

## **Board of County Commissioners**

Eva J. Henry - District #1 Charles "Chaz" Tedesco - District #2 Emma Pinter - District #3 Steve O'Dorisio - District #4 Mary Hodge - District #5

# PUBLIC HEARING AGENDA

NOTICE TO READERS: The Board of County Commissioners' meeting packets are prepared several days prior to the meeting. This information is reviewed and studied by the Board members to gain a basic understanding, thus eliminating lengthy discussions. Timely action and short discussion on agenda items does not reflect a lack of thought or analysis on the Board's part. An informational packet is available for public inspection in the Board's Office one day prior to the meeting.

## THIS AGENDA IS SUBJECT TO CHANGE

Tuesday August 11, 2020 9:30 AM

# Watch the virtual meeting through our You Tube Channel http://www.adcogov.org/events/bocc-public-hearing-9

# 1. ROLL CALL

# 2. PLEDGE OF ALLEGIANCE

# 3. MOTION TO APPROVE AGENDA

## 4. AWARDS AND PRESENTATIONS

#### 5. PUBLIC COMMENT

A. Citizen Communication

Members of the public may submit written comments on any matter within the Board's subject matter jurisdiction or request to speak at the meeting through our eComment system at https://adcogov.legistar.com/Calendar.aspx

Residents are encouraged to submit comments, prior to the meeting, through written comment using eComment; eComment is integrated with the published meeting agenda and individuals may review the agenda item details and indicate their position on each item. A request to speak at the meeting may also be submitted using the eComment feature. You will be prompted to set up a user profile to allow you to comment, which will become part of the official public record. The eComment period opens when the agenda is published and closes at 4:30 p.m. the Monday prior to the noticed meeting.

- **B. Elected Officials' Communication**
- 6. CONSENT CALENDAR

| <b>A.</b> | List of Expenditures Under the Dates of July 27-31, 2020   |
|-----------|--|
| В.        | Minutes of the Commissioners' Proceedings from August 4, 2020  |
| С.        | Resolution Regarding Defense and Indemnification of Richard Reigenborn<br>as Defendant Pursuant to C.R.S. § 24-10-101, Et Seq.<br>(File approved by ELT)   |
| D.        | Resolution Approving Subgrantee Contract Amendment #2 to the<br>Agreement between Adams County and Adams County Emergency Food<br>Bank<br>(File approved by ELT)   |
| Е.        | Resolution Approving Subgrantee Contract Amendment #2 to the<br>Agreement between Adams County and Ethiopian Community Development<br>Council<br>(File approved by ELT)  |
| F.        | Resolution Designating County Fee Property as County Road Right-of-Way<br>for the East 58th Avenue Improvements Project – East 58th Avenue from<br>Clarkson Street to York Street<br>(File approved by ELT)                |
| G.        | Resolution Approving Right-of-Way Agreement between Adams County<br>and Center Plaza, LLC, for Property Necessary for the Traffic Signal<br>Cabinet Upgrade Project<br>(File approved by ELT)                              |
| H.        | Resolution Approving Right-of-Way Agreement between Adams County<br>and Prakash Sitaula and Kabita Parajuli for Property Necessary for the<br>Traffic Signal Cabinet Upgrade Project<br>(File approved by ELT)             |
| I.        | Resolution Approving Agreement between Adams County and the Senior<br>Hub Inc. Regarding Disbursement of Coronavirus Aid, Relief and Economic<br>Security Act Funds<br>(File approved by ELT)                              |
| J.        | Resolution Approving Intergovernmental Agreement between Adams<br>County and Byers Fire Protection District Regarding Disbursement of<br>Coronavirus Air, Relief and Economic Security Act Funds<br>(File approved by ELT) |
| К.        | Resolution Approving Hyland Hill Facility and Recreation District Facility<br>Usage Agreement<br>(File approved by ELT)  |

# 7. NEW BUSINESS

# A. COUNTY MANAGER

# **B. COUNTY ATTORNEY**

8. Motion to Adjourn into Executive Session Pursuant to C.R.S. 24-6-402(4)(b) for the Purpose of Receiving Legal Advice Regarding Potential Ballot Questions

9. Motion to Adjourn into Executive Session Pursuant to C.R.S. 24-6-402(4)(b) for the Purpose of Receiving Legal Advice Regarding TCHD Bylaws

10. Motion to Adjourn into Executive Session Pursuant to C.R.S. 24-6-402(4)(b) and (e) for the Purpose of Receiving Legal Advice and Instructing Negotiators Regarding Noise Litigation

# **11. LAND USE HEARINGS**

# A. Cases to be Heard

| 1. | RCU2019-00046 Strasburg Fire Protection Crew Quarters CUP (File approved by ELT) |
|----|--|
| 2. | PLN2019-00008 Second Creek Interceptor<br>(File approved by ELT)                 |
| 3. | RCU2019-00020 Brannan Sand & Gravel<br>(File approved by ELT)                    |

# **12. ADJOURNMENT**

# AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE

#### Net Warrant by Fund Summary

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| Fund   | Fund                           |              |
|--------|--------------------------------|--------------|
| Number | Description                    | Amount       |
| 1      | General Fund                   | 3,698,252.57 |
| 4      | Capital Facilities Fund        | 1,157,144.61 |
| 5      | Golf Course Enterprise Fund    | 93,646.75    |
| 6      | Equipment Service Fund         | 65,090.65    |
| 13     | Road & Bridge Fund             | 642,784.99   |
| 19     | Insurance Fund                 | 111,216.42   |
| 27     | Open Space Projects Fund       | 23,260.00    |
| 28     | Open Space Sales Tax Fund      | 11,084.35    |
| 30     | Community Dev Block Grant Fund | 5,600.00     |
| 31     | Head Start Fund                | 11,502.44    |
| 34     | Comm Services Blk Grant Fund   | 17,716.23    |
| 43     | Colorado Air & Space Port      | 74,316.79    |
| 50     | FLATROCK Facility Fund         | 3,678.68     |
|        | _                              | 5,915,294.48 |

Net Warrants by Fund Detail

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| 1 | General Fund |             |                                |              |              |
|---|--------------|-------------|--------------------------------|--------------|--------------|
|   | Warrant      | Supplier No | Supplier Name                  | Warrant Date | Amount       |
|   | 00006298     | 519505      | DENOVO VENTURES LLC            | 7/28/2020    | 7,560.00     |
|   | 00006299     | 1016895     | G4S SECURE SOLUTIONS USA INC   | 7/28/2020    | 31,320.72    |
|   | 00006300     | 104910      | SAUNDERS CONSTRUCTION INC      | 7/28/2020    | 261,188.35   |
|   | 00006302     | 378404      | CARUSO JAMES LOUIS             | 7/30/2020    | 3,075.00     |
|   | 00006303     | 37193       | CINA & CINA FORENSIC CONSULTIN | 7/30/2020    | 8,000.00     |
|   | 00006305     | 465183      | PITNEY BOWES RESERVE ACCOUNT   | 7/30/2020    | 25,000.00    |
|   | 00006307     | 93290       | STOEFFLER REBECCA E            | 7/30/2020    | 1,404.00     |
|   | 00006317     | 3259        | ADAMS COUNTY SCHOOL DIST 1     | 7/31/2020    | 1,048,049.35 |
|   | 00006318     | 669996      | ALCHEMY TECHNOLOGY GROUP LLC   | 7/31/2020    | 8,720.00     |
|   | 00006319     | 1052356     | BENNETT SCHOOL DISTRICT 29J    | 7/31/2020    | 104,742.07   |
|   | 00006320     | 1052120     | BRIGHTON FIRE RESCUE DISTRICT  | 7/31/2020    | 160,027.25   |
|   | 00006321     | 1012245     | CRESTLINE MEDICAL SUPPLY       | 7/31/2020    | 17,967.68    |
|   | 00006322     | 519505      | DENOVO VENTURES LLC            | 7/31/2020    | 930.00       |
|   | 00006323     | 1016895     | G4S SECURE SOLUTIONS USA INC   | 7/31/2020    | 36,432.18    |
|   | 00750964     | 617361      | ACADEMY ROOFING INC            | 7/30/2020    | 969.97       |
|   | 00750966     | 13884       | ADAMS COUNTY SHERIFF           | 7/30/2020    | 1,617.21     |
|   | 00750967     | 91631       | ADAMSON POLICE PRODUCTS        | 7/30/2020    | 227.45       |
|   | 00750968     | 492573      | ADVANCED URGENT CARE AND OCC M | 7/30/2020    | 17,045.00    |
|   | 00750971     | 5991        | ALMOST HOME INC                | 7/30/2020    | 3,518.19     |
|   | 00750974     | 498573      | ARBORFORCE LLC                 | 7/30/2020    | 58,863.96    |
|   | 00750977     | 769439      | BASELINE ENGINEERING CORPORATI | 7/30/2020    | 216.07       |
|   | 00750978     | 993099      | BAYAUD ENTERPRISES INC         | 7/30/2020    | 5,385.95     |
|   | 00750979     | 1029822     | BC SURF & SPORT                | 7/30/2020    | 50.00        |
|   | 00750981     | 96427       | BERKELEY WATER & SANITATION D  | 7/30/2020    | 70.84        |
|   | 00750982     | 13160       | BRIGHTON CITY OF (WATER)       | 7/30/2020    | 20,375.83    |
|   | 00750983     | 13160       | BRIGHTON CITY OF (WATER)       | 7/30/2020    | 6,532.20     |
|   | 00750985     | 8973        | C & R ELECTRICAL CONTRACTORS I | 7/30/2020    | 196.00       |
|   | 00750987     | 83875       | CARAHSOFT TECHNOLOGY CORP      | 7/30/2020    | 5,750.00     |
|   | 00750991     | 28303       | CENTURA HEALTH                 | 7/30/2020    | 600.00       |
|   | 00750992     | 37266       | CENTURY LINK                   | 7/30/2020    | 80.83        |
|   | 00750998     | 255194      | CHAMBERS HOLDINGS LLC          | 7/30/2020    | 16,377.71    |
|   | 00751000     | 250958      | COHEN MILSTEIN SELLERS & TOLL  | 7/30/2020    | 2,126.25     |
|   | 00751005     | 99357       | COLO MEDICAL WASTE INC         | 7/30/2020    | 1,347.00     |
|   | 00751006     | 209334      | COLO NATURAL GAS INC           | 7/30/2020    | 66.19        |
|   | 00751008     | 252174      | COLORADO COMMUNITY MEDIA       | 7/30/2020    | 1,008.00     |
|   | 00751009     | 1029850     | COLORADO HOSPITALITY SERVICES  | 7/30/2020    | 50.00        |

| 1 | General Fun | General Fund |                                |              |            |  |  |
|---|-------------|--------------|--------------------------------|--------------|------------|--|--|
|   | Warrant     | Supplier No  | Supplier Name                  | Warrant Date | Amount     |  |  |
|   | 00751010    | 48089        | COMCAST BUSINESS               | 7/30/2020    | 2,100.00   |  |  |
|   | 00751011    | 12473        | CONSOLIDATED ELECTRICAL DIST   | 7/30/2020    | 5,950.00   |  |  |
|   | 00751012    | 255001       | COPYCO QUALITY PRINTING INC    | 7/30/2020    | 500.00     |  |  |
|   | 00751013    | 810159       | CORHIO                         | 7/30/2020    | 310.00     |  |  |
|   | 00751014    | 13338        | CRESTVIEW WATER SAN            | 7/30/2020    | 360.80     |  |  |
|   | 00751016    | 784149       | DC APPRAISERS                  | 7/30/2020    | 600.00     |  |  |
|   | 00751017    | 42540        | DELL MARKETING LP              | 7/30/2020    | 19,824.80  |  |  |
|   | 00751018    | 564091       | DENTONS US LLP                 | 7/30/2020    | 1,102.50   |  |  |
|   | 00751020    | 56025        | DISCOUNT PLUMBING SERVICES INC | 7/30/2020    | 1,200.00   |  |  |
|   | 00751023    | 181668       | DOMINION VOTING SYSTEMS INC    | 7/30/2020    | 719,000.00 |  |  |
|   | 00751024    | 128693       | DREXEL BARRELL & CO            | 7/30/2020    | 150.00     |  |  |
|   | 00751025    | 808844       | DUPRIEST JOHN FIELDEN          | 7/30/2020    | 65.00      |  |  |
|   | 00751026    | 35867        | ELDORADO ARTESIAN SPRINGS INC  | 7/30/2020    | 49.95      |  |  |
|   | 00751027    | 8820020      | EMERGENCY POWER SERVICES CO IN | 7/30/2020    | 5,000.00   |  |  |
|   | 00751029    | 47723        | FEDEX                          | 7/30/2020    | 540.58     |  |  |
|   | 00751030    | 1040682      | FITZPATRICK CAROLANN           | 7/30/2020    | 150.00     |  |  |
|   | 00751031    | 698569       | FOREST SEAN                    | 7/30/2020    | 65.00      |  |  |
|   | 00751032    | 23828        | FRANKLIN COVEY                 | 7/30/2020    | 8,505.00   |  |  |
|   | 00751034    | 463649       | GABLEHOUSE GRANBERG LLC        | 7/30/2020    | 1,708.00   |  |  |
|   | 00751035    | 12689        | GALLS LLC                      | 7/30/2020    | 3,544.28   |  |  |
|   | 00751036    | 293118       | GARNER, ROSIE                  | 7/30/2020    | 65.00      |  |  |
|   | 00751038    | 1046554      | GLOBAL SOFTWARE LLC            | 7/30/2020    | 15,350.41  |  |  |
|   | 00751040    | 34197        | GOURD THADDEUS                 | 7/30/2020    | 134.55     |  |  |
|   | 00751042    | 14991        | HELTON & WILLIAMSEN PC         | 7/30/2020    | 2,781.25   |  |  |
|   | 00751043    | 293122       | HERRERA, AARON                 | 7/30/2020    | 65.00      |  |  |
|   | 00751044    | 494097       | HP INC                         | 7/30/2020    | 11,025.00  |  |  |
|   | 00751045    | 5814         | I70 SCOUT THE                  | 7/30/2020    | 10,254.40  |  |  |
|   | 00751046    | 418327       | IC CHAMBERS LP                 | 7/30/2020    | 6,992.00   |  |  |
|   | 00751052    | 13565        | INTERMOUNTAIN REA              | 7/30/2020    | 184.84     |  |  |
|   | 00751053    | 950388       | INVESTIGATIONS LAW GROUP LLC   | 7/30/2020    | 64,625.36  |  |  |
|   | 00751054    | 27817        | JARAMILLO JERRY GEORGE         | 7/30/2020    | 7,500.00   |  |  |
|   | 00751055    | 22039        | JAYHAWK TRAILERS               | 7/30/2020    | 7,600.00   |  |  |
|   | 00751058    | 77611        | KD SERVICE GROUP               | 7/30/2020    | 273.63     |  |  |
|   | 00751062    | 1020086      | LABORATORY CORPORATION OF AMER | 7/30/2020    | 6,480.00   |  |  |
|   | 00751063    | 215347       | LAND TECH CONTRACTORS INC      | 7/30/2020    | 41,323.00  |  |  |
|   | 00751064    | 40843        | LANGUAGE LINE SERVICES         | 7/30/2020    | 12.30      |  |  |
|   |             |              |                                |              |            |  |  |

| Warrant  | Supplier No | Supplier Name                  | Warrant Date | Amount                    |
|----------|-------------|--------------------------------|--------------|---------------------------|
| 00751065 | 41022       | LEWIS HIMES ASSOCIATES INC     | 7/30/2020    | <u>Amount</u><br>6,968.00 |
| 00751066 | 36861       | LEXIS NEXIS MATTHEW BENDER     | 7/30/2020    | 2,180.99                  |
| 00751067 | 976517      | LIFE RECOVERY CENTER           | 7/30/2020    | 5,645.00                  |
| 00751068 | 975291      | MADDUX THOMAS SCOTT            | 7/30/2020    | 65.00                     |
| 00751069 | 810888      | MARTINEZ JUSTIN PAUL           | 7/30/2020    | 65.00                     |
| 00751070 | 1039410     | MECSTAT LABORATORIES           | 7/30/2020    | 585.00                    |
| 00751071 | 1033585     | MEXICAN CULTURAL CENTER        | 7/30/2020    | 2,250.0                   |
| 00751072 | 93320       | MILE HIGH TREE CARE INC        | 7/30/2020    | 350.0                     |
| 00751072 | 93018       | MURPHY RICK                    | 7/30/2020    | 5,013.8                   |
| 00751075 | 13591       | MWI VETERINARY SUPPLY CO       | 7/30/2020    | 5,510.10                  |
| 00751077 | 124449      | NMS LABS                       | 7/30/2020    | 13,319.0                  |
| 00751080 | 949999      | OFFICESCAPES OF DENVER LLLP    | 7/30/2020    | 17,355.74                 |
| 00751081 | 1026844     | OTAK A COLORADO CORPORATION    | 7/30/2020    | 6,206.2                   |
| 00751083 | 725673      | PACIFIC OFFICE AUTOMATION INC  | 7/30/2020    | 18.4                      |
| 00751084 | 516994      | PARK 12 HUNDRED OWNERS ASSOCIA | 7/30/2020    | 17,437.0                  |
| 00751085 | 176366      | PETERSON MICHELLE              | 7/30/2020    | 150.0                     |
| 00751086 | 214735      | PITNEY BOWES PURCHASE POWER    | 7/30/2020    | 549.7                     |
| 00751087 | 9635        | PUBLICATION PRINTERS           | 7/30/2020    | 1,639.8                   |
| 00751088 | 1047994     | RANASINGHE AJ                  | 7/30/2020    | 500.0                     |
| 00751092 | 53054       | RICHARDSON SHARON              | 7/30/2020    | 65.0                      |
| 00751092 | 668737      | ROCKY MOUNTAIN PARKING LOT SER | 7/30/2020    | 1,500.0                   |
| 00751095 | 752307      | RUNBECK ELECTION SERVICES INC  | 7/30/2020    | 168,000.0                 |
| 00751097 | 574170      | SCHULTZ PUBLIC AFFAIRS LLC     | 7/30/2020    | 5,416.6                   |
| 00751098 | 669061      | SCL HEALTH                     | 7/30/2020    | 139.0                     |
| 00751099 | 2284        | SENIOR HUB THE                 | 7/30/2020    | 63,032.0                  |
| 00751101 | 13538       | SHRED IT USA LLC               | 7/30/2020    | 582.8                     |
| 00751102 | 13932       | SOUTH ADAMS WATER & SANITATION | 7/30/2020    | 346.6                     |
| 00751103 | 13932       | SOUTH ADAMS WATER & SANITATION | 7/30/2020    | 1,698.8                   |
| 00751104 | 13932       | SOUTH ADAMS WATER & SANITATION | 7/30/2020    | 1,525.4                   |
| 00751105 | 13932       | SOUTH ADAMS WATER & SANITATION | 7/30/2020    | 48.1                      |
| 00751106 | 13932       | SOUTH ADAMS WATER & SANITATION | 7/30/2020    | 48.1                      |
| 00751107 | 13932       | SOUTH ADAMS WATER & SANITATION | 7/30/2020    | 5,113.4                   |
| 00751108 | 51001       | SOUTHLAND MEDICAL LLC          | 7/30/2020    | 600.0                     |
| 00751109 | 12431       | SPACE CONCEPTS INC             | 7/30/2020    | 864.1                     |
| 00751110 | 32686       | SPECIALTY INCENTIVES INC       | 7/30/2020    | 7,593.0                   |
| 00751111 | 1029881     | SPRINT CUSTOMER FINANCE SERVIC | 7/30/2020    | 50.0                      |

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| 1 | General Fun | d           |                          |              |           |
|---|-------------|-------------|--------------------------|--------------|-----------|
|   | Warrant     | Supplier No | Supplier Name            | Warrant Date | Amount    |
|   | 00751112    | 644974      | STARCHASE LLC            | 7/30/2020    | 10,750.00 |
|   | 00751113    | 42818       | STATE OF COLORADO        | 7/30/2020    | 5,199.98  |
|   | 00751114    | 42818       | STATE OF COLORADO        | 7/30/2020    | 15,899.65 |
|   | 00751115    | 42818       | STATE OF COLORADO        | 7/30/2020    | 288.03    |
|   | 00751116    | 42818       | STATE OF COLORADO        | 7/30/2020    | 1,992.47  |
|   | 00751117    | 42818       | STATE OF COLORADO        | 7/30/2020    | 268.73    |
|   | 00751118    | 42818       | STATE OF COLORADO        | 7/30/2020    | 1,783.33  |
|   | 00751119    | 42818       | STATE OF COLORADO        | 7/30/2020    | 358.37    |
|   | 00751120    | 42818       | STATE OF COLORADO        | 7/30/2020    | 2,378.89  |
|   | 00751121    | 42818       | STATE OF COLORADO        | 7/30/2020    | 136.00    |
|   | 00751122    | 42818       | STATE OF COLORADO        | 7/30/2020    | 1,143.15  |
|   | 00751123    | 42818       | STATE OF COLORADO        | 7/30/2020    | .30       |
|   | 00751124    | 42818       | STATE OF COLORADO        | 7/30/2020    | 1.51      |
|   | 00751125    | 42818       | STATE OF COLORADO        | 7/30/2020    | 26.45     |
|   | 00751126    | 42818       | STATE OF COLORADO        | 7/30/2020    | 174.20    |
|   | 00751127    | 42818       | STATE OF COLORADO        | 7/30/2020    | 1,769.53  |
|   | 00751128    | 42818       | STATE OF COLORADO        | 7/30/2020    | 9,655.47  |
|   | 00751129    | 42818       | STATE OF COLORADO        | 7/30/2020    | 4.26      |
|   | 00751130    | 42818       | STATE OF COLORADO        | 7/30/2020    | 12.57     |
|   | 00751131    | 42818       | STATE OF COLORADO        | 7/30/2020    | 940.40    |
|   | 00751132    | 42818       | STATE OF COLORADO        | 7/30/2020    | 11,718.10 |
|   | 00751133    | 42818       | STATE OF COLORADO        | 7/30/2020    | 12.21     |
|   | 00751134    | 42818       | STATE OF COLORADO        | 7/30/2020    | 149.97    |
|   | 00751135    | 42818       | STATE OF COLORADO        | 7/30/2020    | 70.98     |
|   | 00751136    | 42818       | STATE OF COLORADO        | 7/30/2020    | 711.87    |
|   | 00751137    | 882335      | STRATEGY WITH ROX        | 7/30/2020    | 17,750.00 |
|   | 00751138    | 599714      | SUMMIT FOOD SERVICE LLC  | 7/30/2020    | 91,808.32 |
|   | 00751139    | 618144      | T&G PECOS LLC            | 7/30/2020    | 1,800.00  |
|   | 00751140    | 701506      | TETRUS CORP              | 7/30/2020    | 29,250.00 |
|   | 00751142    | 385142      | THOMPSON GREGORY PAUL    | 7/30/2020    | 65.00     |
|   | 00751143    | 22538       | THOMSON REUTERS - WEST   | 7/30/2020    | 390.60    |
|   | 00751145    | 666214      | TYGRETT DEBRA R          | 7/30/2020    | 96.00     |
|   | 00751146    | 117701      | UNIPATH                  | 7/30/2020    | 2,125.00  |
|   | 00751147    | 1007        | UNITED POWER (UNION REA) | 7/30/2020    | 200.09    |
|   | 00751148    | 1007        | UNITED POWER (UNION REA) | 7/30/2020    | 654.44    |
|   | 00751149    | 1007        | UNITED POWER (UNION REA) | 7/30/2020    | 183.75    |

#### Net Warrants by Fund Detail

| 1 | General Fun | d           |                                |              |            |
|---|-------------|-------------|--------------------------------|--------------|------------|
|   | Warrant     | Supplier No | Supplier Name                  | Warrant Date | Amount     |
|   | 00751150    | 1007        | UNITED POWER (UNION REA)       | 7/30/2020    | 1,601.12   |
|   | 00751151    | 1007        | UNITED POWER (UNION REA)       | 7/30/2020    | 28.11      |
|   | 00751152    | 1007        | UNITED POWER (UNION REA)       | 7/30/2020    | 116.06     |
|   | 00751153    | 1007        | UNITED POWER (UNION REA)       | 7/30/2020    | 178.02     |
|   | 00751162    | 173649      | US LEGAL SUPPORT               | 7/30/2020    | 242.01     |
|   | 00751163    | 28566       | VERIZON WIRELESS               | 7/30/2020    | 489.69     |
|   | 00751167    | 956168      | WERNER W ELIZABETH             | 7/30/2020    | 198.72     |
|   | 00751171    | 13822       | XCEL ENERGY                    | 7/30/2020    | 87.40      |
|   | 00751172    | 13822       | XCEL ENERGY                    | 7/30/2020    | 83.38      |
|   | 00751173    | 13822       | XCEL ENERGY                    | 7/30/2020    | 49.45      |
|   | 00751174    | 13822       | XCEL ENERGY                    | 7/30/2020    | 66.20      |
|   | 00751199    | 1052110     | NORTH METRO FIRE RESCUE DISTRI | 7/31/2020    | 340,626.37 |

Fund Total 3,698,252.57

Net Warrants by Fund Detail

1,157,144.61

Net Warrants by Fund Detail

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| Warrant  | ~ ~ ~ ~ ~ ~ |                                |              |           |
|----------|-------------|--------------------------------|--------------|-----------|
|          | Supplier No | Supplier Name                  | Warrant Date | Amount    |
| 00006306 | 6177        | PROFESSIONAL RECREATION MGMT I | 7/30/2020    | 74,496.39 |
| 00750973 | 12012       | ALSCO AMERICAN INDUSTRIAL      | 7/30/2020    | 52.34     |
| 00750986 | 13206       | C P S DISTRIBUTORS INC         | 7/30/2020    | 541.24    |
| 00750989 | 25288       | CEM LAKE MGMT                  | 7/30/2020    | 494.00    |
| 00751039 | 160270      | GOLF & SPORT SOLUTIONS         | 7/30/2020    | 1,827.58  |
| 00751060 | 11496       | L L JOHNSON DIST               | 7/30/2020    | 430.17    |
| 00751061 | 525704      | LABOR SOLUTIONS INC            | 7/30/2020    | 3,000.00  |
| 00751144 | 47140       | TORO NSN                       | 7/30/2020    | 233.00    |
| 00751154 | 1007        | UNITED POWER (UNION REA)       | 7/30/2020    | 62.46     |
| 00751155 | 1007        | UNITED POWER (UNION REA)       | 7/30/2020    | 2,797.34  |
| 00751156 | 1007        | UNITED POWER (UNION REA)       | 7/30/2020    | 4,122.47  |
| 00751157 | 1007        | UNITED POWER (UNION REA)       | 7/30/2020    | 4,361.70  |
| 00751158 | 1007        | UNITED POWER (UNION REA)       | 7/30/2020    | 1,138.52  |
| 00751159 | 1007        | UNITED POWER (UNION REA)       | 7/30/2020    | 30.64     |
| 00751160 | 1007        | UNITED POWER (UNION REA)       | 7/30/2020    | 58.90     |

