewing the resubmitted materials that Aggregate Industries submitted to you for their Tucson Site (EXG2019-00001), CPW does not have any additional comments to provide on this proposed mining site. Thank you and let us know if there are further questions or concerns regarding this proposed mining site.

Jordan Likes District Wildlife Manager Westminster - Area 5



P 303.291.7135 | F 303.291.7114 6060 Broadway, Denver, CO 80216 jordan.likes@state.co.us | cpw.state.co.us



From:	Hackett - CDPHE, Sean [sean.hackett@state.co.us]
Sent:	Friday, March 08, 2019 10:43 AM
То:	Greg Barnes
Subject:	Re: For Review: Aggregate Industries

Good morning, Mr. Barnes:

The Colorado Department of Public Health and Environment (CDPHE) appreciates the opportunity to comment on this proposal. Please note that the following requirements are not intended to be an exhaustive list and it is ultimately the responsibility of the applicant to comply with all applicable rules and regulations.

In Colorado, most businesses that are or will be emitting air pollutants above certain levels are required to report those emissions to the Division by completing an Air Pollutant Emissions Notice (APEN). This is a two in one form for reporting air emissions and to obtain an air permit, if a permit will be required. While only businesses that exceed the AQCC reporting thresholds are required report their emissions, all businesses - regardless of emission amount - must always comply with the Colorado AQCC regulations.

In general, an APEN is required when uncontrolled actual emissions for an emission point or group of emission points exceed the following defined emission thresholds:

Table 1		
APEN Thresholds		
Pollutant Category	UNCONTROLLED ACTUA	L EMISSIONS
	Attainment Area	Non-attainment Area
Criteria Pollutant	2 tons per year	1 ton per year
Lead	100 pounds per year	100 pounds per year
Non-Criteria Pollutant	250 pounds per year	250 pounds per year

Uncontrolled actual emissions do not take into account any pollution control equipment that may exist.

This project may require a mining operations APEN.

Additional information on APENs and air permits can be found

at <u>https://www.colorado.gov/pacific/cdphe/apen-and-permitting-guidance.</u> This site explains the process to obtain APENs and air quality permits, as well as information on calculating emissions, exemptions, and additional requirements. You may also view AQCC Regulation Number 3 at <u>https://www.colorado.gov/pacific/cdphe/aqcc-regs</u> for the complete regulatory language. Sincerely,

Sean Hackett Energy Liaison

P 303.692.3662 F 303.691.7702
4300 Cherry Creek Drive South, Denver, CO 80246
sean.hackett@state.co.us www.colorado.gov/cdphe

On Tue, Feb 19, 2019 at 12:26 PM Greg Barnes <<u>GJBarnes@adcogov.org</u>> wrote:

The Adams County Planning Commission is requesting comments on the following request: **conditional use permit for extraction and disposal use in the Agricultural-1 (A-1) zone district.** This request is located at on the eastern and western sides of Tucson Street between East 168th Avenue and State Highway 7. The Assessor's Parcel Numbers are: 0157101000016, 0157101000017, 0157101000018, 0157101000033, 0157101000034, 0157101000035, 0157101002001, 0157101100002, 0157101300001, 0157101300002, and 0157111200006.

Applicant Information:

×

Aggregate Industries Mining

Joel Bolduc

1687 Cole Blvd, Suite 300

Golden, CO 80401

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216, or call (720) 523-6800 by 03/12/2019 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to <u>GJBarnes@adcogov.org</u>.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you for your information.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases. It may take 48 hours (from the time of this e-mail) for the full application packet to be posted to our website.

Thank you for your review of this case.



Planner II, Community and Economic Development Dept.

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

From: Sent:	Loeffler - CDOT, Steven [steven.loeffler@state.co.us] Wednesday, March 13, 2019 9:00 AM
То:	Greg Barnes
Cc:	Bradley Sheehan - CDOT
Subject:	RCU2019-0002, Aggregate Industries

Greg,

I have reviewed the request for CUP for extraction and disposal use by Aggregate Industries in the A-1 zone district on property located on the east and west sides of Tucson Street between E. 168th Ave. ad State Highway 7 and also south of Hwy 7 in the same area and have the following comments:

- State Highway Access Permits will be required for access to State Highway 7. Contact for those permits is Steve Loeffler who can be reached at 303-757-9891 or <u>steven.loeffler@state.co.us</u>
- Any work in the State Highway Right-of-Way will require a permit from our office. This includes, but is not limited to, survey work, utility work, or traffic control operations. Permits are applied for through our website at the following link: <u>https://www.codot.gov/business/permits/utilitiesspecialuse/online-permit-application</u>
- We will want to review a drainage study to ensure there is no negative impact to the State Highway by this operation.

Thank you for the opportunity to review this referral.

Steve Loeffler

Permits Unit



P 303.757.9891 | F 303.757.9886 2829 W. Howard Pl. 2nd Floor, Denver, CO 80204 steven.loeffler@state.co.us | www.codot.gov | www.cotrip.org

		STA	TE OF COLORAD)0
Traffic & Safety Region 1		CDOT	COLORADO	
2829 W. Howard P	Place	CO	Department of Transportation	on
Denver, Colorado				
Project Name:	Aggregate Indust	tries Tucson South		
		Highway:	Mile Marker:	
Print Date:	6/6/2019	007	76.279	
Drainage Comments:				
from SH 7. The Environmental, t	South Area drains o make sure she h tabilization of the s	toward SH 7. I have en as no issues with sedim	t and West Areas drain away nailed Cassie Aymami, in lent control during mining ons are finished since the Sc	-



March 7, 2019

Greg Barnes Adams County Community and Economic Development 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601

RE: Aggregate Industries Mining, RCU2019-00002 TCHD Case No. 5460

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the Conditional Use Permit for the extraction and disposal use in the Agricultural-1 (A-1) zone district located at the eastern and western sides of Tucson Street between East 168th Avenue and State Highway 7. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD the following comments.

Stormwater Impacts on Nearby Waterway

The gravel mining facility requires a permit for sand and gravel mining through the Colorado Department of Public Health and Environment (CDPHE). According to CDPHE records (<u>https://www.colorado.gov/pacific/cdphe/clean-water-active-permits</u>) there is no existing active permit on file. The general permit requirements can be found at

file://srvfsvm01/data/EH/82 Land%20use/Land%20Use%20Case%20Reviews/Referen ce%20Materials/Plan%20Review%20for%20Land%20Use/Douglas%20County/4966 S and%20and%20Gravel%20Mining-General%20Permit%20Form-WQ PER COG500000 Permit.pdf

On-Site Wastewater Treatment System (OWTS) – Abandonment

Proper wastewater management promotes effective and responsible water use, protects potable water from contaminants, and provides appropriate collection, treatment, and disposal of waste, which protects public health and the environment. From the site plan, it appears the existing structures on-site will be demolished. Our records indicate the presence of an On-Site Wastewater Treatment System (OWTS) on the subject property. The existing OWTS shall be abandoned in accordance with Regulation No. O-17, Section 6.8. TCHD must be notified in writing once the system has been properly abandoned. For more information, or to submit the notification, the applicant may contact our Commerce City office by phone at 303-288-6816 or in-person at 4201 E. 72nd Avenue. More information is available at <u>http://www.tchd.org/269/Septic-Systems</u>.

Aggregate Industries Mining March 7, 2019 Page 2 of 2

Fugitive Dust

Exposure to air pollution is associated with a number of health problems including asthma, lung cancer, and heart disease. The Colorado Department of Public Health and Environment Air Pollution Control Division (APCD) regulates air emissions, including fugitive dust. Control measures may be necessary to minimize the amount of fugitive emissions from site activities including haul roads, stockpiles, and erosion. The applicant shall contact the APCD, at (303) 692-3100 for more information. Additional information is available at https://www.colorado.gov/pacific/cdphe/categories/services-and-industry.

Wastewater – Portable Toilets for Onsite Personnel

Sewage has the potential to carry illness-causing organisms and must be handled properly to avoid spreading disease. Information regarding wastewater is not included in the application. If the applicant is proposing to use portable restrooms for onsite personnel, TCHD has no objection to the use of portable toilets, provided the units are properly cleaned and maintained. TCHD recommends that a portable hand sink be provided near the restrooms.

Please feel free to contact me at 720-200-1585 or aheinrich@tchd.org if you have any questions.

Sincerely,

Andle

Annemarie Heinrich, MPH/MURP Land Use and Built Environment Specialist

cc: Sheila Lynch, Monte Deatrich, Michael Weakley, TCHD



May 22, 2019

Greg Barnes Adams County Community and Economic Development 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601

RE: Aggregate Industries Tucson Site, EXG2019-00001 (RCU2019-00002) TCHD Case No. 5626

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the resubmittal of the Conditional Use Permit for the extraction and disposal use in the Agricultural-1 (A-1) zone district located at the eastern and western sides of Tucson Street between East 168th Avenue and State Highway 7. Tri-County Health Department (TCHD) staff previously reviewed the application for the Conditional Use Permit and provided comments in a letter dated March 7, 2019. TCHD received a response from the applicant, dated May 10, 2019, and the applicant has responded to our comments satisfactorily.

Please feel free to contact me at 720-200-1585 or aheinrich@tchd.org if you have any questions.

Sincerely,

Annemarie Heinrich, MPH/MURP Land Use and Built Environment Specialist

cc: Sheila Lynch, Monte Deatrich, TCHD

Right of Way & Permits



1123 West 3rd Avenue Denver, Colorado 80223 Telephone: **303.571.3306** Facsimile: 303. 571. 3284 donna.l.george@xcelenergy.com

March 12, 2019

Adams County Community and Economic Development Department 4430 South Adams County Parkway, 3rd Floor, Suite W3000 Brighton, CO 80601

Attn: Greg Barnes

Re: Aggregate Industries Mining, Case # RCU2019-00002

Public Service Company of Colorado's (PSCo) Right of Way and Permits Referral Desk has determined there is a *possible* conflict with the above captioned project. Public Service Company has an existing electric transmission line along the westerly property line of Water Storage Reservoir B. <u>Any activity including grading, proposed landscaping, erosion control or similar activities</u> involving our existing right-of-way will require Public Service Company approval. Encroachments across Public Service Company's easements must be reviewed for safety standards, operational and maintenance clearances, liability issues, and acknowledged with a Public Service Company License Agreement to be executed with the property owner. PSCo is requesting that, prior to any final approval of the development plan, it is the responsibility of the property owner/developer/contractor to contact Mike Diehl, Siting and Land Rights Manager at 303-571-7260 or michael.diehl@xcelenergy.com to have this project assigned to a Land Rights Agent for development plan review and execution of a License Agreement.

PSCo also owns and operates existing natural gas distribution facilities along Tuscon Street and along both sides of 168th Avenue / Highway 7 / Baseline Road. As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center** at 1-800-922-1987 to have all utilities located prior to any construction.

Should the project require any new natural gas service or modification to existing facilities, the property owner/developer/contractor must complete the **application process** via FastApp-Fax-Email-USPS (go to:

https://www.xcelenergy.com/start, stop, transfer/installing and connecting service/). The Builder's Call Line is 1-800-628-2121 and the Mapping Hotline is 303-571-6636.

Donna George Right of Way and Permits Public Service Company of Colorado / Xcel Energy Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com

From:	Craig, James E [james.e.craig@xcelenergy.com]
Sent:	Wednesday, May 29, 2019 5:11 PM
To:	Greg Barnes
Cc:	Braasch, William A; Joel Bolduc
Subject:	Aggregate Industies Mining Case No RCU2019-00002

Greg – we have reviewed the conditional use permit for Aggregate Industries Mining Case No RCU2019-00002 and we have no objection to these plans.

Please let me know if you have other questions.

James E Craig

Xcel Energy | Responsible By Nature Contract Agent - Siting & Land Rights 1800 Larimer Street, Suite 400, Denver, CO 80202 P: 303.571.7291 C: 303.507.3311 F: 303.294.2088 E: james.e.craig@xcelenergy.com

<u>XCELENERGY.COM</u> Please consider the environment before printing this email. September 18, 2019

Adams County Planning & Zoning Commission 4430 South Adams County Parkway Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2019-00001Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed reservoir to provide water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Artina Campbell 10437 Nucla Street Commerce City CO 80022 720-530-3586

City of Aurora





Water Administration 15151 E. Alameda Parkway, Suite 3600 Aurora, Colorado 80012 303.739.7370

August 5, 2019

Adams County Planning & Zoning Commission 4430 South Adams County Parkway Brighton, CO 80601-8204

Dear Adams County Planning Commissioners,

Aurora Water supports the proposed permit, EXG2019-00001Aggregate Industries WCR, Inc. -Gravel Mining Area, because the project offers Aurora's community a much-needed water reservoir and will provide the region with an important source of building materials that are the building blocks of our region's growth.

Planning for the City of Aurora's future growth requires Aurora Water to determine how to best provide access to current and future residents with an adequate, reliable supply of clean water. The Tucson South project that Aggregate Industries, Inc. proposes will help meet those needs as Aurora Water plans for 2025 and beyond. The Tucson South project aligns well with Aurora Water's current water resource portfolio which includes water storage projects adjacent to and north of the proposed pit.

The aggregate resources that would be extracted from Tucson South are important building materials that would be available to the region's residential, commercial, industrial and government developments over the next five to seven years. The availability of locally sourced building materials helps to hold down development costs.

Aurora Water appreciates the collaboration with Aggregate Industries, Inc. on this project and the opportunity to share with the Planning and Zoning Commission its support of this important project. Aurora Water looks forward to seeing the permit approved and Aggregate Industries extracting these important building materials.

Sincere

Marshall P. Brown General Manager, Aurora Water



For business. For Colorado. For tomorrow.

September 19, 2019

Adams County Planning & Zoning Commission 4430 South Adams County Parkway Brighton, CO 80601-8204

Dear G.J. Barnes,

Strengthening Colorado's critical infrastructure, especially its roads and bridges, is one of the key objectives the Colorado Chamber works toward for its members, and we believe that the Adams County Board of County Commissioners should approve the proposed permit, EXG2019-00001Aggregate Industries WCR, Inc. - Gravel Mining Area. We support the permit because the aggregate materials from this quarry will help build the critical infrastructure we support.

Without critical infrastructure that must be built and maintained, our state's economy is at a competitive disadvantage with surrounding states that have demonstrated their support for infrastructure. The proposed quarry will not be a long-term feature of Adams County, and it will become a much-needed reservoir to provide water for the City of Aurora.

The proposed Tucson South quarry will provide materials that will go into the concrete needed for sidewalks, foundations, roads and bridges in the region. Having the material available close to the development holds down costs associated with hauling and delivering it to the job site.

Aggregate Industries is a valuable member of the Colorado Chamber and corporate citizen here in Colorado. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Loren Furman Senior Vice President, State & Federal Relations Colorado Chamber of Commerce



BRINGING INFRASTRUCTURE TO LIFE

6880 SOUTH YOSEMITE COURT, SUITE 200 CENTENNIAL, COLORADO 80112 TEL 303 290 6611 FAX 303 290 9141

September 29, 2019

Adams County Planning & Zoning Commission 4430 South Adams County Parkway Brighton, CO 80601-8204

Dear Commissioners:

On behalf of the Colorado Contractors Association's 350 members, we are writing to support the proposed permit, EXG2019-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. The Colorado Contractors Association (CCA) is the leading association for infrastructure construction professionals across the state, bringing infrastructure to life through the power of advocacy, education and training and partnerships.

Founded in 1933, CCA has evolved into Colorado's leading unifying voice and champion for Colorado infrastructure, serving as an essential partner to over 350 member firms and owner agencies as well as an influential catalyst and thought leader in securing infrastructure investments, advancing innovative practices, growing the industry, protecting industry interests and advancing the future of quality infrastructure in our state.

Today, Colorado's infrastructure matters more than ever before because as Colorado continues to grow, the need for dependable, reliable and efficient infrastructure systems, networks and connections has never been greater. From the water we drink and the roads we drive, to the freedoms we enjoy as we explore this beautiful state by air, land or rail – nothing happens without infrastructure. Our members are a diverse, dedicated and talented group who work together to enhance Colorado lives, industries and economies through the power of infrastructure.

Aggregate Industries is a member of CCA and we appreciate the company's engagement and involvement in our organization and in the state of Colorado's infrastructure development. The permit for Aggregate Industries at Tucson South is important to the company and all of our members so that we have a reliable source of materials for the projects we are supporting.

Colorado Contractors Association members look forward to hearing that the Adams County Board of County Commissioners has approved the Aggregate Industries' Tucson South mining permit.

Sincerely, Mil

Executive Director



PROUD CHAPTER OF AGC AMERICA

COLORADOCONTRACTORS.ORG



September 19, 2019

Adams County Planning & Zoning Commission 4430 South Adams County Parkway Brighton, CO 80601-8204

Dear G. Barnes

This letter is being provided by the Colorado Ready Mixed Concrete Association (CRMCA). CRMCA is a Colorado based not for profit organization representing the interests of the ready mixed and therefore, aggregate mining industry. Founded in 1956, the CRMCA is a member driven organization that works with state and local governments, regulatory agencies, and the Colorado community to continue improving and growing the concrete and material supply industry.

CRMCA supports the opening and/or expansion of mine sites to meet the demands for material supply in our state. The consumption rate for construction aggregates exceeds 10 tons/capita/year. While all citizens may not purchase aggregate directly, it is consumed in the construction of projects like new schools and churches, pathways, sidewalks, or roadway expansion and repairs. The roadway expansion and repairs directly affect all citizens allowing for ease of travel and shipments of goods and services to places like stores and restaurants in our communities. The local mining and material supply benefits us all.

Aggregate Industries is an important part of the ready mixed concrete industry in the Front Range of Colorado. Aggregate Industries has been a good corporate member and is actively engaged in our organization. Without the type of aggregate resources that Aggregate Industries proposes be extracted from Tucson South, the cost of building materials for the region's growth over the next several years likely would be more expensive. Having a local source of materials is important for the continued growth of Colorado.

Sincerely,

Told Rall

Todd R. Ohlheiser Executive Director Colorado Ready Mixed Concrete Association

Adams County Planning & Zoning Commission 4430 South Adams County Parkway Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2019-00001Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed reservoir to provide water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Brian Escude

Adams County Planning & Zoning Commission 4430 South Adams County Parkway Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2019-00001Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed reservoir to provide water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Tode Fusta

Jodi Foster Adams County Resident

From:	Glenn and Sherrie Gossert <sgossert@q.com></sgossert@q.com>
Sent:	Saturday, March 02, 2019 3:02 PM
То:	Greg Barnes
Subject:	Comments for Aggregate Industries Mining Case Number RCU2019-00002

This email is in response to a request for comments for the subject case. I am resident of the Crown Homes area which is southeast of the proposed mining. I am highly opposed to this permit. There are already an inordinate number of gravel mining locations in the area. They all contribute to the large volume of gravel trucks that create havoc on the street systems around Brighton, including residential streets. Not only does it overburden transportation flow, it also adds a huge volume of pollution to the atmosphere, water, and soil. Please consider leaving this area agricultural.

Thank you for the opportunity to express my views.

Sherrie Gossert

From:	Sherie Gould <mcsfh157@aol.com></mcsfh157@aol.com>
Sent:	Tuesday, June 04, 2019 1:59 PM
То:	Greg Barnes
Subject:	Comments on Aggregate Industries Mining - Use Permit: EXG2019-00001

Greg- (or To Whom it may concern):

Regarding Aggregate Industries Mining Case Number: EXG2019-00001

As residents and business owners who are vested in the City of Brighton and care about its appeal, growth, and economic health, our original feelings and statements still stand. (they are attached at the end - please, PLEASE REREAD THEM! Note: I have had so many people tell me I am wasting my time and if that is the case it would REALLY be respectful and courteous of the county to refrain from asking for comments.

This is NOT about the activity of mining itself, but about the intelligence of the location (for a multitude of serious reasons), AND about the ability to take ALL needs and aspects into account - including the City and the residents that call this home. A dump is just as necessary to the health of a city or environment as anything would be - but you would intelligently not place it at the gateway of a city. Nor would you design a house with a toilet at the front door. Strategic planning takes into account aspects that affect the appeal and quality of life that can be affected by something like this. Furthermore, This project isn't for a short term, or something that a year later will be done with. The visible scars that it will leave on the land will be there forever - at the entrance of downtown Brighton. (note: Buchart Gardens was a mine - and it is incredibly beautiful now, and I have seen other beautiful reclamation/renovations of gravel pits) - not in these plans!

Miscellaneous random thoughts and concerns:

***This proposed project affects the City of Brighton and its residents but next to no one knows about it. BURA (Brighton Urban Renewal Authority), tasked to help revitalize the downtown district, (and spend tax payer dollars) had not heard about it until we told them and they have stated "we have no teeth" when we urge them to say something now. This does affect the city and the multitudes of residents who commute in and out of Brighton on this road, shouldn't they and others have some say about their city and their surroundings?

Regarding giving "Notice" - My husband drives this road multiple times a day and NEVER saw posted physical signs. The legal notice that was posted in the newspaper was posted using the "legal description" and for 99.9% of the population, that would be equivalent to posting it in a VERY foreign language because NO ONE would know what location they are even referring to. If it is legal to do it in a manner that doesn't reference common streets, it seems pointless to require the posting.

***Aggregate industries responded to the Park's request for landscape screening by stating that the period of mining would be too short at that portion (south portion). Why not start at the other end if that is the case and have the screening and trees be designed to be permanent and in place by the time they get to the south portion or the hwy 7 portion. --THAT BEING THE CASE FOR ALL SCREENING IF THIS IS ALLOWED TO MOVE FORWARD - and make the screening beautiful and permanent. There are reclamations where the reservoir actually looks natural (both is shape and abounding landscaping)

***Hwy 7 east of I-25 is predominately residential homes. Residential communities grow and connect when there are sidewalks and bike paths. These are investments in the future and current quality of life for the individuals who call an area home. Aggregate Industries should not be excused from this requirement. Additionally there is a bike path that comes to Veterans Park (just to the east) of this proposed gravel mining operation (believe it originates from somewhere near downtown?) - (parks and gravel pits - interesting combination) It would be wonderful to make use of a bike path that dead ends there with connecting sidewalks and path!

***In reference to Aggregates comment on 34-1-305 (preservation of commercial mineral deposits for extraction) From: (Adopted as an Amendment to the Adams County Comprehensive Plan By the Adams County Planning Commission on March 10, 2005 PRJ2004-00051 - page 7) "... a directive to the Colorado Geological Survey in 34-1303, C.R.S. to study and map sand, gravel and quarry aggregate, and to "generally circulate: the resulting information. The Colorado Geological Survey research effort revealed considerable deposits of sand and grave, but did not locate any "commercial quarry aggregate" in Adams County." --- Is there a subjective definition to the term "commercial mineral or quarry aggregate?" - or has the definition changed over times? Or is it subject to an individual's perspective? This same amendment talks about developing a plan that takes "into account the quality of life of the residents in and around areas that contain commercial mineral deposits."

***If this project is allowed, the conveyor belt should be a covered one - there are too many gusty winds and microbursts to keep dust from coming off of this platform.

***Accountability - there is no easy or legal way to have accountability in what happens AFTER someone gets the go ahead. It puts the burden of checking or proof on the civilian population and that is not fair. Whatever rules or guidelines are set, if there is not someone there to police it - it is pointless.

Respectfully submitted,

Sherie Gould

Sherie Gould, **GRI** Broker Sterling Real Estate Group, Inc. Mobile: 303-919-1703

-----Original Message-----From: Sherie Gould <mcsfh157@aol.com> To: GJBarnes <GJBarnes@adcogov.org> Cc: cordova5r <cordova5r@aol.com> Sent: Tue, Mar 12, 2019 5:04 pm Subject: Comments on Aggregate Industries Mining - Use Permit: RCU2019-00002

To Whom it may concern:

Regarding Aggregate Industries Mining Conditional Use Permit: RCU2019-00002

Our first and only awareness of this project is through Adams County Planning Commission's February 19, 2019 "Request for Comments" letter. In researching this proposed Gravel Pit, we have found that it has "been in the works" for some time and have even been told there is NOTHING we can do about it. We are hoping that this Request for Comments is NOT just some pointless, vain activity, that wastes our time. AND, that whomever reviews it, or any other comments shared, will weigh in with equal consideration (and fairness) regarding the rights of ALL individuals, businesses, subdivisions, or entities (i.e. the city of Brighton itself!). -- Especially since the rights of many of these entities was never formally addressed in the first place.

We are both private Business owners that have invested several millions of dollars in Platteview Farms Plaza - (Miller St. & Hwy 7- home to Lickety Split Car Wash, Piasano Liquors, Papa Johns Pizza, and Santiagos Mexican Restaurant) and are Brighton homeowners. Since the mid 2000's we have worked to help revitalize the Brighton Downtown District - trying to clean it up and create a pleasing environment that would help breathe new life into the downtown area. AND attract businesses that could thrive because individuals would DESIRE to be there. This is not just for the benefit of individual business owners, but also relative to the fact that creating this appeal affects health, life, and income for the city itself - which in turn affects funding for everything from infrastructure to Police, Schools, etc.

So we are greatly opposed to this proposed Gravel Mining Operation for the following reasons:

Location:

-----The City of Brighton is uniquely positioned in that access to it *from* the metropolitan areas is primarily through Hwy 85 and Hwy 7.

Hwy 7 IS THE WEST GATEWAY to Downtown Brighton - and there is no way, traveling this MAIN ROUTE, (in either direction) that you would NOT be able to see this mine, or experience it. Having an unsightly, dusty, dirty, noisy, industrial mining operation, with a steady stream of dump trucks and beeping equipment, outside an area that both the City and business owners have been working so hard to revitalize, is completely counterproductive! It devalues the appeal of the area, the businesses, and the city itself! There have been years of energy and effort, and a considerable amount of dollars being spent towards this improvement/revitalization - for the benefit of all those that live and work in or around Downtown Brighton, or travel Highway 7. Locating a mining operation here undermines and detracts from ALL OF THAT work and effort to the detriment of many!

-----Aggregate Industries has operated just north of this location (off County Rd 2) for a number of years, and having driven by their site NUMEROUS times we have never seen anything about it that is remotely attractive, clean, or peaceful - OR that you would ever want to be near without ear protection or a mask! Their site is a typical gravel mining site - UGLY, DUSTY, DIRTY, SMELLY, & NOISY - and busy! Additionally, their institutional reclamation ponds with their barbed wire/chain link fences and unnatural, scarred over, rock surrounds, have no aesthetic appeal either. -----Furthermore, there are **residential neighborhoods** both to the east and the west **that should never have their property values, lifestyles, or quality of living degraded or threatened by a neighboring Gravel Mining Pit (especially since wind carries dirt and sound! (see additional notes under Environmental Issues of Health and Safety). The subdivision to the west is literally sandwiched against this site! Adjacent!**

****There should be priority, care, and investment into the actual individuals who call this area "home."

Environmental Issues of Health, and Safety:

Gravel pit operations are notoriously dusty and dirty and all that dust and dirt contributes to a variety of lung and heart diseases. Crystalline silica dust is one of the particulates commonly found in gravel operations - and this is a known carcinogen! "This respirable silica dust causes lung disease and lung cancer. It only takes a very small amount of airborne silica dust to create a health hazard." (https://www.silica-safe.org/know-the-hazard/why-is-silica-hazardous)

With the excavation of the topsoil, extraction and processing of the aggregate, hauling of the gravel, the movement of heavy equipment and machinery (not to mention exhaust fumes from equipment) - there can be no shortage of dirt, dust, and pollution (irregardless of how much water may be used to wet material)

And about the airborne dirt, dust, and pollutions, . . .

- Dust particles (PM₁₀) (big dust particles) can range in size from 2.5 to 10 micrometers in diameter. They can stay in the air for a number of minutes to a number of hours and <u>can</u> travel as little as a hundred yards or as much as 30 miles!
- Fine particles (PM_{2.5}) (small dust particles) are 2.5 micrometers in diameter, or smaller, and can stay in the air for days or weeks -- and <u>can travel much farther; many hundreds of miles!</u> (and it is the smaller particles that are much more

 $dangerous) \quad (https://webcms.pima.gov/UserFiles/Servers/Server_6/File/Government/Environmental%20Quality/Air/Air%20Monitoring/AWhat is Particulate Matter1.pdf)$

About the irritating noise sounds related to gravel mining, . . .

Mining sites are notoriously loud - both from the physical act of mining or processing, to the continual intermittent running of equipment and trucks, to the irritating and annoying beeping of equipment.

Because Brighton (this NE area as a whole) is EXCEPTIONALLY windy at times, (and some of those winds are SIGNIFICANT), it takes away the ability to ever control these Health and Safety risks. The wind can actually spread and COMPOUND both the air and noise pollution issues even with the best of efforts and intentions put forth! There is just no controlling or predicting it. Also, clouds can contribute to banking and amplifying sound!

***** And who will suffer and pay the price for this? Those who live, work, do business, and travel in this area - here in Brighton. Not the City of Aurora or Aggregate Industries.

-----Side note: In regards to how far dust particles can travel. Aside from the fact that **airborne particles can continually affect the cleanliness of any and all personal property**, (and it is one we have been challenged with when living out here), when you leave a car wash, your vehicle is wet! Imagine if you live west of the downtown area and are traveling west. On a normal day you might pick up some dust, but going past this area could substantially increase how much dirt

and dust you could pick up - to the point of making your car wash pointless! And that is without any added wind or wind blowing in the direction of the car wash.

Please, PLEASE consider the negative aspects of this proposed gravel pit and its location. IT SHOULD NOT BE THERE! For the sake of so many in this community, please care.

Respectfully submitted,

Mark Cordova and Sherie Gould-Cordova 5680 E. 165th Pl. Brighton, CO 80602 (303) 880-6788

MCC Enterprises, Inc. 124-128 W. Bridge St. Brighton, CO 80601

From:	Sherie Gould <mcsfh157@aol.com></mcsfh157@aol.com>
Sent:	Monday, July 22, 2019 3:00 PM
То:	Greg Barnes
Subject:	Re: For Review: Aggregate Industries (EXG2019-00001)

Please be cautious: This email was sent from outside Adams County

Regarding: Aggregate Industries (EXG2019-00001)

To Whom it May Concern:

The technicalities of this gravel mine can definitely be dissected to a fractional degree but the overall issue is the location, ...

1. Hwy 7 IS THE WEST GATEWAY to Downtown Brighton - and there is no way, traveling this MAIN ROUTE, (in either direction) that you would NOT be able to see this mine, or experience it. By the nature of what they are, gravel mines are: UGLY, DUSTY, DIRTY, SMELLY, & NOISY - and busy! Additionally, regarding requirements set forth, or responses from Aggregate Industries, the word "minimize" (or other similar words) can not technically be measured, in its success, or failure, and so using it only muddies the clarity of what will or will not be achieved in any given goal with this permit.

2. Brighton's Downtown District has struggled for years and it needs to be inviting for investors, business owners, and developers. An industrial gravel mine will NOT attract investors to this area and is counterproductive to all that has been worked for.

Generally, natural urban sprawl usually brings housing and growth to shore up businesses. Due to the fact that the downtown district is sandwiched by Hwy 85, the natural sprawl would need to move west on Hwy 7 - **because it is the main access to the downtown district**.

HOWEVER, ... If the gravel mining operation moves forward, after the 7+ years of UGLY, detracting, unhealthy, dirty gravel mining, there will then be **PERMANENTLY** undevelopable ground here --- unnatural holes filled with water. Also, based on Aggregates(?) current land stewardship, there will be (has been already) a goldmine of noxious weeds on the ground not being mined.

***The point is, Very few uses of land render its future unusable, but this will (aside from water storage) become unusable land. Irregardless of how much Brighton grows or shrinks (10, 20, 30+ years in the future), it will leave the MAIN west road/connection to the growing metropolitan area unusable, and growth will need to go elsewhere. If the City of Brighton doesn't remain competitive and desirable, residents (even those living closer) will drive to the areas that offer more - or that are more appealing (i.e. Thornton).

3. In planning for the future, the City should work and plan to be connected to neighborhoods. The core of HWY 7 is residential and there should be connecting sidewalks and bike paths and even the ability to widen the road at some future point. This should not be excused. Aggregate Industries can subjectively determine that there is mineral deposits that are commercially feasible to extract when there are minimal requirements for them to meet. They can extract the mineral, leave a hole in the ground, and walk away. There should be more consideration for use BEYOND an unnatural looking water hole. There could be so much more done with this land - (and in collaboration with Aggregate Industries!) that could beautifully serve the future of the City of Brighton.

Side notes:

It is always hard to imagine the future.

If you were to stand in Castle Rock 20-30 years ago, (any maybe you did) you would be dumbfounded at the changes, the expansion, and the GROWTH of this once isolated little town. It is just amazing!

I use to live near Quincy and Wadsworth. The valley south of Quincy was a FLOOD plain/pasture (home now to endless stores, townhomes, restaurants, etc.) (still a flood plain though!)

When they bulldozed the Villa Italia Mall (Lakewood) there was a vision to rebuild the area to bring youth, vitality, and \$\$ back to the area. At the time, Lakewood had the highest geriatric population in ALL of metro Denver. Honestly I thought they had lost their marbles. But they sustained through the tough market times selling "urban condo living" and now Belmar is a thriving example of VERY successful mixed use (and yes they did at the time review, change, and update much of the zoning).

Downtown Old Arvada is another example of an amazing revitalization of a downtown district - (where parking is a struggle!) but local housing and foot traffic totally support the business district even well into the evening and it is very successful (aside from the battles over parking).

We are just hoping and praying that there is someone looking down the road and that whoever is making decisions is looking at the BIG picture and is aware of the Downtown Districts challenges and needs (in all ways). There is nothing wrong with gravel mining or MANY types of activities, but where they occur should have some due consideration. AND, . . . all the businesses and families it will affect should have a right to weigh in. Yes, Aggregate posted its notice in the paper but used a "legal description" and you would be lucky if one in a 100 would be able to recognize where it was referring to. This is NOT an intelligent place for a gravel mining operation.

Respectfully submitted,

Mark Cordova and Sherie Gould-Cordova

Downtown Brighton Business Owners Platteview Farms Plaza

-----Original Message-----From: Greg Barnes <GJBarnes@adcogov.org> To: Greg Barnes <GJBarnes@adcogov.org> Sent: Mon, Jul 8, 2019 4:19 pm Subject: For Review: Aggregate Industries (EXG2019-00001)

The attached case information has been resubmitted to Adams County. Please review the new case material and provide any comments to me regarding the resubmittal by 3 PM on July 22, 2019. Thank you!



Greg Barnes

Planner III, *Community and Economic Development Dept.* ADAMS COUNTY, COLORADO 4430 S. Adams County Parkway, 1st Floor, Suite W2000A Brighton, CO 80601-8216 720.523.6853 *gjbarnes@adcogov.org* adcogov.org Greg Barnes Case Manager Adams County

Dear Mr. Barnes,

I am writing to respond to the "Request For Comments" notice we have received regarding the Aggregate Industries Conditional Use Permit for Extraction and Disposal in the A-1 zone District. <u>We are opposed to the approval of this permit.</u> While the Adams County Zoning does allow for Mineral Extraction in the A-1 District as a Special Use, the property that is being applied for is what I would consider an area of change and to maintain consistency with Adams County Comprehensive Plan, Adopted in December of 2012 the approval of this permit would not be consistent with the vision of Adams county. Throughout the entire Comprehensive Plan, this area is listed and shown to be Open Space and "Important Farmlands." Additionally, the City of Brighton Comprehensive Plan dated 2009 (Appendix D) lists this land as "Environmentally Sensitive Area" and again supports the denial of this permit.

Along with the inconsistencies that an approval of this permit would create with the Adams County Comprehensive Plan and City of Brighton Comprehensive Plans, speaking matter of fact, this area is no longer a suitable location for an aggregate operation. Noted concerns are all matters of environmental pollution such as noise, light, sound, and air not to mention the lasting impacts on the land of excavating a large hole and then replacing it with a pond that would not be accessible to the residents of Adams County further support that the impacts of this operation bring little or no value to citizens of Adams County. I would urge the Planning Commission to deny this permit and reserve this land for the appropriate uses that Adams County and the City of Brighton have planned.

Respectfully,

Forrest and Kolleen Hancock 16254 Paris Way Brighton, CO 80602

From: Sent: To: Subject: Attachments: Gregory L. Barnes Sunday, March 17, 2019 7:37 AM Greg Barnes FW: Conditional Use Permit Concerns Gravel pit 2019.doc

From: Hood, James [mailto:JHOOD@amfam.com]
Sent: Tuesday, March 12, 2019 3:25 PM
To: Gregory L. Barnes <GBarnes@adcogov.org>
Cc: Teresa Hood <teresa_hood@msn.com>
Subject: Conditional Use Permit Concerns

Per the attached email form Wayne Muhler, dated 2/10/19, I agree with all of his concerns. I also have 4 concerns of my own, as listed below:

- 1. When the pit east of Tucson and east of my property was being mined, Agg Inc. killed a 3 acre grove of trees during their dewatering process. When I contacted them, the basically told me too bad.
- 2. When they dewatered my irrigation well was damaged and I consequently lost 2 crops. No help from Agg Inc.
- 3. My current irrigation well is new and functioning properly and I need protection for it.
- 4. Both of my septic systems were damaged during the Apex mining operation. It cost me \$15,000 to replace and I need protection on same.

SIMPLYPROTECTED TERM LIFE INSURANCE

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Jim Hood | James A. Hood Agency AMERICAN FAMILY INSURANCE 70 N 4th Ave | Brighton, CO 80601 Office: 303.659-0190 | Fax: 303.659.8511 E-mail: jhood@amfam.com

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Adams County Planning & Zoning Commission 4430 South Adams County Parkway Brighton, CO 80601-8204

Dear Mr. Greg Barnes and Commissioners:

My name is Terri Kelly I am an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2019-00001Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed reservoir to provide water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Thank you for helping support my community and Job security,

Terri Kelly Colorado Native and Mu Kelly Brighton Colorado Resident from 2002-Current Adams County Planning & Zoning Commission 4430 South Adams County Parkway Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2019-00001Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed reservoir to provide water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Nathan Lawing

From: Sent: To: Cc: Subject: CenturyLink Customer <lepantzeus@q.com> Tuesday, February 26, 2019 3:14 PM Greg Barnes JOHN C LEPANT please approve the mine permit at Tuscon Rd RCU-2019-00002

JOHN C LEPANT 186 DENVER STREET BRIGHTON, CO 80601 303.654.0269 lepantzeus@q.com

Adams County Community and Economic Development Dept. attn: Greg Barnes, Case Manager

Re: CASE # RCU2019-00002

Dear Manager Barnes,

Please accept this message as a comment supporting the granting of the permit in the above Case, # RCU2019-00002.

Am sending you this email in response to your letter referencing the above Case for Aggregate Industries Mining, specifically, their use permit for an extraction operation between 168th Ave, commonly referred to as Road 2, and State Highway 7 along Tucson Street. My house at the above address is less than one mile from that site. I commonly drive past it on my way to work at my current place of employment in Longmont, Colorado. This area is already being used for that type of mining. Moreover it is located next to the Regional Wastewater treatment facility adjacent to 168th Ave and U.S. Highway 85 and is compatible with that use. This mining will have no new adverse impacts. The truck drivers and workers there are courteous to other drivers when they use the area roads and in my 10 years of owning and living in the house at 186 DENVER STREET there has been no adverse impact upon my lifestyle or the property here.

A healthy construction industry is vital to a healthy economy. Granting this permit will help provide materials and resources required to have a healthy construction industry.

Therefore, as it serves the interests of the community by helping create jobs and tax base and would impose no new burdens upon residents, and is compatible with the land use in this area, please accept my very strong recommendation that this permit be granted.

Respectfully Submitted,

I am, John C. Lepant

9/18/2019

Adams County Planning & Zoning Commission 4430 South Adams County Parkway Brighton, CO 80601-8204

Dear Planning & Zoning Commissioners:

Our company is a long-term partner of Aggregate Industries here in Colorado and we support their proposed permit, EXG2019-00001Aggregate Industries WCR, Inc. - Gravel Mining Area in Adams County. We support the permit because we know that the aggregate materials from this quarry will help build the critical infrastructure that is the centerpiece of our company's business.

In order to complete the construction projects we have here in the Denver Metro area, we need access to construction materials that the Tucson South quarry would offer. We look forward to having the opportunity to source the materials locally. It's an added advantage to the community that there will be a trail installed and a reservoir created.

Aggregate Industries is a reputable enterprise in Colorado. We ask you to approve the permit the company seeks so we can continue to partner with the company in Adams County.

Sincerely,

Federico & Michelle Leyva F & M Trucking, LLC 8441 York St Thornton, CO 80229 720-255-3801 Office 720-569-5179 Fax <u>Fmtrucking2006@outlook.com</u> Mleyva28@yahoo.com

B. Michl Lloyd 12202 East 168th Avenue Brighton, CO 80602 303-659-4545

March 8, 2019

Adams County Community & Economic Development Department Development Services Division 4430 South Adams County Parkway 1st Floor, Suite W2000A Brighton, CO 80601-8218

Attention: Greg Barnes

RE: Comments on Application for Conditional Use Permit Aggregate Industries Mining Case Number RCU2019-00002 "Tucson South Resource"

1. I have lived at the above address for over 19 years and am and have been very familiar with Aggregate Industries' ("Aggregate") operations in this area since the day I moved in.

In 2004 Aggregate filed for a Colorado Mined Land Reclamation Board ("Mining Board") permit (# M2004044) which was finally issued in 2011 for mining on this property. Aggregate (sometime around 2011) also obtained a Conditional Use Permit from Adams County for a mine on this property.

According to the Mining Board web site the last revision to Aggregate's filing for this site was in August 2011. Accordingly it appears that the mining and reclamation plan for this site on file with the Mining Board is the one the Mining Board approved in 2011 and it has significant and substantial differences from the plan included in your Request for Comments and from the plan Aggregate representatives recently discussed in the community meeting regarding mining this property.

Which plan will govern Aggregate's actions on this site?

Any Conditional Use Permit issued should contain language to be clear that it applies only to the plan as filed with Adams County and does not extend to any other items contained in any filing or permit issued by the Mining Board or any other entity and that anything beyond the scope of the information presented in obtaining the Conditional Use Permit will require Aggregate to file an application for an additional Conditional Use Permit. 2. During the previous process of obtaining a Conditional Use Permit for this site, there were numerous comments from the public and varius governmental agencies, including the City of Brighton. Aggegrate agreed to numerous conditions (some of which were time sensitive) involving environmental factors, berming and landscaping along Rt 7, size and maintenance of top soil, overburden and materials piles, hours of operation and concurrent reclamation to name only a few. Aggregate did not start the mining operation and to my knowledge did not comply with any of the conditions to the Conditional Use Permit.

All of the conditions precedent and ongoing that were a part of Aggregate's prior Conditional Use Permit for this property should be included in any permit that is issued currently.

3. The area in question has changed substantially since 2011 – among other things there is substantial residential development on the western border of the site and traffic on 168th Avenue and Rt 7 has increased exponentially. Traffic was a major concern in 2011 and is a much greater concern now. Aggregate has indicated they will not process material on the Tucson site but will use a conveyor system (rather than trucks) to transfer material to their plant approximately 1 ½ miles north of the Tucson site for processing. This conveyer system will have to cross properties not owned by Aggregate and may run into environmental hurdles.

Without the proposed conveyor system Aggregate should not be allowed to mine this site.

A condition precedent to issuance of a Conditional Use Permit should be that Aggregate has entered into all necessary agreements regarding the route for the conveyor and Aggregate is able to demonstrate that the conveyor is operational.

- 4. The "Reclamation Plan" presented in you Request for Comments was only a drawing and no description of what the plan is. Aggregate has stated they will provide "concurrent reclamation" but that is an undefined term. It should be defined in a Conditional Use Permit in terms of the elapsed time allowed from mining until an area is reclaimed and not left to the discretion of Aggregate. High walls should not be allowed to exist in any area for more than an appropriate length of time before they are brought to appropriate finished slope.
- 5. The Conditional Use Permit should require that the top soil/overburden piles be limited in height and such piles be timely seeded and irrigated to control wind erosion, etc.
- 6. The Conditional Use Permit should define the period of time that trucks will be allowed to operate in the case that the conveyor system for transporting material to the north is not able to operate.
- 7. Hours of operation given the residential development in the immediate area operating hours should be restricted unless the volume on backup beepers on heavy

equipment can be reduced to much lower level.

- 8. The Conditional Use Permit should require Aggregate to submit plans to Adams County for approval for:
 - Site wide dust control
 - Site wide weed control
 - Site wide fencing
- 9. The Conditional Use Permit should require a separate agreement or contain language regarding Aggregate's responsibilities to Adams County concerning maintenance of or reimbursement for the maintence of roads used by their trucks.
- 10. Given Aggregate's history of avoiding significant penalties for non-compliance, any Conditional Use Permit should include substantial penalties (including shut-down of the operation) for non-compliance with Conditional Use Permit requirements.

Please contact me at 303-659-4545 if you have any questions regarding the above.

Yours truly,

B. Michl Lloyd

B. Michl Lloyd 12202 East 168th Avenue Brighton, CO 80602 303-659-4545

June 3, 2019

Adams County Community & Economic Development Department Development Services Division 4430 South Adams County Parkway 1st Floor, Suite W2000A Brighton, CO 80601-8218

Attention: Greg Barnes

RE: Comments on Aggregate Industries' Response to Comments Dated May 10, 2019 on Application for Conditional Use Permit Aggregate Industries Mining Case Number RCU2019-00002 "Tucson South Resource

Dear Mr. Barnes:

This letter is in response to your May 15th request for comments on the above. I do not believe that certain segments of my previous comments (letter dated March 8, 2019 -copy attached) were adequately addressed in Aggregate's letter of May 10, 2019 as follows:

<u>Previous Comment 1</u> – Which plan will govern? It is still not clear to me which plan will govern Aggregate's operations at this site. I repeat my comment that "Any Conditional Use Permit issued should contain language to be clear that it applies only to the plan as filed with Adams County and does not extend to any other items contained in any filing or permit issued by the Mining Board or any other entity and that anything beyond the scope of the information presented in obtaining the Conditional Use Permit will require Aggregate to file an application for an additional Conditional Use Permit."

<u>Previous Comment 2</u> - Aggregate commented on Page 2 paragraph ENV02 that "*Historical comments regarding the past application are not relevant especially in light of the reduced scope and impact of the current project.*" Even though this response is included in the section for ENV I believe it reflects Aggregate's "attitude", if you will, with regard to the total prior comments and conditions. I disagree. Granted some of the comments and conditions related to the prior application do not apply to the current situation, but many of them do apply and many of the issues raised should be magnified (such as traffic and "concurrent reclamation") because of changes in the area in the past 14 years!

Representatives of Adams County, and not Aggregate, should review each and every one of the previous conditions and make an independent determination as to their relevance to the current application and determine which ones should be included in any permit that is issued currently.

<u>Previous Comment 3</u> – Traffic. The truck traffic on Route 7 and 168th Avenue resulting from the mining and reclamation of the area south of Route 7 will simply be unacceptable and should not be allowed!

Possible solutions would be extending the conveyor over or under Route 7 or "wet mining" this area (which by the way would eliminate most if not all of the areas of concern) and/or transporting the material via a slurry pipeline to the area north of route 7 or transporting the material south to some other processing location. I am virtually certain that Aggregate will react negatively to these alternatives, but if the trucks are allowed to run we will have an utter traffic mess (on both Route 7 and 168th Avenue) for at least 3 years and if history is any indicator, it will in all probability be for longer!

Aggregate has comitted to completing the mining and reclamation of the area south of Route 7 by the end of 3 years. What assurance do we have that this will happen? There is no specified consequence to Aggregate if it goes on for longer that 3 years.

<u>Previous Comment 3</u> - Conveyor System. I did not see any comment in their response that would provide any assurance that the conveyor system can be built. In addition I have heard (but do not know whether it is true) that CDOT or some other state agency will absolutely not permit Aggregate to construct a conveyor over Route 7. If that is the case, why would Adams County permit one over 168th Avenue? 168th Avenue is a major thoroughfare and not a rarely traveled road.

Given it appears that not all arangements or approvals for the conveyor system are in place I reiterate my previous comment that "*A condition precedent to issuance of a Conditional Use Permit should be that Aggregate has entered into all necessary agreements regarding the route for the conveyor and Aggregate is able to demonstrate that the conveyor is operational.*" Without assurance to the County that the conveyor can and will be built, Aggregate should not be allowed to mine the site.

<u>Previous Comment 4</u> – Reclamation. Aggregate's comment on page 13 as well as other places does not at all adequately define "concurrent reclamation." Aggregate's history of concurrent reclamation on the Tuscon North mine meant leaving signifiant high walls (with a 3 wire farm fence that was mostly down and a trailer park with a significant number of children close by) for YEARS. Reclamation on that site was supposedly "concurrent". If history is any indcation, leaving it to Aggregate's discretion as to when mining of an area is "complete" means that none of the site is likely to be reclaimed concurrent with being mined. Reclamation needs to be defined in more specific terms – such as the area of pit and/or pit walls allowed to be open at any

given time before being reclaimed.

<u>Previous Comment 5</u> – Seeding and irrigation of top soil/overburden piles. In several places in Aggregate's response they indicate seeding of top soil/overburden piles but do not mention any irrigation. On page 9 of their response they state that "*seeding of any berms and topsoil stockpile that will remain undisturbed for six months*". Six months seems like an unreasonably long time and without some irrigation, the vegitation will probably die and leave behind the dust issue.

<u>Previous Comment 6</u> – Time period trucks allowed to operate if coveyor system is down. I did not see a response to this item. The County should specify a relatively short time period and if the system is not operational by that time the operation should not be allowed to truck the material and if necessary, shut down operations.

<u>Previous Comments 8 and 9</u>. Dust, weed and fencing plans and road maintenance. Dust, fencing and road maintenance items are mentioned in Aggregate's response. I did not see weeds mentioned. I raise this issue because (at least on the property on the north side of Route 7 which I understand they own) a bumper crop of thissle is taking hold and they like any other land owner should be held responsible for noxious weed control.

As to a road maintenance agreement, Aggregate and Adams County had such an agreement for the Tuscon North mine. As far as I recall the County never billed Aggregate and Aggregate never made any payments to the County under this agreement. Accordingly any current agreement should be enforced.

<u>Previous Comment 10</u>. - <u>Penalties I repeat such comment.</u> Given Aggregate's history of avoiding significant penalties for non-compliance, any Conditional Use Permit should include substantial penalties (including shut-down of the operation) for non-compliance with Conditional Use Permit requirements.

Please be advised that I have read Dr Wayne Muhler's response to your request and agree with his comments. I may have commented herein on some of the topics he raised.

Please contact me at 303-659-4545 if you have any questions regarding the above.

Yours truly,

B. Michl Lloyd

B. Michl Lloyd 12202 East 168th Avenue Brighton, CO 80602 303-659-4545

July 20, 2019

Adams County Community & Economic Development Department Development Services Division 4430 South Adams County Parkway 1st Floor, Suite W2000A Brighton, CO 80601-8218 Attention: Greg Barnes

RE: Comments on Aggregate Industries' June 28, 2019 Response to Comments on Application for Conditional Use Permit Aggregate Industries Mining Case Number EXG2019-00001 "Tucson South Conditional Use Review

Dear Mr. Barnes:

This letter is in response to your request for comments on Aggregate's June 28th response to comments on the above referenced Conditional Use Review. In my case, my previous comment letter was dated June 3, 2019. I am not completely satisfied with Aggregate's June 28, 2019 response to the issues I reiterated in my June 3rd letter; however, I see no sense in repeating them a third time!

I will however repeat two issues directed to Adams County or the State.

Traffic and mining the area south of HWY 7.

I failed to mention in my prior comments the "nature" of Tucson Street. Tucson is not a major highway and currently has what I believe is relatively minor heavy truck traffic. Given that it was not constructed as a major highway, adding the heavy gravel trucks that will be used for "three years" in mining the area south of HWY 7 the damage to this street is almost certain to be extensive as will the damage to 168th Avenue and Road 22 ¹/₂ (this road is a Weld County dirt road). These roads will be expensive to maintain and/or repair. Aggregate may be assuming that Adams County taxpayers will bear the expense to maintain and repair these roads as they did in the case of the Tuscon North mine with 168th Avenue even though there was a road maintenance agreement in place. However these costs should be Aggregate's responsibility. A road maintenance agreement provides no assurance that it will be enforced. Aggregate has not revealed the components of their economic analysis that caused them to conclude that "it is not economically feasible to convey material under HWY 7" (as opposed to trucking the material) but Adams County or the governmental agency that will approve the truck traffic should be convinced it is a complete analysis of all the costs and that Aggregate's conclusion is valid.

Conveyor System

Given it appears that not all arangements or approvals for the conveyor system are in place I reiterate my previous comment that "*A condition precedent to issuance of a Conditional Use Permit should be that Aggregate has entered into all necessary agreements regarding the route for the conveyor and Aggregate is able to demonstrate that the conveyor is operational.*" Without assurance to the County that the conveyor can and will be built, Aggregate should not be granted a conditional use permit to mine the site.

Please contact me at 303-659-4545 if you have any questions regarding the above.

Yours truly,

B. Michl Lloyd

From:
Sent:
To:
Subject:

Jose Ibarra <joseibarramoreno@icloud.com> Thursday, September 19, 2019 12:10 PM Greg Barnes Tucson South Quarry

Please be cautious: This email was sent from outside Adams County

Adams County Planning & Zoning Commission 4430 South Adams County Parkway Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2019-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed reservoir to provide water for the <u>City of Aurora</u>.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Jose G Ibarra Moreno

Sent from my iPhone

Adams County Planning & Zoning Commission 4430 South Adams County Parkway Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2019-00001Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed reservoir to provide water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely.

Michael Morris

Mr Greg Barnes Case Manage Adams County, CO

Questions and Comments About proposed Tucson South Gravel Mine

Is there a new mining permit from the state for this mine or is it the 2004 dated application?

Why is no landscaped berm shown along Hwy 7 and Tucson St. as in the prior Conditional Use Permit?

The overburden and topsoil storage mounds show no erosion and dust control. Why does the plan not require the operator to complete one mound and plant vegetation prior to starting another?

Will the Conditional Use permit cover the ground west of the Brighton ditch?

What are the hours of operation?

How will material mined/stockpiled from phase 1 (south of Hwy.7) be removed from the site. If by truck, where will traffic enter the highway and how many loads per day?

If concurrent reclamation is their plan how much high wall will be created before reclamation starts.

What will the plantings be for reclamation and when (trees and grasses)?

What is their dust control plan?

Will the project be slurry walled in phases?

What mitigation is planned if the mine changes ground water on surrounding properties and how do they plan to monitor ground water?

If the conveyor system cannot be installed or fails will the permit be revoked.

What are the penalties for violation of the permit. Stopping operation until corrections are completed or minimal fines?

Based on observations as a neighbor of the Tucson North mine Aggregate Industries are not responsive to complaints and have a poor record of compliance with regulations. Adams County has shown in the past an unwillingness to regulate compliance with conditional use permits by this company. Exactly how will this change if this application is approved?

Wayne Muhler 12310 E 168th Ave. Brighton, CO 80516 2/10/19

September 18, 2019

Adams County Planning & Zoning Commission 4430 South Adams County Parkway Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2019-00001Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed reservoir to provide water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Claudia Ocampo 1838 E. 98th Ave. Thornton CO 80229 720 309 7221

From:
Sent:
To:
Subject:

CDV93@comcast.net Monday, March 11, 2019 6:26 PM Greg Barnes Aggregate Industries Mining

Hello,

My name is Curt Vardaman. I own a home at 11501 E. 161st Ave. in the Todd Creek Riverside sub-division of Brighton. I think it would be a tragedy to allow a corporation to destroy a native, natural section of the South Platte River corridor just to extract a few feet of sand, gravel and soil. I know that it has happened up and down the river from Brighton to Platteville and beyond. They have destroyed thousands of acres of wetlands and agricultural land in this area. All the while failing to replace it with the like (No net-loss of wetlands) based on the laws in place for them to do so. The area that is in question supports a growing population of wild turkeys, along with numerous birds of prey along with other native wildlife. Gravel ponds left behind are not a valid replacement for the current eco-system of the area. This area is zoned for agriculture not mining, nor does it need to be changed to be so.

I don't want to see the allowance of this destruction to continue into the middle of residential areas. The areas that Aggregate is looking to destroy, have homes on 3 of the 4 sides of it. The noise and air pollution created by their operation will be enormous in the surrounding communities. Traffic on Highway 7 and CR 2 is already over-burdened and of high concern. This will do nothing but make that worse, especially for those who live and pay taxes in the area. There are already too many large trucks and equipment on the roads in this area to allow for more concentration of such. Our roads in the area are of horrible condition already.

I would hate to see another case of the almighty dollar for a few tons of material be worth the loss of a beautiful area of nature that makes a wonderful buffer for the rampant amount of urban sprawl we have. One of the more ironic situations will be the highly used, wonderfully positioned, Memorial Park that is situated right across the river from the area in question. The trails of the area along with the peace of mind they present will be ruined by the onslaught of dust, noise and commotion present in the face of a gravel quarry. Horrible.

I imagine Mr. Bolduc has the ability to live as many miles away from any one of the numerous operations he currently owns and operates like this one. I believe his company's operations will deface my property and it's value, along with everybody else's on the west side of Brighton. This is not solely the issue for me, but definitely adds to the nasty mix it will create. I hope others in this area of Brighton will speak up to this tragedy, but in my heart feel like it won't matter to the wheels generated by the large powerful corporations like Aggregate.

Even if this does not happen, which I doubt, I will make a concerted effort to not purchase any materials from his company. I work in an industry that uses large amounts of products like his, and will make every effort to find other sources, even at a higher cost. This is a horrible potential use of this area.

Thank you for hearing my concerns. I hope it makes a difference, but not sure it will.....

Curt Vardaman <u>CDV93@comcast.net</u> 720-921-4471 Adams County Planning & Zoning Commission 4430 South Adams County Parkway Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2019-00001Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed reservoir to provide water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely, Alles Vester

From:	Debbie W <dj019283@gmail.com></dj019283@gmail.com>
Sent:	Tuesday, March 12, 2019 1:44 PM
То:	Greg Barnes
Cc:	Debbie Werth
Subject:	Comments re RCU2019-00002
Attachments:	RFC_22.pdf

As a homeowner within the area in question, I am opposed to the application referenced in the attached document. It is too close to homes with children and pets and I am concerned about not only the amount of heavy truck traffic in the area, but the dust and emissions pollution (child with asthma), noise pollution, and additional ground movement already disturbed by the amount of fracking that has grown so near these homes. I am also highly concerned about any plan to dump (referenced as "disposal use") toxic or unsafe materials in the area, as well as water contamination which occurs with "disposal" materials.

If anything there needs to be more restrictions along Highway 7 as there appears to be daily major motor vehicle accidents due to the increased traffic.

I am happy to further discuss my concerns.

Thank you, Debbie Werth

From: Sent: To: Cc: Subject: Jill Jennings Golich Friday, October 11, 2019 4:24 PM Greg Barnes Jen Rutter FW: GRAVEL MINING

From: Eva Henry <EHenry@adcogov.org>
Sent: Friday, October 11, 2019 4:23 PM
To: Jill Jennings Golich <JJenningsGolich@adcogov.org>
Subject: Fwd: GRAVEL MINING

Sent from my iPad

Begin forwarded message:

From: CommissionersMailbox <<u>commissioners@adcogov.org</u>> Date: October 11, 2019 at 3:55:19 PM MDT To: Eva Henry <<u>EHenry@adcogov.org</u>>, Chaz Tedesco <<u>CTedesco@adcogov.org</u>>, Emma Pinter <<u>EPinter@adcogov.org</u>>, Steve O'Dorisio <<u>SODorisio@adcogov.org</u>>, Mary Hodge <<u>MHodge@adcogov.org</u>>, Ray Gonzales <<u>RGonzales@adcogov.org</u>> Subject: GRAVEL MINING

From: Web Master Sent: Wednesday, October 09, 2019 9:40 AM To: Jen Rutter; CommissionersMailbox Subject: FW: GRAVEL MINING



Linda Hawkins

Digital Media Specialist | Communications Department ADAMS COUNTY, COLORADO 4430 South Adams County Parkway, Brighton, CO 80601 720.523.6104 | <u>Ihawkins@adcogov.org</u> | <u>www.adcogov.org</u>

From: Nancy Darschewski [mailto:nandarski@hotmail.com] Sent: Tuesday, October 08, 2019 7:07 AM To: Web Master <<u>webmaster@adcogov.org</u>> Subject: GRAVEL MINING

Please be cautious: This email was sent from outside Adams County

Please do not vote for the gravel mining operation on cr 7. We do not need this. There are enough trucks on brighton's roads as it is from the pipeline construction. Protect our town. Do not contribute to bringing us down!

Community & Economic Development Department Development Services Division

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000B Brighton, CO 80601-8218 PHONE 720.523.6800 FAX 720.523.6967

Request for Comments

Case Name: Case Number: Aggregate Industries Mining RCU2019-00002

February 19, 2019

The Adams County Planning Commission is requesting comments on the following request: **Conditional use permit for extraction and disposal use in the Agricultural-1 (A-1) zone district.** This request is located at on the eastern and western sides of Tucson Street between East 168th Avenue and State Highway 7. The Assessor's Parcel Numbers are: 0157101000016, 0157101000017, 0157101000018, 0157101000033, 0157101000034, 0157101000035, 0157101002001, 0157101100002, 0157101300001, 0157101300002, and 0157111200006

Applicant Information:

Aggregate Industries - WCR, Inc. Joel Bolduc 1687 Cole Blvd, Suite 300 Golden, CO 80401

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216, or call (720) 523-6800 by 03/12/2019 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you for your information.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Greg Barnes Case Manager

Eva J. Henry DISTRICT 1 Charles "Chaz" Tedesco

BOARD OF COUNTY COMMISSIONERS

Emma Pinter DISTRICT 3 Steve O'Dorisio DISTRICT 4 Mary Hodge DISTRICT 5 Community & Economic Development Department Development Services Division

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000B Brighton, CO 80601-8218 PHONE 720.523.6800 FAX 720.523.6967

Public Hearing Notification

Case Name: Case Number: Planning Commission Hearing Date: Board of County Commissioners Hearing Date: Aggregate Industries Mining Area EXG2019-00001 9/26/2019 at 6:00 p.m. 10/8/2019 at 9:30 a.m.

September 11, 2019

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following request:

Conditional use permit for extraction and disposal use in the Agricultural-1 (A-1) zone district

The proposed use will be mining and excavation.

This request is located at 13115 East 160th Avenue.

The Assessor's Parcel Numbers are: 0157101000016, 0157101000017, 0157101000018, 0157101000033, 0157101000034, 0157101000035, 0157101002001, 0157101100002, 0157101300001, 0157101300002, and 0157111200006.

Applicant Information: Aggregate Industries - WCR, Inc.

DISTRICT 2

1687 COLE BLVD, SUITE 300 GOLDEN, CO 80401

The hearing will be held in the Adams County Hearing Room located at 4430 South Adams County Parkway, Brighton CO 80601-8216. This will be a public hearing and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. If you require any special accommodations (e.g., wheelchair accessibility, an interpreter for the hearing impaired, etc.) please contact the Adams County Community and Economic Development Department at (720) 523-6800 (or if this is a long distance call, please use the County's toll free telephone number at 1-800-824-7842) prior to the meeting date.

BOARD OF COUNTY COMMISSIONERS Charles "Chaz" Tedesco Emma Pinter

DISTRICT 3

Steve O'Dorisio

Mary Hodge DISTRICT 5 For further information regarding this case, please contact the Department of Community and Economic Development, 4430 S Adams County Parkway, Brighton, CO 80601, 720-523-6800. This is also the location where maps and/or text certified by the Planning Commission may be viewed.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Ang Burn

Greg Barnes Planner III

PUBLICATION REQUEST Aggregate Industries WCR, Inc. - Gravel Mining Area

Case Number: EXG2019-00001 Planning Commission Hearing Date: September 26, 2019 at 6:00 p.m. Board of County Commissioners Hearing Date: October 8, 2019 at 9:30 a.m. Hearing Location: 4430 S. Adams County Pkwy., Brighton, CO 80601

Request: Conditional use permit for extraction and disposal use in the Agricultural-1 (A-1) zone district

Location of Request:	Approximately 13115 E 160th Avenue
Parcel Number(s):	0157101000016, 0157101000017, 0157101000018, 0157101000033, 0157101000034, 0157101000035, 0157101002001, 0157101100002, 0157101300001, 0157101300002, 0157111200006
Case Manager:	Greg Barnes
Applicant:	Aggregate Industries - WCR, Inc. 1687 COLE BLVD SUITE 300 GOLDEN, CO 80401

Legal Description:

Tucson South Resource is located one mile west of the City of Brighton in Adams County, Colorado. The amended Tucson South Permit Boundary includes 307.5 acres. The Affected Area boundary, which is the mine permit boundary less the westernmost parcel (owned and operated by the City of Aurora for non-mining purposes) has an area of approximately 258.5 acres.

The Permit Boundary comprised of three distinct mining areas separated by Tucson Street and Colorado Highway 7, the Tucson Street right-of-way and the portion of the off-site conveyor route located within Adams County. Acreage within the Permit Boundary is summarized as follows:

- South Phase 1, 24.3 acres, Tract I, located south of the State Highway 7;
- West Phase 2, 137.6 acres, Tracts A, B, C, K, located north of State Highway 7 and west of Tucson Street;

• East - Phase 3, 139.4 acres, Tracts D, E, F, G, H, M, located north of State Highway 7 and east of Tucson Street;

- Tucson Street right-of-way 2.9 acres, Tract L; and
- Off-site conveyor route located in Adams County 3.3 acres, Tract J.

The tracts that will be mined within the Permit Boundary are owned by Aggregate Industries-WCR, Inc., and the City of Aurora. The conveyor route crosses a parcel owned by the City of Thornton. The Tucson Street right-of-way is owned by Adams County. Specific legal descriptions for the tracts within the Permit Boundary are included below.

Quarter, quarter section description of the proposed permit area:

Portions of the S ½ of Section 1, the NE ¼ of Section 1 and NE ¼ of the NW ¼, of Section 12, Township 1 South, Range 67 West of the Sixth Principal Meridian, Adams County, State of Colorado. Latitude/Longitude of main entrance:

39.99007° N

104.83759° W

Tract Specific Legal Descriptions

TRACT A

THAT PARCEL OF LAND AS DESCRIBED IN A GENERAL WARRANTY DEED RECORDED FEBRUARY 27, 2001 AT RECEPTION NO. C0765905, COUNTY OF ADAMS, STATE OF COLORADO.

EXCEPT PARCEL B AS DESCRIBED IN A GENERAL WARRANTY DEED RECORDED FEBRUARY 27, 2001 AT RECEPTION NO. C0765905, COUNTY OF ADAMS, STATE OF COLORADO.

AND EXCEPT THAT TRACT OF LAND CONVEYED TO CITY OF AURORA AS DESCRIBED IN GENERAL WARRANTY DEED RECORDED DECEMBER 22, 2005, AS RECEPTION NO. 20051222001399920, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT B

A PARCEL OF LAND IN THE SW 1/4 OF SECTION I, TOWNSHIP I SOUTH. RANGE 67 WEST OF THE 6TH P.M., COUNTY OF ADAMS. STATE OF COLORADO, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 1: THENCE NORTH ALONG THE WEST LINE OF SAID SECTION 1 A DISTANCE OF 1449 FEET; THENCE S84°05'E A DISTANCE OF 1334.7 FEET TO THE TRUE POINT OF BEGINNING:

THENCE S69°18'E, 260.7 FEET;

THENCE N07°32'E, 171.6 FEET;

THENCE N69°18'W, 260.7 FEET;

THENCE S07°32'W, 171.6 FEET TO THE POINT OF BEGINNING, COUNTY OF ADAMS, STATE OF COLORADO. TRACT C

ALL THAT TRACT OF LAND DESCRIBED IN THE SPECIAL WARRANTY DEED RECORDED SEPTEMBER 26, 2016 AT RECEPTION NO. 2016000080681, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT D

THAT PART OF THE NORTH ONE-HALF SOUTHEAST ONE-QUARTER, SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, SAID POINT BEING THE POINT OF BEGINNING; THENCE N. 89°37'18" E. ALONG THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 1050.57 FEET; THENCE S. 00°08'29" E, PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 621.95 FEET TO A LINE THAT IS PARALLEL WITH THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE QUARTER AND 5 FEET SOUTH OF AN EXISTING HOUSE; THENCE S. 89°37'18" W. ALONG SAID LINE A DISTANCE OF 1050.57 FEET TO THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE N. 00°08'29" W. ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 621.95 FEET, TO THE POINT OF BEGINNING; EXCEPT THE WEST 40.00 FEET THEREOF, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT E

THAT PART OF THE NORTH ONE-HALF SOUTHEAST ONE QUARTER SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO, LYING NORTH AND WEST OF THE CENTERLINE OF THE SOUTH PLATTE RIVER, DESCRIBED AS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 00°08'29" EAST ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 621.95 FEET TO A LINE THAT IS PARALLEL WITH THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER AND 5 FEET SOUTH OF AN EXISTING HOUSE AND THE POINT OF BEGINNING; THENCE NORTH 89°37'18" EAST, PARALLEL WITH THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 1050.57 FEET; THENCE NORTH 00°08'29" WEST, PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 621.95 FEET TO THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE NORTH 89°37'18" EAST ALONG THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; A DISTANCE OF DISTANCE OF 1635.47 FEET TO THE NORTHEAST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 00°31'01" EAST ALONG THE EAST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 590.02 FEET TO THE CENTERLINE OF THE SOUTH PLATTE RIVER; THENCE SOUTHERLY ALONG THE CENTERLINE OF THE SOUTH PLATTE RIVER SOUTH 53°55'12" WEST, A DISTANCE OF 142.93 FEET TO A LINE THAT IS 646.34 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID

NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 89°54'25" WEST ALONG SAID LINE, A DISTANCE OF 1324.16 FEET TO A LINE THAT IS 1250.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 00°08'29" EAST, PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 169.08 FEET TO A LINE THAT IS 477.26 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 89°54'25" WEST ALONG SAID LINE , A DISTANCE OF 1250.00 FEET TO THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE NORTH 00°08'29" WEST ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE NORTH 00°08'29" WEST ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 207.94 FEET TO THE POINT OF BEGINNING, EXCEPT THE WEST 40.00 FEET THEREOF, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT F

THAT PART OF THE NORTH ONE-HALF OF THE SOUTHEAST ONE-QUARTER, SECTION 1, TOWNSHIP 1, SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, STATE OF COLORADO, LYING NORTH AND WEST OF THE CENTERLINE OF THE SOUTH PLATTE RIVER DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, SAID POINT BEING THE POINT OF BEGINNING; THENCE N00°08'29"W, ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 477.26 FEET; THENCE N89°54'25"E, PARALLEL WITH THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 1250.00 FEET; THENCE N00°08'29", PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 169.08 FEET; THENCE N89°54'25"E, PARALLEL WITH THE SOUTH LINE OF SAID NORTH ONE HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 1324.16 FEET TO THE CENTERLINE OF THE SOUTH PLATTE RIVER; THENCE BY THE FOLLOWING COURSES AND DISTANCES ALONG THE CENTERLINE OF THE SOUTH PLATTE RIVER: \$53°55'12"W. 94.57 FEET: \$32°39'44"W. 231.53 FEET. \$26°54'09"W, 242.48 FEET; \$15°48'38"W, 187.17 FEET TO THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE S89°54'25"W, ALONG THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 2210.47 FEET TO THE POINT OF BEGINNING, EXCEPT THE WEST 40.00 FEET THEREOF, COUNTY OF ADAMS, STATE OF COLORADO. TRACT G

ALL THAT TRACT OF LAND DESCRIBED IN THE QUIT CLAIM DEED RECORDED MARCH 2, 2017 AT RECEPTION NO. 2017000018970, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT H

THE SW1/4 OF THE SE1/4 OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST, EXCEPT THAT PART AS DESCRIBED IN BOOK 1055 AT PAGE 52, AND IN BOOK 1214 AT PAGE 326 AND EXCEPT THAT PART DESCRIBED IN BOOK 1205 AT PAGE 128, COUNTY OF ADAMS, STATE OF COLORADO TRACT I

PARCEL B OF A GENERAL WARRANTY DEED RECORDED FEBRUARY 27, 2001 AT RECEPTION NO. C0765905, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT J (CONVEYOR ROUTE EASEMENT)

A PORTION OF A PARCEL OWNED BY THE CITY OF THORNTON (PN: 0157101002001) LOCATED IN THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE WEST 50.00 FEET; THE NORTH 50.00 FEET OF THE WEST 1250.00 FEET; AND THE SOUTH 50.00 FEET OF THE WEST 380.00 FEET.

TRACT K

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE EAST QUARTER CORNER OF SAID SECTION 1; THENCE SOUTH 89°39'53" WEST 2445.14 FEET ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE NORTH 00°06'03" WEST 827.14 FEET; THENCE 214.58 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 2944.62 FEET AND A LONG CHORD WHICH BEARS NORTH 69°36'00" WEST 214.53 FEET TO A POINT LYING 40.00 FEET EASTERLY FROM THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE NORTH 00°06'03" WEST 32.52 FEET PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE 305.94 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 2914.62 FEET AND A LONG CHORD WHICH BEARS SOUTH 70°16'26" EAST 305.80 FEET, SAID POINT BEING ON THE SOUTHERLY LINE OF THE TUCSON RESOURCES SUBDIVISION AS RECORDED IN THE ADAMS COUNTY RECORDS IN FILE 17 MAP 855; THENCE SOUTH 73°16'48" EAST 2463.67 FEET ALONG THE SOUTHERLY LINE OF SAID TUCSON RESOURCES SUBDIVISION TO THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE SOUTH 00°10'30" EAST 108.13 FEET ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1 TO THE POINT OF BEGINNING. TRACT L (TUCSON STREET RIGHT-OF-WAY)

A TRACT OF LAND LOCATED IN THE SOUTH HALF OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE CENTER-SOUTH ONE-SIXTEENTH CORNER OF SECTION 1; THENCE ALONG THE NORTH-SOUTH CENTERLINE OF SECTION 1 SOUTH 00°06'29" EAST 1234.13 FEET TO A POINT WHENCE THE SOUTH ONE-QUARTER CORNER OF SECTION 1 BEARS SOUTH 00°06'29" EAST 72.70 FEET; THENCE LEAVING SAID NORTH-SOUTH CENTERLINE SOUTH 89°33'20" WEST 30.00 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF TUCSON STREET; THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE NORTH 00°06'29" WEST 2541.11 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHWEST QUARTER OF SECTION 1; THENCE ALONG SAID NORTH LINE NORTH 89°40'23" EAST 30.00 FEET TO THE CENTER ONE-QUARTER CORNER OF SECTION 1; THENCE ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 1 NORTH 89°39'20" EAST 40.00 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF TUCSON STREET; THENCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE SOUTH 00°06'29" EAST 1307.12 FEET; THENCE LEAVING SAID EASTERLY RIGHT-OF-WAY LINE SOUTH 89°56'30" WEST 40.00 FEET TO THE CENTER-SOUTH ONE-SIXTEENTH CORNER OF SECTION 1 AND THE POINT OF BEGINNING. TRACT M

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE EAST ONE-QUARTER CORNER OF SECTION 1; THENCE WEST 2445.14 FEET; THENCE NORTH 827.14 FEET; THENCE 214.58 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 2944.62 FEET AND A LONG CHORD WHICH BEARS NORTH 69D36' WEST 214.53 FEET TO A POINT 40 FEET EASTERLY FROM THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE NORTH 32.52 FEET; THENCE 305.94 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 2914.62 FEET AND A LONG CHORD WHICH BEARS SOUTH 70D16' EAST 305.80 FEET; THENCE SOUTH 73D16' EAST 2463.67 FEET; THENCE SOUTH 108.13 FEET TO THE POINT OF BEGINNING.



Referral Listing Case Number RCU2019-00002 Aggregate Industries WCR, Inc. - Gravel Mining Area

Agency	Contact Information
Adams County Attorney's Office	Christine Fitch CFitch@adcogov.org 4430 S Adams County Pkwy Brighton CO 80601 720-523-6352
Adams County CEDD Development Services Engineer	Devt. Services Engineering 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6800
Adams County CEDD Environmental Services Division	Jen Rutter 4430 S Adams County Pkwy Brighton CO 80601 720-523-6841 jrutter@adcogov.org
Adams County CEDD Right-of-Way	Marissa Hillje 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6837 mhillje@adcogov.org
Adams County Development Services - Building	Justin Blair 4430 S Adams County Pkwy Brighton CO 80601 720-523-6825 JBlair@adcogov.org
Adams County Parks and Open Space Department	Aaron Clark mpedrucci@adcogov.org (303) 637-8005 aclark@adcogov.org
Adams County Sheriff's Office: SO-HQ	Rick Reigenborn (303) 654-1850 rreigenborn@adcogov.org
Adams County Sheriff's Office: SO-SUB	SCOTT MILLER 720-322-1115 smiller@adcogov.org
BRANTNER EXTENSION DITCH CO	LAW OFFICES OF BRICE STEELE 25 S. 4TH AVENUE BRIGHTON CO 80601 303-659-3171

Agency	Contact Information
BRIGHTON FIRE DISTRICT	Whitney Even 500 South 4th Avenue 3rd Floor BRIGHTON CO 80601 (303) 659-4101 planreviews@brightonfire.org
BRIGHTON SCHOOL DISTRICT 27J	Kerrie Monti 1850 EGBERT STREET SUITE 140, BOX 6 BRIGHTON CO 80601 303-655-2984 kmonti@sd27j.org
CDOT Colorado Department of Transportation	Bradley Sheehan 2829 W. Howard Pl. 2nd Floor Denver CO 80204 303.757.9891 bradley.sheehan@state.co.us
СДРНЕ	Sean Hackett 4300 S Cherry Creek Dr Denver CO 80246 303.692.3662 303.691.7702 sean.hackett@state.co.us
CDPHE	Sean Hackett 4300 S Cherry Creek Dr Denver CO 80246 30 sean.hackett@state.co.us
CDPHE - AIR QUALITY	Richard Coffin 4300 CHERRY CREEK DRIVE SOUTH DENVER CO 80246-1530 303.692.3127 richard.coffin@state.co.us
CDPHE - WATER QUALITY PROTECTION SECT	Patrick Pfaltzgraff 4300 CHERRY CREEK DRIVE SOUTH WQCD-B2 DENVER CO 80246-1530 303-692-3509 patrick.j.pfaltzgraff@state.co.us
CDPHE SOLID WASTE UNIT	Andy Todd 4300 CHERRY CREEK DR SOUTH HMWMD-CP-B2 DENVER CO 80246-1530 303.691.4049 Andrew.Todd@state.co.us
Century Link, Inc	Brandyn Wiedreich 5325 Zuni St, Rm 728 Denver CO 80221 720-578-3724 720-245-0029 brandyn.wiedrich@centurylink.com

Contact Information CITY OF BRIGHTON - Planning Jason Bradford 500 S 4th Ave **BRIGHTON CO 80601** 303-655-2024 jbradford@brightonco.gov CITY OF BRIGHTON - WATER & SANATATION DEPT. ED BURKE 500 S. 4th Ave, 4th Floor BRIGHTON CO 80601 303-655-2084 eburke@brightonco.gov Code Compliance Supervisor Eric Guenther eguenther@adcogov.org 720-523-6856 eguenther@adcogov.org COLORADO DEPT OF TRANSPORTATION Steve Loeffler 2000 S. Holly St. Region 1 Denver CO 80222 303-757-9891 steven.loeffler@state.co.us COLORADO DIVISION OF WILDLIFE Eliza Hunholz Northeast Regional Engineer 6060 BROADWAY DENVER CO 80216-1000 303-291-7454 eliza.hunholz@state.co.us COLORADO DIVISION OF WILDLIFE Serena Rocksund 6060 BROADWAY DENVER CO 80216 3039471798 serena.rocksund@state.co.us COMCAST JOE LOWE 8490 N UMITILLA ST FEDERAL HEIGHTS CO 80260 303-603-5039 thomas lowe@cable.comcast.com Eagle Shadow Metro District 1/ Spencer Fane JIM WORTHY 1700 Lincoln Street Suite 2000 Denver CO 80203 303-637-0344 McCann Ditch and Reservoir Company Ron Henley 4395 Washington St. Denver CO 80216 303.383.6400 METRO WASTEWATER RECLAMATION CRAIG SIMMONDS 6450 YORK ST. DENVER CO 80229 303-286-3338

CSIMMONDS@MWRD.DST.CO.US

Agency	Contact Information
NS - Code Compliance	Joaquin Flores 720.523.6207 jflores@adcogov.org
REGIONAL TRANSPORTATION DIST.	CHRIS QUINN 1560 BROADWAY SUITE 700 DENVER CO 80202 303-299-2439 chris.quinn@rtd-denver.com
THE BRIGHTON DITCH COMPANY	DON ROSENBROCK PO BOX 185 FT. LUPTON CO 80621 303-659-1987
Todd Creek Village Metropolitan District	Jimmy Ogé Equinox Land Group 10450 E. 159th Court BRIGHTON CO 80602 (303) 659-8866 jimmy@equinoxland.com
TRI-COUNTY HEALTH DEPARTMENT	MONTE DEATRICH 4201 E. 72ND AVENUE SUITE D COMMERCE CITY CO 80022 (303) 288-6816 mdeatrich@tchd.org
TRI-COUNTY HEALTH DEPARTMENT	Sheila Lynch 6162 S WILLOW DR, SUITE 100 GREENWOOD VILLAGE CO 80111 720-200-1571 landuse@tchd.org
Tri-County Health: Mail CHECK to Sheila Lynch	Tri-County Health landuse@tchd.org
UNION PACIFIC RAILROAD	Anna Palmer 1400 DOUGLAS ST STOP 1690 OMAHA NE 68179 402-544-8552 acpalmer@up.com
United Power, Inc	Steve Barwick PO Box 929 500 Cooperative Way Brighton CO 80601 303-637-1387 sbarwick@UnitedPower.com
Xcel Energy	Donna George 1123 W 3rd Ave DENVER CO 80223 303-571-3306 Donna.L.George@xcelenergy.com

1382 BOSTON LLC PO BOX 273 HENDERSON CO 80640-0273

2018-1 IH BORROWER LP 1717 MAIN ST STE 2000 DALLAS TX 75201-4657

2018-4 IH BORROWER LP 1717 MAIN ST STE 2000 DALLAS TX 75201-4657

240 BALSAM LLC 805 S 8TH AVE BRIGHTON CO 80601-3230

250 N MAIN LLC 267 N MAIN ST BRIGHTON CO 80601-1628

29SC CRESTONE LLC 343 W ERIE ST STE 300 CHICAGO IL 60654-5735

29SC PHOENIX LLC 343 W ERIE ST STE 300 CHICAGO IL 60654-5735

415 NORTH 5TH LLC 1245 E BROMLEY LN BRIGHTON CO 80601-3304

455 NORTH 5TH LLC 1245 E BROMLEY LN BRIGHTON CO 80601-3304

5 SOUTH FIRST AVENUE LLC 1480 E 73RD AVE DENVER CO 80229-6902 500 MAIN LLC 1400 MONACO PKWY DENVER CO 80220-2845

7509 GRANDVIEW LLC 1480 E 73RD AVE DENVER CO 80229-6902

ADAMS COUNTY 4430 S ADAMS COUNTY PKWY BRIGHTON CO 80601

ADAMS COUNTY 4430 SOUTH ADAMS COUNTY PKWY BRIGHTON CO 80601-8204

ADDISON JOHN AND ADDISON ANITA PO BOX 154 BRIGHTON CO 80601

ADDISON LINDA GERALDINE AND ADDISON RONALD EDWARD 107 6TH STREET/PO BOX 562 DACONO CO 80514

ADKINS KENNETH WAYNE AND ADKINS DEBRA LYNN 255 ASPEN DR BRIGHTON CO 80601-2906

AGFINITY INC 260 FACTORY RD EATON CO 80615-3481

AGGREGATE INDUSTRIES - WCR INC 1707 COLE BLVD STE 100 GOLDEN CO 80401-3219

AGGREGATE INDUSTRIES WCR INC 1687 COLE BLVD STE 300 GOLDEN CO 80401-3318 AGGREGATE INDUSTRIES-WCR INC 1687 COLE BLVD STE 300 GOLDEN CO 80401-3318

ALMOST HOME INC 231 N MAIN STREET BRIGHTON CO 80601

AMALGAMATED SUGAR COMPANY LLC 1951 S SATURN WAY STE 100 BOISE ID 83709-2924

AMERICAN BUILT HOMES LLC 3124 S PARKER RD STE A2-267 AURORA CO 80014-6215

ARCHER GEORGE C AND ARCHER MONA J 11365 E 162ND PL BRIGHTON CO 80602-7654

ARTHUR WILLIAM R AND ARTHUR LESLIE M 404 N MAIN ST BRIGHTON CO 80601-1521

BALDERAS FIDEL AND BALDERAS ELIZABETH A 293 S 21ST AVE BRIGHTON CO 80601

BAMA LLC 139 MAIN STREET BRIGHTON CO 80601-1626

BARTH BUILDING LLC THE C/O PAUL A BARTH 9200 E 148TH CIRCLE BRIGHTON CO 80602-5682

BASELINE LAKES HOLDINGS LLC 12460 1ST ST EASTLAKE CO 80614 BASELINE LAKES HOLDINGS LLC ET ALS PO BOX 247 EASTLAKE CO 80614-0247

BEAULY LLC 8665 E HARTFORD DR STE 200 SCOTTSDALE AZ 85255-7807

BECERRA-HERNANDEZ VICTOR M 5251 GREY SWALLOW ST BRIGHTON CO 80601-8748

BEIER DALE A AND BEIER KAREN PO BOX 368 BRIGHTON CO 80601-0368

BELL VALORIE 6706 ARAPAHOE LN KNOXVILLE TN 37918-9515

BENNETT KRISTOPHER R AND BENNETT ANNE E 15060 HARRISON ST BRIGHTON CO 80602-7765

BERGLUND GREGORY A AND BERGLUND RANA M 327 BASSWOOD AVE JOHNSTOWN CO 80534-9134

BILLINGS DARYL D AND BILLINGS JOYCE E PO BOX 143 HENDERSON CO 80640-0143

BLAKEY ADAM AND BLAKEY ANNE 16060 NEWARK LN BRIGHTON CO 80602-8295

BLS INVESTMENTS LLC 6996 S BOULDER RD BOULDER CO 80303-4322 BLUE LEAF LLC 9669 HURON ST UNIT 200 THORNTON CO 80260

BOGETVEIT NILS 1183 GAPTER RD BOULDER CO 80303-1311

BREBIS ERIN C AND BREBIS CHAD J 11325 E 162ND DR BRIGHTON CO 80602-7654

BRIDGE A LTD 4709 WASHINGTON ST DENVER CO 80216-2745

BRIDGE B LTD 4709 WASHINGTON ST DENVER CO 80216-2745

BRIGHTON GRAIN CO INC THE 404 N MAIN ST BRIGHTON CO 80601-1521

BRIGHTON INDUSTRIAL PARK LLC 12501 RIVERDALE RD BRIGHTON CO 80602-8161

BRIGHTON URBAN RENEWAL AUTHORITY 22 S 4TH AVE SUITE 102 BRIGHTON CO 80601-2038

BROADVIEW LLC 13200 E 160TH AVE BRIGHTON CO 80602-8224

BROOKS GREASE MANAGEMENT LLC 3104 N ERIE AVE TULSA OK 74115-1900 BUDDE MARCIA M PO BOX 11494 DENVER CO 80211

BURKE PHILIP J AND BURKE JENNIFER K 15841 RIVERDALE RD BRIGHTON CO 80602-8216

BUSCH DEVELOPMENT INC PO BOX 71494 SALT LAKE CITY UT 84171-0494

BUSHBUCKS LLC ATTN VIRGINIA CASTRO 522 E WALNUT AVE BURBANK CA 91501-1724

BUSTAMANTE FAMILY TRUST DTD 05/21/2007 THE 16450 YORK ST BRIGHTON CO 80602

CAPO HOLDINGS LLC 1459 GRAND AVE DES MOINES IA 50309-3005

CAR-JON 1 LLC 5024 COUNTY ROAD 6 ERIE CO 80516-8210

CARLSON TAYLOR R UND 24.25% INT AND THORNTON CORY J UND 24.25 INT ET ALS PO BOX 247 EASTLAKE CO 80614-0247

CARLSON TAYLOR R UND 24.25% INT AND THORNTON CORY J UND 24.25% INT ET ALS PO BOX 247 EASTLAKE CO 80614-0247

CEDARBURG INVESTMENTS LLC 6996 S BOULDER RD BOULDER CO 80303-4322 CHACON HILDA G AND GARCIA NOGA 5150 CRANE DR BRIGHTON CO 80601-5353

CHACON PEDRO M AND HILDA G 5150 CRANE DR BRIGHTON CO 80601

CHAPARRO ENTERPRISES LLC 15440 EDNA DR BRIGHTON CO 80603-8954

CHAVEZ MARIA C AND CHAVEZ YURIDIA 15 APACHE PLUME ST BRIGHTON CO 80601-5365

CITY OF AURORA 15151 E ALAMEDA PKWY AURORA CO 80012-1555

CITY OF AURORA 15151 E ALAMEDA PARKWAY 5TH FLOOR AURORA CO 80012

CITY OF AURORA THE 15151 E ALAMEDA PKWY AURORA CO 80012-1555

CITY OF BRIGHTON 500 S 4TH AVE BRIGHTON CO 80601-3165

CITY OF BRIGHTON 500 S. 4TH AVE BRIGHTON CO 80601

CITY OF THORNTON 9500 CIVIC DR THORNTON CO 80229-4326 COLORADO STATE HIGHWAY 2000 S HOLLY ST DENVER CO 80222-4818

COLORADO STATE HIGHWAY NEED ADDRESS

CORDOVA ROSALIE M PO BOX 702 BRIGHTON CO 80601

CORNELL JOSEPH M 2655 W 39TH AVE DENVER CO 80211-2107

CORONADO JOSE MIGUEL AND ALAMILLA MA LOURDES 5400 SHERIDAN BLVD LOT 126 ARVADA CO 80002-7033

COX JOAN AND COX MICHAEL 24100 E 155TH WAY BRIGHTON CO 80603-3888

CRALL JOHN 322 MADISON ST BRIGHTON CO 80601

D AND R EZZELL INC PO BOX 1417 ROCKWALL TX 75087-1417

D Z AND J LLC 401 N KUNER RD BRIGHTON CO 80601-2841

DEVILLIER WILLIAM JOSEPH 13725 ST PAUL ST THORNTON CO 80602-8795 DI GESUALDO RANDAL R PO BOX 249 FREDERICK CO 80530-0249

DOHERTY DANIEL R 384 S 5TH AVE BRIGHTON CO 80601-2112

DOHERTY HOSPITALITY INC AND DOHERTY DANIEL 384 S 5TH AVE BRIGHTON CO 80601-2112

DUTKA ANNE K AND DUTKA LEO F PO BOX 1165 BRIGHTON CO 80601-1165

DYCO HOLDINGS LLC 79 LOOKOUT MOUNTAIN CIR GOLDEN CO 80401-9428

EISENACH DAVID G AND EISENACH JODIE E 4379 MT PRINCETON ST BRIGHTON CO 80601-6547

ELSE RODNEY D AND ELSE GAYLENE S 405 MILLER ST BRIGHTON CO 80601

ESPARZA CLAUDIA AND ESPARZA LILIANA 395 WELD COUNTY ROAD 29 BRIGHTON CO 80603

FAUDOA HECTOR ALONSO 395 COUNTY ROAD 29 BRIGHTON CO 80603-9714

FERNANDEZ DESTINY 627 MILLET CIR BRIGHTON CO 80601-4549 FIELD ARTHUR C 424 EGBERT CIR BRIGHTON CO 80601

FRIAS ENTERPRISES LLC 155 N MAIN BRIGHTON CO 80601

GARCIA JESUS AND GARCIA PATRICIA 290 N MAIN STREET BRIGHTON CO 80601

GARCIA SERGIO/MARIA MARTHA AND VAZQUEZ CARLOS 3745 N STEELE ST DENVER CO 80205-3655

GILL NORMAN LEE 1036 E 19TH AVE BROOMFIELD CO 80020

GOCHANOUR GREGORY A AND GOCHANOUR BRENDA L 200 ASH STREET BRIGHTON CO 80601

GONZALEZ GALINDO L 13182 GRAPE CT THORNTON CO 80241-2317

GREAT WESTERN PARTS INC 3353 E COSTILLA AVE CENTENNIAL CO 80122

GRETHEL THOMAS E AND GRETHEL MARTHA L PO BOX 945 BRIGHTON CO 80601-0945

GUERRERO BRAULIO AND GUERRERO MAGALI 621 N 15TH AVE BRIGHTON CO 80601-3325 GUERRERO GABINO 1031 BIRCH AVE FT LUPTON CO 80621

GUZMAN GUADALUPE AND GUZMAN DOMITILA 573 S 4TH AVE BRIGHTON CO 80601-3102

GUZMAN INVESTMENTS LLC 573 S 4TH AVE BRIGHTON CO 80601-3102

HART DARRELL LAVERN 15864 RIVERDALE ROAD BRIGHTON CO 80602

HARTIGAN PROPERTIES LLC 2021 KENTMERE DR LONGMONT CO 80504-2324

HARTMANN DALE 16387 PARIS WAY BRIGHTON CO 80602-8298

HE HUI AND ZHANG XIUHUI 10609 OURAY CT COMMERCE CITY CO 80022-0567

HERR FAMILY LLC 14378 HANOVER ST BRIGHTON CO 80602-5782

HERRERA ERIKA PO BOX 1294 BRIGHTON CO 80601-1294

HILL SAMUEL E PO BOX 867 BRIGHTON CO 80601-0867 HILLJE FAMILY LIMITED PARTNERSHIP LLLP PO BOX 35 FT LUPTON CO 80621

HILLJE FAMILY LIMITED PARTNERSHIP LLLP PO BOX 35 FT LUPTON CO 80621

HILLJE FAMILY LIMITED PARTNERSHIP LLLP PO BOX 35 FORT LUPTON CO 80621-0035

HOOD BESSIE B 98% INT AND HOOD JAMES ALAN 2% INT 12502 E 168TH AVE BRIGHTON CO 80602-6660

HOUSING AUTHORITY OF THE CITY OF BRIGHTON 22 S 4TH AVE BRIGHTON CO 80601-2030

HUGHES STATION BHA 2017 LLC C/O BRIGHTON HOUSING AUTHORITY 22 S 4TH AVE STE 202 BRIGHTON CO 80601-2042

IMFELD DOUGLAS AND IMFELD AUDREY 16071 OAKLAND CT BRIGHTON CO 80602-8296

J AND J FAMILY TRUST THE 1929 JEFFREY ST BRIGHTON CO 80601-2685

JOHNSON CALEB AND JOHNSON DANIELL A 16215 NOME ST BRIGHTON CO 80602-8301

JONES JOSEPH W 16235 GREAT ROCK WAY BRIGHTON CO 80603 JT PARTNERSHIP LLC PO BOX 987 FRISCO CO 80443-0987

KOECKERITZ STEVEN N 3921 CAPITOL DR FT COLLINS CO 80526-2907

KOSTELIC KARL AND KOSTELIC NATALIE G 15242 WAGON WHEEL DR BRIGHTON CO 80603-5757

KRAMERS LEILA M AND ZOPES MICHAEL L 16380 PARIS WAY BRIGHTON CO 80602-8298

KUM AND GO LC 6400 WESTOWN PKWY WEST DES MOINES IA 50266-7709

KUNER PROPERTY LLC 4047 E 130TH WAY THORNTON CO 80241

LAGERBERG GREGORY J AND LAGERBERG JOY B 4220 IRIS ST WHEAT RIDGE CO 80033-2940

LAMBERT INVESTMENT 1 LLC 50% UND INT LAMBERT INVESTMENT 2 LLC 50% UND INT 155 E BRIDGE ST BRIGHTON CO 80601-1612

LAMBERT JAMES DONALD 1/2 INT AND LAMBERT BARBARA JEAN 1/2 INT 155 E BRIDGE ST BRIGHTON CO 80601-1612

LAMPERT HOLDINGS LLC 6229 HOLMAN CT ARVADA CO 80004-3626 LIFE CHOICES PREGNANCY CENTER 20 MOUNTAIN VIEW AVE LONGMONT CO 80501-3419

LOCKETT KEVIN LEE 12302 E 168TH AVE BRIGHTON CO 80602-6627

LOCKETT REFRIGERATION LLC PO BOX 972 BRIGHTON CO 80601-0972

LOYA DANIEL R AND LOYA EVA 275 ASH AVE BRIGHTON CO 80601

MACIAS HELEN R AND MACIAS ROBERT A 16080 OAKLAND CT BRIGHTON CO 80602-8296

MADERA STEVEN PO BOX 805 BRIGHTON CO 80601-0805

MAES FAMILY TRUST 13654 STEELE COURT BRIGHTON CO 80602

MAHNKE GARY AND MAHNKE JUDITH M 5855 W 56TH AVE ARVADA CO 80002-2810

MALLOY PAUL A AND MALLOY LISA A 129 N 4TH AVE BRIGHTON CO 80601-1705

MALLOY PAUL AND LISA 145 N 4TH AVE BRIGHTON CO 80601-1705 MARCANTONIO JASON 140 RADCLIFFE CT JUPITER FL 33458-2935

MARTINEZ JOSEPH JAMES 155 N 4TH AVE BRIGHTON CO 80601-1705

MC COY RUSSELL S AND MC COY TRACY L 12651 UINTA ST BRIGHTON CO 80602-5204

MC CRORY LAND AND CATTLE LLC 16155 HIGHWAY 7 BRIGHTON CO 80602-7648

MCC ENTERPRISES INC 5680 E 165TH PL BRIGHTON CO 80602-6060

MEDLIN WAYNE E AND PATRICIA L 15655 RIVERDALE ROAD BRIGHTON CO 80601

MEK COLORADO LLC 24727 E 154TH CIR BRIGHTON CO 80603-3894

MOLINARO SAM R AND PAM 8450 COUNTER DR HENDERSON CO 80640

MONACO HOLDINGS LLC 4010 YOUNGFIELD ST WHEAT RIDGE CO 80033-3862

MONTOYA DOROTHY A 283 N 5TH AVENUE BRIGHTON CO 80601-1630 MURRAY PATRICIA K 16550 E 116TH CT COMMERCE CITY CO 80022-9790

MY BROTHERS LLC 6947 SAINT VRAIN RD LONGMONT CO 80503

NAZARENUS MARY L 514 VOILES DR BRIGHTON CO 80601-3321

NEYMAN DEBRA LEE AND NEYMAN WILLIAM FREDERICK 9295 W 100TH PL WESTMINSTER CO 80021-3880

NIXON ELENA C 11990 E SOUTH BOULDER RD LOT 125 LAFAYETTE CO 80026-2034

O BRIEN THOMAS E 2631 E 166TH AVE BRIGHTON CO 80602-7627

OCAMPO VICENTE 16200 E 168TH AVE BRIGHTON CO 80601-6654

OROZCO ROBERT IBARRA AND OROZCO EVA DIANN 707 S 10TH AVE BRIGHTON CO 80601

PENFOLD BRYAN W AND PENFOLD LINDA K 66 S 12TH AVE BRIGHTON CO 80601

PLATTE VIEW LANDING LLC UND 76.1177% ET ALS C/O HAMILTON ZANZE AND COMPANY 37 GRAHAM ST STE 200 SAN FRANCISCO CA 94129-1724 PLOCK GARY A AND PLOCK PAMELA L 150 S MAIN STREET BRIGHTON CO 80601

PLOCK GARY A AND PLOCK PAMELA L 150 SOUTH MAIN STREET BRIGHTON CO 80601

POINT WEST BUILDING LLC 15242 WAGON WHEEL DRIVE BRIGHTON CO 80603

PROCHOWNIK LORRAINE H AND PROCHOWNIK MICHAEL R 106 MELODY LANE PLATTEVILLE CO 80651

PUBLIC SERVICE CO OF COLORADO C/O PROPERTY AND LOCAL TAXES PO BOX 1979 DENVER CO 80201-1979

PUBLIC SERVICE COMPANY OF COLORADO C/O PROPERTY AND LOCAL TAX PO BOX 1979 DENVER CO 80201-1979

QUINTANA JOSEPH AND QUINTANA DEBORAH M 466 N 13TH AVE BRIGHTON CO 80601-1554

REED OIL COMPANY C/O TRI STATE OIL 1770 OTTO ROAD CHEYENNE WY 82001-9502

REED OIL COMPANY PO BOX 1183 BRIGHTON CO 80601

REGIONAL TRANSPORTATION DISTRICT 1600 BLAKE ST DENVER CO 80202 REYES LOUIS G AND REYES DEBRA A 350 MADISON ST BRIGHTON CO 80601

RIEGEL JEFFREY W 11330 E 161ST AVE BRIGHTON CO 80602-7638

RIOS RIOS FELIPE AND RIOS JESUS JAIME 1139 MYRTLE ST BRIGHTON CO 80601-1836

RIOS-RIOS FELIPE 1139 MYRTLE STREET BRIGHTON CO 80601

RIVERSIDE VILLAGE OWNERS ASSOCIATION 7501 VILLAGE SQUARE DR STE 205 CASTLE PINES CO 80108-3700

ROCKY MOUNTAIN ADVENTURE GROUP LLC 724 IMBODEN MILE RD WATKINS CO 80137

RODRIGUEZ ANTOLIN AND ARCINIEGA DE RODRIGUEZ NORMA L 13168 CLERMONT CT THORNTON CO 80241-2290

RODRIGUEZ FLORES CARLOS AND CAMACHO ARMENDARIZ RAQUEL 322 N 18TH CT BRIGHTON CO 80601-1954

RODRIGUEZ NEMESIO AND RODRIGUEZ DIANA 583 OXBOW DR BRIGHTON CO 80601-5395

ROJO ERICK AND ROJO ISABEL 1115 STRONG ST BRIGHTON CO 80601-1837 ROTHMAN SHARON ELAINE C/O CLARA HOSKINS 6360 W 38TH AVE NO. 205B WHEAT RIDGE CO 80033

ROWLAND MARK E AND ROWLAND DONNA L 695 BROMELY LN BRIGHTON CO 80601

ROWLAND RICK AND ROWLAND MARK 104 W LONGSPEAK BRIGHTON CO 80601

RRM INVESTMENTS 13 LLC 1880 VERNON LN SUPERIOR CO 80027-8163

RUTHERFORD PHYLLIS ANN TRUSTEE OF THE RUTHERFORD PHYLLIS LIVING TRUST THE 8072 LAKEVIEW DR PARKER CO 80134-5908

SALE RORY L AND SALE JANE L 16247 MOLINE ST BRIGHTON CO 80602

SANCHEZ EDUARDO AND SANCHEZ DORA 8701 E 163RD PL BRIGHTON CO 80602

SANCHEZ FELIX AND SANCHEZ JUDITH ELLEN PO BOX 2173 FRISCO CO 80443-2173

SAVAGE STEPHEN SAVAGE MARY V 441 POPLAR CIR BRIGHTON CO 80601-2985

SCHMITT PAULA 857 S 10TH AVE BRIGHTON CO 80601-3238 SCI - 157 LLC 1440 BLAKE ST STE 320 DENVER CO 80202-1489

SEAMAN DARYL A AND SEAMAN DENISE J 16275 NOME ST BRIGHTON CO 80602-8301

SHARP ROGER 363 MILLER AVENUE BRIGHTON CO 80601

SHELL LLC 4277 N 109TH ST LAFAYETTE CO 80026

SHELL LLC 4277 N 109TH ST LAFAYETTE CO 80026-9661

SILVERROCK LLC 150 S MAIN STREET BRIGHTON CO 80601

SINGH HARVINDER AND KHAIRA SUKHVINGER 2835 BRANCH RD PASO ROBLES CA 93446-7357

SMITH FAMILY TRUST THE 265 SCENIC DR LOVELAND CO 80537-3452

SNODGRASS INVESTMENTS LLC 6692 DEVINNEY CT ARVADA CO 80004-2052

SRP SUB LLC 8665 E HARTFORD DR STE 200 SCOTTSDALE AZ 85255-7807 STEINMILLER SANDRA LEE 15568 NAVAJO ST BROOMFIELD CO 80023-6331

STEWART ROBERT C AND STEWART ROBIN R 254 NORTH 4TH AVENUE BRIGHTON CO 80601

STRONG BROTHERS ENTERPRISES LLC 1665 AUGUST LANE BRIGHTON CO 80601

SULLEY MICHAEL AND SULLEY PAUL PO BOX 73 BRIGHTON CO 80601-0073

SULLEY MICHAEL AND SULLEY PAUL 15323 EDNA DR BRIGHTON CO 80603-8948

SUNSOE ENTERPRISES LLC 10821 E WARREN AVE AURORA CO 80014-1044

TAYLOR DARRELL AND TAYLOR KEITH L/CAROLYN M 14280 COUNTRY HILLS DR BRIGHTON CO 80601

TAYLOR KEITH L AND TAYLOR CAROLYN M 14280 COUNTRY HILLS DR BRIGHTON CO 80601

THE CONTAINED ONE LLC 1050 CHEROKEE ST #407 DENVER CO 80204

TIFTH TRUST 7821 OLIVE ST COMMERCE CITY CO 80022-1135 TMP VENTURES LLC 5120 OSAGE ST STE 100 DENVER CO 80221-7825

TODD CREEK VILLAGE METROPOLITAN DISTRICT 10450 E 159TH CT BRIGHTON CO 80602-7977

TODD CREEK VILLAGE PARK AND RECREATION DISTRICT 2100 S LINCOLN ST STE 2000 DENVER CO 80210-4409

TOHILL HENRY J AND TOHILL ELIZABETH M TRUSTEES 548 WISTERIA ST CHULA VISTA CA 91911-5620

TOM AND LISA LLC 17395 SANTA LUCIA ST FOUNTAIN VALLEY CA 92708-3117

TRACTOR SUPPLY COMPANY 200 POWELL PL BRENTWOOD TN 37027-7514

TREPANLER RUBY AND ROYBAL CODY 293 N 5TH AVE BRIGHTON CO 80601-1712

TRUJILLO MARYBELL C 9115 E 139TH CT BRIGHTON CO 80602-8207

TRUJILLO MARYBELL C 9115 E 139TH COURT BRIGHTON CO 80602

TRUJILLO MARYBELL C AND TRUJILLO STEVEN M 9115 E 139TH COURT BRIGHTON CO 80602 TRUJILLO RANDY AND DOMINGUEZ DAMIAN 132 N 10TH AVE BRIGHTON CO 80601-1810

TRUNKENBOLZ LLC 609 S 1ST AVE BRIGHTON CO 80601-3001

UNION PACIFIC RAILROAD COMPANY C/O PROPERTY TAX DEPARTMENT 1400 DOUGLAS STOP 1640 OMAHA NE 68179-1640

UNION PACIFIC RAILROAD COMPANY C/O PROPERTY TAX DEPARTMENT 1400 DOUGLAS STOP 1690 OMAHA NE 68179-1640

UNITED BANK OF BRIGHTON C/O THOMSON PROPERTY TAX SERVICES PO BOX 2609 CARLSBAD CA 92018-2609

UNITED POWER INC PO BOX 929 BRIGHTON CO 80602

UNITED STATES POSTAL SERVICE 1745 STOUT ST DENVER CO 80202

VALENZUELA SERGIO MARTINEZ AND RUBIO MARIA ARACELY VILLALOBOS 1624 WALNUT DR UNIT D BRIGHTON CO 80601-1979

VAUGHN JOHNIE AND VAUGHN PATRICIA 12650 TUCSON ST HENDERSON CO 80640-9443

VELASQUEZ PETE AND VELASQUEZ NORMA 109 E BRIDGE ST BRIGHTON CO 80601-1606 VELASQUEZ PETE AND VELASQUEZ NORMA A 16489 VENTURA CT BRIGHTON CO 80601-4253

VIRGIL RICHARD DANIEL 11505 E 162ND DR BRIGHTON CO 80602-7684

W 65TH PROPERTY MANAGEMENT LLC 11084 LEROY DR NORTHGLENN CO 80233-3617

WALNUT STREET APARTMENTS LLC C/O BLUE SPRUCE EQUITY LLC PO BOX 101404 DENVER CO 80250-1404

WALSH JERRY P REVOCABLE TRUST THE PO BOX 307 BRIGHTON CO 80601-0307

WARD EVILIA 325 BIRCH AVE BRIGHTON CO 80601-2915

WEBB PHYLLIS E 12152 E 168TH AVE BRIGHTON CO 80602-6661

WILSON CALEB RYAN AND WILSON EMILY ANN 11350 E 162ND DR BRIGHTON CO 80602

WISE GERALD AND WISE BONNIE PO BOX 956 BRIGHTON CO 80601-0956

ZAPIEN JESUS JR AND ZAPIEN GUILLERMINA 875 S 9TH AVE BRIGHTON CO 80601 209 KUNER LLC OR CURRENT RESIDENT 209 N KUNER RD BRIGHTON CO 80601-2822

3885 FOREST LLC OR CURRENT RESIDENT 29 N MAIN ST BRIGHTON CO 80601-1624

AAMOLD HOWARD OR CURRENT RESIDENT 457 CROWN CIR BRIGHTON CO 80601-2925

ABEYTA ESTELLA AND ABEYTA FRANK OR CURRENT RESIDENT 274 BIRCH AVE BRIGHTON CO 80601-2914

ABEYTA MICHAEL J AND ABEYTA CHRISTINE E OR CURRENT RESIDENT 428 MILLER AVE BRIGHTON CO 80601-2942

ADDISON JOHN AND ADDISON ANITA OR CURRENT RESIDENT 12330 E 160TH AVE BRIGHTON CO 80602-8223

AGAN ELIZABETH COURON MICHAEL J OR CURRENT RESIDENT 16234 PARIS WAY BRIGHTON CO 80602-8299

ALBERT ALLEN L AND ALBERT KIMBERLY S OR CURRENT RESIDENT 11521 E 161ST AVE BRIGHTON CO 80602-7653

ALBRIGHT PHILIP L OR CURRENT RESIDENT 263 BALSAM AVE BRIGHTON CO 80601-2909

ALEMAN MANUEL GUERRERO OR CURRENT RESIDENT 316 MADISON AVE BRIGHTON CO 80601-1676 ALEXANDER JONATHAN ALEXANDER KIRA OR CURRENT RESIDENT 11541 E 161ST AVE BRIGHTON CO 80602-7653

ALMANZA MARGARITA MEZA DE AND ALMANZA SAUL OR CURRENT RESIDENT 308 CEDAR AVE BRIGHTON CO 80601-2922

ALMANZA SAUL AND MARGARITA OR CURRENT RESIDENT 376 ELM AVE BRIGHTON CO 80601-6404

ALVAREZ JOSE LUIS OR CURRENT RESIDENT 257 N MAIN ST BRIGHTON CO 80601-1628

ANAYA MARIA DE JESUS OR CURRENT RESIDENT 178 N 4TH AVE BRIGHTON CO 80601-1706

ANDERSON JESSICA AND ANDERSON BRAD OR CURRENT RESIDENT 11303 E 163RD CT BRIGHTON CO 80602-7578

ANKELE FRANK ERNEST AND ANKELE SUSAN OR CURRENT RESIDENT 229 BALSAM AVE BRIGHTON CO 80601-2909

ARAGON NICHOLAS A AND ARAGON SHIRLEY A OR CURRENT RESIDENT 223 ASPEN DR BRIGHTON CO 80601-2906

ARCHULETA DOROTHY A NKA MONTOYA DOROTHY A OR CURRENT RESIDENT 283 N 5TH AVE BRIGHTON CO 80601-1712

ARMIJO LOUIS J OR CURRENT RESIDENT 11830 E 160TH AVE BRIGHTON CO 80602 ARQUIRO HARRY JR OR CURRENT RESIDENT 233 MILLER AVENUE BRIGHTON CO 80601

AUKER LEROY D AND AUKER LINDSAY M OR CURRENT RESIDENT 446 POPLAR CIR BRIGHTON CO 80601-2985

BABB DAVE H AND BABB ROSEMARY OR CURRENT RESIDENT 356 MILLER AVE BRIGHTON CO 80601-2941

BAJOREK JACK D AND BAJOREK TERESA L OR CURRENT RESIDENT 16320 PARIS WAY BRIGHTON CO 80602-8298

BAKER BRIENNA L OR CURRENT RESIDENT 324 CEDAR AVE BRIGHTON CO 80601-2922

BAKER DELORES R 1/3 INT AND BAKER BRET A/APRIL K 2/3 INT OR CURRENT RESIDENT 12420 E 160TH AVE BRIGHTON CO 80602-8221

BAMA LLC OR CURRENT RESIDENT 139 N MAIN ST BRIGHTON CO 80601-1626

BARRON ROSE E OR CURRENT RESIDENT 51 MILLER AVE BRIGHTON CO 80601-2887

BARTON ERICA AND DENNEY AARON OR CURRENT RESIDENT 11575 E 162ND DR BRIGHTON CO 80602-7684

BATH RAY AND BATH JACKIE A OR CURRENT RESIDENT 415 DOGWOOD AVE BRIGHTON CO 80601-2928 BAUER ERIN F AND BAUER ERIC F OR CURRENT RESIDENT 16340 PARIS WAY BRIGHTON CO 80602-8298

BEGGS CHRISTINE B AND BEGGS RAY A OR CURRENT RESIDENT 268 N 5TH AVE BRIGHTON CO 80601

BEJARANO BENNIE J AND BEJARANO MICHELE M OR CURRENT RESIDENT 11523 E 163RD CT BRIGHTON CO 80602-7599

BETTGER BARBARA OR CURRENT RESIDENT 290 ASH AVE BRIGHTON CO 80601-2902

BETTGER LORETTA OR CURRENT RESIDENT 265 ASH AVE BRIGHTON CO 80601

BITTLER KATHLEEN M AND KULIKOWSKI ELIZABETH OR CURRENT RESIDENT 451 POPLAR CIR BRIGHTON CO 80601-2985

BLACK JOSEPH D AND BLACK JENNIFER OR CURRENT RESIDENT 16050 OAKLAND CT BRIGHTON CO 80602-8296

BLOOM KATHLEEN L OR CURRENT RESIDENT 12500 E 160TH AVE BRIGHTON CO 80602-8221

BONNIFIELD WILLIAM M AND BONNIFIELD MARY OR CURRENT RESIDENT 523 MIDLAND STREET BRIGHTON CO 80601

BOULANGER E ALAN AND BOULANGER HEATHER E OR CURRENT RESIDENT 457 POPLAR CIR BRIGHTON CO 80601-2985 BRIGHTON ELKS HOME INC OR CURRENT RESIDENT 101 N MAIN ST BRIGHTON CO 80601

BRIGHTON FEED AND FARM SUPPLY OR CURRENT RESIDENT 370 N MAIN ST BRIGHTON CO 80601-1631

BRIGHTON GRAIN CO OR CURRENT RESIDENT 404 N MAIN ST BRIGHTON CO 80601

BRISENO JOSE H AND BRISENO GUADALUPE V OR CURRENT RESIDENT 493 N 5TH AVE BRIGHTON CO 80601-1505

BURKE CONNIE OR CURRENT RESIDENT 240 ASH AVE BRIGHTON CO 80601-2902

BURKE DENNIS OR CURRENT RESIDENT 267 N MAIN ST BRIGHTON CO 80601-1628

BURKE PHILIP J AND BURKE JENNIFER K OR CURRENT RESIDENT 15841 RIVERDALE RD BRIGHTON CO 80602-8216

BURNETT MICHAEL D AND BURNETT KENDRA E OR CURRENT RESIDENT 464 POPLAR CIR BRIGHTON CO 80601-2985

CALVARY CHAPEL BRIGHTON OR CURRENT RESIDENT 103 E BRIDGE ST BRIGHTON CO 80601-1606

CANVAS CREDIT UNION OR CURRENT RESIDENT 195 S KUNER RD BRIGHTON CO 80601 CARARA MONICA A AND CARARA LEE M OR CURRENT RESIDENT 11540 E 162ND DR BRIGHTON CO 80602-7684

CARLSON WYATT NEIL AND CARLSON GAIL OR CURRENT RESIDENT 386 DOGWOOD AVE BRIGHTON CO 80601-2927

CARRANZA CHRISTIAN AND CARRANZA CORINNE MARY OR CURRENT RESIDENT 331 MILLER AVE BRIGHTON CO 80601-2940

CASAS MARIO OR CURRENT RESIDENT 374 N 5TH AVE BRIGHTON CO 80601

CASTELLANO THOMAS D OR CURRENT RESIDENT 144 N 4TH AVE BRIGHTON CO 80601

CASTILLO MEREJILDO AND CASTILLO MARCELLA OR CURRENT RESIDENT 246 N 4TH AVE BRIGHTON CO 80601-1708

CASTRO GUADALUPE AND CASTRO ANTONIA/JOSE OR CURRENT RESIDENT 291 BIRCH AVE BRIGHTON CO 80601-2913

CAULKINS KENNETH C TRUST THE AND CAULKINS CHERYL A TRUST THE OR CURRENT RESIDENT 343 MILLER AVE BRIGHTON CO 80601-2940

CERVANTES JOVANA AND CERVANTES-GONZALEZ LUIS A OR CURRENT RESIDENT 425 MILLER AVE BRIGHTON CO 80601-2961

CHAVEZ JESUS M BARRON OR CURRENT RESIDENT 384 MILLER AVE BRIGHTON CO 80601-2941 CHAVEZ RODOLFO F ET AL OR CURRENT RESIDENT 350 N 5TH AVE BRIGHTON CO 80601-1504

CHAVEZ RODOLFO K AND CHAVEZ ROXANNE M OR CURRENT RESIDENT 362 N 5TH AVE BRIGHTON CO 80601-1504

CHRISTENSEN CHAD A AND CHRISTENSEN RACHAEL S OR CURRENT RESIDENT 11473 E 163RD CT BRIGHTON CO 80602-7579

CHRISTENSON CHRISTINE E AND CHRISTENSON SHAWNA M OR CURRENT RESIDENT 454 POPLAR CIR BRIGHTON CO 80601-2985

CISNEROS VICENTE HERNANDEZ/CISNEROS NAZARIO GARCIA/CISNEROS FRANCISCO J OR CURRENT RESIDENT 312 ELM AVE BRIGHTON CO 80601-2932

CITO AMANDA AND CITO VINCENT OR CURRENT RESIDENT 11480 E 161ST AVE BRIGHTON CO 80602-7652

CKL HOLDINGS LLC OR CURRENT RESIDENT 33 N MAIN ST BRIGHTON CO 80601-1624

CLARK THOMAS E AND CLARK MARCIA M OR CURRENT RESIDENT 360 ELM AVE BRIGHTON CO 80601-2946

COON GARY EDWIN OR CURRENT RESIDENT 548 MIDLAND ST BRIGHTON CO 80601-1543

COUBROUGH GRANT OR CURRENT RESIDENT 353 N 6TH AVE BRIGHTON CO 80601-1507 COUNCIL JENNIFER B OR CURRENT RESIDENT 324 N 5TH AVE BRIGHTON CO 80601-1504

COWIN KENNETH WAYNE AND COWIN VIRGINIA LEE OR CURRENT RESIDENT 390 MILLER AVE BRIGHTON CO 80601-2941

CRABTREE HAROLD L OR CURRENT RESIDENT 232 MILLER AVE BRIGHTON CO 80601-2939

CROCKETT TIMOTHY L AND CROCKETT MARIA E OR CURRENT RESIDENT 475 W EGBERT CIR BRIGHTON CO 80601-2930

CULLEN JAMES AND CULLEN CHRISTINA OR CURRENT RESIDENT 11420 E 163RD CT BRIGHTON CO 80602-7579

D Z AND J LLC OR CURRENT RESIDENT 401 N KUNER RD BRIGHTON CO 80601-2841

DABROWSKI WOJCIECH OR CURRENT RESIDENT 16287 MOLINE ST BRIGHTON CO 80602

DAVIS JEFFERSON F OR CURRENT RESIDENT 235 BALSAM AVE BRIGHTON CO 80601-2909

DAY MICHAEL R AND DAY KIMBERLY S OR CURRENT RESIDENT 414 DOGWOOD AVE BRIGHTON CO 80601-2929

DE LA CRUZ BRECEDA FERNANDO ARMANDO OR CURRENT RESIDENT 16400 TUCSON ST BRIGHTON CO 80601-8302 DEAN JUSTIN AKA DEAN JUSTIN M AND DEAN KRISTA AKA DEAN KRISTA S OR CURRENT RESIDENT 16130 NEWARK ST BRIGHTON CO 80602-8302

DEAN RONALD L DEAN CAROL A OR CURRENT RESIDENT 271 N MAIN ST BRIGHTON CO 80601-1628

DELUZIO BRIAN J OR CURRENT RESIDENT 16030 OAKLAND CT BRIGHTON CO 80602-8296

DIAZ MANCILLAS ENRIQUE AND DEL CARMEN SALAS MARIA OR CURRENT RESIDENT 174 LONGS PEAK ST BRIGHTON CO 80601-1673

DIAZ NOE AND DIAZ ROSA DE FATIMA OR CURRENT RESIDENT 407 ELM AVE BRIGHTON CO 80601-2933

DIORIO JASON OR CURRENT RESIDENT 287 BALSAM AVE BRIGHTON CO 80601-2909

DOBBINS CHRISTOPHER L AND DOBBINS JILLIAN S OR CURRENT RESIDENT 15851 RIVERDALE RD BRIGHTON CO 80602-8216

DOTSON JAMES C OR CURRENT RESIDENT 454 W EGBERT CIR BRIGHTON CO 80601-2930

DRAWER JOAN OR CURRENT RESIDENT 351 ELM AVE BRIGHTON CO 80601-2931

DUDLEY ADDISON K AND DUDLEY SHIRLEY J OR CURRENT RESIDENT 324 MILLER AVE BRIGHTON CO 80601-2941 DUPREE SANDRA L OR CURRENT RESIDENT 230 ASPEN DRIVE BRIGHTON CO 80601

DURAN DE MORALES BEDA OR CURRENT RESIDENT 408 MILLER AVE BRIGHTON CO 80601-2942

DURLAND HELEN D/BROOKMAN ZACHARY YOSHITO AND BROOKMAN CAITLYN M OR CURRENT RESIDENT 264 BALSAM AVE BRIGHTON CO 80601-2910

EISWORTH JOHNATHAN OR CURRENT RESIDENT 436 N 5TH AVE BRIGHTON CO 80601-1506

ELIZADE MARIA OR CURRENT RESIDENT 494 N 5TH AVE BRIGHTON CO 80601

ELLINGER MICHAEL J ELLINGER JENNIFER A OR CURRENT RESIDENT 11581 E 161ST AVE BRIGHTON CO 80602-7653

ELLIS JOSEPH E OR CURRENT RESIDENT 400 N 5TH AVE BRIGHTON CO 80601

ERDMANN RICHARD A AND ERDMANN CARLENE D OR CURRENT RESIDENT 200 ASPEN DR BRIGHTON CO 80601-2905

ERICKSON RUTH C OR CURRENT RESIDENT 545 W JESSUP ST BRIGHTON CO 80601-2960

ESCOBEDO FLORENCIO JR OR CURRENT RESIDENT 515 W JESSUP ST BRIGHTON CO 80601-2960 ESQUIVEL LEOBARDO OR CURRENT RESIDENT 214 N 4TH AVE BRIGHTON CO 80601

ESTRADA BUSTILLOS CONNIE LYNN AND ESTRADA BUSTILLOS RENE F OR CURRENT RESIDENT 340 CEDAR AVENUE BRIGHTON CO 80601

FALLON JOHN AND MENDELSON JESSICA OR CURRENT RESIDENT 11270 E 163RD CT BRIGHTON CO 80602-7575

FANTER STEPHANIE AND FANTER KEVIN OR CURRENT RESIDENT 11580 E 162ND DR BRIGHTON CO 80602-7684

FERNANDEZ DAMIAN T AND ORTEGA MICHELLE J OR CURRENT RESIDENT 383 ELM AVE BRIGHTON CO 80601-2931

FERRER ISABEL OR CURRENT RESIDENT 520 W JESSUP ST APT C BRIGHTON CO 80601-2951

FIELDS JERRY AND FIELDS RHONDA OR CURRENT RESIDENT 404 DOGWOOD AVE BRIGHTON CO 80601-2929

FINK ROGER AND FINK SHEREEN OR CURRENT RESIDENT 116 STRONG ST BRIGHTON CO 80601

FLORES MARCO ANTONIO ALMANZA OR CURRENT RESIDENT 457 ELM AVE BRIGHTON CO 80601-2933

FLORES ROGER L AND FLORES HELEN C OR CURRENT RESIDENT 378 DOGWOOD AVE BRIGHTON CO 80601 FLORES SOTO JAIME AND FLORES RAMOS SERGIO OR CURRENT RESIDENT 255 ASPEN DR BRIGHTON CO 80601-2906

FLORES TARANGO MARIO ALBERTO OR CURRENT RESIDENT 296 BALSAM AVE BRIGHTON CO 80601-2910

FLORES TEOFILO B AND FLORES IRENE G OR CURRENT RESIDENT 391 ELM AVE BRIGHTON CO 80601-2931

FRAZEE JAMES L AND FRAZEE CHERYL L OR CURRENT RESIDENT 285 ASH AVE BRIGHTON CO 80601-2901

FRESE LAWRENCE L AND FRESE VICKI L AND JAMES DAVID OR CURRENT RESIDENT 270 N MAIN ST BRIGHTON CO 80601-1629

FRESQUEZ JOSEPH B AND GEIST-FRESQUEZ ARLENE M OR CURRENT RESIDENT 467 ELM AVE BRIGHTON CO 80601-2933

FULLER BRYAN AND FULLER BEVERLY J OR CURRENT RESIDENT 373 N 6TH AVE BRIGHTON CO 80601-1507

G & B RENTALS LLC OR CURRENT RESIDENT 65 S 1ST AVE BRIGHTON CO 80601-1603

GAHNSTROM KEVIN R OR CURRENT RESIDENT 359 ELM AVE BRIGHTON CO 80601-2931

GALLEGOS SHELBY R OR CURRENT RESIDENT 244 MILLER AVE BRIGHTON CO 80601-2939 GALLEGOS THERESA R/ADAM GABRIEL CH LENG OR CURRENT RESIDENT 307 MILLER AVE BRIGHTON CO 80601-2940

GARCIA ATRIAN ROBERTO AND HERNANDEZ JUAN OR CURRENT RESIDENT 337 MILLER AVE BRIGHTON CO 80601-2940

GARCIA ESCOBAR EBELY ARCELY OR CURRENT RESIDENT 16035 NEWARK LN BRIGHTON CO 80602-8295

GARCIA LEONCIO OR CURRENT RESIDENT 477 ELM AVE BRIGHTON CO 80601-2933

GARCIA PAULA S OR CURRENT RESIDENT 305 ASPEN DR BRIGHTON CO 80601-2906

GARCIA PETE OR CURRENT RESIDENT 240 N 4TH AVE BRIGHTON CO 80601-1708

GARCIA ROBERT A OR CURRENT RESIDENT 325 ELM AVE BRIGHTON CO 80601-2931

GARRIMONE DEREK OR CURRENT RESIDENT 435 DOGWOOD AVE BRIGHTON CO 80601-2928

GASCON LUIS F OR CURRENT RESIDENT 431 N 6TH AVE BRIGHTON CO 80601-1509

GASPAROVICH DAMARIS AND ECKELMAN ROBERT D OR CURRENT RESIDENT 210 ASPEN DR BRIGHTON CO 80601-2905 GERMAN JOHN L AND GERMAN MARY E TRUSTEES OF THE GERMAN FAMILY TRUST OR CURRENT RESIDENT 16220 NOME ST BRIGHTON CO 80602-8301

GHARIBYAR HAYDEN AND GHARIBYAR NORIA OR CURRENT RESIDENT 11520 E 162ND DR BRIGHTON CO 80602-7684

GIRON ROBERT L AND GIRON ORLINDA OR CURRENT RESIDENT 231 ASPEN DR BRIGHTON CO 80601-2906

GLIDEWELL BRADLEY G AND GLIDEWELL CRISTINA OR CURRENT RESIDENT 11981 E 160TH AVENUE BRIGHTON CO 80602

GONZALES CHARLES AND GONZALES LISA OR CURRENT RESIDENT 16021 OAKLAND CT BRIGHTON CO 80602-8296

GONZALES JOSE HERNANDEZ OR CURRENT RESIDENT 256 MILLER AVE BRIGHTON CO 80601

GONZALES ROQUE J AND GONZALES THERESA R OR CURRENT RESIDENT 248 BALSAM AVE BRIGHTON CO 80601

GORDILLO MARIO OR CURRENT RESIDENT 216 BALSAM AVE BRIGHTON CO 80601-2910

GOSSERT GLENN A AND GOSSERT SHERRIE A OR CURRENT RESIDENT 279 BIRCH AVE BRIGHTON CO 80601-2913

GRANT JAMES F AND GRANT KATHLEEN L OR CURRENT RESIDENT 383 N 6TH AVE BRIGHTON CO 80601-1507 GRAY THOMAS M AND HAMILTON COSETTE S OR CURRENT RESIDENT 200 BALSAM AVE BRIGHTON CO 80601-2910

GREAVES PAUL W OR CURRENT RESIDENT 13200 E 160TH AVE BRIGHTON CO 80601

GRIFFIN ROBERT C AND GRIFFIN JUANITA OR CURRENT RESIDENT 250 MILLER AVE BRIGHTON CO 80601-2939

GROTH JEFFREY J OR CURRENT RESIDENT 319 ELM AVE BRIGHTON CO 80601-2931

GUTIERREZ SERGIO AND JAQUEZ MAYRA A OR CURRENT RESIDENT 11370 E 161ST AVE BRIGHTON CO 80602-7638

GUZMAN GUADALUPE OR CURRENT RESIDENT 263 N MAIN ST BRIGHTON CO 80601-1628

HAERING LINSEY OR CURRENT RESIDENT 241 N 5TH AVE BRIGHTON CO 80601-1712

HAGAN GILBERT SCOTT OR CURRENT RESIDENT 11287 E 162ND PL BRIGHTON CO 80602-8229

HAMILTON ARREDA L OR CURRENT RESIDENT 385 DOGWOOD AVE BRIGHTON CO 80601-2926

HANCOCK FORREST AND HANCOCK KOLLEEN OR CURRENT RESIDENT 16254 PARIS WAY BRIGHTON CO 80602-8299 HANSEN CHRISTOPHER S AND DYBVIK DARCI M OR CURRENT RESIDENT 245 ASH AVE BRIGHTON CO 80601-2901

HAOUARI KHALID EL AND HAOUARI REBECCA S EL OR CURRENT RESIDENT 431 POPLAR CIR BRIGHTON CO 80601-2985

HARDCASTLE DAVID R AND HARDCASTLE DIANA L OR CURRENT RESIDENT 446 ELM AVE BRIGHTON CO 80601-2934

HARMS LUISA OR CURRENT RESIDENT 16347 PARIS WAY BRIGHTON CO 80602-8298

HARREN REBECCA LYNNE ADAUTO OR CURRENT RESIDENT 11530 E 161ST AVE BRIGHTON CO 80602-7653

HART RONALD J OR CURRENT RESIDENT 15840 RIVERDALE RD BRIGHTON CO 80601

HARVEST FELLOWSHIP CHURCH OR CURRENT RESIDENT 11401 E 160TH AVE BRIGHTON CO 80602

HEADRICK CRAIG L AND HEADRICK JANELLE C OR CURRENT RESIDENT 11433 E 163RD CT BRIGHTON CO 80602

HEIDEMAN MICHAEL G AND HEIDEMAN MICHELE L OR CURRENT RESIDENT 319 MILLER AVE BRIGHTON CO 80601-2940

HEIDEMAN MILDRED A OR CURRENT RESIDENT 426 ELM AVE BRIGHTON CO 80601-2934 HEISER DAVID L AND HEISER CHRISTINE A OR CURRENT RESIDENT 11545 E 162ND DR BRIGHTON CO 80602-7684

HENSON JENNIFER D AND RAGAN ELEANOR S OR CURRENT RESIDENT 448 MILLER AVE BRIGHTON CO 80601-2942

HERMAN THOMAS E JR AND ABERLE MICHAEL V OR CURRENT RESIDENT 472 POPLAR CIR BRIGHTON CO 80601-2985

HERNANDEZ ELVIA OR CURRENT RESIDENT 425 W EGBERT CIR BRIGHTON CO 80601-2930

HERNANDEZ GUADALUPE MERAZ AND MERAZ HEIDY L OR CURRENT RESIDENT 361 N MAIN ST BRIGHTON CO 80601-1630

HESSHEIMER DAWN M AND BUNDY THERESA C TRUSTEES OR CURRENT RESIDENT 249 BALSAM AVE BRIGHTON CO 80601-2909

HIGHBERG GAIL OR CURRENT RESIDENT 364 MILLER AVE BRIGHTON CO 80601-2941

HINOJOS JUAN CARLOS AND HINOJOS IGNACIA O OR CURRENT RESIDENT 295 BALSAM AVE BRIGHTON CO 80601

HODGE RICHARD E AND HODGE MARY A OR CURRENT RESIDENT 447 POPLAR CIR BRIGHTON CO 80601-2985

HODGSON CHRISTOPHER LEE HODGSON SABRINA RENEE OR CURRENT RESIDENT 16137 PARIS WAY BRIGHTON CO 80602-8297 HOKE BRENDA K OR CURRENT RESIDENT 208 BALSAM AVE BRIGHTON CO 80601-2910

HOOD BESSIE B 98% INT AND HOOD JAMES ALAN 2% INT OR CURRENT RESIDENT 12502 E 168TH AVE BRIGHTON CO 80602-6660

HORNE JESSE O OR CURRENT RESIDENT 407 CROWN CIR BRIGHTON CO 80601-2925

HUGGINS JOHN JAMES SR AND HUGGINS JOAN MARCELLE OR CURRENT RESIDENT 255 ASH AVE BRIGHTON CO 80601-2901

HUGHES CALEB D AND HUGHES JOHN W AND HUGHES JULIE B OR CURRENT RESIDENT 368 ELM AVE BRIGHTON CO 80601-2946

HULEJ ROSEMARIE AND HULEJ BRUCE M OR CURRENT RESIDENT 435 N 6TH AVE BRIGHTON CO 80601-1509

HUMPHREY LINDA LEE OR CURRENT RESIDENT 247 ASPEN DR BRIGHTON CO 80601-2906

IBANEZ EDILBERTO AND IBANEZ HELEN OR CURRENT RESIDENT 143 LONGS PEAK ST BRIGHTON CO 80601

INDEPENDENT HOLDING LLC OR CURRENT RESIDENT 189 N KUNER RD BRIGHTON CO 80601-2883

INGRAM MICHAEL AND MCRAE-INGRAM JULIANE OR CURRENT RESIDENT 16184 PARIS WAY BRIGHTON CO 80602-8297 IRSIK STEVEN J AND IRSIK LAURA LYNN OR CURRENT RESIDENT 224 BALSAM AVE BRIGHTON CO 80601-2910

JACKSON RICHARD AND JACKSON CHERYL OR CURRENT RESIDENT 395 CEDAR AVE BRIGHTON CO 80601-2945

JACOBO GUILLERMINA OR CURRENT RESIDENT 279 BALSAM AVE BRIGHTON CO 80601-2909

JAGER LAURIE B OR CURRENT RESIDENT 416 ELM AVE BRIGHTON CO 80601-2934

JALIL AZHAR OR CURRENT RESIDENT 301 STRONG ST BRIGHTON CO 80601-1701

JENSEN JEFFERY RYON AND JENSEN ANGELA OR CURRENT RESIDENT 11421 E 161ST AVE BRIGHTON CO 80602-7652

JESSEN COLIN S AND JESSEN JESSICA R OR CURRENT RESIDENT 11583 E 163RD CT BRIGHTON CO 80602

JOHNSON JOSEPH P OR CURRENT RESIDENT 419 N 6TH AVE BRIGHTON CO 80601

JOJOLA JOSEPH ANDRE AND GONZALEZ ELSA G OR CURRENT RESIDENT 436 ELM AVE BRIGHTON CO 80601-2934

JOKINEN MARY L OR CURRENT RESIDENT 309 CEDAR AVE BRIGHTON CO 80601-2921 JURADO SAUL AND JURADO MARIA G OR CURRENT RESIDENT 234 N 4TH AVE BRIGHTON CO 80601-1708

KAMTZ MATTHEW AND KAMTZ HEATHER OR CURRENT RESIDENT 16020 NEWARK LN BRIGHTON CO 80602-8295

KARSTEN JONATHAN AND KARSTEN ROBYN OR CURRENT RESIDENT 16330 NOME ST BRIGHTON CO 80602-8300

KATES SHANE OR CURRENT RESIDENT 201 BALSAM AVE BRIGHTON CO 80601-2909

KELLEY CURTIS AND KELLEY VANESSA OR CURRENT RESIDENT 11343 E 163RD CT BRIGHTON CO 80602-7578

KELLEY RODNEY D OR CURRENT RESIDENT 15891 RIVERDALE RD BRIGHTON CO 80602-8216

KELLOGG ANNA J AND REED RICHARD C JR OR CURRENT RESIDENT 440 N 5TH AVE BRIGHTON CO 80601-1506

KENNEDY SARA B AND KENNEDY BRIAN E OR CURRENT RESIDENT 250 ASH AVE BRIGHTON CO 80601-2902

KETZ ASTRIDE AND TALBERG GLORIA OR CURRENT RESIDENT 202 MILLER AVE BRIGHTON CO 80601-2939

KING HUGH J AND KING PAULA J OR CURRENT RESIDENT 251 MILLER AVE BRIGHTON CO 80601-2938 KITTELMAN DANIEL A AND KITTELMAN DEYLA A OR CURRENT RESIDENT 477 CROWN CIR BRIGHTON CO 80601-2925

KNIGHT RYON E AND KNIGHT KARROL L OR CURRENT RESIDENT 11510 E 161ST AVE BRIGHTON CO 80602-7653

KRAMER DORENE LEOTA AND CRISSUP DONNA M OR CURRENT RESIDENT 387 N 6TH AVE BRIGHTON CO 80601-1507

KREIE KENNETH R AND KREIE PATRICIA A OR CURRENT RESIDENT 223 BALSAM AVE BRIGHTON CO 80601-2909

KREUTZER KENNETH AND KREUTZER JUDY M OR CURRENT RESIDENT 378 MILLER AVE BRIGHTON CO 80601-2941

KUSEK JEWEL AND KUSEK EDWARD ALAN OR CURRENT RESIDENT 16164 PARIS WAY BRIGHTON CO 80602-8297

LABER HEATH OR CURRENT RESIDENT 275 N 5TH AVE BRIGHTON CO 80601-1712

LAMB CHRISTOPHER AND KAY SHEILA L OR CURRENT RESIDENT 11560 E 162ND DR BRIGHTON CO 80602-7684

LAMBERT JAMES DONALD 1/2 INT AND LAMBERT BARBARA JEAN 1/2 INT OR CURRENT RESIDENT 11660 E 160TH AVE BRIGHTON CO 80602-7437

LAMPSHIRE RICHARD WILLIAM AND LAMPSHIRE HILLARY NAGEL OR CURRENT RESIDENT 11663 E 163RD CT BRIGHTON CO 80602 LARIMER MISCHELLE MARIE OR CURRENT RESIDENT 417 ELM AVE BRIGHTON CO 80601-2933

LARSON RICHARD LEROY OR CURRENT RESIDENT 276 N 5TH AVE BRIGHTON CO 80601-1713

LEIPOLD LANA R GOUDY AND GOUDY JAMES A JR OR CURRENT RESIDENT 317 BALSAM AVE BRIGHTON CO 80601-2911

LEPANT JOHN C OR CURRENT RESIDENT 186 DENVER ST BRIGHTON CO 80601-1620

LLOYD BRUCE MICHL OR CURRENT RESIDENT 12202 E 168TH AVE BRIGHTON CO 80602-6661

LOCKETT KEVIN LEE OR CURRENT RESIDENT 12302 E 168TH AVE BRIGHTON CO 80602

LONG HONG AND YE ELAINE OR CURRENT RESIDENT 16041 OAKLAND CT BRIGHTON CO 80602-8296

LOYA DANIEL R AND LOYA EVA OR CURRENT RESIDENT 275 ASH AVE BRIGHTON CO 80601-2901

LOZANO CHAVEZ JAHAZIEL AND LOZANO CHAVEZ REBECA OR CURRENT RESIDENT 488 MILLER AVE BRIGHTON CO 80601-2942

LUCAS NATASHA AND LUCAS DAVID OR CURRENT RESIDENT 16257 PARIS WAY BRIGHTON CO 80602-8299 LUCIO MUNOZ ANTONIO AND LUCIO MUNOZ BENITA OR CURRENT RESIDENT 327 ELM AVE BRIGHTON CO 80601-2931

LUGINBILL WILLIAM R AND LUGINBILL JOYCE L OR CURRENT RESIDENT 437 ELM AVE BRIGHTON CO 80601-2933

MAEZ VIRGINIA J OR CURRENT RESIDENT 255 BALSAM AVE BRIGHTON CO 80601-2909

MALBERG UTE OR CURRENT RESIDENT 456 ELM AVE BRIGHTON CO 80601-2934

MALDONADO BENIGNO AND MALDONADO ELLA OR CURRENT RESIDENT 438 MILLER AVENUE BRIGHTON CO 80601

MALLOY PAUL A AND MALLOY LISA A OR CURRENT RESIDENT 129 N 4TH AVE BRIGHTON CO 80601-1705

MALPICA BLANCA AND VELAZQUEZ MIGUEL OR CURRENT RESIDENT 301 CEDAR AVE BRIGHTON CO 80601-2921

MALPICA ULISES OR CURRENT RESIDENT 225 ASH AVE BRIGHTON CO 80601-2901

MANGNALL KYLE AND GIVAN LEIGH OR CURRENT RESIDENT 525 W JESSUP ST BRIGHTON CO 80601

MANGUS GERALD H AND MANGUS RAMONA R OR CURRENT RESIDENT 16144 PARIS WAY BRIGHTON CO 80602-8297 MAPLE KEITH OR CURRENT RESIDENT 215 N 5TH AVENUE BRIGHTON CO 80601