**Fund Total** 

93,646.75

| Warrant  | Supplier No | Supplier Name                  | Warrant Date | Amount    |
|----------|-------------|--------------------------------|--------------|-----------|
| 00750980 | 32682       | BEARCOM WIRELESS WORLDWIDE     | 7/30/2020    | 34,614.00 |
| 00751051 | 682207      | INSIGHT AUTO GLASS LLC         | 7/30/2020    | 1,525.84  |
| 00751096 | 16237       | SAM HILL OIL INC               | 7/30/2020    | 25,587.49 |
| 00751141 | 790907      | THE GOODYEAR TIRE AND RUBBER C | 7/30/2020    | 3,363.2   |

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#### Net Warrants by Fund Detail

| 13 | Road & Brid | ge Fund     |                                |              |            |
|----|-------------|-------------|--------------------------------|--------------|------------|
|    | Warrant     | Supplier No | Supplier Name                  | Warrant Date | Amount     |
|    | 00750963    | 1052315     | 5830 DOWNING STREET LLC        | 7/30/2020    | 3,000.00   |
|    | 00750984    | 57143       | BROOMFIELD CITY AND COUNTY     | 7/30/2020    | 100,000.00 |
|    | 00750990    | 814272      | CENTRAL SALT LLC               | 7/30/2020    | 27,889.46  |
|    | 00751003    | 65277       | COLO DEPT OF TRANSPORTATION    | 7/30/2020    | 3,025.97   |
|    | 00751028    | 534975      | EP&A ENVIROTAC INC             | 7/30/2020    | 35,644.18  |
|    | 00751033    | 1052221     | FRANKLIN INDUSTRIAL GROUP      | 7/30/2020    | 11,500.00  |
|    | 00751041    | 12812       | GROUND ENGINEERING CONSULTANTS | 7/30/2020    | 1,431.50   |
|    | 00751047    | 4879        | IDEAL FENCING CORPORATION      | 7/30/2020    | 5,000.00   |
|    | 00751056    | 506641      | JK TRANSPORTS INC              | 7/30/2020    | 31,835.00  |
|    | 00751059    | 823806      | KECI COLORADO INC              | 7/30/2020    | 404,018.88 |
|    | 00751166    | 353636      | WEAR PARTS & EQUIPMENT CO INC  | 7/30/2020    | 19,440.00  |

Fund Total 642,784.99

#### Net Warrants by Fund Detail

| 19 | Insurance Fu | ınd         |                                |              |           |
|----|--------------|-------------|--------------------------------|--------------|-----------|
|    | Warrant      | Supplier No | Supplier Name                  | Warrant Date | Amoun     |
|    | 00006304     | 41962       | COLO DEPT OF LABOR AND EMPLOYM | 7/30/2020    | 9,432.50  |
|    | 00006324     | 523053      | TRISTAR RISK MANAGEMENT        | 7/31/2020    | 739.00    |
|    | 00750969     | 492573      | ADVANCED URGENT CARE AND OCC M | 7/30/2020    | 255.00    |
|    | 00750988     | 419839      | CAREHERE LLC                   | 7/30/2020    | 43,122.52 |
|    | 00751004     | 17565       | COLO FRAME & SUSPENSION        | 7/30/2020    | 4,893.28  |
|    | 00751022     | 128957      | DIVERSIFIED BODY & PAINT SHOP  | 7/30/2020    | 16,429.22 |
|    | 00751057     | 13771       | JOE'S TOWING & RECOVERY        | 7/30/2020    | 92.00     |
|    | 00751073     | 100276      | MSDS ONLINE                    | 7/30/2020    | 9,999.00  |
|    | 00751079     | 7305        | O J WATSON COMPANY INC         | 7/30/2020    | 6,648.00  |
|    | 00751090     | 64626       | REMOTEC INC SUBSIDIARY OF NORT | 7/30/2020    | 6,950.0   |
|    | 00751165     | 13082       | W L CONTRACTORS INC            | 7/30/2020    | 12,655.90 |

Fund Total 111,216.42

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#### Net Warrants by Fund Detail

| 27 | Open Space Projects Fund |                        |                                      |                        |                     |  |
|----|--------------------------|------------------------|--------------------------------------|------------------------|---------------------|--|
|    | Warrant<br>00751007      | Supplier No<br>1017691 | Supplier Name<br>COLOCO INCORPORATED | Warrant Date 7/30/2020 | Amount<br>23,260.00 |  |
|    | 00/3100/                 | 101/091                | COLOCO INCORPORATED                  | Fund Total             | 23,260.00           |  |

23,260.00

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Net Warrants by Fund Detail

| 28 | Open Space | Open Space Sales Tax Fund |                                |              |          |  |  |  |
|----|------------|---------------------------|--------------------------------|--------------|----------|--|--|--|
|    | Warrant    | Supplier No               | Supplier Name                  | Warrant Date | Amount   |  |  |  |
|    | 00751082   | 496938                    | OUTDOOR PROMOTIONS OF COLORADO | 7/30/2020    | 1,500.00 |  |  |  |
|    | 00751091   | 881762                    | RICARDO FLORES MAGON ACADEMY   | 7/30/2020    | 9,584.35 |  |  |  |
|    | 00751091   | 881/02                    | RICARDO FLORES MACON ACADEM I  | 1/30/2020    | 9,384.33 |  |  |  |

11,084.35

**Fund Total** 

Fund Total

5,600.00

7/31/2020

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#### Net Warrants by Fund Detail

| 31 | Head Start Fund |             |                                |              |          |  |  |
|----|-----------------|-------------|--------------------------------|--------------|----------|--|--|
|    | Warrant         | Supplier No | Supplier Name                  | Warrant Date | Amount   |  |  |
|    | 00750993        | 37266       | CENTURY LINK                   | 7/30/2020    | 138.63   |  |  |
|    | 00750994        | 37266       | CENTURY LINK                   | 7/30/2020    | 183.10   |  |  |
|    | 00750995        | 37266       | CENTURY LINK                   | 7/30/2020    | 130.47   |  |  |
|    | 00750997        | 327914      | CESCO LINGUISTIC SERVICE INC   | 7/30/2020    | 245.33   |  |  |
|    | 00750999        | 327250      | CINTAS CORPORATION NO 2        | 7/30/2020    | 160.89   |  |  |
|    | 00751001        | 5078        | COLO DEPT OF HUMAN SERVICES    | 7/30/2020    | 35.00    |  |  |
|    | 00751002        | 5078        | COLO DEPT OF HUMAN SERVICES    | 7/30/2020    | 35.00    |  |  |
|    | 00751015        | 881716      | CRISIS PREVENTION INSTITUTE IN | 7/30/2020    | 150.00   |  |  |
|    | 00751037        | 971545      | GENESIS FLOOR CARE OF COLORADO | 7/30/2020    | 3,453.90 |  |  |
|    | 00751048        | 479165      | IDEMIA IDENTITY & SECURITY USA | 7/30/2020    | 49.50    |  |  |
|    | 00751049        | 479165      | IDEMIA IDENTITY & SECURITY USA | 7/30/2020    | 49.50    |  |  |
|    | 00751050        | 479165      | IDEMIA IDENTITY & SECURITY USA | 7/30/2020    | 49.50    |  |  |
|    | 00751076        | 28601       | NATIONAL HEADSTART ASSOCIATION | 7/30/2020    | 1,260.00 |  |  |
|    | 00751078        | 55021       | NULINX INTERNATIONAL           | 7/30/2020    | 795.00   |  |  |
|    | 00751089        | 33044       | REGION VIII HEAD START ASSOCIA | 7/30/2020    | 512.00   |  |  |
|    | 00751168        | 31360       | WESTMINSTER PRESBYTERIAN CHURC | 7/30/2020    | 2,267.73 |  |  |
|    | 00751169        | 59983       | WESTMINSTER PUBLIC SCHOOLS     | 7/30/2020    | 486.89   |  |  |
|    | 00751170        | 1031472     | WUERTZ CHARLIE                 | 7/30/2020    | 1,500.00 |  |  |

Fund Total

11,502.44

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|--------|---|
|--------|---|

| 34 | Comm Servi | ces Blk Grant Fund |                          |              |           |
|----|------------|--------------------|--------------------------|--------------|-----------|
|    | Warrant    | Supplier No        | Supplier Name            | Warrant Date | Amount    |
|    | 00750965   | 258636             | ADAMS COUNTY FOOD BANK   | 7/30/2020    | 3,939.61  |
|    | 00750972   | 5991               | ALMOST HOME INC          | 7/30/2020    | 4,911.61  |
|    | 00751100   | 58925              | SERVICIOS DE LA RAZA INC | 7/30/2020    | 8,865.01  |
|    |            |                    |                          | Fund Total   | 17,716.23 |

Net Warrants by Fund Detail

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| Warrant  | Supplier No | Supplier Name                  | Warrant Date | Amount    |
|----------|-------------|--------------------------------|--------------|-----------|
| 00006297 | 709816      | CITY SERVICEVALCON LLC         | 7/28/2020    | 57,677.87 |
| 00750970 | 88281       | ALBERTS WATER & WASTEWATER SER | 7/30/2020    | 3,300.00  |
| 00750975 | 351622      | AURORA WATER                   | 7/30/2020    | 4,977.24  |
| 00750996 | 80257       | CENTURYLINK                    | 7/30/2020    | 360.63    |
| 00751021 | 80156       | DISH NETWORK                   | 7/30/2020    | 154.04    |
| 00751094 | 44131       | ROGGEN FARMERS ELEVATOR ASSN   | 7/30/2020    | 135.30    |
| 00751164 | 80279       | VERIZON WIRELESS               | 7/30/2020    | 510.91    |
| 00751175 | 13822       | XCEL ENERGY                    | 7/30/2020    | 14.41     |
| 00751176 | 13822       | XCEL ENERGY                    | 7/30/2020    | 42.50     |
| 00751177 | 13822       | XCEL ENERGY                    | 7/30/2020    | 145.34    |
| 00751178 | 13822       | XCEL ENERGY                    | 7/30/2020    | 231.11    |
| 00751179 | 13822       | XCEL ENERGY                    | 7/30/2020    | 653.82    |
| 00751180 | 13822       | XCEL ENERGY                    | 7/30/2020    | 1,080.69  |
| 00751181 | 13822       | XCEL ENERGY                    | 7/30/2020    | 13.39     |
| 00751182 | 13822       | XCEL ENERGY                    | 7/30/2020    | 15.38     |
| 00751183 | 13822       | XCEL ENERGY                    | 7/30/2020    | 15.80     |
| 00751184 | 13822       | XCEL ENERGY                    | 7/30/2020    | 36.94     |
| 00751185 | 13822       | XCEL ENERGY                    | 7/30/2020    | 53.30     |
| 00751186 | 13822       | XCEL ENERGY                    | 7/30/2020    | 54.20     |
| 00751187 | 13822       | XCEL ENERGY                    | 7/30/2020    | 57.12     |
| 00751188 | 13822       | XCEL ENERGY                    | 7/30/2020    | 68.04     |
| 00751189 | 13822       | XCEL ENERGY                    | 7/30/2020    | 80.64     |
| 00751190 | 13822       | XCEL ENERGY                    | 7/30/2020    | 84.46     |
| 00751191 | 13822       | XCEL ENERGY                    | 7/30/2020    | 98.54     |
| 00751192 | 13822       | XCEL ENERGY                    | 7/30/2020    | 127.88    |
| 00751193 | 13822       | XCEL ENERGY                    | 7/30/2020    | 154.23    |
| 00751194 | 13822       | XCEL ENERGY                    | 7/30/2020    | 244.88    |
| 00751195 | 13822       | XCEL ENERGY                    | 7/30/2020    | 458.41    |
| 00751196 | 13822       | XCEL ENERGY                    | 7/30/2020    | 607.13    |
| 00751197 | 13822       | XCEL ENERGY                    | 7/30/2020    | 1,300.82  |
| 00751198 | 13822       | XCEL ENERGY                    | 7/30/2020    | 1,561.77  |
|          |             |                                |              |           |
|          |             |                                | Fund Total   | 74.316    |

Fund Total

74,316.79

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Net Warrants by Fund Detail

| 50 | FLATROCK Facility Fund |             |                                |              |          |  |  |
|----|------------------------|-------------|--------------------------------|--------------|----------|--|--|
|    | Warrant                | Supplier No | Supplier Name                  | Warrant Date | Amount   |  |  |
|    | 00750976               | 43744       | AUTOMATED BUILDING SOLUTIONS I | 7/30/2020    | 3,590.00 |  |  |
|    | 00751161               | 1007        | UNITED POWER (UNION REA)       | 7/30/2020    | 88.68    |  |  |

 Fund Total
 3,678.68

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Grand Total <u>5,915,294.48</u>

| R5504001              |                             | County of Adams |         |          |                |        |  |  |
|-----------------------|-----------------------------|-----------------|---------|----------|----------------|--------|--|--|
| Vendor Payment Report |                             |                 |         |          |                |        |  |  |
| 3161                  | Animal Shelter Construction | Fund            | Voucher | Batch No | GL Date        | Amount |  |  |
|                       | Buildings                   |                 |         |          |                |        |  |  |
| XCEL ENERGY           |                             | 00004           | 978784  | 369693   | 7/27/2020      | 49.45  |  |  |
|                       | XCEL ENERGY                 | 00004           | 978785  | 369693   | 7/27/2020      | 66.20  |  |  |
|                       |                             |                 |         |          | Account Total  | 115.65 |  |  |
|                       |                             |                 |         | De       | partment Total | 115.65 |  |  |

| R5504001 | 0                              | 7/31/2020         | 14:55:52 |          |                  |        |        |
|----------|--------------------------------|-------------------|----------|----------|------------------|--------|--------|
|          | Vend                           | lor Payment Repor | t        |          |                  | Page - | 2      |
| 1074     | CA- Risk Management            | Fund              | Voucher  | Batch No | GL Date          | Amount |        |
|          | Safety-Drug & Al Test/Med Cert |                   |          |          |                  |        |        |
|          | ADVANCED URGENT CARE AND OCC M | 00019             | 978788   | 369694   | 7/27/2020        | 2      | 255.00 |
|          |                                |                   |          |          | Account Total    | 2      | 255.00 |
|          | Subscrip/Publications          |                   |          |          |                  |        |        |
|          | MSDS ONLINE                    | 00019             | 978159   | 368888   | 7/15/2020        | 9,9    | 99.00  |
|          |                                |                   |          |          | Account Total    | 9,9    | 99.00  |
|          |                                |                   |          | D        | Department Total | 10,2   | 254.00 |

| R5504001              |  | <b>County of Adams</b> |         |              |  | 7/31/2020 14:55:52                           |  |
|-----------------------|--|------------------------|---------|--------------|--|--|--|
| Vendor Payment Report |  |                        |         |              |  |  |  |
| 4                     | Capital Facilities Fund                                  | Fund                   | Voucher | Batch No     | GL Date                                      | Amount                                       |  |
|                       | Received not Vouchered Clrg<br>SAUNDERS CONSTRUCTION INC | 00004                  | 978870  | 369802<br>De | 7/28/2020<br>Account Total<br>partment Total | 1,157,144.61<br>1,157,144.61<br>1,157,144.61 |  |

Vendor Payment Report

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| 9263 | CARES Act Funding              | Fund  | Voucher | Batch No | GL Date        | Amount       |
|------|--------------------------------|-------|---------|----------|----------------|--------------|
|      | Grants to Other Instit         |       |         |          |                |              |
|      | ADAMS COUNTY SCHOOL DIST 1     | 00001 | 978928  | 369940   | 7/29/2020      | 1,048,049.35 |
|      | BENNETT SCHOOL DISTRICT 29J    | 00001 | 978932  | 369940   | 7/29/2020      | 104,742.07   |
|      | BRIGHTON FIRE RESCUE DISTRICT  | 00001 | 978926  | 369940   | 7/29/2020      | 160,027.25   |
|      | NORTH METRO FIRE RESCUE DISTRI | 00001 | 978858  | 369800   | 7/28/2020      | 340,626.37   |
|      |                                |       |         |          | Account Total  | 1,653,445.04 |
|      |                                |       |         | De       | partment Total | 1,653,445.04 |

|      |                     | Vendor Payment Repo | rt      |          |                  | Page - 5 |
|------|---------------------|---------------------|---------|----------|------------------|----------|
| 4302 | CASP Administration | Fund                | Voucher | Batch No | GL Date          | Amount   |
|      | Gas & Electricity   |                     |         |          |                  |          |
|      | XCEL ENERGY         | 00043               | 978920  | 369937   | 7/29/2020        | 13.39    |
|      | XCEL ENERGY         | 00043               | 978921  | 369937   | 7/29/2020        | 15.38    |
|      |                     |                     |         |          | Account Total    | 28.77    |
|      | Telephone           |                     |         |          |                  |          |
|      | CENTURYLINK         | 00043               | 978873  | 369805   | 7/28/2020        | 59.65    |
|      | VERIZON WIRELESS    | 00043               | 978877  | 369805   | 7/28/2020        | 470.90   |
|      |                     |                     |         |          | Account Total    | 530.55   |
|      |                     |                     |         | D        | Department Total | 559.32   |

R5504001

**County of Adams** 

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| R5504001 |                   | <b>County of Adams</b> |         |          |                 | 7/31/2020 14:55:52 |
|----------|-------------------|------------------------|---------|----------|-----------------|--------------------|
|          |                   | Vendor Payment Report  | rt      |          |                 | Page - 6           |
| 4308     | САЅРАТСТ          | Fund                   | Voucher | Batch No | GL Date         | Amount             |
|          | Gas & Electricity |                        |         |          |                 |                    |
|          | XCEL ENERGY       | 00043                  | 978922  | 369937   | 7/29/2020       | 15.80              |
|          | XCEL ENERGY       | 00043                  | 978941  | 369942   | 7/29/2020       | 1,561.77           |
|          |                   |                        |         |          | Account Total   | 1,577.57           |
|          | Telephone         |                        |         |          |                 |                    |
|          | CENTURYLINK       | 00043                  | 978873  | 369805   | 7/28/2020       | 55.54              |
|          | CENTURYLINK       | 00043                  | 978873  | 369805   | 7/28/2020       | 142.94             |
|          |                   |                        |         |          | Account Total   | 198.48             |
|          |                   |                        |         | D        | epartment Total | 1,776.05           |

| 04001 |                      | <b>County of Adams</b> |         |          |                  | 7/31/2020 14:5 |
|-------|----------------------|------------------------|---------|----------|------------------|----------------|
|       |                      | Vendor Payment Repo    | rt      |          |                  | Page -         |
| 4303  | CASP FBO             | Fund                   | Voucher | Batch No | GL Date          | Amount         |
|       | Gas & Electricity    |                        |         |          |                  |                |
|       | XCEL ENERGY          | 00043                  | 978925  | 369937   | 7/29/2020        | 54.20          |
|       |                      |                        |         |          | Account Total    | 54.20          |
|       | Satellite Television |                        |         |          |                  |                |
|       | DISH NETWORK         | 00043                  | 978874  | 369805   | 7/28/2020        | 154.04         |
|       |                      |                        |         |          | Account Total    | 154.04         |
|       | Telephone            |                        |         |          |                  |                |
|       | CENTURYLINK          | 00043                  | 978873  | 369805   | 7/28/2020        | 51.10          |
|       | VERIZON WIRELESS     | 00043                  | 978877  | 369805   | 7/28/2020        | 40.0           |
|       |                      |                        |         |          | Account Total    | 91.1           |
|       |                      |                        |         | Γ        | Department Total | 299.3          |

#### R5504001

# **County of Adams**

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Vendor Payment Report

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| 4304 | CASP Operations/Maintenance  | Fund  | Voucher | Batch No | GL Date             | Amount    |
|------|------------------------------|-------|---------|----------|---------------------|-----------|
|      | Gas & Electricity            |       |         |          |                     |           |
|      | ROGGEN FARMERS ELEVATOR ASSN | 00043 | 978875  | 369805   | 7/28/2020           | 135.30    |
|      | XCEL ENERGY                  | 00043 | 978923  | 369937   | 7/29/2020           | 466.51    |
|      | XCEL ENERGY                  | 00043 | 978923  | 369937   | 7/29/2020           | 679.03-   |
|      | XCEL ENERGY                  | 00043 | 978923  | 369937   | 7/29/2020           | 249.46    |
|      | XCEL ENERGY                  | 00043 | 978924  | 369937   | 7/29/2020           | 53.30     |
|      | XCEL ENERGY                  | 00043 | 978880  | 369809   | 7/28/2020           | 14.41     |
|      | XCEL ENERGY                  | 00043 | 978881  | 369809   | 7/28/2020           | 42.50     |
|      | XCEL ENERGY                  | 00043 | 978882  | 369809   | 7/28/2020           | 145.34    |
|      | XCEL ENERGY                  | 00043 | 978883  | 369809   | 7/28/2020           | 1,392.62  |
|      | XCEL ENERGY                  | 00043 | 978883  | 369809   | 7/28/2020           | 1,161.51- |
|      | XCEL ENERGY                  | 00043 | 978884  | 369809   | 7/28/2020           | 605.30    |
|      | XCEL ENERGY                  | 00043 | 978884  | 369809   | 7/28/2020           | 48.52     |
|      | XCEL ENERGY                  | 00043 | 978929  | 369941   | 7/29/2020           | 57.12     |
|      | XCEL ENERGY                  | 00043 | 978930  | 369941   | 7/29/2020           | 68.04     |
|      | XCEL ENERGY                  | 00043 | 978931  | 369941   | 7/29/2020           | 80.64     |
|      | XCEL ENERGY                  | 00043 | 978933  | 369941   | 7/29/2020           | 39.83     |
|      | XCEL ENERGY                  | 00043 | 978933  | 369941   | 7/29/2020           | 44.63     |
|      | XCEL ENERGY                  | 00043 | 978934  | 369941   | 7/29/2020           | 98.54     |
|      | XCEL ENERGY                  | 00043 | 978935  | 369941   | 7/29/2020           | 668.42    |
|      | XCEL ENERGY                  | 00043 | 978935  | 369941   | 7/29/2020           | 48.19     |
|      | XCEL ENERGY                  | 00043 | 978935  | 369941   | 7/29/2020           | 570.36-   |
|      | XCEL ENERGY                  | 00043 | 978935  | 369941   | 7/29/2020           | 18.37-    |
|      | XCEL ENERGY                  | 00043 | 978936  | 369942   | 7/29/2020           | 154.23    |
|      | XCEL ENERGY                  | 00043 | 978937  | 369942   | 7/29/2020           | 200.25    |
|      | XCEL ENERGY                  | 00043 | 978937  | 369942   | 7/29/2020           | 44.63     |
|      | XCEL ENERGY                  | 00043 | 978938  | 369942   | 7/29/2020           | 458.41    |
|      | XCEL ENERGY                  | 00043 | 978939  | 369942   | 7/29/2020           | 1,338.06  |
|      | XCEL ENERGY                  | 00043 | 978939  | 369942   | 7/29/2020           | 730.93-   |
|      | XCEL ENERGY                  | 00043 | 978940  | 369942   | 7/29/2020           | 1,252.27  |
|      | XCEL ENERGY                  | 00043 | 978940  | 369942   | 7/29/2020           | 48.55     |
|      |                              |       |         |          | Account Total       | 4,594.87  |
|      |                              |       |         | De       | -<br>partment Total | 4,594.87  |

| R5504001 |  | <b>County of Adams</b> |         |              |   | 7/31/2020 14            | 4:55:52 |
|----------|--|------------------------|---------|--------------|---|-------------------------|---------|
|          |  | Vendor Payment Repor   | t       |              |   | Page -                  | 9       |
| 941018   | CDBG 2018/2019                                   | Fund                   | Voucher | Batch No     | GL Date                                       | Amount                  |         |
|          | Grants to Other InstPgm. Cst<br>DENVER STAIR LTD | 00030                  | 979256  | 370057<br>De | 7/30/2020<br>Account Total<br>spartment Total | 5,600<br>5,600<br>5,600 | .00     |

| R5504001 |                        | <b>County of Adams</b> |         |          |                  | 7/31/2020 | 14:55:52 |
|----------|------------------------|------------------------|---------|----------|------------------|-----------|----------|
|          |                        | Vendor Payment Report  | rt      |          |                  | Page -    | 10       |
| 1022     | CLK Elections          | Fund                   | Voucher | Batch No | GL Date          | Amount    |          |
|          | Destruction of Records |                        |         |          |                  |           |          |
|          | SHRED IT USA LLC       | 00001                  | 978847  | 369791   | 7/28/2020        | 1         | 10.63    |
|          |                        |                        |         |          | Account Total    | 1         | 10.63    |
|          | Operating Supplies     |                        |         |          |                  |           |          |
|          | CENTURY LINK           | 00001                  | 978844  | 369791   | 7/28/2020        |           | 80.83    |
|          |                        |                        |         |          | Account Total    |           | 80.83    |
|          |                        |                        |         | E        | Department Total | 1         | 91.46    |

| R5504001 |                             | <b>County of Adams</b> |         |          |                 | 7/31/2020 | 14:55:52 |
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|          |                             | Vendor Payment Repor   | t       |          |                 | Page -    | 11       |
| 1023     | CLK Motor Vehicle           | Fund                   | Voucher | Batch No | GL Date         | Amount    |          |
|          | Destruction of Records      |                        |         |          |                 |           |          |
|          | SHRED IT USA LLC            | 00001                  | 978846  | 369791   | 7/28/2020       | 1′        | 77.00    |
|          | SHRED IT USA LLC            | 00001                  | 978848  | 369791   | 7/28/2020       | 14        | 45.20    |
|          |                             |                        |         |          | Account Total   | 32        | 22.20    |
|          | Operating Supplies          |                        |         |          |                 |           |          |
|          | COPYCO QUALITY PRINTING INC | 00001                  | 978845  | 369791   | 7/28/2020       | 30        | 00.00    |
|          |                             |                        |         |          | Account Total   | 30        | 00.00    |
|          |                             |                        |         | D        | epartment Total | 62        | 22.20    |

| R5504001 | (                              | County of Adams   |         |          |                | 7/31/2020 14:55:52 |
|----------|--------------------------------|-------------------|---------|----------|----------------|--------------------|
|          | Vend                           | lor Payment Repor | ·t      |          |                | Page - 12          |
| 43       | Colorado Air & Space Port      | Fund              | Voucher | Batch No | GL Date        | Amount             |
|          | Received not Vouchered Clrg    |                   |         |          |                |                    |
|          | ALBERTS WATER & WASTEWATER SER | 00043             | 979128  | 370033   | 7/30/2020      | 3,300.00           |
|          | CITY SERVICEVALCON LLC         | 00043             | 978861  | 369802   | 7/28/2020      | 22,038.17          |
|          | CITY SERVICEVALCON LLC         | 00043             | 978863  | 369802   | 7/28/2020      | 13,178.88          |
|          | CITY SERVICEVALCON LLC         | 00043             | 978864  | 369802   | 7/28/2020      | 22,460.82          |
|          |                                |                   |         |          | Account Total  | 60,977.87          |
|          |                                |                   |         | Dej      | partment Total | 60,977.87          |

| R5504001 |                              | County of Adams    |         |          |                 | 7/31/2020 14:55:52 |
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|          | Ve                           | endor Payment Repo | rt      |          |                 | Page - 13          |
| 1013     | County Attorney              | Fund               | Voucher | Batch No | GL Date         | Amount             |
|          | Court Reporting Transcripts  |                    |         |          |                 |                    |
|          | US LEGAL SUPPORT             | 00001              | 978789  | 369694   | 7/27/2020       | 242.01             |
|          |                              |                    |         |          | Account Total   | 242.01             |
|          | Other Professional Serv      |                    |         |          |                 |                    |
|          | DC APPRAISERS                | 00001              | 978790  | 369694   | 7/27/2020       | 600.00             |
|          | INVESTIGATIONS LAW GROUP LLC | 00001              | 978793  | 369696   | 7/27/2020       | 2,003.50           |
|          | INVESTIGATIONS LAW GROUP LLC | 00001              | 978794  | 369696   | 7/27/2020       | 16,194.50          |
|          | INVESTIGATIONS LAW GROUP LLC | 00001              | 978795  | 369696   | 7/27/2020       | 31,522.11          |
|          | INVESTIGATIONS LAW GROUP LLC | 00001              | 978796  | 369696   | 7/27/2020       | 14,905.25          |
|          |                              |                    |         |          | Account Total   | 65,225.36          |
|          |                              |                    |         | D        | epartment Total | 65,467.37          |