MARQUEZ RUAL OR CURRENT RESIDENT 332 N 5TH AVE BRIGHTON CO 80601

MARTINEZ ANDRES AND JACOBO CRESENCIANO OR CURRENT RESIDENT 300 CEDAR AVE BRIGHTON CO 80601

MARTINEZ CONNIE OR CURRENT RESIDENT 347 N 6TH AVE BRIGHTON CO 80601-1507

MARTINEZ JACOB T OR CURRENT RESIDENT 478 MILLER AVE BRIGHTON CO 80601-2942

MARTINEZ JESSIE J OR CURRENT RESIDENT 379 CEDAR AVE BRIGHTON CO 80601-2945

MARTINEZ MARY AGNES AND MARTINEZ JOSEPH JAMES OR CURRENT RESIDENT 171 N 4TH AVE BRIGHTON CO 80601

MARTINEZ MICHAEL L OR CURRENT RESIDENT 213 ASPEN DR BRIGHTON CO 80601-2986

MARTINEZ ROGELIO OR CURRENT RESIDENT 166 N 4TH AVE BRIGHTON CO 80601-1706

MARTINEZ ROY E TRUST THE OR CURRENT RESIDENT 241 BALSAM AVE BRIGHTON CO 80601-2909 MARTINEZ RUBEL AND MARTINEZ BOBBIE R OR CURRENT RESIDENT 346 N 5TH AVE BRIGHTON CO 80601

MASCARENAS GILBERT A / JOANN M / STEVEN AND PRINCE CHARMAINE AND DE LEON SHEILA OR CURRENT RESIDENT 312 MILLER AVE BRIGHTON CO 80601-2941

MAZITA MASALA ELIE DEMPYREE OR CURRENT RESIDENT 208 N 4TH AVE BRIGHTON CO 80601-1708

MC DEVITT GWENDOLYN J OR CURRENT RESIDENT 214 MILLER AVE BRIGHTON CO 80601-2939

MC RYHEW JOHN C AND MC RYHEW KATHLEEN FAYE OR CURRENT RESIDENT 495 MILLER AVE BRIGHTON CO 80601-2900

MECHALKE DONALD J OR CURRENT RESIDENT 141 LONGS PEAK ST BRIGHTON CO 80601-1674

MEDINA RUDY OR CURRENT RESIDENT 496 N 5TH AVE BRIGHTON CO 80601-1506

MEDLIN WAYNE E AND MEDLIN PATRICIA L OR CURRENT RESIDENT 15655 RIVERDALE RD BRIGHTON CO 80602-8216

MEINECKE MICHAEL OR CURRENT RESIDENT 11415 E 162ND DR BRIGHTON CO 80602-7658

MENDEZ MELANIE OR CURRENT RESIDENT 322 ELM AVE BRIGHTON CO 80601-2932 MENDOZA ADRIAN AND MENDOZA STELLA OR CURRENT RESIDENT 332 CEDAR AVE BRIGHTON CO 80601

MENDOZA ADRIAN AND STELLA OR CURRENT RESIDENT 371 CEDAR AVE BRIGHTON CO 80601-2945

MESTAS SAM M AND MESTAS KEITH DWAYNE AND MESTAS SHANNON L OR CURRENT RESIDENT 11561 E 161ST AVE BRIGHTON CO 80602-7653

MEZA FRANCO NATALI AND MEZA GARCIA REYNALDO OR CURRENT RESIDENT 256 BALSAM AVE BRIGHTON CO 80601-2910

MHJA PROPERTIES LLC OR CURRENT RESIDENT 45 STRONG STREET BRIGHTON CO 80601

MILLER JAMES M OR CURRENT RESIDENT 393 ASH AVE BRIGHTON CO 80601

MITCHELL AMY M OR CURRENT RESIDENT 295 ASPEN DR BRIGHTON CO 80601-2906

MOLLICONI SANDRA OR CURRENT RESIDENT 16227 PARIS WAY BRIGHTON CO 80602-8299

MONTOUR TANIA RENEE OR CURRENT RESIDENT 390 ASH AVE BRIGHTON CO 80601-2904

MONTOYA ANTHONY S/SHARON L AND SOLANO ANTHONY W/NICOLE R OR CURRENT RESIDENT 11550 E 163RD CT BRIGHTON CO 80602-7599 MONTOYA ROBERT JAMES II AND MONTOYA CHRISTY OR CURRENT RESIDENT 11633 E 163RD CT BRIGHTON CO 80602

MONTOYA-BABIRAD MARISA LYNN AND BABIRAD MICHAEL JARED OR CURRENT RESIDENT 16139 NEWARK ST BRIGHTON CO 80602-8302

MORALES ROSARIO I OR CURRENT RESIDENT 207 BALSAM AVE BRIGHTON CO 80601-2909

MORGAN TERRA J AND MORGAN LAURA L OR CURRENT RESIDENT 11680 E 163RD CT BRIGHTON CO 80602

MORITZ PAUL OR CURRENT RESIDENT 11500 E 162ND DR BRIGHTON CO 80602-7684

MORRIS/ZADIKOFF PROPERTIES LLC OR CURRENT RESIDENT 130 N MAIN ST BRIGHTON CO 80601

MUHLER WAYNE C AND MUHLER KAREN A OR CURRENT RESIDENT 12310 E 168TH AVE BRIGHTON CO 80602-6627

MUNIZ EMERSON AND MUNIZ MARY ELEANOR OR CURRENT RESIDENT 421 N 6TH AVE BRIGHTON CO 80601-1509

MUNIZ JORDAN AND MUNIZ LAUREN OR CURRENT RESIDENT 273 BIRCH AVE BRIGHTON CO 80601-2913

NAVARRO ALFRED J AND NAVARRO GERALDINE Y OR CURRENT RESIDENT 456 CROWN CIR BRIGHTON CO 80601-2925 NESS CHRISTOPHER OR CURRENT RESIDENT 15861 RIVERDALE RD BRIGHTON CO 80602-8216

NOFFSINGER ERIC S OR CURRENT RESIDENT 367 ELM AVE BRIGHTON CO 80601-2931

OCHSNER JOHN R OR CURRENT RESIDENT 405 W EGBERT CIR BRIGHTON CO 80601-2930

OCKER JEFFREY D AND OCKER JENNIFER M OR CURRENT RESIDENT 182 DENVER STREET BRIGHTON CO 80601

OEHMKE MARK J JR OR CURRENT RESIDENT 287 ASPEN DR BRIGHTON CO 80601-2906

OLBERA JOHN F AND MILLS LINDA OR CURRENT RESIDENT 338 MILLER AVE BRIGHTON CO 80601

OLEKSY PAUL RAYMOND OR CURRENT RESIDENT 120 DENVER ST BRIGHTON CO 80601-1620

OLMEDO JUAN D AND OLMEDO TOMASA M OR CURRENT RESIDENT 394 DOGWOOD AVE BRIGHTON CO 80601-2927

OLSAVSKY ALAN J AND OLSAVSKY MARY J OR CURRENT RESIDENT 16297 PARIS WAY BRIGHTON CO 80602-8299

ORDEN-CROWDER CYNTHIA VAN OR CURRENT RESIDENT 362 DOGWOOD AVE BRIGHTON CO 80601-2927 ORTEGA VINCENT JR OR CURRENT RESIDENT 11381 E 161ST AVE BRIGHTON CO 80602-7638

OSBORNE KAREN AND OSBORNE DONALD OR CURRENT RESIDENT 520 W JESSUP STREET UNIT E BRIGHTON CO 80601

OSTROM MICHAEL J AND OSTROM STEPHANIE OR CURRENT RESIDENT 11393 E 163RD CT BRIGHTON CO 80602-7578

PADILLA EULALIA OR CURRENT RESIDENT 270 ASH AVE BRIGHTON CO 80601-2902

PAIZ CHRISTOPHER UND 90% INT AND PAIZ VIZAS CYNTHIA SUB TRUST UND 10% INT OR CURRENT RESIDENT 404 N 5TH AVE BRIGHTON CO 80601-1506

PALIZZI NEICOLI OR CURRENT RESIDENT 415 N 6TH AVE BRIGHTON CO 80601-1509

PENA GERARDO AND CISNEROS MIRIAM OR CURRENT RESIDENT 375 ELM AVE BRIGHTON CO 80601-2931

PEREZ ANDREA OR CURRENT RESIDENT 418 MILLER AVE BRIGHTON CO 80601-2942

PHILLIPS ROBERT F OR CURRENT RESIDENT 154 N 4TH AVE BRIGHTON CO 80601

PILARSKI MITCHELL WILLIAM OR CURRENT RESIDENT 425 N 6TH AVE BRIGHTON CO 80601-1509 PORTILLO ALDO NOEL CORRAL OR CURRENT RESIDENT 265 N 5TH AVE BRIGHTON CO 80601

PRICE CLAY OR CURRENT RESIDENT 280 BALSAM AVE BRIGHTON CO 80601-2910

PRICE STEVEN L AND PRICE LINDA D OR CURRENT RESIDENT 447 ELM AVE BRIGHTON CO 80601-2933

PULLIAM SABER C OR CURRENT RESIDENT 203 N 5TH AVE BRIGHTON CO 80601-1712

QUEZADA NORMA LYDIA LOYA OR CURRENT RESIDENT 201 N 4TH AVE BRIGHTON CO 80601-1707

QUEZADA ROGELIO OR CURRENT RESIDENT 266 N 4TH AVE BRIGHTON CO 80601-1708

QUEZADA VICTOR A OR CURRENT RESIDENT 206 DENVER STREET BRIGHTON CO 80601

RAMIREZ MARIA GRICELDA MACARENO OR CURRENT RESIDENT 356 CEDAR AVE BRIGHTON CO 80601

RANDALL ELIZABETH M OR CURRENT RESIDENT 16001 RIVERDALE RD BRIGHTON CO 80602-8304

RECKNOR STEVEN AND RECKNOR LINDSEY D OR CURRENT RESIDENT 313 MILLER AVE BRIGHTON CO 80601-2940 REITER KELLEY AND REITER BENJAMIN D OR CURRENT RESIDENT 16075 NEWARK LN BRIGHTON CO 80602

RENTFROW JULIA MEJIA OR CURRENT RESIDENT 314 N 5TH AVE BRIGHTON CO 80601-1504

RICHARDS NATHANIEL J AND ROSS JULIA M OR CURRENT RESIDENT 319 MADISON AVE BRIGHTON CO 80601-1677

RIOJAS GIOVANNI OR CURRENT RESIDENT 474 W EGBERT CIR BRIGHTON CO 80601-2930

RIOS RIOS J LUIS AND RIOS CASAS OCTAVIO OR CURRENT RESIDENT 330 MILLER AVE BRIGHTON CO 80601-2941

RIVERA MARIE ELENA OR CURRENT RESIDENT 279 ASPEN DR BRIGHTON CO 80601-2906

ROBBINS DAVID C AND DENISE M OR CURRENT RESIDENT 455 W EGBERT CIR BRIGHTON CO 80601

ROBESON JOSEF AND ROBESON KATY OR CURRENT RESIDENT 215 ASH AVE BRIGHTON CO 80601-2901

RODRIGUEZ GRANT HAROLD AND RODRIGUEZ TEAL ANN BUNDY OR CURRENT RESIDENT 215 BALSAM AVE BRIGHTON CO 80601-2909

RODRIGUEZ GRANT NEIL AND LOCKHART JENNIFER OR CURRENT RESIDENT 301 BIRCH AVE BRIGHTON CO 80601-2915 RODRIGUEZ GUADALUPE AND RODRIGUEZ JOSEPHINE OR CURRENT RESIDENT 261 BIRCH AVE BRIGHTON CO 80601-2913

RODRIGUEZ PEDRO AND RODRIGUEZ MARIA ACOSTA DE OR CURRENT RESIDENT 491 N 5TH AVE BRIGHTON CO 80601

ROJO ERNEST AND TRUJILLO JOSEPHINE R OR CURRENT RESIDENT 270 ASPEN DRIVE BRIGHTON CO 80601

ROLAND ANTHONY AND ROLAND DAVID OR CURRENT RESIDENT 316 CEDAR AVE BRIGHTON CO 80601-2922

ROSALES JOSE AND HARTMAN NAOMI OR CURRENT RESIDENT 364 CEDAR AVE BRIGHTON CO 80601

ROSAS KIABET NELLY HERNANDEZ AND OROZCO JOSEFINA OR CURRENT RESIDENT 369 DOGWOOD AVE BRIGHTON CO 80601-2926

ROWE MARTIN RAY AND ROWE ELAINE V OR CURRENT RESIDENT 292 BIRCH AVE BRIGHTON CO 80601-2914

ROYBAL BETTY A AND TORRES MICHAEL S OR CURRENT RESIDENT 351 CEDAR AVE BRIGHTON CO 80601-2945

ROYBAL MATTHEW LAWRENCE AND ROYBAL HELEN MARIE AND DARLING JANE OR CURRENT RESIDENT 11440 E 162ND DR BRIGHTON CO 80602-7658

RUCHTI JAY JAMES OR CURRENT RESIDENT 343 ELM AVE BRIGHTON CO 80601-2931 RYDSTROM THOMAS H AND RYDSTROM ROZENA H OR CURRENT RESIDENT 404 W EGBERT CIR BRIGHTON CO 80601-2930

SAAVEDRA RUBEN CASTRO OR CURRENT RESIDENT 260 ASH AVE BRIGHTON CO 80601-2902

SABA DANIEL J OR CURRENT RESIDENT 393 DOGWOOD AVE BRIGHTON CO 80601-2926

SALAZAR ALICIA OR CURRENT RESIDENT 348 CEDAR AVE BRIGHTON CO 80601

SAN MARTIN CABALLERO LLC OR CURRENT RESIDENT 13110 E 160TH AVE BRIGHTON CO 80601-8209

SANCHEZ BLANCA I OR CURRENT RESIDENT 188 DENVER ST BRIGHTON CO 80601-1620

SANCHEZ CELESTE MAE AND SANCHEZ ANDREW ROMAN OR CURRENT RESIDENT 12101 E 160TH AVE BRIGHTON CO 80602

SANCHEZ EDMUNDO QUEZADA OR CURRENT RESIDENT 475 MILLER AVE BRIGHTON CO 80601-2961

SANCHEZ JOHN S AND JUANITA M OR CURRENT RESIDENT 11700 E 160TH AVE BRIGHTON CO 80602

SANDER JORDON ASHLEY OR CURRENT RESIDENT 150 N 4TH AVE BRIGHTON CO 80601-1706 SANDOVAL JOSE L OR CURRENT RESIDENT 272 N 4TH AVE BRIGHTON CO 80601-1708

SANDOVAL RENE OR CURRENT RESIDENT 520 W JESSUP ST NO. F BRIGHTON CO 80601-2951

SANDOVAL YOLANDA OR CURRENT RESIDENT 250 ASPEN DR BRIGHTON CO 80601-2905

SARDINA ANTONIO/JOSE AND RODRIGUEZ YOLANDA PADRON OR CURRENT RESIDENT 205 ASPEN DRIVE BRIGHTON CO 80601

SARNO LEROY J AND SARNO FRANCES A OR CURRENT RESIDENT 392 ELM AVE BRIGHTON CO 80601-2946

SATTERWHITE FRANCES OR CURRENT RESIDENT 520 W JESSUP ST NO. D BRIGHTON CO 80601-2951

SAVAGE STEPHEN AND SAVAGE MARY V OR CURRENT RESIDENT 441 POPLAR CIR BRIGHTON CO 80601-2985

SAWDY MARK K AND SAWDY DONA M OR CURRENT RESIDENT 520 W JESSUP ST NO. B BRIGHTON CO 80601-2951

SCHMIDT PHILIP MARK AND SCHMIDT KATHRINE YVONNE OR CURRENT RESIDENT 11491 E 161ST AVE BRIGHTON CO 80602-7652

SEADER CLINTON C AND SEADER JANICE S OR CURRENT RESIDENT 204 N 4TH AVE BRIGHTON CO 80601-1708 SEGOVIA LUPE OR CURRENT RESIDENT 232 BALSAM AVE BRIGHTON CO 80601

SEN ERIC WU JIAO OR CURRENT RESIDENT 16170 NEWARK ST BRIGHTON CO 80602-8302

SEVERANCE CLETUS R AND SEVERANCE SHARON A OR CURRENT RESIDENT 466 POPLAR CIR BRIGHTON CO 80601

SHARP ROGER OR CURRENT RESIDENT 363 MILLER AVENUE BRIGHTON CO 80601

SHEALEY MICHAEL S AND SHEALEY GLENDA M OR CURRENT RESIDENT 458 MILLER AVE BRIGHTON CO 80601-2942

SHORTRIDGE ALLIE OR CURRENT RESIDENT 406 CROWN CIR BRIGHTON CO 80601-2925

SHROCK DAISY L OR CURRENT RESIDENT 313 ASPEN DR BRIGHTON CO 80601-2906

SIEGMAN MICHAEL AND SIEGMAN KATRINA OR CURRENT RESIDENT 377 DOGWOOD AVE BRIGHTON CO 80601-2926

SNYDER DALE R AND SNYDER RUTHANN OR CURRENT RESIDENT 268 BIRCH AVE BRIGHTON CO 80601-2914

SOLIS MARTIN OR CURRENT RESIDENT 446 N 5TH AVE BRIGHTON CO 80601-1506 SOUTHALL RICHARD E AND SOUTHALL TERI L OR CURRENT RESIDENT 16180 NEWARK ST BRIGHTON CO 80602-8302

STEVENS KATELIN AND THILL NICHOLAS OR CURRENT RESIDENT 235 ASH AVE BRIGHTON CO 80601-2901

STUBBS BRYAN OR CURRENT RESIDENT 325 MILLER AVE BRIGHTON CO 80601-2940

STUCHLIK ROCKY L JR AND CHAVEZ VANESSA D OR CURRENT RESIDENT 425 DOGWOOD AVE BRIGHTON CO 80601-2928

SUMMITT GEORGE L AND SUMMITT DIANE N OR CURRENT RESIDENT 387 CEDAR AVE BRIGHTON CO 80601-2945

SWAZO LENA OR CURRENT RESIDENT 498 MILLER AVE BRIGHTON CO 80601-2942

SWENSON BLAIR LEE PROPERTIES LLC OR CURRENT RESIDENT 165 LONGS PEAK ST BRIGHTON CO 80601-1674

TAFOYA JOEL T AND TAFOYA MARY LENA OR CURRENT RESIDENT 286 BIRCH AVE BRIGHTON CO 80601-2914

TALBERG GLORIA AND KETZ ASTRIDE OR CURRENT RESIDENT 225 N 5TH AVE BRIGHTON CO 80601-1712

TAPIA FELIPE OR CURRENT RESIDENT 226 MILLER AVE BRIGHTON CO 80601-2939 TARIN JUAN OR CURRENT RESIDENT 318 MILLER AVE BRIGHTON CO 80601-2941

TEJEDA LORENA AND RAMOS LUIS GOMEZ OR CURRENT RESIDENT 271 BALSAM AVE BRIGHTON CO 80601

THOMPSON JANNAFAYE OR CURRENT RESIDENT 261 N 5TH AVE BRIGHTON CO 80601

THYFAULT SCOTT C OR CURRENT RESIDENT 285 BIRCH AVE BRIGHTON CO 80601-2913

TOBIN JEFFREY J OR CURRENT RESIDENT 142 N 4TH AVE BRIGHTON CO 80601-1706

TORRES BASIL JR ND TORRES LOIS A OR CURRENT RESIDENT 280 BIRCH AVE BRIGHTON CO 80601-2914

TORRES JOSE L OR CURRENT RESIDENT 220 MILLER AVE BRIGHTON CO 80601-2939

TREPANLER RUBY AND ROYBAL CODY OR CURRENT RESIDENT 293 N 5TH AVE BRIGHTON CO 80601-1712

TRUJILLO JOE LEROY AND TRUJILLO JOSEPHINE I OR CURRENT RESIDENT 363 CEDAR AVE BRIGHTON CO 80601

TRZCINSKI SHEILA OR CURRENT RESIDENT 239 ASPEN DR BRIGHTON CO 80601-2906 TURPEN MARIAN M OR CURRENT RESIDENT 271 ASPEN DR BRIGHTON CO 80601-2906

TUSTIN BRIAN AND AZUA TOSHA OR CURRENT RESIDENT 361 DOGWOOD AVENUE BRIGHTON CO 80601

UNREIN EUGENE L AND UNREIN KATHLEEN J OR CURRENT RESIDENT 114 N MAIN ST BRIGHTON CO 80601

UNREIN JOLEAN R OR CURRENT RESIDENT 280 ASH AVENUE BRIGHTON CO 80601

UTTICH WILLIAM J AND RIVERA-UTTICH LETICIA OR CURRENT RESIDENT 11400 E 161ST AVE BRIGHTON CO 80602-7652

VALENZUELA JOSEPH P AND VALENZUELA LADONNA M OR CURRENT RESIDENT 461 POPLAR CIR BRIGHTON CO 80601

VARDAMAN CURTIS A VARDAMAN DENISE R OR CURRENT RESIDENT 11501 E 161ST AVE BRIGHTON CO 80602-7653

VASQUEZ FELICITAS AND VASQUEZ MARCELINO JR OR CURRENT RESIDENT 339 WALNUT ST BRIGHTON CO 80601-1738

VEGA JUSTINO AND VEGA HERMILA M OR CURRENT RESIDENT 292 N 4TH AVE BRIGHTON CO 80601-1708

VIGIL MARY JANE OR CURRENT RESIDENT 351 N MAIN ST BRIGHTON CO 80601-1630 VILLAGOMEZ EDWARD AND VILLAGOMEZ MELISSA OR CURRENT RESIDENT 210 ASH AVENUE BRIGHTON CO 80601

VILLALOBOS MODESTO C AND VILLALOBOS LYDIA V OR CURRENT RESIDENT 129 LONGS PEAK ST BRIGHTON CO 80601

VO THANH AND VO JUDY OR CURRENT RESIDENT 11360 E 163RD CT BRIGHTON CO 80602-7578

VOHL MATTHEW AND DENTON MICHELLE OR CURRENT RESIDENT 16274 PARIS WAY BRIGHTON CO 80602-8299

WAGNAAR JOHN A OR CURRENT RESIDENT 520 W JESSUP ST APT A BRIGHTON CO 80601-2951

WAGNER KEVIN AND WAGNER KRISTIN OR CURRENT RESIDENT 11640 E 163RD CT BRIGHTON CO 80602

WAGNER PAUL S AND WAGNER KANDY LEE OR CURRENT RESIDENT 11351 E 161ST AVE BRIGHTON CO 80602-7638

WALKER RYAN M AND WALKER CAYLYN E OR CURRENT RESIDENT 16119 NEWARK ST BRIGHTON CO 80602-8302

WALVOORD R WAYNE OR CURRENT RESIDENT 346 MILLER AVE BRIGHTON CO 80601-2941

WARD KEVIN L AND WARD EVILIA P OR CURRENT RESIDENT 325 BIRCH AVE BRIGHTON CO 80601-2915 WAYER HENRY W AND WAYER RUTH F OR CURRENT RESIDENT 445 MILLER AVE BRIGHTON CO 80601-2961

WELCH MITCHELL A AND VIGIL SHANTEL OR CURRENT RESIDENT 304 BALSAM AVE BRIGHTON CO 80601-2912

WERTH DEBORAH J AND WERTH STEPHEN A OR CURRENT RESIDENT 16159 NEWARK ST BRIGHTON CO 80602-8302

WHITT ERIC AND WHITT DIANE OR CURRENT RESIDENT 16260 NOME ST BRIGHTON CO 80602-8301

WIERZBOWSKI CHRISTINA OR CURRENT RESIDENT 239 MILLER AVE BRIGHTON CO 80601-2938

WILLERT TUCKER T AND TELLINGER ANNA A OR CURRENT RESIDENT 11490 E 162ND DR BRIGHTON CO 80602-7658

WILLIAMS ROBERT D AND WILLIAMS SHARON L OR CURRENT RESIDENT 384 ELM AVE BRIGHTON CO 80601-2946

WILSON CARL M OR CURRENT RESIDENT 16300 PARIS WAY BRIGHTON CO 80602-8298

WISER ERIC STEVEN AND WISER HEIDI M OR CURRENT RESIDENT 267 BIRCH AVE BRIGHTON CO 80601-2913

WOLF PHYLLEEN A OR CURRENT RESIDENT 300 ASH AVE BRIGHTON CO 80601-2904 WOOD JERRY D OR CURRENT RESIDENT 11880 E 160TH AVE BRIGHTON CO 80602-7437

WOOD PHYLLIS I OR CURRENT RESIDENT 453 MILLER AVE BRIGHTON CO 80601-2961

XU WEN YING AND PHU ANITA AND PHU COONG VAY OR CURRENT RESIDENT 16360 PARIS WAY BRIGHTON CO 80602-8298

YEPEZ JORGE OR CURRENT RESIDENT 258 N 4TH AVENUE BRIGHTON CO 80601

ZAMORA-AVALOS ANA G AND ARANDA JOSE D OR CURRENT RESIDENT 205 ASH AVE BRIGHTON CO 80601-2901

CURRENT RESIDENT 301 N 5TH AVE BRIGHTON CO 80601-1503

CURRENT RESIDENT 303 N 5TH AVE BRIGHTON CO 80601-1503

CURRENT RESIDENT 305 N 5TH AVE BRIGHTON CO 80601-1503

CURRENT RESIDENT 313 N 5TH AVE BRIGHTON CO 80601-1503

CURRENT RESIDENT 315 N 5TH AVE BRIGHTON CO 80601-1503 CURRENT RESIDENT 317 N 5TH AVE BRIGHTON CO 80601-1503

CURRENT RESIDENT 319 N 5TH AVE BRIGHTON CO 80601-1503

CURRENT RESIDENT 325 N 5TH AVE BRIGHTON CO 80601-1503

CURRENT RESIDENT 327 N 5TH AVE BRIGHTON CO 80601-1503

CURRENT RESIDENT 329 N 5TH AVE BRIGHTON CO 80601-1503

CURRENT RESIDENT 331 N 5TH AVE BRIGHTON CO 80601-1503

CURRENT RESIDENT 302 N 5TH AVE BRIGHTON CO 80601-1504

CURRENT RESIDENT 316 N 5TH AVE BRIGHTON CO 80601-1504

CURRENT RESIDENT 348 N 5TH AVE BRIGHTON CO 80601-1504

CURRENT RESIDENT 388 N 5TH AVE BRIGHTON CO 80601-1504 CURRENT RESIDENT 403 N 5TH AVE BRIGHTON CO 80601-1505

CURRENT RESIDENT 415 N 5TH AVE BRIGHTON CO 80601-1505

CURRENT RESIDENT 419 N 5TH AVE BRIGHTON CO 80601-1505

CURRENT RESIDENT 455 N 5TH AVE BRIGHTON CO 80601-1505

CURRENT RESIDENT 489 N 5TH AVE BRIGHTON CO 80601-1505

CURRENT RESIDENT 458 N 5TH AVE BRIGHTON CO 80601-1506

CURRENT RESIDENT 490 N 5TH AVE BRIGHTON CO 80601-1506

CURRENT RESIDENT 492 N 5TH AVE BRIGHTON CO 80601-1506

CURRENT RESIDENT 417 N 6TH AVE BRIGHTON CO 80601-1509

CURRENT RESIDENT 429 N 6TH AVE BRIGHTON CO 80601-1509 CURRENT RESIDENT 404 N MAIN ST BRIGHTON CO 80601-1521

CURRENT RESIDENT 490 N MAIN ST BRIGHTON CO 80601-1521

CURRENT RESIDENT 701 N MAIN ST BRIGHTON CO 80601-1555

CURRENT RESIDENT 5 S 1ST AVE BRIGHTON CO 80601-1603

CURRENT RESIDENT 51 S 1ST AVE BRIGHTON CO 80601-1603

CURRENT RESIDENT 55 W BRIDGE ST BRIGHTON CO 80601-1605

CURRENT RESIDENT 107 E BRIDGE ST UNIT A BRIGHTON CO 80601-1606

CURRENT RESIDENT 109 E BRIDGE ST UNIT B BRIGHTON CO 80601-1606

CURRENT RESIDENT 111 E BRIDGE ST UNIT C BRIGHTON CO 80601-1606

CURRENT RESIDENT 113 E BRIDGE ST UNIT D BRIGHTON CO 80601-1606 CURRENT RESIDENT 115 E BRIDGE ST BRIGHTON CO 80601-1606

CURRENT RESIDENT 117 E BRIDGE ST UNIT E BRIGHTON CO 80601-1606

CURRENT RESIDENT 168 E BRIDGE ST BRIGHTON CO 80601-1607

CURRENT RESIDENT 5 S MAIN ST BRIGHTON CO 80601-1609

CURRENT RESIDENT 50 N MAIN ST STE A BRIGHTON CO 80601-1616

CURRENT RESIDENT 50 N MAIN ST STE B BRIGHTON CO 80601-1616

CURRENT RESIDENT 50 N MAIN ST STE C BRIGHTON CO 80601-1616

CURRENT RESIDENT 290 N MAIN ST UNIT A BRIGHTON CO 80601-1618

CURRENT RESIDENT 290 N MAIN ST UNIT B BRIGHTON CO 80601-1618

CURRENT RESIDENT 290 N MAIN ST UNIT C BRIGHTON CO 80601-1618 CURRENT RESIDENT 147 DENVER ST BRIGHTON CO 80601-1620

CURRENT RESIDENT 176 DENVER ST BRIGHTON CO 80601-1620

CURRENT RESIDENT 210 DENVER ST BRIGHTON CO 80601-1621

CURRENT RESIDENT 214 DENVER ST BRIGHTON CO 80601-1621

CURRENT RESIDENT 216 DENVER ST BRIGHTON CO 80601-1621

CURRENT RESIDENT 254 DENVER ST BRIGHTON CO 80601-1621

CURRENT RESIDENT 258 DENVER ST BRIGHTON CO 80601-1621

CURRENT RESIDENT 15 N MAIN ST BRIGHTON CO 80601-1624

CURRENT RESIDENT 25 N MAIN ST BRIGHTON CO 80601-1624

CURRENT RESIDENT 39 N MAIN ST BRIGHTON CO 80601-1624 CURRENT RESIDENT 43 N MAIN ST BRIGHTON CO 80601-1624

CURRENT RESIDENT 5 N MAIN ST BRIGHTON CO 80601-1624

CURRENT RESIDENT 12 N MAIN ST BRIGHTON CO 80601-1625

CURRENT RESIDENT 14 N MAIN ST BRIGHTON CO 80601-1625

CURRENT RESIDENT 8 N MAIN ST BRIGHTON CO 80601-1625

CURRENT RESIDENT 119 N MAIN ST BRIGHTON CO 80601-1626

CURRENT RESIDENT 121 N MAIN ST BRIGHTON CO 80601-1626

CURRENT RESIDENT 123 N MAIN ST BRIGHTON CO 80601-1626

CURRENT RESIDENT 147 N MAIN ST BRIGHTON CO 80601-1626

CURRENT RESIDENT 149 N MAIN ST BRIGHTON CO 80601-1626 CURRENT RESIDENT 155 N MAIN ST BRIGHTON CO 80601-1626

CURRENT RESIDENT 161 N MAIN ST BRIGHTON CO 80601-1626

CURRENT RESIDENT 112 N MAIN ST BRIGHTON CO 80601-1627

CURRENT RESIDENT 122 N MAIN ST BRIGHTON CO 80601-1627

CURRENT RESIDENT 148 N MAIN ST BRIGHTON CO 80601-1627

CURRENT RESIDENT 227 N MAIN ST BRIGHTON CO 80601-1628

CURRENT RESIDENT 233 N MAIN ST BRIGHTON CO 80601-1628

CURRENT RESIDENT 265 N MAIN ST BRIGHTON CO 80601-1628

CURRENT RESIDENT 299 N MAIN ST BRIGHTON CO 80601-1628

CURRENT RESIDENT 218 N MAIN ST BRIGHTON CO 80601-1629 CURRENT RESIDENT 238 N MAIN ST BRIGHTON CO 80601-1629

CURRENT RESIDENT 248 N MAIN ST BRIGHTON CO 80601-1629

CURRENT RESIDENT 250 N MAIN ST BRIGHTON CO 80601-1629

CURRENT RESIDENT 278 N MAIN ST BRIGHTON CO 80601-1629

CURRENT RESIDENT 284 N MAIN ST BRIGHTON CO 80601-1629

CURRENT RESIDENT 305 N MAIN ST BRIGHTON CO 80601-1630

CURRENT RESIDENT 311 N MAIN ST BRIGHTON CO 80601-1630

CURRENT RESIDENT 315 N MAIN ST BRIGHTON CO 80601-1630

CURRENT RESIDENT 325 N MAIN ST BRIGHTON CO 80601-1630

CURRENT RESIDENT 331 N MAIN ST BRIGHTON CO 80601-1630 CURRENT RESIDENT 335 N MAIN ST BRIGHTON CO 80601-1630

CURRENT RESIDENT 337 N MAIN ST BRIGHTON CO 80601-1630

CURRENT RESIDENT 363 N MAIN ST BRIGHTON CO 80601-1630

CURRENT RESIDENT 371 N MAIN ST BRIGHTON CO 80601-1630

CURRENT RESIDENT 380 N MAIN ST BRIGHTON CO 80601-1631

CURRENT RESIDENT 390 N MAIN ST BRIGHTON CO 80601-1631

CURRENT RESIDENT 15 STRONG ST BRIGHTON CO 80601-1633

CURRENT RESIDENT 35 STRONG ST BRIGHTON CO 80601-1633

CURRENT RESIDENT 37 STRONG ST BRIGHTON CO 80601-1633

CURRENT RESIDENT 115 STRONG ST BRIGHTON CO 80601-1635 CURRENT RESIDENT 114 STRONG ST BRIGHTON CO 80601-1636

CURRENT RESIDENT 118 STRONG ST BRIGHTON CO 80601-1636

CURRENT RESIDENT 105 E BRIDGE ST STE A BRIGHTON CO 80601-1639

CURRENT RESIDENT 131 N 1ST AVE BRIGHTON CO 80601-1640

CURRENT RESIDENT 8 GREAT WESTERN RD BRIGHTON CO 80601-1646

CURRENT RESIDENT 200 GREAT WESTERN RD BRIGHTON CO 80601-1647

CURRENT RESIDENT 210 GREAT WESTERN RD BRIGHTON CO 80601-1647

CURRENT RESIDENT 59 BUSH ST BRIGHTON CO 80601-1649

CURRENT RESIDENT 190 GREAT WESTERN RD BRIGHTON CO 80601-1655

CURRENT RESIDENT 24 N MAIN ST STE A BRIGHTON CO 80601-1659 CURRENT RESIDENT 24 N MAIN ST STE B BRIGHTON CO 80601-1659

CURRENT RESIDENT 24 N MAIN ST STE C BRIGHTON CO 80601-1659

CURRENT RESIDENT 124 N MAIN ST UNIT A BRIGHTON CO 80601-1664

CURRENT RESIDENT 124 N MAIN ST UNIT B BRIGHTON CO 80601-1664

CURRENT RESIDENT 105 LONGS PEAK ST LOT 1 BRIGHTON CO 80601-1671

CURRENT RESIDENT 105 LONGS PEAK ST LOT 10 BRIGHTON CO 80601-1671

CURRENT RESIDENT 105 LONGS PEAK ST LOT 11 BRIGHTON CO 80601-1671

CURRENT RESIDENT 105 LONGS PEAK ST LOT 12 BRIGHTON CO 80601-1671

CURRENT RESIDENT 105 LONGS PEAK ST LOT 14 BRIGHTON CO 80601-1671

CURRENT RESIDENT 105 LONGS PEAK ST LOT 15 BRIGHTON CO 80601-1671 CURRENT RESIDENT 105 LONGS PEAK ST LOT 16 BRIGHTON CO 80601-1671

CURRENT RESIDENT 105 LONGS PEAK ST LOT 17 BRIGHTON CO 80601-1671

CURRENT RESIDENT 105 LONGS PEAK ST LOT 18 BRIGHTON CO 80601-1671

CURRENT RESIDENT 105 LONGS PEAK ST LOT 19 BRIGHTON CO 80601-1671

CURRENT RESIDENT 105 LONGS PEAK ST LOT 2 BRIGHTON CO 80601-1671

CURRENT RESIDENT 105 LONGS PEAK ST LOT 3 BRIGHTON CO 80601-1671

CURRENT RESIDENT 105 LONGS PEAK ST LOT 4 BRIGHTON CO 80601-1671

CURRENT RESIDENT 105 LONGS PEAK ST LOT 5 BRIGHTON CO 80601-1671

CURRENT RESIDENT 105 LONGS PEAK ST LOT 6 BRIGHTON CO 80601-1671

CURRENT RESIDENT 105 LONGS PEAK ST LOT 7 BRIGHTON CO 80601-1671 CURRENT RESIDENT 105 LONGS PEAK ST LOT 8 BRIGHTON CO 80601-1671

CURRENT RESIDENT 105 LONGS PEAK ST LOT 9 BRIGHTON CO 80601-1671

CURRENT RESIDENT 104 LONGS PEAK ST BRIGHTON CO 80601-1673

CURRENT RESIDENT 137 LONGS PEAK ST BRIGHTON CO 80601-1674

CURRENT RESIDENT 175 LONGS PEAK ST BRIGHTON CO 80601-1674

CURRENT RESIDENT 300 MADISON AVE BRIGHTON CO 80601-1676

CURRENT RESIDENT 322 MADISON AVE BRIGHTON CO 80601-1676

CURRENT RESIDENT 344 MADISON AVE BRIGHTON CO 80601-1676

CURRENT RESIDENT 350 MADISON AVE BRIGHTON CO 80601-1676

CURRENT RESIDENT 315 MADISON AVE BRIGHTON CO 80601-1677 CURRENT RESIDENT 345 MADISON AVE BRIGHTON CO 80601-1677

CURRENT RESIDENT 145 N 4TH AVE BRIGHTON CO 80601-1705

CURRENT RESIDENT 147 N 4TH AVE BRIGHTON CO 80601-1705

CURRENT RESIDENT 155 N 4TH AVE BRIGHTON CO 80601-1705

CURRENT RESIDENT 157 N 4TH AVE BRIGHTON CO 80601-1705

CURRENT RESIDENT 162 N 4TH AVE BRIGHTON CO 80601-1706

CURRENT RESIDENT 190 N 4TH AVE BRIGHTON CO 80601-1706

CURRENT RESIDENT 222 N 4TH AVE BRIGHTON CO 80601-1708

CURRENT RESIDENT 228 N 4TH AVE BRIGHTON CO 80601-1708

CURRENT RESIDENT 254 N 4TH AVE BRIGHTON CO 80601-1708 CURRENT RESIDENT 280 N 4TH AVE BRIGHTON CO 80601-1708

CURRENT RESIDENT 284 N 4TH AVE BRIGHTON CO 80601-1708

CURRENT RESIDENT 187 N 5TH AVE BRIGHTON CO 80601-1710

CURRENT RESIDENT 209 N 5TH AVE BRIGHTON CO 80601-1712

CURRENT RESIDENT 237 N 5TH AVE BRIGHTON CO 80601-1712

CURRENT RESIDENT 249 N 5TH AVE BRIGHTON CO 80601-1712

CURRENT RESIDENT 293 1/2 N 5TH AVE BRIGHTON CO 80601-1712

CURRENT RESIDENT 299 N 5TH AVE BRIGHTON CO 80601-1712

CURRENT RESIDENT 504 LONGS PEAK ST BRIGHTON CO 80601-1732

CURRENT RESIDENT 506 LONGS PEAK ST BRIGHTON CO 80601-1732 CURRENT RESIDENT 301 WALNUT ST BRIGHTON CO 80601-1738

CURRENT RESIDENT 317 WALNUT ST BRIGHTON CO 80601-1738

CURRENT RESIDENT 308 WALNUT ST BRIGHTON CO 80601-1751

CURRENT RESIDENT 322 WALNUT ST BRIGHTON CO 80601-1751

CURRENT RESIDENT 330 WALNUT ST BRIGHTON CO 80601-1751

CURRENT RESIDENT 117 N MAIN ST UNIT A BRIGHTON CO 80601-1778

CURRENT RESIDENT 117 N MAIN ST UNIT B BRIGHTON CO 80601-1778

CURRENT RESIDENT 700 N MAIN ST BRIGHTON CO 80601-1779

CURRENT RESIDENT 301 N KUNER RD BRIGHTON CO 80601-2801

CURRENT RESIDENT 109 W WALNUT ST UNIT A BRIGHTON CO 80601-2803 CURRENT RESIDENT 109 W WALNUT ST UNIT B BRIGHTON CO 80601-2803

CURRENT RESIDENT 109 W WALNUT ST UNIT C BRIGHTON CO 80601-2803

CURRENT RESIDENT 109 W WALNUT ST UNIT D BRIGHTON CO 80601-2803

CURRENT RESIDENT 75 W BRIDGE ST BRIGHTON CO 80601-2804

CURRENT RESIDENT 70 W BRIDGE ST BRIGHTON CO 80601-2805

CURRENT RESIDENT 99 N KUNER RD BRIGHTON CO 80601-2818

CURRENT RESIDENT 219 N KUNER RD BRIGHTON CO 80601-2822

CURRENT RESIDENT 221 N KUNER RD BRIGHTON CO 80601-2822

CURRENT RESIDENT 108 W WALNUT ST BRIGHTON CO 80601-2827

CURRENT RESIDENT 355 W EGBERT ST BRIGHTON CO 80601-2832 CURRENT RESIDENT 90 MILLER AVE BRIGHTON CO 80601-2886

CURRENT RESIDENT 97 MILLER AVE BRIGHTON CO 80601-2887

CURRENT RESIDENT 124 W BRIDGE ST BRIGHTON CO 80601-2898

CURRENT RESIDENT 200 ASH AVE BRIGHTON CO 80601-2902

CURRENT RESIDENT 220 ASH AVE BRIGHTON CO 80601-2902

CURRENT RESIDENT 220 ASPEN DR BRIGHTON CO 80601-2905

CURRENT RESIDENT 240 ASPEN DR BRIGHTON CO 80601-2905

CURRENT RESIDENT 260 ASPEN DR BRIGHTON CO 80601-2905

CURRENT RESIDENT 263 ASPEN DR BRIGHTON CO 80601-2906

CURRENT RESIDENT 240 BALSAM AVE BRIGHTON CO 80601-2910 CURRENT RESIDENT 272 BALSAM AVE BRIGHTON CO 80601-2910

CURRENT RESIDENT 288 BALSAM AVE BRIGHTON CO 80601-2910

CURRENT RESIDENT 307 BALSAM AVE BRIGHTON CO 80601-2911

CURRENT RESIDENT 297 BIRCH AVE BRIGHTON CO 80601-2913

CURRENT RESIDENT 262 BIRCH AVE BRIGHTON CO 80601-2914

CURRENT RESIDENT 314 BIRCH AVE BRIGHTON CO 80601-2916

CURRENT RESIDENT 353 DOGWOOD AVE BRIGHTON CO 80601-2926

CURRENT RESIDENT 354 DOGWOOD AVE BRIGHTON CO 80601-2927

CURRENT RESIDENT 370 DOGWOOD AVE BRIGHTON CO 80601-2927

CURRENT RESIDENT 405 DOGWOOD AVE BRIGHTON CO 80601-2928 CURRENT RESIDENT 424 W EGBERT CIR BRIGHTON CO 80601-2930

CURRENT RESIDENT 427 ELM AVE BRIGHTON CO 80601-2933

CURRENT RESIDENT 406 ELM AVE BRIGHTON CO 80601-2934

CURRENT RESIDENT 245 MILLER AVE BRIGHTON CO 80601-2938

CURRENT RESIDENT 208 MILLER AVE BRIGHTON CO 80601-2939

CURRENT RESIDENT 238 MILLER AVE BRIGHTON CO 80601-2939

CURRENT RESIDENT 393 MILLER AVE BRIGHTON CO 80601-2940

CURRENT RESIDENT 372 MILLER AVE BRIGHTON CO 80601-2941

CURRENT RESIDENT 468 MILLER AVE BRIGHTON CO 80601-2942

CURRENT RESIDENT 337 CEDAR AVE BRIGHTON CO 80601-2945 CURRENT RESIDENT 535 W JESSUP ST BRIGHTON CO 80601-2960

CURRENT RESIDENT 405 MILLER AVE BRIGHTON CO 80601-2961

CURRENT RESIDENT 465 MILLER AVE BRIGHTON CO 80601-2961

CURRENT RESIDENT 12700 E 168TH AVE BRIGHTON CO 80601-6600

CURRENT RESIDENT 13115 E 160TH AVE BRIGHTON CO 80601-8210

CURRENT RESIDENT 16202 TUCSON ST BRIGHTON CO 80601-8329

CURRENT RESIDENT 16312 TUCSON ST BRIGHTON CO 80601-8329

CURRENT RESIDENT 16332 TUCSON ST BRIGHTON CO 80601-8329

CURRENT RESIDENT 16315 TUCSON ST BRIGHTON CO 80601-8330

CURRENT RESIDENT 12522 E 168TH AVE BRIGHTON CO 80602-6660 CURRENT RESIDENT 11350 E 160TH AVE BRIGHTON CO 80602-7400

CURRENT RESIDENT 11790 E 160TH AVE BRIGHTON CO 80602-7437

CURRENT RESIDENT 11365 E 162ND DR BRIGHTON CO 80602-7654

CURRENT RESIDENT 15700 RIVERDALE RD BRIGHTON CO 80602-8204

CURRENT RESIDENT 15864 RIVERDALE RD BRIGHTON CO 80602-8217

CURRENT RESIDENT 12340 E 160TH AVE BRIGHTON CO 80602-8223

CERTIFICATE OF POSTING



I, J. Gregory Barnes do hereby certify that I posted the subject property on September 10, 2019 in accordance with the requirements of the Adams County Development Standards and Regulations.

regoral

J. Gregory Barnes

Aggregate Industries Tucson South

EXG2019-00001

Vicinity of 16202 Tucson Street

October 29, 2019 Board of County Commissioners Public Hearing Community and Economic Development Department Case Manager: Greg Barnes

Requests

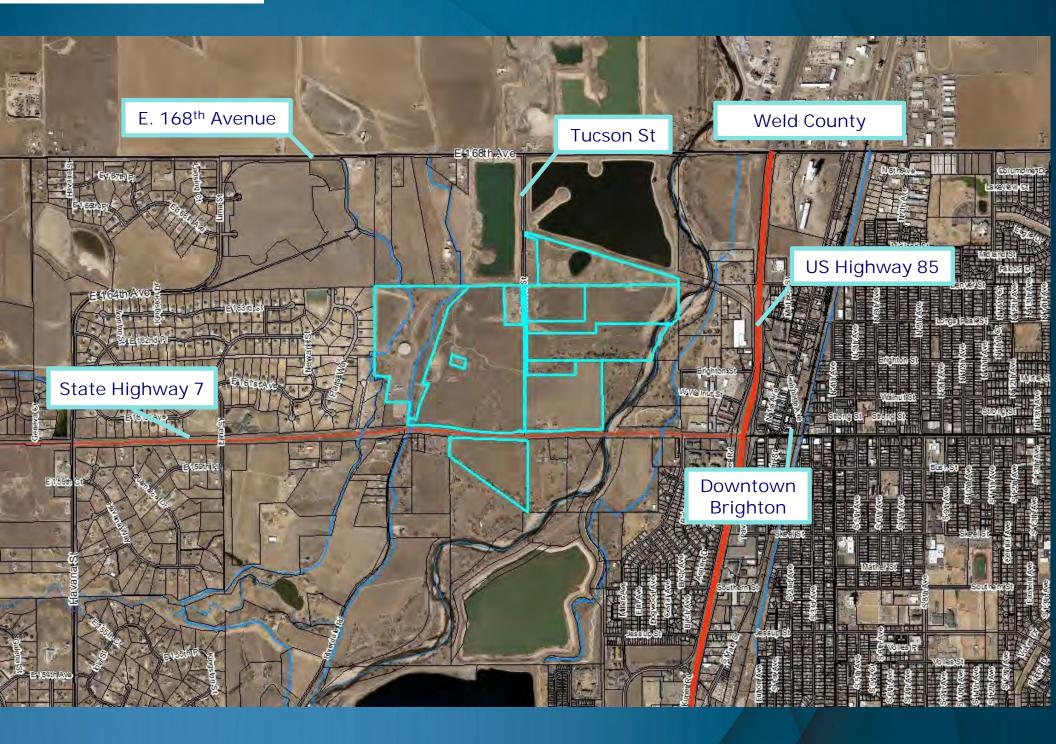
Conditional Use Permit to allow:

- Extraction and disposal use in the Agricultural-1 (A-1) zone district until 2030
- Approximately 284 acres

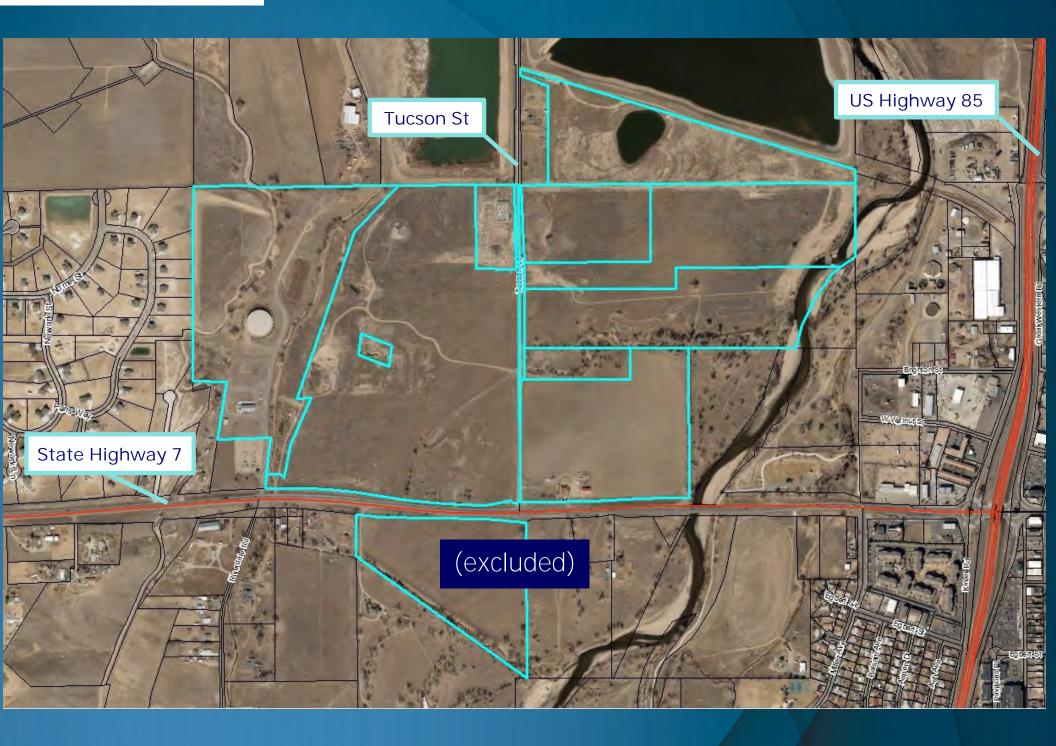
UPDATE SINCE LAST HEARING

- Exclusion of southern parcel
- No traffic crossing Highway 7
- Enhanced Fence Design After Reclamation

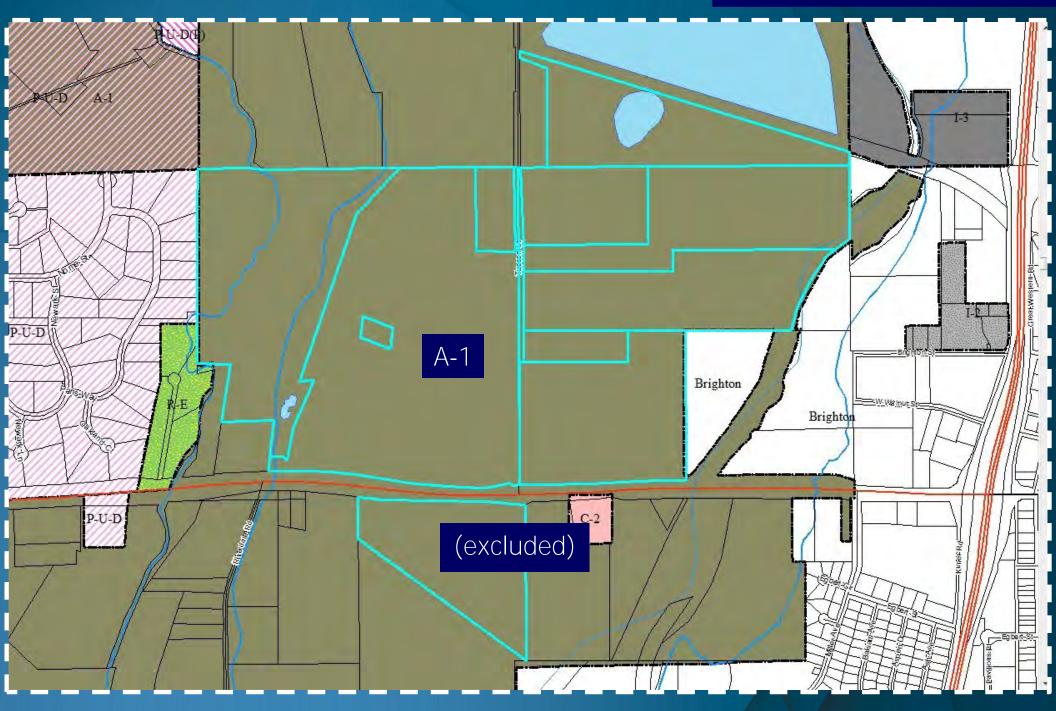
AERIAL MAP

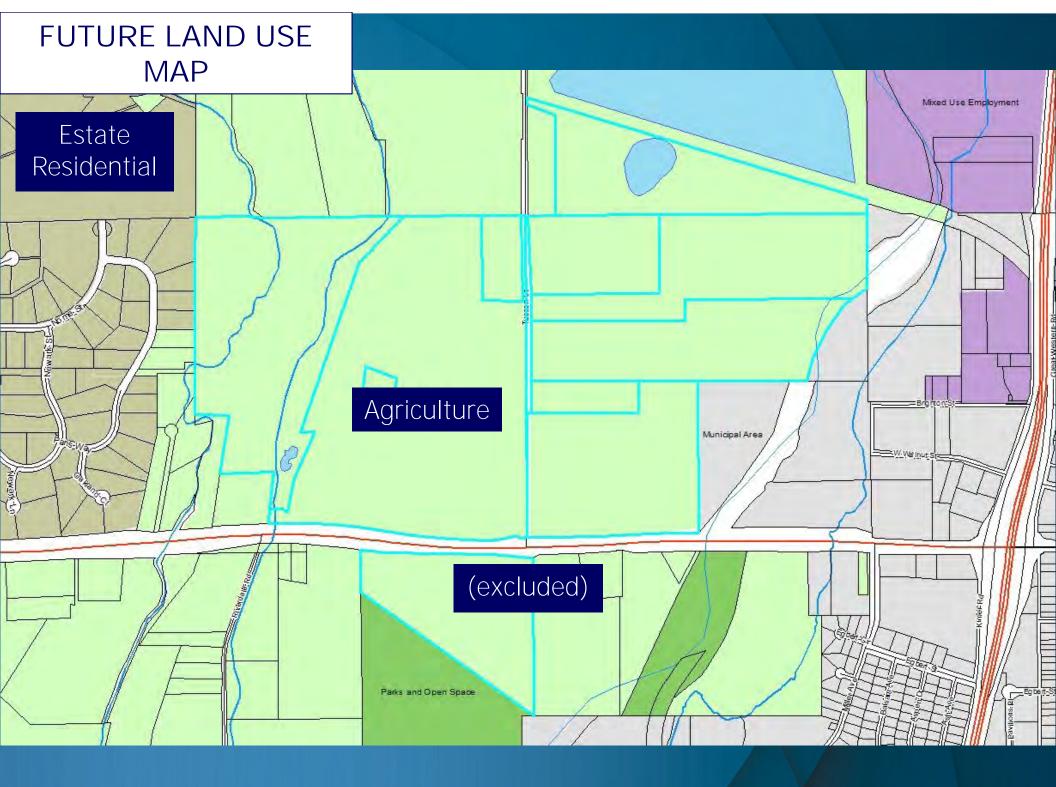


AERIAL MAP



ZONING MAP



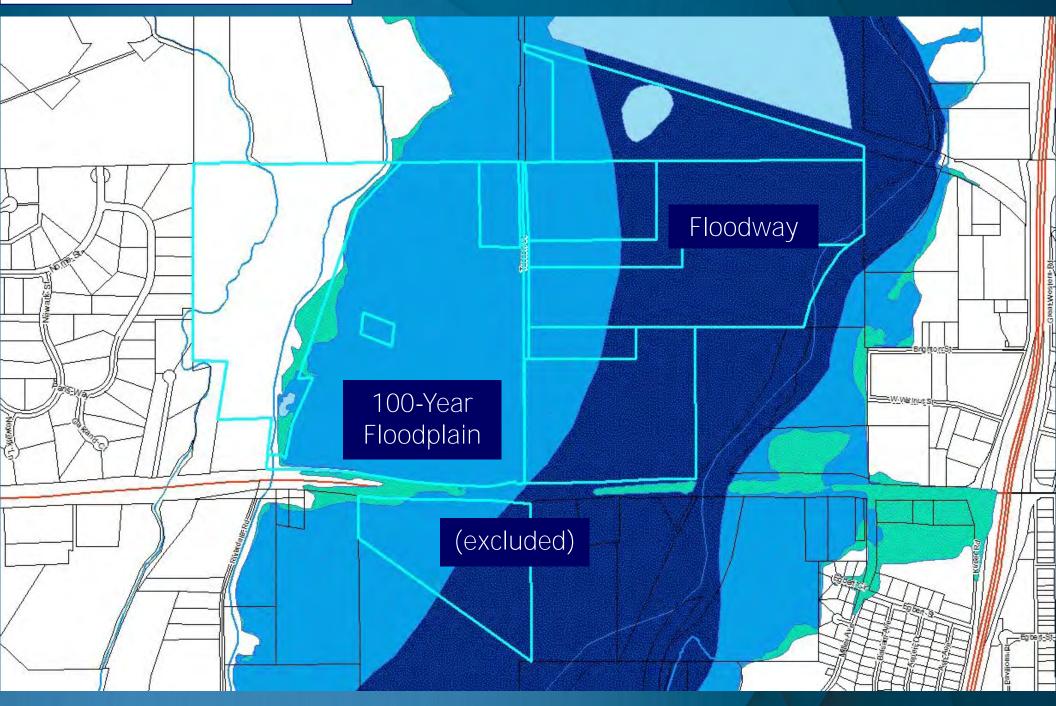


Criteria for Conditional Use Permits

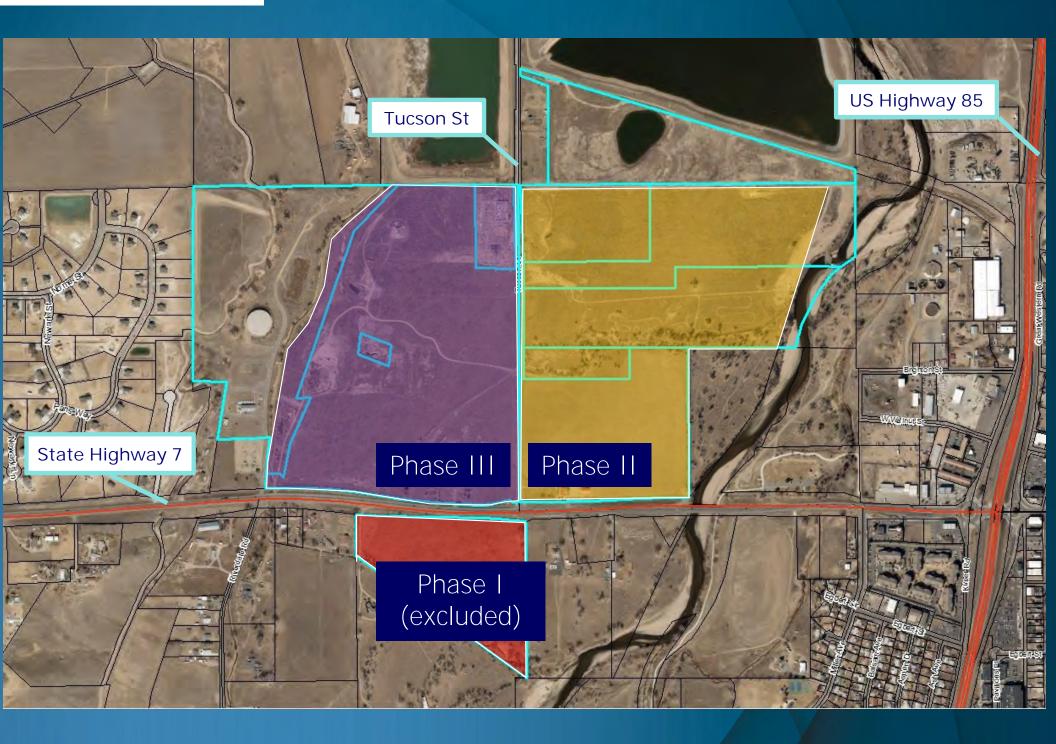
Section 2-02-08-06

- 1. Permitted in zone district
- 2. Consistent with regulations
- 3. Comply with performance standards
- 4. Harmonious & compatible
- 5. Addressed all off-site impacts
- 6. Site suitable for use
- 7. Site plan adequate for use
- 8. Adequate services

FLOODPLAIN MAP



PHASING

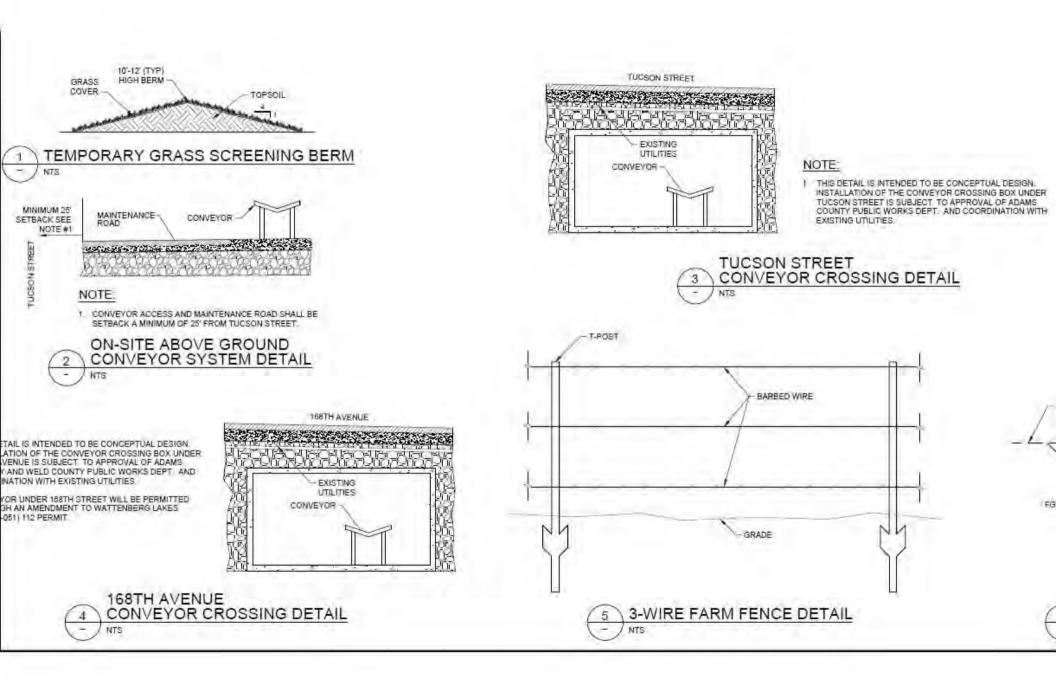


Impact Mitigation

- Roadway Maintenance Agreement
- Wildlife Survey Reporting
- Fugitive Dust Control
- Reclamation Planning
- Mosquito Control
- Hours of Operation
- Preferred Hauling Routes
- Stockpile Height
- Trail Construction
- 10-12' Berms

Roadway Maintenance Agreement

- Analysis of existing conditions
- Recommendation to improve roadways (Tucson Street and East 168th Avenue)
- Applicant shall pay for all improvements
- Applicant shall pay for all maintenance during hauling operations



AURORA FENCE DESIGN FOR RESERVOIRS

























Referral Period

Public Notice

Notices sent*	# of Comments Received
866	32*

 Property owners and residents within ½ mile were notified Public Comments

•Support

 Financial livelihood and trail development; Compatibility; Improves Water Infrastructure; Provides essential resource for economic development

Concerns/Opposition

Increased traffic; Increased pollution; Health concerns; Compatibility: Backyard views

Referral Agency Comments

- City of Brighton may have negative impacts on the gateway into their downtown. The applicant and the City negotiated the installation of a trail. City of Brighton requests conveyor for Highway 7
- Tri-County Health Department, Colorado Division of Parks & Wildlife, CDPHE, and CDOT all provided comments that were used to draft conditions of approval.

PC Update

• Public Hearing: September 26, 2019

• Public Comments

- Negative effects on Downtown Brighton
- Need for greater public outreach
- Reservoir considered undesirable
- 400 truck trips/day
- Desire for conservation easement on Phase I

• PC Concerns

- Duration of project
- Traffic
- Compatibility

PC Recommendation

Approval (4-3) of Conditional Use Permit (EXG2019-00001) Aggregate Industries Tucson South) with:

- 8 Findings-of-Fact
- 7 Conditions Precedent
- 24 Conditions
- 1 Note

Recommended Conditions Precedent

- 1. Approval of an amended Floodplain Use Permit, which excludes the parcel south of Highway 7 (Parcel #0157112000006). Any conditions of the approved floodplain use permit shall become conditions of this conditional use permit.
- 2. The applicant shall submit revised case material, which excludes Parcel #0157112000006, as presented and approved by the Board of County Commissioners
- 3. The applicant shall provide evidence that the State of Colorado has approved the ground water monitoring and mitigation plan for the site that specifically addresses impacts to owners of affected, adjacent, permitted groundwater wells.
- 4. Applicant shall provide the County with verification that a Colorado Discharge Permitting System (CDPS) permit from CDPHE, has been obtained prior to site preparation activities and commencement of mining operations.
- 5. Applicant shall provide Wildlife Survey Reports for burrowing owls conducted immediately prior to the start of clearing and grubbing operations and for raptors if construction will occur between October 15th and July 31st.

Recommended Conditions Precedent

- 6. Prior to the commencement of mining activities on the site, the applicant shall host a neighborhood meeting to introduce and distribute contact information for those responsible for mining activities on the site. Notification of the neighborhood meeting will be required for all property owners and residents within 1,000 feet of the subject parcels.
- 7. The applicant shall perform all necessary roadway assessments, repairs, and/or improvements, as outlined in the Roadway Maintenance Agreement.
- 8. Applicant shall submit and obtain approval of a landscape plan from the Community & Economic Development Director to address the visual impact of the site along public roadways and adjacent residential uses.

- 1. Extraction and disposal use shall not proceed until a "Notice to Proceed" is issued by the Adams County Community and Economic Development Department, after all the condition's precedent have been completed.
- 2. The operator will conform to all terms of the executed Roadway Maintenance Agreement.
- 3. Applicant shall notify the County of all complaints from any well owner within 600 feet from the site boundary and necessary actions taken to address impacts within 30 days of filing such reports with DRMS. For subject wells put to beneficial use prior to commencement of mining activities, Aggregate Industries will begin to implement one or more mitigation measures if mining and reclamation activity is determined to be a significant contributing factor to groundwater changes requiring mitigation.
- 4. Fugitive dust control measures as prescribed within the facility's Air Pollutant Emission Notice permit, issued by CDPHE, must always be in place and functioning to ensure onsite visible emissions do not exceed 20% at any time. There must be no off-property transport of visible emissions.

- 5. The facility shall cease operations during periods of high winds as measured by anemometer or other type of wind gauge permanently stationed on-site. High winds shall be defined as when wind speeds exceed 35 mph or a sustained 25 mph.
- 6. Reclamation activity and sequential extraction of material must be initiated to keep the total disturbed areas at any one time to a minimum.
- 7. All fluid spills such as hydraulic and oil from maintenance of equipment, shall be removed and disposed of at a facility permitted for such disposal.
- 8. Aboveground petroleum storage tanks used for equipment fueling must be placed within secondary containment.
- 9. Any new sources of filling, other than the ones listed within the application, shall require a "Notice to Proceed" to be issued by the Department of Community and Economic Development, after the applicant has certified the cleanliness of the new source material and any new haul routes are approved.

- Mining and Reclamation shall comply with the Mineral Conservation Overlay (MCO) and the section titled Extraction and Disposal Uses found within the Industrial Use Performance Standards, as adopted by Adams County found within the Adams County Development Standards.
- 11. Applicant shall provide copies of CWA 404 Permit and WQCD 401 Certification as required for operations affecting the South Platte River and adjacent riparian wetlands.
- Mining and Reclamation shall comply with the Mineral Conservation Overlay (MCO) and the section titled Extraction and Disposal Uses found within the Industrial Use Performance Standards, as adopted by Adams County found within the Adams County Development Standards and Regulations.
- 13. Applicant shall conform to the mosquito control plan submitted with this application.
- 14. No storage or processing of materials that are buoyant, flammable, hazardous, explosive, or considered solid waste shall be allowed within the floodplain.
- 15. Materials that are not required for regular operations or reclamation shall not be imported into the site without the permission of the Adams County Director of Community and Economic Development.

- 16. The mining operations will conform to the phasing plan provided with the application.
- 17. Hours of operation to include all uses on the site shall only occur between the hours of 7:00 am to 7:00 pm, Monday-Saturday.
- 18. The applicant shall install radar-activated white noise backup alarms for their equipment.
- 19. All hauling shall conform to the traffic routes outlined in the application.
- Mining operations shall be completed no later than October 29, 2029. Final reclamation of sloping, grading, and initial seeding shall be completed by October 29, 2030.
- 21. Stockpiles of material shall not exceed a maximum of twenty (20) feet in height. Stockpiles shall not be stored in the floodway.
- 22. The applicant shall comply with all the requirements specified by the Colorado Department of Natural Resources' Division of Parks & Wildlife provided in their letter dated March 7, 2019, including surveying the site for nesting birds, swift foxes, prairie dogs, and burrowing owls if installation of panels occurs between March 15th and July 31st of the year.

- 23. The applicant shall comply with all the requirements specified by the Tri-County Health Department provided in their letter dated March 7, 2019.
- 24. The applicant shall construct a trail and dedicate an easement for said trail to the Adams County Parks, Open Space, & Cultural Arts Department after mining operations are complete. The trail design shall be reviewed and approved by both the City of Brighton, City of Aurora, CDOT, and Adams County by October 10, 2025.

Recommended Notes

1. All applicable building, zoning, health, engineering, and fire codes shall be adhered to with this request.





COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

CASE NO.: PRC2019-00002

CASE NAME: COPELAND PRECAST

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- 3.2 Applicant Site Plan

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- 4.2 Referral Comments (Bennett-Watkins Fire & Rescue)
- 4.3 Referral Comments (Colorado Division of Water Resources
- 4.4 Referral Comments (Colorado Geological Survey)
- 4.5 Referral Comments (TCHD)
- 4.6 Referral Comments (Xcel)

EXHIBIT 5- Public Comments

None

EXHIBIT 6- Associated Case Materials

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- 6.2 Public Hearing Notice
- 6.3 Newspaper Publication
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COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT STAFF REPORT

Board of County Commissioners

October 29, 2019

CASE No.: PRC2019-00002	CASE NAME: Copeland Precast
Owner's Name:	Carl Frank Ehmann AKA Karl Frank Ehmann & Lester L Lakey/ Floyd R Ehmann Revocable Trust
Applicant's Name:	Bart Copeland
Applicant's Address:	904 S. Lipan Street
Location of Requests:	Approximately 3,500 feet east-northeast of the intersection of East 56 th Avenue and Imboden Road.
Nature of Requests:	1. Rezone from Agricultural-3 (A-3) to Industrial-1 (I-1); 2. Conditional use permit to allow accessory outdoor storage in excess of 100% of the building, including a stacking height exceeding the height of a screen fence.
Zoning Overlays:	Airport Influence Zone, Airport Noise Overlay
Future Land Use:	Mixed-Use Employment
Site Size:	78.6 acres (rezoning); 10 acres (conditional use permit)
Proposed Use:	Industrial/Commercial
Existing Use:	Vacant
Hearing Date(s):	PC: October 10, 2019 / 6:00 pm
	BoCC: October 29, 2019 / 9:30 am
Report Date:	October 2, 2019
Case Manager:	Greg Barnes
PC Recommendation:	APPROVAL with 16 Findings-of-Fact, 3 Conditions Precedent, 5 Conditions, and 2 Notes
Staff Recommendation:	APPROVAL with 16 Findings-of-Fact, 3 Conditions Precedent, 5 Conditions, and 2 Notes

SUMMARY OF APPLICATION

Background:

The applicant, Bart Copeland, is requesting to rezone the subject property from Agricultural-3 (A-3) to Industrial-1 (I-1), and a conditional use permit to allow accessory outdoor storage in excess of 100% of the building area. The applicant is seeking a new location for his business, Copeland Precast, a concrete manufacturing facility. The applicant previously attempted to

rezone the subject property to Industrial-2 (I-2), however withdrew the application after the Planning Commission and staff both recommended denial of the rezoning in January 2019. Staff and the Planning Commission both had concerns that infrastructure in the area was insufficient for I-2 zoning, and the request was inconsistent with the comprehensive plan's future land use designation of Mixed-Use Employment.

Site Characteristics:

The subject property is located approximately 3,500 feet east-northeast of the intersection of East 56th Avenue and Imboden Road and has street frontage along the East 56th Avenue on the southern side of the property. East 56th Avenue is designated as rural section line arterial and is currently an unpaved road. The subject property is approximately four miles from US Highway 36 and five miles from Interstate-70. In addition, the site is currently vacant and does not have access to a public water or sewer system, and any development of the site would rely on the applicant's ability to acquire a commercial well permit and on-site wastewater treatment systems.

Development Standards and Regulations:

<u>Rezoning</u>

Section 2-02-13-06-02 of the County's Development Standards and Regulations outlines the approval criteria for rezoning a property. The criteria include consistency with the County's Comprehensive Plan and purpose of the Development Standards, compatibility and harmony with the surrounding area, and the rezoning must not be detrimental to future development of the area.

Currently, the property is designated as A-3. Per Section 3-10-01 of the County's Development Standards and Regulations, the purpose of the A-3 zone district is to provide land holdings of 35 acres or larger for farming, pasturage, or other food-production related uses. The County's future land use designation on the property is mixed-use employment. This land use designation is intended to accommodate a range of employment uses, help increase employment, and contribute to the County's tax base. Per Section 3-24-01 of the County's Development Standards and Regulations, the purpose of the I-1 zone district is to provide a variety of compatible businesses, warehouses, and offices. The property is also partially located within the Airport Noise Overlay (ANO) District, and entirely within the Airport Influence Zone (AIZ). The ANO restricts new residential uses and requires noise reduction measures for commercial and industrial development. The AIZ requires that uses not emit glare, steam or smoke, and not attract wildlife.

The request does conform to the dimensional requirements for the I-1 zone district. Per Section 3-24-07 of the County's Development Standards and Regulations, the minimum lot size for the I-1 zone district is one acre. The minimum lot width required is one hundred (100) feet. The subject property exceeds both minimum requirements, therefore conforming to the required standards for lot size and width in the I-1 zone district.

In addition to conformance with the Development Standards, the proposed rezoning must be compatible with the surrounding area and not detrimental to future development of the area. Section 4-16-18-01 of the County's Development Standards outlines specific landscape and screening required to buffer uses of lesser intensity, such as agriculture or residential. The

request to rezone the property from agricultural to industrial will require a minimum 15-foot wide landscape buffer along the west, north, and east property lines. Landscaping requires an irrigation plan to ensure plant survival and maintaining required landscape between industrial and agricultural or residential uses may be difficult without an adequate water supply.

Conditional Use Permit:

Per Section 3-07-01 of the Adams County Development Standards and Regulations, a conditional use permit is required for outdoor storage use in excess of 100% of the building area in the I-1 district. Specific performance standards for outdoor storage uses are outlined in Section 4-10-02-05-09 of the County's Development Standards and Regulations. According to the performance standards, outdoor storage areas are required to be screened with fencing or walls. The site plan provided with the application shows a proposed eight-foot-high precast concrete wall finished to have the appearance of wood planks around portions of the outdoor storage yard. The wall would be constructed along the southeastern and southwestern sides of the 10-acre portion of the property to be used by the Copeland Precast business. A berm is proposed with landscaping to surround the outdoor storage yard. The landscape berm is not to exceed a 4:1 slope. Staff is recommending a condition to ensure that the berm will be a minimum of six feet in height around the portions of the storage yard not screened by fencing. Stacking of materials is proposed to be fifteen feet in height. This will exceed the maximum height of the screen fence, and therefore the allowance of over height stacking shall be considered with the conditional use permit.

The outdoor storage area abuts a vacant, agriculturally zoned property. Per Section 4-16-18-01 of the County's Development Standards, an industrial use abutting a vacant agricultural zoned property is required to construct a type "D' buffer along the perimeter of the side adjacent to the agricultural zone district. The type "D' buffer consists of a minimum of three trees per sixty linear feet and width of fifteen feet. The site plan submitted with the application shows a landscape buffer to be installed around the perimeter of the outdoor storage area. The perimeter landscape buffer includes the landscape berm to provide additional screening. The planting materials within the buffer, in conjunction with the landscape berm, would provide adequate screening from surrounding vacant agricultural lands, although the landscaping quantities are not fully conformance with the quantities required by the Development Standards. The applicant has provided alternatives that staff has determined will accomplish the purpose of screening regulations in a portion of the County with scarce water resources.

Future Land Use Designation/Comprehensive Plan:

The future land use designation on the property is Mixed-Use Employment. Per Chapter 5 of the Adams County Comprehensive Plan, the purpose of the Mixed-Use Employment future land use designation is to accommodate a range of employment uses with a mix of supporting uses to serve employment needs. In addition, Mixed-Used Employment areas are designated in locations that have transportation access and visibility but are not suitable for residential development. Mixed-Use Employment areas may include offices, light manufacturing, distribution, indoor warehousing, clean industry, and supporting retail businesses.

Large swaths of properties around Denver International Airport, the Colorado Air and Space Port, and the Interstate-70 (I-70) corridor are designated as Mixed-Use Employment by the County's future land use map. The Comprehensive Plan specifically identifies this area as one where future development should be phased and concentrated to areas where urban services and infrastructure is most readily available. The subject property does not have access to urban services, such a public water and sewer to support commercial/industrial development, and is located on a rural, unpaved road. The property is approximately four miles from US Highway 36 and five miles from Interstate-70. The surrounding area is expected to transition to industrial zoning within the next decade. A concrete precast company could help support/construct new businesses in the area, as it is expected to transition. A barrier to redevelopment is the high cost of materials and reducing the distance for shipping could be a cost-savings. Similar requests to rezone to allow for industrial uses in the area have been approved within the last three years.

Northwest	North	Northeast		
City of Aurora	A-3	A-3		
Vacant	Vacant	Single-Family Residential		
West	Subject Property	East		
City of Aurora	A-3	A-3		
Vacant	Vacant	Vacant		
Southwest	South	Southeast		
AV	AV	AV		
Colorado Air & Space Port	Colorado Air & Space Port	Colorado Air & Space Port		

Surrounding Zoning Designations and Existing Use Activity:

Compatibility with the Surrounding Area:

The subject property is bordered to the south by the Colorado Air and Space Port, which is designated in the Aviation (AV) zone district. The properties located north, and east are designated in the A-3 zone district. To the west of the subject property is the municipal boundaries of the City of Aurora. Most of the surrounding properties are currently vacant.

Per Section 8-02-02 of the County's Development Standards and Regulations, a traffic study was submitted, as the proposed rezoning and potential development of the site will generate more than 20 vehicle trips per day. The traffic study identified substantial improvements that would be required to support 78 acres of industrial development permitted under the proposed I-1 zoning. These improvements include roadway paving, additional travel lanes, and improved signalization at intersections adjacent to the site. Currently, East 56th Avenue is a two-lane unpaved roadway and full build-out to four lanes is not anticipated until 2040 according to the the 2012 Adams County Transportation Plan. The applicant would be required to complete the improvements identified in the traffic study prior to development.

PLANNING COMMISSION UPDATE

The Planning Commission (PC) considered this case on October 10, 2019 and voted (6-1) to recommend approval of the requests. The applicant spoke at the meeting and had no concerns with the staff report or presentation. There was no one from the public to speak in favor or in opposition to the request. The Planning Commission asked the applicant what was planned for the remainder of the property that is not included in the conditional use permit request. The applicant responded that the land will be reserved for expansion and growth of Copeland Precast. In addition, the Planning Commission inquired what Aurora's zoning designation on

the property located directly west of the site. Staff confirmed that the property is zoned Industrial-2 by the City of Aurora.

Staff Recommendation:

Based upon the application, the criteria for a rezoning, and a recent site visit, staff recommends approval of this request with 16 findings-of-fact, 3 conditions precedent, 5 conditions, and 2 notes:

RECOMMENDED FINDINGS-OF-FACT

- 1. The Zoning Map amendment is consistent with the Adams County Comprehensive Plan.
- 2. The Zoning Map amendment is consistent with the purposes of these standards and regulations.
- 3. The Zoning Map amendment will comply with the requirements of these standards and regulations
- 4. The Zoning Map amendment is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
- 5. The conditional use is permitted in the applicable zone district.
- 6. The conditional use is consistent with the purposes of these standards and regulations.
- 7. The conditional use will comply with the requirements of these standards and regulations, including but not limited to, all applicable performance standards.
- 8. The conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
- 9. The conditional use permit has addressed all off-site impacts.
- 10. The site is suitable for the proposed conditional use including adequate usable space, adequate access, and absence of environmental constraints.
- 11. The site plan for the proposed conditional use will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
- 12. Sewer, water, storm water drainage, fire protection, police protection, and roads are available and adequate to serve the needs of the conditional use as designed and proposed.
- 13. There is a need for the outdoor storage operation for the benefit of Adams County.
- 14. The request is compatible with the Adams County Comprehensive Plan, complies with the minimum zoning requirements of the zone district in which the Conditional Use Permit is to be granted, and complies with all other applicable requirements of the Adams County Zoning and Subdivision Regulations.
- 15. The proposed outdoor storage is clearly subordinate to a principal use of the property.
- 16. Aesthetic concerns have been taken into consideration during the site design and placement of the outdoor storage.

Recommended Conditions Precedent:

- 1. Prior to using the property for outdoor storage, the applicant shall obtain a fence permit and construct the fence as required by this conditional use permit.
- 2. Prior to using the property for outdoor storage, the applicant shall construct all required berms as illustrated on the approved site plan, with a minimum of six feet in height. Alternatively, a screen fence may be used in any area where the berm will not reach a height of six feet.
- 3. An access permit shall be obtained for the proposed driveway.

Recommended Conditions of Approval:

- 1. The conditional use permit shall expire on October 29, 2024.
- 2. The outdoor storage shall consist of non-hazardous materials as determined by the Colorado Department of Public Health and Environment.
- 3. Operation of the use shall be strictly adhered to as depicted on the site plan. Any changes or expansion of the outdoor storage area shall require an amendment to the conditional use permit.
- 4. All landscaping on the site shall conform to the landscape plan approved with the conditional use permit, and all existing, healthy trees shall not be removed from the property. Maintenance of the required landscaping shall conform to County's landscape requirements outlined in the Development Standards and Regulations.
- 5. The stacking height of any material stored in the approved outdoor storage area shall not exceed fifteen feet in height.

Recommended Note to the Applicant:

- 1. All applicable building, zoning, health, fire, and engineering requirements and codes shall be adhered to with this request.
- 2. The conditional use permit shall expire on October 29, 2020 if building permits are not obtained

Notifications Sent	Comments Received
14	0

CITIZEN COMMENTS

All property owners and occupants within a half-mile of the subject property were notified of the request. As of writing this report, staff has not received any responses from those notified.

COUNTY AGENCY COMMENTS

Staff reviewed the request and had some concerns with the proposed conditional use permit for outdoor storage. The proposed stacking height and screening alternatives, such as berming and reduced landscaping, may be inadequate if further development in the area occurs. Staff is recommending a five-year approval of the conditional use permit to allow a future evaluation of the compatibility of these activities.

REFERRAL AGENCY COMMENTS

Referral agencies reviewed the request and although no agencies specifically expressed objection to rezoning the property or the conditional use permit for outdoor storage. Bennett-Watkins Fire

& Rescue identified concerns that fire suppression measures would likely require a greater water supply than what may be provided with a commercial well permit.

Responding with Concerns:

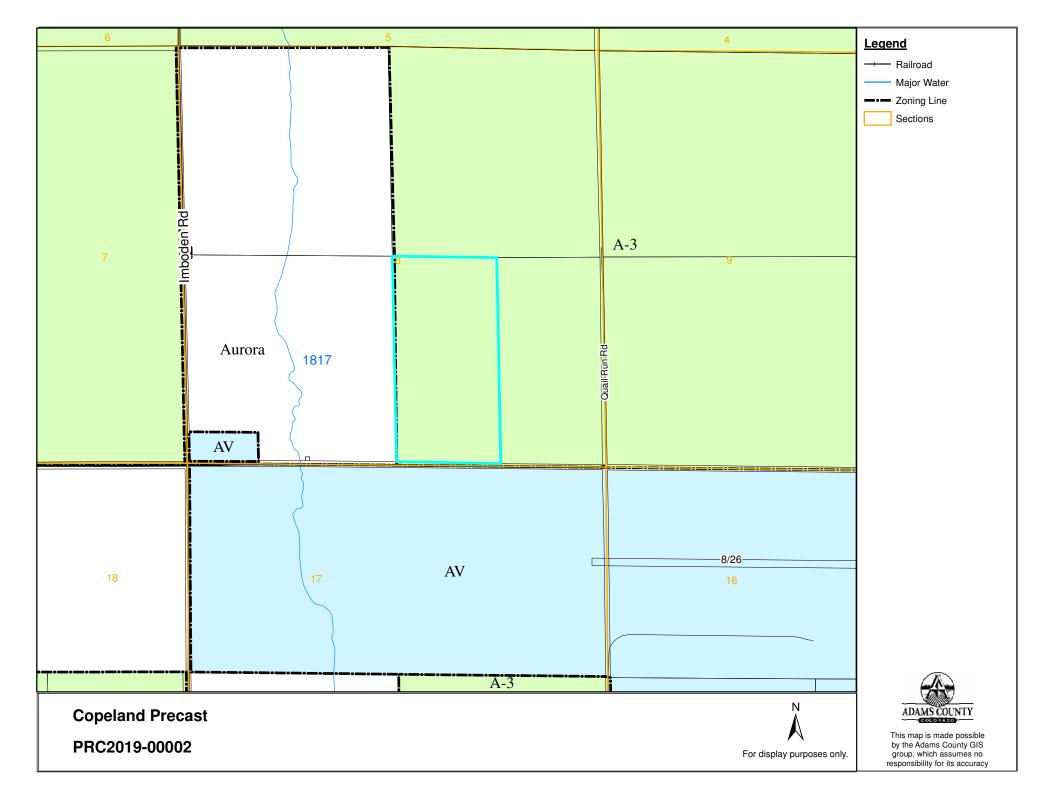
Bennett-Watkins Fire & Rescue Tri-County Health Department

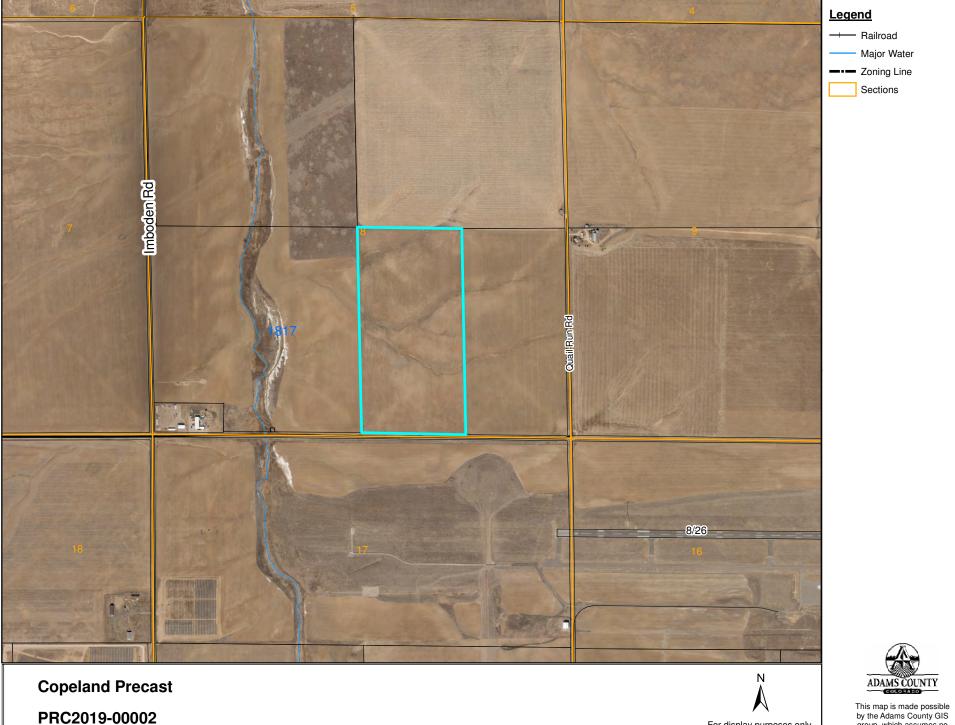
Responding without Concerns:

Colorado Division of Water Resources Colorado Geological Survey Xcel Energy

Notified but not Responding / Considered a Favorable Response:

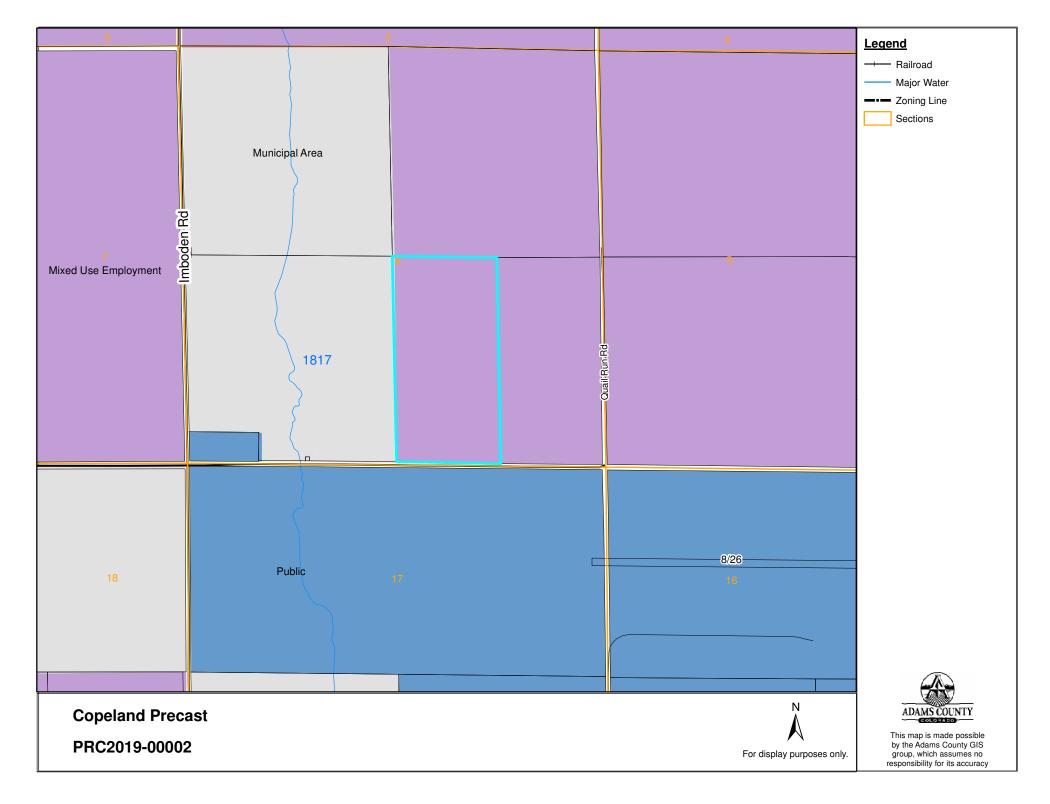
Bennett Parks & Recreation Bennett Schools CDPHE Century Link City of Aurora Colorado Parks & Wildlife Division Comcast Metro Wastewater Transport Metro District





For display purposes only.

This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy



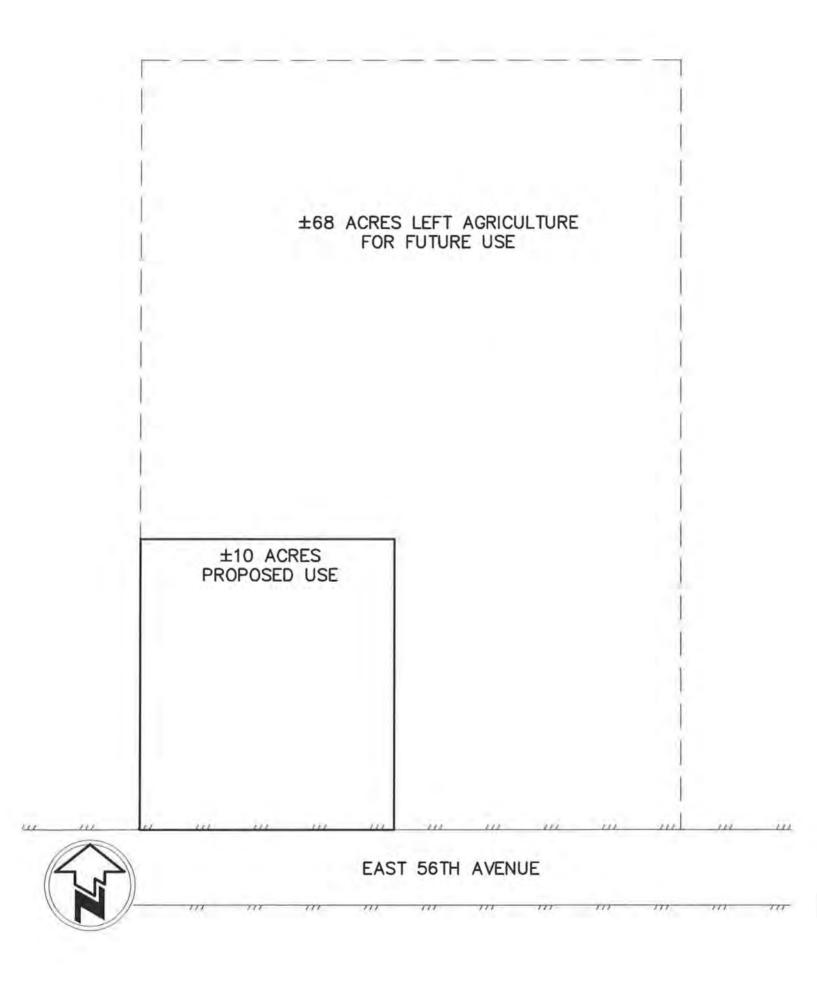


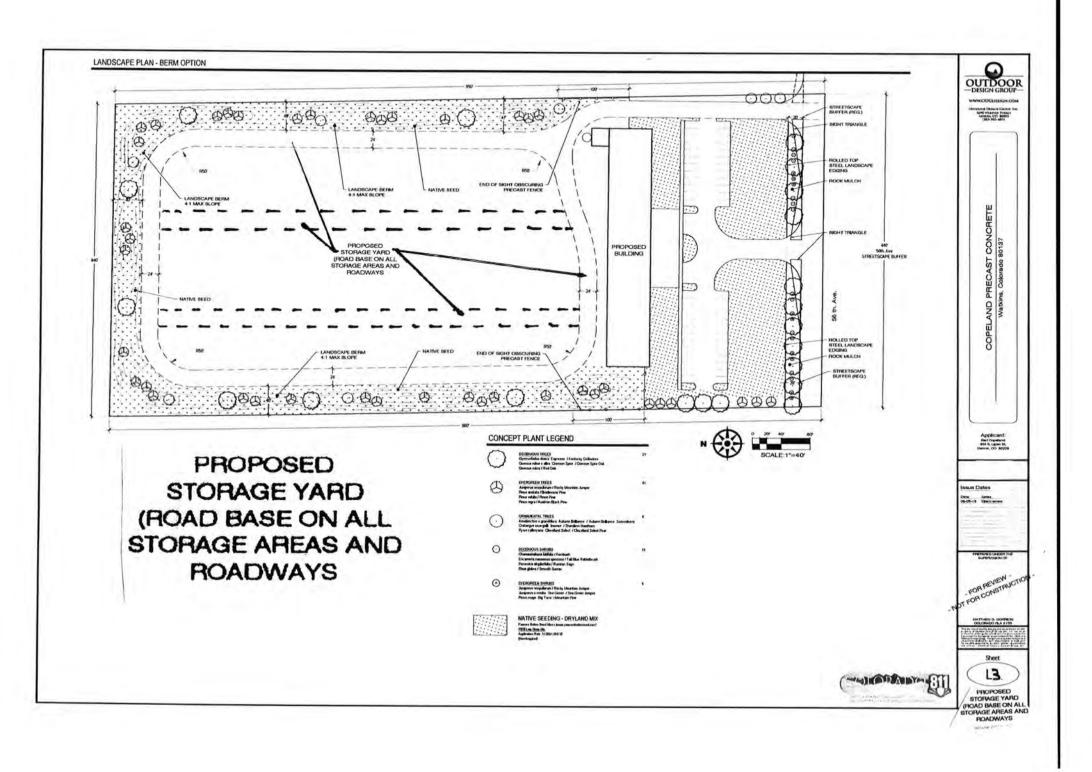
904 S. Lipan Street, Denver, Colorado 80223 Phone 303-936-4817 | Fax 303-937-7820 www.copelandprecast.com

Written Explanation

Copeland Precast is a precast concrete manufacturing company. We currently operate in Denver and are looking to build an additional plant on 56th Avenue between S. Imboden Rd. and N. Quail Run Road. We are a modern precast plant that builds precast underground utilities. We would like to build a new facility that includes an office and a manufacturing plant with a batch plant. At this location we would pour concrete, build structures and ship from this location.

Timeline for this project would be to start building as soon as possible once all zoning and permits have been obtained. Improvements to property will include well, septic, power, drainage, roads, parking, office, manufacturing warehouse, fencing, landscaping and more as specified to meet Adams County's requirements. In this precast manufacturing plant, we estimate we will bring 25 jobs to the area. We will positively impact the surrounding communities with development, improvements and help create economic growth.





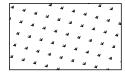
LANDSCAPE PLANT LIST

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SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE SPREAD	WAT ER USE	SUN/SHA DE	SIZE AND CONDITIO N
SKC	Seedless Kentucky Coffeetree	Gymnocladus dioicus 'Espresso'	50-60'	40-50'	Low	Sun	2" Cal., B&B
ENO	English Oak	Quercus robur	40-60'	30-40'	Medium	Sun	2" Cal., B&B
NRO	Northern Red Oak	Quercus rubra	40-60'	40-60'	Medium	Sun	2" Cal., B&B
EVERG	REEN TREES						
SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE SPREAD	WAT ER USE	SUN/SHA DE	SIZE AND CONDITIO N
RMJ	Rocky Mountain Juniper	Juniperus scopulorum	20-30'	8-12'	Very Low	Sun	5 Gallon Cont.
BRP	Bristlecone Pine	Pinus aristata	20-40'	10-20'	Low	un / Part Shad	6' ht, B&B
PIN	Pinon Pine	Pinus edulis	20-30'	10-20'	Low	Sun	6' ht, B&B
AUS	Austrian Pine	Pinus nigra	40-60'	30-40'	Low	Sun	6' ht, B&B
ORNAM	ENTAL TREES						
SYMBOL	COMMON NAME	BOTANICAL NAME	MAT URE HEIGHT	MATURE SPREAD	WAT ER USE	SUN/SHA DE	SIZE AND CONDITIO N
ABS	Autumn Brilliance Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance'	15-25'	15-20'	Low	Sun	-1/2" Cal., B&
TCH	Thornless Cockspur Hawthorn	Crataegus crus-galli inermis	15-25'	15-20'	Low	Sun	I-1/2" Cal., B&
CCP	Cleveland Select Pear	Pyrus calleryana 'Cleveland Select'	20-30'	15-20'	Medium	Sun	I-1/2" Cal., B&
DECIDU	OUS SHRUBS	1	-				
SYMBOL	COMMON NAME	BOTANICAL NAME	MAT URE HEIGHT	MATURE SPREAD	WAT ER USE	SUN/SHA DE	SIZE AND CONDITIO N
FEB	Fernbush	Chamaebatiaria millefolium	3-5'	3-6'	Very Low	Sun	5 Gallon Cont.
TBR	Tall Blue Rabbitbrush	Ericameria nauseosa speciosa	2-6'	2-6'	Very Low	Sun	5 Gallon Cont.
RUS	Russian Sage	Perovskia atriplicifolia	3-4'	3-4'	Very Low	Sun	5 Gallon Cont.
CMS	Cutleaf Smooth Sumac	Rhus glabra 'Laciniata'	8-15'	8-10'	Low	Sun	5 Gallon Cont.
EVERG	REEN SHRUBS						10000
SYMBOL	COMMON NAME	BOT ANICAL NAME	MATURE HEIGHT	MATURE SPREAD	WAT ER USE	SUN/SHA DE	SIZE AND CONDITIO N
RMJ	Rocky Mountain Juniper	Juniperus scopulorum	20-30'	8-12'	Very Low	Sun	5 Gallon Cont.
SGJ	Sea Green Juniper	Juniperus x media 'Sea Green'	5-6'	6-8'	Low	Sun	5 Gallon Cont.
BTM	Big Tuna Mugo Pine	Pinus mugo 'Big Tuna'	6-8'	5-6'	Low	Sun	5 Gallon Cont.

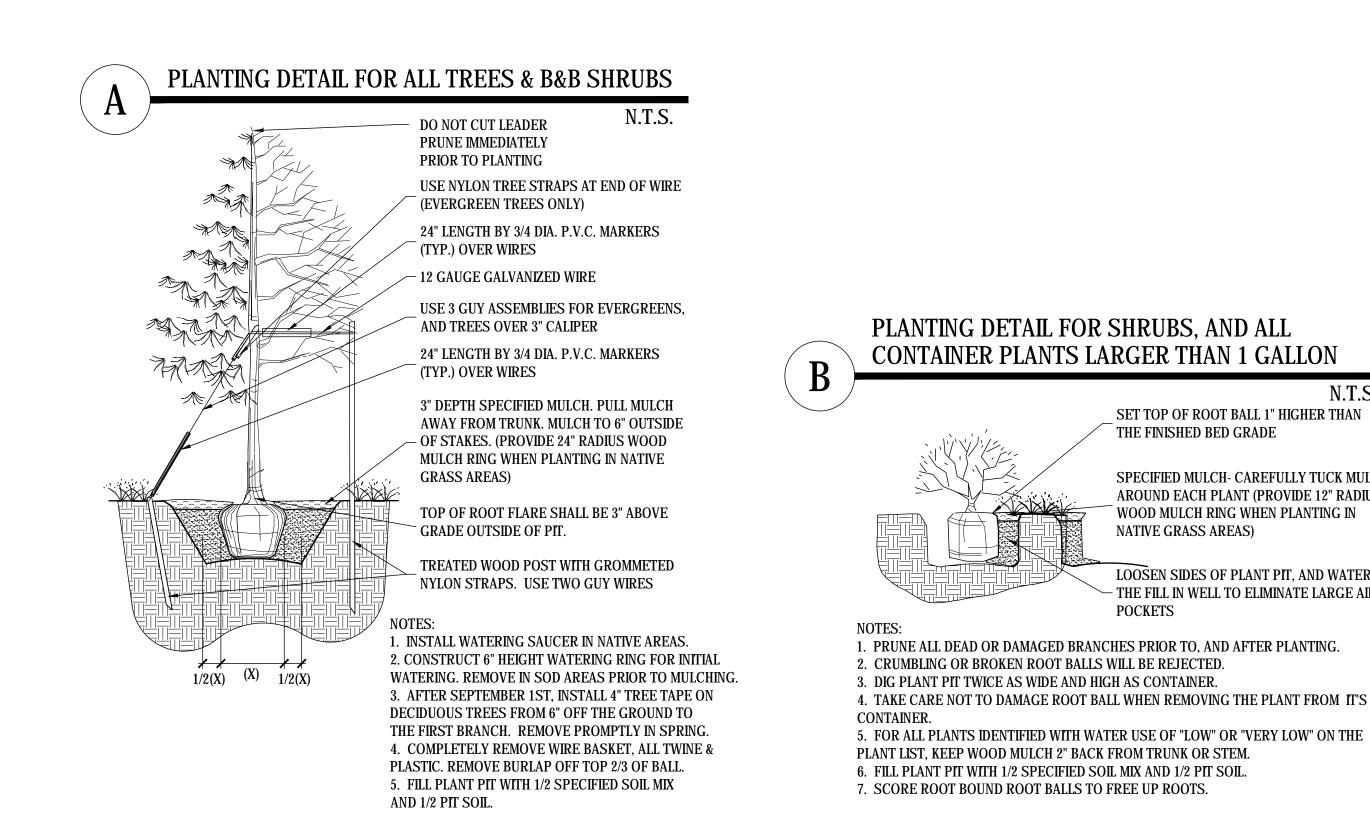


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NATIVE SEEDING - DRYLAND MIX

Pawnee Buttes Seed Mixes (www.pawneebuttesseed.com): PBSI Low Grow Mix

Application Rate: 5 LBS/1,000 SF



COPELAND PRECAST CONCRETE

Landscape & Site Renovations

Watkins, Colorado

GENERAL LANDSCAPE NOTES

1. ALL LOW PERENNIAL AND GROUNDCOVER PLANTING AREAS SHALL BE MULCHED WITH SHREDDED WESTERN RED CEDAR WOOD MULCH, AT A DEPTH OF 2". WEED BARRIER FABRIC IS NOT REQUIRED UNDER WOOD MULCH.

2. ALL PLANTING BED AREAS SHALL BE MULCHED WITH 1-1/2" GRAY ROSE MULTI-COLORED RIVER ROCK, AT A DEPTH OF 3", INSTALLED OVER PERMEABLE WEED BARRIER FABRIC. DO NOT INSTALL EDGING BETWEEN WOOD MULCH AND ROCK MULCH AREAS.

3. STEEL LANDSCAPE EDGER SHALL BE 14 GAUGE ROLLED TOP STEEL EDGING IN THE LOCATIONS SHOWN ON THE PLANS. EDGER IS NOT REQUIRED WHERE SOD ABUTS CONCRETE.

4. ALL AREAS TO BE LANDSCAPED SHALL HAVE ORGANIC AMENDMENTS THOROUGHLY INCORPORATED INTO THE SOIL AT A RATE OF 5 CUBIC YARDS PER 1,000 SQUARE FEET, AND TILLED TO A DEPTH OF 6 INCHES.

5. ALL LANDSCAPE AREAS SHALL BE FINE GRADED PRIOR TO INSTALLATION OF NEW PLANT MATERIAL. ROCKS, WOOD, AND ANY MATERIAL LARGER THAN 1" IN DIAMETER SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO SODDING AND PLANTING NEW MATERIALS.

6. EXISTING TURF, SHRUBS, TREES, AND PLANT MATERIAL TO BE REMOVED SHALL BE FULLY REMOVED FROM THE SITE, INCLUDING ALL ROOTS.

7. ALL LANDSCAPED AREAS SHALL BE WATERED BY A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.

8. BED AREAS SHALL BE IRRIGATED BY INDIVIDUAL DRIP EMITTERS TO EACH PLANT. DRIP COMPONENTS SHALL BE COMMERCIAL GRADE RAIN-BIRD OR EQUAL POINT SOURCE EMITTERS, WITH ALL PLANTS **RECEIVING IRRIGATION.**

LANDSCAPE MAINTENANCE NOTES

1. THE LANDOWNER SHALL BE RESPONSIBLE FOR MAINTENANCE AND KEEP IN GOOD CONDITION ALL THOSE LOCATIONS INDICATED ON THE APPROVED LANDSCAPE PLAN, AND ALL VEGETATION, IRRIGATION SYSTEM SCREENING DEVICES AND OTHER LANDSCAPE COMPONENTS SO AS TO PRESENT A HEALTHY SAFE AND ORDERLY SITE.

2. ALL PLANTS SHALL BE MAINTAINED CONTINUALLY IN A HEALTHY CONDITION IN ACCORDANCE WITH GENERALLY ACCEPTED PROFESSIONAL HORTICULTURAL STANDARDS AND PRACTICES. PLANTS THAT DIE OR ARE UNHEALTHY SHALL BE REPLACED. REGULAR PRUNING AND TRIMMING SHALL APPLY TO MAINTAIN HEALTH AND AN ATTRACTIVE APPEARANCE AND TO PERMIT THE PLANTS TO ACHIEVE THEIR INTENDED FORM AND HEIGHT. LANDSCAPE AREAS SHALL REMAIN FREE OF WEEDS, LITTER, JUNK, RUBBISH AND OTHER NUISANCES AND OBSTRUCTIONS. TO PREVENT WEED GROWTH, EROSION AND BLOWING DUST, AREAS NOT COVERED BY VEGETATION SHALL BE COVERED WITH MULCH, WOOD OR BARK CHIPS, OR DECORATIVE ROCKS OR COBBLE, OR SIMILAR NATURAL MATERIALS PROVIDING A CLEAN, UNIFORM APPEARANCE. SHALL BE COMMERCIAL

IRRIGATION NOTES

- **RECEIVING IRRIGATION.**
- FOR ALL DRIP ZONES.
- (SEE LOCATION ON PLANS).
- INADEQUATE.
- SLEEVES SHALL BE 24" MIN.
- EXCAVATIONS THAT SETTLE.

PLANTING DETAIL FOR SHRUBS, AND ALL CONTAINER PLANTS LARGER THAN 1 GALLON

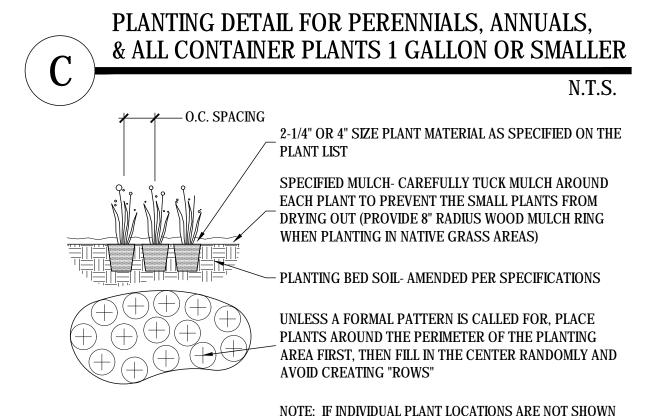
N.T.S. SET TOP OF ROOT BALL 1" HIGHER THAN THE FINISHED BED GRADE

SPECIFIED MULCH- CAREFULLY TUCK MULCH AROUND EACH PLANT (PROVIDE 12" RADIUS WOOD MULCH RING WHEN PLANTING IN NATIVE GRASS AREAS)

LOOSEN SIDES OF PLANT PIT, AND WATER THE FILL IN WELL TO ELIMINATE LARGE AIR POCKETS

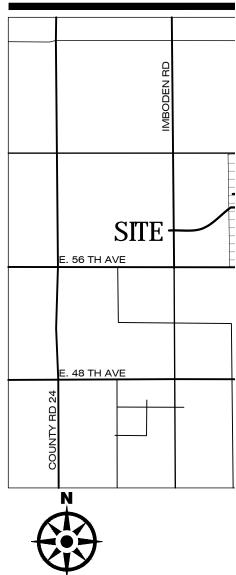
1. PRUNE ALL DEAD OR DAMAGED BRANCHES PRIOR TO, AND AFTER PLANTING. 2. CRUMBLING OR BROKEN ROOT BALLS WILL BE REJECTED. 3. DIG PLANT PIT TWICE AS WIDE AND HIGH AS CONTAINER.

5. FOR ALL PLANTS IDENTIFIED WITH WATER USE OF "LOW" OR "VERY LOW" ON THE PLANT LIST, KEEP WOOD MULCH 2" BACK FROM TRUNK OR STEM. 6. FILL PLANT PIT WITH 1/2 SPECIFIED SOIL MIX AND 1/2 PIT SOIL.



ON THE LANDSCAPE PLAN, SPACE PLANTS AT THE O.C. SPACING SHOWN ON THE LANDSCAPE PLANT LIST

VICINITY MAP



1. BED AREAS SHALL BE IRRIGATED BY INDIVIDUA SHALL BE COMMERCIAL GRADE RAIN-BIRD OR

2. REFER TO "IRRIGATION DRIP EMITTER SCHEDUL DRIP EMITTERS DEPENDING ON THE WATER NE

3. VALVES AND VALVE BOXES SHALL BE COMMEF

4. CONTRACTOR SHALL INSTALL A NEW IRRIGATIC POWER WILL BE REQUIRED WITHIN 5' OF CONTE

5. CONTRACTOR SHALL INSTALL A NEW IRRIGATIC

6. CONTRACTOR SHALL VERIFY WATER PRESSURE AND SHALL NOTIFY THE LANDSCAPE ARCHITEC

7. CONTRACTOR IS RESPONSIBLE FOR INSTALLIN CONTRACTOR SHOULD COORDINATE WITH THC WALKS, IF POSSIBLE. CONTRACTOR SHALL INC LOCATING, EXPOSING, AND BACKFILLING SLEE

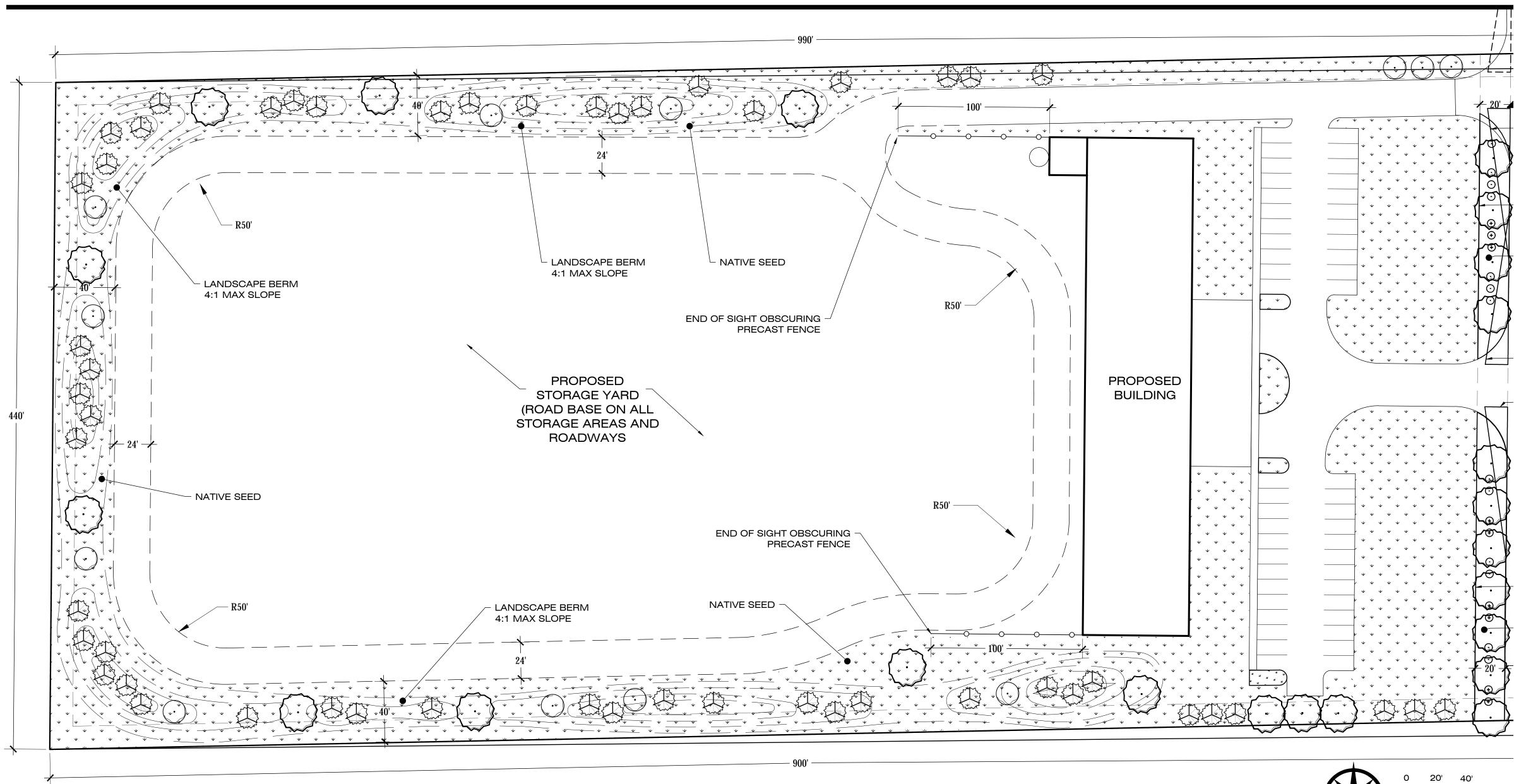
8. INSTALL (1) 4" CLASS 200 PVC SLEEVE AND (1) 2 DRIVE CROSSINGS. INSTALL (1) 4" CLASS 200 P

9. THE CONTRACTOR SHALL BE RESPONSIBLE FO

10. THE CONTRACTOR SHALL SET THE IRRIGATION THE PLANTS. CONTRACTOR IS RESPONSIBLE T THE REMAINING SEASON AFTER THE TWO WEE BE RESPONSIBLE FOR ANY DEAD PLANT MATEF

11. THE PLANT MATERIALS SPECIFIED FOR THIS PR CONTRACTOR SHALL CONSULT WITH THE OWN PRIOR TO SETTING THE CLOCK FOR IRRIGATION

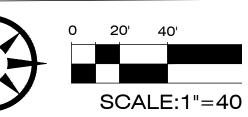
LANDSCAPE PLAN - BERM OPTION



CONCEPT PLANT LEGEND

(Non-Irrigated)

$\underbrace{\cdot}$	<u>DECIDUOUS TREES</u> Gymnocladus dioica `Espresso` / Kentucky Coffeetree Quercus robur x alba `Crimson Spire` / Crimson Spire Oak Quercus rubra / Red Oak	23
	<u>EVERGREEN TREES</u> Juniperus scopulorum / Rocky Mountain Juniper Pinus aristata / Bristlecone Pine Pinus edulis / Pinon Pine Pinus nigra / Austrian Black Pine	52
$\overline{\cdot}$	<u>ORNAMENTAL TREES</u> Amelanchier x grandiflora `Autumn Brilliance` / `Autumn Brilliance` Serviceberry Crataegus crus-galli `Inermis` / Thomless Hawthorn Pyrus calleryana `Cleveland Select` / Cleveland Select Pear	12
$\overline{\mathbf{\cdot}}$	<u>DECIDUOUS SHRUBS</u> Chamaebatiaria latifolia / Fembush Ericameria nauseosa speciosa / Tall Blue Rabbitbrush Perovskia atriplicifolia / Russian Sage Rhus glabra / Smooth Sumac	13
+	<u>EVERGREEN SHRUBS</u> Juniperus scopulorum / Rocky Mountain Juniper Juniperus x media `Sea Green` / Sea Green Juniper Pinus mugo `Big Tuna` / Mountain Pine	9
 A A	NATIVE SEEDING - DRYLAND MIX Pawnee Buttes Seed Mixes (www.pawneebuttesseed.com): <u>PBSI Low Grow Mix</u> Application Rate: 5 LBS/1,000 SF (Non Interated)	



Community & Economic Development Department

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000 Brighton, CO 80601-8204 PHONE 720.523.6800 FAX 720.523.6998

Development Review Team Comments

Date: 3/4/2019 Project Number: PRC2019-00002

Project Name: Copeland Precast

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for the rezoning and conditional use permit. At this time, a resubmittal is being required. Please provide a written response to each comment, and resubmit with one paper and one digital copy. All resubmittal shall accompany the attached resubmittal form, and be provided to our One-Stop Customer Service Center. The Development Review Team review comments may change if you provide different information during the resubmittal. Please contact the case manager if you have any questions:

Commenting Division: Development Engineering Review

Name of Reviewer: Matthew Emmens

Date: 02/22/2019

Email: memmens@adcogov.org

Resubmittal Required

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0690H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; a floodplain use permit will not be required.

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is not within the County's MS4 Stormwater Permit area. The installation of erosion and sediment control BMPs are expected.

ENG3: The applicant should be aware that the existing infrastructure surrounding this site is most likely insufficient to support development of this site as an industrial (I-1) development. There is no storm sewer available and, the existing roads are not paved and are un-able to support heavy traffic or regular heavy truck traffic. If the applicant chooses to move forward with development of this site (and the rezoning is approved), the applicant may be required to improve the E 56th Ave (i.e. pave E 56th Ave) between the site frontage west to Imboden Rd and, install any necessary storm sewer improvements to convey storm flows to an acceptable outfall point. The developer will be responsible for all costs related to the construction of any necessary infrastructure improvements.

ENG4: If the proposed development generates over 20 vehicles per day a Traffic Impact Study (TIS) is required to be submitted to Adams County for review and approval. At this time, the applicant is required to submit a Trip Generation Analysis, showing the number of vehicle trips per day that will be generated by the proposed conditional use. The Trip Generation Analysis will be used by County staff will determine if a TIS is needed and, if so, the level of TIS required. The Trip Generation Analysis must be prepared by an engineer licensed in the state of Colorado. The applicant will be responsible for constructing any roadway improvements required by the TIS.

ENG5: At the time of site improvement and building permit issuance, the developer will be required to construct roadway improvements adjacent to the proposed site. Roadway improvements will consist of curb, gutter and sidewalk adjacent to the site and, any roadway improvements as required by the approved traffic impact study.

ENG4: Applicant is proposing to install over 3,000 square feet of impervious area on the project site. A drainage report and drainage plans in accordance to Chapter 9 of the Adams County Development Review Manual, are required to be completed by a registered professional engineer and submitted to Adams County for review and final approval prior to issuance of any construction or building permits.

For the rezoning case, the applicant is required to submit a preliminary drainage study that studies the entire 78 acres site and assumes full build-out as an industrial development. The preliminary report does not need to include full hydrology analysis or hydraulic calculations. The purpose of the preliminary drainage study is to show that there is a viable storm sewer outfall, identify any required drainage improvements needed to support the development of the site and show that it is possible to build that infrastructure.

- Additional comments may be added to this review after the preliminary drainage report and trip generation analysis are reviewed.

Commenting Division: Planner Review Name of Reviewer: Greg Barnes Date: 03/04/2019 Email: gjbarnes@adcogov.org

Resubmittal Required

PLN01: The request includes: 1. a rezoning of 78 acres from Agricultural-3 to Industrial-1; 2. a conditional use permit to allow for accessory outdoor storage

PLN02: The Adams County Comprehensive plan has designated a future land use of Mixed-Use Employment on the property. This designation indicates that the County would like for the area to be developed as an employment center. The proposal for I-1 zoning is consistent with this designation.

PLN03: Outdoor storage areas are required to be enclosed by a wooden or masonry solid screen fence. The fence shall be a maximum of eight feet in height. Please provide a detail drawing of the fence design.

PLN04: Stacking of materials within the outdoor storage area shall not exceed the fence height. Please indicate that you acknowledge this requirement.

PLN05: All outdoor storage of material shall be designed with adequate access areas and comply with local fire district standards. Please acknowledge this requirement.

PLN06: Your site plan does not indicate the areas that will be utilized for outdoor storage. Please revise.

PLN07: What surface material will be used for the outdoor storage area?

PLN08: Landscaping will be a requirement for industrial areas bordering agriculturally zoned properties. A Type-D bufferyard will be required in these areas. Type-D bufferyards are 15' in width, include three trees for every 60 linear feet, and a sight-obscuring fence. A landscape plan is required upon resubmittal.

PLN09: A streetscape buffer is required along portions of the site bordering 56th Avenue. A 20' wide bufferyard with one tree and two shrubs for every 40 linear feet is required in these areas.

PLN10: A minimum of 10% of the entire site shall include landscaping. All required bufferyards may be counted toward this requirement. A calculation of landscape material should be included on the landscape plan.

PLN11: A landscape maintenance agreement is expected to be part of the landscape plan. This will detail how the landscaping will be maintained.

Commenting Division: ROW Review

Name of Reviewer: Marissa Hillje

Date: 02/19/2019

Email: mhillje@adcogov.org

Resubmittal Required

ROW1: E 56th Ave is classified as a rural regional arterial street per the 2012 Adams County Master Transportation Plan. As such it should have a half right-of-way width of 70 feet. Since the existing half right-of-way width is 45 feet (as per legal on file), this would require a dedication of 25 feet additional right-of-way.

ROW2: The services of a licensed Professional Land Surveyor should be secured to create the legal description and exhibit of the right-of-way dedication. For additional information on dedication document specifics and process please go to

http://www.adcogov.org/documents/adams-county-easement-or-right-way-dedication-packet.

ROW3: With the dedication documents, building permit and engineering review a title commitment should be submitted, which should be used to depict the applicable recordings on the site plan. Send Adams County a copy of the title commitment with your application dated no later than 30 days to review in order to ensure that any other party's interests are not encroached upon.

Commenting Division: Addressing Review

Name of Reviewer: Marissa Hillje

Date: 02/19/2019

Email: mhillje@adcogov.org

Complete

An address can be requested with the access permit. Address #'s are assigned where the access is located.

Commenting Division: Environmental Analyst Review

Name of Reviewer: Jen Rutter

Date: 02/01/2019

Email: jrutter@adcogov.org

Complete

ENV1. Due to the proximity of the parcels to Front Range Airport, it is covered by the Airport Noise Overlay (ANO). The portions of the commercial or industrial structures devoted to office uses, or occupied by members of the public must incorporate noise level reduction measures sufficient to achieve an interior noise level of 45 dB on the A-weighted scale. The noise reduction measures cited above are described in Chapter 35 of the Appendix of the Uniform Building Code, and as adopted by Adams County. Assurance that these measures have been incorporated into the structure is illustrated by submission of noise reduction plans certified by a registered professional engineer at the time of application for a building permit, and implemented prior to issuance of a Certificate of Occupancy (3-35-05-03 COMMERCIAL AND INDUSTRIAL USES TO INCORPORATE NOISE REDUCTION)

ENV2. In accordance with the ANO, a signed "Aircraft Activity Covenant with Disclosure" must be filed prior to issuance of a building permit. (3-34-05-04 AFFIDAVIT REQUIRED TO OBTAIN BUILDING PERMIT)

Greg Barnes

From:	Matthew Emmens
Sent:	Wednesday, May 08, 2019 2:19 PM
To:	Greg Barnes
Subject:	PRC2019-00002 - Copeland Concrete - Review Comments

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the Copeland Concrete Rezoning and Conditional Use case (RCU2019-00002). Please see my comments below. If you have any questions r concerns please feel free to call or email me.

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0690H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; a floodplain use permit will not be required. <u>Applicant Response</u>: *Acknowledged*. County Response: Comment Closed

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is not within the County's MS4 Stormwater Permit area. The installation of erosion and sediment control BMPs are expected. <u>Applicant Response:</u> The applicant expects to install adequate BM P's during construction to control erosion from the site. <u>County Response</u>: Comment Closed

ENG3: The applicant should be aware that the existing infrastructure surrounding this site is most likely insufficient to support development of this site as an industrial (I-1) development. There is no storm sewer available and, the existing roads are not paved and are un-able to support heavy traffic or regular heavy truck traffic. If the applicant chooses to move forward with development of this site (and the rezoning is approved), the applicant may be required to improve the E 56th Ave (i.e. pave E 56th Ave) between the site frontage west to Imboden Rd and, install any necessary storm sewer improvements to convey storm flows to an acceptable outfall point. The developer will be responsible for all costs related to the construction of any necessary infrastructure improvements. Applicant Response: The applicant is aware of the limited infrastructure in the area and is willing to work with the County on the necessary improvements to support the development. County Response: Paving the roadway, from the project site west to Imboden Rd, will be a requirement of development for this site. See response to ENG5 below. The applicant is aware of this requirement and agrees. Comment Closed

ENG4: If the proposed development generates over 20 vehicles per day a Traffic Impact Study (TIS) is required to be submitted to Adams County for review and approval. At this time, the applicant is required to submit a Trip Generation Analysis, showing the number of vehicle trips per day that will be generated by the proposed conditional use. The Trip Generation Analysis will be used by County staff will determine if a TIS is needed and, if so, the level of TIS required. The Trip Generation Analysis must be prepared by an engineer licensed in the state of Colorado. The applicant will be responsible

for constructing any roadway improvements required by the TIS.

<u>Applicant Response</u>: The applicant has submitted a traffic impact study as requested; it appears it did not get routed to the reviewer. It is included again with this resubmittal.

<u>County Response:</u> The Traffic Impact Study submitted with this application is sufficient. The study may need to be updated or revised at the time of development.

ENG5: At the time of site improvement and building permit issuance, the developer will be required to construct roadway improvements adjacent to the proposed site. Roadway improvements will consist of curb, gutter and sidewalk adjacent to the site and, any roadway improvements as required by the approved traffic impact study.

<u>Applicant Response</u>: The applicant is willing to construct improvements to support their development; however Right of Way comments below state that E 56th Ave is a future Regional Arterial (rural) classification as shown below and does not include sidewalk or curb and gutter. This future section is not what is currently constructed for any of E 56th Ave and E 56th Ave does not exist east of this property in any consistent or even paved fashion. The applicant would like to work with the County to improvements similar to the character of E 56th Ave today with the understanding that distant future improvements may be necessary.

<u>County Response</u>: The applicant's response is correct. E 56th Ave is designated as a Regional Rural Arterial; curb gutter & sidewalk are not required. The roadway improvements, that will be required for development of this site, will be construction of the northern half of the 'Regional Rural Arterial' roadway cross section. The applicant is aware of this requirement and agrees. Comment Closed.

ENG6: Applicant is proposing to install over 3,000 square feet of impervious area on the project site. A drainage report and drainage plans in accordance to Chapter 9 of the Adams County Development Review Manual, are required to be completed by a registered professional engineer and submitted to Adams County for review and final approval prior to issuance of any construction or building permits. <u>Applicant Response</u>: *The drainage report was completed, reviewed and had no further comments on the previous application for the rezoning of the property. It is included again with this resubmittal.* County Response: The County's response to the previous application was:

"The preliminary drainage study should indicate what the historic flows from the site are and, how the developed site will be releasing storm flows. Currently, the report states that developed storm outfall will follow historic patterns and drain to the West into Bear Gultch. Although County staff is not in disagreement with this approach, more detail is needed to better understand how the outfall will work without damaging neighboring properties."

The previous comment still remains valid. At the time of development of this site, drainage report will need to be revised to include more detail about how the outfall will work without damaging neighboring properties.

Comment Closed.

Sincerely, Matt Emmens

Senior Engineer, Community and Economic Development ADAMS COUNTY, COLORADO 4430 S. Adams County Parkway, W2000B Brighton, CO 80601 0: 720.523.6826 | memmens@adcogov.org www.adcogov.org Community & Economic Development Department

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000 Brighton, CO 80601-8204 PHONE 720.523.6800 FAX 720.523.6998

Development Review Team Comments

Date: 5/13/2019 Project Number: PRC2019-00002 Project Name: Copeland Precast

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted to the County. At this time, there are still outstanding concerns, and a resubmittal is required. New comments are highlighted in yellow. The Development Review Team review comments may change if you provide different information during the sresubmittal. Please deposit any resubmittal material with our One-Stop Customer Service Center. One paper and a digital copy are required. You will also need to provide the attached resubmittal form. Please contact the case manager if you have any questions:

Eva J. Henry DISTRICT 1 BOARD OF COUNTY COMMISSIONERS

Charles "Chaz" Tedesco DISTRICT 2 Emma Pinter

Steve O'Dorisio

Mary Hodge DISTRICT 5

Page 1 of 7

Commenting Division: Development Engineering Review

Name of Reviewer: Matthew Emmens

Date: 02/22/2019

Email: memmens@adcogov.org

Resubmittal Required

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0690H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; a floodplain use permit will not be required.

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For the rezoning case, the applicant is required to submit a preliminary drainage study that studies the entire 78 acres site and assumes full build-out as an industrial development. The preliminary report does not need to include full hydrology analysis or hydraulic calculations. The purpose of the preliminary drainage study is to show that there is a viable storm sewer outfall, identify any required drainage improvements needed to

support the development of the site and show that it is possible to build that infrastructure.

- Additional comments may be added to this review after the preliminary drainage report and trip generation analysis are reviewed.

Commenting Division: Application Intake 2nd Review Name of Reviewer: Erin McMorries Date: 04/18/2019 Email: Complete

Commenting Division: Planner Review Name of Reviewer: Greg Barnes Date: 03/04/2019 Email: gjbarnes@adcogov.org

Resubmittal Required

PLN01: The request includes: 1. a rezoning of 78 acres from Agricultural-3 to Industrial-1; 2. a conditional use permit to allow for accessory out door storage

PLN02: The Adams County Comprehensive plan has designated a future land use of Mixed-Use Employment on the property. This designation indicates that the County would like for the area to be developed as an employment center. The proposal for I-1 zoning is consistent with this designation.

PLN03: Outdoor storage areas are required to be enclosed by a wooden or masonry solid screen fence. The fence shall be a maximum of eight feet in height. Please provide a detail drawing of the fence design.

PLN04: Stacking of materials within the outdoor storage area shall not exceed the fence height. Please indicate that you acknowledge this requirement.

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PLN06: Your site plan does not indicate the areas that will be utilized for outdoor storage. Please revise.

PLN07: What surface material will be used for the outdoor storage area?

PLN08: Landscaping will be a requirement for industrial areas bordering agriculturally zoned properties. A Type-D bufferyard will be required in these areas. Type-D bufferyards are 15' in width, include three trees for every 60 linear feet, and a sight-obscuring fence. A landscape plan is required upon resubmittal.

PLN09: A streetscape buffer is required along portions of the site bordering 56th Avenue. A 20' wide bufferyard with one tree and two shrubs for every 40 linear feet is required in these areas.

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PLN11: A landscape maintenance agreement is expected to be part of the landscape plan. This will detail how the landscaping will be maintained.

Commenting Division: ROW Review

Name of Reviewer: Marissa Hillje

Date: 02/19/2019

Email: mhillje@adcogov.org

Resubmittal Required

ROW1: E 56th Ave is classified as a rural regional arterial street per the 2012 Adams County Master Transportation Plan. As such it should have a half right-of-way width of 70 feet. Since the existing half right-of-way width is 45 feet (as per legal on file), this would require a dedication of 25 feet additional right-of-way.

ROW2: The services of a licensed Professional Land Surveyor should be secured to create the legal description and exhibit of the right-of-way dedication. For additional information on dedication document specifics and process please go to

http://www.adcogov.org/documents/adams-county-easement-or-right-way-dedication-packet.

ROW3: With the dedication documents, building permit and engineering review a title commitment should be submitted, which should be used to depict the applicable recordings on the site plan. Send Adams County a copy of the title commitment with your application dated no later than 30 days to review in order to ensure that any other party's interests are not encroached upon.

Commenting Division: Addressing Review Name of Reviewer: Marissa Hillje Date: 02/19/2019 Email: mhillje@adcogov.org

Complete

An address can be requested with the access permit. Address #'s are assigned where the access is located.

Commenting Division: Environmental Analyst Review Name of Reviewer: Jen Rutter Date: 02/01/2019 Email: jrutter@adcogov.org

Complete

ENV1. Due to the proximity of the parcels to Front Range Airport, it is covered by the Airport Noise Overlay (ANO). The portions of the commercial or industrial structures devoted to office uses, or occupied by members of the public must incorporate noise level reduction measures sufficient to achieve an interior noise level of 45 dB on the A-weighted scale. The noise reduction measures cited above are described in Chapter 35 of the Appendix of the Uniform Building Code, and as adopted by Adams County. Assurance that these measures have been incorporated into the structure is illustrated by submission of noise reduction plans certified by a registered professional engineer at the time of application for a building permit, and implemented prior to issuance of a Certificate of Occupancy (3-35-05-03 COMMERCIAL AND INDUSTRIAL USES TO INCORPORATE NOISE REDUCTION)

ENV2. In accordance with the ANO, a signed "Aircraft Activity Covenant with Disclosure" must be filed prior to issuance of a building permit. (3-34-05-04 AFFIDAVIT REQUIRED TO OBTAIN BUILDING PERMIT)

Commenting Division: Plan Coordination 2nd Review Name of Reviewer: Greg Barnes Date: 05/13/2019 Email: gjbarnes@adcogov.org Resubmittal Required

Commenting Division: ROW Review 2nd Review

Name of Reviewer: Marissa Hillje

Date: 05/03/2019

Email: mhillje@adcogov.org

Complete

ROW1: The applicant has submitted the legal and exhibit for the ROW dedication. ROW2: The applicant has submitted a title report.

Commenting Division: Development Engineering Review 2nd Review Name of Reviewer: Matthew Emmens Date: 05/08/2019 Email: memmens@adcogov.org Complete Review Complete. All comments are closed out. See doc #5935710

Commenting Division: Planner Review 2nd Review

Name of Reviewer: Greg Barnes

Date: 05/13/2019

Email: gjbarnes@adcogov.org

Resubmittal Required

PLN03B: Do you have any examples of the wood plank fence? How will the planks be treated to prevent weathering?

PLN04B: Stacking of materials over the fence height is not something for which you can seek a variance. Per Section 4-10-02-04-09 of the DSR, stacking above the fence height can be allowed as part of the conditional use permit if permitted by the BoCC. What height of stacking materials are you requesting?

PLN05B: You'll need to revise the site plan and show specifically where material will be stored, and where the assigned travel-ways will be located. There should be areas specifically reserved for access throughout the storage yard.

PLN06B: Comment still open. See PLN05B

PLN07B: My apologies if I am missing it, but I do not see anywhere on your landscape plan that addresses the surface material for your storage yard or your driveway and parking areas. There should actually be a separate site plan page that has these details.

PLN11B: The landscape maintenance agreement should be on your landscape plan. This information should provide specific details on how the landscaping will be irrigated and maintained. In addition, minimum size at installation is required.

Community & Economic Development Department

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000 Brighton, CO 80601-8204 PHONE 720.523.6800 FAX 720.523.6998

Development Review Team Comments

Date: 7/26/2019 Project Number: PRC2019-00002 Project Name: Copeland Precast

Commenting Division: Planner Review 3rd Review Name of Reviewer: Greg Barnes Date: 07/26/2019

Email: gjbarnes@adcogov.org

Resubmittal Required

PLN06C: The landscaping does not conform to the minimum requirements for the proposed zone district. Adams County requirements call for a 15 foot wide buffer with three trees for every 60 linear feet. I know that we have discussed this, and you are hoping to seek relief from the Board on this matter, due to the overall size of this lot. Upon review of the landscape plan, I would say that staff feels uncomfortable with the proposed quantity of landscaping. It is recommended that the landscaping quantity be increased. PLN12: The landscape material must be on the outside of the fence. You'll need to move the fence on the interior portions of the buffer.

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry DISTRICT 1 Charles "Chaz" Tedesco DISTRICT 2 Emma Pinter

Steve O'Dorisio

Mary Hodge DISTRICT 5

DISTRICT 3 Page 1 of 8 Commenting Division: Plan Coordination 3rd Review Name of Reviewer: Greg Barnes Date: 07/26/2019 Email: gjbarnes@adcogov.org Resubmittal Required

Commenting Division: Application Intake 3rd Review Name of Reviewer: Erin McMorries Date: 06/19/2019 Email: Complete

Commenting Division: Development Engineering Review

Name of Reviewer: Matthew Emmens

Date: 02/22/2019

Email: memmens@adcogov.org

Resubmittal Required

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0690H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; a floodplain use permit will not be required.

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is not within the County's MS4 Stormwater Permit area. The installation of erosion and sediment control BMPs are expected.

ENG3: The applicant should be aware that the existing infrastructure surrounding this site is most likely insufficient to support development of this site as an industrial (I-1) development. There is no storm sewer available and, the existing roads are not paved and are un-able to support heavy traffic or regular heavy truck traffic. If the applicant chooses to move forward with development of this site (and the rezoning is approved), the applicant may be required to improve the E 56th Ave (i.e. pave E 56th Ave) between the site frontage west to Imboden Rd and, install any necessary storm sewer improvements to convey storm flows to an acceptable outfall point. The developer will be responsible for all costs related to the construction of any necessary infrastructure improvements.

ENG4: If the proposed development generates over 20 vehicles per day a Traffic Impact Study (TIS) is required to be submitted to Adams County for review and approval. At this time, the applicant is required to submit a Trip Generation Analysis, showing the number of vehicle trips per day that will be generated by the proposed conditional use. The Trip Generation Analysis will be used by County staff will determine if a TIS is needed and, if so, the level of TIS required. The Trip Generation Analysis must be prepared by an engineer licensed in the state of Colorado. The applicant will be responsible for constructing any roadway improvements required by the TIS.

ENG5: At the time of site improvement and building permit issuance, the developer will be required to construct roadway improvements adjacent to the proposed site. Roadway improvements will consist of curb, gutter and sidewalk adjacent to the site and, any roadway improvements as required by the approved traffic impact study.

ENG4: Applicant is proposing to install over 3,000 square feet of impervious area on the project site. A drainage report and drainage plans in accordance to Chapter 9 of the Adams County Development Review Manual, are required to be completed by a registered professional engineer and submitted to Adams County for review and final approval prior to issuance of any construction or building permits.

For the rezoning case, the applicant is required to submit a preliminary drainage study that studies the entire 78 acres site and assumes full build-out as an industrial development. The preliminary report does not need to include full hydrology analysis or hydraulic calculations. The purpose of the preliminary drainage study is to show that there is a viable storm sewer outfall, identify any required drainage improvements needed to

support the development of the site and show that it is possible to build that infrastructure.

- Additional comments may be added to this review after the preliminary drainage report and trip generation analysis are reviewed.

Commenting Division: Application Intake 2nd Review Name of Reviewer: Erin McMorries Date: 04/18/2019 Email: Complete

Commenting Division: Planner Review Name of Reviewer: Greg Barnes Date: 03/04/2019 Email: gjbarnes@adcogov.org

Resubmittal Required

PLN01: The request includes: 1. a rezoning of 78 acres from Agricultural-3 to Industrial-1; 2. a conditional use permit to allow for accessory out door storage

PLN02: The Adams County Comprehensive plan has designated a future land use of Mixed-Use Employment on the property. This designation indicates that the County would like for the area to be developed as an employment center. The proposal for I-1 zoning is consistent with this designation.