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# **County of Adams**

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| 2031 | County Coroner                 | Fund  | Voucher | Batch No | GL Date         | Amount   |
|------|--------------------------------|-------|---------|----------|-----------------|----------|
|      | Medical Services               |       |         |          |                 |          |
|      | CARUSO JAMES LOUIS             | 00001 | 978748  | 369612   | 7/24/2020       | 3,075.0  |
|      | CINA & CINA FORENSIC CONSULTIN | 00001 | 978911  | 369920   | 7/29/2020       | 8,000.0  |
|      |                                |       |         |          | Account Total   | 11,075.0 |
|      | Operating Supplies             |       |         |          |                 |          |
|      | ELDORADO ARTESIAN SPRINGS INC  | 00001 | 978730  | 369609   | 7/24/2020       | 38.9     |
|      | ELDORADO ARTESIAN SPRINGS INC  | 00001 | 978731  | 369609   | 7/24/2020       | 11.0     |
|      | SOUTHLAND MEDICAL LLC          | 00001 | 978732  | 369609   | 7/24/2020       | 150.6    |
|      | SOUTHLAND MEDICAL LLC          | 00001 | 978733  | 369609   | 7/24/2020       | 204.0    |
|      | SOUTHLAND MEDICAL LLC          | 00001 | 978734  | 369609   | 7/24/2020       | 167.8    |
|      | SOUTHLAND MEDICAL LLC          | 00001 | 978736  | 369609   | 7/24/2020       | 77.5     |
|      |                                |       |         |          | Account Total   | 649.9    |
|      | Other Professional Serv        |       |         |          |                 |          |
|      | COLO MEDICAL WASTE INC         | 00001 | 978744  | 369609   | 7/24/2020       | 1,347.0  |
|      | FEDEX                          | 00001 | 978739  | 369609   | 7/24/2020       | 208.3    |
|      | FEDEX                          | 00001 | 978740  | 369609   | 7/24/2020       | 332.2    |
|      | LABORATORY CORPORATION OF AMER | 00001 | 978742  | 369609   | 7/24/2020       | 6,480.0  |
|      | LANGUAGE LINE SERVICES         | 00001 | 978746  | 369609   | 7/24/2020       | 12.3     |
|      | MECSTAT LABORATORIES           | 00001 | 978737  | 369609   | 7/24/2020       | 195.0    |
|      | MECSTAT LABORATORIES           | 00001 | 978738  | 369609   | 7/24/2020       | 195.0    |
|      | MECSTAT LABORATORIES           | 00001 | 978909  | 369917   | 7/29/2020       | 195.0    |
|      | NMS LABS                       | 00001 | 978743  | 369609   | 7/24/2020       | 13,319.0 |
|      | SCL HEALTH                     | 00001 | 978747  | 369609   | 7/24/2020       | 139.     |
|      | STOEFFLER REBECCA E            | 00001 | 978725  | 369602   | 7/24/2020       | 1,404.0  |
|      | THOMSON REUTERS - WEST         | 00001 | 978745  | 369609   | 7/24/2020       | 390.0    |
|      | UNIPATH                        | 00001 | 978910  | 369917   | 7/29/2020       | 2,125.   |
|      |                                |       |         |          | Account Total   | 26,342.5 |
|      | Subscrip/Publications          |       |         |          |                 |          |
|      | CORHIO                         | 00001 | 978741  | 369609   | 7/24/2020       | 310.0    |
|      |                                |       |         |          | Account Total   | 310.0    |
|      |                                |       |         | D        | epartment Total | 38,377.4 |

| R5504001 | 4001 County of Adams                    |       |         |          |                 |          |
|----------|---|-------|---------|----------|-----------------|----------|
|          | Vendor Payment Report                   |       |         |          |                 |          |
| 1031     | County Treasurer                        | Fund  | Voucher | Batch No | GL Date         | Amount   |
|          | Advertising<br>COLORADO COMMUNITY MEDIA | 00001 | 978603  | 369414   | 7/22/2020       | 1,008.00 |
|          |   |       | 710002  | 20711    | Account Total   | 1,008.00 |
|          | Maintenance Contracts                   |       |         |          |                 |          |
|          | PACIFIC OFFICE AUTOMATION INC           | 00001 | 978606  | 369419   | 7/22/2020       | 18.49    |
|          |   |       |         |          | Account Total   | 18.49    |
|          | Operating Supplies                      |       |         |          |                 |          |
|          | COPYCO QUALITY PRINTING INC             | 00001 | 978604  | 369415   | 7/22/2020       | 200.00   |
|          |   |       |         |          | Account Total   | 200.00   |
|          |   |       |         | D        | epartment Total | 1,226.49 |

| Vendor Payment Report |                          |       |         |          |                | Page - 16 |
|-----------------------|--------------------------|-------|---------|----------|----------------|-----------|
| 951016                | CSBG                     | Fund  | Voucher | Batch No | GL Date        | Amount    |
|                       | Grants to Other Instit   |       |         |          |                |           |
|                       | ADAMS COUNTY FOOD BANK   | 00034 | 978716  | 369600   | 7/24/2020      | 3,939.61  |
|                       | ALMOST HOME INC          | 00034 | 978718  | 369600   | 7/24/2020      | 4,911.61  |
|                       | SERVICIOS DE LA RAZA INC | 00034 | 978717  | 369600   | 7/24/2020      | 8,865.01  |
|                       |                          |       |         |          | Account Total  | 17,716.23 |
|                       |                          |       |         | De       | partment Total | 17,716.23 |

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# County of Adams Vendor Payment Report

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| 6 | Equipment Service Fund         | Fund  | Voucher | Batch No | GL Date        | Amount    |
|---|--------------------------------|-------|---------|----------|----------------|-----------|
|   | Received not Vouchered Clrg    |       |         |          |                |           |
|   | BEARCOM WIRELESS WORLDWIDE     | 00006 | 979227  | 370046   | 7/30/2020      | 17,307.03 |
|   | BEARCOM WIRELESS WORLDWIDE     | 00006 | 979228  | 370046   | 7/30/2020      | 17,307.03 |
|   | INSIGHT AUTO GLASS LLC         | 00006 | 979180  | 370046   | 7/30/2020      | 434.40    |
|   | INSIGHT AUTO GLASS LLC         | 00006 | 979181  | 370046   | 7/30/2020      | 40.00     |
|   | INSIGHT AUTO GLASS LLC         | 00006 | 979182  | 370046   | 7/30/2020      | 40.00     |
|   | INSIGHT AUTO GLASS LLC         | 00006 | 979183  | 370046   | 7/30/2020      | 162.14    |
|   | INSIGHT AUTO GLASS LLC         | 00006 | 979190  | 370046   | 7/30/2020      | 40.00     |
|   | INSIGHT AUTO GLASS LLC         | 00006 | 979191  | 370046   | 7/30/2020      | 267.33    |
|   | INSIGHT AUTO GLASS LLC         | 00006 | 979192  | 370046   | 7/30/2020      | 80.00     |
|   | INSIGHT AUTO GLASS LLC         | 00006 | 979193  | 370046   | 7/30/2020      | 194.64    |
|   | INSIGHT AUTO GLASS LLC         | 00006 | 979255  | 370046   | 7/30/2020      | 267.33    |
|   | SAM HILL OIL INC               | 00006 | 979259  | 370046   | 7/30/2020      | 564.48    |
|   | SAM HILL OIL INC               | 00006 | 979260  | 370046   | 7/30/2020      | 745.31    |
|   | SAM HILL OIL INC               | 00006 | 979226  | 370046   | 7/30/2020      | 10,809.34 |
|   | SAM HILL OIL INC               | 00006 | 979185  | 370046   | 7/30/2020      | 263.87    |
|   | SAM HILL OIL INC               | 00006 | 979186  | 370046   | 7/30/2020      | 532.22    |
|   | SAM HILL OIL INC               | 00006 | 979187  | 370046   | 7/30/2020      | 1,965.41  |
|   | SAM HILL OIL INC               | 00006 | 979188  | 370046   | 7/30/2020      | 10,706.86 |
|   | THE GOODYEAR TIRE AND RUBBER C | 00006 | 979189  | 370046   | 7/30/2020      | 118.08    |
|   | THE GOODYEAR TIRE AND RUBBER C | 00006 | 979231  | 370046   | 7/30/2020      | 368.00    |
|   | THE GOODYEAR TIRE AND RUBBER C | 00006 | 979232  | 370046   | 7/30/2020      | 2,650.18  |
|   | THE GOODYEAR TIRE AND RUBBER C | 00006 | 979184  | 370046   | 7/30/2020      | 227.00    |
|   |                                |       |         |          | Account Total  | 65,090.65 |
|   |                                |       |         | De       | partment Total | 65,090.65 |

| R5504001              |                                 | <b>County of Adams</b> |         |              |  | 7/31/2020 14:        | :55:52 |
|-----------------------|---------------------------------|------------------------|---------|--------------|--|----------------------|--------|
| Vendor Payment Report |                                 |                        |         |              |  | Page -               | 18     |
| 9244                  | Extension- 4-H/Youth            | Fund                   | Voucher | Batch No     | GL Date                                      | Amount               |        |
|                       | Mileage Reimbursements<br>24074 | 00001                  | 978693  | 369587<br>De | 7/24/2020<br>Account Total<br>partment Total | 198.<br>198.<br>198. | 72     |

| R5504001              |                              | <b>County of Adams</b> |         |          |                | 7/31/2020 14:55:52 |
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| Vendor Payment Report |                              |                        |         |          |                |                    |
| 9241                  | Extension- Administration    | Fund                   | Voucher | Batch No | GL Date        | Amount             |
|                       | Mileage Reimbursements 23744 | 00001                  | 978691  | 369587   | 7/24/2020      | 134.55             |
|                       |                              |                        |         |          | Account Total  | 134.55             |
|                       |                              |                        |         | Dej      | partment Total | 134.55             |

| R5504001              | 4001 County of Adams         |       |         |          |                 |        | 14:55:52 |
|-----------------------|------------------------------|-------|---------|----------|-----------------|--------|----------|
| Vendor Payment Report |                              |       |         |          |                 |        | 20       |
| 1076                  | FO - Adams County Svc Center | Fund  | Voucher | Batch No | GL Date         | Amount |          |
|                       | Water/Sewer/Sanitation       |       |         |          |                 |        |          |
|                       | Energy Cap Bill ID=10859     | 00001 | 978759  | 369688   | 7/13/2020       | 5,1    | 13.47    |
|                       |                              |       |         |          | Account Total   | 5,1    | 13.47    |
|                       |                              |       |         | D        | epartment Total | 5,1    | 13.47    |

**Vendor Payment Report** 

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| 1091 | FO - Administration          | Fund  | Voucher | Batch No | GL Date         | Amount    |
|------|------------------------------|-------|---------|----------|-----------------|-----------|
|      | Building Rental              |       |         |          |                 |           |
|      | CHAMBERS HOLDINGS LLC        | 00001 | 978781  | 369693   | 7/27/2020       | 16,377.71 |
|      | IC CHAMBERS LP               | 00001 | 978780  | 369693   | 7/27/2020       | 6,992.00  |
|      |                              |       |         |          | Account Total   | 23,369.71 |
|      | Gas & Electricity            |       |         |          |                 |           |
|      | Energy Cap Bill ID=10801     | 00001 | 978760  | 369688   | 6/18/2020       | 87.40     |
|      | Energy Cap Bill ID=10840     | 00001 | 978761  | 369688   | 6/22/2020       | 83.38     |
|      | Energy Cap Bill ID=10850     | 00001 | 978762  | 369688   | 7/13/2020       | 184.84    |
|      | UNITED POWER (UNION REA)     | 00001 | 978787  | 369693   | 7/27/2020       | 178.02    |
|      |                              |       |         |          | Account Total   | 533.64    |
|      | Postage & Freight            |       |         |          |                 |           |
|      | PITNEY BOWES PURCHASE POWER  | 00001 | 978879  | 369808   | 7/28/2020       | 549.74    |
|      | PITNEY BOWES RESERVE ACCOUNT | 00001 | 978886  | 369810   | 7/28/2020       | 25,000.00 |
|      |                              |       |         |          | Account Total   | 25,549.74 |
|      |                              |       |         | D        | epartment Total | 49,453.09 |

| R5504001              | County of Adams                                |       |         |             |   |        | 14:55:52                |
|-----------------------|--|-------|---------|-------------|---|--------|-------------------------|
| Vendor Payment Report |  |       |         |             |   |        | 22                      |
| 5025                  | FO - Club House Maintenance                    | Fund  | Voucher | Batch No    | GL Date                                       | Amount |                         |
|                       | Building Repair & Maint<br>ACADEMY ROOFING INC | 00005 | 978782  | 369693<br>D | 7/27/2020<br>Account Total<br>epartment Total | 9      | 69.97<br>69.97<br>69.97 |

| R5504001              | County of Adams                                    |       |         |          |                |        |
|-----------------------|--|-------|---------|----------|----------------|--------|
| Vendor Payment Report |  |       |         |          |                |        |
| 1060                  | FO - Community Corrections                         | Fund  | Voucher | Batch No | GL Date        | Amount |
|                       | Water/Sewer/Sanitation<br>Energy Cap Bill ID=10860 | 00001 | 978751  | 369688   | 7/13/2020      | 346.61 |
|                       |  |       |         |          | Account Total  | 346.61 |
|                       |  |       |         | De       | partment Total | 346.61 |

| R5504001              |  | <b>County of Adams</b> |         |          |                 | 7/31/2020 | 14:55:52 |
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| Vendor Payment Report |  |                        |         |          |                 |           | 24       |
| 1114                  | FO - District Attorney Bldg.                       | Fund                   | Voucher | Batch No | GL Date         | Amount    |          |
|                       | Water/Sewer/Sanitation<br>Energy Cap Bill ID=10856 | 00001                  | 978768  | 369688   | 7/9/2020        | 6,53      | 32.20    |
|                       |  |                        |         |          | Account Total   | 6,53      | 32.20    |
|                       |  |                        |         | D        | epartment Total | 6,53      | 32.20    |

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|----------|--------------------------------|-------|---------|----------|------------------|--------|----------|--|
|          | Vendor Payment Report          |       |         |          |                  |        | 25       |  |
| 2090     | FO - Flatrock Facility         | Fund  | Voucher | Batch No | GL Date          | Amount |          |  |
|          | Building Repair & Maint        |       |         |          |                  |        |          |  |
|          | AUTOMATED BUILDING SOLUTIONS I | 00050 | 978917  | 369923   | 7/29/2020        | 3,5    | 3,590.00 |  |
|          |                                |       |         |          | Account Total    | 3,5    | 90.00    |  |
|          | Gas & Electricity              |       |         |          |                  |        |          |  |
|          | Energy Cap Bill ID=10855       | 00050 | 978769  | 369688   | 7/6/2020         |        | 88.68    |  |
|          |                                |       |         |          | Account Total    |        | 88.68    |  |
|          |                                |       |         | D        | Department Total | 3,6    | 78.68    |  |

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|          | Ven                            | dor Payment Repor | rt      |          |                  | Page - 26          |
| 1077     | FO - Government Center         | Fund              | Voucher | Batch No | GL Date          | Amount             |
|          | Grounds Maintenance            |                   |         |          |                  |                    |
|          | ROCKY MOUNTAIN PARKING LOT SER | 00001             | 978914  | 369923   | 7/29/2020        | 1,500.00           |
|          |                                |                   |         |          | Account Total    | 1,500.00           |
|          | Maintenance Contracts          |                   |         |          |                  |                    |
|          | EMERGENCY POWER SERVICES CO IN | 00001             | 978912  | 369923   | 7/29/2020        | 5,000.00           |
|          |                                |                   |         |          | Account Total    | 5,000.00           |
|          |                                |                   |         | E        | Department Total | 6,500.00           |

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|          |                                | Vendor Payment Repor   | t       |          |                | Page - 27          |
| 1070     | FO - Honnen/Plan&Devel/MV Ware | Fund                   | Voucher | Batch No | GL Date        | Amount             |
|          | Water/Sewer/Sanitation         |                        |         |          |                |                    |
|          | Energy Cap Bill ID=10857       | 00001                  | 978753  | 369688   | 7/13/2020      | 1,525.43           |
|          | Energy Cap Bill ID=10861       | 00001                  | 978754  | 369688   | 7/13/2020      | 48.18              |
|          | Energy Cap Bill ID=10862       | 00001                  | 978755  | 369688   | 7/13/2020      | 48.18              |
|          |                                |                        |         |          | Account Total  | 1,621.79           |
|          |                                |                        |         | De       | partment Total | 1,621.79           |

| R5504001 | 0  | County of Adams   |         |             |   | 7/31/2020 | 14:55:52                |
|----------|--|-------------------|---------|-------------|---|-----------|-------------------------|
|          | Vend   | dor Payment Repor | ·t      |             |   | Page -    | 28                      |
| 1079     | FO - Human Services Center                             | Fund              | Voucher | Batch No    | GL Date                                       | Amount    |                         |
|          | Other Repair & Maint<br>PARK 12 HUNDRED OWNERS ASSOCIA | 00001             | 978783  | 369693<br>D | 7/27/2020<br>Account Total<br>epartment Total | 17,43     | 37.00<br>37.00<br>37.00 |

| R5504001 |                                | County of Adams   |         |          |                 | 7/31/2020 14:55:52 |
|----------|--------------------------------|-------------------|---------|----------|-----------------|--------------------|
|          | Ve                             | ndor Payment Repo | ·t      |          |                 | Page - 29          |
| 1071     | FO - Justice Center            | Fund              | Voucher | Batch No | GL Date         | Amount             |
|          | Building Repair & Maint        |                   |         |          |                 |                    |
|          | C & R ELECTRICAL CONTRACTORS I | 00001             | 978786  | 369693   | 7/27/2020       | 196.00             |
|          |                                |                   |         |          | Account Total   | 196.00             |
|          | Water/Sewer/Sanitation         |                   |         |          |                 |                    |
|          | Energy Cap Bill ID=10854       | 00001             | 978756  | 369688   | 7/9/2020        | 20,375.83          |
|          |                                |                   |         |          | Account Total   | 20,375.83          |
|          |                                |                   |         | D        | epartment Total | 20,571.83          |

| R5504001 |  | <b>County of Adams</b> |         |              |  | 7/31/2020 | 14:55:52                |
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|          |  | Vendor Payment Repor   | ·t      |              |  | Page -    | 30                      |
| 1069     | FO - Old Animal Shelter                            | Fund                   | Voucher | Batch No     | GL Date                                      | Amount    |                         |
|          | Water/Sewer/Sanitation<br>Energy Cap Bill ID=10858 | 00001                  | 978752  | 369688<br>De | 7/4/2020<br>Account Total<br>epartment Total | 1,6       | 98.87<br>98.87<br>98.87 |

| R5504001 |                                | <b>County of Adams</b> |         |          |                  | 7/31/2020 14:55:52 |
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|          |                                | Vendor Payment Repor   | t       |          |                  | Page - 31          |
| 1111     | FO - Parks Facilities          | Fund                   | Voucher | Batch No | GL Date          | Amount             |
|          | Building Repair & Maint        |                        |         |          |                  |                    |
|          | DISCOUNT PLUMBING SERVICES INC | 00001                  | 978915  | 369923   | 7/29/2020        | 1,200.00           |
|          |                                |                        |         |          | Account Total    | 1,200.00           |
|          | Gas & Electricity              |                        |         |          |                  |                    |
|          | Energy Cap Bill ID=10846       | 00001                  | 978763  | 369688   | 7/6/2020         | 654.44             |
|          | Energy Cap Bill ID=10847       | 00001                  | 978764  | 369688   | 7/6/2020         | 183.75             |
|          | Energy Cap Bill ID=10849       | 00001                  | 978765  | 369688   | 7/6/2020         | 1,601.12           |
|          | Energy Cap Bill ID=10851       | 00001                  | 978766  | 369688   | 7/6/2020         | 28.11              |
|          | Energy Cap Bill ID=10853       | 00001                  | 978767  | 369688   | 7/6/2020         | 116.06             |
|          |                                |                        |         |          | Account Total    | 2,583.48           |
|          |                                |                        |         | E        | Department Total | 3,783.48           |

| R5504001 |  | <b>County of Adams</b> |         |              |  | 7/31/2020 | 14:55:52                |
|----------|--|------------------------|---------|--------------|--|-----------|-------------------------|
|          |  | Vendor Payment Repor   | ·t      |              |  | Page -    | 32                      |
| 2009     | FO - Sheriff Maintenance                         | Fund                   | Voucher | Batch No     | GL Date                                      | Amount    |                         |
|          | Maintenance Contracts<br>MILE HIGH TREE CARE INC | 00001                  | 978913  | 369923<br>De | 7/29/2020<br>Account Total<br>partment Total | 3         | 50.00<br>50.00<br>50.00 |

| <b>County of Adams</b> |                      |   |   | 7/31/2020   | 14:55:52   |
|------------------------|----------------------|---|---|---|--|
| Vendor Payment Repor   | t                    |   |   | Page -  | 33   |
| Fund                   | Voucher              | Batch No  | GL Date   | Amount  |  |
|                        |                      |   |   |   |  |
| 00001                  | 978757               | 369688  | 7/13/2020   | 2   | 00.09  |
| 00001                  | 978758               | 369688  | 7/10/2020   |   | 66.19  |
|                        |                      |   | Account Total   | 2   | 66.28  |
|                        |                      | De  | epartment Total   | 2   | 66.28  |
|                        | Vendor Payment Repor | Vendor Payment Report           Fund         Voucher           00001         978757 | Fund         Voucher         Batch No           00001         978757         369688           00001         978758         369688 | Fund         Voucher         Batch No         GL Date           00001         978757         369688         7/13/2020           00001         978758         369688         7/10/2020 | Fund         Voucher         Batch No         GL Date         Amount           00001         978757         369688         7/13/2020         2           00001         978758         369688         7/10/2020         2           Account Total         2         2         2 |

#### R5504001

### **County of Adams**

Vendor Payment Report

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|   |                                | ior rayment Repo |         |          |               |            |
|---|--------------------------------|------------------|---------|----------|---------------|------------|
| 1 | General Fund                   | Fund             | Voucher | Batch No | GL Date       | Amount     |
|   | Diversion Restitution Payable  |                  |         |          |               |            |
|   | BC SURF & SPORT                | 00001            | 978694  | 369594   | 7/24/2020     | 50.00      |
|   | COLORADO HOSPITALITY SERVICES  | 00001            | 978696  | 369594   | 7/24/2020     | 50.00      |
|   | FITZPATRICK CAROLANN           | 00001            | 978695  | 369594   | 7/24/2020     | 150.00     |
|   | SPRINT CUSTOMER FINANCE SERVIC | 00001            | 978697  | 369594   | 7/24/2020     | 50.00      |
|   |                                |                  |         |          | Account Total | 300.00     |
|   | Received not Vouchered Clrg    |                  |         |          |               |            |
|   | ADAMSON POLICE PRODUCTS        | 00001            | 979225  | 370046   | 7/30/2020     | 227.45     |
|   | ADVANCED URGENT CARE AND OCC M | 00001            | 979251  | 370046   | 7/30/2020     | 8,475.00   |
|   | ADVANCED URGENT CARE AND OCC M | 00001            | 979252  | 370046   | 7/30/2020     | 8,570.00   |
|   | ALCHEMY TECHNOLOGY GROUP LLC   | 00001            | 979317  | 370190   | 7/31/2020     | 8,720.00   |
|   | ALMOST HOME INC                | 00001            | 979165  | 370033   | 7/30/2020     | 3,518.19   |
|   | ARBORFORCE LLC                 | 00001            | 979245  | 370046   | 7/30/2020     | 53,063.96  |
|   | ARBORFORCE LLC                 | 00001            | 979246  | 370046   | 7/30/2020     | 5,800.00   |
|   | BASELINE ENGINEERING CORPORATI | 00001            | 979153  | 370033   | 7/30/2020     | 216.07     |
|   | BAYAUD ENTERPRISES INC         | 00001            | 979173  | 370033   | 7/30/2020     | 5,385.95   |
|   | CARAHSOFT TECHNOLOGY CORP      | 00001            | 979217  | 370046   | 7/30/2020     | 5,750.00   |
|   | COHEN MILSTEIN SELLERS & TOLL  | 00001            | 979121  | 370033   | 7/30/2020     | 2,126.25   |
|   | COMCAST BUSINESS               | 00001            | 979142  | 370033   | 7/30/2020     | 2,100.00   |
|   | CONSOLIDATED ELECTRICAL DIST   | 00001            | 979212  | 370046   | 7/30/2020     | 5,950.00   |
|   | CRESTLINE MEDICAL SUPPLY       | 00001            | 979316  | 370190   | 7/31/2020     | 16,999.68  |
|   | CRESTLINE MEDICAL SUPPLY       | 00001            | 979316  | 370190   | 7/31/2020     | 128.00     |
|   | DELL MARKETING L P             | 00001            | 979210  | 370046   | 7/30/2020     | 19,824.80  |
|   | DENOVO VENTURES LLC            | 00001            | 979318  | 370190   | 7/31/2020     | 930.00     |
|   | DENOVO VENTURES LLC            | 00001            | 978865  | 369802   | 7/28/2020     | 3,100.00   |
|   | DENOVO VENTURES LLC            | 00001            | 978866  | 369802   | 7/28/2020     | 4,460.00   |
|   | DOMINION VOTING SYSTEMS INC    | 00001            | 979216  | 370046   | 7/30/2020     | 719,000.00 |
|   | DREXEL BARRELL & CO            | 00001            | 979140  | 370033   | 7/30/2020     | 150.00     |
|   | FRANKLIN COVEY                 | 00001            | 979247  | 370046   | 7/30/2020     | 8,505.00   |
|   | G4S SECURE SOLUTIONS USA INC   | 00001            | 979319  | 370190   | 7/31/2020     | 1,546.00   |
|   | G4S SECURE SOLUTIONS USA INC   | 00001            | 979320  | 370190   | 7/31/2020     | 13,686.55  |
|   | G4S SECURE SOLUTIONS USA INC   | 00001            | 979321  | 370190   | 7/31/2020     | 13,910.85  |
|   | G4S SECURE SOLUTIONS USA INC   | 00001            | 979322  | 370190   | 7/31/2020     | 1,576.80   |
|   | G4S SECURE SOLUTIONS USA INC   | 00001            | 979323  | 370190   | 7/31/2020     | 1,421.16   |
|   | G4S SECURE SOLUTIONS USA INC   | 00001            | 979324  | 370190   | 7/31/2020     | 1,434.83   |