PLN03: Outdoor storage areas are required to be enclosed by a wooden or masonry solid screen fence. The fence shall be a maximum of eight feet in height. Please provide a detail drawing of the fence design.

PLN04: Stacking of materials within the outdoor storage area shall not exceed the fence height. Please indicate that you acknowledge this requirement.

PLN05: All outdoor storage of material shall be designed with adequate access areas and comply with local fire district standards. Please acknowledge this requirement.

PLN06: Your site plan does not indicate the areas that will be utilized for outdoor storage. Please revise.

PLN07: What surface material will be used for the outdoor storage area?

PLN08: Landscaping will be a requirement for industrial areas bordering agriculturally zoned properties. A Type-D bufferyard will be required in these areas. Type-D bufferyards are 15' in width, include three trees for every 60 linear feet, and a sight-obscuring fence. A landscape plan is required upon resubmittal.

PLN09: A streetscape buffer is required along portions of the site bordering 56th Avenue. A 20' wide bufferyard with one tree and two shrubs for every 40 linear feet is required in these areas.

PLN10: A minimum of 10% of the entire site shall include landscaping. All required bufferyards may be counted toward this requirement. A calculation of landscape material should be included on the landscape plan.

PLN11: A landscape maintenance agreement is expected to be part of the landscape plan. This will detail how the landscaping will be maintained.

Commenting Division: Environmental Analyst Review Name of Reviewer: Jen Rutter Date: 02/01/2019 Email: jrutter@adcogov.org

Complete

ENV1. Due to the proximity of the parcels to Front Range Airport, it is covered by the Airport Noise Overlay (ANO). The portions of the commercial or industrial structures devoted to office uses, or occupied by members of the public must incorporate noise level reduction measures sufficient to achieve an interior noise level of 45 dB on the A-weighted scale. The noise reduction measures cited above are described in Chapter 35 of the Appendix of the Uniform Building Code, and as adopted by Adams County. Assurance that these measures have been incorporated into the structure is illustrated by submission of noise reduction plans certified by a registered professional engineer at the time of application for a building permit, and implemented prior to issuance of a Certificate of Occupancy (3-35-05-03 COMMERCIAL AND INDUSTRIAL USES TO INCORPORATE NOISE REDUCTION)

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Date: 02/19/2019

Email: mhillje@adcogov.org

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Commenting Division: Plan Coordination 2nd Review Name of Reviewer: Greg Barnes Date: 05/13/2019 Email: gjbarnes@adcogov.org Resubmittal Required

Commenting Division: Planner Review 2nd Review

Name of Reviewer: Greg Barnes Date: 05/13/2019

Email: gjbarnes@adcogov.org

Resubmittal Required

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PLN11B: The landscape maintenance agreement should be on your landscape plan. This information should provide specific details on how the landscaping will be irrigated and maintained. In addition, minimum size at installation is required.

Commenting Division: ROW Review 3rd Review

Name of Reviewer: Marissa Hillje

Date: 07/02/2019

Email: mhillje@adcogov.org

Complete

ROW1: The applicant has submitted the legal and exhibit for the ROW dedication. ROW2: The applicant has submitted a title report. ROW3: Note: Waiting on Quitclaim deed signatures. Email sent 7/2/2019



February 13th, 2019

Greg Barnes Adams County Planning & Development 4430 South Adams County Parkway 1st Floor - Suite W2000A Brighton, CO 80601-8216

Re: PRC2019-00002 Copeland Precast

Manager Barnes,

In regards to the PRC2019-00002 Copeland Precast request, Bennett –Watkins Fire Rescue (BWFR) is providing this letter of comments for Adams County as follows:

- BWFR has some concern with potential rezoning and conditional use permit of current land for other industrial or commercial uses due to the lack of current infrastructure to support associated development. For example, there is currently no municipal or private water supply available in the area to supply potentially required fire suppression systems or firefighting water supplies.
- BWFR has not yet entered into dialogue with the applicant regarding the project, however we are recommending the applicant consider the significant infrastructure requirements necessary to develop the proposed facility. On-site wells are almost never permitted or deemed adequate for fire suppression purposes.
- It is likely that one or more of the buildings on site will be required to be equipped with fire sprinklers, and all buildings will require private fire hydrant or firefighting water supply coverage.
- The applicants current information in the referral does not appear to provide any information on addressing fire code requirements or fire protection in general context.
- All aspects of this development must comply with Adams County Ordinance 4 adopting the 2018 International Fire Code.
- It is highly recommended that the applicant contact the Fire District directly to obtain more information on the Adams County fire code requirements for this project.

If you have any other questions or concerns, please feel free to contact me.

Thank You

aller -



February 15, 2019

Greg Barnes Adams County Community and Economic Development Department Transmitted via email: <u>gjbarnes@adcogov.com</u>

RE: Copeland Precast Case no. PRC2019-00002 W ½ of SE ¼ Sec. 8, T3S, R64W, 6th P.M. Water Division 1, Water District 1

Dear Mr. Barnes,

This referral does not appear to qualify as a "subdivision" as defined in Section 30-28-101(10)(a), C.R.S. Therefore, pursuant to the State Engineer's March 4, 2005 and March 11, 2011 memorandums to county planning directors, this office will only perform a cursory review of the referral information and provide informal comments. The comments do not address the adequacy of the water supply plan for this project or the ability of the water supply plan to satisfy any County regulations or requirements. In addition, the comments provided herein cannot be used to guarantee a viable water supply plan or infrastructure, the issuance of a well permit, or physical availability of water.

According to the submitted information, the Applicant is seeking a rezoning application to change the zone designation on approximately 78 acres from Agricultural-3 (A-3) to Industrial-1 (I-1) and a conditional use permit to allow accessory outdoor storage for a precast concrete facility. No information was provided on the proposed water supply to the property.

A cursory review of our records shows that the groundwater underlying the parcel in the Denver, Upper Arapahoe, Lower Arapahoe and Laramie-Fox Hills aquifers is pending adjudication in Division 1 Water Court Case no. 2018CW3171 by Floyd R. Ehmann Revocable Trust.

Should the Applicant wish to construct a water well in the Denver, Upper Arapahoe, Lower Arapahoe or Laramie-Fox Hills aquifers, the Applicant would need to show the transfer of the water right (when decreed) and the amount transferred when applying for a water well permit. The ability for the Applicant to obtain well permits, and the allowed uses, will be determined at the time that the well permit applications are submitted to and reviewed by the State Engineers Office.

If you, or the applicant, have any questions please contact Ioana Comaniciu at 303-866-3581 x8246.

Sincerely,

Joanna Williams, P.E. Water Resource Engineer

Ec: Referral No. 25826



1801 19th Street Golden, Colorado 80401



Karen Berry State Geologist

February 19, 2019

Greg Barnes Adams County Community & Economic Development 4430 S. Adams County Parkway, Suite W2000A Brighton, CO 80601

Location: W¹⁄₂ SE¹⁄₄ Section 8, T3S, R64W of the 6th P.M. 39.7985, -104.5726

Subject: Copeland Precast – Rezoning 78 Acres from A-3 to I-1 Case Number PRC2019-00002; Adams County, CO; CGS Unique No. AD-19-0017

Dear Mr. Barnes:

Colorado Geological Survey has reviewed the Copeland Precast referral. I understand the applicant requests approval for 1) rezoning from A-3 to I-1 approximately 78 acres located on the north side of E. 56th Avenue between Imboden Road and Quail Run Road, and 2) a conditional use permit application to allow accessory outdoor storage in excess of 100% of the building area.

The site does not contain steep slopes, is not undermined, is located within an "area of minimal flood hazard," and is not exposed to or located within any identified geologic hazard areas that would preclude the proposed rezoning and use. **CGS therefore has no objection to approval.**

Mineral resource potential. According to the Atlas of Sand, Gravel, and Quarry Aggregate Resources, Colorado Front Range Counties (Schwochow et al, Colorado Geological Survey Special Publications 5-A and 5-B, 1974, Plate 2 and Manila Quadrangle, respectively), the property is not mapped as containing a sand, gravel, or aggregate resource.

Thank you for the opportunity to review and comment on this project. If you have questions or require additional review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely,

Jill Carlson, C.E.G. Engineering Geologist



February 26, 2019

Greg Barnes Adams County Community and Economic Development 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601

RE: Copeland Precast, PRC2019-00002 TCHD Case No. 5436

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the Rezoning application to change the zone designation on approximately 78 acres from Agricultural-3 to Industrial-1 to allow for a precast concrete production facility and the Conditional Use Permit to allow accessory outdoor storage in excess of 100% of the building area between Imboden and Quail Run Roads. Tri-County Health Department (TCHD) staff previously reviewed the application for the Rezoning application and provided comments in letters June 26 and September 25, 2018. TCHD received a response from the applicant, dated October 11, 2018, and the applicant has responded to a majority of our comments satisfactorily. In a letter dated November 6, 2018, TCHD responded with the comment included below. TCHD has no further comments.

Public Water System

Systems serving 25 or more persons on average, a minimum of 60 days per year are subject to regulation by the Colorado Department of Public Health and Environment (CDPHE) as a non-community drinking water system. The application states that the facility will have an estimated ten (10) office staff and fifty (50) plant employees. CDPHE is the regulatory agency that will decide if this qualifies as a public water system or not. The applicant shall contact the CDPHE Drinking Water Section at (303) 692-3500 to determine requirements for the drinking water system. More information can be found here: https://www.colorado.gov/pacific/cdphe/drinking-water .

Please feel free to contact me at 720-200-1585 or aheinrich@tchd.org if you have any questions.

Sincerely,

Annemarie Heinrich, MPH/MURP Land Use and Built Environment Specialist

cc: Sheila Lynch, Monte Deatrich, TCHD



May 3, 2019

Greg Barnes Adams County Community and Economic Development 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601

RE: Copeland Precast, PRC2019-00002 TCHD Case No. 5562

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the resubmittal for the Rezoning application to change the zone designation on approximately 78 acres from Agricultural-3 to Industrial-1 to allow for a precast concrete production facility and the Conditional Use Permit to allow accessory outdoor storage in excess of 100% of the building area between Imboden and Quail Run Roads. Tri-County Health Department (TCHD) staff previously reviewed the application for the Rezoning application and provided comments in letters June 26 and September 25, 2018 and February 26, 2019. TCHD received responses from the applicant, dated October 11, 2018 and April 15, 2019, and the applicant has responded to our comments satisfactorily. TCHD no further comments.

Please feel free to contact me at 720-200-1585 or aheinrich@tchd.org if you have any questions.

Sincerely,

Annemarie Heinrich, MPH/MURP Land Use and Built Environment Specialist

cc: Sheila Lynch, Monte Deatrich, TCHD



July 1, 2019

Greg Barnes Adams County Community and Economic Development 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601

RE: Copeland Precast, PLT2019-00002 TCHD Case No. 5698

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the fourth review of the Rezoning application to change from Agricultural-3 to Industrial-1 to allow for a precast concrete production facility and the Conditional Use Permit to allow accessory outdoor storage in excess of 100% of the building area between Imboden and Quail Run Roads. Tri-County Health Department (TCHD) staff previously reviewed the application for the Rezoning and Conditional Use Permit and, in letters dated June 26, September 25, October 11 and November 6, 2018 and February 26, 2019, responded with comments. The applicant has acknowledged our comments. TCHD has no further comments.

Please feel free to contact me at 720-200-1585 or aheinrich@tchd.org if you have any questions.

Sincerely,

Annemarie Heinrich, MPH/MURP Land Use and Built Environment Specialist

cc: Sheila Lynch, Monte Deatrich, TCHD



Right of Way & Permits

1123 West 3rd Avenue Denver, Colorado 80223 Telephone: **303.571.3306** Facsimile: 303. 571.3284 donna.l.george@xcelenergy.com

March 1, 2019

Adams County Community and Economic Development Department 4430 South Adams County Parkway, 3rd Floor, Suite W3000 Brighton, CO 80601

Attn: Greg Barnes

Re: Copeland Precast, Case # RCU2019-00002

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the request for the **Copeland Precast Rezone** and has no objection to this proposed rezone, contingent upon PSCo's ability to maintain all existing rights and this amendment should not hinder our ability for future expansion, including all present and any future accommodations for natural gas transmission and electric transmission related facilities.

The property owner/developer/contractor must complete the **application process** for any new natural gas or electric service via FastApp-Fax-Email-USPS (go to: <u>https://www.xcelenergy.com/start, stop, transfer/new construction service activation for builders</u>). It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center** at 1-800-922-1987 to have all utilities located prior to any construction.

Donna George Right of Way and Permits Public Service Company of Colorado / Xcel Energy Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com Community & Economic Development Department Development Services Division

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000B Brighton, CO 80601-8218 PHONE 720.523.6800 FAX 720.523.6967

Request for Comments

Case Name: Project Number: Copeland Precast PRC2019-00002

February 8, 2019

The Adams County Planning Commission is requesting comments on the following requests: 1) Rezoning application to change the zone designation on approximately 78 acres from Agricultural-3 (A-3) to Industrial-1 (I-1); 2) Conditional use permit application to allow accessory outdoor storage in excess of 100% of building area.

This request is located approximately 1,500 feet east of the intersection of Imboden Road and East 56th Avenue. The Assessor's Parcel Number is 0181700000018.

Applicant Information:

Copeland Precast Bart Copeland 904 South Lipan St Denver, CO 80223

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216, or call (720) 523-6800 by 03/01/2019 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you for your information upon request. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Greg Barnes Case Manager

Eva J. Henry DISTRICT 1 Charles "Chaz" Tedesco

BOARD OF COUNTY COMMISSIONERS

Emma Pinter DISTRICT 3 Steve O'Dorisio DISTRICT 4 Mary Hodge DISTRICT 5 Community & Economic Development Department Development Services Division

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000B Brighton, CO 80601-8218 PHONE 720.523.6800 FAX 720.523.6967

Public Hearing Notification

Case Name:	Copeland Precast
Case Number:	PRC2019-00002
Planning Commission Hearing Date:	10/10/2019 at 6:00 p.m.
Board of County Commissioners Hearing Date:	10/29/2019 at 9:30 a.m.

September 17, 2019

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following requests: 1) Rezoning application to change the zone designation on approximately 78 acres from Agricultural-3 (A-3) to Industrial-1 (I-1); 2) Conditional use permit application to allow accessory outdoor storage in excess of 100% of building area.

This request is located northeast of the intersection of East 56th Avenue and Imboden Road. The Assessor's Parcel Number is 0181700000018

Applicant Information: Copeland Precast BART COPELAND 904 SOUTH LIPAN ST DENVER, CO 80223

The hearing will be held in the Adams County Hearing Room located at 4430 South Adams County Parkway, Brighton CO 80601-8216. This will be a public hearing and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. If you require any special accommodations (e.g., wheelchair accessibility, an interpreter for the hearing impaired, etc.) please contact the Adams County Community and Economic Development Department at (720) 523-6800 (or if this is a long distance call, please use the County's toll free telephone number at 1-800-824-7842) prior to the meeting date.

For further information regarding this case, please contact the Community and Economic Development Department, 4430 S Adams County Parkway, Brighton, CO 80601, 720-523-6800. This is also the location where maps and/or text certified by the Planning Commission may be viewed. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases. Thank you for your review of this case.

Greg Barnes Planner III

Eva J. Henry DISTRICT 1 Charles "Chaz" Tedesco

BOARD OF COUNTY COMMISSIONERS

Emma Pinter DISTRICT 3 Steve O'Dorisio

Mary Hodge DISTRICT 5

PUBLICATION REQUEST

Copeland Precast

Case Number:	PRC2019-00002
Planning Commission Hearing Date:	10/10/2019 at 6:00 p.m.
Board of County Commissioners Hearing Date:	10/29/2019 at 9:30 a.m.
Public Hearing Location: 4430 S. Adams County P	kwy., Brighton, CO, 80201
Requests: 1) Rezoning application to change the acres from Agricultural-3 (A-3) to Industrial-1 (I-1); allow accessory outdoor storage in excess of 100	2) Conditional use permit application to

Location: Northeast of the intersection of East 56th Avenue and Imboden Road

Parcel Number: 0181700000018

Greg Barnes Case Manager:

Applicant: BART COPELAND 904 SOUTH LIPAN ST **DENVER, CO 80223**

303-601-8369

Owner: EHMANN CARL FRANK AKA EHMANN KARL FRAN LAKEY LESTER L/EHMANN FLOYD R REVOCABLE **7574 JUNIPER STREET ARVADA, CO 80007**

Legal Description:

A PARCEL OF PROPERTY LOCATED IN SECTION 8, TOWNSHIP 3 SOUTH, RANGE 64 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS: THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 8 EXCEPT THE SOUTH 45.00 FEET. PARCEL OF PROPERTY CONTAINS 78.6 ACRES MORE OR LESS.



Referral Listing Case Number PRC2019-00002 Copeland Precast

Agency	Contact Information
Adams County Attorney's Office	Christine Fitch CFitch@adcogov.org 4430 S Adams County Pkwy Brighton CO 80601 720-523-6352
Adams County CEDD Addressing	Marissa Hillje PLN 720.523.6837 mhillje@adcogov.org
Adams County CEDD Development Services Engineer	Devt. Services Engineering 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6800
Adams County CEDD Right-of-Way	Marissa Hillje 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6837 mhillje@adcogov.org
Adams County Construction Inspection	Gordon .Stevens 4430 S. Adams County Pkwy Brighton CO 80601 720-523-6965 gstevens@adcogov.org
Adams County Development Services - Building	Justin Blair 4430 S Adams County Pkwy Brighton CO 80601 720-523-6825 JBlair@adcogov.org
Adams County Parks and Open Space Department	Aaron Clark mpedrucci@adcogov.org (303) 637-8005 aclark@adcogov.org
Adams County Sheriff's Office: SO-HQ	Rick Reigenborn (303) 654-1850 rreigenborn@adcogov.org
Adams County Sheriff's Office: SO-SUB	SCOTT MILLER 720-322-1115 smiller@adeagov.org

smiller@adcogov.org

Agency	Contact Information
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BENNETT FIRE DISTRICT #7	CHIEF EARL CUMELY 825 SHARIS CT BENNETT CO 80102 303-644-3434 ecumley941@aol.com
BENNETT PARK AND RECREATION	Chris Raines PO BOX 379 455 S. 1ST ST. BENNETT CO 80102-0379 303-644-5041 Director@bennettrec.org
BENNETT SCHOOL DISTRICT 29J	Robin Purdy 615 7TH ST. BENNETT CO 80102 303-644-3234 Ext: 8203 robinp@bsd29j.com
Century Link, Inc	Brandyn Wiedreich 5325 Zuni St, Rm 728 Denver CO 80221 720-578-3724 720-245-0029 brandyn.wiedrich@centurylink.com
CITY OF AURORA - WATER AND SAN. DEPT.	PETER BINNEY 15151 E ALAMEDA PKWY #3600 AURORA CO 80012 303-739-7370 pbinney@ci.aurora.co.us
CITY OF AURORA ATTN: PLANNING DEPARTMENT	Porter Ingrum 15151 E ALAMEDA PKWY 2ND FLOOR AURORA CO 80012 (303) 739-7227 303.739.7000 pingrum@auroragov.org
Code Compliance Supervisor	Eric Guenther eguenther@adcogov.org 720-523-6856 eguenther@adcogov.org
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Agency	Contact Information	
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COLO DIV OF WATER RESOURCES	Joanna Williams OFFICE OF STATE ENGINEER 1313 SHERMAN ST., ROOM 818 DENVER CO 80203 303-866-3581 joanna.williams@state.co.us	
Colorado Air and Spaceport	Dave Ruppel 5200 Front Range Airport WATKINS CO 80137-7131 303-261-9100 druppel@ftg-airport.com	
COLORADO DIVISION OF WILDLIFE	Eliza Hunholz Northeast Regional Engineer 6060 BROADWAY DENVER CO 80216-1000 303-291-7454 eliza.hunholz@state.co.us	
COLORADO DIVISION OF WILDLIFE	Serena Rocksund 6060 BROADWAY DENVER CO 80216 3039471798 serena.rocksund@state.co.us	
COLORADO GEOLOGICAL SURVEY	Jill Carlson 1500 Illinois Street Golden CO 80401 303-384-2643 303-384-2655 CGS_LUR@mines.edu	
Colorado Geological Survey: CGS_LUR@mines.edu	Jill Carlson Mail CHECK to Jill Carlson 303-384-2643 303-384-2655 CGS_LUR@mines.edu	
COMCAST	JOE LOWE 8490 N UMITILLA ST FEDERAL HEIGHTS CO 80260 303-603-5039 thomas_lowe@cable.comcast.com	
Denver International Airport	Tim Hester Planning & Design 8500 Peña Boulevard Denver CO 80249 (303) 342-2391 Tim.Hester@flydenver.com	

Agency	Contact Inform
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METRO WASTEWATER RECLAMATION	CRAIG SIMMO 6450 YORK ST. DENVER CO 80 303-286-3338 CSIMMONDS@
NS - Code Compliance	Gail Moon gmoon@adcogov 720.523.6833 gmoon@adcogov
TRANSPORT METROPOLITAN DISTRICT NO. 1	GARY R WHITI c/o White Bear & 1805 SHEA CEN HIGHLANDS R 303 858-1800
TRI-COUNTY HEALTH DEPARTMENT	MONTE DEATH 4201 E. 72ND A COMMERCE CI (303) 288-6816 mdeatrich@tchd.
TRI-COUNTY HEALTH DEPARTMENT	Sheila Lynch 6162 S WILLOV GREENWOOD 720-200-1571 landuse@tchd.or
Tri-County Health: Mail CHECK to Sheila Lynch	Tri-County Healt landuse@tchd.or
UNITED STATES POST OFFICE	MARY C. DOBY 56691 E COLFA STRASBURG C 303-622-9867 mary.c.dobyns@
US EPA	Stan Christensen 1595 Wynkoop S DENVER CO 80 1-800-227-8917 christensen.stanle
Xcel Energy	Donna George 1123 W 3rd Ave DENVER CO 80 303-571-3306 Donna.L.George

AVENUE, #224 0249-6361 a.gov

ONDS 0229 @MWRD.DST.CO.US

ov.org ov.org

Έ & Ankele NTER DR, SUITE 100 RANCH CO 80129

RICH AVENUE SUITE D CITY CO 80022 1.org

W DR, SUITE 100 VILLAGE CO 80111 rg

lth rg

SYNS AX AVENUE CO 80136-8115 Jusps.gov

n Street 0202 ley@epa.gov

0223 e@xcelenergy.com Xcel Energy

Donna George 1123 W 3rd Ave DENVER CO 80223 303-571-3306 Donna.L.George@xcelenergy.com ADAMS COUNTY 4430 S ADAMS COUNTY PKWY 5TH FLOOR BRIGHTON CO 80601-8222 CURRENT RESIDENT 5200 FRONT RANGE PKWY UNIT 6 WATKINS CO 80137-7156

ADAMS COUNTY 4430 SOUTH ADAMS COUNTY PKWY BRIGHTON CO 80601-8204 CURRENT RESIDENT 5200 FRONT RANGE PKWY UNIT 13 WATKINS CO 80137-7173

COPELAND HOLDING LLC 2 ROBINCREST LN LITTLETON CO 80123-6514 CURRENT RESIDENT 5200 FRONT RANGE PKWY UNIT 2 WATKINS CO 80137-7173

LARSON LANNY J AND LARSON DEBORAH L TRUSTEES OF THE LARSON REVOCABLE TRUST 15 RAINBOW VALLEY RD PLACITAS NM 87043-8800

5200 FRONT RANGE PKWY UNIT A WATKINS CO 80137-7173

CURRENT RESIDENT

PUBLIC SERVICE CO OF COLORADO C/O PROPERTY AND LOCAL TAXES PO BOX 1979 DENVER CO 80201-1979

WESTERN TRANSPORT LLC 1331 17TH ST STE 1000 DENVER CO 80202-1566

CURRENT RESIDENT 5200 FRONT RANGE PKWY LOWR 1 WATKINS CO 80137-7156

CURRENT RESIDENT 5200 FRONT RANGE PKWY LOWR 2 WATKINS CO 80137-7156

CURRENT RESIDENT 5200 FRONT RANGE PKWY STE A WATKINS CO 80137-7156

CURRENT RESIDENT 5200 FRONT RANGE PKWY UNIT 5 WATKINS CO 80137-7156

CERTIFICATE OF POSTING



I, J. Gregory Barnes do hereby certify that I posted the subject property on September 24, 2019 in accordance with the requirements of the Adams County Development Standards and Regulations.

Dezonzb

J. Gregory Barnes

Copeland Precast RCU2019-00002

Approx. 3,500 ENE of Imboden Road & E. 56th Avenue

October 29, 2019 Board of County Commissioners Public Hearing Community and Economic Development Department Case Manager: Greg Barnes

Requests

Rezoning:

- Current Zoning: Agricultural-3 (A-3)
- Proposed Zoning: Industrial-1 (I-1)

Conditional Use Permit:

- Accessory Outdoor Storage in excess of 100% of building area
- Includes a material stacking request of 15 feet in height

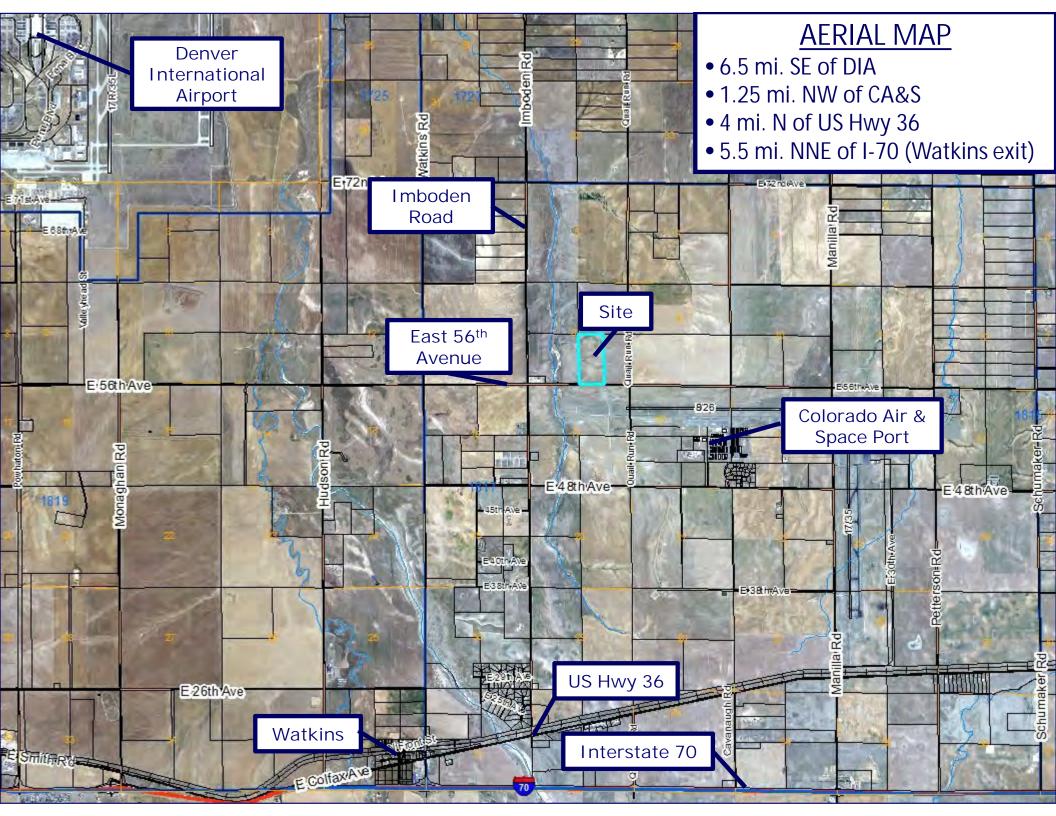
Background

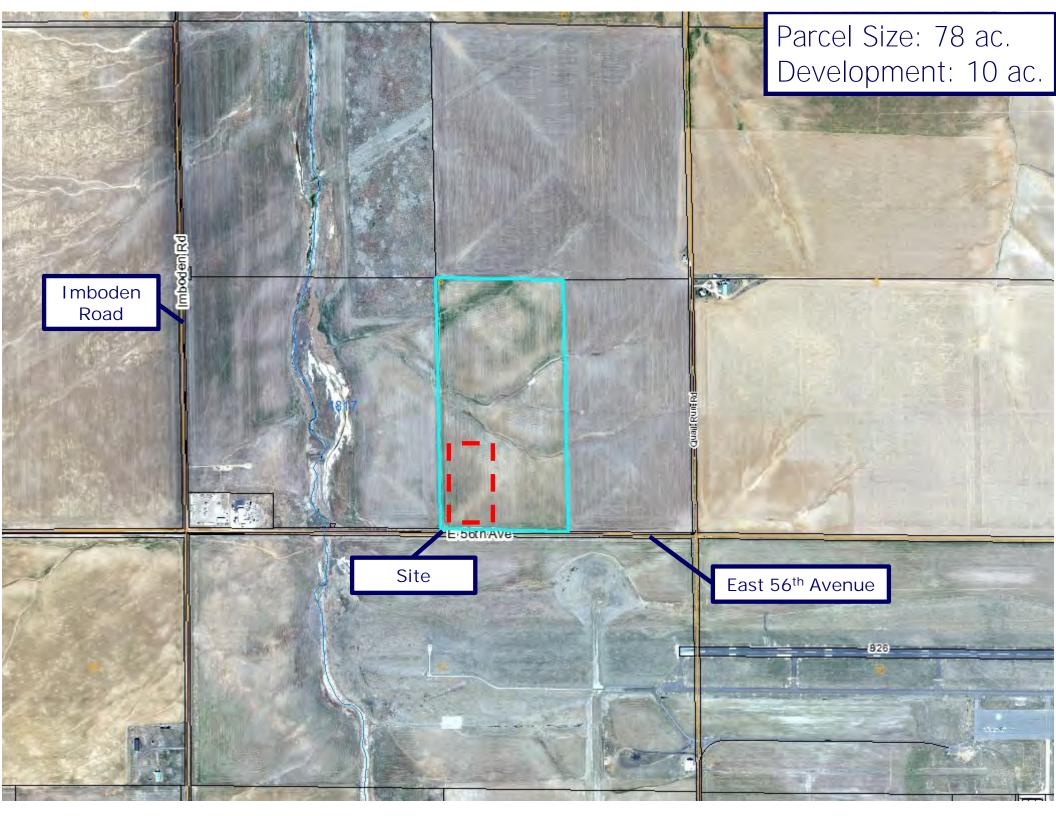
Previous Rezoning – January 2019:

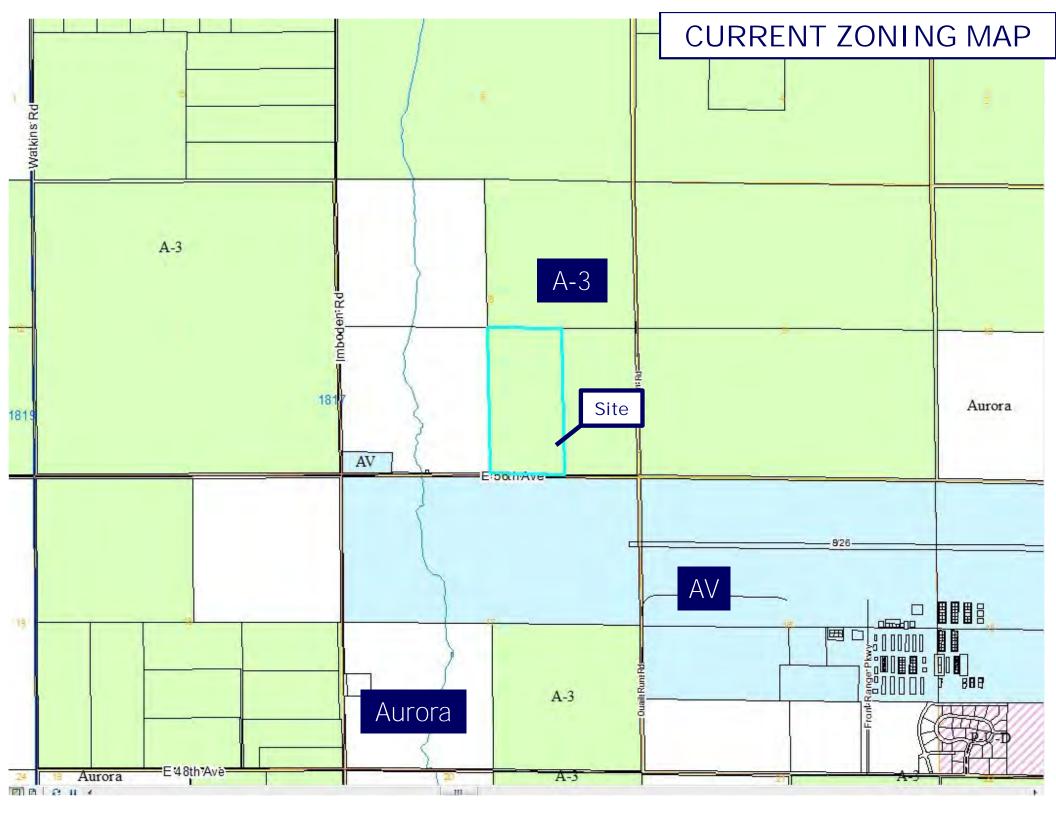
- Current Zoning: Agricultural-3 (A-3)
- Proposed Zoning: Industrial-2 (I-2)

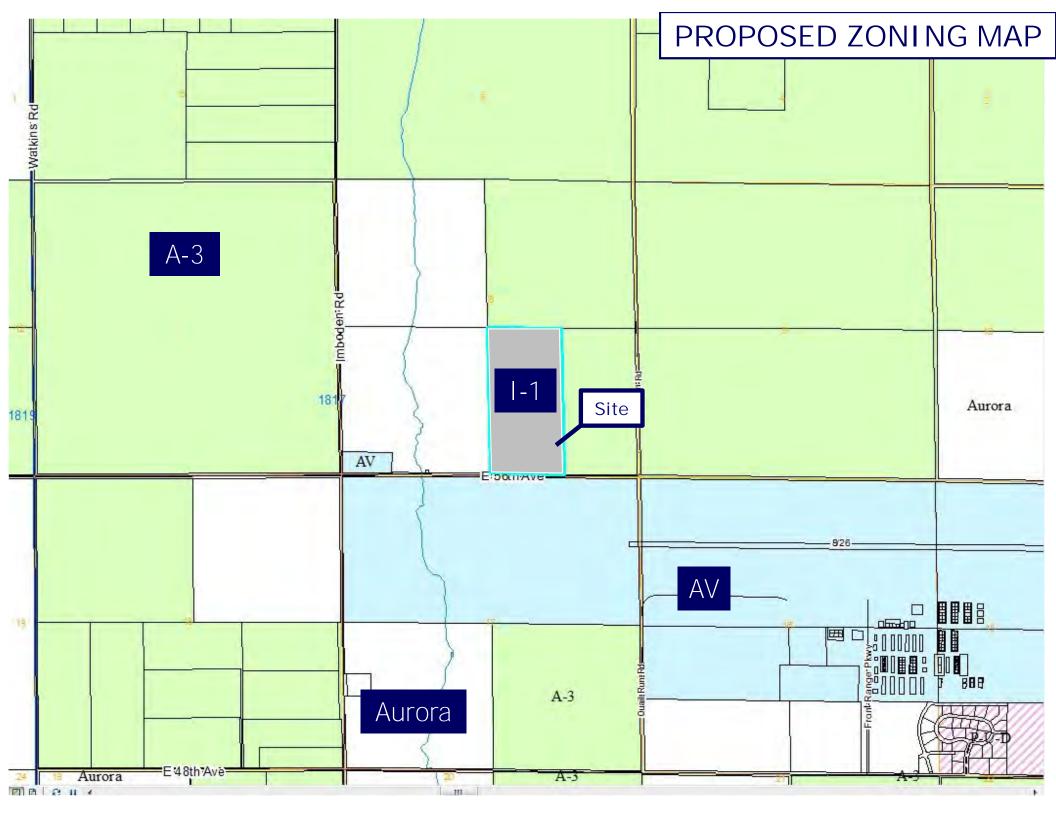
Planning Commission:

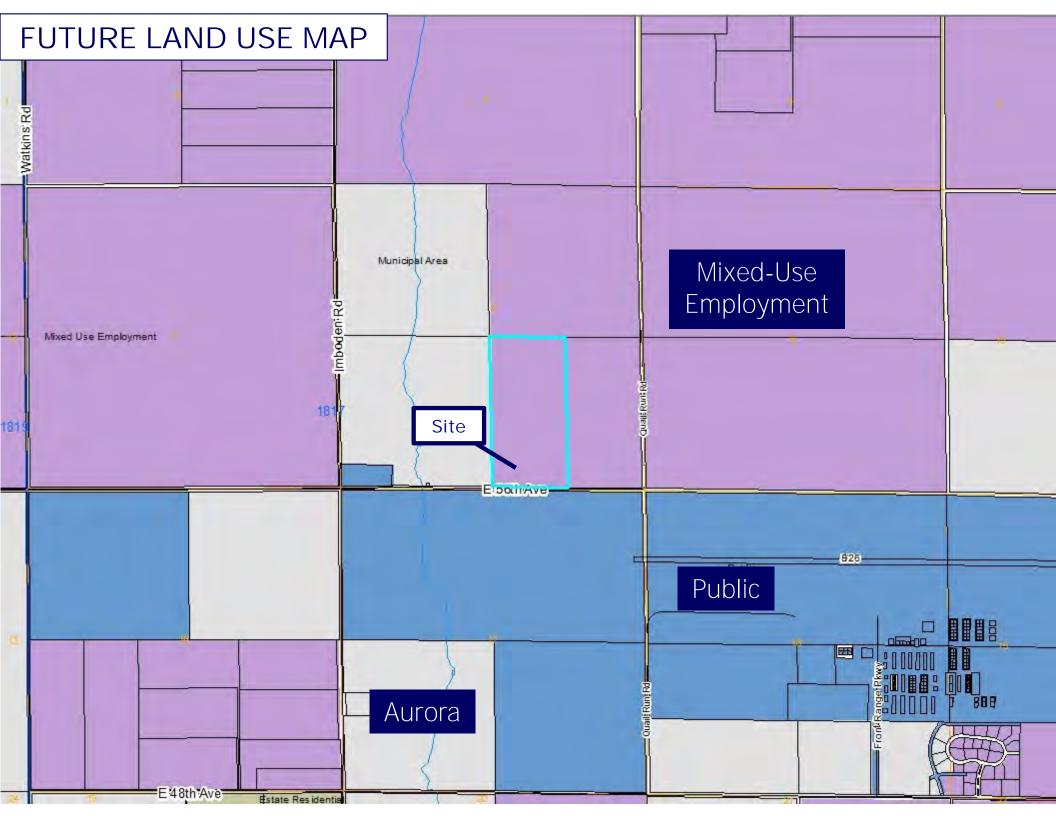
- Denied
- Application subsequently withdrawn











Criteria for Rezoning Approval

Section 2-02-13-06-02

- 1. Consistent with Comprehensive Plan
- 2. Consistent with Development Standards
- 3. Complies to Development Standards
- 4. Harmonious & Compatible

Criteria for Conditional Use Permit

Section 2-02-08-06

- 1. Permitted in zone district
- 2. Consistent with regulations
- 3. Comply with performance standards
- 4. Harmonious & compatible
- 5. Addressed all off-site impacts
- 6. Site suitable for use
- 7. Site plan adequate for use
- 8. Adequate services

Mixed-Use Employment

Employment Centers:

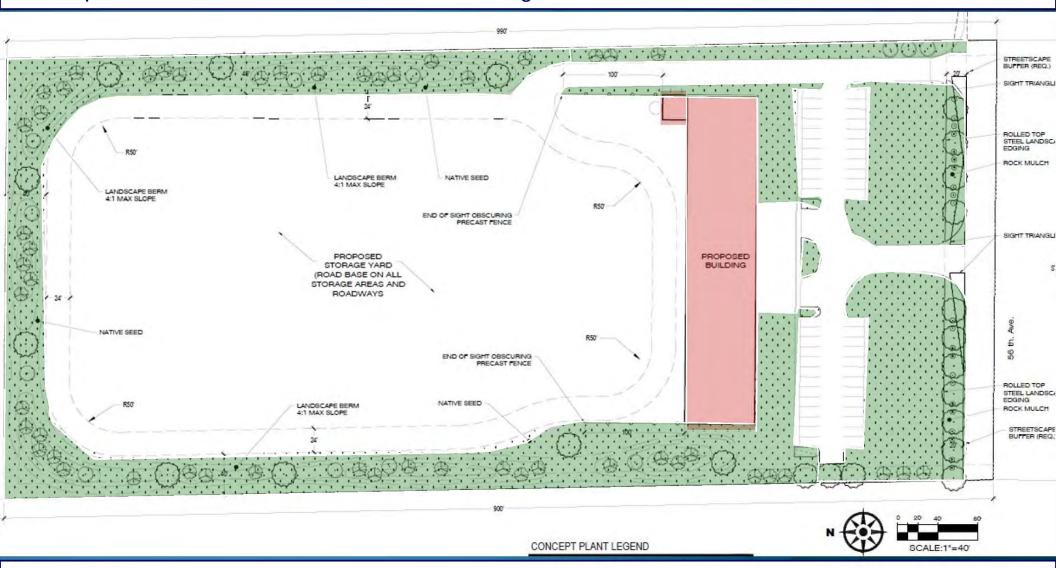
- Offices
- Business Parks
- Light Manufacturing
- Clean Industry

Above uses consistent with C-5 and I-1 zoning

Colorado Air & Space Port, Denver International Airport, and I-70 corridor area

Proposed use will support future development in this area, by easily providing construction supplies

<u>Applicant Site Plan</u> 6.7 ac of outdoor storage 1,750 perimeter feet around outdoor storage area



Screening

116 required trees, and privacy fence

65 trees, combination of berming and privacy fence



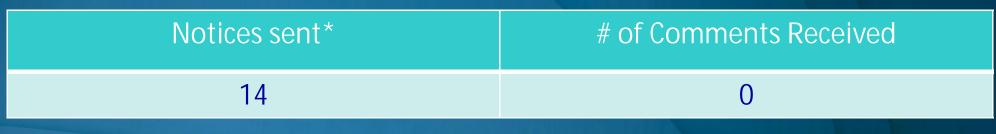








Referral Period



* Property owners and occupants within ½ mile were notified

Referral Agencies:BWFR

• Fire suppression

Summary

- Consistent with Comprehensive Plan
- Expected development of the area (Colorado Air & Space Port)
- Parcel complies with I-1 zoning standards
- Landscaping and berming to provide screening

PC Update (PRC2019-00004 - Kiowa-52 Solar)

- Public Hearing on October 10th
- No members of the public were present to testify
- Questions:
 - Adjacent Aurora Zoning (I-2)
 - Growth potential

Recommendation

Approval of the proposed Rezoning and Conditional use Permit with:

- 16 Findings-of-Fact
- 3 Conditions Precedent
- 5 Conditions
- 2 Notes

Recommended Finding-of-Fact

- 1. The Zoning Map amendment is consistent with the Adams County Comprehensive Plan.
- 2. The Zoning Map amendment is consistent with the purposes of these standards and regulations.
- 3. The Zoning Map amendment will comply with the requirements of these standards and regulations
- 4. The Zoning Map amendment is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
- 5. The conditional use is permitted in the applicable zone district.
- 6. The conditional use is consistent with the purposes of these standards and regulations.
- 7. The conditional use will comply with the requirements of these standards and regulations, including but not limited to, all applicable performance standards.

Recommended Finding-of-Fact

- 8. The conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
- 9. The conditional use permit has addressed all off-site impacts.
- 10. The site is suitable for the proposed conditional use including adequate usable space, adequate access, and absence of environmental constraints.
- 11. The site plan for the proposed conditional use will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
- 12. Sewer, water, storm water drainage, fire protection, police protection, and roads are available and adequate to serve the needs of the conditional use as designed and proposed
- 13. There is a need for the outdoor storage operation for the benefit of Adams County.
- 14. The request is compatible with the Adams County Comprehensive Plan, complies with the minimum zoning requirements of the zone district in which the Conditional Use Permit is to be granted, and complies with all other applicable requirements of the Adams County Zoning and Subdivision Regulations.

Recommended Finding-of-Fact

- 15. The proposed outdoor storage is clearly subordinate to a principal use of the property.
- 16. Aesthetic concerns have been taken into consideration during the site design and placement of the outdoor storage.

Recommended Conditions Precedent

- 1. Prior to using the property for outdoor storage, the applicant shall obtain a fence permit and construct the fence as required by this conditional use permit.
- 2. Prior to using the property for outdoor storage, the applicant shall construct all required berms as illustrated on the approved site plan, with a minimum of six feet in height. Alternatively, a screen fence may be used in any area where the berm will not reach a height of six feet.
- 3. An access permit shall be obtained for the proposed driveway.

Recommended Conditions

- 1. The conditional use permit shall expire on October 29, 2024.
- 2. The outdoor storage shall consist of non-hazardous materials as determined by the Colorado Department of Public Health and Environment.
- 3. Operation of the use shall be strictly adhered to as depicted on the site plan. Any changes or expansion of the outdoor storage area shall require an amendment to the conditional use permit.
- 4. All landscaping on the site shall conform to the landscape plan approved with the conditional use permit, and all existing, healthy trees shall not be removed from the property. Maintenance of the required landscaping shall conform to County's landscape requirements outlined in the Development Standards and Regulations.
- 5. The stacking height of any material stored in the approved outdoor storage area shall not exceed fifteen feet in height.

Recommended Notes:

- 1. All applicable building, zoning, health, fire, and engineering requirements and codes shall be adhered to with this request.
- 2. The conditional use permit shall expire on October 29, 2020 if building permits are not obtained



COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

CASE NO.: PRC2018-00024

CASE NAME: VILLALOBOS-QUEBEC

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- 4.2 Referral Comments (Commerce City)
- 4.3 Referral Comments (CDOT)
- 4.4 Referral Comments (CDPHE)
- 4.5 Referral Comments (SACWSD)
- 4.6 Referral Comments (TCHD)
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EXHIBIT 5- Public Comments

None

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COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT STAFF REPORT

Board of County Commissioners

October 29, 2019

CASE No.: PRC2018-00024	CASE NAME: Villalobos-Quebec	
Owner's Name:	Villalobos Properties, LLC	
Applicant's Name:	Villalobos Properties, LLC	
Applicant's Address:	5472 Lincoln Street, Denver, CO 80216	
Location of Request:	8057, 8077, and 8121 Quebec Street	
Nature of Request:	Rezone from Agricultural-1 (A-1) and Industrial-1 (I-1) to Industrial-2 (I-2)	
Future Land Use:	Industrial	
Site Size:	5.9 acres	
Proposed Uses:	Industrial	
Existing Use:	Industrial, Single-Family Residential	
Hearing Date(s):	PC: October 10, 2019/ 6:00 pm BOCC: October 29, 2019/ 9:30 am	
Report Date:	September 25, 2019	
Case Manager:	Greg Barnes	
PC Recommendations:	APPROVAL with 4 Findings-of-Fact and 1 note	

SUMMARY OF APPLICATION

Background:

The applicant, Villalobos Properties, is requesting to rezone the subject properties from Agriculture-1 (A-1) and Industrial-1 (I-1) to Industrial-2 (I-2). Villalobos Properties purchased the site in 2008, and has since located a concrete business, Villalobos Concrete, on the property. The site also contains a residential single-family dwelling. Villalobos Concrete has been cited by Adams County for not having permits to operate a concrete manufacturing company and associated outdoor storage of vehicles and equipment in the Agricultural-1 (A-1) and Industrial-1 (I-1) zone districts. The application for rezoning is an attempt to remedy the existing violation and bring the site into compliance. The site includes two lots totaling 5.9 acres. If the property is rezoned to I-2, a change in use permit will be required to formally establish the concrete manufacturing business and associated outdoor storage. The change in use permit will address landscaping, drainage, parking, fencing design, and other performance standards for the use.

Development Standards and Regulations:

Section 2-02-13-06-02 of the County's Development Standards and Regulations outlines the approval criteria for rezoning a property. These include compliance with the requirements and purpose of the Development Standards and Regulations, consistency with the Comprehensive Plan, and compatibility with the surrounding area.

The subject properties are designated A-1 and I-1 on the County's zoning map. Per Section 3-08-01 of the County's Development Standards and Regulations, the purpose of the A-1 designation is to provide a rural single-family dwelling district that provides for a rural experience. Per Section 3-24-01 of the County's Development Standards and Regulations, the purpose of the I-1 designation is to provide a general commercial and industrial zone district for limited industrial uses and a variety of warehousing and wholesale uses. Section 3-25-01 of the County's Development Standards and Regulations describes the purpose of the I-2 zone district as providing light manufacturing and storage of nonhazardous material, while providing service facilities for industries and their employees. Uses permitted in the I-2 district include business parks, light manufacturing and processing, and outdoor storage.

Per Section 3-25-07 of the County's Development Standards and Regulations, the minimum lot size for properties in the I-2 zone district is two acres and minimum lot width is one-hundred twenty-five (125) feet. The southern lot is two (2) acres and has two-hundred seventy-five (275) feet of lot width; the northern lot is approximately five (5) acres and has three hundred (300) feet of lot width. The southern lot was recent created by a lot line vacation approval, which combined two smaller parcels. The proposed request to rezone from to Industrial-2 is consistent with the Development Standards and Regulations by conforming to the dimensional requirements for the I-2 district.

Future Land Use Designation/Comprehensive Plan:

The Future Land Use Designation on the property is Industrial. Per Chapter 5 of the Adams County Comprehensive Plan, the purpose of the Industrial future land use designation is to provide for a wide range of employment uses, including manufacturing. Manufacturing is an allowed use in the I-2 zone district. The request to rezone the property to I-2 conforms to the goals of the future land use designation. The current zoning of the northern property as A-1 is inconsistent with the adopted Comprehensive Plan and its future land use designation of Industrial.

Site Characteristics:

The subject property is located directly to the southwest of the intersection of Quebec Street and East 81st Place. Currently, the site is developed with a concrete manufacturing business. The site includes several structures that are used for office space and associated outdoor storage yard, which is used to store equipment associated with the concrete manufacturer. The site also includes two residential dwellings, which will become legally nonconforming uses, if the rezoning is approved. Access to the site is from Quebec Street. The site also has frontage along Pontiac Street, but does not have an access point to that street.

Northwest	North	Northeast
Commerce City	Commerce City	A-1
Single-Family Residential	Industrial	Vacant
West	Subject Property	East
Commerce City	A-1, I-1	Commerce City, A-1
Industrial	Industrial	Single-Family Residential
Southwest	South	Southeast
Commerce City, I-1	I-1	Commerce City
Industrial	Industrial	Single-Family Residential

Surrounding Zoning Designations and Existing Use Activity:

Compatibility with the Surrounding Area:

The surrounding area includes a mix of single-family residential and industrial properties. Many of the surrounding properties are located within the municipal boundaries of Commerce City. The city has designated a future land use of General Industrial on the subject properties. The General Industrial designation is consistent with I-1 and I-2 zoning, according to Commerce City's Community Development Department staff. The site is located within the boundaries of Commerce City's Irondale Plan, and the proposal to rezone the property to I-2 is consistent with the City's goals for the area.

The surrounding properties within unincorporated Adams County also include a mix of agricultural, residential, and industrial zoned properties. A five-acre property located approximately 300 feet north of the site is currently designated within the I-2 zone district. Several properties located directly south of the subject site are designated with I-1 zoning. A-1 zoned properties can be found on the east side of Quebec Street

PLANNING COMMISSION UPDATE

The Planning Commission (PC) considered this case on October 10, 2019 and voted (5-2) to recommend approval of the request. The applicant spoke at the meeting and had no concerns with the staff report or presentation. During the public hearing, a nearby property owner provided concerns with dust mitigation, traffic, and transient residents in the existing dwelling. Staff reconfirmed that a change in use permit will be expected to address those issues if the rezoning application is approved.

<u>Staff Recommendation</u>:

Based upon the application, the criteria for approval for a rezoning, and a recent site visit, staff recommends approval of this request with 4 findings-of-fact and 1 note:

RECOMMENDED FINDINGS OF FACT REZONING

- 1. The Zoning Map amendment is consistent with the Adams County Comprehensive Plan.
- 2. The Zoning Map amendment is consistent with the purposes of these standards and regulations.
- 3. The Zoning Map amendment will comply with the requirements of these standards and regulations

4. The Zoning Map amendment is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.

RECOMMENDED NOTE

1. A Change in Use Permit will be required to establish the concrete manufacturing business.

PUBLIC COMMENTS

Notifications Sent	Comments Received
90	1

All property owners within 750 feet of the subject property were notified of the request. As of writing this report, staff has not received any written response from those notified. Staff did receive one telephone call from a nearby resident, who did have concerns with the potential uses allowed in the I-2 zone district.

Responding with Concerns:

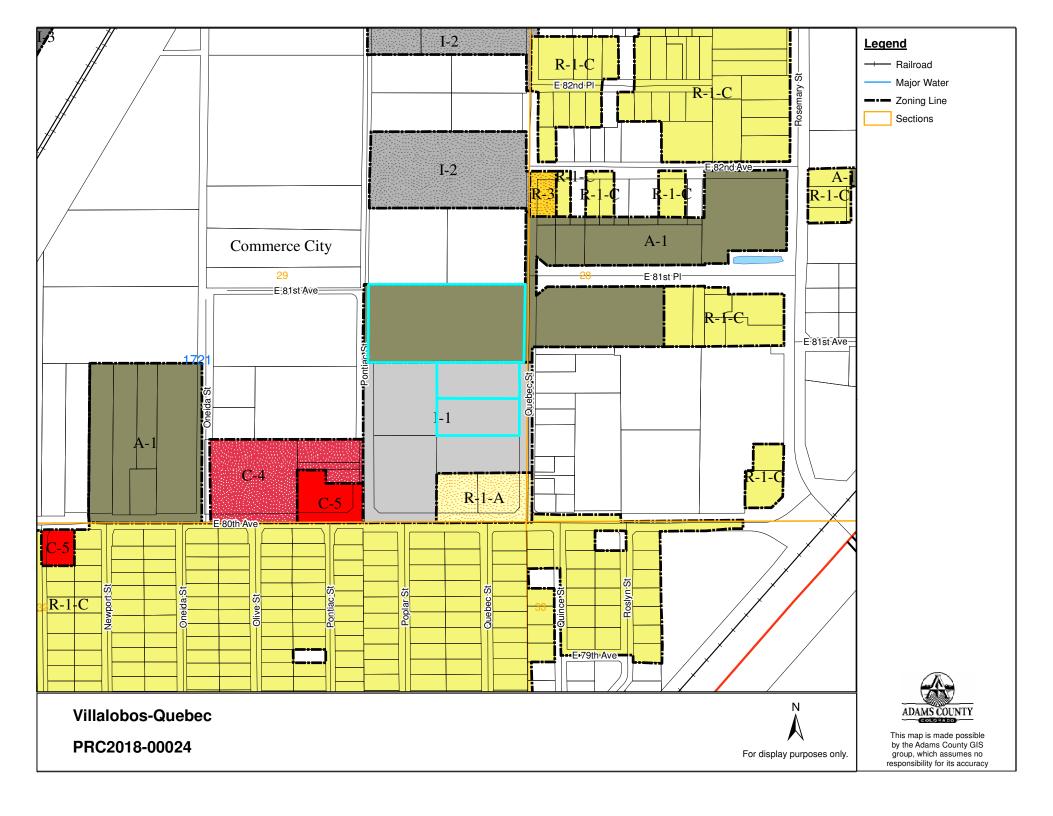
None

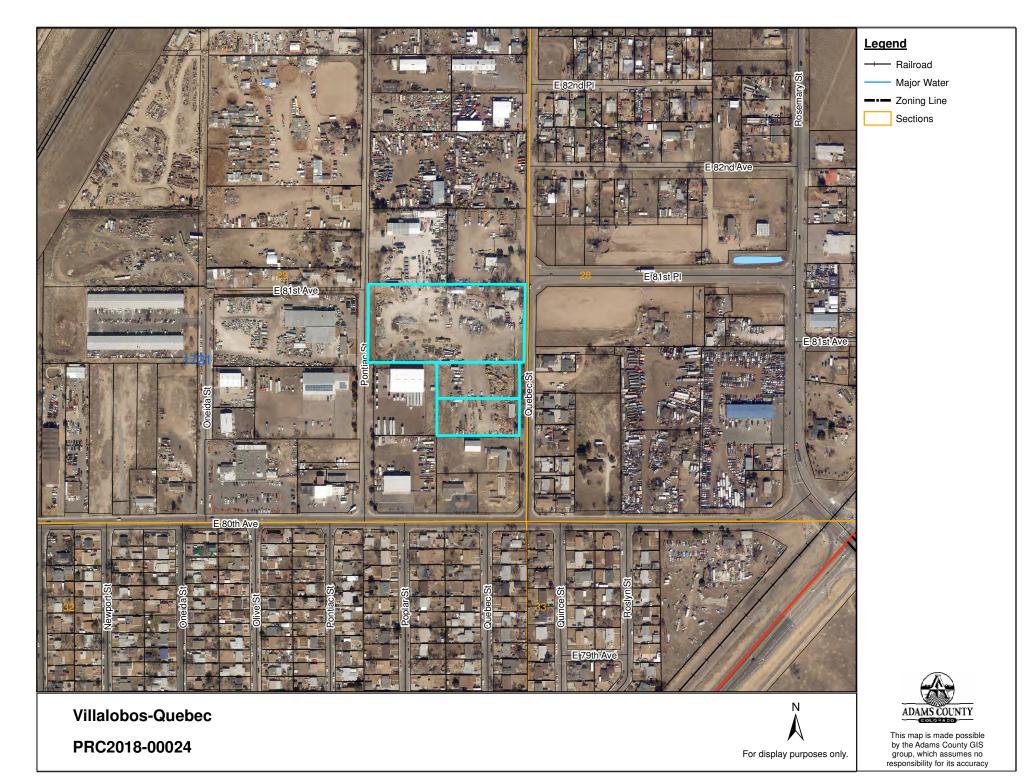
Responding without Concerns:

CDOT CDPHE South Adams County Water & Sanitation District Tri-County Health Department Xcel Energy

Notified but not Responding / Considered a Favorable Response:

Adams County School District #14 Adams County Sheriff Century Link City of Commerce City Colorado Division of Parks & Wildlife Comcast Metro Wastewater Reclamation District RTD South Adams County Fire District









A4rchitecture, llc

Integrated Building Solutions

1615 California, Suite 211

Denver, Colorado 80202

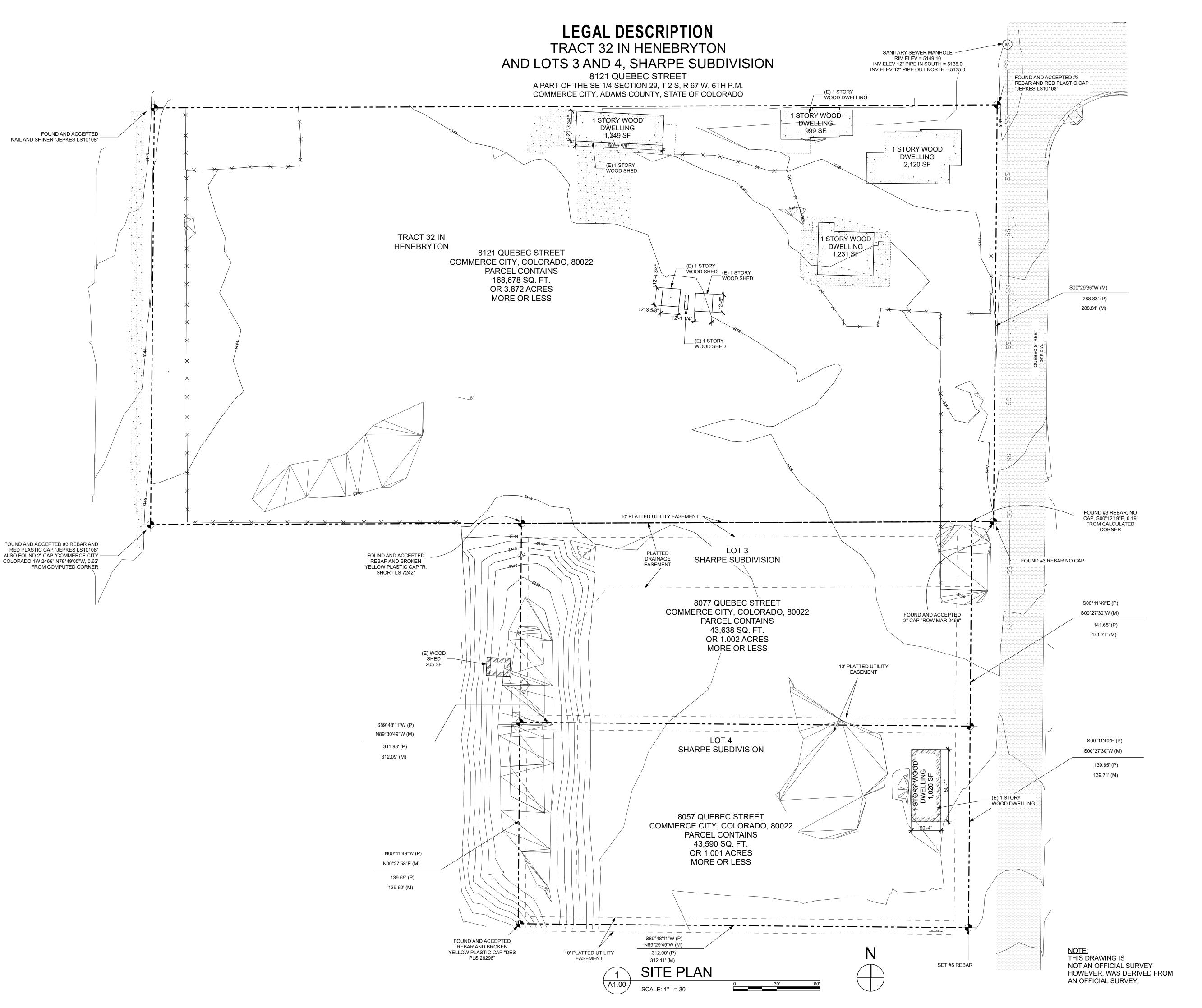
Tel: 303-910-4409

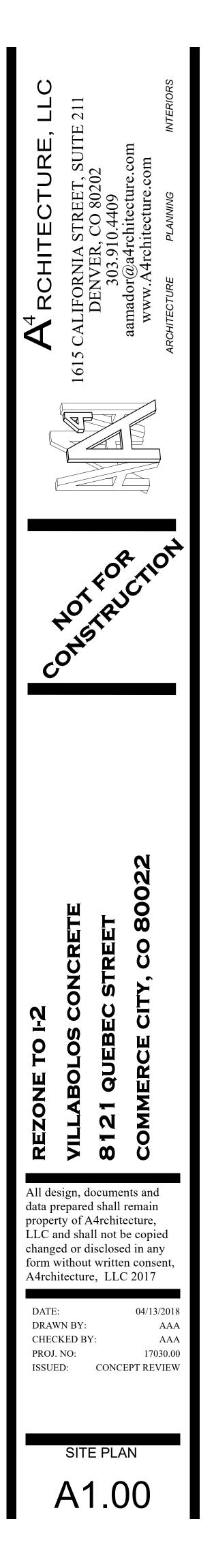
E-mail:<u>aamador@a4rchitecture.com</u>

Written Explanation of the Project 8121, 8077 & 8057 Quebec Street

The project consists of rezoing three subject property zone lots into one zone lot. The properties are 8021 Quebec Street (A-1), 8077 Quebec Street (I-1) & 8057 Quebec Street (I-1). The goal is to rezone into an I-2 zone district. There has been a pre-application meeting with Commerce City (Steve Timms) on January 16, 2018 to discuss the project. It was indicated that rezoning to an I-2 zone district would receive a favorable recommendation. A4rchitecture requested a letter from Commerce City that the subject property would not have to annex into Commerce City. A letter was provided with a paragraph stating "In this case, the property located at 8121 Quebec Street is exempted from the annexation requirements because the property requires no additional water resources in order to develop. The City will not require the subject property to annex and development may proceed in the County. Please make the applicant aware that the amount of water resources provided to them by SACWSD will be limited to the existing use of 2 ERUs and that any additional water resources required for the project will be subject to the City's approval and may result in annexation being required." Per Commerce City Planner Brad Callender. (Attachment – 8121 Quebec St – Commerce City Letter 02122018).

There was also an ADCO conceptual review meeting on June 4, 2018 with a case number of PRE2018-00055.





Community & Economic Development Department

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000 Brighton, CO 80601-8204 PHONE 720.523.6800 FAX 720.523.6998

Development Review Team Comments

Date: 12/11/2018 Project Number: PRC2018-00024 Project Name: Villalobos-Quebec

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for the rezoning application. The Development Review Team is requiring additional information before scheduling this case for public hearings. Please use the attached resubmittal form when filing a resubmittal. You will be required to provide a digital copy and a paper copy of all new information. Please contact the case manager if you have any questions:

Commenting Division: Planner Review Name of Reviewer: Greg Barnes Date: 12/06/2018 Email: gjbarnes@adcogov.org

Resubmittal Required

PLN01: The proposed property includes three parcels, two of which (0172129403035 and 0172129403034) were created legally as a part of the Sharpe Subdivision, and the other parcel (0172129403008) was created legally as part of the Henebryton Subdivision.

PLN02: The northernmost parcel (0172129403008) is zoned A-1, while the two parcels to the south are zoned I-1. Surrounding zoning districts include Commerce City's jurisdiction to the north and east, I-1 to the west and south. There are some I-2 properties within a half-mile north of the property.

PLN03: The Future Land Use Plan has designated the properties Industrial. This designation is intended to provide opportunities for a full range of industrial and employment activities that increase employment and contribute to the tax base. Such uses include manufacturing, industry, warehouses, distribution, as well as supporting retail, outdoor storage, and community facilities. Criteria for designation include central water and sewer requirements, adequate transportation access, and adequate services and public infrastructure.

PLN04: The request would change the three parcels to be designated Industrial-2. The minimum lot size for properties in the I-2 zone district is 2 acres. Because two of the three properties do not meet the minimum lot size for I-2 zoning, the rezoning application cannot conform to the County's standards.

PLN05: In order to proceed, it is recommended that all three parcels be combined through the minor subdivision process.

Commenting Division: ROW Review

Name of Reviewer: Eden Steele

Date: 12/05/2018

Email:

Complete

ROW1: At the time of development, or during the subdivision process, the County requires the following right-of-way dedication:

- a. Quebec St. is classified as a local street per the 2012 Adams County Master Transportation Plan. As such it should have a half right-of-way width of 30 feet. Since the existing half right-of-way width is 15 feet along 8121 Quebec Street, this would require a dedication of 15 additional feet of right-of-way along the eastern property line.
- b. Pontiac St. is classified as a local street per the 2012 Adams County Master Transportation Plan. As such it should have a half right-of-way width of 30 feet. Since the existing half right-of-way width is 15 feet, this would require a dedication of 15 additional feet of right-of-way along the western property line of 8121 Quebec Street.

ROW2: If the developer does not go through the subdivision process to combine parcels, the dedication shall be done by a separate document. The services of a licensed Professional Land Surveyor would be required to create the legal description and exhibit of the right-of-way dedication. For additional information on dedication document specifics and process please go to

http://www.adcogov.org/documents/adams-county-easement-or-right-way-dedication-packet

ROW3: At the time of development or subdividing, a title commitment will be required. The title commitment should be used to depict the applicable recordings on the site plan/ plat. Please send Adams County a copy of the title commitment with land-use or permit applications dated no later than 30 days to review in order to ensure that other party's interests are not encroached upon.

ROW5: The parcels requesting to consolidate are part of 2 different subdivisions. The Sharpe Subdivision has platted drainage easements, utility easements etc. These will still have to be shown on the new plat along with any other recorded easement

Commenting Division: Development Engineering Review

Name of Reviewer: Greg Labrie

Date: 12/05/2018

Email: glabrie@adcogov.org

Resubmittal Required

ENG1: The retention pond shall be designed as a detention and infiltration pond. If this cannot be done, Adams County Development Engineering will need the following documentation from the applicant before retention ponds can be approved:

- a. The use of retention ponds will require verification and description of the type of water rights owned by the developer.
- b. The state of Colorado will also require the review and approval of an augmentation plan from the developer before retention ponds are allowed to be constructed.

ENG2: An Operations and Maintenance Manual for the upgraded pond is required to be submitted to Adams County for review and approval and it must be completed by a professional engineer registered with the State of Colorado. The Operations and Maintenance Manual must be recorded at the Clerk and Recorders office. The record number for the Operations and Maintenance Manual shall be shown on the design plans.

ENG3: The applicant shall establish a drainage easement over the pond and an access easement from the public right-of-way to the pond. The easements shall be defined and shown on the final plat.

ENG4: The pond is shown to extend onto another parcel owned by a different owner. The pond easement must extend to this property with the owner's permission or the design must be modified to keep the pond on the applicant's property.

Continued on next page

Commenting Division: Development Engineering Review

Name of Reviewer: Greg Labrie

Date: 12/10/2018

Email: glabrie@adcogov.org

Complete

ENG5: If the applicant plans to subdivide the property, the applicant should know that prior to scheduling the final plat/FDP BOCC hearing, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, two (2) copies of all construction documents.

ENG6: If applicable, the public improvements will include drainage facilities, streets, curb, gutter, and sidewalk.

ENG7: Prior to the issuance of any construction or building permits, the developer shall enter into a Subdivision Improvements Agreement (SIA) with the County and provide a security bond for all public improvements.

ENG8: No building permits will be issued until all public improvements have been constructed, inspected and preliminarily accepted by the Public Works Department.

ENG9: The developer is responsible for the repair or replacement of any broken or damaged section of curb gutter and sidewalk.



February 12, 2018

Adams County Community and Economic Development Department 4430 South Adams County Parkway Brighton, Colorado 80601

RE: Commerce City Annexation Requirements for 8121 Quebec Street

Commerce City staff has received a request to determine whether the property located at 8121 Quebec Street can proceed with development in Adams County or will be required to annex to Commerce City.

Commerce City's ability to require a property to annex into Commerce City stems from the City's Intergovernmental Agreement (IGA) with South Adams County Water and Sanitation District (SACWSD) and a subsequent Implementation Agreement for the IGA. The boundaries of the SACWSD service area and the Commerce City planning and annexation area are co-terminus. Water and wastewater services are made available pursuant to the SACWSD's Rules and Regulations, the terms of the IGA between Commerce City and SACWSD dated April 28, 2004 and the subsequent IGA dated April 7, 2014.

Based upon the allocation to Commerce City by SACWSD of water resources and wastewater treatment capacity for future development of lands within the General Service Area (GSA), the City will generally require that unincorporated properties be annexed to the City in order to receive water and wastewater service unless the property is exempt from the annexation requirement based on the provisions of the 2014 IGA known as the Implementation Agreement. Said requirement shall be contingent upon the City's desire to annex the property, the City's legal ability to annex such lands, any other limitations under existing law, and the results of any individual case-by-case review by SACWSD and the City under Section 12 of the IGA. The general GSA boundaries are 112th Ave. on the North, Sand Creek on the South, HWY 2 on the East and the South Platte River on the West.

In this case, the property located at 8121 Quebec Street is exempted from the annexation requirements because the property requires no additional water resources in order to develop. The City will not require the subject property to annex and development may proceed in the County. Please make the applicant aware that the amount of water resources provided to them by SACWSD will be limited to the existing use of 2 ERUs and that any additional water resources required for the project will be subject to the City's approval and may result in annexation being required.

Please let me know if you have any questions.

Sincerely,

Brad Callender, AICP CNU-A City Planner Commerce City, CO

CC: Chris Cramer, Community Development Director Jenny Axmacher, Water Resource Analyst Debbie Evans, SACWSD

7887 East 60th Avenue, Commerce City, CO 80022

Greg Barnes

From: Sent: To: Subject: Attachments: Loeffler - CDOT, Steven [steven.loeffler@state.co.us] Friday, November 16, 2018 7:08 AM Greg Barnes Re: Request for Comments: Villalobos-Quebec (RCU2018-00054) image003.jpg

Greg,

I have reviewed the request for comments regarding rezoning of three lots to Industrial-2 (I-2) located at 8057, 8077, and 8121 Quebec Street and have no objections.

Thank you for the opportunity to review this referral.

Steve Loeffler Permits Unit



P 303.757.9891 | F 303.757.9886 2829 W. Howard Pl. 2nd Floor, Denver, CO 80204 <u>steven.loeffler@state.co.us</u> | <u>www.codot.gov</u> | <u>www.cotrip.org</u>

On Thu, Nov 15, 2018 at 3:50 PM Greg Barnes <<u>GJBarnes@adcogov.org</u>> wrote:

Request for Comments

Case Name:

Villalobos-Quebec

Case Number:

RCU2018-00054

November 15, 2018

The Adams County Planning Commission is requesting comments on the following application: Rezoning of three lots to Industrial-2 (I-2). This request is located at 8057, 8077, and 8121 Quebec Street. The Assessor's Parcel Numbers are 0172129403008, 0172129403034, and 0172129403035.

Applicant Information:

Villalobos Properties

Carmen Arevalo

5472 Lincoln Street

Denver, CO 80216

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6800 by 12/07/2018 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to <u>GJBarnes@adcogov.org</u>.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

×

Greg Barnes

Planner II, Community and Economic Development Dept.

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

Greg Barnes

From:Hackett - CDPHE, Sean [sean.hackett@state.co.us]Sent:Thursday, November 22, 2018 11:24 AMTo:Greg BarnesSubject:Re: Request for Comments: Villalobos-Quebec (RCU2018-00054)Attachments:image003.jpg

CDPHE has no comment on this request.

Sincerely,

CDPHE

Sean Hackett Oil and Gas Liaison Colorado Department of Public Health and Environment

> COLORADO Department of Public Health & Environment

P 303.692.3662 | F 303.691.7702 <u>4300 Cherry Creek Drive South, Denver, CO 80246</u> sean.hackett@state.co.us | www.colorado.gov/cdphe

On Thu, Nov 15, 2018 at 3:50 PM Greg Barnes <<u>GJBarnes@adcogov.org</u>> wrote:

Request for Comments

Case Name:

Villalobos-Quebec

Case Number:

RCU2018-00054

November 15, 2018

The Adams County Planning Commission is requesting comments on the following application: Rezoning of three lots to Industrial-2 (I-2). This request is located at 8057, 8077, and 8121 Quebec Street. The Assessor's Parcel Numbers are 0172129403008, 0172129403034, and 0172129403035.

Applicant Information:

Villalobos Properties

Carmen Arevalo

5472 Lincoln Street

Denver, CO 80216

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6800 by 12/07/2018 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to <u>GJBarnes@adcogov.org</u>.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

×

Greg Barnes

Planner II, Community and Economic Development Dept.

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

Greg Barnes

From:Jeff Nelson [JNelson@sacwsd.org]Sent:Wednesday, December 05, 2018 5:05 PMTo:Greg BarnesCc:Abel MorenoSubject:RFC Villalobos Concrete Re-zoningAttachments:RFC Adams County.pdf

Greg,

I have reviewed your RFC for the 8121, 8077 & 8057 Quebec rezoning and have the attached comments.

Sincerely,

Jeff Nelson

Development Review Supervisor jnelson@sacwsd.org

South Adams County Water & Sanitation District 10200 East 102nd Avenue, Henderson, CO 80640

Direct: 720-206-0593, Cell: 720-530-8396



Wednesday, December 05, 2018



Mr. Greg Barnes, Adams County Case Manager

Re:	RFC – Rezoning of Lots 8121, 8057 and 8077 to I-2
Case Number:	RCU2018-00054
Property Name:	Villalobos Properties
Property Location:	8121, 8077 & 8057 Quebec St, Commerce City, CO 80022

Dear Mr. Barnes:

In review of the above-mentioned project, SACWSD has the following comments:

- 1. SACWSD does not object to the zoning request.
- 2. Lot 8121 Quebec St has an existing 5/8" water meter serving an existing residence.
- 3. Lot's 8057 and 8077 do not have any water meter's serving these lots at this time.
- 4. If the lots require additional utility service from SACWSD in the future they may require annexation into Commerce City and will require additional tap fees and ERU's to serve these parcels.
- 5. All three lots are currently included into the District.

If you have questions regarding this letter, please call me at 720-206-0593 or e-mail me at jnelson@sacwsd.org.

Sincerely,

Nelson

Jeff Nelson Development Review Supervisor



December 6, 2018

Greg Barnes Adams County Community and Economic Development 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601

RE: Villalobos-Quebec, RCU2018-00054 TCHD Case No. 5283

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the application to rezone three lots to I-2 located at 8057, 8077, and 8121 Quebec Street. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has no comments.

Please feel free to contact me at 720-200-1575 or <u>kboyer@tchd.org</u> if you have any questions on TCHD's comments.

Sincerely,

KBG_

Kathy Boyer, REHS Land Use and Built Environment Specialist III

cc: Sheila Lynch, Monte Deatrich, TCHD



Right of Way & Permits

1123 West 3rd Avenue Denver, Colorado 80223 Telephone: **303.571.3306** Facsimile: 303. 571.3284 donna.l.george@xcelenergy.com

December 6, 2018

Adams County Department of Planning and Development 12200 North Pecos Street Westminster, CO 80234

Attn: Greg Barnes

Re: Villalobos-Quebec Rezone, Case # RCU2018-00054

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the request for the **Villalobos-Quebec Rezone**. Public Service Company has no objection to this proposed rezone, contingent upon PSCo's ability to maintain all existing rights and this amendment should not hinder our ability for future expansion, including all present and any future accommodations for natural gas transmission and electric transmission related facilities.

The property owner/developer/contractor must complete the **application process** for any new natural gas or electric service, or modification to existing facilities via FastApp-Fax-Email-USPS (go to:

https://www.xcelenergy.com/start, stop, transfer/new construction service activation for builders). It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

If there are any questions about this referral response, please contact me at 303-571-3306 or donna.l.george@xcelenergy.com.

Donna George Right of Way and Permits Public Service Company of Colorado Community & Economic Development Department Development Services Division

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000B Brighton, CO 80601-8218 PHONE 720.523.6800 FAX 720.523.6967

Request for Comments

Case Name: Case Number: Villalobos-Quebec RCU2018-00054

November 15, 2018

The Adams County Planning Commission is requesting comments on the following application: Rezoning of three lots to Industrial-2 (I-2). This request is located at 8057, 8077, and 8121 Quebec Street. The Assessor's Parcel Numbers are 0172129403008, 0172129403034, and 0172129403035.

Applicant Information:

Villalobos Properties Carmen Arevalo 5472 Lincoln Street Denver, CO 80216

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6800 by 12/07/2018 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Greg Barnes Case Manager

BOARD OF COUNTY COMMISSIONERS

Charles "Chaz" Tedesco DISTRICT 2

Erik Hansen DISTRICT 3 Steve O'Dorisio DISTRICT 4 Mary Hodge DISTRICT 5 Community & Economic Development Department Development Services Division

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000B Brighton, CO 80601-8218 PHONE 720.523.6800 FAX 720.523.6967

Public Hearing Notification

Case Name: Case Number: Planning Commission Hearing Date: Board of County Commissioners Hearing Date: Villalobos-Quebec PRC2018-00024 10/10/2019 at 6:00 p.m. 10/29/2019 at 9:30 a.m.

September 17, 2019

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following request:

Rezoning of three lots to Industrial-2 (I-2)

This request is located at 8121 Querbec Street. The Assessor's Parcel Numbers are: 0172129403008, 0172129403034, 0172129403035.

Applicant Information: VILLALOBOS PROPERTIES 5472 LINCOLN ST DENVER, CO 80216

The hearing will be held in the Adams County Hearing Room located at 4430 South Adams County Parkway, Brighton CO 80601-8216. This will be a public hearing and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. If you require any special accommodations (e.g., wheelchair accessibility, an interpreter for the hearing impaired, etc.) please contact the Adams County Community and Economic Development Department at (720) 523-6800 (or if this is a long distance call, please use the County's toll free telephone number at 1-800-824-7842) prior to the meeting date.

For further information regarding this case, please contact the Department of Community and Economic Development, 4430 S Adams County Parkway, Brighton, CO 80601, 720-523-6800. This is also the location where maps and/or text certified by the Planning Commission may be viewed. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases. Thank yoiu for your review of this case.

Greg Barnes Planner III

Charles "Chaz" Tedesco DISTRICT 2 Emma Pinter DISTRICT 3

BOARD OF COUNTY COMMISSIONERS

Steve O'Dorisio DISTRICT 4 Mary Hodge

PUBLICATION REQUEST

Villalobos-Quebec

Case Number:		PRC2018-00024	
Planning Commission Hearing Date:		10/10/2019 at 6:00 p.m.	
Board of County Commissioners Hearing Date: 10/29/2019 at 9:30 a.m			
Hearing Location: 4430 S. Adams County Pkwy., Brighton, CO 80220			
Request: Rezoning of three lots to Industrial-2 (I-2)			
Location:	8121 QUEBEC ST		
Parcel Numbers:	0172129403008, 0172129403	034, 0172129403035	
Case Manager:	Greg Barnes		
Applicant:	CARMEN AREVALO		
	5472 LINCOLN ST DENVER, CO 80216		
	DENVER, CO 80210		
Owner:	VILLALOBOS PROPERTIES LLC		
	5472 LINCOLN ST DENVER, CO 802161744		
Legal Description:			

HENEBRYTON DESC: PLOT 32; AND SHARPE SUBDIVISION LOTS: 3 AND 4



Referral Listing Case Number PRC2018-00024 Villalobos-Quebec

Agency	Contact Information
Adams County Attorney's Office	Christine Fitch CFitch@adcogov.org 4430 S Adams County Pkwy Brighton CO 80601 720-523-6352
Adams County CEDD Development Services Engineer	Devt. Services Engineering 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6800
Adams County CEDD Environmental Services Division	Katie Keefe 4430 S Adams County Pkwy Brighton CO 80601 720-523-6986 kkeefe@adcogov.org
Adams County CEDD Right-of-Way	Marissa Hillje 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6837 mhillje@adcogov.org
Adams County Development Services - Building	Justin Blair 4430 S Adams County Pkwy Brighton CO 80601 720-523-6825 JBlair@adcogov.org
Adams County Parks and Open Space Department	Aaron Clark mpedrucci@adcogov.org (303) 637-8005 aclark@adcogov.org
ADAMS COUNTY SCHOOL DISTRICT 14	Patrick Sanchez 5291 E. 60th Avenue COMMERCE CITY CO 80022 303-853-3204 psanchez@adams14.org
Adams County Sheriff's Office: SO-HQ	Rick Reigenborn (303) 654-1850 rreigenborn@adcogov.org
Adams County Sheriff's Office: SO-SUB	SCOTT MILLER 720-322-1115 smiller@adcogov.org

Agency	Contact Information
CDOT Colorado Department of Transportation	Bradley Sheehan 2829 W. Howard Pl. 2nd Floor Denver CO 80204 303.757.9891 bradley.sheehan@state.co.us
CDPHE	Sean Hackett 4300 S Cherry Creek Dr Denver CO 80246 303.692.3662 303.691.7702 sean.hackett@state.co.us
СДРНЕ	Sean Hackett 4300 S Cherry Creek Dr Denver CO 80246 30 sean.hackett@state.co.us
CDPHE - AIR QUALITY	Richard Coffin 4300 CHERRY CREEK DRIVE SOUTH DENVER CO 80246-1530 303.692.3127 richard.coffin@state.co.us
CDPHE - WATER QUALITY PROTECTION SECT	Patrick Pfaltzgraff 4300 CHERRY CREEK DRIVE SOUTH WQCD-B2 DENVER CO 80246-1530 303-692-3509 patrick.j.pfaltzgraff@state.co.us
CDPHE SOLID WASTE UNIT	Andy Todd 4300 CHERRY CREEK DR SOUTH HMWMD-CP-B2 DENVER CO 80246-1530 303.691.4049 Andrew.Todd@state.co.us
Century Link, Inc	Brandyn Wiedreich 5325 Zuni St, Rm 728 Denver CO 80221 720-578-3724 720-245-0029 brandyn.wiedrich@centurylink.com
Code Compliance Supervisor	Eric Guenther eguenther@adcogov.org 720-523-6856 eguenther@adcogov.org
COLORADO DEPT OF TRANSPORTATION	Steve Loeffler 2000 S. Holly St. Region 1 Denver CO 80222 303-757-9891 steven.loeffler@state.co.us

Agency	Contact Information
COLORADO DIVISION OF WILDLIFE	Serena Rocksund 6060 BROADWAY DENVER CO 80216 3039471798 serena.rocksund@state.co.us
COLORADO DIVISION OF WILDLIFE	Eliza Hunholz Northeast Regional Engineer 6060 BROADWAY DENVER CO 80216-1000 303-291-7454 eliza.hunholz@state.co.us
COMCAST	JOE LOWE 8490 N UMITILLA ST FEDERAL HEIGHTS CO 80260 303-603-5039 thomas_lowe@cable.comcast.com
Commerce City Planning Division	Domenic Martinelli 7887 East 60th Avenue COMMERCE CITY CO 80022 303-289-3693 dmartinelli@c3gov.com
METRO WASTEWATER RECLAMATION	CRAIG SIMMONDS 6450 YORK ST. DENVER CO 80229 303-286-3338 CSIMMONDS@MWRD.DST.CO.US
Neighborhood Improvement Committee	LARRY QUINTANA 7780 MAGNOLIA ST COMMERCE CITY CO 80022 3039557758
NS - Code Compliance	Gail Moon gmoon@adcogov.org 720.523.6833 gmoon@adcogov.org
REGIONAL TRANSPORTATION DIST.	CHRIS QUINN 1560 BROADWAY SUITE 700 DENVER CO 80202 303-299-2439 chris.quinn@rtd-denver.com
SOUTH ADAMS CO. FIRE DISTRICT	Randall Weigum 6050 Syracuse Street COMMERCE CITY CO 80022 720-573-9790 FAX: 303-288-5977 rweigum@sacfd.org
South Adams County Water & San Dist	Abel Moreno 10200 E 102nd Ave Henderson CO 80022 720-206-0590 amoreno@sacwsd.org

Agency	Contact Information
Xcel Energy	Donna George 1123 W 3rd Ave
	DENVER CO 80223 303-571-3306 Donna.L.George@xcelenergy.com
Xcel Energy	Donna George 1123 W 3rd Ave DENVER CO 80223 303-571-3306 Donna.L.George@xcelenergy.com

7061K LLC PO BOX 303 HUDSON CO 80642-0303

7930 POPLAR LLC 14361 GAYLORD CT BRIGHTON CO 80602-6390

8190 QUEBEC ST LLC 9249 S BROADWAY APT 200-504 HIGHLANDS RANCH CO 80129-5690

ARCHULETA JACQUELINE AND ROMERO GAYLE J 3500 GOLIAD RD #102 SAN ANTONIO TX 78223-5600

BEGEMAN JOSEPH E 1470 JOYCE ST GOLDEN CO 80401-3027

BROOKS GERALDINE Y ET AL 3500 GOLIAD RD #102 SAN ANTONIO TX 78223-5600

BUNTROCK ARDYCE J 11914 HUMBOLDT DR DENVER CO 80233-1218

BURGET REAL ESTATE LLC 19061 EAGLE RIDGE DR GOLDEN CO 80401-0906

BURGH HOLDING COMPANY INC PO BOX 18085 PHOENIX AZ 85005

CAMPBELL THOMAS A AND CAMPBELL CHRISTINE M PO BOX 97 LEWELLEN NE 69147-0097 CHAVEZ JOSE/CHAVEZ JOSE JR AND CHAVEZ CELLIA 15667 E 118TH AVE COMMERCE CITY CO 80022-9833

CRAIG BILLIE S AND CRAIG TEMBER 13393 ELMENDORF PL DENVER CO 80239-5859

CUE RANDALL H AND CUE VIRGINIA K 7320 E 82ND PL COMMERCE CITY CO 80022

DEXTER STREET SIX LLC C/O RON BOSHART CENTENNIAL CO 80121-3316

DOUGLAS LIVINGSTON G 9803 E 113TH AVE HENDERSON CO 80640-9365

FLAHERTY JOHN J 7701 E 83RD AVE COMMERCE CITY CO 80022-4926

FREEL MONTE L PO BOX 1954 COMMERCE CITY CO 80037-1954

FREUND JOSEPH D IRREVOCABLE TRUST 8191 QUEBEC ST COMMERCE CITY CO 80022-4951

G-RADO INVESTMENTS LLC 2086 MAPLES PL HIGHLANDS RANCH CO 80129-5495

GIDLUND PAUL N AND GIDLUND JOANN M 7720 W QUINCY DR LAKEWOOD CO 80235-1903 GOMEZ RAMIRO AND SAAVEDRA DANIEL E 7441 GRANADA RD DENVER CO 80221-3650

GRAYSON MICHAEL P 8150 ROSEMARY ST COMMERCE CITY CO 80022-4909

H AND B INDUSTRY LLC 8075 PONTIAC ST/PO BOX 273 COMMERCE CITY CO 80037

HOBSON CRAIG AND HOBSON ERIC PO BOX 1060 BRIGHTON CO 80601-1060

JD BRIGHTON INC 12020 WHEELING ST BRIGHTON CO 80601-7181

KLEBER DIXIE L AND KLEBER PHILLIP P 6000 HOLLY STREET COMMERCE CITY CO 80022

MAESTAS ADELIDO PO BOX 414 DUPONT CO 80024-0414

MI PUEBLO LATIN MARKET INC C/O JAIME CUEVA 18142 E ADRIATIC PL AURORA CO 80013-4214

MOSIER LINDA K 7940 QUEBEC ST COMMERCE CITY CO 80022-1228

NURV LTD 2205 W 136TH AVE APT 106-132 BROOMFIELD CO 80023-9306 PONTIAC STORAGE LLC 1177 PONTIAC ST DENVER CO 80220

RAWSON DAWN R AND RILEY DAVID W 8670 CLARKSON STREET THORNTON CO 80229

REX INVESTMENTS LLC C/O THOM HANSON & ASSOCIATES DENVER CO 80222-6900

ROSEMARY PROPERTY LLC 7830 MONACO ST COMMERCE CITY CO 80022-1193

SHARPE KEITH UND 1/2 INT AND SHARPE GREGORY W UND 1/2 INT 7141 E 80TH AVENUE COMMERCE CITY CO 80022

SOTELO RAMIRO 5001 SAINT PAUL ST DENVER CO 80216-2530

TIU JOSEPH T AND TIU CHRISTINA G 9316 KENDALL ST WESTMINSTER CO 80031-2826

TRUJILLO ANTHONY 6295 E 120TH AVE BRIGHTON CO 80602-8044

VILLALOBOS HECTOR M AND AREVALO CARMEN L 5472 LINCOLN ST DENVER CO 80216-1744

VILLALOBOS PROPERTIES LLC 5472 LINCOLN ST DENVER CO 80216-1744 WAGNER MARIA INEZ 21239 E ELDORADO DR AURORA CO 80013-8900

WATREN PROPERTIES INC 11562 W PRENTICE DR LITTLETON CO 80127-1699

WELLS FARGO BANK 1 HOME CAMPUS MAC X2505 01A DES MOINES IA 50328-0001

3845 FOREST LLC OR CURRENT RESIDENT 8245 QUEBEC STREET COMMERCE CITY CO 80022

7061K LLC OR CURRENT RESIDENT 7061 E 80TH AVE COMMERCE CITY CO 80022-1120

ALBER CARLETTA OR CURRENT RESIDENT 7951 QUINCE ST COMMERCE CITY CO 80022-1231

ANDERSON ANGELA MARIE OR CURRENT RESIDENT 7931 QUEBEC ST COMMERCE CITY CO 80022-1227

ARMENDARIZ EUGENE UND 1/2 INT AND ARMENDARIZ ALONZO UND 1/2 INT OR CURRENT RESIDENT 7307 E 82ND AVE COMMERCE CITY CO 80022-4940

BASTIAN JOHN BERNAUGH OR CURRENT RESIDENT 7450 E 82ND AVE COMMERCE CITY CO 80022-4939

BECERRA MARIA OR CURRENT RESIDENT 7960 ROSLYN ST COMMERCE CITY CO 80022-1234 BEHRENT GAYLEN R AND BEHRENT CATHERINE I OR CURRENT RESIDENT 7981 POPLAR ST COMMERCE CITY CO 80022-1223

BLANCO FRUCTOSO AMAYA OR CURRENT RESIDENT 7301 E 82ND AVE COMMERCE CITY CO 80022-4940

BOND KURT EDWARD OR CURRENT RESIDENT 7311 E 82ND AVE COMMERCE CITY CO 80022-4940

BORJA JAVIER OR CURRENT RESIDENT 7960 PONTIAC ST COMMERCE CITY CO 80022-1146

BORQUEZ JAMES M OR CURRENT RESIDENT 8220 PONTIAC ST COMMERCE CITY CO 80022-4955

BROTHERS BURNIE L OR CURRENT RESIDENT 7960 QUINCE ST COMMERCE CITY CO 80022-1232

BUSTOS ERASMO AND BUSTOS GRACIELA OR CURRENT RESIDENT 7991 QUEBEC ST COMMERCE CITY CO 80022-1227

CARPENTER JAMES L OR CURRENT RESIDENT 7310 E 82ND PL COMMERCE CITY CO 80022-4901

CASE JOE E II AND CASE BARBARA J OR CURRENT RESIDENT 7971 QUINCE ST COMMERCE CITY CO 80022-1231

CENICEROS JESUS O OR CURRENT RESIDENT 7960 QUEBEC STREET COMMERCE CITY CO 80022 CHAVEZ SERGIO AND ARANA CHAVEZ CONCEPCION OR CURRENT RESIDENT 8050 QUEBEC ST COMMERCE CITY CO 80022-4905

CISNEROS VICENTA OR CURRENT RESIDENT 7961 QUINCE ST COMMERCE CITY CO 80022-1231

CSIC LLC OR CURRENT RESIDENT 8025 PONTIAC ST COMMERCE CITY CO 80022

CUE RANDALL H AND CUE VIRGINIA K OR CURRENT RESIDENT 7320 E 82ND PL COMMERCE CITY CO 80022-4901

DELUNA JOSE ROSALES AND FLORES MARIA D OR CURRENT RESIDENT 7990 OLIVE ST COMMERCE CITY CO 80022

DIAZ NORMA ELENA OR CURRENT RESIDENT 7951 POPLAR ST COMMERCE CITY CO 80022-1223

DORADO JOSE OR CURRENT RESIDENT 7980 OLIVE ST COMMERCE CITY CO 80022

DOYLE BARBARA AND DOYLE RICHARD OR CURRENT RESIDENT 8060 QUEBEC STREET COMMERCE CITY CO 80022

ELWESS DAVID L OR CURRENT RESIDENT 8250 PONTIAC STREET COMMERCE CITY CO 80022

ENCINIAS TELESFOR AND ENCINIAS EMILY J OR CURRENT RESIDENT 7981 QUINCE ST COMMERCE CITY CO 80022-1231 ESTRADA PEDRO OR CURRENT RESIDENT 7961 ROSLYN ST COMMERCE CITY CO 80022-1233

EWALD JOSEPH C AND EWALD LEAH N OR CURRENT RESIDENT 7941 QUEBEC ST COMMERCE CITY CO 80022-1227

FLINT TANYA A OR CURRENT RESIDENT 7971 QUEBEC ST COMMERCE CITY CO 80022-1227

FREUND JOSEPH D IRREVOCABLE TRUST OR CURRENT RESIDENT 8191 QUEBEC ST COMMERCE CITY CO 80022-4951

GALLEGOS GICELA AND RANGEL AMADOR FLORES OR CURRENT RESIDENT 7950 QUINCE ST COMMERCE CITY CO 80022-1232

GARCIA ROBERTO S AND GARCIA BELIA OR CURRENT RESIDENT 7931 POPLAR ST COMMERCE CITY CO 80022-1223

GEIST SEAN AND DETRO JILL OR CURRENT RESIDENT 7980 POPLAR ST COMMERCE CITY CO 80022-1224

GIMER DORIS LOUISE OR CURRENT RESIDENT 7990 ROSLYN ST COMMERCE CITY CO 80022-1234

GONZALES RAYMOND AND GONZALES GLORIA OR CURRENT RESIDENT 7980 ROSLYN STREET COMMERCE CITY CO 80022

GONZALES ROBERTO OR CURRENT RESIDENT 7390 E 82ND AVE COMMERCE CITY CO 80022-4906 GONZALEZ DANIEL AND GONZALEZ JULIANA I OR CURRENT RESIDENT 7950 POPLAR STREET COMMERCE CITY CO 80022

GUERRERO CLAUDIA AND GUERRERO ANGEL OR CURRENT RESIDENT 7996 PONTIAC ST COMMERCE CITY CO 80022-1146

HERNANDEZ BERTHA AND HERNANDEZ JORGE OR CURRENT RESIDENT 7961 POPLAR ST COMMERCE CITY CO 80022-1223

HERNANDEZ JAIME OR CURRENT RESIDENT 7940 QUINCE ST COMMERCE CITY CO 80022-1232

HOWTON SHILAH J AND HOWTON MARTIN R OR CURRENT RESIDENT 7955 PONTIAC ST COMMERCE CITY CO 80022-1145

IBANEZ DIEGO V AND IBANEZ DOLORES R OR CURRENT RESIDENT 8010 QUEBEC STREET COMMERCE CITY CO 80022

JACKSON ROYCE L AND BUUM LO RENA K AND JACKSON FLOYD L OR CURRENT RESIDENT 7500 E 82ND AVE COMMERCE CITY CO 80022-4937

JENCOLT PROPERTIES LLC OR CURRENT RESIDENT 8051 ROSEMARY ST COMMERCE CITY CO 80022

KEMM ERNEST B JR AND KEMM CHERYL ANN TORRES OR CURRENT RESIDENT 7951 ROSLYN ST COMMERCE CITY CO 80022-1233

LARA JOSE OR CURRENT RESIDENT 7980 PONTIAC ST COMMERCE CITY CO 80022-1146 LUNA JESUS OR CURRENT RESIDENT 6891 E 80TH AVE COMMERCE CITY CO 80022-1118

MACHUGA JEAN L OR CURRENT RESIDENT 7990 QUINCE ST COMMERCE CITY CO 80022-1232

MADRIGAL FRANCISCO OR CURRENT RESIDENT 7960 POPLAR ST COMMERCE CITY CO 80022-1224

MARTINEZ ROSA AND PEREZ EFRAIN OR CURRENT RESIDENT 7970 POPLAR ST COMMERCE CITY CO 80022-1224

MASCARENAS SCOTT E OR CURRENT RESIDENT 7970 ROSLYN ST COMMERCE CITY CO 80022-1234

MOORE MABEL M OR CURRENT RESIDENT 7971 POPLAR ST COMMERCE CITY CO 80022-1223

MORENO DARIO AND MORENO MARLENE L OR CURRENT RESIDENT 8070 QUEBEC STREET COMMERCE CITY CO 80022

MOSIER LINDA K OR CURRENT RESIDENT 7940 QUEBEC ST COMMERCE CITY CO 80022-1228

MOSIER RICK E OR CURRENT RESIDENT 7970 QUEBEC ST DENVER CO 80022-1228

NAOMIBARTOLO AND MONTOYA GLORIA M OR CURRENT RESIDENT 7950 PONTIAC ST COMMERCE CITY CO 80022-1146 NEURAUTER KATHY AND NEURAUTER CARL B OR CURRENT RESIDENT 8157 PONTIAC ST COMMERCE CITY CO 80022-4956

NICHOLS GEORGE J III OR CURRENT RESIDENT 8201 PONTIAC ST COMMERCE CITY CO 80022-4954

OHLEMACHER JACK AND OHLEMACHER BECKIE OR CURRENT RESIDENT 7480 E 82ND AVE COMMERCE CITY CO 80022-4939

ORTIZ RUANO CRYSTAL OR CURRENT RESIDENT 7991 QUINCE ST COMMERCE CITY CO 80022-1231

PASTRANO JON OR CURRENT RESIDENT 8040 QUEBEC ST COMMERCE CITY CO 80022-4905

PINEDO OFELIA MARIA OR CURRENT RESIDENT 7991 ROSLYN ST COMMERCE CITY CO 80022-1233

RAMIREZ LUCIA OR CURRENT RESIDENT 7990 QUEBEC ST COMMERCE CITY CO 80022-1228

RETANA CECILIA OR CURRENT RESIDENT 7331 E 80TH AVE COMMERCE CITY CO 80022

RIVAS ORTIZ SAUL OR CURRENT RESIDENT 7961 QUEBEC ST COMMERCE CITY CO 80022-1227

RIVAS SAUL OR CURRENT RESIDENT 7951 QUEBEC ST COMMERCE CITY CO 80022-1227 RODRIQUEZ NICOLAS ARMENDARIZ AND CHAVEZ ALFREDO OR CURRENT RESIDENT 8155 PONTIAC ST COMMERCE CITY CO 80022-4956

ROLLER STACIE OR CURRENT RESIDENT 7423 E 82ND AVE COMMERCE CITY CO 80022-4938

SALAZAR LUIS MIGUEL AND SALAZAR IRMA OR CURRENT RESIDENT 7981 PONTIAC ST COMMERCE CITY CO 80022-1145

SANDOVAL LAWRENCE AND SANDOVAL FRANCES M OR CURRENT RESIDENT 7991 POPLAR ST COMMERCE CITY CO 80022-1223

SANTOVENA SHANTELLE L OR CURRENT RESIDENT 7940 POPLAR ST COMMERCE CITY CO 80022-1224

SARMIENTO RAYMOND OR CURRENT RESIDENT 8090 QUEBEC ST COMMERCE CITY CO 80022-4905

SAUCEDO-MUNOZ CLAUDIO OR CURRENT RESIDENT 8101 ROSEMARY ST COMMERCE CITY CO 80022-4965

SCHERBARTH BRIAN PATRICK AND SCHERBARTH MICHELLE OR CURRENT RESIDENT 7970 OLIVE ST COMMERCE CITY CO 80022-1138

SHARPE GREGORY OR CURRENT RESIDENT 7141 E 80TH AVE COMMERCE CITY CO 80022-1205

SHARPE GREGORY W OR CURRENT RESIDENT 8017 QUEBEC ST COMMERCE CITY CO 80022-4907 SHARPE KEITH OR CURRENT RESIDENT 7221 E 80TH AVE COMMERCE CITY CO 80022-1206

SOTELO PEDRO MIRAMONTES AND MIRAMONTES IVONNE BERENISSE OR CURRENT RESIDENT 7996 OLIVE ST COMMERCE CITY CO 80022-1138

SOUDER LOGAN OR CURRENT RESIDENT 7961 PONTIAC ST COMMERCE CITY CO 80022-1145

STARKE JAMES R OR CURRENT RESIDENT 8101 ROSEMARY ST APT 3 COMMERCE CITY CO 80022-4966

SUPPI BARBARA J OR CURRENT RESIDENT 7421 E 82ND AVE COMMERCE CITY CO 80022-4938

SWEET DEVIN V AND SILVEY CHARLOTTE K OR CURRENT RESIDENT 7971 ROSLYN ST COMMERCE CITY CO 80022-1233

TAFOLLA HILDALGO LOURDES AND TAFOLLA HILDALGO JOSE DANIEL OR CURRENT RESIDENT 7380 E 82ND PL COMMERCE CITY CO 80022-4901

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VEGA JOSE MENDIOLA OR CURRENT RESIDENT 8030 QUEBEC ST COMMERCE CITY CO 80022-4905

WAGONER LEONARD L OR CURRENT RESIDENT 7971 PONTIAC ST COMMERCE CITY CO 80022-1145

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CURRENT RESIDENT 8190 QUEBEC ST UNIT 1 COMMERCE CITY CO 80022-4968

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CURRENT RESIDENT 8095 ONEIDA ST UNIT 8 COMMERCE CITY CO 80022-4972

CURRENT RESIDENT 8095 ONEIDA ST UNIT 9 COMMERCE CITY CO 80022-4972

CURRENT RESIDENT 8121 QUEBEC ST UNIT A COMMERCE CITY CO 80022-4975

CURRENT RESIDENT 8121 QUEBEC ST UNIT B COMMERCE CITY CO 80022-4975

CURRENT RESIDENT 8075 PONTIAC ST UNIT 1 COMMERCE CITY CO 80022-4977

CURRENT RESIDENT 8075 PONTIAC ST UNIT 2 COMMERCE CITY CO 80022-4977

CURRENT RESIDENT 8075 PONTIAC ST UNIT 3 COMMERCE CITY CO 80022-4977

CERTIFICATE OF POSTING



I, J. Gregory Barnes do hereby certify that I posted the subject property on September 24, 2019 in accordance with the requirements of the Adams County Development Standards and Regulations.

bors

J. Gregory Barnes

Villalobos-Quebec PRC2018-00024

8121 Quebec Street

October 29, 2019 Board of County Commissioners Public Hearing Community and Economic Development Department Case Manager: Greg Barnes

Request

Rezoning Application:

- Current Zoning:

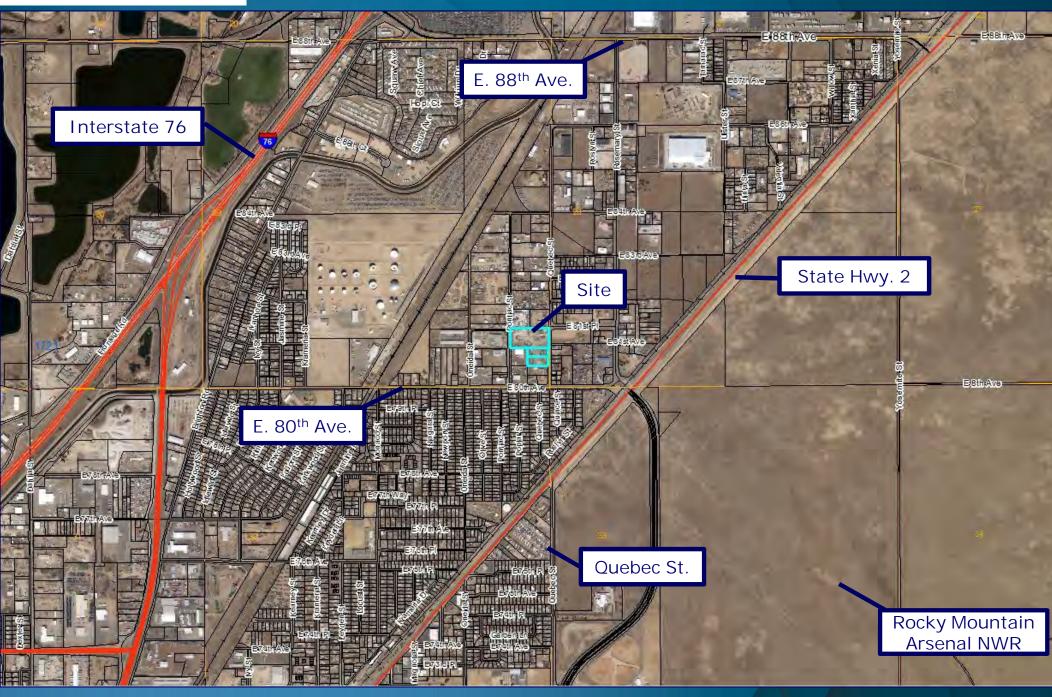
 Agricultural-1 (A-1)
 Industrial-1 (I-1)
- Proposed Zoning:
 Industrial-2 (I-2)

Background

Villalobos Concrete:

- Concrete Manufacturer
- Operated from facility since 2008
- Storage of Vehicles and Equipment
- Use not permitted in existing zone districts
- Change in Use Permit Required
 - Landscaping, Fencing, Parking

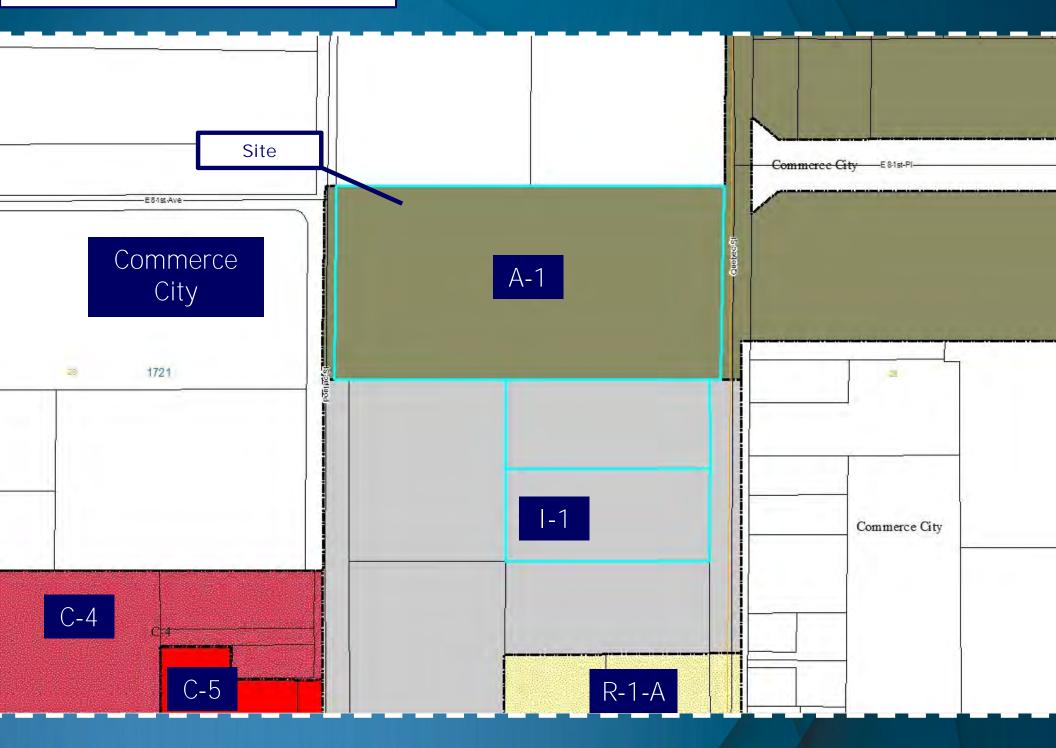
AERIAL MAP



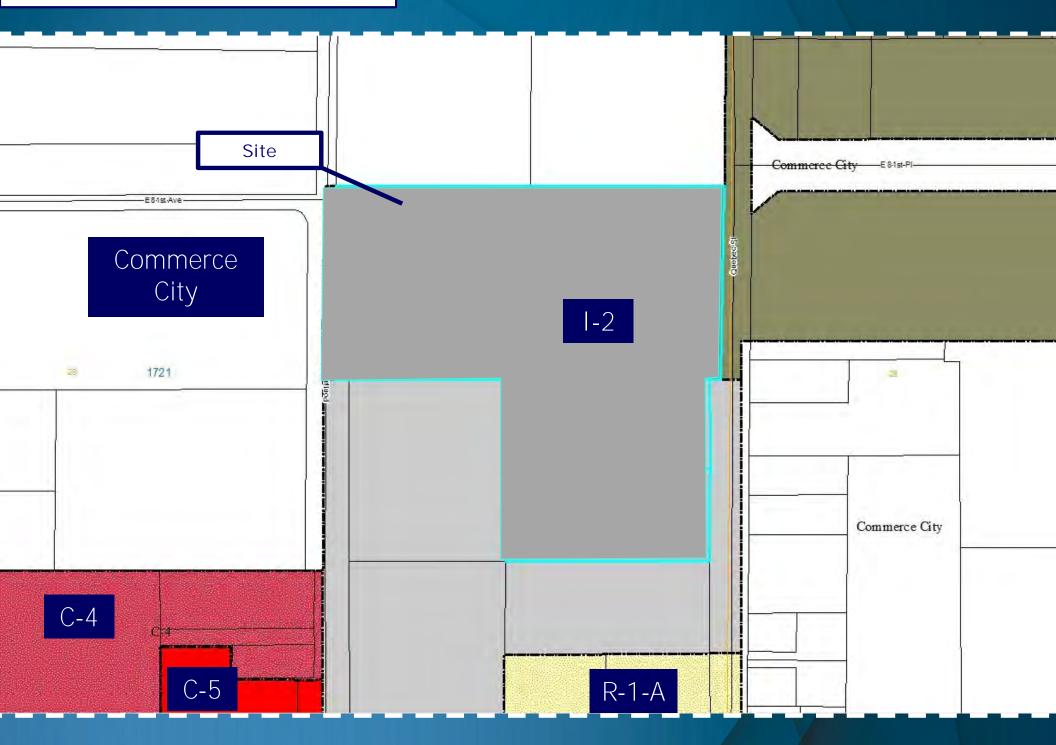
AERIAL MAP

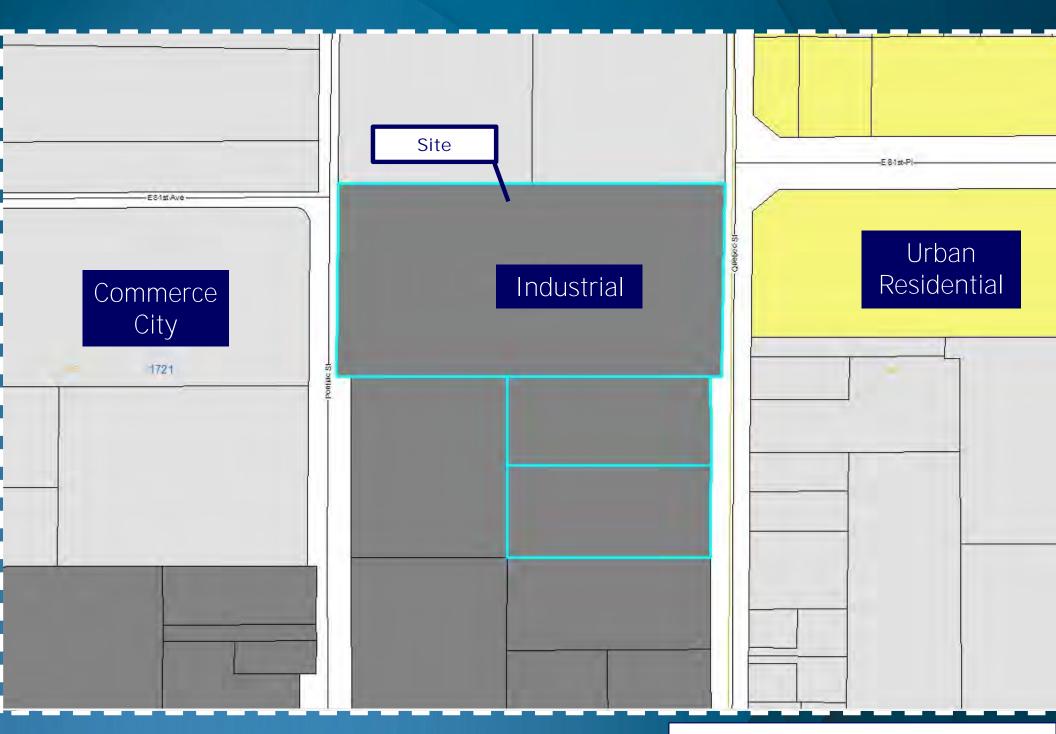


CURRENT ZONING MAP



PROPOSED ZONING MAP





FUTURE LAND USE MAP

Criteria for Rezoning Approval

Section 2-02-13-06-02

- 1. Consistent with Comprehensive Plan
- 2. Consistent with Development Standards
- 3. Complies to Development Standards
- 4. Harmonious & Compatible

Comprehensive Plan

Adams County:

- Future Land Use Industrial
- Warehousing, Manufacturing, Distribution
- Consistent with I-2 zoning

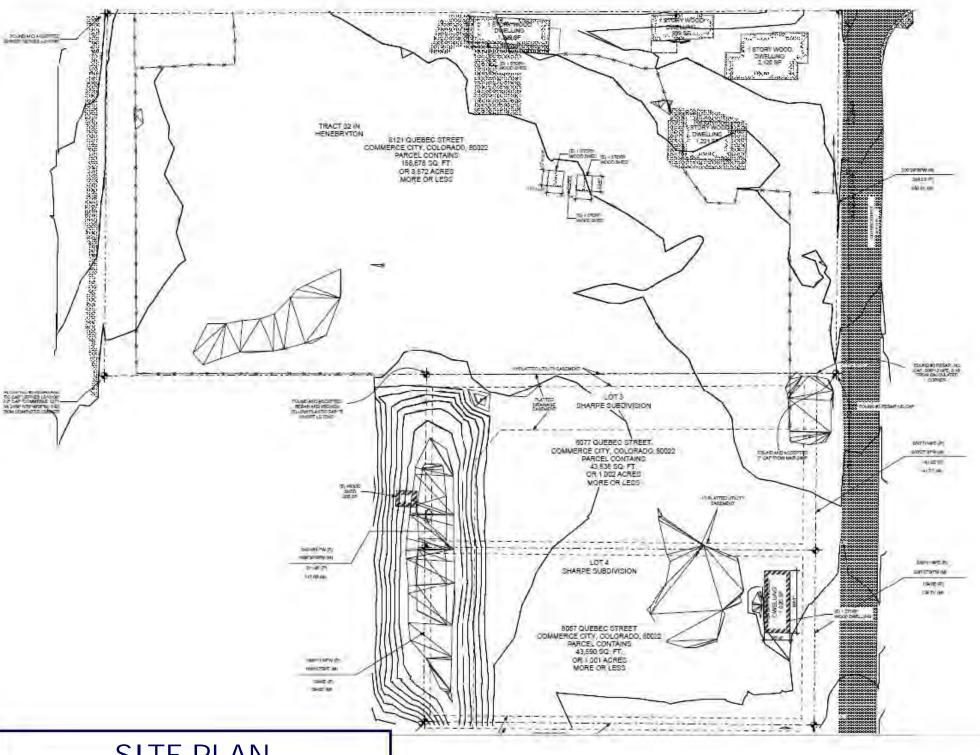
Commerce City:

- Future Land Use General Industrial
- Consistent with Adams County I-2 zoning

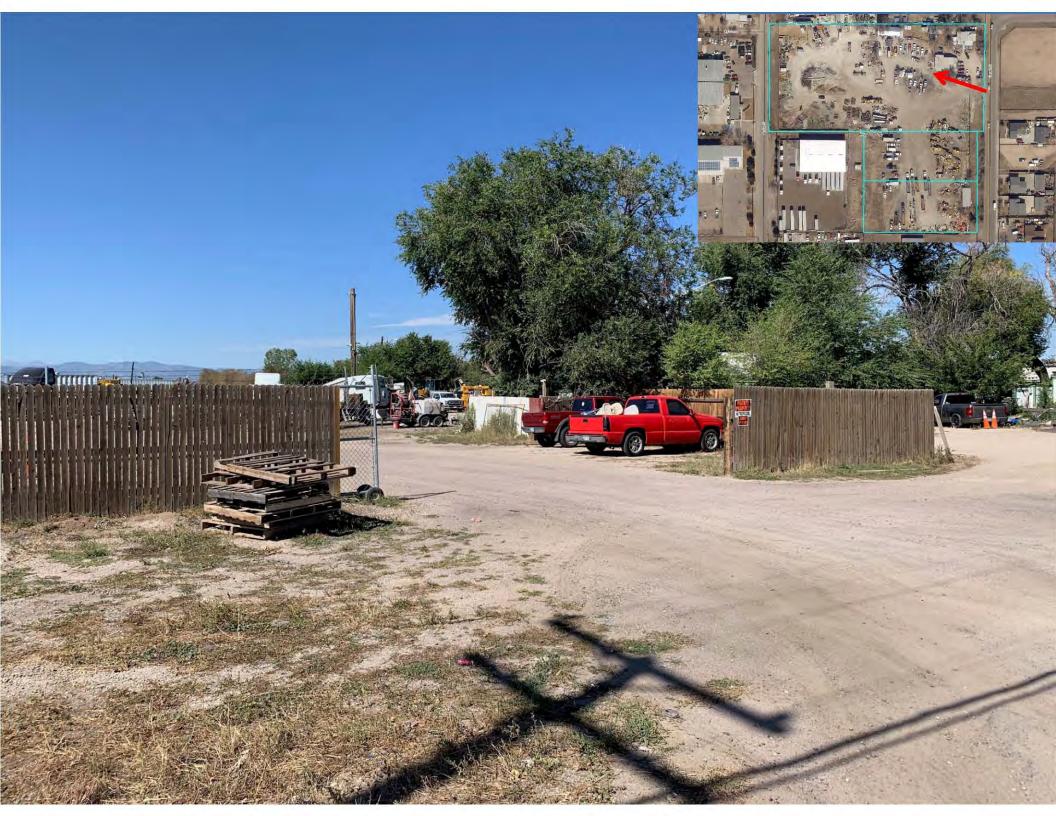
Available urban services and infrastructure, although not required for proposed use

Comparison

Uses Permitted By Right				
A-1	I-1	Potential New I-2 Uses		
 Single-Family Residential Farming Nurseries 	 Business Parks Light Industry Auto Repair General Commercial 	 Heavy Manufacturing Heavy Industry Mobile Home Manufacturing Outdoor Storage 		
Minimum Dimensional Standards				
Size: 2.5 acres Width: 150 feet	Size: 1 acre Width: 100 feet	Size: 2 acres Width: 125 feet		



SITE PLAN



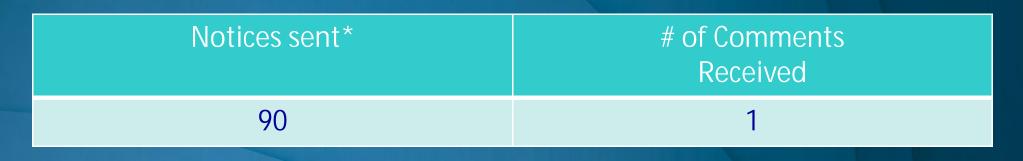








Referral Period



* Property owners and occupants within 750 feet were notified

• Compatibility

Referral Agencies:No concerns or opposition

Summary

- 1. Consistent with Comprehensive Plan
- 2. Consistent with Development Standards
- 3. Complies to Development Standards
- 4. Harmonious & Compatible

Planning Commission Update (PRC2019-00005 – Project Flatiron)

- Public Hearing: October 10, 2019
- Public Comment:
 - History of Zoning Violations
- PC Questions:
 - Willingness of applicant to address concerns
 - Change In Use Requirements

Recommendation

Approval of the proposed Rezoning (PRC2018-00024) with 4 Findings-of-Fact.

To be forwarded to the Board of County Commissioners on October 29, 2019 at 9:30 a.m.

Recommended Findings-of-Fact

- 1. The Zoning Map amendment is consistent with the Adams County Comprehensive Plan.
- 2. The Zoning Map amendment is consistent with the purposes of these standards and regulations.
- 3. The Zoning Map amendment will comply with the requirements of these standards and regulations
- 4. The Zoning Map amendment is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.

Recommended Note

1. A Change in Use Permit will be required to establish the concrete manufacturing business.



COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

CASE NO.: PRC2019-00005

CASE NAME: PROJECT FLATIRON

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- 2.1 Aerial Map
- 2.2 Zoning Map
- 2.3 Future Land Use Map

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- 3.1 Applicant Written Explanation
- 3.2 Applicant Preliminary Plat

EXHIBIT 4- Referral Comments

- 4.1 Referral Comments (Adams County)
- 4.2 Referral Comments (CDOT)
- 4.3 Referral Comments (CGS)
- 4.4 Referral Comments (CDNR-DWR)
- 4.5 Referral Comments (TCHD)
- 4.6 Referral Comments (Xcel Energy)

EXHIBIT 5- Public Comments

None

EXHIBIT 6- Associated Case Materials

- 6.1 Request for Comments
- 6.2 Public Hearing Notice
- 6.3 Newspaper Publication
- 6.4 Referral Agency Labels
- 6.5 Property Owner Labels
- 6.6 Certificate of Posting



COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT STAFF REPORT

Board of County Commissioners

October 29, 2019

CASE No.: PRC2019-00005	CASE NAME: Project Flatiron
Owner's Name:	Welby Gardens
Applicant's Name:	Kevan O'Connor, Suncap Property Group
Applicant's Address:	1125 17 th Street, Suite 800, Denver, CO 80202
Location of Requests:	7450 Clayton Street
Parcel Numbers:	0171936304001 (plat/rezone), 0171936304002 (plat/rezone), 0171936304003 (plat), 0171936304004 (plat), 0171936304005 (plat), 0171936304006 (plat), 0171936304007 (plat)
Nature of Requests:	 Major subdivision preliminary plat create one lot; Zoning map amendment (rezone); Roadway Vacation for a portion of Clayton Street;
Current Zone Districts:	Agricultural-1, Residential-1-C
Proposed Zone District:	Industrial-1
Future Land Use:	Mixed-Use Employment
Total Site Area:	33.7 acres (preliminary plat); 32.6 (rezone)
Hearing Date(s):	PC: October 10, 2019 / 6:00 pm
	BoCC: October 29, 2019 / 9:30 am
Report Date:	October 4, 2019
Case Manager:	Greg Barnes
PC Recommendation:	APPROVAL with 18 Findings-of-Fact, 1 Condition, and 2 Notes
Staff Recommendation:	APPROVAL with 18 Findings-of-Fact, 1 Condition, and 2 Notes

SUMMARY OF APPLICATIONS

Background:

The applicant, Suncap Property Group, is requesting a rezoning, major subdivision preliminary plat, and a right-of-way vacation without public infrastructure. The plat request encompasses seven existing lots in the vicinity of 7450 Clayton Street, also known as the former Welby Gardens site. The rezoning request includes just two of the seven existing parcels. Only two of the existing parcels conform to the requirements for rezoning to I-1. The remaining five parcels that are not included in the rezoning request are intended to be rezoned in conjunction with the final plat. Suncap Property Group is making these requests to develop an industrial business park on the proposed 33.7-acre lot.

Currently, the subject site is comprised of seven individual lots and a portion of public right-ofway in the form of a cul-de-sac for Clayton Street. The applicant has submitted a request for a roadway vacation to vacate the unconstructed cul-de-sac portion of public right-of-way for Clayton Street, which is located on the western portion of the site. The proposed plat will combine the seven existing lots and vacated right-of-way into one 33.7-acre lot. Upon approval of these applications, the applicant will be expected to submit a final plat and associated subdivision improvements agreement, which would facilitate the construction of public improvements that support the proposed development. In addition, the applicant is proposing to change the official zoning designation on two of the subject properties from Agricultural-1 (A-1) Industrial-1 (I-1). The request for rezoning is necessary for the applicant to pursue development of the property as an industrial business park. The other five parcels will remain zoned R-1-C, however a rezoning application to change the designation on these properties to I-1 will be filed with the final plat application.

Zone District Regulations:

Currently, the subject properties of the rezone request are designated as A-1. Per Section 3-08-01 of the County's Development Standards and Regulations, the purpose of the A-1 zone district is to provide a single-family residential dwelling district where density is suited for a rural lifestyle. Uses permitted in the A-1 zone district include single-family residential dwellings and light farming uses, including animal-keeping.

The proposed zone district for these two parcels is I-1. Per Section 3-24-01 of the County's Development Standards and Regulations, the purpose of the I-1 zone district is to provide a general commercial and restricted industrial district designed to provide a variety of compatible business, warehouse, wholesale, offices, and limited industrial use. Uses permitted in the I-1 zone district include light industrial or commercial, such as office, warehousing, business parks, retail, or restaurants, which generate employment and contribute to the County's tax base. The dimensional requirements for the I-1 zone district include a minimum of one-acre lot size and minimum one hundred (100) foot lot width.

The proposed plat will create one lot consisting of approximately 33.7 acres in area and 1,400 feet of lot width. The two parcels that are the subject of the rezoning account for over 32 acres, and the entirety of that 1,400 feet of lot width. Therefore, the request to rezone these two parcels is in conformance to the dimensional requirements for the proposed I-1 zone district of Section 3-24-07 of the County's Development Standards.

Subdivision Design and Improvements

The proposed preliminary plat has been reviewed by County staff for consistency with the County's Subdivision Design Standards (Section 5-03). The proposed plat has been designed to be appropriate for development, and the lot configuration is suitable for access and emergency services. The proposed subdivision will be served by the North Washington Water & Sanitation District. All documentation has been provided to ensure conformance with the County's water supply requirements.

Per Section 5-02-05 of the County's Development Standards and Regulations, an SIA will be required with a final plat. The SIA allows for construction of infrastructure, such as public streets, curbs, gutters, sidewalks, and storm sewers to be constructed on the property. In addition, non-residential subdivisions, public land dedication is required to support regional parks. Section 5-05-05-04 of the County's Development Standards allows for cash-in-lieu of land dedication. These cash-in-lieu fees will be expected to be paid prior to scheduling the final plat application for public hearings.

Future Land Use Designation/Comprehensive Plan:

The future land use designation on the property is Mixed-Use Employment. Per Chapter 5 of the Adams County Comprehensive Plan, the purpose of the Mixed-Use Employment future land use designation is to accommodate a range of employment uses with a mix of supporting uses to serve employment needs. In addition, Mixed-Used Employment areas are designated in locations that have transportation access and visibility but are not suitable for residential development. Mixed-Use Employment areas may include offices, light manufacturing, distribution, indoor warehousing, clean industry, and supporting retail businesses.

Rezoning the property to a zone district that is consistent with the Comprehensive Plan designation will advance the County's long-term goal for providing mixed-use employment areas that accommodate a range of employment uses, as well as supporting employment generating uses. The subject property is located within a part of the County that has nearby access to three interstate highways (I-25, I-76, and I-270).

The subject property is located within the Southwest Adams County Framework Plan's Welby Subarea Plan and specifically considered to be part of the South Welby Area of this plan. The site is identified as transitioning from agricultural and residential uses to more industrial uses. It is a goal of the Welby Plan to promote economic development through the creation of employment hubs in the South Welby Area. The proposed subdivision to create a large-acreage lot with light industrial zoning supports the goals and purpose of the Welby Subarea Plan.

Site Characteristics:

The subject property has street frontage along Clayton Street to the west and State Highway 224 to the south. The existing properties are home to several single-family residential dwellings and the old Welby Gardens site. The Welby Gardens site includes many existing greenhouse structures. All existing structures will be removed when redevelopment occurs.

Northwest I-1 Industrial	North I-1/PUD Vacant	Northeast I-1 Vacant
West	Subject Property	East
I-1/PUD/A-1	A-1/R-1-C	A-1
Industrial	SF Dwellings/Greenhouses	Utility Infrastructure
Southwest	South	Southeast
I-1	I-1/A-1	A-1
Limited-Access Highway	Limited-Access Highway	Limited-Access Highway

Surrounding Zoning Designations and Existing Use Activity:

Compatibility with the Surrounding Area:

The surrounding properties are mostly a mix of A-1 and I-1 zoning and include several industrial Planned Unit Developments (PUDs). These properties are developed with a mix of light industrial uses and single-family dwellings. Rezoning of this property to I-1 would allow the possibility of light industrial and light manufacturing uses that are not currently allowed within the A-1 zone district. The area of East 73rd Avenue, between Washington Street and Gilpin Way, has been the subject of numerous rezoning approvals from A-1 to I-1 and Commercial-5 (C-5) zoning over the past decade.

Per Section 8-02-02 of the County's Development Standards and Regulations, a traffic study is required with these applications. Staff reviewed the traffic study and has no outstanding concerns with potential traffic generation from the site. A new traffic study may be required during review of any building permit for new development on the property.

These applications are compatible with the overall area and are not detrimental to public health and safety. Approval of these requests will be consistent with the character of development activities in the area

PLANNING COMMISSION UPDATE

The Planning Commission (PC) considered this case on October 10, 2019 and voted (7-0) to recommend approval of the requests. The applicant spoke at the meeting and had no concerns with the staff report or presentation. There was no one from the public to speak in favor or in opposition to the request.

Staff Recommendation:

Based upon the application, the criteria for approval, and a recent site visit, staff recommends approval of these requests (major subdivision preliminary plat), rezoning, and roadway vacation with 18 findings-of-fact, 1 condition, and 2 notes:

RECOMMENDED FINDINGS-OF-FACT

- 1. The preliminary plat is consistent with the Adams County Comprehensive Plan and any available area plan.
- 2. The preliminary plat is consistent with the purposes of these standards and regulations.

- 3. The preliminary plat is in conformance with the subdivision design standards and any approved sketch plan.
- 4. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.
- 5. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that such system complies with state and local laws and regulations.
- 6. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.
- 7. The applicant has provided evidence that adequate drainage improvements comply with these standards and regulations.
- 8. The overall density of development within the proposed subdivision conforms to the zone district density allowances.
- 9. The proposed subdivision is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. The proposed subdivision has established an adequate level of compatibility by: a. Incorporating natural physical features into the development design and providing sufficient open spaces considering the type and intensity of use; b. Incorporating site planning techniques to foster the implementation of the County's plans, and encourage a land use pattern to support a balanced transportation system, including auto, bike and pedestrian traffic, public or mass transit, and the cost effective delivery of other services consistent with adopted plans, policies and regulations of the County; c. Incorporating physical design features in the subdivision to provide a transition between the project and adjacent land uses through the provision of an attractive entryway, edges along public streets, architectural design, and appropriate height and bulk restrictions on structures; d. Incorporating identified environmentally sensitive areas, including but not limited to, wetlands and wildlife corridors, into the project design; and e. Incorporating public facilities or infrastructure, or cash-in-lieu, reasonably related to the proposed subdivision so the proposed subdivision will not negatively impact the levels of service of the County services and facilities.
- 10. The Zoning Map amendment is consistent with the Adams County Comprehensive Plan.
- 11. The Zoning Map amendment is consistent with the purposes of these standards and regulations.
- 12. The Zoning Map amendment will comply with the requirements of these standards and regulations
- 13. The Zoning Map amendment is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
- 14. The roadway vacation complies with these standards and regulations and the original conditions of approval.

- 15. Nonconforming lots are not created, and in the case of nonconforming lots, the nonconformity is not increased.
- 16. The roadway vacation is in keeping with the purpose and intent of the subdivision regulations.
- 17. The approval will not adversely affect the public health, safety, and welfare.
- 18. The vacation does not leave any land adjoining the roadway without an established public road or private access easement connecting said land with another established public road.

Recommended Condition of Approval:

1. All utilities shall be located underground pursuant to Section 5-04-04-01 of the Adams County Development Standards and Regulations.

Recommended Notes to the Applicant:

- 1. The applicant shall comply with all building, zoning, fire, engineering, and health codes and regulations during the development of the subject site.
- 2. The preliminary plat approval shall expire on October 29, 2021 if a final plat application is not submitted to the Adams County Community and Economic development Department.

CITIZEN COMMENTS

Notifications Sent	Comments Received
68	0

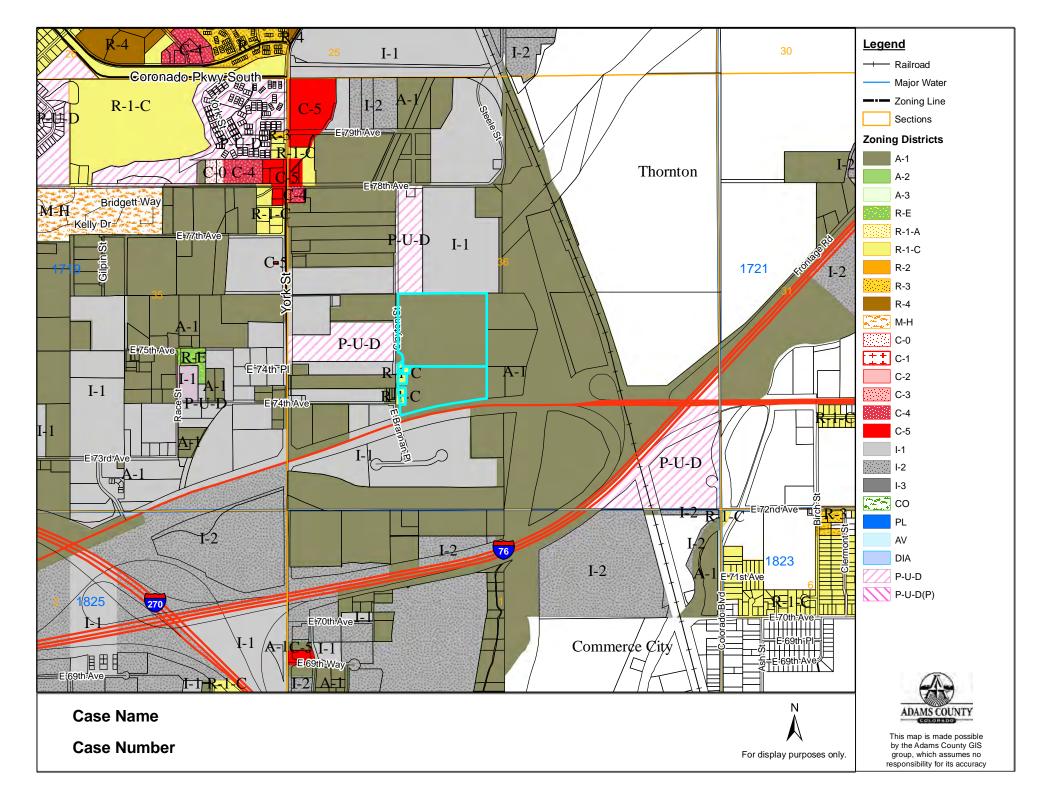
All property owners and occupants within 1,000 feet of the subject property were notified of the request. As of writing this report, staff has not received any response from those notified.

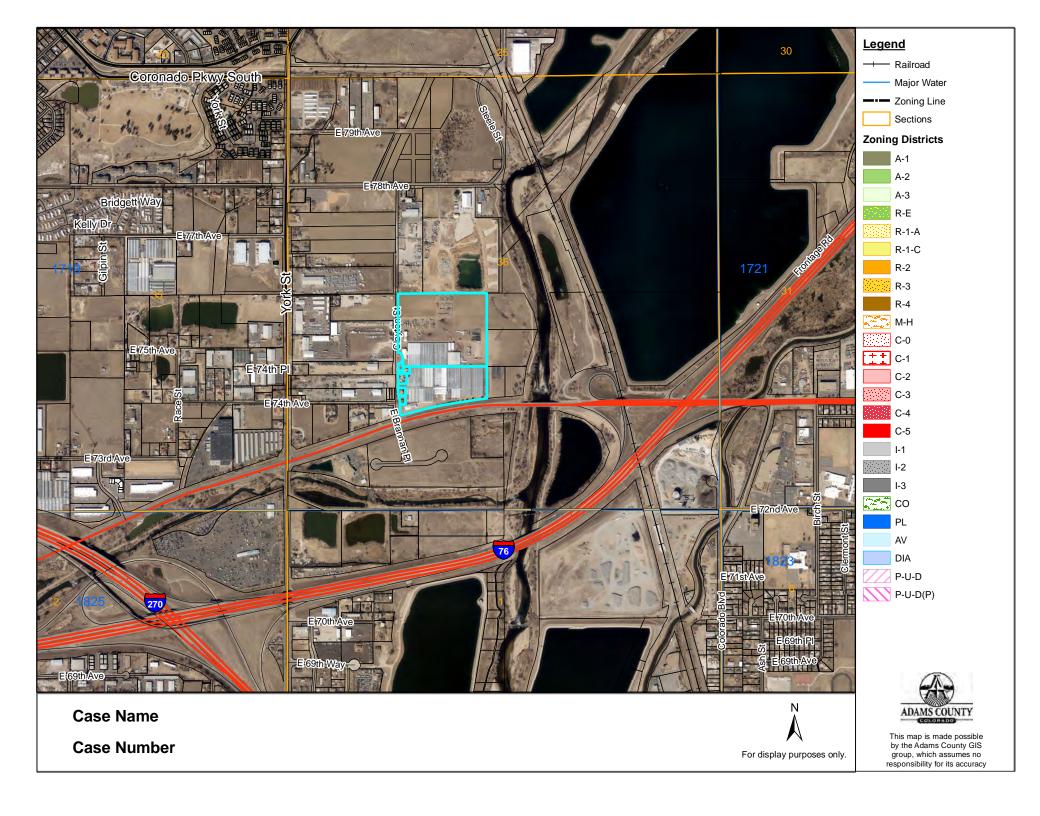
COUNTY AGENCY COMMENTS

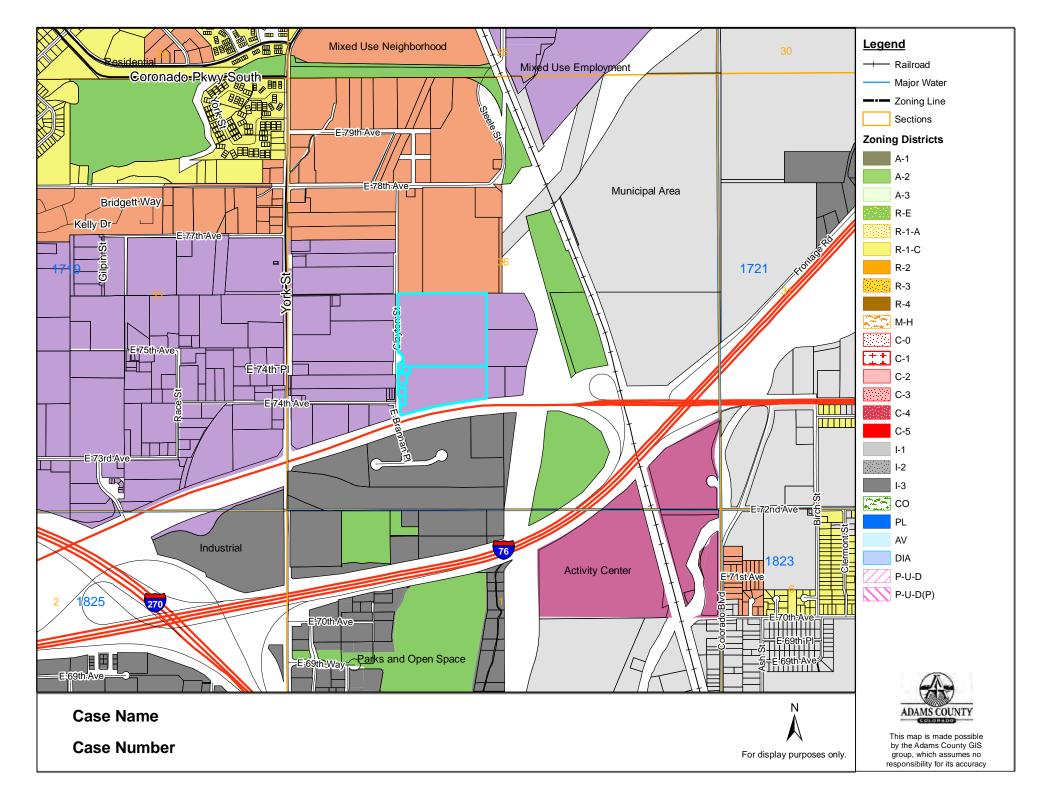
Staff reviewed the request and has no outstanding concerns with the proposed applications.