#### **Vendor Payment Report**

| 1 | General Fund                 | Fund  | Voucher | Batch No | GL Date   | Amount   |
|---|------------------------------|-------|---------|----------|-----------|----------|
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 979325  | 370190   | 7/31/2020 | 1,421.16 |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 979326  | 370190   | 7/31/2020 | 1,434.83 |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978816  | 369788   | 7/28/2020 | 1,380.17 |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978817  | 369788   | 7/28/2020 | 1,298.18 |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978818  | 369788   | 7/28/2020 | 1,400.66 |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978819  | 369788   | 7/28/2020 | 1,298.18 |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978820  | 369788   | 7/28/2020 | 1,400.66 |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978821  | 369788   | 7/28/2020 | 1,298.18 |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978822  | 369788   | 7/28/2020 | 1,400.66 |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978823  | 369788   | 7/28/2020 | 1,298.18 |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978824  | 369788   | 7/28/2020 | 1,134.20 |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978825  | 369788   | 7/28/2020 | 1,154.69 |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978826  | 369788   | 7/28/2020 | 1,434.83 |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978827  | 369788   | 7/28/2020 | 1,434.83 |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978828  | 369788   | 7/28/2020 | 1,427.99 |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978829  | 369788   | 7/28/2020 | 1,434.83 |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978830  | 369788   | 7/28/2020 | 321.13   |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978831  | 369788   | 7/28/2020 | 505.61   |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978832  | 369788   | 7/28/2020 | 1,400.66 |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978833  | 369788   | 7/28/2020 | 1,298.18 |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978834  | 369788   | 7/28/2020 | 1,434.83 |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978835  | 369788   | 7/28/2020 | 1,434.83 |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978836  | 369788   | 7/28/2020 | 218.64   |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978837  | 369788   | 7/28/2020 | 280.13   |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978838  | 369788   | 7/28/2020 | 1,400.66 |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978839  | 369788   | 7/28/2020 | 1,298.18 |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978840  | 369788   | 7/28/2020 | 1,418.97 |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978841  | 369788   | 7/28/2020 | 371.63   |
|   | G4S SECURE SOLUTIONS USA INC | 00001 | 978842  | 369788   | 7/28/2020 | 1,141.03 |
|   | GABLEHOUSE GRANBERG LLC      | 00001 | 979243  | 370046   | 7/30/2020 | 1,708.00 |
|   | GALLS LLC                    | 00001 | 979144  | 370033   | 7/30/2020 | 313.92   |
|   | GALLS LLC                    | 00001 | 979145  | 370033   | 7/30/2020 | 210.16   |
|   | GALLS LLC                    | 00001 | 979146  | 370033   | 7/30/2020 | 277.94   |
|   | GALLS LLC                    | 00001 | 979147  | 370033   | 7/30/2020 | 487.99   |
|   | GALLS LLC                    | 00001 | 979148  | 370033   | 7/30/2020 | 620.00   |
|   | GALLS LLC                    | 00001 | 979149  | 370033   | 7/30/2020 | 131.29   |
|   |                              |       |         |          |           |          |

### Vendor Payment Report

| 1 | General Fund                  | Fund  | Voucher | Batch No | GL Date   | Amount    |
|---|-------------------------------|-------|---------|----------|-----------|-----------|
|   | GALLS LLC                     | 00001 | 979150  | 370033   | 7/30/2020 | 132.89    |
|   | GALLS LLC                     | 00001 | 979151  | 370033   | 7/30/2020 | 1,235.1   |
|   | GALLS LLC                     | 00001 | 979152  | 370033   | 7/30/2020 | 134.94    |
|   | GLOBAL SOFTWARE LLC           | 00001 | 979209  | 370046   | 7/30/2020 | 15,350.4  |
|   | HELTON & WILLIAMSEN PC        | 00001 | 979143  | 370033   | 7/30/2020 | 2,781.23  |
|   | HP INC                        | 00001 | 979237  | 370046   | 7/30/2020 | 3,675.00  |
|   | HP INC                        | 00001 | 979238  | 370046   | 7/30/2020 | 7,350.00  |
|   | I70 SCOUT THE                 | 00001 | 979236  | 370046   | 7/30/2020 | 10,254.40 |
|   | JARAMILLO JERRY GEORGE        | 00001 | 979239  | 370046   | 7/30/2020 | 7,500.00  |
|   | JAYHAWK TRAILERS              | 00001 | 979171  | 370033   | 7/30/2020 | 7,600.00  |
|   | KD SERVICE GROUP              | 00001 | 979220  | 370046   | 7/30/2020 | 273.63    |
|   | LAND TECH CONTRACTORS INC     | 00001 | 979214  | 370046   | 7/30/2020 | 41,323.00 |
|   | LEWIS HIMES ASSOCIATES INC    | 00001 | 979141  | 370033   | 7/30/2020 | 6,968.00  |
|   | LEXIS NEXIS MATTHEW BENDER    | 00001 | 979223  | 370046   | 7/30/2020 | 2,180.99  |
|   | LIFE RECOVERY CENTER          | 00001 | 979154  | 370033   | 7/30/2020 | 1,615.00  |
|   | LIFE RECOVERY CENTER          | 00001 | 979155  | 370033   | 7/30/2020 | 1,045.00  |
|   | LIFE RECOVERY CENTER          | 00001 | 979156  | 370033   | 7/30/2020 | 120.00    |
|   | LIFE RECOVERY CENTER          | 00001 | 979157  | 370033   | 7/30/2020 | 2,865.00  |
|   | MEXICAN CULTURAL CENTER       | 00001 | 979248  | 370046   | 7/30/2020 | 750.00    |
|   | MEXICAN CULTURAL CENTER       | 00001 | 979249  | 370046   | 7/30/2020 | 750.00    |
|   | MEXICAN CULTURAL CENTER       | 00001 | 979250  | 370046   | 7/30/2020 | 750.00    |
|   | MURPHY RICK                   | 00001 | 979112  | 370033   | 7/30/2020 | 5,013.88  |
|   | MWI VETERINARY SUPPLY CO      | 00001 | 979129  | 370033   | 7/30/2020 | 169.17    |
|   | MWI VETERINARY SUPPLY CO      | 00001 | 979130  | 370033   | 7/30/2020 | 235.5     |
|   | MWI VETERINARY SUPPLY CO      | 00001 | 979131  | 370033   | 7/30/2020 | 3,917.23  |
|   | MWI VETERINARY SUPPLY CO      | 00001 | 979132  | 370033   | 7/30/2020 | 99.59     |
|   | MWI VETERINARY SUPPLY CO      | 00001 | 979133  | 370033   | 7/30/2020 | 435.13    |
|   | MWI VETERINARY SUPPLY CO      | 00001 | 979134  | 370033   | 7/30/2020 | 29.54     |
|   | MWI VETERINARY SUPPLY CO      | 00001 | 979135  | 370033   | 7/30/2020 | 69.0      |
|   | MWI VETERINARY SUPPLY CO      | 00001 | 979136  | 370033   | 7/30/2020 | 509.40    |
|   | MWI VETERINARY SUPPLY CO      | 00001 | 979137  | 370033   | 7/30/2020 | 45.42     |
|   | OFFICESCAPES OF DENVER LLLP   | 00001 | 979242  | 370046   | 7/30/2020 | 17,355.74 |
|   | OTAK A COLORADO CORPORATION   | 00001 | 979241  | 370046   | 7/30/2020 | 6,206.2   |
|   | RUNBECK ELECTION SERVICES INC | 00001 | 979172  | 370033   | 7/30/2020 | 168,000.0 |
|   | SAUNDERS CONSTRUCTION INC     | 00001 | 978871  | 369802   | 7/28/2020 | 18,172.53 |
|   | SAUNDERS CONSTRUCTION INC     | 00001 | 978868  | 369802   | 7/28/2020 | 96,426.8  |

### Vendor Payment Report

| 1 | General Fund               | Fund  | Voucher | Batch No | GL Date   | Amount     |
|---|----------------------------|-------|---------|----------|-----------|------------|
|   | SAUNDERS CONSTRUCTION INC  | 00001 | 978868  | 369802   | 7/28/2020 | 146,588.97 |
|   | SCHULTZ PUBLIC AFFAIRS LLC | 00001 | 979244  | 370046   | 7/30/2020 | 5,416.67   |
|   | SENIOR HUB THE             | 00001 | 979215  | 370046   | 7/30/2020 | 63,032.00  |
|   | SPACE CONCEPTS INC         | 00001 | 979221  | 370046   | 7/30/2020 | 864.18     |
|   | STARCHASE LLC              | 00001 | 979222  | 370046   | 7/30/2020 | 10,750.00  |
|   | STATE OF COLORADO          | 00001 | 979194  | 370046   | 7/30/2020 | 136.00     |
|   | STATE OF COLORADO          | 00001 | 979195  | 370046   | 7/30/2020 | 1,143.15   |
|   | STATE OF COLORADO          | 00001 | 979196  | 370046   | 7/30/2020 | .30        |
|   | STATE OF COLORADO          | 00001 | 979196  | 370046   | 7/30/2020 | 1.51       |
|   | STATE OF COLORADO          | 00001 | 979197  | 370046   | 7/30/2020 | 26.45      |
|   | STATE OF COLORADO          | 00001 | 979198  | 370046   | 7/30/2020 | 174.20     |
|   | STATE OF COLORADO          | 00001 | 979199  | 370046   | 7/30/2020 | 1,769.53   |
|   | STATE OF COLORADO          | 00001 | 979200  | 370046   | 7/30/2020 | 9,655.47   |
|   | STATE OF COLORADO          | 00001 | 979201  | 370046   | 7/30/2020 | 4.20       |
|   | STATE OF COLORADO          | 00001 | 979202  | 370046   | 7/30/2020 | 12.57      |
|   | STATE OF COLORADO          | 00001 | 979203  | 370046   | 7/30/2020 | 940.40     |
|   | STATE OF COLORADO          | 00001 | 979204  | 370046   | 7/30/2020 | 11,718.10  |
|   | STATE OF COLORADO          | 00001 | 979205  | 370046   | 7/30/2020 | 12.21      |
|   | STATE OF COLORADO          | 00001 | 979206  | 370046   | 7/30/2020 | 149.97     |
|   | STATE OF COLORADO          | 00001 | 979207  | 370046   | 7/30/2020 | 70.98      |
|   | STATE OF COLORADO          | 00001 | 979208  | 370046   | 7/30/2020 | 711.87     |
|   | STATE OF COLORADO          | 00001 | 979166  | 370033   | 7/30/2020 | 5,199.98   |
|   | STATE OF COLORADO          | 00001 | 979166  | 370033   | 7/30/2020 | 15,899.65  |
|   | STATE OF COLORADO          | 00001 | 979167  | 370033   | 7/30/2020 | 288.03     |
|   | STATE OF COLORADO          | 00001 | 979167  | 370033   | 7/30/2020 | 1,992.47   |
|   | STATE OF COLORADO          | 00001 | 979168  | 370033   | 7/30/2020 | 268.73     |
|   | STATE OF COLORADO          | 00001 | 979168  | 370033   | 7/30/2020 | 1,783.33   |
|   | STATE OF COLORADO          | 00001 | 979169  | 370033   | 7/30/2020 | 358.3      |
|   | STATE OF COLORADO          | 00001 | 979169  | 370033   | 7/30/2020 | 2,378.8    |
|   | STRATEGY WITH ROX          | 00001 | 979213  | 370046   | 7/30/2020 | 17,750.0   |
|   | SUMMIT FOOD SERVICE LLC    | 00001 | 979218  | 370046   | 7/30/2020 | 19,462.9   |
|   | SUMMIT FOOD SERVICE LLC    | 00001 | 979219  | 370046   | 7/30/2020 | 19,521.9   |
|   | SUMMIT FOOD SERVICE LLC    | 00001 | 979115  | 370033   | 7/30/2020 | 19,521.9   |
|   | SUMMIT FOOD SERVICE LLC    | 00001 | 979116  | 370033   | 7/30/2020 | 19,416.4   |
|   | SUMMIT FOOD SERVICE LLC    | 00001 | 979117  | 370033   | 7/30/2020 | 3,138.3    |
|   | SUMMIT FOOD SERVICE LLC    | 00001 | 979118  | 370033   | 7/30/2020 | 3,161.1    |

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| 1 | General Fund            | Fund  | Voucher | <b>Batch No</b> | GL Date        | Amount       |
|---|-------------------------|-------|---------|-----------------|----------------|--------------|
|   | SUMMIT FOOD SERVICE LLC | 00001 | 979119  | 370033          | 7/30/2020      | 3,094.24     |
|   | T&G PECOS LLC           | 00001 | 979175  | 370046          | 7/30/2020      | 1,800.00     |
|   | TETRUS CORP             | 00001 | 979114  | 370033          | 7/30/2020      | 29,250.00    |
|   | TYGRETT DEBRA R         | 00001 | 979224  | 370046          | 7/30/2020      | 96.00        |
|   |                         |       |         |                 | Account Total  | 1,803,403.76 |
|   |                         |       |         | De              | partment Total | 1,803,703.76 |

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### **County of Adams**

Vendor Payment Report

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| 6026 | Golf Course- Maintenance       | Fund  | Voucher | Batch No | GL Date       | Amount    |
|------|--------------------------------|-------|---------|----------|---------------|-----------|
|      | Contract Employment            |       |         |          |               |           |
|      | PROFESSIONAL RECREATION MGMT I | 00005 | 978876  | 369804   | 7/28/2020     | 22,572.39 |
|      | PROFESSIONAL RECREATION MGMT I | 00005 | 978876  | 369804   | 7/28/2020     | 2,674.89  |
|      | PROFESSIONAL RECREATION MGMT I | 00005 | 978876  | 369804   | 7/28/2020     | 10,442.77 |
|      | PROFESSIONAL RECREATION MGMT I | 00005 | 978876  | 369804   | 7/28/2020     | 1,283.61  |
|      | PROFESSIONAL RECREATION MGMT I | 00005 | 978876  | 369804   | 7/28/2020     | 577.02    |
|      |                                |       |         |          | Account Total | 37,550.68 |
|      | Gas & Electricity              |       |         |          |               |           |
|      | UNITED POWER (UNION REA)       | 00005 | 978710  | 369596   | 7/24/2020     | 4,122.47  |
|      | UNITED POWER (UNION REA)       | 00005 | 978711  | 369596   | 7/24/2020     | 4,361.70  |
|      | UNITED POWER (UNION REA)       | 00005 | 978712  | 369596   | 7/24/2020     | 1,138.52  |
|      | UNITED POWER (UNION REA)       | 00005 | 978713  | 369596   | 7/24/2020     | 30.64     |
|      | UNITED POWER (UNION REA)       | 00005 | 978714  | 369596   | 7/24/2020     | 58.90     |
|      |                                |       |         |          | Account Total | 9,712.23  |
|      | Grounds Maintenance            |       |         |          |               |           |
|      | C P S DISTRIBUTORS INC         | 00005 | 978700  | 369596   | 7/24/2020     | 213.75    |
|      | C P S DISTRIBUTORS INC         | 00005 | 978701  | 369596   | 7/24/2020     | 327.49    |
|      | CEM LAKE MGMT                  | 00005 | 978699  | 369596   | 7/24/2020     | 494.00    |
|      | GOLF & SPORT SOLUTIONS         | 00005 | 978702  | 369596   | 7/24/2020     | 1,827.58  |
|      | L L JOHNSON DIST               | 00005 | 978706  | 369596   | 7/24/2020     | 296.85    |
|      | PROFESSIONAL RECREATION MGMT I | 00005 | 978876  | 369804   | 7/28/2020     | 812.50-   |
|      | TORO NSN                       | 00005 | 978707  | 369596   | 7/24/2020     | 233.00    |
|      |                                |       |         |          | Account Total | 2,580.17  |
|      | Other Repair & Maint           |       |         |          |               |           |
|      | LABOR SOLUTIONS INC            | 00005 | 978703  | 369596   | 7/24/2020     | 3,000.00  |
|      |                                |       |         |          | Account Total | 3,000.00  |
|      | Repair & Maint Supplies        |       |         |          |               |           |
|      | ALSCO AMERICAN INDUSTRIAL      | 00005 | 978698  | 369596   | 7/24/2020     | 52.34     |
|      | PROFESSIONAL RECREATION MGMT I | 00005 | 978876  | 369804   | 7/28/2020     | 162.47    |
|      |                                |       |         |          | Account Total | 214.81    |
|      | Telephone                      |       |         |          |               |           |
|      | PROFESSIONAL RECREATION MGMT I | 00005 | 978876  | 369804   | 7/28/2020     | 236.03    |
|      |                                |       |         |          | Account Total | 236.03    |

| Vendor Payment Report |                          |       |         |          |                 |           |
|-----------------------|--------------------------|-------|---------|----------|-----------------|-----------|
| 5026                  | Golf Course- Maintenance | Fund  | Voucher | Batch No | GL Date         | Amount    |
|                       | L L JOHNSON DIST         | 00005 | 978704  | 369596   | 7/24/2020       | 70.65     |
|                       | L L JOHNSON DIST         | 00005 | 978705  | 369596   | 7/24/2020       | 62.67     |
|                       |                          |       |         |          | Account Total   | 133.32    |
|                       |                          |       |         | De       | epartment Total | 53,427.24 |

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|      |                                | idor r ayment Repo | 11      |          |               |           |
|------|--------------------------------|--------------------|---------|----------|---------------|-----------|
| 5021 | Golf Course- Pro Shop          | Fund               | Voucher | Batch No | GL Date       | Amount    |
|      | Building Repair & Maint        |                    |         |          |               |           |
|      | PROFESSIONAL RECREATION MGMT I | 00005              | 978876  | 369804   | 7/28/2020     | 610.00    |
|      |                                |                    |         |          | Account Total | 610.00    |
|      | Contract Employment            |                    |         |          |               |           |
|      | PROFESSIONAL RECREATION MGMT I | 00005              | 978876  | 369804   | 7/28/2020     | 20,957.11 |
|      | PROFESSIONAL RECREATION MGMT I | 00005              | 978876  | 369804   | 7/28/2020     | 2,546.80  |
|      | PROFESSIONAL RECREATION MGMT I | 00005              | 978876  | 369804   | 7/28/2020     | 274.62    |
|      |                                |                    |         |          | Account Total | 23,778.53 |
|      | Equipment Rental               |                    |         |          |               |           |
|      | PROFESSIONAL RECREATION MGMT I | 00005              | 978876  | 369804   | 7/28/2020     | 187.67-   |
|      |                                |                    |         |          | Account Total | 187.67-   |
|      | Gas & Electricity              |                    |         |          |               |           |
|      | UNITED POWER (UNION REA)       | 00005              | 978708  | 369596   | 7/24/2020     | 62.46     |
|      | UNITED POWER (UNION REA)       | 00005              | 978709  | 369596   | 7/24/2020     | 2,797.34  |
|      |                                |                    |         |          | Account Total | 2,859.80  |
|      | Golf Merchandise               |                    |         |          |               |           |
|      | PROFESSIONAL RECREATION MGMT I | 00005              | 978876  | 369804   | 7/28/2020     | 1,378.07  |
|      | PROFESSIONAL RECREATION MGMT I | 00005              | 978876  | 369804   | 7/28/2020     | 818.88    |
|      | PROFESSIONAL RECREATION MGMT I | 00005              | 978876  | 369804   | 7/28/2020     | 583.20    |
|      |                                |                    |         |          | Account Total | 2,780.15  |
|      | Insurance Premiums             |                    |         |          |               |           |
|      | PROFESSIONAL RECREATION MGMT I | 00005              | 978876  | 369804   | 7/28/2020     | 478.80    |
|      | PROFESSIONAL RECREATION MGMT I | 00005              | 978876  | 369804   | 7/28/2020     | 5,427.77  |
|      | PROFESSIONAL RECREATION MGMT I | 00005              | 978876  | 369804   | 7/28/2020     | 56.98     |
|      | PROFESSIONAL RECREATION MGMT I | 00005              | 978876  | 369804   | 7/28/2020     | 636.40    |
|      |                                |                    |         |          | Account Total | 6,599.95  |
|      | Other Professional Serv        |                    |         |          |               |           |
|      | PROFESSIONAL RECREATION MGMT I | 00005              | 978876  | 369804   | 7/28/2020     | 25.96-    |
|      |                                |                    |         |          | Account Total | 25.96-    |
|      | Repair & Maint Supplies        |                    |         |          |               |           |
|      | PROFESSIONAL RECREATION MGMT I | 00005              | 978876  | 369804   | 7/28/2020     | 2,365.14  |
|      |                                |                    |         |          | Account Total | 2,365.14  |
|      |                                |                    |         |          |               |           |

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|          | Vendor Payment Report          |                 |         |          |                  |                    |  |  |
| 5021     | Golf Course- Pro Shop          | Fund            | Voucher | Batch No | GL Date          | Amount             |  |  |
|          | PROFESSIONAL RECREATION MGMT I | 00005           | 978876  | 369804   | 7/28/2020        | 647.50             |  |  |
|          |                                |                 |         |          | Account Total    | 647.50             |  |  |
|          | Telephone                      |                 |         |          |                  |                    |  |  |
|          | PROFESSIONAL RECREATION MGMT I | 00005           | 978876  | 369804   | 7/28/2020        | 62.90              |  |  |
|          | PROFESSIONAL RECREATION MGMT I | 00005           | 978876  | 369804   | 7/28/2020        | 64.76              |  |  |
|          |                                |                 |         |          | Account Total    | 127.66             |  |  |
|          | Water/Sewer/Sanitation         |                 |         |          |                  |                    |  |  |
|          | PROFESSIONAL RECREATION MGMT I | 00005           | 978876  | 369804   | 7/28/2020        | 664.41             |  |  |
|          |                                |                 |         |          | Account Total    | 664.41             |  |  |
|          |                                |                 |         | D        | Department Total | 40,219.51          |  |  |

| R5504001 | County of Adams                |       |         |          |                |          |  |  |  |
|----------|--------------------------------|-------|---------|----------|----------------|----------|--|--|--|
|          | Vendor Payment Report          |       |         |          |                |          |  |  |  |
| 31       | Head Start Fund                | Fund  | Voucher | Batch No | GL Date        | Amount   |  |  |  |
|          | Received not Vouchered Clrg    |       |         |          |                |          |  |  |  |
|          | CESCO LINGUISTIC SERVICE INC   | 00031 | 979125  | 370033   | 7/30/2020      | 185.33   |  |  |  |
|          | CESCO LINGUISTIC SERVICE INC   | 00031 | 979126  | 370033   | 7/30/2020      | 60.00    |  |  |  |
|          | GENESIS FLOOR CARE OF COLORADO | 00031 | 979139  | 370033   | 7/30/2020      | 3,453.90 |  |  |  |
|          |                                |       |         |          | Account Total  | 3,699.23 |  |  |  |
|          |                                |       |         | De       | partment Total | 3,699.23 |  |  |  |

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|        | Vendor Payment Report                                  |                 |                  |          |                  |                  |  |
| 935120 | HHS Grant  | Fund            | Voucher          | Batch No | GL Date          | Amount           |  |
|        | Building Rental  |                 |                  |          |                  |                  |  |
|        | WESTMINSTER PRESBYTERIAN CHURC                         | 00031           | 978490           | 369277   | 7/21/2020        | 2,267.73         |  |
|        |  |                 |                  |          | Account Total    | 2,267.73         |  |
|        | Building Repair & Maint                                |                 |                  |          |                  |                  |  |
|        | WESTMINSTER PUBLIC SCHOOLS                             | 00031           | 978800           | 369702   | 7/27/2020        | 486.89           |  |
|        |  |                 |                  |          | Account Total    | 486.89           |  |
|        | Education & Training                                   |                 |                  |          |                  |                  |  |
|        | Education & Training<br>CRISIS PREVENTION INSTITUTE IN | 00031           | 978050           | 368626   | 7/13/2020        | 150.00           |  |
|        | CRISIS FREVENTION INSTITUTE IN                         | 00051           | 778050           | 508020   | Account Total    | 150.00           |  |
|        |  |                 |                  |          | Account Total    | 150.00           |  |
|        | Membership Dues  |                 |                  |          |                  |                  |  |
|        | NATIONAL HEADSTART ASSOCIATION                         | 00031           | 978487           | 369277   | 7/21/2020        | 1,260.00         |  |
|        | REGION VIII HEAD START ASSOCIA                         | 00031           | 978488           | 369277   | 7/21/2020        | 512.00           |  |
|        |  |                 |                  |          | Account Total    | 1,772.00         |  |
|        | Operating Supplies                                     |                 |                  |          |                  |                  |  |
|        | CINTAS CORPORATION NO 2                                | 00031           | 978486           | 369277   | 7/21/2020        | 160.89           |  |
|        | WUERTZ CHARLIE   | 00031           | 978878           | 369702   | 7/27/2020        | 1,500.00         |  |
|        |  |                 |                  |          | Account Total    | 1,660.89         |  |
|        | Other Professional Serv                                |                 |                  |          |                  |                  |  |
|        | COLO DEPT OF HUMAN SERVICES                            | 00031           | 978504           | 369277   | 7/21/2020        | 35.00            |  |
|        | COLO DEPT OF HUMAN SERVICES                            | 00031           | 978797           | 369702   | 7/27/2020        | 35.00            |  |
|        | IDEMIA IDENTITY & SECURITY USA                         | 00031           | 978798           | 369702   | 7/27/2020        | 49.50            |  |
|        | IDEMIA IDENTITY & SECURITY USA                         | 00031           | 978799           | 369702   | 7/27/2020        | 49.50            |  |
|        | IDEMIA IDENTITY & SECURITY USA                         | 00031           | 978505           | 369277   | 7/21/2020        | 49.50            |  |
|        |  |                 |                  |          | Account Total    | 218.50           |  |
|        | Subscrip/Publications                                  |                 |                  |          |                  |                  |  |
|        | NULINX INTERNATIONAL                                   | 00031           | 978051           | 368626   | 7/13/2020        | 795.00           |  |
|        |  |                 |                  |          | Account Total    | 795.00           |  |
|        | Talanhana  |                 |                  |          |                  |                  |  |
|        | Telephone<br>CENTURY LINK                              | 00031           | 978482           | 369277   | 7/21/2020        | 138.63           |  |
|        | CENTURY LINK   | 00031           | 978482<br>978483 | 369277   | 7/21/2020        | 138.0            |  |
|        | CENTURY LINK   | 00031           | 978484           | 369277   | 7/21/2020        | 130.4            |  |
|        | CLATORI LIAK   | 00001           | 270707           | 507211   | Account Total    | 452.20           |  |
|        |  |                 |                  | Г        | Department Total | 7,803.21         |  |