REFERRAL AGENCY COMMENTS

Responding with Concerns: None Responding without Concerns: CDOT CDNR-DWR CGS TCHD Xcel Energy Notified but not Responding / Considered a Favorable Response: Adams County Sheriff Century Link Colorado Div. of Mining Reclamation and Safety Comcast Mapleton Schools #1 Metro Wastewater North Washington Water & Sanitation District RTD U.S. Environmental Protection Agency U.S. Post Office Welby Citizen Group





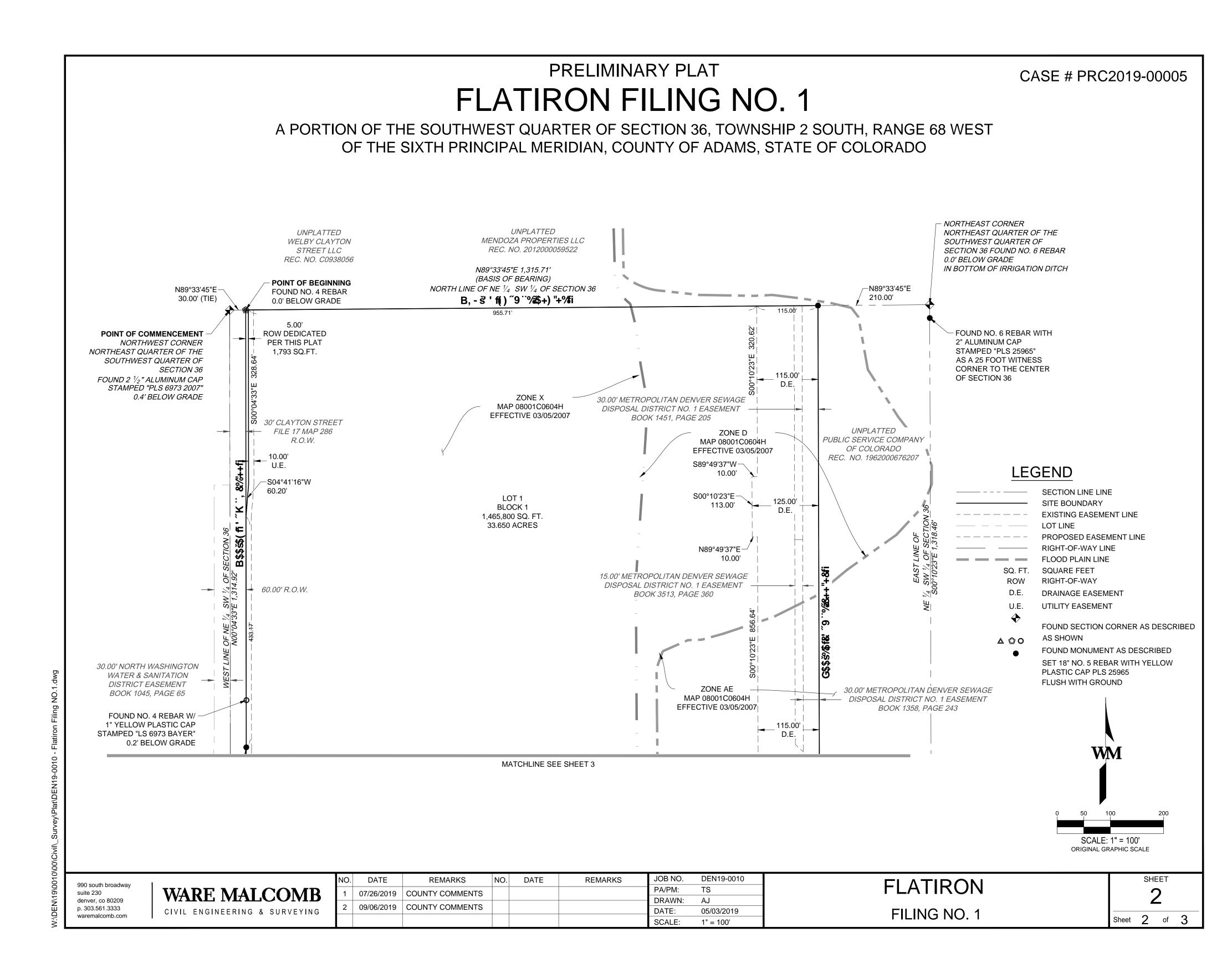


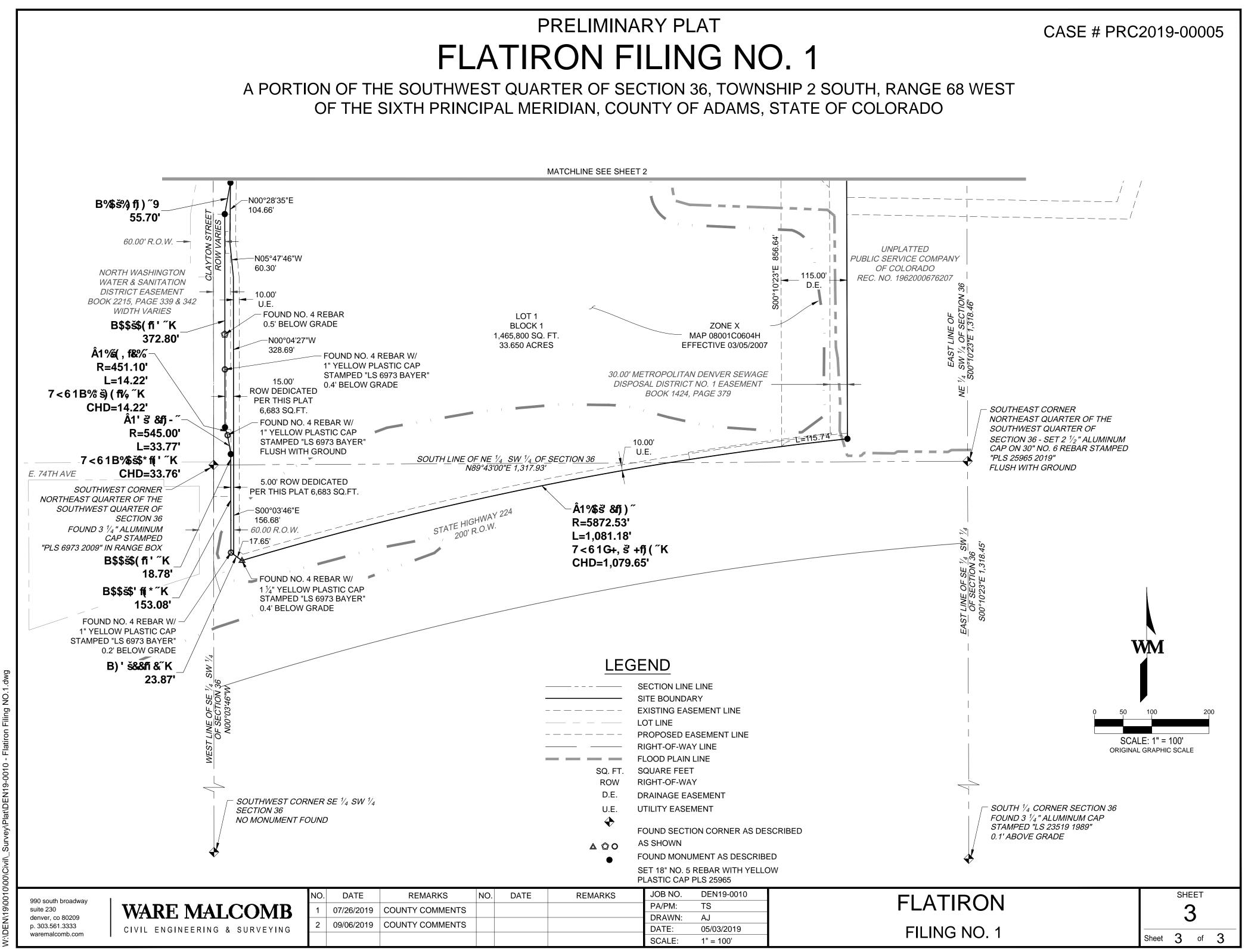


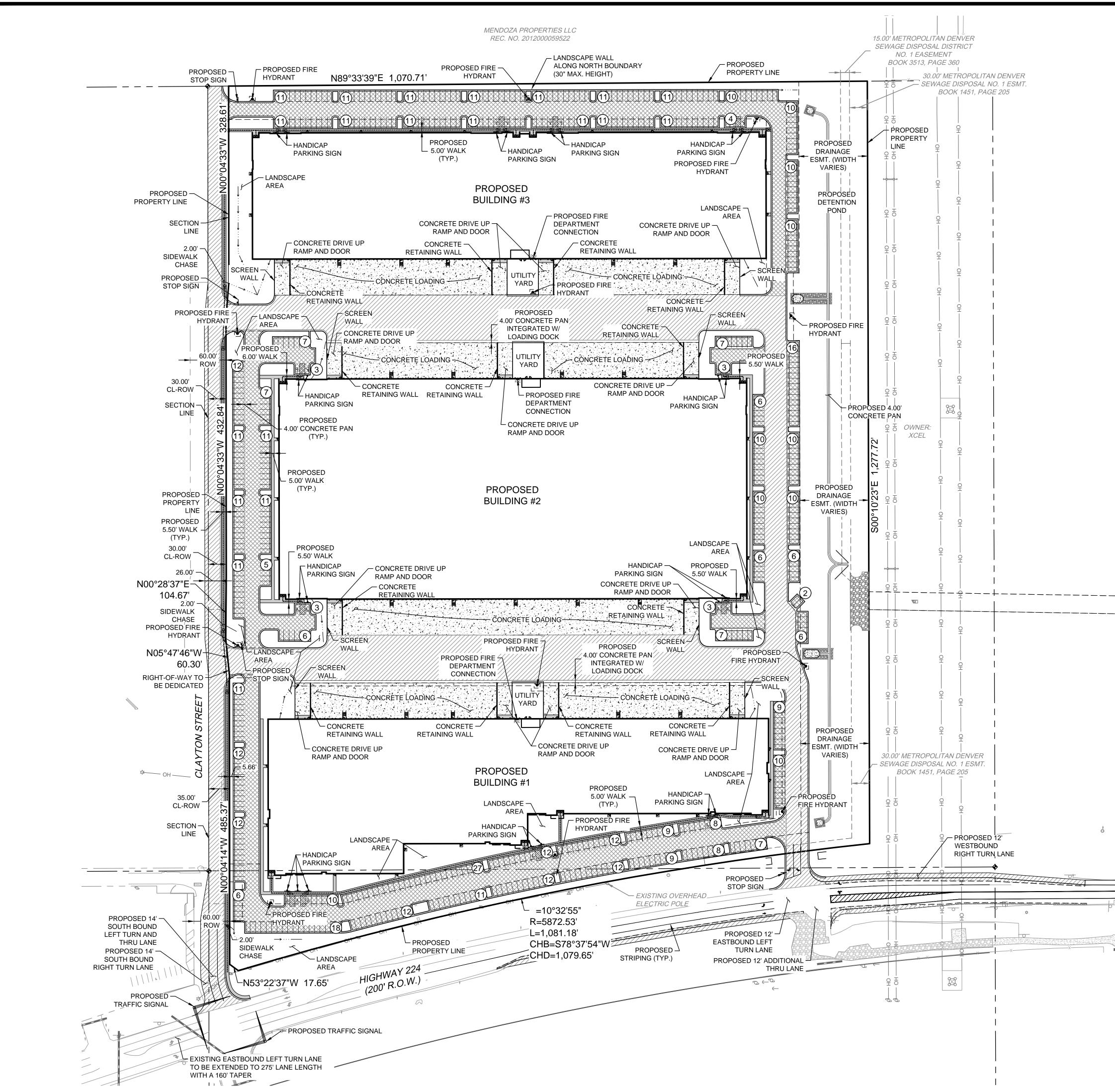
Written Description of the Project

Project Flatiron April 29, 2019

- Three (3) 32' clear height speculative warehouse industrial buildings totaling 639,070 square feet on 33.71 acres located in Welby, CO (Adams County) in the North Denver Metro at the North East Corner of 74th and Clayton.
 - A. The project will require acquisition of 7 parcels currently zoned Agriculture & Residential and doing an assemblage and re-zone into one parcel through a Major Subdivision Plat process.
 - B. Building 1 181,020 SF front park-rear load facility located up front along 74th Ave. 40 dock high doors, 4 grade level doors. Parked at a 1.1/1,000 ratio.
 - C. Building 2 290,450 SF cross dock facility located center lot. 64 dock high doors, 6 grade level doors. Parked at a 0.7/1,000 ratio.
 - D. Building 3 167,600 SF front park-rear load facility located back of lot. 40 dock high doors, 4 grade level doors. Parked at a 1.2/1,000 ratio.
 - E. Buildings will be constructed of tilted concrete exterior skin with storefront assemblies for future offices and basic architectural feature on 6"-7" reinforced slabs on grade with shallow footers and foundations.
 - F. ESFR Fire Sprinklers.
 - G. The project Includes demolishing roughly 500,000 SF of existing structures, commercial agriculture buildings and residential houses.
- 2. Off-site Improvements
 - A. Possible off-site requirements stipulated by AHJ; improvements along 74th and/or Clayton Ave.
 - B. Additional Traffic Signal at Clayton and 224.







CAUTION: IF THIS SHEET IS NOT 24"x36" IT IS A REDUCED PRINT

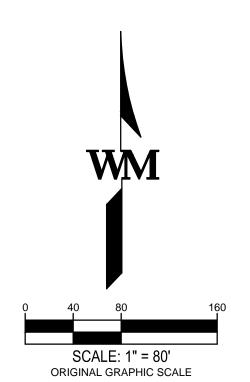
LEGEND:	
	PROPERTY LINE
	EXISTING CURB & GUTTER
	PROPOSED CATCH CURB & GUTTER
	PROPOSED ADA ROUTE
	PROPOSED STANDARD-DUTY AREAS (SECTION PER GEOTECH REPORT)
	PROPOSED HEAVY-DUTY AREAS (SECTION PER GEOTECH REPORT)
	PROPOSED WALK
	PROPOSED CONCRETE LOADING DOCKS

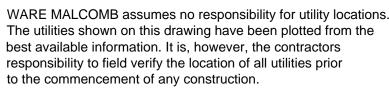
Traffic Type	Full Depth AC (inches)	Composite AC / ABC (inches)	PCCP (inches)
Standard-Duty Areas	5.0	4.0 / 4.0	5.0
Heavy-Duty Areas	7.5	5.0 / 8.0	7.0

Notes: AC = Asphalt Concrete, ABC = Aggregate Base Course, PCCP = Portland Cement Concrete Pavement (PAVEMENT SECTION PER GEOTECH REPORT DATED MARCH 27, 2019 BY NINYO & MOORE)

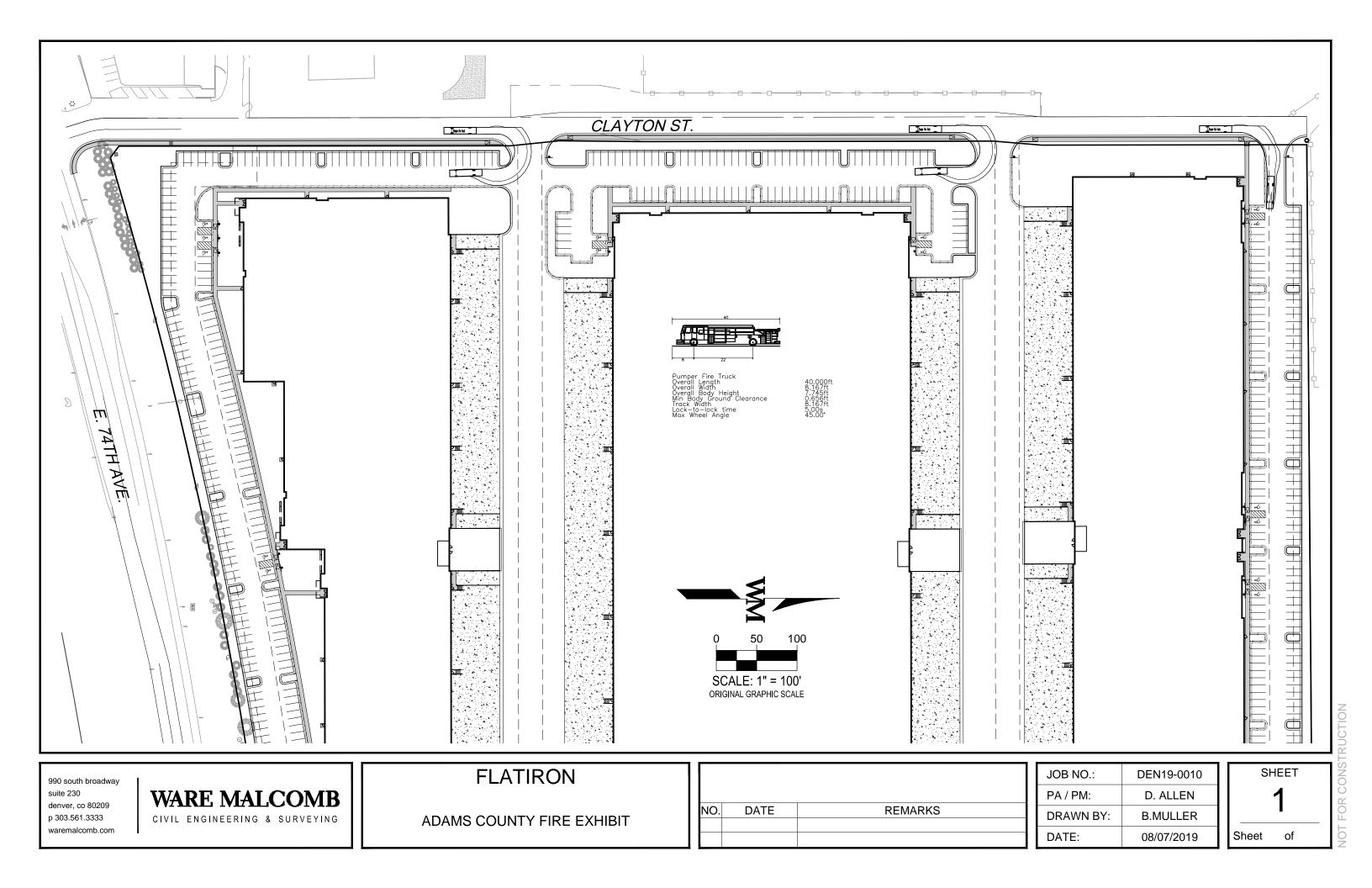
NOTES:

1. FOR WALLS AT DRIVE UP DOORS, PLEASE REFERENCE ARCHITECTURAL DRAWINGS.









GENERAL ECOLOGICAL RESOURCES SURVEY

Welby Gardens 2761 East 74th Avenue Denver, Colorado 80229





6101 Carnegie Boulevard, Suite 180 Charlotte, North Carolina 28209

WESTERN ENVIRONMENT AND ECOLOGY, INC.

2217 West Powers Avenue Littleton, Colorado 80120 (303) 730 3452 (phone) (303) 730-3461 (fax) www.westernenvironment.com

GENERAL ECOLOGICAL RESOURCES SURVEY

Welby Gardens 2761 East 74th Avenue Denver, Colorado 80229

Western Environment and Ecology, Inc. Project Number: 846-001-01

August 14th, 2019



6101 Carnegie Boulevard, Suite 180 Charlotte, North Carolina 28209

Prepared by:

Brian Kraus Staff Technician

Reviewed by:

Austin Curry Project Manager

WESTERN ENVIRONMENT AND ECOLOGY, INC.

2217 West Powers Avenue Littleton, Colorado 80120 (303) 730 3452 (phone) (303) 730-3461 (fax) www.westernenvironment.com

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1.0 INTRODUCTION

Western Environment and Ecology, Inc. (Western Environment) was retained by Mr. Ben Faist, of SunCap Property Group, to conduct a broad qualitative survey and general survey of ecological resources, including threatened and endangered species, wetlands, and other significant habitats, of the Welby Gardens site at 2761 East 74th Avenue, Denver, Colorado 80229. Mr. Faist indicated this survey was in response to the potential re-development of the property.

The objectives of this study were to (1) establish presence/absence and potential habitat of any federal or state threatened and endangered species on the property, (2) identify any wetlands or other ecologically sensitive areas on and adjacent to the property, and (3) make practical recommendations based on the results of the study.



View of the site to the northeast

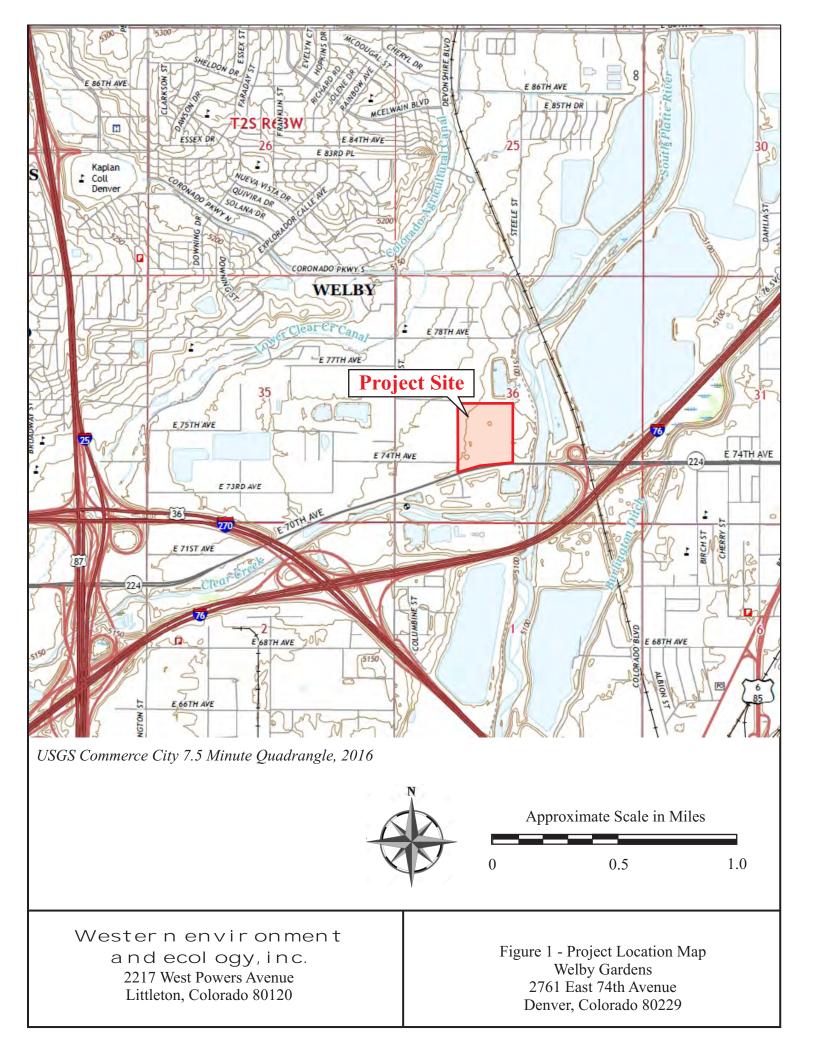
WESTERN ENVIRONMENT AND ECOLOGY, INC.

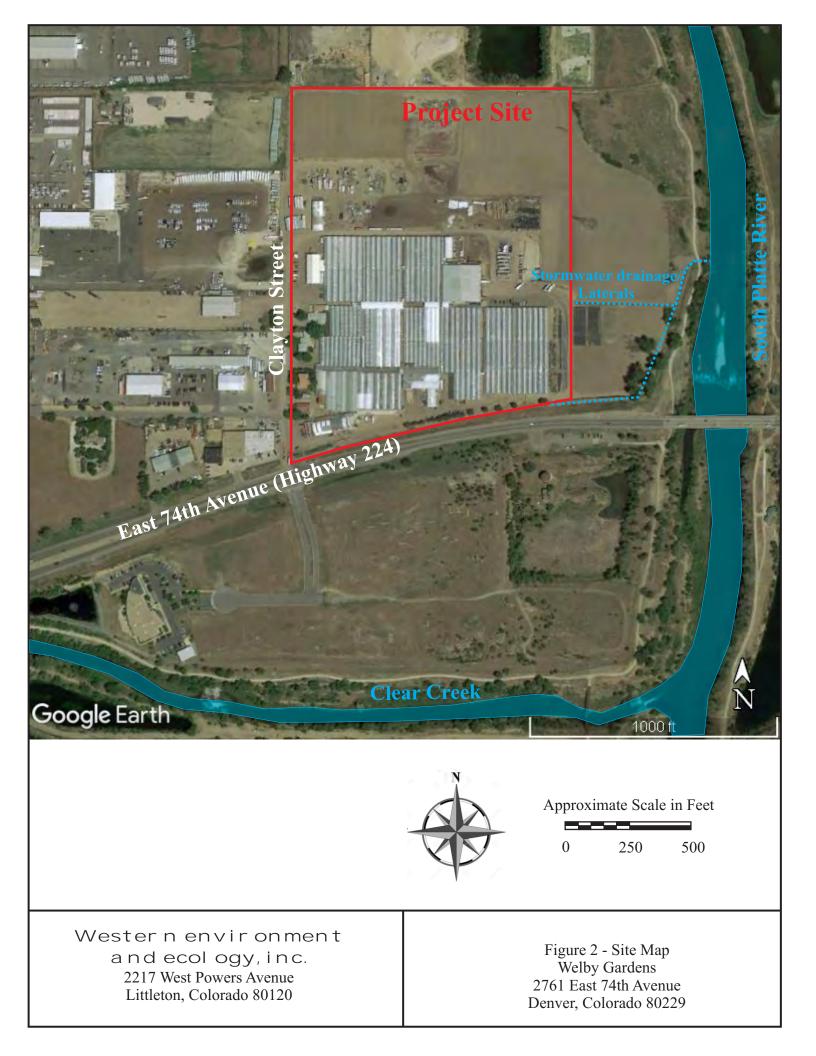
2.0 STUDY AREA

This General Ecological Resource Survey was conducted for two adjacent parcels (Adams County Parcel # 0171936304001, # 0171936304002), which total approximately 32.663 acres at 2761 East 74th Avenue, Denver, Colorado 80229 (Figure 1). The site is located northeast of the intersection of East 74th Avenue (Highway 224) and Clayton Street (Figure 2). The Adams County Assessor's Office indicates that the subject property is zoned agricultural and occupied by 17 commercial structures including an office, retail store, greenhouse/nurseries, and outbuildings. Surrounding properties include vacant land to the south, and commercial facilities and vehicle storage to the north and west. East 74th Avenue is present at the southern border of the site and Clayton Street occurs along the eastern border. The South Platte River is present adjacent east of the property, while Clear Creek is located approximately 1,080 feet to the south.

The site occurs at an elevation range of approximately 5,104 to 5,122 feet above sea level (USGS Commerce City, 7.5 Minute Quadrangle, 2013). The topography is generally flat, with a gradual slope to the east towards the South Platte River. The USDA National Resource Conservation Service classifies site soils as Loamy alluvial land, Ellcot-Glenberg complex, and Nunn clay loam on 0-3 percent slopes overlying Quaternary Age modern alluvium (Tweto, 1979). Review of the Federal Emergency Management Agency (FEMA) Flood Insurance Maps (attached) indicate that the southern and eastern portions of the site are located within the 100-year flood plain. Additionally, Mr. Faist indicated that, according to Ms. Katie Keefe, Environmental Program Manager for Adams County, the northeastern area of the site is located within Adams County National Resource Conservation Overlay (NRCO).

Western Environment reviewed records maintained by the Colorado Division of Water Resources (DWR), which identified several monitoring wells on the subject property. Lithologic logs from one of these wells (attached), documented clayey sand and sandy clay from the surface to approximately 10 feet below ground surface (bgs). Gravelly sand was found from 10 feet to a depth of 25 feet bgs. A static groundwater level was encountered at approximately 17 feet bgs.





3.0 METHODS

Species that are federally or state listed as threatened or endangered, including federally proposed and candidate species, occurring or having historically occurred in Adams County were considered for this study (Table 1). The county classification was determined by following the Colorado Field Office of the U.S. Fish and Wildlife Service's county checklist (USFWS, 2011). The list was narrowed based on habitat requirements of the species relative to existing habitats on the project.

Additionally, Western Environment also reviewed parameters from the Adams County Development Standards and Regulations Parts 3-38 and 4-11-02-03 regarding the National Resource Conservation Overlay (NRCO). The NRCO is utilized to identify and protect natural, wildlife, cultural and agricultural resources. Western Environment reviewed the site for natural resources including water bodies, 100-year flood plains, and wetlands, as well as a general inventory of cultural and agricultural resources.

The property was surveyed on July 24th, 2019. Information was collected on topography, ecosystems, and species of flora and fauna found on and adjacent to the property. Photographs were taken, and emphasis was placed on potential habitat of threatened and endangered species, and the presence of wetlands.

At the time of the inspection, the majority of the site was occupied by the Welby Gardens facility. The site buildings consisted of an office, a retail store, multiple plant nurseries/greenhouses and outbuildings located in the southwestern portion of the site. Semi-truck trailers, lawn equipment storage, organic soil mix, and stockpiles of used soil and plant containers from the greenhouses/nurseries were observed adjacent to the north of the buildings. Unmanaged vegetation was present in the north, northeast, and eastern portion of the site. These unmanaged areas were dominated by upland grasses and invasive weeds including western wheatgrass (*Pascopyrum smithii*), kochia (*Bassia scoparia*), Canada thistle (*Cirsium arvense*), Russian thistle (*Salsola kali*), and curly dock (*Rumes crispus*). Woody vegetation including cottonwood trees (*Populous sp.*) and narrow leaf willow saplings (*Salix exigua*) was present adjacent to the east along the South Platte River.

Common Name Scientific Name Status¹ Birds Bald eagle Haliaeetus leucocephalus ST Whooping crane Grus americana tabida FE, SE Least Tern Sterna antillarum FE, SE Mountain plover Charadrius montanus FPT, SC **Piping Plover** Charadrius melodus FT, ST Strix occidentalis lucida FT, ST Mexican spotted owl Tympanuchus phasianellus jamesii Plains Sharp-Tailed Grouse SE Western burrowing owl Athene cunicularia ST Lesser Prairie Chicken Tympanuchus pallidicinctus ST Ferruginous Hawk Buteo regalis SC Mammals Black-footed ferret Mustela nigripes FE, SE Preble's meadow jumping mouse Zapus hudsonius preblei FT, ST Canada Lynx Lynx canadensis FT, SE Black-tailed prairie dog Cynomys ludovicianus SC Amphibians Boreal Toad SE Bufo boreas boreas Plants Ute ladies'-tresses FT Spiranthes diluvialis Colorado butterfly plant Gaura neomexicana coloradensis FT Western prairie fringed orchid Platanthera praeclara FΤ

Table 1. Common name, scientific name, and status of federal and state threatened and endangered species that could occur or historically occurred in the Colorado Piedmont (CDOW, 2011; USFWS, 2011).

¹<u>Status Codes</u>: FE = Federally Endangered, FT = Federally Threatened, FPT = Federally Proposed as Threatened, FC = Federal Candidate, SE = State Endangered, ST = State Threatened, SC = State Concerned

4.0 **RESULTS AND DISCUSSION**

4.1 Wetlands

At the time of the site visit, no perennial waters or wetland habitats were observed on the project site. However, two stormwater drainages/ irrigation laterals was located within the southeastern section of the property. During the site inspection, the drainages were dry and no wetland vegetation were observed. Both of these drainages appear to have direct connection to the South Platte River, which is located directly east of the site. During the site visit, the South Platte River contained flowing water within an approximately 160 feet wide channel. The only wetland vegetation observed along the South Platte River included narrow leaf willows (*Salix exigua*).



View of the South Platte River located directly east of the site

The U.S. Army Corps of Engineers (Corps) regulates the discharge of dredged or fill materials into Waters of the U.S. under the authority of Section 404 of the Clean Water Act. Waters of the U.S. include ephemeral, intermittent and perennial streams, their surface connected wetlands and adjacent wetlands, certain lakes, ponds, drainage ditches and irrigation ditches that have a nexus to interstate commerce.

Western Environment evaluated, to the best of our ability based upon site conditions at the time of the survey, the three components of a jurisdictional wetland as defined in the US Army Corp of Engineers, (ACOE) Wetland Delineation Manual (1987). These components are: 1) Vegetation, 2) Soil and 3) Hydrology. The ACOE Manual defines *Nonwetlands* as "including upland areas that are neither deepwater aquatic habitats, wetlands, nor other special aquatic sites. They are seldom or never inundated, or if frequently inundated, they have saturated soils for only brief periods during the growing season, and, if vegetated, they normally support a prevalence of vegetation typically adapted for life only in aerobic soil conditions."

The U.S. Fish and Wildlife Service's Wetland Mapper identified a freshwater emergent wetland within the extreme northeastern corner of the site (attached). However, during the site inspection no wetlands were observed. Also, review of the FEMA flood map (attached) identified the South Platte River within a regulatory floodway, and indicated that the eastern and southern portions of the site are located within the 100-year flood plain.

It is the opinion of Western Environment that no perennial waters or wetland habitats occur on the site. The two stormwater drainages appear to be constructed in uplands as irrigation laterals to drain uplands and therefore are unlikely Waters of the U.S. subject to the Corps regulations. However, the South Platte River is Waters of the U.S. subject to the Corps regulations. Also, the eastern and southern portions of the site are within the 100-year flood plain. As such, any discharge into or impact to the South Platte River, or changes in the flood plain will require consultation with the Corps prior to construction.

4.2 Cultural Resource Survey

Western Environment reviewed the Compass database from the Colorado Historical Society - Office of Archeology and Historic Preservation (Colorado's On-line Cultural Resource Database). This review indicated no cultural resources within the project boundaries. Additionally, Western Environment reviewed the National Register of Historic Places (NRHP) and no resources were identified. It is the opinion of Western Environment that the project site does not contain any cultural resources.

4.3 Agricultural Resources Survey

According to the Adams County Assessor's Office, the project site is zoned as agricultural. The site's current usage is as a wholesale gardening center with plant nurseries and greenhouses. According to the USDA National Resource Conservation Service (NRCS), the majority of the site soils is classified as Loamy alluvial land (moderately wet), Ellcot-Glenberg complex (occasionally flooded), and Nunn clay loam on 0-3 percent slopes. The NRCS farmland classification (see attached) for these soils indicate that only Nunn clay loam is rated "prime farmland if irrigated". The NCRS also indicated that only the Loamy alluvial land had a hydric soil rating (6%). The remaining site soils had a hydric soil rating of 0% (Not Hydric). Western Environment also used historical aerial photos to review past uses of the subject site. The first available photo for review, dated 1963, indicated the site was vacant and in cultivated agricultural use. No changes to the site were observed until 1991, when the current nurseries, greenhouses and outbuildings were constructed on the site. Lots surrounding the greenhouses were utilized for agricultural production and equipment storage. No changes were observed from 1991 to the present.



View of the greenhouses within the southwestern portion of the site

4.4 Wildlife Species Eliminated from Consideration as Occurring on the Project

The following threatened and endangered species that have historically been thought to occur in the Colorado Pediment were immediately ruled out of serious consideration for this project based on available habitat: Mexican spotted owl, whooping crane, least tern, Canada lynx, black-footed ferret, boreal toad, western prairie fringed orchid and Colorado butterfly plant.

The Mexican spotted owl was eliminated because it requires forests that are not present on the project. The whooping crane was also eliminated due to rarity in Colorado, and no known nesting or feeding habitat exists on or adjacent to the property. Less than 20 sightings of whooping cranes along the eastern plains and mountainous regions of Colorado have been recorded since 1931 (Andrews and Righter, 1992). The least tern inhabits sandy shorelines of reservoirs, lakes, and rivers with bare sandy shorelines. This shore bird is a casual to very rare spring and fall migrant on the northeastern plains of Colorado, and is unlikely to occur on the subject project.

The Canada lynx is a rare forest-dwelling species of northern latitudes that feeds primarily on snowshoe hares. No lynx habitat or its prey exist on the subject site. The blackfooted ferret was eradicated from the Colorado Piedmont, however, in 2013 Colorado Parks and Wildlife has reintroduced populations in Larimer, Adams, Pueblo, Baca, and Powers Counties in Colorado.

Colorado's only alpine species of toad, the boreal toad, has been found in spruce-fir forests and alpine meadows at elevations between 7,000 and 12,000 feet. The toad also requires lakes, marshes, ponds, or bogs with shallow water for breeding. These habitats do not exist on the property.

The Colorado butterfly plant has only been found in northern Larimer County in recent years and is generally associated with streams that do not exist onsite (Colorado Native Plant Society 1997). The western prairie fringed orchid is restricted to west of the Mississippi River, however only currently occurs in Iowa, Kansas, Minnesota, Nebraska, North Dakota and in Manitoba, Canada (USFWS, 2001).

4.5 Species Included in Survey

Western Burrowing Owl (Athene cunicularia)

State Threatened

The burrowing owl is found primarily in eastern Colorado as a summer resident. Two aspects of the biology of the western burrowing owl appear to influence both its regional and local abundance: 1) it prefers areas of short vegetation, and 2) it rarely, if ever, digs its own burrows. Historically, burrowing owls were common wherever there were prairie dog colonies in northeastern Colorado. **During the inspection, no burrowing owls or prairie dog burrows were observed on or adjacent to the subject property.**



Western Burrowing Owl. Photo acquired from wildearthguardians.org

Bald Eagle (Haliaeetus leucocephalus)

State Threatened

The bald eagle was removed from the Federal Endangered and Threatened Species List on July 9th, 2007. In winter bald eagles are transient and use areas that provide feeding and roosting opportunities. Western Environment reviewed National Diversity Information Source (NDIS) data maintained by the CPW (2017), which indicated no active bald eagle nest or roost sites near the subject property. **During the inspection, no bald eagles or nest sites were observed on or adjacent to the site.**

Mountain Plover (Charadrius montanus)

State Concerned Species

Typical habitat characteristics of the mountain plover are a mixture of short vegetation, bare ground, and a flat topography at both breeding and wintering locations. This small shorebird breeds in Colorado, and in parts of its breeding range the species commonly shows a preference for prairie dog towns and sites that are heavily grazed by domestic livestock. Prairie dog grazing promotes the short grasses that the plover prefers, and their digging creates areas of bare soil important for plover nesting. Plovers breed in Eastern Colorado from approximately April 1st through August 1st. Mountain plovers were proposed for federal listing as threatened on **WESTERN ENVIRONMENT AND ECOLOGY, INC.** February 16, 1999 (USFWS, 1999b), however the U.S. Fish and Wildlife Service withdrew the proposal on September 8th, 2003. The Mountain plover is a migratory bird and protected under the Migratory Bird Treaty Act. Harassment or destruction of the species or its nest is a federal offense. **Due to the lack of prairie dog burrow or grazed areas in the vicinity of the site, mountain plover are unlikely to occur.**

Piping Plover (*Charadrius melodus*)

Federally Threatened, State Threatened

This small shorebird can be found on very sparsely vegetated beaches, mudflats and sandy areas near water on shores and islands. Piping Plovers usually arrive in Colorado in late April or early May, and leave when the nesting cycle is completed, or by late August. Nesting populations have been documented in eastern Colorado along the South Platte and Arkansas River drainages. Food sources for Piping Plovers include insects, crustaceans and other small aquatic animals. Plovers feed along beaches, especially in areas where waves have washed up debris (CPW, 1994). **Due to the lack of sandbars or mud-flats in the vicinity of the project, piping plover are unlikely to occur.**

Plains Sharp-Tailed Grouse (Tympanuchus phasianellus jamesii)

State Endangered

The Plains Sharp-Tailed Grouse historically occurred on Colorado's eastern grasslands. Grouse habitat is characterized by rolling hills with Gambles oak, sage brush, service berries and grassy glades. This grouse is a resident from Alaska east to the Hudson Bay, and south to northern New Mexico. Currently, Colorado populations occur in Douglas County, northern and eastern Weld County, and Logan County east of Sterling. **No known populations of the Plains Sharp-Tailed Grouse are known to occur in proximity to the subject project (CPW, 2017).**

Lesser Prairie Chicken (Tympanuchus pallidicinctus)

State Threatened

Historically, this bird occupied the grasslands of Texas, Oklahoma, New Mexico, Kansas and southeastern Colorado. It prefers sandy grassland areas abundant in midgrasses, sandsage and yucca. The majority of Colorado breeding pairs occur in the southeastern portion of the state in Baca, Prowers, Kiowa and Cheyenne Counties, and for the most part, on the Comanche National Grasslands near Campo. **No known populations of the Lesser Prairie Chicken are known to occur in proximity to the subject project (CPW, 2017).**

Ferruginous Hawk (Buteo regalis)

State Concerned

This hawk is known to occur throughout eastern Colorado and in northwestern Colorado. In Colorado, the species is a common winter resident, but is considered an uncommon summer resident on the eastern plains (Andrews and Righter, 1992). Areas that could be potential nesting sites include large trees, rock outcrops, manmade structures such as windmills and power poles, or the ground. These birds often can be seen associated with prairie dog colonies, which they utilize for foraging. This hawk, as are all birds of prey, is federally protected under the Migratory Bird Species Act. **No ferruginous hawks were observed on site during the inspection.**

Black-tailed Prairie Dog (Cynomys ludovicianus)

Former Candidate for Federal Listing, State Concerned

The U.S. Fish and Wildlife Service was petitioned to list the black-tailed prairie dog as a threatened species in July of 1998. The agency determined on February 3rd, 2000, that listing the species was warranted, but it is precluded by other species in greater need of protection (USFWS, 2000). The black-tailed prairie dog was added to the candidate list, and the species' status was reviewed annually. On August 12th, 2004 the USFWS determined that the black-tailed prairie dog no longer meets the Endangered Species Act definition as threatened, and was removed as a candidate for federal listing. **During the inspections, no prairie dogs or burrows were observed on or adjacent to the site.**

Federally Threatened, State Threatened

Typical Preble's habitat has been described as "well-developed plains riparian vegetation with relatively undisturbed grassland and a water source in close proximity," and "dense herbaceous vegetation consisting of a variety of grasses, forbs and thick shrubs" (Armstrong et al., 1997). Although any vegetation could offer cover and hibernacula for Preble's, the species is mostly known from habitat containing shrub cover, such as willow or narrow-leaf cottonwood.



Preble's meadow jumping mouse Photo acquired from usafa.isportsman.net

Preble's are known to regularly range outward into adjacent uplands to feed and hibernate. For this reason, the U.S. Fish and Wildlife Service generally requires a 300 foot development buffer from the edge of the 100 year flood plain. Review of the Flood Insurance Maps from FEMA indicated the eastern portion of the property and the adjacent property to the south along the South Platte River is located within the 100-year flood plain. However, the property is located within the USFWS Denver Metropolitan area Block Clearance Zone (attached). Additionally, the project is not located within the critical habitat designated by the USFWS for the Preble's Meadow Jumping Mouse. It is the opinion of Western Environment that development of the site will not impact Preble's habitat.

Ute Ladies'-Tresses Orchid (Spiranthes diluvialis)

Federally Threatened

This orchid usually occurs in "…old stream channels, alluvial terraces, wet meadows, and other sites where the soil is saturated to within 18" of the surface at least temporarily during the growing seasons" (USFWS, 1992). The eastern Colorado populations of species are located in mesic riparian meadows in relict tall grass prairie areas near Boulder Creek, South Boulder Creek, and Saint Vrain Creek in Boulder County, Colorado, and in mesic meadows in the riparian woodland under story along Clear Creek in Jefferson County, Colorado (USFWS 50 CFR Part 17). One population was historically identified in Weld County east of Greeley near Crow



Ute Ladies'-Tresses Orchid

Creek in 1856, but is now considered extirpated. Soil conditions and vegetation composition of known *Spiranthes* sites suggest that wetlands regulated by the Corps under the Clean Water Act qualify as potential *Spiranthes* habitat. No known populations of *Spiranthes* occur near the subject site.

Other Wildlife

During the inspection, a red-tailed hawk (*Buteo jamaicensis*) was observed flying over the site. No other wildlife was observed..

5.0 CONCLUSIONS AND RECOMMENDATIONS

At the time of the survey, no threatened or endangered species or their obvious habitat were seen on the subject site. It is the opinion of Western Environment that wetlands and/or Waters of the U.S. subject to regulation under Section 404 of the Clean Water Act do not occur on the site.

- It is the opinion of Western Environment that the South Platte River is Waters of the U.S., subject to US Army Corps of Engineers regulations under Section 404 of the Clean Water Act. Also, the eastern and southern portions of the site are located within the 100-year flood plain. Any discharge or impacts to the South Platte River, or within the flood plain will require consultation with the Corps prior to construction.
- The southern and eastern portions of the property are located within the 100-year floodplain. Floodplains are listed as a Natural Resource Protection Factor (1.0) of the Natural Resources Conservation Overlay (NRCO) under Part 3-38-05-02-01 of the Adams County Development Standards and Regulations. No other Natural Resource Protection Factors were identified on the project site. Exemptions to the NRCO (as indicated in Part 4-11-02-03-03) include agricultural activities, development within a "approved project", single-family home, and remodeling or expansion of existing structures. Western Environment recommends consulting with Adams County prior to development to determine any restrictions associated with developing within the NRCO.

No other ecological issues were identified with the site.

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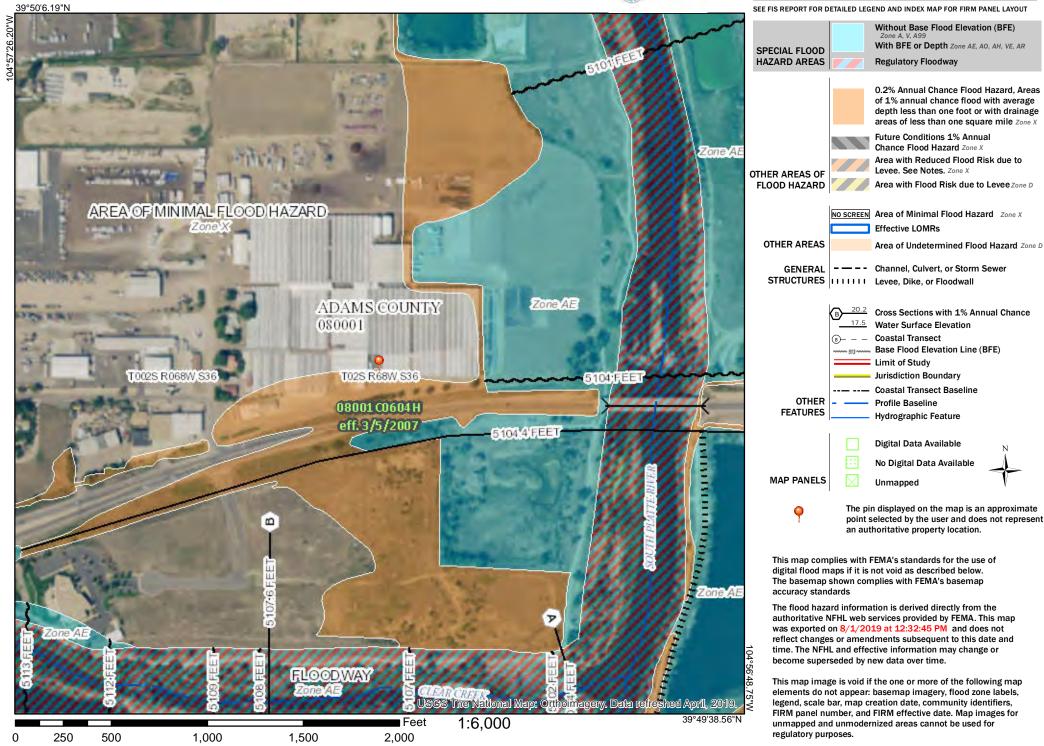
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National Flood Hazard Layer FIRMette



Legend





U.S. Fish and Wildlife Service **National Wetlands Inventory**

Wetlands



August 1, 2019

Wetlands

- Estuarine and Marine Wetland

Estuarine and Marine Deepwater

Freshwater Pond

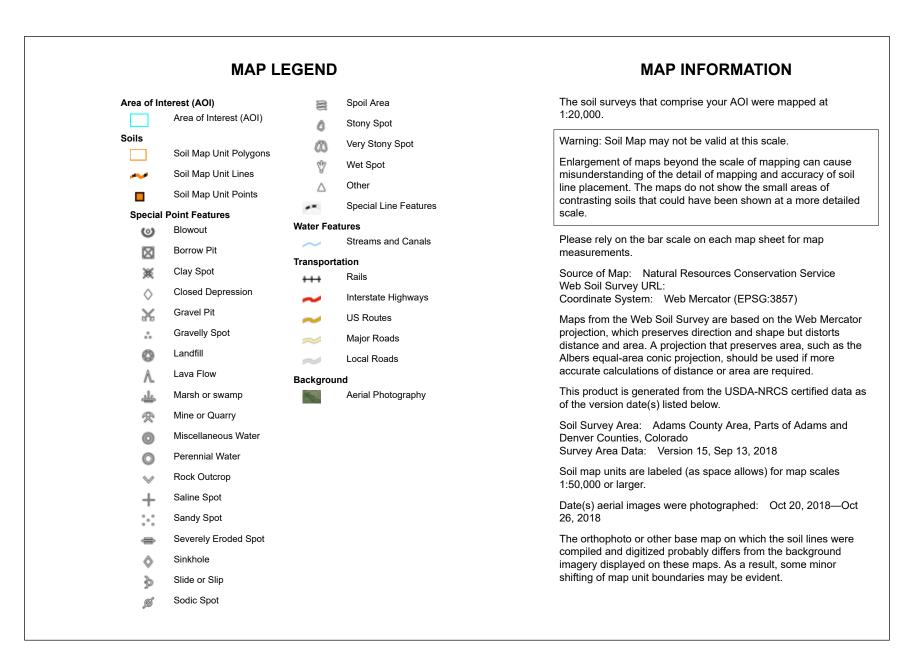
Freshwater Emergent Wetland

Freshwater Forested/Shrub Wetland

Lake Other Riverine This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.



Natural Resources Conservation Service Web Soil Survey National Cooperative Soil Survey

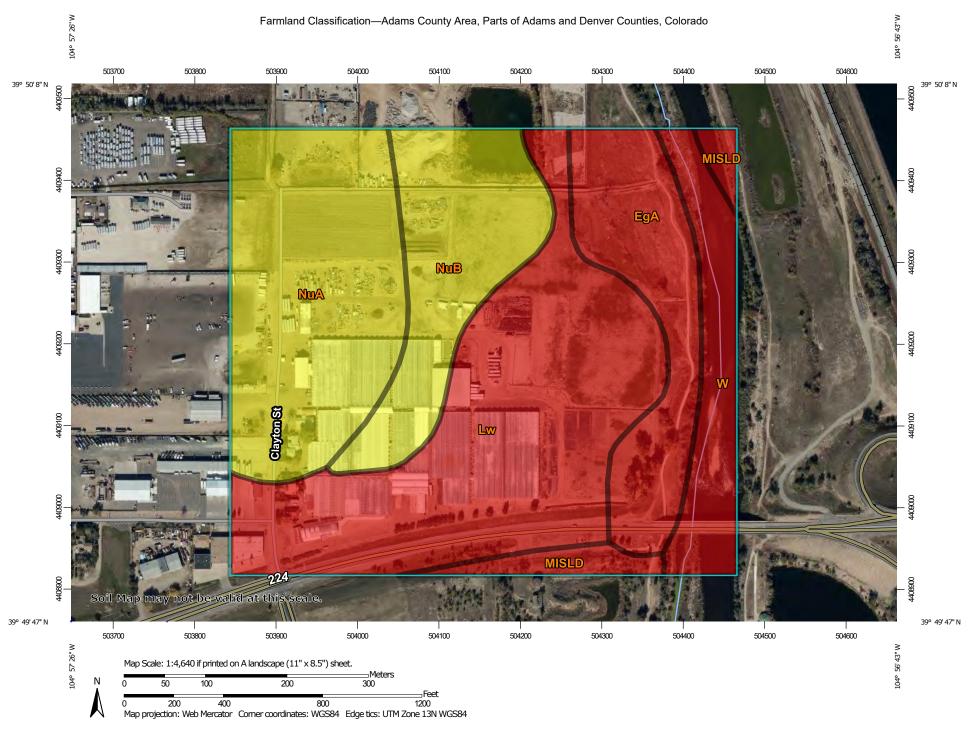




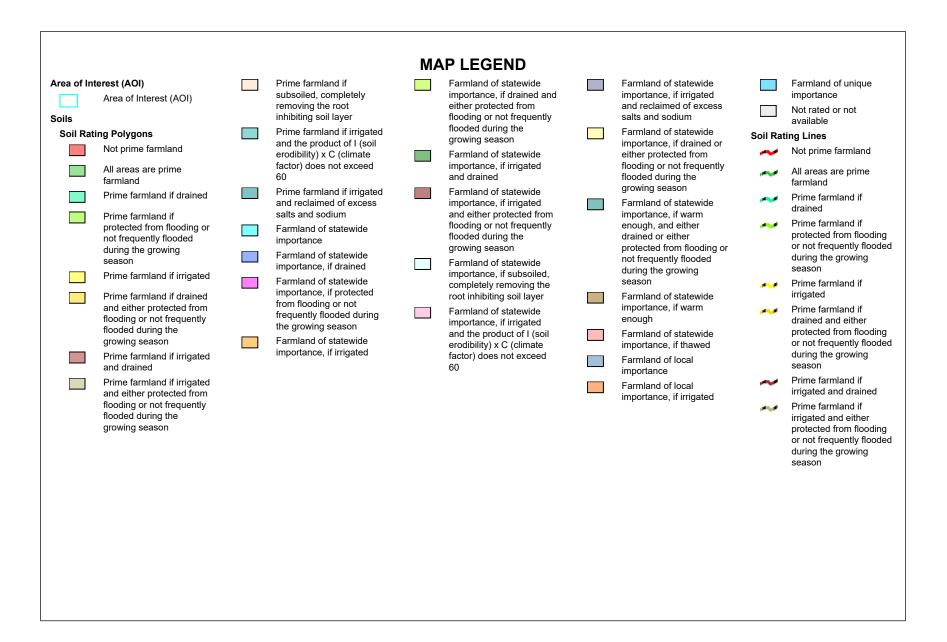
Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI	
EgA	Ellicott-Glenberg complex, 0 to 3 percent slopes, occasionally flooded	6.4	12.9%	
Lw	Loamy alluvial land, moderately wet	21.6	43.8%	
NuA	Nunn clay loam, 0 to 1 percent slopes	11.8	24.0%	
NuB	Nunn clay loam, 1 to 3 percent slopes	9.5	19.3%	
Totals for Area of Interest		49.2	100.0%	





USDA Natural Resources Conservation Service Web Soil Survey National Cooperative Soil Survey



- Prime farmland if 1 A subsoiled, completely removing the root inhibiting soil layer
- Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60
- Prime farmland if irrigated and reclaimed of excess salts and sodium
- Farmland of statewide importance
- Farmland of statewide importance, if drained
- Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season
- Farmland of statewide importance, if irrigated

- Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the
- arowing season Farmland of statewide importance, if irrigated and drained

100

- Farmland of statewide 100 importance, if irrigated and either protected from flooding or not frequently flooded during the growing season Farmland of statewide a 🖬 importance, if subsoiled.
- completely removing the root inhibiting soil layer Farmland of statewide 100 importance, if irrigated

and the product of I (soil erodibility) x C (climate factor) does not exceed 60

- Farmland of statewide الجريدا الم importance, if irrigated and reclaimed of excess salts and sodium
- Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season
- Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season
- Farmland of statewide importance, if warm enough
- Farmland of statewide 1990 B importance, if thawed
- Farmland of local importance
- Farmland of local importance, if irrigated

- Farmland of unique importance Not rated or not available an ai Soil Rating Points
 - Not prime farmland

- All areas are prime farmland
- Prime farmland if drained
- Prime farmland if protected from flooding or not frequently flooded during the growing season
- Prime farmland if irrigated
- Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season
- Prime farmland if irrigated and drained
- Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season

- Prime farmland if subsoiled, completely removing the root inhibiting soil layer
- Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60
- Prime farmland if irrigated and reclaimed of excess salts and sodium
- Farmland of statewide importance
- Farmland of statewide importance, if drained
- Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season
- Farmland of statewide importance, if irrigated



	Farmland of statewide importance, if drained and either protected from flooding or not frequently		Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium		Farmland of unique importance Not rated or not available	The soil surveys that comprise your AOI were mapped at 1:20,000.
flooded during the growing season		Farmland of statewide importance, if drained or	Water Fea		Warning: Soil Map may not be valid at this scale. Enlargement of maps beyond the scale of mapping can cause	
	Farmland of statewide		either protected from	~	Streams and Canals	misunderstanding of the detail of mapping and accuracy of soil
	importance, if irrigated and drained		flooding or not frequently flooded during the	Transporta	Rails	line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed
	Farmland of statewide importance, if irrigated		growing season Farmland of statewide	~	Interstate Highways	scale.
	and either protected from flooding or not frequently	_	importance, if warm enough, and either	~	US Routes	Please rely on the bar scale on each map sheet for map
	flooded during the growing season		drained or either protected from flooding or	~	Major Roads	measurements.
	Farmland of statewide	nland of statewide not frequently flooded		~	Local Roads	Source of Map: Natural Resources Conservation Service Web Soil Survey URL:
	importance, if subsoiled, completely removing the		season	Backgrou		Coordinate System: Web Mercator (EPSG:3857)
 root inhibiting soil layer Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate 	Farmland of statewide		Farmland of statewide importance, if warm enough	and the second s	Aerial Photography	Maps from the Web Soil Survey are based on the Web Mercato projection, which preserves direction and shape but distorts
		d the product of I (soil dibility) x C (climate stor) does not exceed Farmland of statewide importance, if thawed	Farmland of statewide			distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more
	factor) does not exceed		Farmland of local			accurate calculations of distance or area are required.
					This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.	
					Soil Survey Area: Adams County Area, Parts of Adams and Denver Counties, Colorado Survey Area Data: Version 15, Sep 13, 2018	
				Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.		
			Date(s) aerial images were photographed: Oct 20, 2018—Oct 26, 2018			
						The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.



Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
EgA	Ellicott-Glenberg complex, 0 to 3 percent slopes, occasionally flooded	Not prime farmland	11.8	14.0%
Lw	Loamy alluvial land, moderately wet	Not prime farmland	29.2	34.5%
MISLD	Gravel pits	Not prime farmland	2.7	3.2%
NuA	Nunn clay loam, 0 to 1 percent slopes	Prime farmland if irrigated	20.7	24.5%
NuB	Nunn clay loam, 1 to 3 percent slopes	Prime farmland if irrigated	12.7	15.0%
W	Water	Not prime farmland	7.4	8.8%
Totals for Area of Intere	est	84.5	100.0%	

Farmland Classification

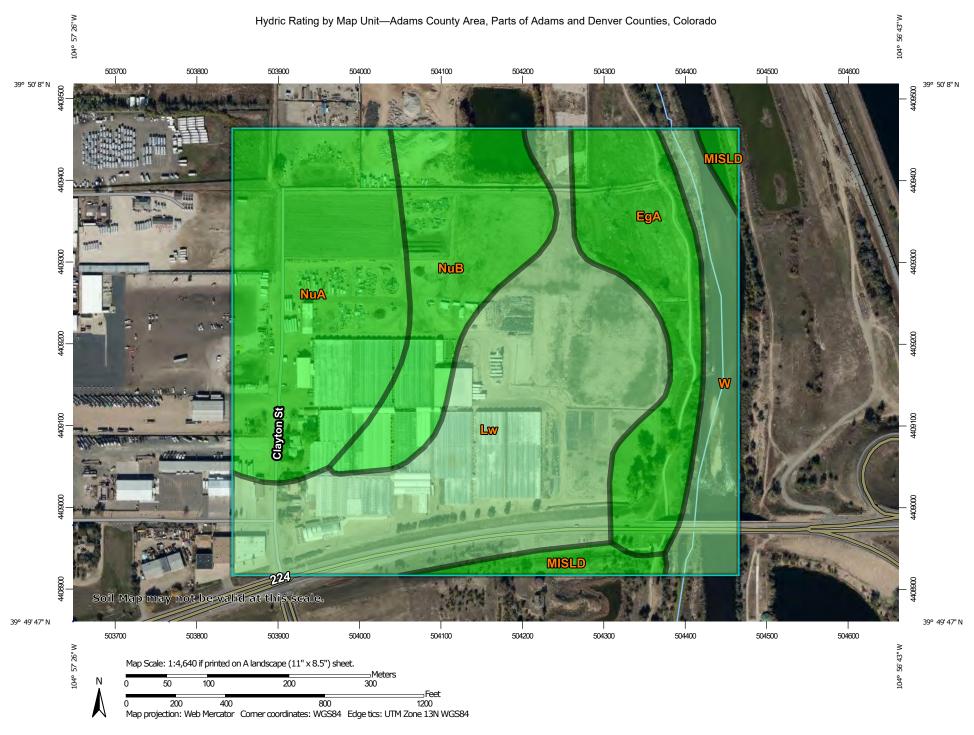
Description

Farmland classification identifies map units as prime farmland, farmland of statewide importance, farmland of local importance, or unique farmland. It identifies the location and extent of the soils that are best suited to food, feed, fiber, forage, and oilseed crops. NRCS policy and procedures on prime and unique farmlands are published in the "Federal Register," Vol. 43, No. 21, January 31, 1978.

Rating Options

Aggregation Method: No Aggregation Necessary

Tie-break Rule: Lower



USDA Natural Resources Conservation Service Web Soil Survey National Cooperative Soil Survey

MAP LEGEND MAP INFORMATION The soil surveys that comprise your AOI were mapped at Area of Interest (AOI) Transportation 1:20.000. Area of Interest (AOI) Rails ++++ Soils Interstate Highways Warning: Soil Map may not be valid at this scale. Soil Rating Polygons US Routes \sim Enlargement of maps beyond the scale of mapping can cause Hydric (100%) misunderstanding of the detail of mapping and accuracy of soil Major Roads line placement. The maps do not show the small areas of Hydric (66 to 99%) contrasting soils that could have been shown at a more detailed Local Roads \sim Hydric (33 to 65%) scale. Background Hydric (1 to 32%) Aerial Photography Please rely on the bar scale on each map sheet for map Not Hydric (0%) measurements. Not rated or not available Source of Map: Natural Resources Conservation Service Web Soil Survey URL: Soil Rating Lines Coordinate System: Web Mercator (EPSG:3857) Hydric (100%) -Maps from the Web Soil Survey are based on the Web Mercator Hydric (66 to 99%) projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Hydric (33 to 65%) Albers equal-area conic projection, should be used if more Hydric (1 to 32%) accurate calculations of distance or area are required. Not Hydric (0%) This product is generated from the USDA-NRCS certified data as of the version date(s) listed below. Not rated or not available Soil Survey Area: Adams County Area, Parts of Adams and Soil Rating Points Denver Counties, Colorado Hydric (100%) Survey Area Data: Version 15, Sep 13, 2018 Hydric (66 to 99%) Soil map units are labeled (as space allows) for map scales 1:50.000 or larger. Hydric (33 to 65%) Date(s) aerial images were photographed: Oct 20, 2018—Oct Hydric (1 to 32%) 26, 2018 Not Hydric (0%) The orthophoto or other base map on which the soil lines were Not rated or not available compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor Water Features shifting of map unit boundaries may be evident. Streams and Canals

Hydric Rating by Map Unit—Adams County Area, Parts of Adams and Denver Counties, Colorado



Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
EgA	Ellicott-Glenberg complex, 0 to 3 percent slopes, occasionally flooded	0	11.8	14.0%
Lw	Loamy alluvial land, moderately wet	6	29.2	34.5%
MISLD	Gravel pits	0	2.7	3.2%
NuA	Nunn clay loam, 0 to 1 percent slopes	0	20.7	24.5%
NuB	Nunn clay loam, 1 to 3 percent slopes	0	12.7	15.0%
W	Water	10	7.4	8.8%
Totals for Area of Interest			84.5	100.0%

Hydric Rating by Map Unit

Description

This rating indicates the percentage of map units that meets the criteria for hydric soils. Map units are composed of one or more map unit components or soil types, each of which is rated as hydric soil or not hydric. Map units that are made up dominantly of hydric soils may have small areas of minor nonhydric components in the higher positions on the landform, and map units that are made up dominantly of nonhydric soils may have small areas of minor hydric components in the lower positions on the landform. Each map unit is rated based on its respective components and the percentage of each component within the map unit.

The thematic map is color coded based on the composition of hydric components. The five color classes are separated as 100 percent hydric components, 66 to 99 percent hydric components, 33 to 65 percent hydric components, 1 to 32 percent hydric components, and less than one percent hydric components.

In Web Soil Survey, the Summary by Map Unit table that is displayed below the map pane contains a column named 'Rating'. In this column the percentage of each map unit that is classified as hydric is displayed.

Hydric soils are defined by the National Technical Committee for Hydric Soils (NTCHS) as soils that formed under conditions of saturation, flooding, or ponding long enough during the growing season to develop anaerobic conditions in the upper part (Federal Register, 1994). Under natural conditions, these soils are either saturated or inundated long enough during the growing season to support the growth and reproduction of hydrophytic vegetation.

The NTCHS definition identifies general soil properties that are associated with wetness. In order to determine whether a specific soil is a hydric soil or nonhydric soil, however, more specific information, such as information about the depth and duration of the water table, is needed. Thus, criteria that identify those estimated soil properties unique to hydric soils have been established (Federal Register, 2002). These criteria are used to identify map unit components that normally are associated with wetlands. The criteria used are selected estimated soil properties that are described in "Soil Taxonomy" (Soil Survey Staff, 1999) and "Keys to Soil Taxonomy" (Soil Survey Staff, 1993).

If soils are wet enough for a long enough period of time to be considered hydric, they should exhibit certain properties that can be easily observed in the field. These visible properties are indicators of hydric soils. The indicators used to make onsite determinations of hydric soils are specified in "Field Indicators of Hydric Soils in the United States" (Hurt and Vasilas, 2006).

References:

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Soil Survey Staff. 2006. Keys to soil taxonomy. 10th edition. U.S. Department of Agriculture, Natural Resources Conservation Service.

Rating Options

Aggregation Method: Percent Present Component Percent Cutoff: None Specified Tie-break Rule: Lower



GES-31 WELL CONSTRUCTION AND TEST F GES-31 STATE OF COLORADO, OFFICE OF THE STATE		sa only		
1. WELL PERMIT NUMBER 185448	MR 2 2 '95			
2. OWNER NAME(S) North Unlie Bink 10 ENTRO Cons. Mailing Address 1919, 142 Street, Suite 410 City, St. Zip <u>Boulder</u> , 10 Euso2 Phone (303) 2449-0160	Hing Group Hing Group Hind Ke ENVELNEER			
3. WELL LOCATION AS DRILLED: Not 1/4 GW 1/4, Sec. 16 Twp. 2 6, Range 68 W. DISTANCES FROM SEC. LINES: 2230_ft. from Suth Sec. line. and 1600_ft. from West Sec. line. OR (north or south) SUBDIVISION:LOTBLOCKFILING(UNIT)				
4. GROUND SURFACE ELEVATIONft. DRI				
	PTH 25 tt. DEPTH COMP			
5. GEOLOGIC LOG: Depth Description of Material (Type, Size, Color, Water Location)	6. HOLE DIAM. (in.) From (ft)	To (ft)		
C-5 Clarge Savel				
5-10 Ch; Such clay; durk brown, very fire to theil graded, mal plustricty MW107	7. PLAIN CASING OD (in) Kind Wall Size 2	From(ft) To(ft)		
10-15 SP- Frank Sand; med breng very				
fire to general graded; must be ted abundant generals / rabbies, mover	PERF. CASING: Screen Slot S	ize: 0.01		
15-25 126; (sough sand good prom-				
ned suched; saturted @ 17'				
- Planny Sarels when bit pulled @ 25'	Material Sud	PACKER PLACEMENT:		
H30 & TT belue arade	Size <u>/0-20</u> Interval <u>//-25</u> Di	epth		
	10. GROUTING RECORD:			
REMARKS;	A / /	nterval Placement		
Dreveluster Mentery Well Only		0-120 Granty		
11. DISINFECTION: Type XA Amt. Used XA				
12 WELL TEST DATA: Check box if Test Data is submitted on Supplemental Form. TESTING METHOD				
Pumping levelft. Date/Time measured Remarks	, resciengui	(''''''')'		
13. I have read the statements made herein and know the contents thereof, and that they are true to my knowledge. [Pursuant to Section 24-4-104 (13)(a) C.R.S., the making of false statements herein constitutes perjury in the second degree and is punishable as a class 1 misdemeanor.] CONTRACTOR ENPRY CONSTRUCTION FOR CONSTRUCTION (33) 449-0160 Lic. No.				
Mailing Address 1919 147 St. July 410 Baller, O Ex302				
Name/Title (Please type or print) Signature	in	Date 3/20/55		

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TOL OF THE STATE ENGINEER COLORADO DIVISION OF WATER RESOURCES

818 Centennial Bldg., 1313 Sherman St., Denver, Colorado 80203 (303) 866-3581

			AUTH	
	WELL PERMIT NUM	IBER 185448		
APPLICANT	DIV. 1 CNTY.	1 WD 2 DES. BASIN	MD	
	Lot: Block: Filing: Subdiv:			
		APPROVED WELL LOCATION ADAMS COUNTY		
NORTH VALLEY BANK		NE 1/4 SW 1/4	Section 36	
% ENPRO CONSULTING GROU	UP	Twp 2 S RANGE 68	W 6th P.M.	
1919 14TH ST STE 410 BOULDER CO 80302		DISTANCES FROM SECTION		
(303)449-0180		2230 Ft. from South 1800 Ft. from West	Section Line Section Line	
PERMIT TO CONSTRUCT A WELL				
ISSUANCE	OF THIS PERMIT DOES NO CONDITIONS OF AP	OT CONFER A WATER RIGHT		
 This well shall be used in such a v permit does not assure the applic owner of a vested water right from 	cant that no injury will occu	ir to another vested water right c		
2 CCR 402-2, unless approval of Construction and Pump Installatio	2) The construction of this well shall be in compliance with the Water Well Construction and Pump Installation Rules 2 CCR 402-2, unless approval of a variance has been granted by the State Board of Examiners of Water Well Construction and Pump Installation Contractors in accordance with Rule 17.			
3) Approved pursuant to CRS 37-92- limited to monitoring water levels			Use of this well is	
 This well must be equipped with a open well. The well must be kept 			sible hazards as an	
5) Records of water level measurem submitted to the Division of Water		nalyses shall be maintained by t	he well owner and	
 Upon conclusion of the monitoring the Water Well Construction and submitted to the Division of Water 	Pump Installation Rules.	An abandonment report must		
7) The owner shall mark the well in a and shall take necessary means a			uifer as appropriate,	
8) This well must be constructed by according to the Water Well Const			uthorized individual	
9) A well completion report including lithologic log must be submitted by the individual authorized to construct the well. For non-standard construction the report must include an as-built drawing showing details such as depth, casing, perforated zones, and a description of the grouting type and interval. This well was acknowledged for construction under monitoring hole notice MH-24779A dated November 7, 1994. This well is known as MW-2.				
10) This well shall be constructed not	t more than 200 feet from t	he location specified on this peri	nit. MIS 3-135-95	
APPROVED //	ρ.			
MAS HALD.	Simper	Megan Sui	lutur	
State Engineer Receipt No. 0381185F	DATE ISSUED MAR 1	5 1995 EXPIRATION DATE	MAR 1 6 1997	

		Orig. All a million
ر د م		OF WATER RESOURCES man St., Denver, Colorado 80203 RECENED
	Application must	ICATION FORM MAR 01 '95
	be complete where () A PERMIT TO U	CONSTRUCT A WELL
	or erasures unless () REPLACEMENT initialed. () OTHER	CASE NO 85448
	(1) APPLICANT - mailing address	FOR OFFICE USE ONLY: DO NOT WRITE IN THIS COLUMN
	No. R. Volley Bank NAME Sto ENPRO Consulting Graves, Inc.	Receipt No. <u>38/185-F</u>
	STREET 1919 141th Street, Suite 4110	Basin Dist
	CITY Boulder 10 E0302	CONDITIONS OF APPROVAL
	TELEPHONE NO. (303) 4449-0160	This well shall be used in such a way as to cause
	(2) LOCATION OF PROPOSED WELL	no material injury to existing water rights. The issuance of the permit does not assure the applicant
\checkmark	County_Adams	that no injury will occur to another vested water right or preclude another owner of a vested water right from seeking relief in a civil court action.
	1/E ¼ of the <u>Str</u> ¼, Section <u>36</u>	MH - 24779
	Twp. 2 5 , Rng. 68 ω , 642 P.M.	
	(3) WATER USE AND WELL DATA	
/	Proposed maximum pumping rate (gpm)	
	Average annual amount of ground water to be appropriated (acre-feet):	
	Number of acres to be irrigated:	
	Proposed total depth (feet):2&	
	Aquifer ground water is to be obtained from:	
	Owner's well designation $MW-2$	
	GROUND WATER TO BE USED FOR:	
	 () HOUSEHOLD USE ONLY - no irrigation (0) () DOMESTIC (1) () LIVESTOCK (2) () COMMERCIAL (4) () MUNICIPAL (8) 	
/	(X) OTHER (9) <u>Severelymeter</u> <u>Monitority</u> DETAIL THE USE ON BACK IN (11)	APPLICATION APPROVED
-		PERMIT NUMBER
	(4) <u>DRILLER</u>	DATE ISSUED
	Name Site Services, Inc.	EXPIRATION DATE
	Street 15097 West 61476 Arc City Sallier 10 80403	
	(State) (Zip)	(STATE ENGINEER)
	Telephone No.223-0009 Lic. No	I.D COUNTY_0/02

(5) THE LOCATION OF THE PROPOSED WELL and the area on (6) THE WELL MUST BE LOCATED BELOW which the water will be used must be indicated on the diagram below. by distances from section lines. Use the CENTER SECTION (1 section, 640 acres) for the well location. 2230____ft_from __ _sec. line/ south) ft. from _ Lorg T (east or west) 1 MILE, 5280 FEET _sec.line ++ ╈ _BLOCK _____FILING # ___ LOT SUBDIVISION _ NORTH SECTION LINE (7) TRACT ON WHICH WELL WILL BE LOCATED Owner: Brannen 5+6 6mpany NORTH , -+-22 _____. Will this be SECTION LIN No. of acres ____ SEC the only well on this tract? _______ TION (8) PROPOSED_CASING_PROGRAM NEST Plain Casing nw-Z .in. from _____ __ft. to____ ._____ ft. Perforated casing SOUTH SECTION LINE 4 _ in. from ______ ft. to ______ ft. (9) FOR REPLACEMENT WELLS give distance and direction from old well and plans for plugging it: The scale of the diagram is 2 inches = 1 mile Each small square represents 40 acres. WATER EQUIVALENTS TABLE (Rounded Figures) An acre-foot covers 1 acre of land 1 foot deep 1 cubic foot per second (cfs) . 449 gallons per minute (gpm) A family of 5 will require approximately 1 acre-foot of water per year. 1 acre-foot . . . 43,560 cubic feet . . . 325,900 gallons. 1,000 gpm pumped continuously for one day produces 4.42 acre-feet. (10) LAND ON WHICH GROUND WATER WILL BE USED: (ompany Brannan Owner(s): No. of acres: Legal description: Ker Mon NEYA SWY4 36. T25 Suter REEN (11) DETAILED DESCRIPTION of the use of ground water: Household use and domestic wells must indicate type of disposal system to be used. Congraption USe lan (12) OTHER WATER RIGHTS used on this land, including wells. Give Registration and Water Court Case Numbers. Type or right Used for (purpose) Description of land on which used (13) THE ARPLICANT (S) STATE (S) THAT THE INFORMATION SET FORTH HEREON IS TRUE TO THE BEST OF HIS KNOWLEDGE. 1 c U SIGNATURE OF APPLICANTISI ENPRO Consulting Group, Inc. IGRA 165th St. Suite 410 Use additional sheets of paper if more space is required.