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Vendor Payment Report

| 19 | Insurance Fund                 | Fund  | Voucher | Batch No | GL Date        | Amount    |
|----|--------------------------------|-------|---------|----------|----------------|-----------|
|    | Received not Vouchered Clrg    |       |         |          |                |           |
|    | CAREHERE LLC                   | 00019 | 979122  | 370033   | 7/30/2020      | 24,851.16 |
|    | CAREHERE LLC                   | 00019 | 979123  | 370033   | 7/30/2020      | 18,271.36 |
|    | COLO FRAME & SUSPENSION        | 00019 | 979120  | 370033   | 7/30/2020      | 4,893.28  |
|    | JOE'S TOWING & RECOVERY        | 00019 | 979138  | 370033   | 7/30/2020      | 92.00     |
|    | REMOTEC INC SUBSIDIARY OF NORT | 00019 | 979127  | 370033   | 7/30/2020      | 6,950.00  |
|    |                                |       |         |          | Account Total  | 55,057.80 |
|    |                                |       |         | De       | partment Total | 55,057.80 |

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| 4001 |                                | <b>County of Adams</b> |         |          |                  | 7/31/2020 14:5 |
|------|--------------------------------|------------------------|---------|----------|------------------|----------------|
|      | V                              | endor Payment Repo     | rt      |          |                  | Page -         |
| 8611 | Insurance- Property/Casualty   | Fund                   | Voucher | Batch No | GL Date          | Amount         |
|      | Auto Physical Damage           |                        |         |          |                  |                |
|      | DIVERSIFIED BODY & PAINT SHOP  | 00019                  | 978158  | 368888   | 7/15/2020        | 16,429.2       |
|      | O J WATSON COMPANY INC         | 00019                  | 978160  | 368888   | 7/15/2020        | 6,648.0        |
|      |                                |                        |         |          | Account Total    | 23,077.2       |
|      | General Liab - Other than Prop |                        |         |          |                  |                |
|      | TRISTAR RISK MANAGEMENT        | 00019                  | 978778  | 369690   | 7/27/2020        | 739.0          |
|      |                                |                        |         |          | Account Total    | 739.0          |
|      | Prop Claims-Under Deduct       |                        |         |          |                  |                |
|      | W L CONTRACTORS INC            | 00019                  | 978791  | 369694   | 7/27/2020        | 8,345.0        |
|      | W L CONTRACTORS INC            | 00019                  | 978792  | 369694   | 7/27/2020        | 4,310.9        |
|      |                                |                        |         |          | Account Total    | 12,655.9       |
|      |                                |                        |         | Γ        | Department Total | 36,472.1       |

| R5504001 | 0   | County of Adams |         |              |  | 7/31/2020 14:55:52               |  |  |  |
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|          | Vendor Payment Report                               |                 |         |              |  |                                  |  |  |  |
| 8617     | Insurance- Workers Comp                             | Fund            | Voucher | Batch No     | GL Date                                      | Amount                           |  |  |  |
|          | Licenses and Fees<br>COLO DEPT OF LABOR AND EMPLOYM | 00019           | 978779  | 369692<br>De | 7/27/2020<br>Account Total<br>partment Total | 9,432.50<br>9,432.50<br>9,432.50 |  |  |  |

| R5504001              |  | <b>County of Adams</b> |         |             |   | 7/31/2020 | 14:55:52                |
|-----------------------|--|------------------------|---------|-------------|---|-----------|-------------------------|
| Vendor Payment Report |  |                        |         |             |   |           | 48                      |
| 27                    | Open Space Projects Fund                           | Fund                   | Voucher | Batch No    | GL Date                                       | Amount    |                         |
|                       | Received not Vouchered Clrg<br>COLOCO INCORPORATED | 00027                  | 979174  | 370033<br>D | 7/30/2020<br>Account Total<br>epartment Total | 23,2      | 60.00<br>60.00<br>60.00 |

| R5504001              | County of Adams   |       |         | 7/31/2020 14:55:52 |                               |          |  |
|-----------------------|---|-------|---------|--------------------|-------------------------------|----------|--|
| Vendor Payment Report |   |       |         |                    |                               |          |  |
| 28                    | Open Space Sales Tax Fund                                     | Fund  | Voucher | Batch No           | GL Date                       | Amount   |  |
|                       | Received not Vouchered Clrg<br>OUTDOOR PROMOTIONS OF COLORADO | 00028 | 979170  | 370033             | 7/30/2020                     | 1,500.00 |  |
|                       |   |       |         | De                 | Account Total epartment Total | 1,500.00 |  |

| R5504001              |  | County of Adams |         |              |   | 7/31/2020 | 14:55:52                |
|-----------------------|--|-----------------|---------|--------------|---|-----------|-------------------------|
| Vendor Payment Report |  |                 |         |              |   |           | 50                      |
| 6202                  | Open Space Tax- Grants                                 | Fund            | Voucher | Batch No     | GL Date                                       | Amount    |                         |
|                       | Grants to Other Instit<br>RICARDO FLORES MAGON ACADEMY | 00028           | 978689  | 369518<br>De | 7/23/2020<br>Account Total<br>epartment Total | 9,5       | 84.35<br>84.35<br>84.35 |

| R5504001              |  | <b>County of Adams</b> |         |              |  | 7/31/2020 14:55:5       | 52 |
|-----------------------|--|------------------------|---------|--------------|--|-------------------------|----|
| Vendor Payment Report |  |                        |         |              |  |                         | 51 |
| 2061                  | PKS - Weed & Pest                        | Fund                   | Voucher | Batch No     | GL Date                                      | Amount                  |    |
|                       | Other Communications<br>VERIZON WIRELESS | 00001                  | 978723  | 369601<br>De | 7/24/2020<br>Account Total<br>partment Total | 80.02<br>80.02<br>80.02 |    |

| R5504001 | R5504001 County of Adams<br>Vendor Payment Report |       |         |          |                 |          |  |
|----------|---|-------|---------|----------|-----------------|----------|--|
|          |   |       |         |          |                 |          |  |
| 5010     | PKS- Fair   | Fund  | Voucher | Batch No | GL Date         | Amount   |  |
|          | Fair Expenses-General                             |       |         |          |                 |          |  |
|          | PETERSON MICHELLE                                 | 00001 | 978804  | 369763   | 7/28/2020       | 150.00   |  |
|          |   |       |         |          | Account Total   | 150.00   |  |
|          | Other Communications                              |       |         |          |                 |          |  |
|          | VERIZON WIRELESS                                  | 00001 | 978722  | 369601   | 7/24/2020       | 360.09   |  |
|          |   |       |         |          | Account Total   | 360.09   |  |
|          | Regional Park Rentals                             |       |         |          |                 |          |  |
|          | RANASINGHE AJ                                     | 00001 | 978721  | 369601   | 7/24/2020       | 500.00   |  |
|          |   |       |         |          | Account Total   | 500.00   |  |
|          |   |       |         | D        | epartment Total | 1,010.09 |  |

| R5504001              |  | <b>County of Adams</b> |         |              |  | 7/31/2020 | 14:55:52                |
|-----------------------|--|------------------------|---------|--------------|--|-----------|-------------------------|
| Vendor Payment Report |  |                        |         |              |  |           | 53                      |
| 5012                  | PKS- Regional Complex                    | Fund                   | Voucher | Batch No     | GL Date                                      | Amount    |                         |
|                       | Other Communications<br>VERIZON WIRELESS | 00001                  | 978724  | 369601<br>De | 7/24/2020<br>Account Total<br>partment Total |           | 49.58<br>49.58<br>49.58 |

| R5504001 | 504001 County of Adams        |       |         |          |                 |        |  |  |
|----------|-------------------------------|-------|---------|----------|-----------------|--------|--|--|
|          | Vendor Payment Report         |       |         |          |                 |        |  |  |
| 5016     | PKS- Trail Ranger Patrol      | Fund  | Voucher | Batch No | GL Date         | Amount |  |  |
|          | Water/Sewer/Sanitation        |       |         |          |                 |        |  |  |
|          | BERKELEY WATER & SANITATION D | 00001 | 978719  | 369601   | 7/24/2020       | 70.84  |  |  |
|          | CRESTVIEW WATER SAN           | 00001 | 978720  | 369601   | 7/24/2020       | 360.80 |  |  |
|          |                               |       |         |          | Account Total   | 431.64 |  |  |
|          |                               |       |         | De       | epartment Total | 431.64 |  |  |
|          |                               |       |         |          | -               |        |  |  |

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| 1089 | PLN- Boards & Commissions | Fund  | Voucher | Batch No | GL Date        | Amount |
|------|---------------------------|-------|---------|----------|----------------|--------|
|      | Other Professional Serv   |       |         |          |                |        |
|      | DUPRIEST JOHN FIELDEN     | 00001 | 978771  | 369689   | 7/27/2020      | 65.00  |
|      | FOREST SEAN               | 00001 | 978773  | 369689   | 7/27/2020      | 65.00  |
|      | GARNER, ROSIE             | 00001 | 978775  | 369689   | 7/27/2020      | 65.00  |
|      | HERRERA, AARON            | 00001 | 978770  | 369689   | 7/27/2020      | 65.00  |
|      | MADDUX THOMAS SCOTT       | 00001 | 978772  | 369689   | 7/27/2020      | 65.00  |
|      | MARTINEZ JUSTIN PAUL      | 00001 | 978776  | 369689   | 7/27/2020      | 65.00  |
|      | RICHARDSON SHARON         | 00001 | 978774  | 369689   | 7/27/2020      | 65.00  |
|      | THOMPSON GREGORY PAUL     | 00001 | 978777  | 369689   | 7/27/2020      | 65.00  |
|      |                           |       |         |          | Account Total  | 520.00 |
|      |                           |       |         | De       | partment Total | 520.00 |

| R5504001              | County of Adams          |       |         |          |                 |        | 14:55:52 |
|-----------------------|--------------------------|-------|---------|----------|-----------------|--------|----------|
| Vendor Payment Report |                          |       |         |          |                 |        |          |
| 1039                  | Poverty Reduction        | Fund  | Voucher | Batch No | GL Date         | Amount |          |
|                       | Other Professional Serv  |       |         |          |                 |        |          |
|                       | PUBLICATION PRINTERS     | 00001 | 978728  | 369605   | 7/24/2020       | 1,6    | 39.81    |
|                       | SPECIALTY INCENTIVES INC | 00001 | 978727  | 369604   | 7/24/2020       | 7,5    | 93.04    |
|                       |                          |       |         |          | Account Total   | 9,2    | 32.85    |
|                       |                          |       |         | D        | epartment Total | 9,2    | 32.85    |
|                       |                          |       |         |          |                 |        |          |

| R5504001              | 4001 County of Adams          |       |         |          |                 |        | 14:55:52 |
|-----------------------|-------------------------------|-------|---------|----------|-----------------|--------|----------|
| Vendor Payment Report |                               |       |         |          |                 |        |          |
| 3056                  | PW - Capital Improvement Plan | Fund  | Voucher | Batch No | GL Date         | Amount |          |
|                       | Drainage Water Sewer          |       |         |          |                 |        |          |
|                       | 5830 DOWNING STREET LLC       | 00013 | 978918  | 369927   | 7/30/2020       | 3,00   | 00.00    |
|                       | FRANKLIN INDUSTRIAL GROUP     | 00013 | 978906  | 369907   | 7/30/2020       | 11,50  | 00.00    |
|                       |                               |       |         |          | Account Total   | 14,50  | 00.00    |
|                       |                               |       |         | De       | epartment Total | 14,50  | 00.00    |
|                       |                               |       |         |          |                 |        |          |

| R5504001              |   | <b>County of Adams</b> |         |          |                               | 7/31/2020 | 14:55:52       |
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| Vendor Payment Report |   |                        |         |          |                               |           | 58             |
| 1038                  | Regional Affairs                          | Fund                   | Voucher | Batch No | GL Date                       | Amount    |                |
|                       | Travel & Transportation<br>DENTONS US LLP | 00001                  | 978597  | 369402   | 7/22/2020                     |           | 02.50          |
|                       |   |                        |         | D        | Account Total epartment Total |           | 02.50<br>02.50 |

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| 13 | Road & Bridge Fund             | Fund  | Voucher | Batch No | GL Date         | Amount     |
|----|--------------------------------|-------|---------|----------|-----------------|------------|
|    | Received not Vouchered Clrg    |       |         |          |                 |            |
|    | BROOMFIELD CITY AND COUNTY     | 00013 | 979233  | 370046   | 7/30/2020       | 100,000.00 |
|    | CENTRAL SALT LLC               | 00013 | 979158  | 370033   | 7/30/2020       | 4,225.33   |
|    | CENTRAL SALT LLC               | 00013 | 979159  | 370033   | 7/30/2020       | 4,011.90   |
|    | CENTRAL SALT LLC               | 00013 | 979160  | 370033   | 7/30/2020       | 1,921.64   |
|    | CENTRAL SALT LLC               | 00013 | 979161  | 370033   | 7/30/2020       | 5,930.29   |
|    | CENTRAL SALT LLC               | 00013 | 979162  | 370033   | 7/30/2020       | 4,163.42   |
|    | CENTRAL SALT LLC               | 00013 | 979163  | 370033   | 7/30/2020       | 5,747.82   |
|    | CENTRAL SALT LLC               | 00013 | 979164  | 370033   | 7/30/2020       | 1,889.06   |
|    | COLO DEPT OF TRANSPORTATION    | 00013 | 979234  | 370046   | 7/30/2020       | 2,210.55   |
|    | COLO DEPT OF TRANSPORTATION    | 00013 | 979235  | 370046   | 7/30/2020       | 815.42     |
|    | EP&A ENVIROTAC INC             | 00013 | 979113  | 370033   | 7/30/2020       | 35,644.18  |
|    | GROUND ENGINEERING CONSULTANTS | 00013 | 979124  | 370033   | 7/30/2020       | 1,431.50   |
|    | IDEAL FENCING CORPORATION      | 00013 | 979240  | 370046   | 7/30/2020       | 5,000.00   |
|    | JK TRANSPORTS INC              | 00013 | 979176  | 370046   | 7/30/2020       | 5,790.00   |
|    | JK TRANSPORTS INC              | 00013 | 979177  | 370046   | 7/30/2020       | 14,020.00  |
|    | JK TRANSPORTS INC              | 00013 | 979178  | 370046   | 7/30/2020       | 475.00     |
|    | JK TRANSPORTS INC              | 00013 | 979179  | 370046   | 7/30/2020       | 11,550.00  |
|    | KECI COLORADO INC              | 00013 | 979254  | 370046   | 7/30/2020       | 14,672.03  |
|    | KECI COLORADO INC              | 00013 | 979254  | 370046   | 7/30/2020       | 410,611.00 |
|    | WEAR PARTS & EQUIPMENT CO INC  | 00013 | 979211  | 370046   | 7/30/2020       | 19,440.00  |
|    |                                |       |         |          | Account Total   | 649,549.14 |
|    | Retainages Payable             |       |         |          |                 |            |
|    | KECI COLORADO INC              | 00013 | 979254  | 370046   | 7/30/2020       | 733.60-    |
|    | KECI COLORADO INC              | 00013 | 979254  | 370046   | 7/30/2020       | 20,530.55- |
|    |                                |       |         |          | Account Total   | 21,264.15- |
|    |                                |       |         | D        | epartment Total | 628,284.99 |

| R5504001              | 504001 County of Adams       |       |         |          |                 |        | 14:55:52 |
|-----------------------|------------------------------|-------|---------|----------|-----------------|--------|----------|
| Vendor Payment Report |                              |       |         |          |                 |        |          |
| 2011                  | SHF- Admin Services Division | Fund  | Voucher | Batch No | GL Date         | Amount |          |
|                       | Operating Supplies           |       |         |          |                 |        |          |
|                       | CRESTLINE MEDICAL SUPPLY     | 00001 | 978908  | 369908   | 7/29/2020       | 8      | 40.00    |
|                       | SHRED IT USA LLC             | 00001 | 978900  | 369905   | 7/29/2020       | 1      | 50.00    |
|                       |                              |       |         |          | Account Total   | 9      | 90.00    |
|                       |                              |       |         | D        | epartment Total | 9      | 90.00    |
|                       |                              |       |         |          |                 |        |          |

| R5504001              |                                    | <b>County of Adams</b> |         |              |  | 7/31/2020 14:55:52         |
|-----------------------|------------------------------------|------------------------|---------|--------------|--|----------------------------|
| Vendor Payment Report |                                    |                        |         |              |  |                            |
| 2016                  | SHF- Detective Division            | Fund                   | Voucher | Batch No     | GL Date                                      | Amount                     |
|                       | Medical Services<br>CENTURA HEALTH | 00001                  | 978899  | 369905<br>De | 7/29/2020<br>Account Total<br>partment Total | 600.00<br>600.00<br>600.00 |

| R5504001 |                         | <b>County of Adams</b> |         |          |                | 7/31/2020 14:55:52 |
|----------|-------------------------|------------------------|---------|----------|----------------|--------------------|
|          |                         | Vendor Payment Repor   | t       |          |                | Page - 62          |
| 2071     | SHF- Detention Facility | Fund                   | Voucher | Batch No | GL Date        | Amount             |
|          | Operating Supplies      |                        |         |          |                |                    |
|          | SUMMIT FOOD SERVICE LLC | 00001                  | 978901  | 369905   | 7/29/2020      | 2,643.76           |
|          | SUMMIT FOOD SERVICE LLC | 00001                  | 978903  | 369905   | 7/29/2020      | 1,211.72           |
|          | SUMMIT FOOD SERVICE LLC | 00001                  | 978904  | 369905   | 7/29/2020      | 635.88             |
|          |                         |                        |         |          | Account Total  | 4,491.36           |
|          |                         |                        |         | De       | partment Total | 4,491.36           |

| R5504001 |                                      | <b>County of Adams</b> |         |              |  | 7/31/2020 14:55:52               |  |
|----------|--------------------------------------|------------------------|---------|--------------|--|----------------------------------|--|
|          |                                      | Vendor Payment Repor   | ·t      |              |  | Page - 63                        |  |
| 2018     | SHF- Records/Warrants Section        | Fund                   | Voucher | Batch No     | GL Date                                      | Amount                           |  |
|          | Extraditions<br>ADAMS COUNTY SHERIFF | 00001                  | 978905  | 369905<br>De | 7/29/2020<br>Account Total<br>partment Total | 1,617.21<br>1,617.21<br>1,617.21 |  |

| R5504001 |                            | <b>County of Adams</b> |         |          |                 | 7/31/2020 14:55:52 |
|----------|----------------------------|------------------------|---------|----------|-----------------|--------------------|
|          |                            | Vendor Payment Report  |         |          |                 | Page - 64          |
| 4316     | Wastewater Treatment Plant | Fund                   | Voucher | Batch No | GL Date         | Amount             |
|          | Gas & Electricity          |                        |         |          |                 |                    |
|          | XCEL ENERGY                | 00043                  | 978885  | 369809   | 7/28/2020       | 1,080.69           |
|          |                            |                        |         |          | Account Total   | 1,080.69           |
|          | Telephone                  |                        |         |          |                 |                    |
|          | CENTURYLINK                | 00043                  | 978873  | 369805   | 7/28/2020       | 51.40              |
|          |                            |                        |         |          | Account Total   | 51.40              |
|          | Water/Sewer/Sanitation     |                        |         |          |                 |                    |
|          | AURORA WATER               | 00043                  | 978872  | 369805   | 7/28/2020       | 4,977.24           |
|          |                            |                        |         |          | Account Total   | 4,977.24           |
|          |                            |                        |         | D        | epartment Total | 6,109.33           |

| County of Adams       | 7/31/2020 | 14:55:52 |
|-----------------------|-----------|----------|
| Vendor Payment Report | Page -    | 65       |

**Grand Total** 

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5,915,294.48



# **Board of County Commissioners Minutes of Commissioners' Proceedings**

Eva J. Henry - District #1 Charles "Chaz" Tedesco - District #2 Emma Pinter - District #3 Steve O'Dorisio - District #4 Mary Hodge - District #5

> Tuesday August 04, 2020 9:30 AM

# 1. ROLL CALL

**Present:** 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Hodge

# 2. PLEDGE OF ALLEGIANCE

### 3. MOTION TO APPROVE AGENDA

A motion was made by Commissioner Hodge, seconded by Commissioner Pinter, that this Agenda be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Hodge

### 4. AWARDS AND PRESENTATIONS

### 5. PUBLIC COMMENT

- A. Citizen Communication
- **B.** Elected Officials' Communication
- 6. CONSENT CALENDAR

A motion was made by Commissioner O'Dorisio, seconded by Commissioner Hodge, that this Consent Calendar be approved with moving item 6f to the New Business Section. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Hodge

- A. List of Expenditures Under the Dates of July 20-24, 2020
- B. Minutes of the Commissioners' Proceedings from July 28, 2020
- C. Adams County Public Trustee Operational Expense for the Quarter Ending June 2020
- D. Resolution Approving Intergovernmental Agreement between the Board of County Commissioners of Adams County and the Southeast Weld Fire Protection District for Collection of Fire District Impact Fees (File approved by ELT)
- E. Resolution Approving Agreement between the Board of County Commissioners of the County of Adams and Adams County Foundation (File approved by ELT)
- G. Resolution Appointing Andy Shaw as a Member of the Workforce Development Board (File approved by ELT)

### 7. NEW BUSINESS

# A. COUNTY MANAGER

**F.** Resolution Approving Intergovernmental Agreement between the Board of County Commissioners of the County of Adams and Maiker Housing Partners (File approved by ELT)

A motion was made by Commissioner Henry, seconded by Commissioner O'Dorisio, that this Resolution be approved with the correction as stated by staff. The motion carried by the following vote:

- Aye: 5 Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Hodge
- Resolution Approving Amendment One for the Purchase of Voting Equipment and Accessories from Dominion Voting Systems and Replacing and Superseding Resolution 2020-177 that Previously Approved an Agreement (File approved by ELT)
   A motion was made by Commissioner O'Dorisio, seconded by Commissioner Tedesco, that this New Business be approved. The motion carried by the following vote:
  - Aye: 5 Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Hodge

2. Resolution Approving Amendment Three to the Agreement between Adams County and Taylor Kohrs, LLC, for the Leader Blade Station, Replacing and Superseding Previous Resolution that Approved Change Order Four (File approved by ELT)

A motion was made by Commissioner O'Dorisio, seconded by Commissioner Tedesco, that this New Business be approved. The motion carried by the following vote:

- Aye: 5 Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Hodge
- Resolution Approving an Agreement between Adams County and K&H Election Services for Ballot Print Services (File approved by ELT)
   A motion was made by Commissioner O'Dorisio, seconded by Commissioner Henry, that this New Business be approved. The motion carried by the following vote:
  - Aye: 5 Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Hodge
- Resolution Approving an Agreement between Adams County and Vance Brothers, Inc., to Provide Asphalt Fog Sealing and Restriping for Colorado Air and Space Port Runways and Taxiways (File approved by ELT)
   A motion was made by Commissioner Henry, seconded by Commissioner

Tedesco, that this New Business be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Hodge

# **B. COUNTY ATTORNEY**

### 8. LAND USE HEARINGS

- A. Cases to be Heard
  - PRC2019-00018 6642 Decatur Subdivision
     (File approved by ELT)
     A motion was made by Commissioner O'Dorisio, seconded by
     Commissioner Henry, that this Land Use Hearing be approved. The
     motion carried by the following vote:
    - Aye: 5 Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Hodge

# 9. ADJOURNMENT

AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE



# PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: August 11, 2020

**SUBJECT:** Resolution Regarding Defense and Indemnification of Richard Reigenborn as Defendant Pursuant to C.R.S. § 24-10-101, et seq., 20-cv-01824-NYW

FROM: Heidi Miller, County Attorney, County Attorney and Kerri Booth, Assistant County Attorney

AGENCY/DEPARTMENT: County Attorney's Office

HEARD AT STUDY SESSION ON N/A

AUTHORIZATION TO MOVE FORWARD: YES NO

**RECOMMENDED ACTION:** That the Board of County Commissioners Adopt the Resolution Regarding Defense and Indemnification of Richard Reigenborn as Defendant Pursuant to C.R.S.§ 24-10-101, et *seq*.

#### **BACKGROUND**:

The Board of County Commissioners formally indemnifies employees and elected officials who are named in civil lawsuits. This lawsuit is brought by Celia Gonzalez De Gomez, as the surviving spouse and Personal Representative of the Estate of Luis Gomez-Ciprez, who claims her husband's Eighth and Fourteenth Amendment Rights to the U.S. Constitution were violated by Richard Reigenborn, who allegedly denied Luis Gomez-Ciprez his medications while he was detained at the Adams County Detention Facility, and that those alleged violations caused Luis Gomez-Ciprez's death.

The County Attorney's Office has reviewed the facts of this lawsuit and it has been determined that Richard Reigenborn as the duly elected Sheriff, was acting within the course and scope of his position and employment at all relevant times relevant to this lawsuit. Therefore, the County Attorney's Office is recommending that Richard Reigenborn be indemnified for any potential damages that might arise out of this litigation.

#### AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

#### ATTACHED DOCUMENTS:

Resolution

#### FISCAL IMPACT:

Please check if there is no fiscal impact. If there is fiscal impact, please fully complete the section below.

Fund:

#### **Cost Center:**

|  | Object<br>Account | Subledger | Amount |
|--|-------------------|-----------|--------|
| Current Budgeted Revenue:                          |                   |           |        |
| Additional Revenue not included in Current Budget: |                   |           |        |
| Total Revenues:                                    |                   |           |        |

|   | Object<br>Account | Subledger | Amount |
|---|-------------------|-----------|--------|
| Current Budgeted Operating Expenditure:                     |                   |           |        |
| Add'l Operating Expenditure not included in Current Budget: |                   |           |        |
| Current Budgeted Capital Expenditure:                       |                   |           |        |
| Add'l Capital Expenditure not included in Current Budget:   |                   |           |        |
| Total Expenditures:   |                   |           |        |

| New FTEs requested:      | <b>YES</b> |  |
|--------------------------|------------|--|
| Future Amendment Needed: | <b>YES</b> |  |

#### **Additional Note:**

Potential fiscal impact is unknown. If litigation results in settlement or judgment against the County or its employees/elected officials, there would be a fiscal impact. The potential amount of that impact is impossible to estimate at this time.

# <u>RESOLUTION REGARDING DEFENSE AND INDEMNIFICATION OF</u> <u>RICHARD REIGENBORN AS DEFENDANT PURSUANT TO C.R.S. § 24-10-101, ET</u> <u>SEQ.</u>

WHEREAS, Adams County is a public entity pursuant to the Colorado Governmental Immunity Act; and,

WHEREAS, Adams County is obligated to bear the cost of the defense of its elected officials and employees and pay all judgments entered against its elected officials and employees pursuant to the Colorado Governmental Immunity Act so long as they acted within the course and scope of their employment and their acts were not willful and wanton; and,

WHEREAS, Richard Reigenborn has been sued in the matter of the *Celina Gonzalez De Gomez, surviving spouse and Personal Representative of the Estate of Luis Gomez-Ciprez v. Adams County, et al.* in the U.S. District Court, Case Number 20-cv-01824-NYW; said Defendant, being an employee of Adams County at the time of the incident described in the Complaint; and,

WHEREAS, initial investigation has revealed to the satisfaction of the Board of County Commissioners and the determination has been made that the Defendant appears to have acted within the course and scope of his employment and his actions do not appear to be willful and wanton; and,

WHEREAS, pursuant to C.R.S. §§ 24-10-110, 24-10-113 and 24-10-118(5) Adams County hereby determines that it is in the public interest to bear the cost of defense for the Defendant against all asserted claims for compensatory and punitive damages which may be pled and to pay or settle any such compensatory and punitive damage claims against said Defendant; and,

WHEREAS, in exchange for such defense, the Defendant is required to cooperate fully in the defense of this matter, including but not limited to, assisting in the discovery process, participating in mediation, facilitation, or other measures deemed appropriate by the Board of County Commissioners, and Defendant acknowledges that Adams County may settle on behalf of the Defendant any or all asserted claims, including those for personal liability and punitive damages.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners of the County of Adams, State of Colorado, that Adams County shall bear the cost of defense for Richard Reigenborn against all asserted claims for compensatory and punitive damages which may be pled and to pay or settle any such compensatory and punitive damage claims against said Defendant in the matter of *Celina Gonzalez De Gomez*,

surviving spouse and Personal Representative of the Estate of Luis Gomez-Ciprez v. Adams County, et al.

IT IS FURTHER RESOLVED that the Adams County Attorney is directed to enter her appearance as counsel for Defendant and to defend this matter.



# PUBLIC HEARING AGENDA ITEM

| DATE OF | <b>PUBLIC HEARING</b> | : August 11, 2020 |
|---------|-----------------------|-------------------|
|---------|-----------------------|-------------------|

SUBJECT: Approval of CSBG Agreement Amendment between Adams County and Adams County Emergency Food Bank

FROM: Katie Griego, Human Services Director

**AGENCY/DEPARTMENT: Human Services** 

HEARD AT STUDY SESSION ON

AUTHORIZATION TO MOVE FORWARD: YES NO

**RECOMMENDED ACTION:** That the Board of County Commissioners Approves of the CSBG Agreement Amendment between Adams County and Adams County Emergency Food Bank

### **BACKGROUND**:

Adams County has received Community Services Block Grant funds to ameliorate the effects of poverty in local communities from the State Department of Local Affairs (DOLA) since 1974. The State receives funds from the U.S. Department of Health and Human Services as an annual formula allocation based on the State's poverty statistics. The County receives a letter from DOLA awarding funds based on the allocation formula. Adams County has \$29,317.25 in funds to be given back by Ethiopian Community Development Council that need to be reallocated and can only be spent on already approved 2018-2021 subgrantees.

The recommendation is to approve the 2020 Agreement Amendment with Adams County Emergency Food Bank.

### AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Human Services Adams County Emergency Food Bank

# ATTACHED DOCUMENTS: 2020 Resolution

2020 Resolution 2020 Agreement Amendment for the following subgrantees: -Adams County Emergency Food Bank

# **FISCAL IMPACT:**

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

#### **Fund:** 34

#### Cost Center: 951016

|  | Object  | Subledger | Amount    |
|--|---------|-----------|-----------|
|  | Account |           |           |
| Current Budgeted Revenue:                          | 5335    |           | \$500,000 |
| Additional Revenue not included in Current Budget: |         |           |           |
| Total Revenues:                                    |         |           | \$500,000 |

|   | Object<br>Account | Subledger | Amount       |
|---|-------------------|-----------|--------------|
| Current Budgeted Operating Expenditure:                     | 8810              |           | \$470,682.75 |
| Add'l Operating Expenditure not included in Current Budget: |                   |           |              |
| Current Budgeted Capital Expenditure:                       |                   |           |              |
| Add'l Capital Expenditure not included in Current Budget:   |                   |           |              |
| Total Expenditures:   |                   |           | \$470,682.75 |

| New FTEs requested:      | <b>YES</b> | NO NO |
|--------------------------|------------|-------|
| Future Amendment Needed: | <b>YES</b> | 🖂 NO  |

<u>Additional Note:</u> Adams County's CSBG funding is estimated \$500,000 per year. We are requesting \$29,317.25 remaining funds from Ethiopian Community Development Council be reallocated to Adams County Emergency Food Bank.

### BOARD OF COUNTY COMMISSIONERS FOR ADAMS COUNTY, STATE OF COLORADO

# RESOLUTION APPROVING SUBGRANTEE CONTRACT AMENDMENT #2 TO THE AGREEMENT BETWEEN ADAMS COUNTY AND ADAMS COUNTY EMERGENCY FOOD BANK

#### Resolution 2020

WHEREAS, the Federal government has established the Community Services Block Grant Program to provide a range of services and activities designed to have an impact on the causes of poverty in local communities; and,

WHEREAS, U.S Department of Health and Human Services allocates Community Services Block Grant funds to the State of Colorado, Department of Local Affairs through an annual formula allocation; and,

WHEREAS, Adams County is eligible to receive an estimated \$500,000 for each program year from the State of Colorado, Department of Local Affairs and is managed by Adams County Human Services; and,

WHEREAS, The Community Services Block Grant made programmatic changes which resulted in the need to reallocate funds to the currently funded sub-grantees; and,

WHEREAS, the Community Services Block Grant Advisory Council reviewed and recommended Adams County Emergency Food Bank to receive an additional \$29,317.25 for 2020; and,

WHEREAS, the project award will continue to be included as part of the 2018-2021 Adams County Community Action Plan to the State of Colorado, Department of Local Affairs.

NOW THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Subgrantee Contract Amendment #2 to the Agreement between Adams County and Adams County Emergency Food Bank be approved.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign Subgrantee Contract Amendment #2 on behalf of Adams County.

Human Services Department Community Support Services Division

www.adcogov.org



Pete Mirelez Human Services Center 11860 Pecos Street Westminster, CO 80234 PHONE 720.523.2001 FAX 720.523.2002

#### Community Services Block Grant (CSBG) Subgrantee Contract Amendment #2 2018-2021

#### Section I. Provisions

**PARTIES TO THIS Contract Amendment**: This Contract Amendment, dated this 31<sup>st</sup> day of July, 2020, by and between Adams County, a body politic and corporate, known hereafter as "COUNTY", and Adams County Emergency Food Bank located at 7111 E. 56<sup>th</sup> Ave. Commerce City, Colorado 80022, known hereafter as the "GRANTEE" is made for the purpose of extending the services set forth in the Community Services Block Grant ("CSBG") Agreement dated January 1, 2018.

The COUNTY requires the provision of certain services and products in connection with the program funded by grants from the CSBG and which must conform to the following:

#### (A) Scope of Service:

PY2020 award amount is additional funding to allow for continuation of GRANTEE services described in **PY 2018 Subgrantee Agreement Exhibit 1**. The GRANTEE can serve clients at or below 200% Federal Poverty Guidelines and the Affidavit of Residency is no longer requested. Clients are to provide Adams County resident verification.

#### (B) Payment Requests:

Payment Requests for reimbursement must be submitted **monthly** no later than the **10**<sup>th</sup> of the month for expenses incurred during the previous month. The submission of payment requests in a timely manner shall be the responsibility of the GRANTEE and failure to comply may result in a reduction of payment of funds or termination of this Agreement. Reduction of award amount will be in the amount remaining unspent by expenditure deadline.

#### (C) Reporting:

The GRANTEE shall provide to the COUNTY a CSBG Quarterly Performance Report summarizing the Services which includes activities, progress, outcomes, and number of clients served (report format will be provided). The GRANTEE shall provide the COUNTY a Final Report (report form to be provided) summarizing the Services which include activities, progress, outcomes, and number of clients served. The submission of reports in a timely manner shall be the responsibility of the GRANTEE and failure to comply may result in a reduction of payment of funds or termination of this Agreement.

#### Section II. General Information

# Project Name

Food Bank

Eva J. Henry DISTRICT 1 Charles "Chaz" Tedesco

Emma Pinter DISTRICT 3

BOARD OF COUNTY COMMISSIONERS

Steve O'Dorisio

Mary Hodge

| Agency Name            |              |                            |     |
|------------------------|--------------|----------------------------|-----|
| Adams County Emergency | y Food Bank  |                            |     |
| Contact Person         | Phone        | Email                      | Fax |
| Linda King             | 303-717-5180 | exdirectorACFB@comcast.net |     |

# Section III. Affected Areas

| Check all that apply. |                  |                     |                        |  |  |
|-----------------------|------------------|---------------------|------------------------|--|--|
| Project Start Date    | Project End Date | Contract Amount     | Project Costs          |  |  |
| Project Scope         |                  | Major Deliverables/ | Roles/Responsibilities |  |  |

# Section IV. Change Summary

| Currently Recorded Dates/Costs |            | Requested Revisions to Dates/Costs: N/A |                 |            |            |                    |                 |
|--------------------------------|------------|---|-----------------|------------|------------|--------------------|-----------------|
| Start Date                     | End Date   | Contract<br>Amount                      | Project<br>Cost | Start Date | End Date   | Contract<br>Amount | Project<br>Cost |
| 01/01/2020                     | 12/31/2020 | \$30,000                                |                 | 01/01/2019 | 12/31/2019 | \$59,317.25        |                 |

#### Section V. Justification Summary

The agency has met the requirements of PY 2019 and recommendation has been made to provide an additional award amount of **\$29,317.25 for PY2020**. In addition to the terms listed herein, this option letter shall extend all terms and conditions of the original agreement to June 15, 2021.

#### SIGNATURE PAGE

In Witness Whereof, the parties have caused this contract amendment to be duly executed as of the date first above written.

Adams County Board of County Commissioners Adams County, Colorado

By: \_

**Board Chair** 

SubGrantee

By (Signature) Title ave

Address

Commerce City Co 80022

City, State, Zip Code



# PUBLIC HEARING AGENDA ITEM

| DATE OF PUBLIC HEARING: August 11, 2020   |
|---|
| SUBJECT: Approval of CSBG Agreement Amendment between Adams County and Ethiopian  |
| Community Development Council   |
| FROM: Katie Griego, Human Services Director   |
| AGENCY/DEPARTMENT: Human Services   |
| HEARD AT STUDY SESSION ON   |
| AUTHORIZATION TO MOVE FORWARD: VES NO   |
| <b>RECOMMENDED ACTION:</b> That the Board of County Commissioners Approves of the CSBG Agreement Amendment between Adams County and Ethiopian Community Development Council |

### **BACKGROUND**:

Adams County has received Community Services Block Grant funds to ameliorate the effects of poverty in local communities from the State Department of Local Affairs (DOLA) since 1974. The State receives funds from the U.S. Department of Health and Human Services as an annual formula allocation based on the State's poverty statistics. The County receives a letter from DOLA awarding funds based on the allocation formula. Adams County has \$29,317.25 in funds to be given back by Ethiopian Community Development that need to be reallocated and can only be spent on already approved 2018-2021 subgrantees.

The recommendation is to approve the 2020 Agreement Amendment with Ethiopian Community Development Council.

### AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Human Services Ethiopian Community Development Council

# ATTACHED DOCUMENTS: 2020 Resolution

2020 Resolution2020 Agreement Amendment for the following subgrantees:-Ethiopian Community Development Council

# **FISCAL IMPACT:**

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

#### **Fund:** 34

#### Cost Center: 951016

|  | Object  | Subledger | Amount    |
|--|---------|-----------|-----------|
|  | Account |           |           |
| Current Budgeted Revenue:                          | 5335    |           | \$500,000 |
| Additional Revenue not included in Current Budget: |         |           |           |
| Total Revenues:                                    |         |           | \$500,000 |

|   | Object<br>Account | Subledger | Amount       |
|---|-------------------|-----------|--------------|
| Current Budgeted Operating Expenditure:                     | 8810              |           | \$470,682.75 |
| Add'l Operating Expenditure not included in Current Budget: |                   |           |              |
| Current Budgeted Capital Expenditure:                       |                   |           |              |
| Add'l Capital Expenditure not included in Current Budget:   |                   |           |              |
| Total Expenditures:   |                   |           | \$470,682.75 |

| New FTEs requested:      | <b>YES</b> | NO NO |
|--------------------------|------------|-------|
| Future Amendment Needed: | <b>YES</b> | 🖂 NO  |

<u>Additional Note:</u> Adams County's CSBG funding is estimated \$500,000 per year. We are requesting \$29,317.25 remaining funds from Ethiopian Community Development Council be reallocated to Adams County Emergency Food Bank.

### BOARD OF COUNTY COMMISSIONERS FOR ADAMS COUNTY, STATE OF COLORADO

# RESOLUTION APPROVING SUBGRANTEE CONTRACT AMENDMENT #2 TO THE AGREEMENT BETWEEN ADAMS COUNTY AND ETHIOPIAN COMMUNITY DEVELOPMENT COUNCIL

#### Resolution 2020

WHEREAS, the Federal government has established the Community Services Block Grant (CSBG) Program to provide a range of services and activities designed to have an impact on the causes of poverty in local communities; and,

WHEREAS, U.S Department of Health and Human Services allocates CSBG funds to the State of Colorado, Department of Local Affairs through an annual formula allocation; and,

WHEREAS, Adams County is eligible to receive an estimated \$500,000 for each program year from the State of Colorado, Department of Local Affairs and is managed by Adams County Human Services; and,

WHEREAS, Adams County originally entered into an agreement with Ethiopian Community Development Council (ECDC) on January 1, 2018 awarding them \$49,232 per year of CSBG funds for 2018-2021 grant cycle; and,

WHEREAS, during the regular course of monitoring this sub-grantee, it became apparent that ECDC was not providing services to the amount of clients stated in the agreement; and,

WHEREAS, on March 28, 2019 a contract amendment was approved to decrease ECDC's annual amount of \$49,232 to \$22,000 per year for the 2018-2021 grant cycle with the remaining funds to be reallocated to another sub-grantee; and,

WHEREAS, both Adams County and ECDC agree to recommend terminating the agreement for the 2018-2021 grant cycle with the remaining funds to be reallocated to another sub-grantee.

NOW THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, and State of Colorado, that Subgrantee Contract Amendment #2 to the Agreement between Adams County and ECDC be approved.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign said Subgrantee Contract Amendment #2 on behalf of Adams County.

Human Services Department Community Support Services Division

www.adcogov.org



Pete Mirelez Human Services Center 11860 Pecos Street Westminster, CO 80234 PHONE 720.523.2001 FAX 720.523.2002

# Community Services Block Grant (CSBG) Subgrantee Contract Amendment #2 2018-2021

#### Section I. Provisions

**PARTIES TO THIS Contract Amendment**: This Contract Amendment, dated this 31 day of July, 2020, by and between Adams County, known hereafter as "COUNTY", and <u>Ethiopian</u> <u>Community Development Council, Inc.</u> located at <u>925 S. Niagara St. Suite 200 Denver, CO</u> <u>80224</u>, known hereafter as the "GRANTEE" is made for the purpose of terminating the agreement set forth in the Community Services Block Grant ('CSBG") Agreement dated <u>January 1, 2018</u>.

#### Section II. General Information

| Project Name                                  |  |  |  |  |  |  |  |
|---|--|--|--|--|--|--|--|
| Immigration Support                           |  |  |  |  |  |  |  |
| Agency Name                                   |  |  |  |  |  |  |  |
| Ethiopian Community Development Council, Inc. |  |  |  |  |  |  |  |
| Contact Person Phone Email Fax                |  |  |  |  |  |  |  |
| Ron Buzard303-399-4500<br>X313ron@acc-den.org |  |  |  |  |  |  |  |

#### Section III. Affected Areas

| Check all that apply. |                   |                                   |                        |
|-----------------------|-------------------|-----------------------------------|------------------------|
| Project Start Date    | ⊠Project End Date | 🖂 Contract Amount                 | Project Costs          |
| Project Scope         | []Technology      | ⊠ Major Deliverables/<br>Outcomes | Roles/Responsibilities |

#### Section IV. Change Summary

| Currently Recorded Dates/Costs |            |                    | Requested Revisions to Dates/Costs: |            |            |                    |                 |
|--------------------------------|------------|--------------------|-------------------------------------|------------|------------|--------------------|-----------------|
| Start Date                     | End Date   | Contract<br>Amount | Project<br>Cost                     | Start Date | End Date   | Contract<br>Amount | Project<br>Cost |
| 01/01/2019                     | 12/31/2019 | \$22,000           |                                     | 01/01/2018 | 12/31/2018 | \$14,682.75        |                 |
| 01/01/2020                     | 12/31/2020 | \$22,000           |                                     | 01/01/2020 | 12/31/2020 | \$0                |                 |
|                                |            |                    |                                     |            |            |                    |                 |

Eva J. Henry DISTRICT 1 Charles "Chaz" Tedesco

BOARD OF COUNTY COMMISSIONERS

Emma Pinter DISTRICT 3 Steve O'Dorisio

Mary Hodge DISTRICT 5

#### Section V. Justification Summary

Ethiopian Community Development Council (ECDC) has been working with the refugee community for over 18 years, however due to recent Federal decisions to decrease the number of refugees arriving in the United States, the number of participants being served by ECDC has decreased drastically. Adams County CSBG Program Staff and ECDC worked together to end the contract and reallocated \$7,317.25 of their 2019 funds and \$22,000 of their 2020 funds, a total of \$29,317.25 to another sub-grantee. ECDC will complete the final 2020 Annual Report by July 31, 2020.

#### SIGNATURE PAGE

In Witness Whereof, the parties have caused this contract amendment to be duly executed as of the date first above written.

Adams County Board of County Commissioners Adams County, Colorado

Ву: \_\_\_\_

**Board Chair** 

SubGrantee

By (Signature) Managing Director

Title 925 S. Niagara St., Suite 200

Address

Denver, CO, 80224

City, State, Zip Code



# PUBLIC HEARING AGENDA ITEM

| DATE OF PUBLIC HEARING: August 11, 2020   |
|---|
| SUBJECT: Resolution designating county fee property as county road right-of-way for the East 58th |
| Avenue improvements project - East 58th Avenue from Clarkson Street to York Street                |
| FROM: Kristin Sullivan, AICP, Director of Public Works  |
| Brian Staley, P.E., PTOE, Deputy Director of Public Works   |
| AGENCY/DEPARTMENT: Public Works   |
| HEARD AT STUDY SESSION ON: N/A  |
| AUTHORIZATION TO MOVE FORWARD:  YES NO  |
| <b>RECOMMENDED ACTION:</b> That the Board of County Commissioners Approves the resolution.        |

**BACKGROUND:** In 2003, Adams County acquired the property at 1201 East 58<sup>th</sup> Avenue for the benefit of the East 58<sup>th</sup> Avenue Improvement Project (the "Project"). Presently, the County is in the process of acquiring additional right-of-way and temporary construction easements along East 58<sup>th</sup> Avenue for the Project, that includes reconstructing the roadway, improving drainage, and installing curb, gutter, sidewalk and accessible curb ramps in compliance with the Americans with Disabilities Act. Adams County needs additional right-of-way from this parcel to convert East 58<sup>th</sup> Avenue from a 60-feet wide right-of-way to a 100-feet wide minor arterial roadway. The attached Exhibit A delineates the portion of County property for East 58<sup>th</sup> Avenue right-of-way. The attached resolution allows the County to designate the fee parcel as right-of-way for the use of the public.

### AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

### **ATTACHED DOCUMENTS**:

Draft resolution Exhibit A

## FISCAL IMPACT:

Please check if there is no fiscal impact  $\boxtimes$ . If there is fiscal impact, please fully complete the section below.

#### Fund:

#### **Cost Center:**

|  | Object<br>Account | Subledger | Amount |
|--|-------------------|-----------|--------|
| Current Budgeted Revenue:                          |                   |           |        |
| Additional Revenue not included in Current Budget: |                   |           |        |
| Total Revenues:                                    |                   |           |        |

|   | Object<br>Account | Subledger | Amount |
|---|-------------------|-----------|--------|
| Current Budgeted Operating Expenditure:                     |                   |           |        |
| Add'l Operating Expenditure not included in Current Budget: |                   |           |        |
| Current Budgeted Capital Expenditure:                       |                   |           |        |
| Add'l Capital Expenditure not included in Current Budget:   |                   |           |        |
| Total Expenditures:   |                   |           |        |

| New FTEs requested: | <b>YES</b> | NO NO |
|---------------------|------------|-------|
|                     |            |       |

| Future Amendment Needed: | <b>YES</b> | 🖂 NO |
|--------------------------|------------|------|
|                          |            |      |

**Additional Note:** 

#### **BOARD OF COUNTY COMMISSIONERS FOR ADAMS COUNTY, STATE OF COLORADO**

#### RESOLUTION DESIGNATING COUNTY FEE PROPERTY AS COUNTY ROAD RIGHT-OF-WAY FOR THE EAST 58TH AVENUE IMPROVEMENTS PROJECT – EAST 58TH AVENUE FROM CLARKSON STREET TO YORK STREET

WHEREAS, Adams County owns, in fee, a parcel of land at 1201 East 58<sup>th</sup> Avenue located in the Southwest Quarter of Section 11, Township 3 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado, known as Parcel 10 ("Fee Parcel"); and,

WHEREAS, the southerly boundary of the Fee Parcel is adjacent to the existing East 58<sup>th</sup> Avenue right-of-way; and,

WHEREAS, the existing East 58th Avenue is 60 feet in width; and,

WHEREAS, East 58<sup>th</sup> Avenue is shown in the 2012 Master Transportation Plan ("Transportation Plan") to be a minor arterial roadway with a total right-of-way width of 100 feet; and,

WHEREAS, to comply with the Transportation Plan, Adams County needs additional rightof-way from the Fee Parcel for the future improvements to East 58<sup>th</sup> Avenue; and,

WHEREAS, the additional right-of-way needed from the Fee Parcel is more particularly described in Exhibit A, attached hereto and made a part hereof; and,

WHEREAS, to allow the use of the property described in said Exhibit A for roadway and utility purposes it is necessary to designate the property described in said Exhibit A as right-of-way.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the property described in said Exhibit A is hereby designated as road right-of-way.



# Drexel, Barrell & Co.

JULY 12, 2019

Engineers/Surveyors

Boulder Colorado Springs Greeley

1800 38<sup>th</sup> Street Boulder, CO 80301-2620

303.442.4338 303.442.4373 Fax

#### LEGAL DESCRIPTION PARCEL RW-10 RIGHT-OF-WAY DEDICATION

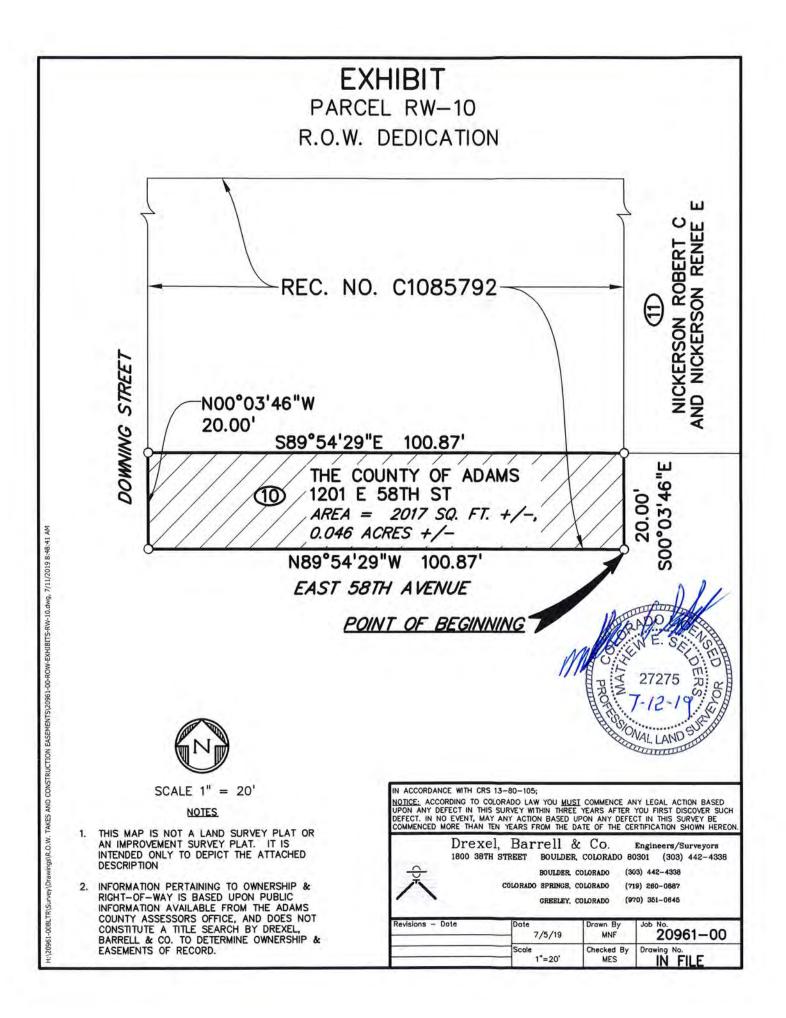
A TRACT OF LAND BEING A PORTION OF THAT TRACT OF LAND DESCRIBED AT RECEPTION NO. C1085792 IN THE ADAMS COUNTY RECORDS, LOCATED IN THE SW1/4 OF SECTION 11, T3S, R68W OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**BEGINNING** AT THE SOUTHEAST CORNER OF SAID TRACT OF LAND DESCRIBED AT RECEPTION NO. C1085792, SAID POINT ALSO BEING ON THE NORTHERLY LINE OF EAST 58TH AVENUE, THENCE N89°54'29"W, 100.87 FEET ALONG THE SOUTHERLY LINE OF SAID TRACT OF LAND AND ALONG SAID NORTHERLY LINE OF EAST 58TH AVENUE TO THE SOUTHWEST CORNER OF SAID TRACT OF LAND, SAID POINT ALSO BEING ON THE EASTERLY LINE OF DOWNING STREET; THENCE N00°03'46"W, 20.00 FEET ALONG THE WESTERLY LINE OF SAID TRACT OF LAND AND SAID EASTERLY LINE OF DOWNING STREET; THENCE S89°54'29"E, 100.87 FEET TO THE EASTERLY LINE OF SAID TRACT OF LAND; THENCE S00°03'46"E, 20.00 FEET TO THE **POINT OF BEGINNING**.