Community & Economic Development Department

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000 Brighton, CO 80601-8204 PHONE 720.523.6800 FAX 720.523.6998

Development Review Team Comments

Date: 10/4/2019 Project Number: PRC2019-00005 Project Name: PROJECT FLATIRON

Commenting Division: Plan Coordination 3rd Review Name of Reviewer: Greg Barnes Date: 09/12/2019 Email: gjbarnes@adcogov.org

Pending Public Hearing

Commenting Division: ROW Review 3rd Review Name of Reviewer: Marissa Hillje Date: 09/11/2019 Email: mhillje@adcogov.org

Complete

ROW1: The applicant has addressed all ROW comments and redlines for the preliminary plat.

Eva J. Henry DISTRICT 1

BOARD OF COUNTY COMMISSIONERS Charles "Chaz" Tedesco

DISTRICT 2

Emma Pinter DISTRICT 3

Steve O'Dorisio DISTRICT 4

Mary Hodge DISTRICT 5

Page 1 of 10

Commenting Division: Environmental Analyst Review 3rd Review

Name of Reviewer: Katie Keefe

Date: 09/06/2019

Email:

Complete

ENV1: Applicant provided sufficient Resources Review for portions of site covered by Natural Resource Conservation Overlay demonstrating development will not impact sensitive natural and cultural resources. ENV2: All development within the NRCO must comply with applicable buffer/setback requirements outlined in section 4-11-02-04-02.

Commenting Division: Application Intake 3rd Review Name of Reviewer: Kevin Mills Date: 09/06/2019 Email: Complete

Commenting Division: Plan Coordination 2nd Review Name of Reviewer: Libby Tart-Schoenfelder Date: 08/28/2019 Email: Resubmittal Required

Commenting Division: Planner Review 2nd Review

Name of Reviewer: Libby Tart-Schoenfelder

Date: 08/28/2019

Email:

Resubmittal Required

PLN1. REQUEST

1.) Preliminary Subdivision Plat to combine seven parcels and one outlot into one lot on 33.712 acres, and 2) Rezone the 33.712 acres from Agriculture-1 (A-1) and Residential-1-C (R-1-C) to an Industrial-1 (I-1) zone district.

PLN2. COMPREHENSIVE PLAN:

a. Site is designated as Mixed Use Employment. Per Imagine Adams County, "Mixed Use Employment allows a mixture of employment uses, including offices, retail, and clean, indoor manufacturing, distribution, warehousing, and airport and technology uses."

b. The site is in the Welby Subarea Neighborhood. Please cross-reference the Welby Plan at this link: http://www.adcogov.org/documents/welby. Per the Comprehensive Plan, "some existing Mixed-Use Employment areas, such as the Welby area, contain pockets of existing residential and agricultural uses. In these locations, some additional residential may be appropriate. Nonresidential development in these locations should incorporate buffering and other mitigation tools to reduce impacts between dissimilar uses".

PLN3. SITE LOCATION/ ZONING:

a. 2761 East 74th Avenue / 0171936304001, 0171936304002, 0171936304003, 0171936304004, 0171026204005, 0171026204006, 0171026204007

0171936304005, 0171936304006, 0171936304007

b. The subject property is currently designated Agriculture-1 and R-1-C.

PLN4. COMMENTS:

The applicant "noted" several important items that are from our additional referral agencies (see below for highlighted needs). The items "noted" did not reference further evidence about the water supply or sewage disposal system. Preliminary plat criteria in #4 and #5 indicate #4 "The applicant has provided evidence that a sufficient water supply has been acquired in terms of quality, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards". #5 "The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that such system complies with state and local laws and regulations". Please submit these items and provide specific responses on the items that several of these agencies requested from the initial referral.

Preliminary Plat Application Materials

Please update the letter of introduction in the Preliminary Plat to include additional information about the preliminary plat – it appears that your cover sheet for the plat in the sheet set outlines the purpose for the preliminary plat but this letter does not go into detail about the purpose of the request. Please add an extra sentence or two.

Concept Plan Materials

Please ensure your concept plan meets the following:

- Landscape requirements adjacent to residential/agricultural zoning (A-1 zone districts) Buffer "D", per Chapter 4 of the Adams County Development Standards and Regulations (Section 4-16-06).
- 10% of overall open space on the property (Section 4-16-07)
- Street frontage landscaping requirements (Section 4-16-07-01) pick one of the landscape options for public road right-of-way
- Provide for a garbage area to be in compliance with Section 4-10-01-03-08 of the Code for screening.

Thank you for updating the signatures in the cover sheet. The preliminary plat sheet set needs a signatory block for the County Attorney.

Commenting Division: Environmental Analyst Review 2nd Review

Name of Reviewer: Katie Keefe

Date: 08/27/2019

Email:

Resubmittal Required

Commenting Division: ROW Review 2nd Review

Name of Reviewer: Marissa Hillje

Date: 08/20/2019

Email: mhillje@adcogov.org

Resubmittal Required

ROW1: The line types need a revision. It is difficult to tell the difference between easement/ floodplain etc. See redlines

ROW2: The outlot A was never dedicated to the County therefore there is not a vacation here. Revise label.

ROW3: Reconsider whether or not the existing parcel lines need to be shown. The amount of parcel lines make it difficult to read and the other labeling overlap the lines which makes the parcel linework unnecessary and ineffective.

ROW4: There are easement lines shown but no labeling of what the easement is for. Is this access? The County will require a note/statement on what the purpose of the easement is and who is responsible for maintaining it etc.

ROW5: The title report submitted in the last review listed several easements that are not shown on this plat. The easements that exist need to be labeled and shown.

ROW6: See redlines attached.

Commenting Division: Environmental Analyst Review 2nd Review

Name of Reviewer: Katie Keefe

Date: 08/19/2019

Email:

Comment

ENV1: Note for future development, the western one-third of the northwest parcel is covered by the Natural Resource Conservation Overlay, which aims to protect riparian areas and wildlife habitat. A Resources Review following the methodology outlined in 4-11-02-03-04 must be completed by a qualified professional for land use development projects proposing to disturb more than 1-acre of undeveloped land within the NRCO.

ENV2: All development within the NRCO must comply with applicable buffer/setback requirements outlined in section 4-11-02-04-02.

Commenting Division: Application Intake 2nd Review Name of Reviewer: Kevin Mills Date: 08/01/2019 Email:

Complete

Commenting Division: Development Engineering Review

Name of Reviewer: Matthew Emmens

Date: 07/22/2019

Email: memmens@adcogov.org

Complete

Comments too big for Accela Workflow. See doc #5964099.

Commenting Division: Environmental Analyst Review Name of Reviewer: Katie Keefe Date: 07/05/2019 Email:

Resubmittal Required

Commenting Division: Planner Review

Name of Reviewer: Libby Tart-Schoenfelder

Date: 07/12/2019

Email:

Resubmittal Required

PLN1. REQUEST

1.) Preliminary Subdivision Plat to combine seven parcels and one outlot into one lot on 33.712 acres, and 2) Rezone the 33.712 acres from Agriculture-1 (A-1) and Residential-1-C (R-1-C) to an Industrial-1 (I-1) zone district.

PLN2. COMPREHENSIVE PLAN:

a. Site is designated as Mixed Use Employment. Per Imagine Adams County, "Mixed Use Employment allows a mixture of employment uses, including offices, retail, and clean, indoor manufacturing, distribution, warehousing, and airport and technology uses."

b. The site is in the Welby Subarea Neighborhood. Please cross-reference the Welby Plan at this link: http://www.adcogov.org/documents/welby. Per the Comprehensive Plan, "some existing Mixed-Use Employment areas, such as the Welby area, contain pockets of existing residential and agricultural uses. In these locations, some additional residential may be appropriate. Nonresidential development in these locations should incorporate buffering and other mitigation tools to reduce impacts between dissimilar uses".

PLN3. SITE LOCATION/ ZONING:

a. 2761 East 74th Avenue / 0171936304001, 0171936304002, 0171936304003, 0171936304004, 0171936304005, 0171936304006, 0171936304007

b. The subject property is currently designated Agriculture-1 and R-1-C.

PLN4. COMMENTS:

Due to the large number of files with each application, please tab off and/or bookmark each section so that reviewers can find the items they are reviewing (i.e. letter of explanation, preliminary plat, erosion control plan, title policy, drainage report, etc.).

Preliminary Plat Application Materials

Please update the letter of introduction in the Preliminary Plat to include only pertinent information about the preliminary plat. The applicant can certainly provide a few sentences about their development's intentions but the review for staff and both public hearing bodies concerns meeting the criteria for approval for a rezone and a preliminary plat. This will be followed by a separate application for a final plat and subdivision improvements agreement.

Per Section 2-02-17-03-04 of the Preliminary Plat Criteria for Approval #9, the applicant's proposed subdivision shall demonstrate an adequate level of compatibility by following the criteria of a-e of this section. The applicant should label the site plan provided as "conceptual site plan" and ensure the conceptual site plan demonstrates adherance with the I-1 zone district standards for setbacks, overall % of

landscaping/open space/buffers, parking, fence screening for any outdoor storage, etc. Label and dimension the sidewalks and fire lanes.

Please relabel the plat sheet set to state "Preliminary Plat" in lieu of the current "Final Plat" label on the cover sheet.

The preliminary plat sheet set needs signatory blocks for Planning Commission and the Board of County Commissioners. Please let your case manager know if you need an example of these signature blocks.

Rezone Application Materials

Please update the letter of introduction in the Rezone application to include only pertinent information about the rezone. The applicant can certainly provide a few sentences about their development's intentions but the review for staff and both public hearing bodies concerns meeting the criteria for approval for a rezone and a preliminary plat.

Please remove the plat sheet set in the rezone application materials packet. An overall map explaining the zoning would be helpful within the rezone packet of materials.

Commenting Division: Environmental Analyst Review

Name of Reviewer: Katie Keefe Date: 07/10/2019 Email:

Comment

ENV1: Note for future development, the western one-third of the northwest parcel is covered by the Natural Resource Conservation Overlay, which aims to protect riparian areas and wildlife habitat. A Resources Review following the methodology outlined in 4-11-02-03-04 must be completed by a qualified professional for land use development projects proposing to disturb more than 1-acre of undeveloped land within the NRCO.

ENV2: All development within the NRCO must comply with applicable buffer/setback requirements outlined in section 4-11-02-04-02.

Commenting Division: Environmental Analyst Review

Name of Reviewer: Katie Keefe Date: 07/01/2019 Email:

Comment

ENV1: Note for future development, the western one-third of the northwest parcel is covered by the Natural Resource Conservation Overly, which aims to protect riparian areas and wildlife habitat. A Resources Review following the methodology outlined in 4-11-02-03-04 must be completed by a qualified professional for land use development projects proposing to disturb more than 1-acre of land within the NRCO.

ENV2: All development within the NRCO must comply with applicable buffer/setback requirements outlined in section 4-11-02-04-02.

Commenting Division: Environmental Analyst Review

Name of Reviewer: Katie Keefe

Date: 07/02/2019

Email:

Comment

ENV1: Note for future development, the western one-third of the northwest parcel is covered by the Natural Resource Conservation Overly, which aims to protect riparian areas and wildlife habitat. A Resources Review following the methodology outlined in 4-11-02-03-04 must be completed by a qualified professional for land use development projects proposing to disturb more than 1-acre of undeveloped land within the NRCO.

ENV2: All development within the NRCO must comply with applicable buffer/setback requirements outlined in section 4-11-02-04-02.

Commenting Division: ROW Review

Name of Reviewer: Marissa Hillje

Date: 06/07/2019

Email: mhillje@adcogov.org

Resubmittal Required

ROW1. Revise Property Description: An accurate and clear property (legal) description of the overall boundary of the subdivision with the acreage of the subdivision. All courses in the property (legal) description shall be shown and labeled on the plat drawing, with all bearings having the same direction as called out in the legal description. The only exception being where more than one description is required, going a different direction over the same course. The direction shall then hold for the description having more weight (i.e., the overall boundary) for purposes of the plat. If both record and "as-measured" dimensions are being used, show both and clearly label on the plat drawing. Point of commencement and/or point of beginning shall be clearly labeled on the plat drawing.

ROW2. This may be needed if easements are being dedicated. Easement Statement: Six-foot (6') wide utility easements are hereby dedicated on private property adjacent to the front lot lines of each lot in the subdivision. In addition, eight-foot (8') wide dry utility easements are hereby dedicated around the perimeter of tracts, parcels and/or open space areas. These easements are dedicated to Adams County for the benefit of the applicable utility providers for the installation, maintenance, and replacement of utilities. Utility easements shall also be granted within any access easements and private streets in the subdivision. Permanent structures, improvements, objects, buildings, wells, water meters and other objects that may interfere with the utility facilities or use thereof (Interfering Objects) shall not be permitted within said utility easements and the utility providers, as grantees, may remove any Interfering Objects at no cost to such grantees, including, without limitation, vegetation.

ROW3. Revise this statement (Add easements if being dedicated) :

Have (Has) by these presents laid out, platted and subdivided the same into a lot, streets and easements as shown on this plat under the name and style of (subdivision name).

ROW5. Add Basis Of Bearing: A clearly defined basis of bearings shall be provided, both verbally and graphically. All monumentation defining said line shall be shown and labeled on the plat drawing. When said line is not common with the subdivision boundary, it shall be accurately tied to the boundary with bearings and distances.

ROW6. Square footage of the ROW dedication for Clayton Street should be labeled.

ROW7. Label the right of way widths in Clayton Street.

ROW8. Add Case # to top right of each page.

ROW9. Add Planning Commission Approval block and BOCC approval block.

ROW10. Remove approval block for Community and Economic Development

ROW11. The County's information, for several of the lots included in this subdivision, has not been updated to reflect the current title information. Please ensure that all deeds conveyed to Welby Gardens Company are recorded. All land should be under the same ownership for signatures on this plat.

ROW12. Outlot A was never dedicated to the County as ROW. It was created for a specific use (temp cul-de-sac) and is owned by the Welby Gardens Company. This outlot can be a portion of the lot in this subdivision. Ensure that title information is updated to reflect this.

ROW13. All easements on the title report should be shown and labeled on the plat.

ROW14: See redlines on plat attached. Additional ROW redlines and comments may be required with subsequent submittals.

Commenting Division: Addressing Review Name of Reviewer: Marissa Hillje Date: 06/07/2019

Email: mhillje@adcogov.org

Complete

Address will be assigned on the final plat

From:	Loeffler - CDOT, Steven
To:	Libby Tart-Schoenfelder
Cc:	Bradley Sheehan - CDOT
Subject:	PRC2019-00005, Project Flatiron
Date:	Monday, July 8, 2019 9:42:37 AM
Attachments:	Project Flatiron-224 comments 6-24-19.pdf

Please be cautious: This email was sent from outside Adams County

Libby,

I have reviewed the referral for Project Flatiron, requesting comments on the Preliminary Subdivision Plat to combine seven parcels and a rezone of the 33.7 acres from A-1 to R-1-C and have no objections.

We had been contacted separately by the developer and have reviewed a traffic study for this development. Our comments for that review are attached.

Thank you for the opportunity to review this referral.

Steve Loeffler Permits Unit- Region 1

?

P 303.757.9891 | F 303.757.9886 2829 W. Howard PI. 2nd Floor, Denver, CO 80204 <u>steven.loeffler@state.co.us</u> | <u>www.codot.gov</u> | <u>www.cotrip.org</u>



September 16, 2019

Greg Barnes Adams County Planning and Development Transmission via email: gjbarnes@adcogov.org

RE: Project Flatiron Case No. PRC2019-00005 Part of the NE ¼ of the SW ¼ Sec. 36, T2S, R68W, 6th P.M. Water Division 1, Water Districts 2 and 7

Dear Mr. Barnes,

We have reviewed the above referenced second referral material received September 6, 2019 for the preliminary subdivision plat to combined seven parcels and one out lot, totaling a combined 33.712 acres, and rezone the 33.712 acres from Agriculture-1 (A-1) and Residential-1-C (R-1-C) to Industrial-1 (I-1). This project proposes to demolish the existing agricultural and residential buildings on the 33.712 acres and construct three warehouse industrial buildings totaling 639,070 square-feet. We have previously provided comments to this project by our letter dated July 9, 2019.

Water Supply Demand

The Water Supply Information Summary Sheet ("Summary Sheet") submitted in this second referral indicates that the water supply demands for this project are 7206 gallons/day or 3.45 acre-feet/year for irrigation use of 1.5 acres and 721 gallons/day or 0.81 acre-feet/year for indoor use for the industrial buildings, totaling 7927 gallons/day or 4.26 acre-feet/year for the entire project.

Source of Water Supply

As indicated in our previous letter, the project is located within the boundaries of the North Washington Street Water and Sanitation District ("District") and the District currently serves the property. A letter of service from the District dated April 3, 2019 was previously provided. The District receives water from Denver Water through master meter contract no. 192. We consider Denver Water a reliable water supplier.

In our previous letter dated July 9, 2019, we indicated that a well operating under permit no. 276438 is located on the property that is subject to this development and indicated that the well must either be re-permitted pursuant to an augmentation plan approved by the water court or else be plugged and abandoned in accordance with the Water Well Construction Rules prior to subdivision approval. According to the information in this second referral well permit no. 276438 will be plug and abandon. The Applicant is hereby notified that a Well Abandonment Report form gws-09.pdf must be submitted to this office to demonstrate that the well was plugged and abandoned.

State Engineer's Office Opinion

Based upon the above and pursuant to Section 30-28-136(1)(h)(I) and Section 30-28-136(1)(h)(II), C.R.S., the State Engineer's office offers the opinion that with the District as the water supplier for this project, the proposed water supply can be provided without causing material injury to existing water rights and the supply is expected to be adequate, **provided well permit no. 276438 is plugged and abandoned in accordance with the Water Well Construction Rules 2-CCR-402-2 prior to this project approval**



PRC2019-00005 September 16, 2019 Page 2 of 2

Should you or the applicant have any questions, please contact Ioana Comaniciu at (303) 866-3581 x8246.

Sincerely, oam /1

Joanna Williams, P.E. Water Resource Engineer

Ec: Subdivision File No. 26556 File for permit no. 276438 1801 Moly Road Golden, Colorado 80401



Karen Berry

State Geologist

September 9, 2019

Greg Barnes Adams County Community and Economic Development 4430 S. Adams County Parkway, Suite W2000A Brighton, CO 80601 Location: NE SW Section 36, T2S, R68W, 6th P.M. 39.8328, -104.9521

Subject: Project Flatiron Resubmittal Case Number PRC2019-00005; Adams County, CO; CGS Unique No. AD-19-0028_2

Dear Greg:

Colorado Geological Survey has reviewed the Project Flatiron resubmittal documents (Ware Malcomb, September 6, 2019). We previously reviewed the proposed Project Flatiron plat on June 26, 2019. No geologic or geotechnical information was included with the current or previous referral documents, although Sheet C3.0, Conceptual Site Plan, refers to a geotechnical report by Ninyo & Moore (March 27, 2019). CGS is available to review this report at the county's request. Otherwise, our previous comments remain valid:

The site does not contain, nor is it exposed to, any geologic hazards that would preclude the proposed subdivision and rezoning. **CGS therefore has no objection to approval of the plat as proposed.**

Mineral resource potential. According to the Atlas of Sand, Gravel, and Quarry Aggregate Resources, Colorado Front Range Counties (Schwochow et al, Colorado Geological Survey Special Publications 5-A, Plate 2, and 5-B, Commerce City Quadrangle, 1974), the subject property appears to be located within a mapped "F1" and/or "T1" resource area. F1 is described as a floodplain deposit, T1 as a stream terrace deposit, both potentially containing a coarse aggregate resource consisting of "Gravel: relatively clean and sound." The NRCS Soil Survey (typically valid for only the uppermost five feet below the ground surface) rates all of the site soils as a poor source of gravel, approximately the northwestern half of the site as a poor source of sand, and the southern and southeastern portion of the site as a good source of sand.

A determination of whether the property contains an economic mineral resource is outside the scope of CGS review. A site-specific investigation would be required to verify the presence or absence of a resource. A small pit is located immediately adjacent to the site's northern boundary; the pit's relatively small size may be an indication that an economically viable resource was not encountered.

Thank you for the opportunity to review and comment on this project. If you have questions or require additional review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely,

Jill Carlson, C.E.G. Engineering Geologist



September 17, 2019

Greg Barnes Adams County Community and Economic Development 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601

RE: Project Flatiron, PRC2019-00005 TCHD Case No. 5840

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the resubmittal of a preliminary subdivision plat to combine 7 parcels and 1 outlot into 1 lot, located at 2761 East 74th Avenue. Tri-County Health Department (TCHD) staff previously reviewed the application and, in a letter dated July 1, 2019, responded with the comments included below. TCHD has no further comments.

Vector Control - Storage

Rodents such as mice and rats carry diseases which can be spread to humans through contact with rodents, rodent feces, urine, or saliva, or through rodent bites. Items stored on the floor, tightly packed, and rarely moved provide potential harborage for rodents. Due to the variety of items to be potentially stored at this site, TCHD recommends that the applicant create a plan for regular pest control. Information on rodent control can be found at http://www.tchd.org/400/Rodent-Control

Building Demolition

Fugitive Dust, Lead, and Asbestos

The application indicates that the existing buildings on the site will be demolished.

The Colorado Department of Public Health and Environment Air Pollution Control Division (APCD) regulates air emissions. State air quality regulations require that precautions be taken prior to demolition of buildings to evaluate the presence of asbestos fibers that may present a health risk. If asbestos is present, actions must be taken to prevent their release into the environment. State regulations also address control of ozone depleting compounds (chlorofluorocarbons) that may be contained in air conditioning or refrigerating equipment. The applicant shall contact the APCD at (303) 692-3100 for more information. Additional information is available at http://www.cdphe.state.co.us/ap/asbestos.

Buildings constructed prior to 1978 may contain lead paint. Environmental Protection Agency's (EPA) 2008 Lead-Based Paint Renovation, Repair and Painting (RRP) Rule (as amended in 2010 and 2011), aims to protect the public from lead-based paint

Project Flatiron September 17, 2019 Page 2 of 2

hazards associated with renovation, repair and painting activities. These activities can create hazardous lead dust when surfaces with lead paint, even from many decades ago, are disturbed. More information can be found here https://www.epa.gov/lead/lead-renovation-repair-and-painting-program-rules and https://www.epa.gov/lead/lead-renovation-repair-and-painting-program-rules and https://www.epa.gov/lead/lead-renovation-repair-and-painting-program-rules and https://www.epa.gov/lead/lead-renovation-repair-and-painting-program-rules and https://www.epa.gov/lead. The applicant may contact, and the Environmental Protection Agency EPA at 1-800-424-5323 for more information.

Vector Control

Rodents such as mice and rats carry diseases which can be spread to humans through contact with rodents, rodent feces, urine, saliva, or through rodent bites. For example, Hantavirus Pulmonary Syndrome (HPS), a rare but potentially lethal viral infection, can be found in the droppings and urine of rodents commonly found in southwestern United States. When buildings are demolished, rodents can spread to surrounding properties and increase the risk of vector exposure to humans. The applicant should plan for vectors and eliminate any known infestations prior to demolition. Information on rodent control can be found at http://www.tchd.org/400/Rodent-Control.

On-Site Wastewater Treatment System (OWTS) – Abandonment

Proper wastewater management promotes effective and responsible water use, protects potable water from contaminants, and provides appropriate collection, treatment, and disposal of waste, which protects public health and the environment. Our records indicate the presence of an On-Site Wastewater Treatment System (OWTS) on the subject property. The existing OWTS shall be abandoned in accordance with Regulation No. O-17, Section 6.8. TCHD must be notified in writing once the system has been properly abandoned. For more information, or to submit the notification, the applicant may contact the TCHD Commerce City Office, 4201 E 72nd Avenue, (303) 288-6816. More information is available at http://www.tchd.org/269/Septic-Systems.

The applicant responded to this comment in a letter dated September 6, 2019.

Please feel free to contact me at 720-200-1575 or <u>kboyer@tchd.org</u> if you have any questions on TCHD's comments.

Sincerely,

KBG_

Kathy Boyer, REHS Land Use and Built Environment Specialist III

cc: Sheila Lynch, Monte Deatrich, TCHD



Right of Way & Permits

1123 West 3rd Avenue Denver, Colorado 80223 Telephone: **303.571.3306** Facsimile: 303. 571. 3284 donna.l.george@xcelenergy.com

September 10, 2019

Adams County Community and Economic Development Department 4430 South Adams County Parkway, 3rd Floor, Suite W3000 Brighton, CO 80601

Attn: Greg Barnes

Re: * AMENDED RESPONSE * Project Flatiron Rezone and Plat - 2nd referral, Case # prc2019-00005

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk acknowledges the requested changes made to the plat for **Project Flatiron** and has no further concerns at this time.

The property owner/developer/contractor must continue working with Frank Grady (Right-of-Way Agent at 303-425-3874) to process any necessary quitclaim deeds.

Donna George Right of Way and Permits Public Service Company of Colorado dba Xcel Energy Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com Community & Economic Development Department Development Services Division

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000B Brighton, CO 80601-8218 PHONE 720.523.6800 FAX 720.523.6967

Request for Comments

Case Name: Project Flatiron Case Number: PRC2019-00005

June 14, 2019

Adams County Planning Commission and the Board of County Commissioners are requesting comments on the following requests:

- 1.) Preliminary Subdivision Plat to combine seven parcels and one outlot into one lot on 33.712 acres, and
- 2) Rezone the 33.712 acres from Agriculture-1 (A-1) and Residential-1-C (R-1-C) to an Industrial-1 (I-1) zone district.

The Assessor's Parcel Numbers are: 0171936304001, 0171936304002, 0171936304003, 0171936304004, 0171936304005, 0171936304006, 0171936304007

Applicant Information:	SunCap Property Group
	1125 17 th Street, Suite 800
	Denver, CO 80202

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216. (720) 523-6858 by **Friday, July 5, 2019** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to Ltart-schoenfelder@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Libby Tart, AICP Case Manager

Eva J. Henry DISTRICT 1 Charles "Chaz" Tedesco

BOARD OF COUNTY COMMISSIONERS

Emma Pinter DISTRICT 3 Steve O'Dorisio DISTRICT 4 Mary Hodge DISTRICT 5 Community & Economic Development Department Development Services Division

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000B Brighton, CO 80601-8218 PHONE 720.523.6800 FAX 720.523.6967

Public Hearing Notification

Case Name: Case Number: Planning Commission Hearing Date: Board of County Commissioners Hearing Date: Project Flatiron PRC2019-00005 10/10/2019 at 6:00 p.m. 10/29/2019 at 9:30 a.m.

September 17, 2019

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following requests:

A request for the following: 1) Preliminary Plat for Major Subdivision to create one lot on 33.7 acres; and 2) Rezoning to an Industrial-1 (I-1) on 33.7 acres.

This request is located at 2761 East 74th Avenue. The Assessor's Parcel Numbers are: 0171936304001, 0171936304002, 0171936304003, 0171936304004, 0171936304005, 0171936304006, 0171936304007

Applicant Information: SUNCAP PROPERTY GROUP

1125 17TH ST STE 800 DENVER, CO 80202

The hearing will be held in the Adams County Hearing Room located at 4430 South Adams County Parkway, Brighton CO 80601-8216. This will be a public hearing and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. If you require any special accommodations (e.g., wheelchair accessibility, an interpreter for the hearing impaired, etc.) please contact the Adams County Community and Economic Development Department at (720) 523-6800 (or if this is a long distance call, please use the County's toll free telephone number at 1-800-824-7842) prior to the meeting date.

For further information regarding this case, please contact the Community and Economic Development Department, 4430 S Adams County Parkway, Brighton, CO 80601, 720-523-6800. This is also the location where maps and/or text certified by the Planning Commission may be viewed. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases. Thank you for your review of this case.

Greg Barnes Planner III

Charles "Chaz" Tedesco

Emma Pinter DISTRICT 3

BOARD OF COUNTY COMMISSIONERS

Steve O'Dorisio DISTRICT 4 Mary Hodge DISTRICT 5

PUBLICATION REQUEST

PROJECT FLATIRON

Case Number:		PRC2019-00005		
Planning Commission Hearing Date:		10/10/2019 at 6:00 p.m.		
Board of County Commissioners Hearing Date:		10/29/2019 at 9:30 a.m.		
Public Hearing Location: 4430 S. Adams County Pkwy., Brighton, CO 80601				
parcels and one ou		ary Subdivision Plat to combine seven and 2) to Rezone the 33.712 acres from Industrial-1 (I-1) zone district.		
Location:	2761 East 74th Avenue			
Parcel Numbers:	0171936304001, 0171936304002	, 0171936304003, 0171936304004,		
0171936304005, 0171936304006, 0171936304007				
Case Manager:	Greg Barnes			
Applicant:	KEVAN O'CONNOR 1125 17TH ST STE 800 DENVER, CO 80202			
Owner:	GERACE ALEX C AND PROVVIDE C/O F AND S TAX CONSULTANTS 7420 CLAYTON ST DENVER, CO 802296602			

A PARCEL OF LAND BEING LOTS 1 AND 2, WELBY GARDEN CENTER SUBDIVISION - AMENDED PLAT, ACCORDING TO THE PLAT RECORDED JUNE 22, 1995 IN PLAT BOOK F17 AT PAGE 383 IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AND LOTS 2, 3, 4, 5, 6, AND OUTLOT A OF WELBY GARDEN CENTER SUBDIVISION, ACCORDING TO THE PLAT RECORDED AUGUST 25, 1994 IN PLAT BOOK F17 AT PAGE 286 IN SAID RECORDS, LOCATED IN THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS.

COMMENCING AT THE NORTHWEST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 36 AND CONSIDERING THE NORTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER TO BEAR NORTH 89°33'45" EAST, WITH ALL BEARINGS HEREIN RELATIVE THERETO, BEING MONUMENTED AS SHOWN HEREON. THENCE NORTH 89°33'45" EAST ALONG SAID NORTH LINE, A DISTANCE OF 30.00 FEET TO THE

POINT OF BEGINNING;

THENCE NORTH 89°33'45" EAST ALONG SAID NORTH LINE, A DISTANCE OF 1,075.71 FEET TO THE WESTERLY LINE OF A PUBLIC SERVICE COMPANY RIGHT-OF-WAY RECORDED AT RECEPTION NUMBER 1962000676207 IN THE RECORDS OF SAID OFFICE;

THENCE SOUTH 00 °10'23" EAST ALONG SAID WESTERLY LINE, A DISTANCE OF 1,277.72 FEET OF

THE NORTHERLY RIGHT-OF-WAY LINE OF STATE HIGHWAY 224 AND A NON-TANGENT CURVE TO THE LEFT;

THENCE ALONG SAID NORTHERLY LINE AND SAID CURVE HAVING A CENTRAL ANGLE OF 10°32'55", A RADIUS OF 5,872.53 FEET, AN ARC LENGTH OF 1,081.18 FEET AND A CHORD THAT BEARS SOUTH 78°37'54" WEST, A DISTANCE OF 1,079.65 FEET TO A POINT OF NON-TANGENCY; THENCE NORTH 53°22'32" WEST ALONG SAID NORTHERLY LINE, A DISTANCE OF 23.87 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY OF CLAYTON STREET;

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY THE FOLLOWING SEVEN COURSES:

1) NORTH 00 °03'46" WEST, A DISTANCE OF 153.08 FEET;

2) NORTH 00 °04'33" WEST, A DISTANCE OF 18.78 FEET TO NON-TANGENT CURVE TO THE LEFT;

3) ALONG SAID CURVE HAVING A CENTRAL ANGLE OF 3 °32'59", A RADIUS OF 545.00 FEET, AN ARC LENGTH OF 33.77 FEET AND A CHORD THAT BEARS NORTH 10 °06'43" WEST, A DISTANCE OF 33.76 FEET TO A NON-TANGENT CURVE TO THE RIGHT;

4) ALONG SAID CURVE HAVING A CENTRAL ANGLE OF 1 °48'21", A RADIUS OF 451.10 FEET, AN ARC LENGTH OF 14.22 FEET AND A CHORD THAT BEARS NORTH 16 °54'18" WEST, A DISTANCE OF 14.22 FEET TO A POINT OF NON-TANGENCY;

5) NORTH 00 °04'33" WEST, A DISTANCE OF 372.80 FEET;

6) NORTH 10°15'55" EAST, A DISTANCE OF 55.70 FEET;

7) NORTH 00 °04'33" WEST, A DISTANCE OF 821.77 FEET TO THE **POINT OF BEGINNING**; SAID PARCEL CONTAINS AND AREA OF 1,474,277 SQUARE FEET OR 33.845 ACRES MORE OR LESS.



Referral Listing Case Number PRC2019-00005 PROJECT FLATIRON

Agency	Contact Information
Adams County Attorney's Office	Christine Fitch CFitch@adcogov.org 4430 S Adams County Pkwy Brighton CO 80601 720-523-6352
Adams County CEDD Addressing	Marissa Hillje PLN 720.523.6837 mhillje@adcogov.org
Adams County CEDD Development Services Engineer	Devt. Services Engineering 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6800
Adams County CEDD Right-of-Way	Marissa Hillje 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6837 mhillje@adcogov.org
Adams County Construction Inspection	Gordon .Stevens 4430 S. Adams County Pkwy Brighton CO 80601 720-523-6965 gstevens@adcogov.org
Adams County Development Services - Building	Justin Blair 4430 S Adams County Pkwy Brighton CO 80601 720-523-6825 JBlair@adcogov.org
Adams County Fire Protection District	Chris Wilder 8055 N. WASHINGTON ST. DENVER CO 80229 (303) 289-4683 cwilder@acfpd.org
Adams County Parks and Open Space Department	Aaron Clark mpedrucci@adcogov.org (303) 637-8005 aclark@adcogov.org
Adams County Sheriff's Office: SO-HQ	Rick Reigenborn (303) 654-1850 rreigenborn@adcogov.org

Agency	Contact Information
Adams County Sheriff's Office: SO-SUB	SCOTT MILLER 720-322-1115 smiller@adcogov.org
Adams County Treasurer	Lisa Culpepper 4430 S Adams County Pkwy Brighton CO 80601 720.523.6166 lculpepper@adcogov.org
CDOT Colorado Department of Transportation	Bradley Sheehan 2829 W. Howard Pl. 2nd Floor Denver CO 80204 303.757.9891 bradley.sheehan@state.co.us
Century Link, Inc	Brandyn Wiedreich 5325 Zuni St, Rm 728 Denver CO 80221 720-578-3724 720-245-0029 brandyn.wiedrich@centurylink.com
Code Compliance Supervisor	Eric Guenther eguenther@adcogov.org 720-523-6856 eguenther@adcogov.org
COLO DIV OF MINING RECLAMATION AND SAFETY	ANTHONY J. WALDRON - SENIOR ENV DEPT. OF NATURAL RESOURCES 1313 SHERMAN ST, #215 DENVER CO 80203 303-866-4926 tony.waldron@state.co.us
COLO DIV OF WATER RESOURCES	Joanna Williams OFFICE OF STATE ENGINEER 1313 SHERMAN ST., ROOM 818 DENVER CO 80203 303-866-3581 joanna.williams@state.co.us
COLO DIV OF WATER RESOURCES	Joanna Williams OFFICE OF STATE ENGINEER 1313 SHERMAN ST., ROOM 818 DENVER CO 80203 303-866-3581 joanna.williams@state.co.us
COLORADO DEPT OF TRANSPORTATION	Steve Loeffler 2000 S. Holly St. Region 1 Denver CO 80222 303-757-9891 steven.loeffler@state.co.us

Agency	Contact Information
COLORADO DIVISION OF WILDLIFE	Serena Rocksund 6060 BROADWAY DENVER CO 80216 3039471798 serena.rocksund@state.co.us
COLORADO DIVISION OF WILDLIFE	Eliza Hunholz Northeast Regional Engineer 6060 BROADWAY DENVER CO 80216-1000 303-291-7454 eliza.hunholz@state.co.us
COLORADO GEOLOGICAL SURVEY	Jill Carlson 1500 Illinois Street Golden CO 80401 303-384-2643 303-384-2655 CGS_LUR@mines.edu
Colorado Geological Survey: CGS_LUR@mines.edu	Jill Carlson Mail CHECK to Jill Carlson 303-384-2643 303-384-2655 CGS_LUR@mines.edu
COMCAST	JOE LOWE 8490 N UMITILLA ST FEDERAL HEIGHTS CO 80260 303-603-5039 thomas_lowe@cable.comcast.com
MAPLETON SCHOOL DISTRICT #1	CHARLOTTE CIANCIO 591 E. 80TH AVE DENVER CO 80229 303-853-1015 charlotte@mapleton.us
METRO WASTEWATER RECLAMATION	CRAIG SIMMONDS 6450 YORK ST. DENVER CO 80229 303-286-3338 CSIMMONDS@MWRD.DST.CO.US
North Washington Street Water & San Dist	Jim James 3172 E 78th Ave Denver CO 80229 303-288-6664 303-594-4392 jjamsey@nwswsd.com
NS - Code Compliance	Kerry Gress kgress@adcogovorg 720.523.6832 kgress@adcogov.org
NS - Code Compliance	Joaquin Flores 720.523.6207 iffores@adcogov.org

Page 3 of 4

jflores@adcogov.org

Agency	Contact Information
REGIONAL TRANSPORTATION DIST.	CHRIS QUINN 1560 BROADWAY SUITE 700 DENVER CO 80202 303-299-2439 chris.quinn@rtd-denver.com
South Adams County Water & San Dist	Abel Moreno 10200 E 102nd Ave Henderson CO 80022 720-206-0590 amoreno@sacwsd.org
UNITED STATES POST OFFICE	MARY C. DOBYNS 56691 E COLFAX AVENUE STRASBURG CO 80136-8115 303-622-9867 mary.c.dobyns@usps.gov
US EPA	Stan Christensen 1595 Wynkoop Street DENVER CO 80202 1-800-227-8917 christensen.stanley@epa.gov
WELBY CITIZEN GROUP	NORMA FRANK 7401 RACE STREET DENVER CO 80229 (303) 288-3152
Xcel Energy	Donna George 1123 W 3rd Ave DENVER CO 80223 303-571-3306 Donna.L.George@xcelenergy.com
Xcel Energy	Donna George 1123 W 3rd Ave DENVER CO 80223 303-571-3306 Donna.L.George@xcelenergy.com

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74TH AVENUE LIMITED PARTNERSHIP 270 SAINT PAUL ST STE 300 DENVER CO 80206-5133

74TH AVENUE LIMITED PARTNERSHIP 270 SAINT PAUL ST STE 300 DENVER CO 80206-5133

ADAMS COUNTY 4430 SOUTH ADAMS COUNTY PKWY BRIGHTON CO 80601-8204

AMERCO REAL ESTATE COMPANY PO BOX 29046 PHOENIX AZ 85038-9046

BOARD OF COUNTY COMMISSIONERS OF ADAMS COUNTY 4430 SOUTH ADAMS COUNTY PKWY BRIGHTON CO 80601-8204

BRANNAN SAND AND GRAVEL COMPANY LLC 2500 E BRANNAN WAY DENVER CO 80229

DE MATTEE INDUSTRIAL PARK LLC 8310 E 129TH PL THORNTON CO 80602-8245

GERACE CARMEN A 15855 HAVANA WAY BRIGHTON CO 80602-7411

LA LTD ATTN JOHN MOYE ESQ 1400 16TH ST STE 600 DENVER CO 80202-1486

MADERA ROBERTO 2540 E 76TH AVE DENVER CO 80229-6616 MENDOZA PROPERTIES LLC 701 W 64TH AVE DENVER CO 80221-2883

NORTH WASHINGTON WATER AND SANITATION DISTRICT 3172 E 78TH AVE DENVER CO 80229

NORTHWEST WATER CORPORATION C/O MARC HAYUTIN 555 WEST FIFTH ST 40TH FLOOR LOS ANGELES CA 90013

NORTHWEST WATER DEVELOPMENT CORP NEED ADDRESS

PUBLIC SERVICE CO OF COLORADO C/O PROPERTY AND LOCAL TAXES PO BOX 1979 DENVER CO 80201-1979

PUBLIC SERVICE COMPANY PO BOX 1979 DENVER CO 80201-1979

RUSCETTA JAMES LEE AND ROSE MARGARET ANN 7463 W 69TH AVE ARVADA CO 80003-3407

SIMS FREDRIC M TRUSTEE 3032 ALBION ST DENVER CO 80207

TANAS DMITRIY 7656 YORK STREET UNIT B DENVER CO 80229

WELBY GARDENS CO C/O F AND S TAX CONSULTANTS-RON SANDSTRO 2761 E 74TH AVE DENVER CO 80229-6617 WELBY GARDENS COMPANY C/O F AND S TAX CONSULTANTS-RON SANDSTRO 2761 E 74TH AVE DENVER CO 80229-6617

WLEBY GARDENS COMPANY INC 2761 E 74TH AVE DENVER CO 80229-6617

CEE D PROPERTIES LLC OR CURRENT RESIDENT 2555 E 74TH AVE DENVER CO 80229-6621

DOMENICO AGNES L AND AND DOMENICO GREGORY L OR CURRENT RESIDENT 7740 YORK STREET DENVER CO 80229-6613

FIORE DAVID AKA HOGAN FIORE AND FIORE PHILIP OR CURRENT RESIDENT 2480 E 74TH AVE DENVER CO 80229-6623

GERACE ALEX C AND PROVVIDENZA C/O F AND S TAX CONSULTANTS-RON SANDSTRO OR CURRENT RESIDENT 7420 CLAYTON ST DENVER CO 80229-6602

GERACE JOHN D AND GERACE CHARLENE E OR CURRENT RESIDENT 7436 CLAYTON ST DENVER CO 80229-6602

MADERA ROBERTO OR CURRENT RESIDENT 2540 E 76TH AVE DENVER CO 80229-6616

MEIER HOLDINGS LLC OR CURRENT RESIDENT 7480 YORK ST DENVER CO 80229-6607

NORTH WASHINGTON WATER AND SANITATION DISTRICT OR CURRENT RESIDENT 3172 E 78TH AVE DENVER CO 80229 ROLLER INVESTMENT CO LLC OR CURRENT RESIDENT 7500 YORK ST DENVER CO 80229-6609

TANAS DMITRIY OR CURRENT RESIDENT 7656 YORK STREET UNIT B DENVER CO 80229

WELBY CLAYTON STREET LLC OR CURRENT RESIDENT 2690 E 78TH AVE DENVER CO 80229

WELBY GARDENS CO OR CURRENT RESIDENT 2761 E 74TH AVENUE DENVER CO 80229

WELBY GARDENS CO C/O F AND S TAX CONSULTANTS-RON SANDSTRO OR CURRENT RESIDENT 2761 E 74TH AVE DENVER CO 80229-6617

CURRENT RESIDENT 3020 E 78TH AVE DENVER CO 80229-6106

CURRENT RESIDENT 7430 CLAYTON ST DENVER CO 80229-6602

CURRENT RESIDENT 7450 CLAYTON ST DENVER CO 80229-6602

CURRENT RESIDENT 7450 YORK ST DENVER CO 80229-6607

CURRENT RESIDENT 7540 YORK ST DENVER CO 80229-6609 CURRENT RESIDENT 7640 YORK ST DENVER CO 80229-6611

CURRENT RESIDENT 7700 YORK ST DENVER CO 80229-6613

CURRENT RESIDENT 2560 E 76TH AVE DENVER CO 80229-6616

CURRENT RESIDENT 2645 E 74TH AVE DENVER CO 80229-6619

CURRENT RESIDENT 2600 E 74TH AVE DENVER CO 80229-6620

CURRENT RESIDENT 2505 E 74TH AVE DENVER CO 80229-6621

CURRENT RESIDENT 7656 YORK ST UNIT A DENVER CO 80229-6662

CURRENT RESIDENT 2500 BRANNAN WAY DENVER CO 80229-7029

CERTIFICATE OF POSTING



I, J. Gregory Barnes do hereby certify that I posted the subject property on September 24, 2019 in accordance with the requirements of the Adams County Development Standards and Regulations.

-Dezazb

J. Gregory Barnes

Project Flatiron PRC2019-00005

7450 Clayton Street

October 29, 2019 Board of County Commissioners Public Hearing Community and Economic Development Department Case Manager: Greg Barnes

Requests

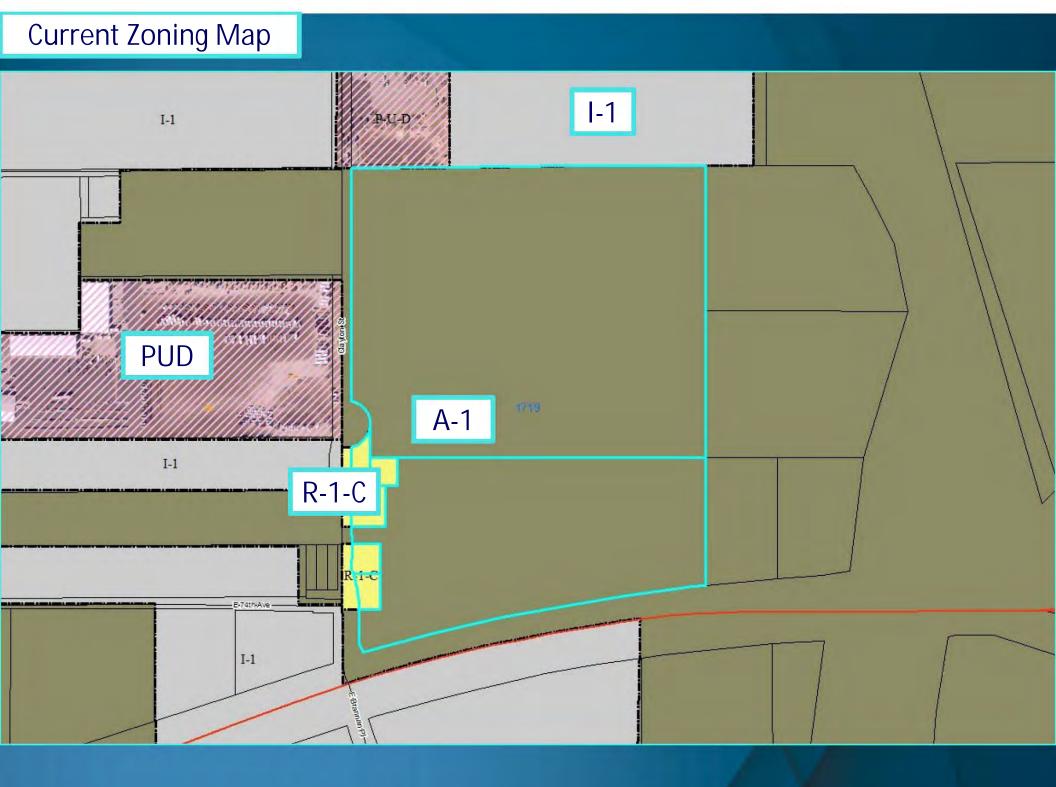
- Preliminary plat for major subdivision:
 - Creates 1 lot
 - 33.7 acres total
- Rezoning:
 - 32.7 acres
 - Current: Agricultural-1
 - Proposed: Industrial-1
- Roadway Vacation:
 - Portion of Clayton Street

Aerial View

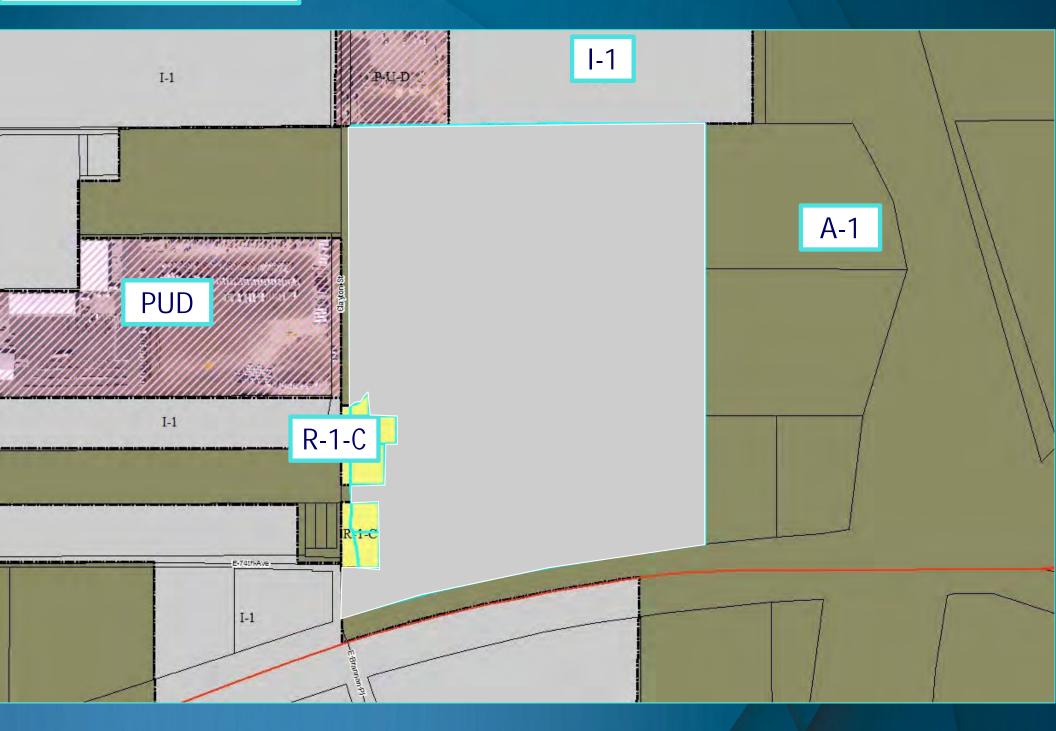


Aerial View

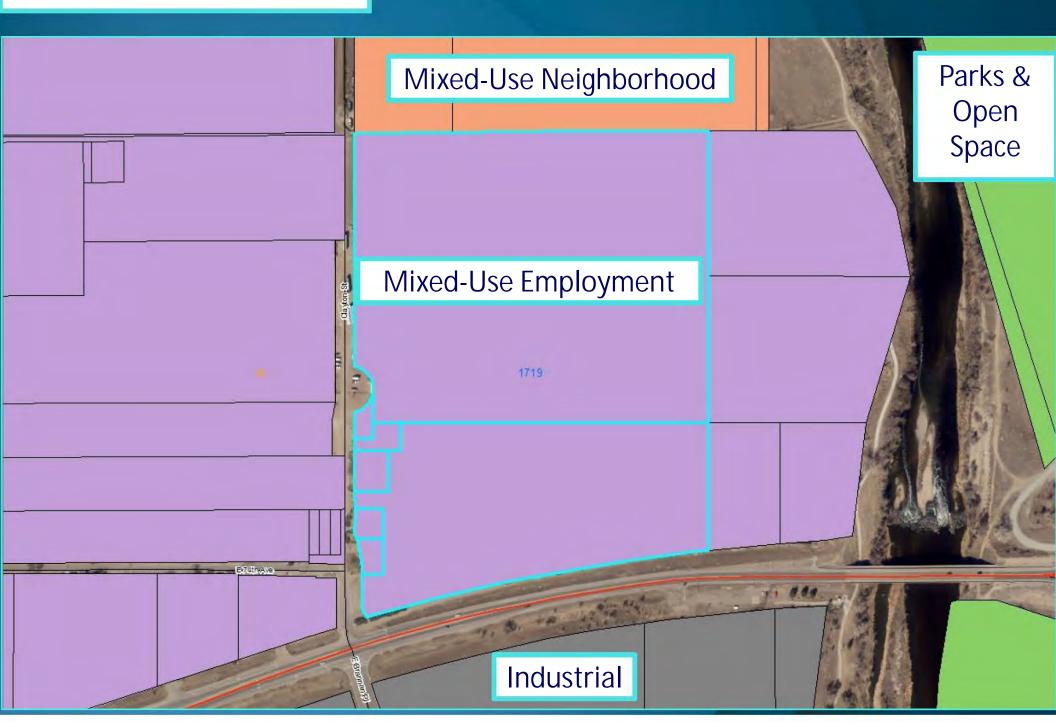




Proposed Zoning Map



Future Land Use Welby Subarea Plan



Criteria for Rezoning Approval

Section 2-02-13-06-02

- Consistent with Comprehensive Plan
- Consistent with Purpose of Regulations
- Complies with Zone District Standards
- Compatible & Harmonious to Surrounding Area

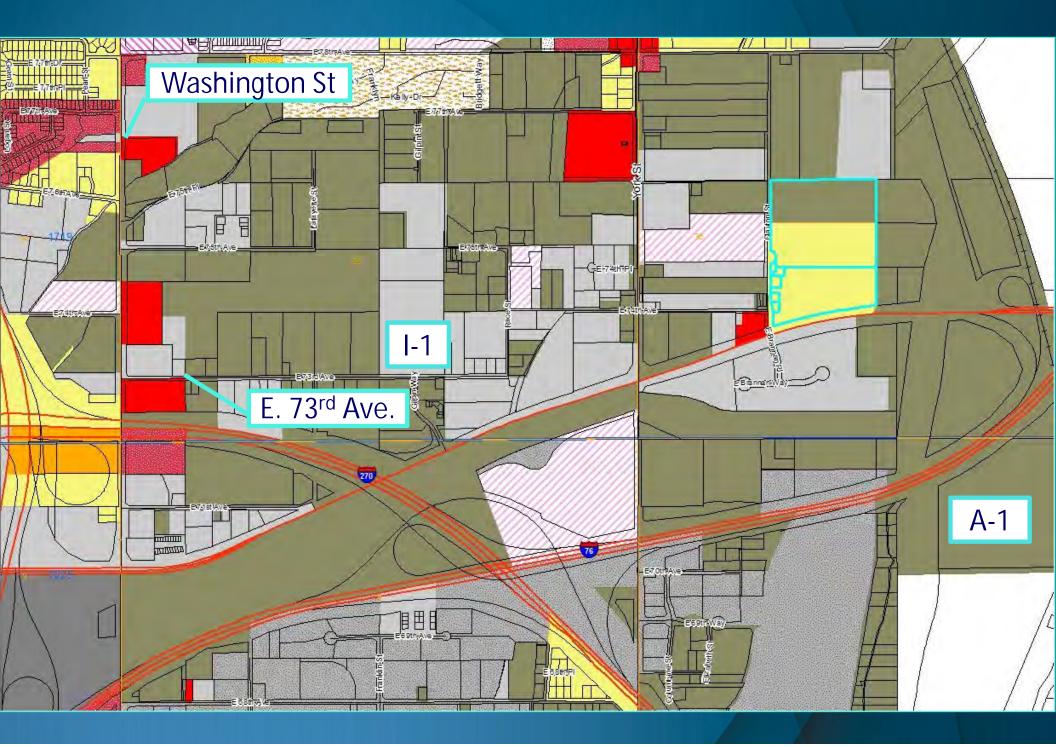
Criteria for Major Subdivision Preliminary Plat Approval Section 2-02-17-03-05

- Consistent with Comprehensive Plan
- Consistent with Purpose of Standards
- Conforms to Subdivision Design Standards
- Sufficient Water Supply
- Evidence of Sewage Disposal System
- Identification of Topographical Hazards
- Adequate drainage Improvements
- Conformance with Density Standards
- Compatible & Harmonious

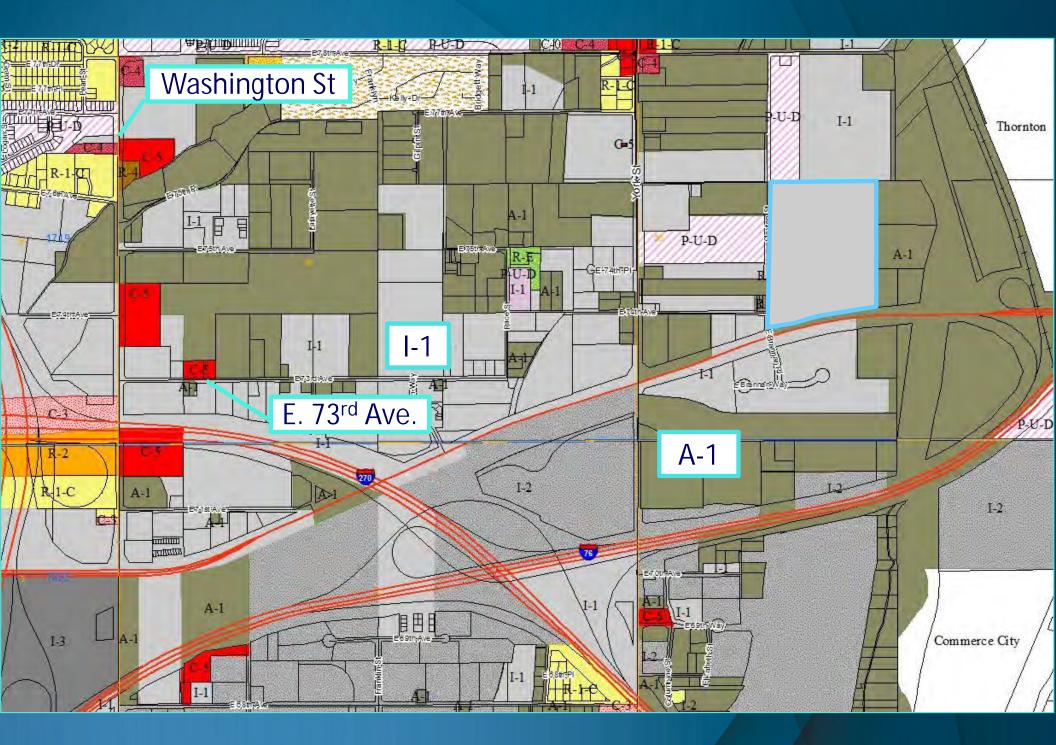
Criteria for Roadway Vacation Approval Section 2-02-13-06-02

- Complies with Standards & Regulations
- Does Not Create Nonconformity
- Consistent with Purpose of Subdivision Regulations
- Not Adversely Affecting Health, Safety, and Welfare
- Does Not Inhibit Access for Other Properties

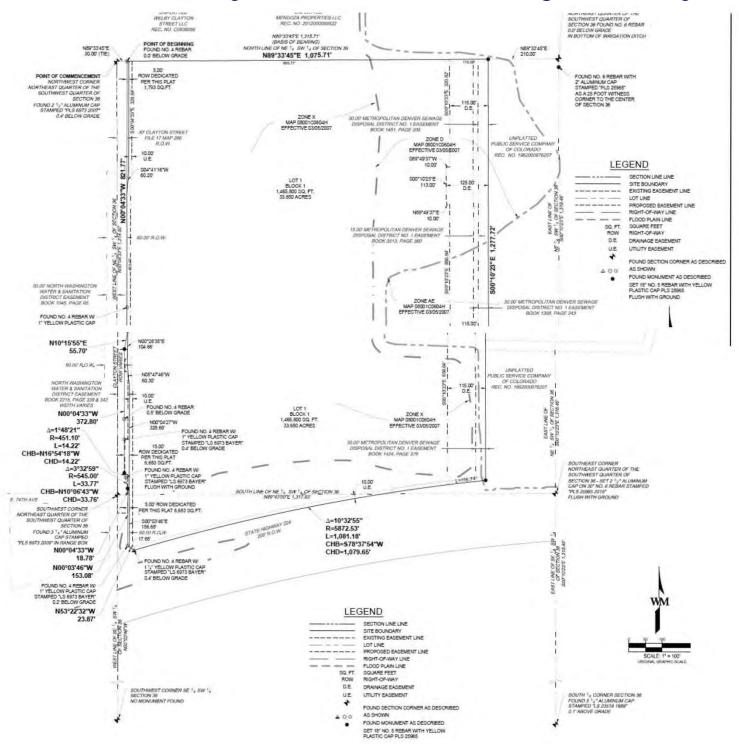
1999 Zoning Map



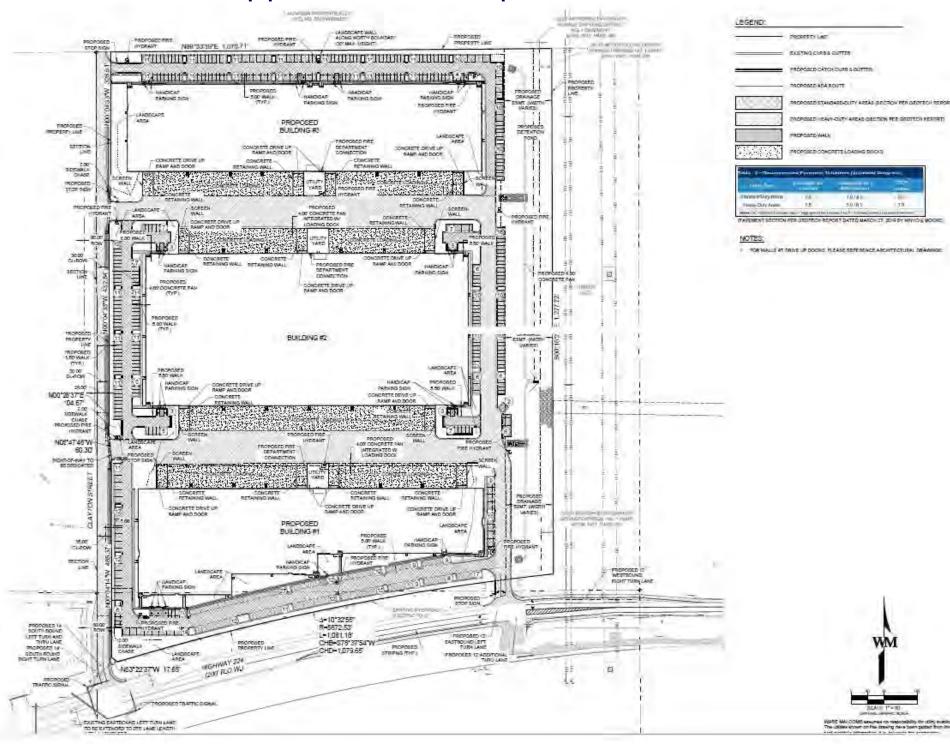
Zoning Map (if approved)



Proposed Preliminary Plat (1 lot including roadway vacation)



Applicant's Conceptual Site Plan



Development Standards

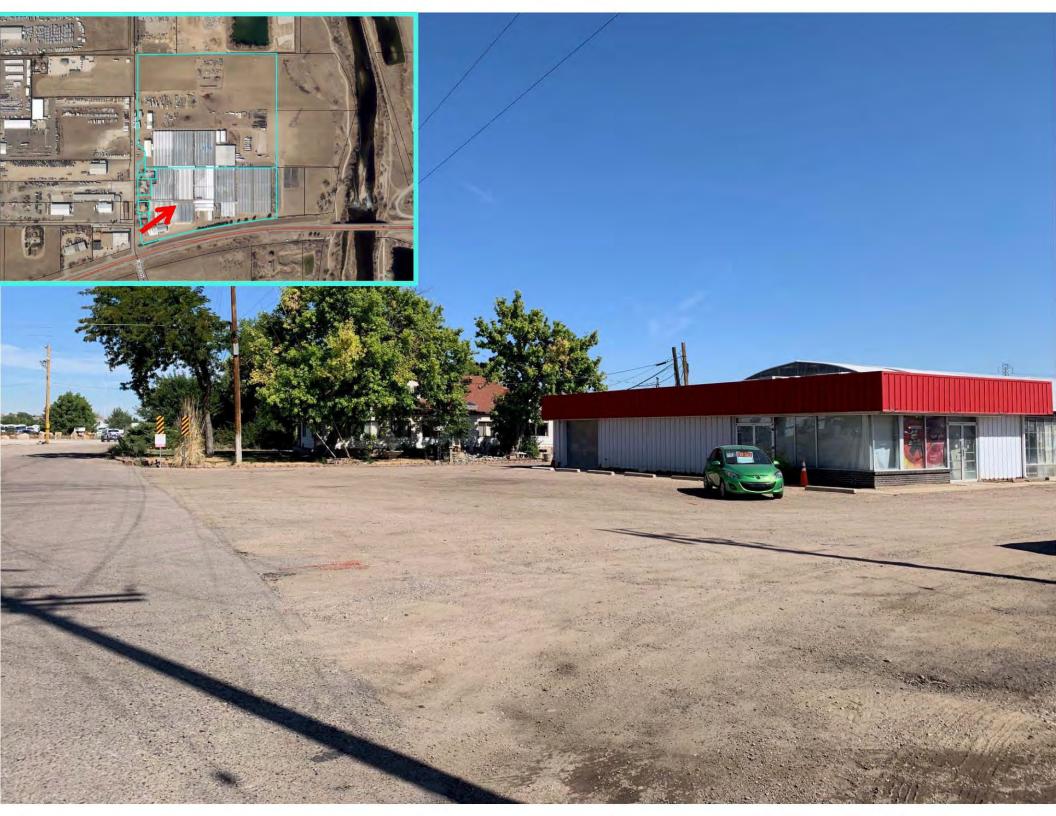
I-1 Zone District

- Minimum Lot Size:
 - 1 acre (required)
 - 32.7 acres (min. proposed)
- Minimum Lot Width:
 - 100 ft. (required)
 - Over 1,500 ft. (proposed)
- Minimum Setbacks:
 - 25 ft. (front)
 - 5 ft. (side)
 - 15 ft. (rear)
 - 75 ft. (highway)

Analysis

- Water:
 - Water provided by North Washington Street Water & Sanitation District
 - Confirmed by Colorado Division of Water Resources
- Electric Service:
 - Provided by Xcel Energy



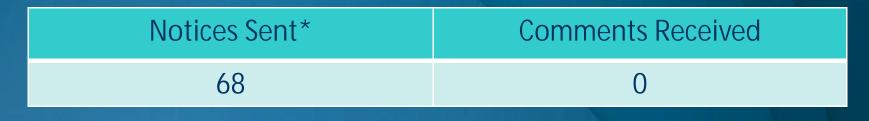








Referral Period



1,000 foot referral distance

External Referral Agencies: No objections to plat or rezoning

Planning Commission Update (PRC2019-00005 – Project Flatiron)

- Public Hearing: October 10, 2019
- No members of public available to testify
- Questions:
 - Condition/History of single-family homes
 - Timing of additional rezoning

PC Recommendation

(PRC2019-00005 – Project Flatiron)

- Consistent with Comprehensive Plan
- Complies with minimum zone district standards
- Compatible with surrounding area
- Water, Sewage, & Electric Service Provided

Approval of the preliminary plat, rezoning, and roadway vacation with 18 findings-of-fact, 1 condition, and 2 notes

Recommended Condition of Approval:

1. All utilities shall be located underground pursuant to Section 5-04-04-01 of the Adams County Development Standards and Regulations.

Recommended Notes:

- 1. The applicant shall comply with all building, zoning, fire, engineering, and health codes and regulations during the development of the subject site.
- 2. The preliminary plat approval shall expire on October 29, 2021 if a final plat application is not submitted to the Adams County Community and Economic Development Department.