CONTAINING 0.046 ACRES OR 2017 SQUARE FEET, MORE OR LESS.

LEGAL DESCRIPTION PREPARED BY: MATHEW E. SELDERS DREXEL, BARRELL & CO. 1800 38TH STREET BOULDER, CO 80301 (303) 442-4338







# PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: August 11, 2020

**SUBJECT:** Resolution approving right-of-way agreement between Adams County and Center Plaza, LLC, for property necessary for the Traffic Signal Cabinet Upgrade Project

**FROM:** Kristin Sullivan, AICP, Director of Public Works Brian Staley, P.E., PTOE, Deputy Director of Public Works

AGENCY/DEPARTMENT: Public Works

HEARD AT STUDY SESSION ON: N/A

AUTHORIZATION TO MOVE FORWARD: 
YES NO

**RECOMMENDED ACTION:** That the Board of County Commissioners approves the right-of-way agreement for acquisition of property interests needed for the Traffic Signal Cabinet Upgrade Project

### **BACKGROUND**:

Adams County is in the process of acquiring property interests throughout unincorporated Adams County for upgrades to existing traffic signal cabinets. The intention of this Project is to identify and improve the traffic signal cabinets at intersections. Attached is a copy of the right-of-way agreement between Adams County and Center Plaza, LLC, for acquisition of property interests in the amount of \$1,470.00. The attached resolution allows the County to acquire ownership of the property interests needed for the use of the public and provide the necessary documents to close on the property.

### AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

### ATTACHED DOCUMENTS:

Draft resolution Right-of-way agreement

## FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

#### Fund: 13

### Cost Center: 3056

|  | Object<br>Account | Subledger | Amount |
|--|-------------------|-----------|--------|
| Current Budgeted Revenue:                          |                   |           |        |
| Additional Revenue not included in Current Budget: |                   |           |        |
| Total Revenues:                                    |                   |           |        |

|   | Object<br>Account | Subledger | Amount      |
|---|-------------------|-----------|-------------|
| Current Budgeted Operating Expenditure:                     | 9010              | 30561836  | \$1,475,521 |
| Add'l Operating Expenditure not included in Current Budget: |                   |           |             |
| Current Budgeted Capital Expenditure:                       |                   |           |             |
| Add'l Capital Expenditure not included in Current Budget:   |                   |           |             |
| Total Expenditures:   |                   |           | \$1,475,521 |

| New FTEs requested: | <b>YES</b> | 🖂 NO |
|---------------------|------------|------|
|                     |            |      |

| Future Amendment Needed: | <b>YES</b> | 🖂 NO |
|--------------------------|------------|------|
|--------------------------|------------|------|

**Additional Note:** 

#### BOARD OF COUNTY COMMISSIONERS FOR ADAMS COUNTY, STATE OF COLORADO

#### RESOLUTION APPROVING RIGHT-OF-WAY AGREEMENT BETWEEN ADAMS COUNTY AND CENTER PLAZA, LLC, FOR PROPERTY NECESSARY FOR THE TRAFFIC SIGNAL CABINET UPGRADE PROJECT

WHEREAS, Adams County is in the process of acquiring rights-of-way and easements at several intersections throughout the County for the Traffic Signal Cabinet Upgrade Project ("Project"); and,

WHEREAS, the intention of the Project is to identify and replace outdated traffic signal cabinets ("Improvements"); and,

WHEREAS, this easement acquisition is a portion of 821 East 73<sup>rd</sup> Avenue located in the Southwest Quarter of Section 35, Township 2 South, Range 68 West of the 6<sup>th</sup> Principal Meridian, County of Adams, State of Colorado, and owned by Center Plaza, LLC ("Parcel 4"); and,

WHEREAS, Adams County requires ownership of Parcel 4 for construction of the Improvements; and,

WHEREAS, Center Plaza, LLC, is willing to sell Parcel 4 to Adams County under the terms and conditions of the attached Right-of-Way Agreement.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Right-of-Way Agreement between Adams County and Center Plaza, LLC, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is approved.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is hereby authorized to execute said Right-of-Way Agreement on behalf of Adams County.

#### **Right-of-Way Agreement**

This Agreement is made and entered into by and between **CENTER PLAZA**, **LLC**, whose address is **1480 East 73<sup>rd</sup> Avenue**, **Denver**, **CO**, **80229** ("Owner"), and the County of Adams, State of Colorado, a body politic, who address is 4430 South Adams County Parkway, Brighton, Colorado, 80601 ("County") for the conveyance of rights-of-way on property located at 821 East 73<sup>rd</sup> Avenue being conveyed hereinafter (the "Property") for the Traffic Signal Cabinet Upgrade Project (the "Project"). The legal description and conveyance documents for the interests on said Property are set forth in Exhibit A & B attached hereto and incorporated herein by this reference.

The compensation agreed to by the Owner and the County for the acquisition of the Property interests described herein is **ONE THOUSAND FOUR HUNDRED SEVENTY AND NO/100 DOLLARS** (\$1,470.00), including the performance of the terms of this Agreement, the sufficiency of which is hereby acknowledged. The parties further agree that the consideration shall consist of \$1,470.00 for the conveyance of a permanent utility easement. This consideration has been agreed upon and between the parties as the total just compensation due to the Owner and the consideration shall be given and accepted in full satisfaction of this Agreement.

In consideration of the above premises and the mutual promise and covenants below, the Owner and the County agree to the following:

- 1. The Owner hereby warrants that the Owner is the sole Owner of the Property, that the Owner owns the Property in fee simple subject only to matters of record and that the Owner has the power to enter into this Agreement.
- 2. The Owner agrees to execute and deliver to the County the attached conveyance documents on the property upon tender by the County of a warrant (check) for the compensation agreed upon as soon as possible following the execution of this agreement.
- 3. The Owner hereby irrevocably grants to the County possession and use of the property interests on the Property upon execution of this Agreement by the Owner and the County. This grant of possession shall remain in effect with respect to the Property until such time as the County obtains from the Owner the attached conveyance documents.
- 4. The Owner agrees to pay all 2019 taxes due in 2020 prior to tender by the County.
- 5. The County through its contractor shall assure that reasonable access shall be maintained to the Owner's property at all times for ingress and egress. If necessary, any full closure of access shall be coordinated between the contractor and the Owner and/or its agent.
- 6. In further consideration of the granting of this easement, it is hereby agreed that all work performed by the County, its successors, and assigns, in connection with this easement shall be done with care. Following completion of the work performed the surface of the property disturbed during construction shall be restored reasonably similar to its original condition, or as close thereto as possible, except as necessarily modified to accommodate the street improvements being installed.
- 7. The Owner has entered into this Agreement acknowledging that the County has the power of eminent domain and required the Property for a public purpose.

- 8. If the Owner fails to consummate this agreement for any reason, except the County's default, the County may at its option, enforce this agreement by bringing an action against the Owner for specific performance.
- This Agreement contains all agreements, understandings and promises between the Owner and the County, relating to the Project and shall be deemed a contact binding upon the Owner and County and extending to the successors, heirs and assigns.
- 10. The Owner shall be responsible for reporting proceeds of the sale to taxing authorities, including the submittal of Form 1099-S with the Internal Revenue Service, if applicable.
- 11. This Agreement has been entered into in the State of Colorado and shall be governed according to the laws thereof.

Center Plaza, LLC By: NTORNE Print: Date:

Approved:

BOARD OF COUNTY COMMISSIONERS-COUNTY OF ADAMS, STATE OF COLORADO

Chair

Date

Approved as to Form:

**County Attorney** 



# PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: August 11, 2020

**SUBJECT:** Resolution approving right-of-way agreement between Adams County and Prakash Sitaula and Kabita Parajuli for property necessary for the Traffic Signal Cabinet Upgrade Project

**FROM:** Kristin Sullivan, AICP, Director of Public Works Brian Staley, P.E., PTOE, Deputy Director of Public Works

AGENCY/DEPARTMENT: Public Works

HEARD AT STUDY SESSION ON: N/A

AUTHORIZATION TO MOVE FORWARD: 
YES NO

**RECOMMENDED ACTION:** That the Board of County Commissioners approves the right-of-way agreement for acquisition of property interests needed for the Traffic Signal Cabinet Upgrade Project

### **BACKGROUND**:

Adams County is in the process of acquiring property interests throughout unincorporated Adams County for upgrades to existing traffic signal cabinets. The intention of this Project is to identify and improve the traffic signal cabinets at intersections. Attached is a copy of the right-of-way agreement between Adams County, and Prakash Sitaula and Kabita Parajuli, for acquisition of property interests in the amount of \$5,150.00. The attached resolution allows the County to acquire ownership of the property interests needed for the use of the public and provide the necessary documents to close on the property.

### AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

### ATTACHED DOCUMENTS:

Draft resolution Right-of-way agreement

## FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

#### Fund: 13

### Cost Center: 3056

|  | Object<br>Account | Subledger | Amount |
|--|-------------------|-----------|--------|
| Current Budgeted Revenue:                          |                   |           |        |
| Additional Revenue not included in Current Budget: |                   |           |        |
| Total Revenues:                                    |                   |           |        |

|   | Object<br>Account | Subledger | Amount      |
|---|-------------------|-----------|-------------|
| Current Budgeted Operating Expenditure:                     | 9010              | 30561836  | \$1,475,521 |
| Add'l Operating Expenditure not included in Current Budget: |                   |           |             |
| Current Budgeted Capital Expenditure:                       |                   |           |             |
| Add'l Capital Expenditure not included in Current Budget:   |                   |           |             |
| Total Expenditures:   |                   |           | \$1,475,521 |

| New FTEs requested: | YES | 🛛 NO |
|---------------------|-----|------|
|                     |     |      |

| Future Amendment Needed: | <b>YES</b> | 🖂 NO |
|--------------------------|------------|------|
|--------------------------|------------|------|

**Additional Note:** 

#### BOARD OF COUNTY COMMISSIONERS FOR ADAMS COUNTY, STATE OF COLORADO

#### RESOLUTION APPROVING RIGHT-OF-WAY AGREEMENT BETWEEN ADAMS COUNTY AND PRAKASH SITAULA AND KABITA PARAJULI FOR PROPERTY NECESSARY FOR THE TRAFFIC SIGNAL CABINET UPGRADE PROJECT

WHEREAS, Adams County is in the process of acquiring rights-of-way and easements at several intersections throughout the County for the Traffic Signal Cabinet Upgrade Project ("Project"); and,

WHEREAS, the intention of the Project is to identify and replace outdated traffic signal cabinets ("Improvements"); and,

WHEREAS, this easement acquisition is a portion of 7590 Pecos Street located in the Southeast Quarter of Section 33, Township 2 South, Range 68 West of the 6<sup>th</sup> Principal Meridian, County of Adams, State of Colorado, and owned by Prakash Sitaula and Kabita Parajuli ("Parcel 7"); and,

WHEREAS, Adams County requires ownership of Parcel 7 for construction of the Improvements; and,

WHEREAS, Prakash Sitaula and Kabita Parajuli, are willing to sell Parcel 7 to Adams County under the terms and conditions of the attached Right-of-Way Agreement.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Right-of-Way Agreement between Adams County and Prakash Sitaula and Kabita Parajuli, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is approved.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is hereby authorized to execute said Right-of-Way Agreement on behalf of Adams County.

#### **Right-of-Way Agreement**

This Agreement is made and entered into by and between **Prakash Sitaula and Kabita Parajuli**, whose address is **3380 East 140<sup>th</sup> Place**, **Thornton**, **CO**, **80602** ("Owner"), and the County of Adams, State of Colorado, a body politic, who address is 4430 South Adams County Parkway, Brighton, Colorado, 80601 ("County") for the conveyance of rights-of-way on property located at 7590 Pecos Street being conveyed hereinafter (the "Property") for the Traffic Signal Cabinet Upgrade Project (the "Project"). The legal description and conveyance documents for the interests on said Property are set forth in Exhibit A & B attached hereio and incorporated herein by this reference.

The compensation agreed to by the Owner and the County for the acquisition of the Property interests described herein is **FIVE THOUSAND ONE HUNDRED FIFTY AND NO/100 DOLLARS** (\$5,150.00), including the performance of the terms of this Agreement, the sufficiency of which is hereby acknowledged. The parties further agree that the consideration shall consist of \$4,027.00 for the conveyance of road right-of-way and \$1,123.00 for rock fill, rock mulch and 5 bushes. This consideration has been agreed upon and between the parties as the total just compensation due to the Owner and the consideration shall be given and accepted in full satisfaction of this Agreement.

In consideration of the above premises and the mutual promise and covenants below, the Owner and the County agree to the following:

- 1. The Owner hereby warrants that the Owner is the sole Owner of the Property, that the Owner owns the Property in fee simple subject only to matters of record and that the Owner has the power to enter into this Agreement.
- 2. The Owner agrees to execute and deliver to the County the attached conveyance documents on the property upon tender by the County of a warrant (check) for the compensation agreed upon as soon as possible following the execution of this agreement.
- 3. The Owner hereby irrevocably grants to the County possession and use of the property interests on the Property upon execution of this Agreement by the Owner and the County. This grant of possession shall remain in effect with respect to the Property until such time as the County obtains from the Owner the attached conveyance documents.
- 4. The Owner agrees to pay all 2019 taxes due in 2020 prior to tender by the County.
- 5. The County through its contractor shall assure that reasonable access shall be maintained to the Owner's property at all times for ingress and egress. If necessary, any full closure of access shall be coordinated between the contractor and the Owner and/or its agent.
- 6. The County's construction plans indicate the removal of approximately 150 square feet rock landscaping, 210 square feet of rock mulch and 5 bushes located at the southeast intersection of Pecos Street and El Paso Boulevard. The County will not reset or reconstruct the rock landscaping, mulch and bushes. But the County has agreed to reimburse the owner the expense of the lost or removed rock landscaping, mulch and bushes and made a part of this Agreement.

- 7. The Owner has entered into this Agreement acknowledging that the County has the power of eminent domain and required the Property for a public purpose.
- If the Owner fails to consummate this agreement for any reason, except the County's default, the County may at its option, enforce this agreement by bringing an action against the Owner for specific performance.
- 9. This Agreement contains all agreements, understandings and promises between the Owner and the County, relating to the Project and shall be deemed a contact binding upon the Owner and County and extending to the successors, heirs and assigns.
- 10. The Owner shall be responsible for reporting proceeds of the sale to taxing authorities, including the submittal of Form 1099-S with the Internal Revenue Service, if applicable.
- 11. This Agreement has been entered into in the State of Colorado and shall be governed according to the laws thereof.

| Prakash Sitaula        | Kabita Parajuli       |
|------------------------|-----------------------|
| By: BWall              | By: Kalila            |
| Print: Prakash Sitaula | Print: Kabita Parajuu |
| Date: 07/10/2020       | Date: 07/10/2020      |

Approved:

BOARD OF COUNTY COMMISSIONERS-COUNTY OF ADAMS, STATE OF COLORADO

| 0 | 1.1.1 |   |   |
|---|-------|---|---|
| C | ha    | 1 | г |
| ~ |       |   | - |

Date

Approved as to Form:

County Attorney



# PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: August 11, 2020

SUBJECT: Agreement with Senior Hub Inc. for distribution of CARES funds.

FROM: Alisha Reis, Deputy County Manager

AGENCY/DEPARTMENT: County Manager's Office/County Attorney's Office/Budget & Finance Department

HEARD AT STUDY SESSION ON: June 23, 2020

AUTHORIZATION TO MOVE FORWARD:  $\square$  YES  $\square$  NO

**RECOMMENDED ACTION:** That the Board of County Commissioners approves the agreement to distribute CARES funds to Senior Hub Inc.

### **BACKGROUND**:

Attached is an agreement for the Board's consideration to distribute a portion of funding allocated to the County by the Coronavirus Aid, Relief, and Economic Security Act (CARES). The County was allocated about \$90.3 million, and the Board of County Commissioners previously agreed to allocate \$413,032 to the Senior Hub Inc. to distribute for programs related to Well Elder care (technology and similar programming) and food/material aid to seniors in response and recovery related to the COVID-19 public health pandemic.

### AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Manager's Office County Attorney's Office Budget & Finance Department

### **ATTACHED DOCUMENTS**:

Resolution Funding Agreement

## **FISCAL IMPACT:**

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

### Fund:

### **Cost Center:**

|  | Object<br>Account | Subledger | Amount |
|--|-------------------|-----------|--------|
| Current Budgeted Revenue:                          |                   |           |        |
| Additional Revenue not included in Current Budget: |                   |           |        |
| Total Revenues:                                    |                   |           |        |

|   | Object  | Subledger | Amount |
|---|---------|-----------|--------|
|   | Account |           |        |
| Current Budgeted Operating Expenditure:                     |         |           |        |
| Add'l Operating Expenditure not included in Current Budget: |         |           |        |
| Current Budgeted Capital Expenditure:                       |         |           |        |
| Add'l Capital Expenditure not included in Current Budget:   |         |           |        |
| Total Expenditures:   |         |           |        |

| New FTEs requested:      | <b>YES</b> | NO NO |
|--------------------------|------------|-------|
| Future Amendment Needed: | <b>YES</b> | NO NO |

Additional Note:

#### RESOLUTION APPROVING AGREEMENT BETWEEN ADAMS COUNTY AND THE SENIOR HUB INC. REGARDING DISBURSEMENT OF CORONAVIRUS AID, RELIEF AND ECONOMIC SECURITY ACT FUNDS

WHEREAS, the COVID-19 pandemic has created myriad economic distress and unanticipated costs in American society to individuals and families, to businesses, and to the state and local governments addressing the pandemic's effects; and,

WHEREAS, Congress recently enacted the Coronavirus Aid, Relief, and Economic Security Act, P.L. 116-136 ("CARES") to provide relief funds to individuals, businesses, and state and local governments; and,

WHEREAS, CARES allows the County to directly receive funds for costs incurred in fighting and ameliorating the effects of COVID-19; and,

WHEREAS, pursuant to the terms of this Agreement, the County wishes to disburse to the Senior Hub, and the Senior Hub wishes to receive from the County, CARES funds for disbursement to organizations and entities serving Adams County residents for COVID-19 related costs.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Agreement Between Adams County and the Senior Hub Inc., Regarding Disbursement of Coronavirus Aid, Relief and Economic Security Act Funds is hereby approved.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is authorized to execute said Agreement on behalf of Adams County.

#### AGREEMENT BETWEEN ADAMS COUNTY AND THE SENIOR HUB INC. REGARDING DISBURSEMENT OF CORONAVIRUS AID, RELIEF AND ECONOMIC SECURITY ACT FUNDS

THIS AGREEMENT ("Agreement"), is made this \_\_\_\_\_\_ day of August, 2020, by and between Adams County, Colorado, located at 4430 S. Adams County Parkway, Brighton, CO 80601 ("County") and the Senior Hub Inc., located at 10190 Bannock St., Northglenn, CO 80260 ("Senior Hub") for the purpose of disbursing funds provided by the Coronavirus Aid, Relief, and Economic Security Act, P.L. 116-136 ("CARES").

#### WITNESSETH:

WHEREAS, the COVID-19 pandemic has created myriad economic distress and unanticipated costs in American society to individuals and families, to businesses, and to the state and local governments addressing the pandemic's effects; and,

WHEREAS, Congress recently enacted CARES to provide relief funds to individuals, businesses, and state and local governments; and,

WHEREAS, CARES allows the County to directly receive funds for costs incurred in fighting and ameliorating the effects of COVID-19; and,

WHEREAS, pursuant to the terms of this Agreement, the County wishes to disburse to the Senior Hub, and the Senior Hub wishes to receive from the County, CARES funds for disbursement to organizations and entities serving Adams County residents for COVID-19 related costs.

NOW, THEREFORE, in consideration of the mutual promises and covenants contained herein, the Parties agree as follows:

### I. <u>FUNDING</u>

County will disburse a maximum of four hundred thirteen thousand and thirty-two dollars (\$413,032) to the Senior Hub. Payments will be disbursed to the Senior Hub monthly, only after County receives an invoice from the Senior Hub for each month's payment. The Senior Hub understands and agrees that the County's obligation to disburse these CARES funds is expressly contingent upon the County receiving said funds from the federal government. In the event the federal government fails to remit said funds, or reduces said funds, the County may reduce or terminate its payment accordingly. No Adams County funds shall be encumbered or involved in this Agreement.

The Senior Hub must submit reports no later than the 15<sup>th</sup> day of each month on the expenditure of its CARES funds, including the amount and purpose of each expenditure, to County monthly. Any CARES funds not spent by December 4, 2020, shall be returned to the County so that the County's obligation to return unspent CARES funds to the Federal Treasury may be timely fulfilled.

### II. SCOPE OF PROJECT AND ACCOUNTING

CARES funds shall be spent solely for the COVID-19 related costs set forth in CARES. CARES imposes expenditure and accounting obligations upon local governments receiving CARES funds. The Senior Hub agrees to be solely responsible for ensuring that it disburses and accounts for the CARES funds received from the County in strict compliance with CARES requirements. Because CARES is recent legislation, the parties anticipate that additional federal legislation, rules, and regulations may be promulgated regarding the expenditure and accounting requirements. The Senior Hub shall familiarize itself with, and shall adhere to, all current and subsequent legislation, rules, and regulations. In the event of non-compliance with its legislative and regulatory mandates, the federal government may seek reimbursement of funds it deems were not spent in compliance with its legislation and rules. In the event the federal government seeks reimbursement of funds disbursed by the Senior Hub, the Senior Hub shall be solely responsible for reimbursing said funds, and, in the event the federal government seeks reimbursement of funds disbursed by the Senior Hub from County, Senior Hub shall reimburse County for any funds returned by County on the Senior Hub's behalf within thirty days of County's reimbursement.

### III. <u>PUBLIC NECESSITY</u>

The Parties agree that the work performed pursuant to this Agreement is necessary for the health, safety, comfort, convenience, and welfare of all the people in Adams County in the fight against COVID-19.

### IV. <u>LIABILITY</u>

Each party hereto shall be responsible for any suits, demands, costs or actions at law resulting from its own acts or omissions and may insure against such possibilities as appropriate.

The Parties hereto understand and agree that the County, its officers and employees are relying on, and do not waive or intend to waive by any provision of the Agreement, the monetary limitations or any other rights, immunities, and protections provided by the Colorado Governmental Immunity Act, C.R.S. 24-10-101 *et seq.*, as from time-to-time amended, or otherwise available to either party, their officers, or their employees.

### V. NOTICES

A. Any notices, demands, or other communications required or permitted to be given by any provision of this Agreement shall be given in writing, delivered personally or sent by registered mail, postage prepaid and return receipt requested, addressed to Parties at the addresses set forth below or at such other address as either party may hereafter or from time to time designate by written notice to the other party given when personally delivered or mailed, and shall be considered received in the earlier of either the day on which such notice is actually received by the party to whom it is addressed or the third day after such notice is mailed.

#### For Adams County:

Adams County Manager's Office 4430 S. Adams County Parkway Brighton, Colorado 80601-8206 Attn: Alisha Reis, areis@adcogov.org

Adams County Attorney's Office 4430 South Adams County Parkway, Suite C5000B Brighton, Colorado 80601-8206

For Senior Hub:

Senior Hub Inc. 10190 Bannock St. Northglenn, CO 80260 Attn: Stephanie Knight, sknight@seniorhub.org

B. The Parties each agree to designate and assign a representative to act on the behalf of said Parties in all matters related to this Agreement. Each representative shall coordinate all Agreement-related issues between the Parties, shall attend all necessary meetings, and shall be responsible for providing all available related information upon request by the County or the Senior Hub. Said representatives shall have the authority for all approvals, authorizations, notices or concurrences required under this Agreement, but shall not be authorized to amend the terms of this Agreement.

#### VI. <u>AMENDMENTS</u>

This Agreement contains all of the terms agreed upon by and among the Parties. Any amendments or modifications to this Agreement shall be in writing and executed by the Parties hereto to be valid and binding.

#### VII. <u>SEVERABILITY</u>

If any clause or provision herein contained shall be adjudged to be invalid or unenforceable by a court of competent jurisdiction or by operation of any applicable law, such invalid or unenforceable clause or provision shall not affect the validity of the Agreement as a whole and all other clauses or provisions shall be given full force and effect.

#### VIII. <u>APPLICABLE LAWS</u>

This Agreement shall be governed by and construed in accordance with the laws of the State of Colorado. Venue for any and all legal actions regarding the transaction covered herein shall lie in Adams County, Colorado.

#### IX. <u>ASSIGNABILITY</u>

No party to this Agreement shall assign or transfer any of its rights or obligations hereunder without the prior written consent of the non-assigning party or parties to this Agreement.

### X. <u>BINDING EFFECT</u>

The provisions of this Agreement shall bind and shall inure to the benefit of the Parties hereto and to their respective successors and permitted assigns.

#### XI. <u>EMPLOYMENT STATUS</u>

This Agreement shall not change the employment status of any employees of the Parties. No party shall have the right to control or direct the activities of any employees of another related to this Agreement.

#### XII. NO DISCRIMINATION IN EMPLOYMENT

In connection with the performance of work under this Agreement, the Parties agree not to refuse to hire, discharge, promote or demote, or to discriminate in

matters of compensation against any person otherwise qualified because of race, color, ancestry, creed, religion, national origin, gender, age, military status, sexual orientation, marital status, or physical or mental disability and further agree to insert the foregoing provision in all subcontracts hereunder.

#### XIII. <u>APPROPRIATIONS</u>

Notwithstanding any other term, condition, or provision herein, each and every obligation of the Parties stated in this Agreement is subject to the requirement of a prior appropriation of funds therefor by the appropriate governing body of the County.

#### XIV. <u>NO THIRD PARTY BENEFICIARIES</u>

It is expressly understood and agreed that enforcement of the terms and conditions of this Agreement, and all rights of action relating to such enforcement, shall be strictly reserved to the Parties, and nothing contained in this Agreement shall give or allow any such claim or right of action by any other or third person on such Agreement. It is the express intention of the Parties that any person or party other than either one of the Parties receiving services or benefits under this Agreement shall be deemed to be an incidental beneficiary only.

#### XV. ILLEGAL ALIENS

The Parties agree that any public contract for services executed as a result of this agreement shall prohibit the employment of illegal aliens in compliance with §8-17.5-101 C.R.S. et seq.

IN WITNESS WHEREOF, the Parties hereto have caused this instrument to be executed by properly authorized signatories as of the date and year first above written.

Signatures on next page.

SENIOR HUB INC.

By:

ATTEST:

APPROVED AS TO FORM:

BOARD OF COUNTY COMMISSIONERS ADAMS COUNTY, COLORADO

Chair

ATTEST:

Erica Hannah, Deputy Clerk

APPROVED AS TO FORM:

Adams County Attorney's Office



## PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: August 11, 2020

SUBJECT: Intergovernmental Agreement with Byers Fire Protection District for distribution of CARES funds.

FROM: Alisha Reis, Deputy County Manager

AGENCY/DEPARTMENT: County Manager's Office/County Attorney's Office/Budget & Finance Department

HEARD AT STUDY SESSION ON: June 2, 2020

AUTHORIZATION TO MOVE FORWARD:  $\square$  YES  $\square$  NO

**RECOMMENDED ACTION:** That the Board of County Commissioners approves the IGA to distribute CARES funds to Byers Fire Protection District.

### **BACKGROUND**:

Attached is an intergovernmental agreement for the Board's consideration to distribute a portion of funding allocated to the County by the Coronavirus Aid, Relief, and Economic Security Act (CARES). The County was allocated about \$90.3 million, and the Board of County Commissioners previously agreed to allocate \$1 million to fire districts serving Adams County. The Board also approved a funding formula based upon population of Adams County residents living within the fire districts. The formula is included as part of the IGA as Exhibit A.

### AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Manager's Office County Attorney's Office Budget & Finance Department

### **ATTACHED DOCUMENTS:**

Resolution Intergovernmental Agreement

## FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

#### Fund:

#### **Cost Center:**

|  | Object<br>Account | Subledger | Amount |
|--|-------------------|-----------|--------|
| Current Budgeted Revenue:                          |                   |           |        |
| Additional Revenue not included in Current Budget: |                   |           |        |
| Total Revenues:                                    |                   |           |        |

|   | Object<br>Account | Subledger | Amount |
|---|-------------------|-----------|--------|
| Current Budgeted Operating Expenditure:                     |                   |           |        |
| Add'l Operating Expenditure not included in Current Budget: |                   |           |        |
| Current Budgeted Capital Expenditure:                       |                   |           |        |
| Add'l Capital Expenditure not included in Current Budget:   |                   |           |        |
| Total Expenditures:   |                   |           |        |

| New FTEs requested:      | <b>YES</b> | NO NO |
|--------------------------|------------|-------|
| Future Amendment Needed: | <b>YES</b> | 🖂 NO  |

**Additional Note:** 

#### RESOLUTION APPROVING INTERGOVERNMENTAL AGREEMENT BETWEEN ADAMS COUNTY AND BYERS FIRE PROTECTION DISTRICT REGARDING DISBURSEMENT OF CORONAVIRUS AID, RELIEF AND ECONOMIC SECURITY ACT FUNDS

WHEREAS, Section 18(2) of Article XIV of the Colorado Constitution and Sections 29-1-201, *et seq.* and 29-20-105 of the Colorado Revised Statutes authorize and encourage governments to cooperate by contracting with one another for their mutual benefit; and,

WHEREAS, the COVID-19 pandemic has created myriad economic distress and unanticipated costs in American society to individuals and families, to businesses, and to the state and local governments addressing the pandemic's effects; and,

WHEREAS, Congress recently enacted the Coronavirus Aid, Relief, and Economic Security Act, P.L. 116-136 ("CARES") to provide relief funds to individuals, businesses, and state and local governments; and,

WHEREAS, CARES allows the County to directly receive funds for costs incurred in fighting and ameliorating the effects of COVID-19; and,

WHEREAS, pursuant to the terms of this Agreement, the County wishes to disburse to Byers Fire Protection District ("District"), and District wishes to receive from County, CARES funds for COVID-19 related costs incurred by District.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the Intergovernmental Agreement Between Adams County and Byers Fire Protection District Regarding Disbursement of Coronavirus Aid, Relief and Economic Security Act Funds, is hereby approved.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is authorized to execute said Intergovernmental Agreement on behalf of Adams County.

#### INTERGOVERNMENTAL AGREEMENT BETWEEN ADAMS COUNTY AND BYERS FIRE PROTECTION DISTRICT REGARDING DISBURSEMENT OF CORONAVIRUS AID, RELIEF AND ECONOMIC SECURITY ACT FUNDS

THIS INTERGOVERNMENTAL AGREEMENT ("Agreement"), is made this \_\_\_\_\_ day of August, 2020, by and between Adams County, Colorado, located at 4430 S. Adams County Parkway, Brighton, CO 80601 ("County") and Byers Fire Protection District located at 100 N. Main St., Byers, CO 80103 ("District") for the purpose of disbursing funds provided by the Coronavirus Aid, Relief, and Economic Security Act, P.L. 116-136 ("CARES").

#### WITNESSETH:

WHEREAS, Section 18(2) of Article XIV of the Colorado Constitution and Sections 29-1-201, *et seq.* and 29-20-105 of the Colorado Revised Statutes authorize and encourage governments to cooperate by contracting with one another for their mutual benefit; and,

WHEREAS, the COVID-19 pandemic has created myriad economic distress and unanticipated costs in American society to individuals and families, to businesses, and to the state and local governments addressing the pandemic's effects; and,

WHEREAS, Congress recently enacted CARES to provide relief funds to individuals, businesses, and state and local governments; and,

WHEREAS, CARES allows the County to directly receive funds for costs incurred in fighting and ameliorating the effects of COVID-19; and,

WHEREAS, pursuant to the terms of this Agreement, the County wishes to disburse to District, and District wishes to receive from County, CARES funds for COVID-19 related costs incurred by District.

NOW, THEREFORE, in consideration of the mutual promises and covenants contained herein, the Parties agree as follows:

#### I. <u>FUNDING</u>

CARES funds are allocated based on the percentage of the population in a given state that resides in the jurisdiction requesting direct funding from the federal government. County is similarly allocating CARES funds based on the percentage of the County population residing in each fire district. The spreadsheet attached as Exhibit A, and incorporated herein, shows the amount of CARES funds available to each Adams County fire district.

County will disburse to District the funds allocated to District in Exhibit A in a single payment. The payment will be disbursed to District only after County receives an invoice from District for the payment. District understands and agrees that the County's obligation to disburse these CARES funds is expressly contingent upon the County receiving said funds from the federal government. In the event the federal government fails to remit said funds, or reduces said funds, the County may reduce or terminate its payment accordingly. No Adams County funds shall be encumbered or involved in this Agreement.

District must submit reports on the expenditure of its CARES funds, including the amount and purpose of each expenditure, to County monthly. Any CARES funds not spent by December 4, 2020, shall be returned to the County so that the County's obligation to return unspent CARES funds to the Federal Treasury may be timely fulfilled.

### II. SCOPE OF PROJECT AND ACCOUNTING

CARES funds shall be spent solely for the COVID-19 related costs set forth in CARES. CARES imposes expenditure and accounting obligations upon local governments receiving CARES funds. District agrees to be solely responsible for ensuring that it spends and accounts for the CARES funds received from the County in strict compliance with CARES requirements. Because CARES is recent legislation, the parties anticipate that additional federal legislation, rules, and regulations may be promulgated regarding the expenditure and accounting requirements. District shall familiarize itself with, and shall adhere to, all current and subsequent legislation, rules, and regulations. In the event of non-compliance with its legislative and regulatory mandates, the federal government may seek reimbursement of funds it deems were not spent in compliance with its legislation and rules. In the event the federal government seeks reimbursement of funds, and, in the event the federal government seeks reimbursement of funds spent by

District from County, District shall reimburse County for any funds returned by County on District's behalf within thirty days of County's reimbursement.

#### III. <u>PUBLIC NECESSITY</u>

The Parties agree that the work performed pursuant to this Agreement is necessary for the health, safety, comfort, convenience, and welfare of all the people in Adams County in the fight against COVID-19.

#### IV. <u>LIABILITY</u>

Each party hereto shall be responsible for any suits, demands, costs or actions at law resulting from its own acts or omissions and may insure against such possibilities as appropriate.

The Parties hereto understand and agree that the District, the County, their officers and employees are relying on, and do not waive or intend to waive by any provision of the Agreement, the monetary limitations or any other rights, immunities, and protections provided by the Colorado Governmental Immunity Act, C.R.S. 24-10-101 *et seq.*, as from time-to-time amended, or otherwise available to either party, their officers, or their employees.

#### V. NOTICES

A. Any notices, demands, or other communications required or permitted to be given by any provision of this Agreement shall be given in writing, delivered personally or sent by registered mail, postage prepaid and return receipt requested, addressed to Parties at the addresses set forth below or at such other address as either party may hereafter or from time to time designate by written notice to the other party given when personally delivered or mailed, and shall be considered received in the earlier of either the day on which such notice is actually received by the party to whom it is addressed or the third day after such notice is mailed.

#### For Adams County:

Adams County Manager's Office 4430 S. Adams County Parkway Brighton, Colorado 80601-8206

Adams County Attorney's Office 4430 South Adams County Parkway, Suite C5000B Brighton, Colorado 80601-8206

### For District:

Byers Fire Protection District 100 N. Main St. Byers, CO 80103

Attn: Mike Disher

B. The Parties each agree to designate and assign a representative to act on the behalf of said Parties in all matters related to this Agreement. Each representative shall coordinate all Agreement-related issues between the Parties, shall attend all necessary meetings, and shall be responsible for providing all available related information upon request by the County or the District. Said representatives shall have the authority for all approvals, authorizations, notices or concurrences required under this Agreement, but shall not be authorized to amend the terms of this Agreement.

#### VI. <u>AMENDMENTS</u>

This Agreement contains all of the terms agreed upon by and among the Parties. Any amendments or modifications to this Agreement shall be in writing and executed by the Parties hereto to be valid and binding.

#### VII. <u>SEVERABILITY</u>

If any clause or provision herein contained shall be adjudged to be invalid or unenforceable by a court of competent jurisdiction or by operation of any applicable law, such invalid or unenforceable clause or provision shall not affect the validity of the Agreement as a whole and all other clauses or provisions shall be given full force and effect.

### VIII. <u>APPLICABLE LAWS</u>

This Agreement shall be governed by and construed in accordance with the laws of the State of Colorado. Venue for any and all legal actions regarding the transaction covered herein shall lie in Adams County, Colorado.

#### IX. <u>ASSIGNABILITY</u>

No party to this Agreement shall assign or transfer any of its rights or obligations hereunder without the prior written consent of the non-assigning party or parties to this Agreement.

#### X. <u>BINDING EFFECT</u>

The provisions of this Agreement shall bind and shall inure to the benefit of the Parties hereto and to their respective successors and permitted assigns.

#### XI. <u>EMPLOYMENT STATUS</u>

This Agreement shall not change the employment status of any employees of the Parties. No party shall have the right to control or direct the activities of any employees of another related to this Agreement.

#### XII. NO DISCRIMINATION IN EMPLOYMENT

In connection with the performance of work under this Agreement, the Parties agree not to refuse to hire, discharge, promote or demote, or to discriminate in matters of compensation against any person otherwise qualified because of race, color, ancestry, creed, religion, national origin, gender, age, military status, sexual orientation, marital status, or physical or mental disability and further agree to insert the foregoing provision in all subcontracts hereunder.

#### XIII. <u>APPROPRIATIONS</u>

Notwithstanding any other term, condition, or provision herein, each and every obligation of the Parties stated in this Agreement is subject to the requirement of a prior appropriation of funds therefor by the appropriate governing body of the District and/or the County.

### XIV. NO THIRD PARTY BENEFICIARIES

It is expressly understood and agreed that enforcement of the terms and conditions of this Agreement, and all rights of action relating to such enforcement, shall be strictly reserved to the Parties, and nothing contained in this Agreement shall give or allow any such claim or right of action by any other or third person on such Agreement. It is the express intention of the Parties that any person or party other than either one of the Parties receiving services or benefits under this Agreement shall be deemed to be an incidental beneficiary only.

#### XV. ILLEGAL ALIENS

The Parties agree that any public contract for services executed as a result of this intergovernmental agreement shall prohibit the employment of illegal aliens in compliance with §8-17.5-101 C.R.S. et seq.

IN WITNESS WHEREOF, the Parties hereto have caused this instrument to be executed by properly authorized signatories as of the date and year first above written.

Signatures on next page.

BYERS FIRE PROTECTION DISTRICT

By:

ATTEST:

APPROVED AS TO FORM:

BOARD OF COUNTY COMMISSIONERS ADAMS COUNTY, COLORADO

Chair

ATTEST:

Erica Hannah, Deputy Clerk

APPROVED AS TO FORM:

Adams County Attorney's Office



# PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: August 11, 2020

SUBJECT: Facility Usage Agreement with Hyland Hills Park and Recreation District (WaterWorld testing site).

FROM: Alisha Reis, Deputy County Manager

AGENCY/DEPARTMENT: County Manager's Office/County Attorney's Office/Budget & Finance Department

HEARD AT STUDY SESSION ON: August 4, 2020

AUTHORIZATION TO MOVE FORWARD:  $\square$  YES  $\square$  NO

**RECOMMENDED ACTION:** That the Board of County Commissioners approves the agreement to support the public COVID-19 testing site at WaterWorld.

### **BACKGROUND**:

Attached is a facility usage agreement for the Board's consideration with Hyland Hills Park and Recreation District for rental of the WaterWorld parking lots to locate a public testing site for COVID-19 testing.

The project is a partnership with the Colorado Department of Public Health and Environment, which is contracting the testing agency, which will provide all personnel, materials, supplies and oversight for testing. The County will provide the leased location, traffic control/security, and other support logistics, paid for with a portion of its allocation of Coronavirus Aid, Relief, and Economic Security Act (CARES) funds.

### AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Manager's Office County Attorney's Office Budget & Finance Department

### **ATTACHED DOCUMENTS:**

Resolution Funding Agreement Exhibits

## FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

### Fund:

### **Cost Center:**

|  | Object<br>Account | Subledger | Amount |
|--|-------------------|-----------|--------|
| Current Budgeted Revenue:                          |                   |           |        |
| Additional Revenue not included in Current Budget: |                   |           |        |
| Total Revenues:                                    |                   |           |        |

|   | Object  | Subledger | Amount |
|---|---------|-----------|--------|
|   | Account |           |        |
| Current Budgeted Operating Expenditure:                     |         |           |        |
| Add'l Operating Expenditure not included in Current Budget: |         |           |        |
| Current Budgeted Capital Expenditure:                       |         |           |        |
| Add'l Capital Expenditure not included in Current Budget:   |         |           |        |
| Total Expenditures:   |         |           |        |

| New FTEs requested:      | YES        | NO NO |
|--------------------------|------------|-------|
| Future Amendment Needed: | <b>YES</b> | NO NO |

Additional Note:

#### **BOARD OF COUNTY COMMISSIONERS FOR**

#### ADAMS COUNTY, STATE OF COLORADO

#### RESOLUTION APPROVING HYLAND HILL FACILITY AND RECREATION DISTRICT FACILITY USAGE AGREEMENT

#### **Resolution 2020-**

WHEREAS, Adams County has been asked to assist the Colorado Department of Public Health and Environment to expand testing locations in the midst of the current COVID-19 pandemic; and,

WHEREAS, Hyland Hills Park and Recreation District has a sufficient site to provide such a location at its WaterWorld facility, located at 8801 North Pecos Street, Federal Heights, Colorado; and,

WHEREAS, Adams County would like to use this location to fulfill the testing location; and,

WHEREAS, Hyland Hills Park and Recreation District would like to offer the parcel to the County under the terms and conditions of the attached Facility Usage Agreement.

NOW THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado that the attached Hyland Hill Facility and Recreation District Facility Usage Agreement, is hereby approved.

BE IT FURTHER RESOLVED, that the Chair is authorized to execute said Agreement on behalf of Adams County.



#### HYLAND HILL FACILITY AND RECREATION DISTRICT FACILITY USAGE AGREEMENT

This agreement dated \_\_\_\_\_\_, 2020 by and between HYLAND HILLS PARK AND RECREATION DISTRICT, a quasi-municipal corporation and subdivision of the State of Colorado, hereinafter referred to as "Hyland Hills", and "ADAMS COUNTY, COLORADO" hereinafter referred to as "User".

#### BRING THIS AGREEMENT WITH YOU ON THE RENTAL DATE.

In consideration for the mutual obligations and responsibilities set forth below, **Hyland Hills** and **User** agree as follows:

1. **Hyland Hills** grants to **User** the right to utilize a portion of the Water World facility lot ("facility") located at 8801 North Pecos Street, Federal Heights, Colorado and is more particularly identified in Exhibit A to include Lots B, C, D, E, and F as mentioned herein, attached hereto:

Date(s): August 4, 2020 through September 30, 2020 for Lots B, C, D, E and F, with the potential to use Lots B and C, at no cost and subject to availability, to October 31, 2020.

Time: Daily, Sunday through Saturday

Purpose: COVID-19 or associated testing facility

Deposit: None

Special Requests that shall supersede anything contrary herein:

a. Hyland Hills shall provide electrical power which said installation shall be billed at the end of each month of the rental term as additional rent. Installation of said power shall be done by Hyland Hills and billed by Hyland Hills at cost for hours and materials and permitting fees. For reimbursement Hyland Hills shall submit an invoice inclusive of all charges and the associated required removal within 30 days of commencement of this Agreement. Costs are estimated (based on location User has currently indicated) to be \$1,600 for materials and labor. If at any time additional power service is needed, and Hyland Hills is willing to install, such service will be billed similarly at cost of materials and labor. Permitting costs and obligation shall be borne to the party performing the work.

- b. User must fully vacate Lots D, E, and F as well as associated ring road areas by end of day 9/30/2020.
- c. All Water World parking lots are under an existing executed contract beginning on October 1<sup>st</sup>, 2020 with another party. Lots D, E, F, the outer ring road through these lots and the parking lot entrance at 88<sup>th</sup> and Pecos will be unavailable for use by the User. Lots B & C, along with one or both of parking lot entrances to 90<sup>th</sup> Avenue may potentially be available for use by the User. This availability (if any) and the scope of such will be determined by the contracted party and Hyland Hills. Should any or all of these lots be available for use by the user, as potentially depicted in Exhibit B, such use would be at no additional charge to the User, however utilities installation billing shall still apply, if any. Traffic control must be coordinated with those plans of Hyland Hills other User for lots D F and authorities having jurisdiction.
- d. Beginning in mid-September, the October 1<sup>st</sup> contracted vendor has been preauthorized to store one semi-trailer in the parking lot. This is typically stored in Lot D, E or F. **Hyland Hills** will work with **User** to determine a mutually agreeable location ahead of delivery in mid-September.
- e. The parties agree there is a hard termination date of 10/31/2020.
- f. Temporary self-ballasted signage is permissible so long as it does not violate any ordinance, law, regulation of authorities having jurisdiction over such or the site.
- g. In the event that staking is required for modular spaces or otherwise, User shall be responsible for repairing the surface to similar condition to pre-staking. Repairs shall be subject to the acceptance and approval of Hyland Hills. Repair plans shall first be submitted to Hyland Hills for review. Hyland Hills shall have 14 days to respond with an objection. In the absence of an objection, approval may be assumed and User may proceed with repair. Hyland Hills shall provide User with its requirements of parking lot repairs within 30 days of Agreement Commencement. In the event that User's repair requires associated improvements, User shall not be liable for costs of associated repairs. User shall obtain 3 estimates of its repair and not the associated repair. The parties agree to payment in full for this consideration as an average of those estimates received. Hyland Hills shall also submit 3 estimates, and those shall be included in the equation for averaging.
- h. The parties understand that this agreement allows **User** usage of the premises by other professional organizations. Some of which are a part of the User's organization and others that may be external such as a testing organization.

- i. User is relying on CARES funds for rent payment. If the program becomes unavailable, User may cancel this agreement at any time by giving notice to HH. It is anticipated for CARES funds to expire 12/20/2020.
- j. **Hyland Hills** access has been identified in the attached Exhibit C. **Hyland Hills** will make reasonable efforts to restrict its needs to the provided route. **User** shall keep the identified route clear and available for **Hyland Hills** at all times for purposes including but not limited to: access, maintenance, mowing of right of ways and parking lot islands, repairs, deliveries, etc. Changes shall be mutually agreed to in writing by the Parties.
- k. User intends to install a modular temporary office unit of approximately fifty (50) feet and similar storage unit, depending on availability, on the premises. User shall remove these improvements in accordance with this agreement and shall be responsible for repairs associated including the power feed costs outlined in Special Requests of this Agreement.
- 1. If snow removal is needed, **User** shall provide such for the parking lot and walkways associated to its operations. **User** shall be responsible for any damage and repairs associated to its snow removal.
- m. Fire lanes shall be kept clear at all times regardless of whether the Park is open or operational per local authorities having jurisdiction.

2. While **Hyland Hills** will make every reasonable effort to keep the facility open during the scheduled use time, **Hyland Hills** reserves the right to close the facility at any time and for any reason. If the facility is closed during any scheduled use by **User**, **User** may receive a prorated refund of monies paid for the unused scheduled time or may reschedule the usage of the facility for the unused scheduled time.

3. Upon signing this agreement, **User** shall pay to **Hyland Hills**, for the use of the facility \$10,000 for August and \$10,000 for September, due upon receipt of an invoice from Hyland Hills.

4. The parties hereto understand that once this Agreement is entered into, the date and time of usage of the facility by User is reserved, and no refund of any of the rental shall be made to **User** except as set forth in paragraph 2, above.

5. User, at any time and only with the consent of **Hyland Hills**, may schedule additional hours, over and above those hours scheduled, and shall immediately pay any additional rental fees resulting there from.

6. User shall abide by and conform to all applicable Federal, State and local statutes and ordinances and the rules and regulations established by **Hyland Hills** and any instruction given by **Hyland Hills**.

- 7. Hyland Hills rules and regulations include, but are not limited to, the following:
  - Smoking is prohibited in all areas of the facility.
  - **No alcoholic** beverages are allowed at the facility unless specifically approved in writing by the Executive Director.
  - This agreement covers use of the facility only.
  - Children with your group must be supervised at all times.
  - All trash must be picked up and removed from the site by User at the end of each day and the facility left as found.
  - Do not use or move any equipment without the consent of Hyland Hills.
  - Do not drive stakes or otherwise damage the parking lot surface unless pre-authorized. Painting or similar marking of the parking lot surface is prohibited.
  - User shall surrender the facility, parking lot surfaces and all equipment contained therein to Hyland Hills at the end of the scheduled usage time, in good and clean condition.
  - Any items brought on property by the User during the agreement period must be removed by the end of the last day of the scheduled usage time.
  - Access to the parking lot and associated service areas from Pecos Street and 90<sup>th</sup> Avenue, access to the Administration Offices and access to fire lanes must be maintained at all times.
  - Portable restrooms must be picked up by the next business day, posttermination, provided access allows for such. Restroom should be properly maintained and secured to prevent tipping.
  - User is responsible for obtaining any permits that may be required by the City of Federal Heights.
  - User is responsible for maintaining proper traffic flow and impacts to surface streets adjoining Hyland Hills parking lots.

8. If the facility, or any improvements thereat, or any equipment contained therein, shall be damaged by User, its officers, agents, representatives, employees, guests or invitees, User shall pay to Hyland Hills, upon demand, such sum as shall be necessary to restore the facility or restore or replace the damaged equipment.

9. In further consideration of **Hyland Hills**' granting **User** permission to utilize the facility, as more fully stated herein:

User agrees to be responsible for any damages resulting from the death or injury to persons or the destruction of property or any other

damage caused by User, User's officers, agents representatives, employees, guests or invitees, sustained in connection with or arising from the utilization of the facility by User, specifically including, without otherwise limiting any obligation hereunder, attorneys fees and cost incurred in the defense of any claim arising from such utilization of the facility by User and attorneys fees and costs incurred in enforcing User's obligations hereunder. User shall be solely responsible for the costs of the testing program.

10. In the event of any default by **User** in any of the terms of this Agreement, including the nonpayment of any monies due under the terms of this Agreement, User agrees to pay the cost, including reasonable attorney fees, incurred by **Hyland Hills** as result of said default, including but not limited to costs of collections and/or eviction from the subject premises.

11. This Agreement shall not be assigned by User nor shall User utilize the premises for any purpose other than herein stated.

12. The individual or individuals executing this Agreement on behalf of the User represent(s) to **Hyland Hills** that he/she or each of them has the power and authority to execute this agreement on behalf of the User and to bind the User to all of the terms and conditions set forth in the Agreement.

13. User and Hyland Hills agree that all terms and conditions of the Agreement shall be binding upon the parties, their representatives, officers, agents, guests and invitees and cannot be waived by any oral representations or promises unless the same be in writing and mutually signed by the parties who execute this Agreement.

14. User understands that it is not the agent or representative of Hyland Hills and is not authorized to make any representation or to incur any liability on behalf of Hyland Hills.

15. **Hyland Hills** reserves the right to restrict, totally or in part, the use of the facility by any individual(s) whom **Hyland Hills** deems to be in violation of this Agreement, any applicable Hyland Hills rule or regulation or who acts in a manner which, in the judgment of **Hyland Hills**, constitutes a danger to him or herself, to others or to property.

16. Failure of **User** to abide by the terms of the Agreement may, at the sole option of **Hyland Hills**, result in the immediate termination of **User's** right to use the facility and forfeiture of all rent and deposits paid by **User** to **Hyland Hills**.

Hyland Hills Park and Recreation District 8801 N Pecos St Federal Heights, Colorado 80260 (303) 428-7488 or (303) 650-7580

User:

| Print Name                                 | Street Address |       |          |  |
|--|----------------|-------|----------|--|
| Signature(s) of authorized representatives | City           | State | Zip Code |  |
| Adams County, Colorado                     |                |       |          |  |



Exhibit A – Initial Lot Usage of Lots C, D, E, and F through September 30<sup>th</sup>, 2020 (as shown in green).

Exhibit B – Lots B & C for **potential** use (based on flexibility of contract holder during this time) for period October 1 through October 31, 2020.





Exhibit C – Hyland Hills / Water World Service Access (as noted in orange).



#### COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

#### CASE NO.: RCU2019-00046

#### CASE NAME: Strasburg Fire Protection Crew Quarters CUP

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- 3.3 Applicant Landscape Plan
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- 4.3 Referral Comment (Strasburg Fire Protection District #8)
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- 5.3 Newspaper Publication
- 5.4 Referral Agency Labels
- 5.5 Property Owner and Resident Labels
- 5.6 Certificate of Posting



### COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT STAFF REPORT

### **Board of County Commissioners**

August 11, 2020

| CASE No.: RCU2019-000 | 046 CASE NAME: Strasburg Fire Protection Crew Quarters CUP  |
|-----------------------|---|
| Owner's Name:         | Strasburg Fire Protection District #8   |
| Applicant's Name:     | Strasburg Fire Protection District #8   |
| Applicant's Address:  | 56281 East Colfax Avenue  |
| Location of Request:  | 56281 East Colfax Avenue (Parcel # 0181333425001)   |
| Nature of Request:    | Conditional Use Permit for a Public Service use that would allow a modular home to serve as living quarters for the Strasburg Fire Protection District. |
| Zone District:        | Commercial-5 (C-5)  |
| Future Land Use:      | Commercial  |
| Site Size:            | 1.06 acres (46,173 sq. ft.)   |
| Proposed Use:         | Public Service (Emergency Service Buildings or Garages) with living quarters  |
| Existing Use:         | Public Service (Emergency Service Buildings or Garages)   |
| Hearing Date(s):      | PC: July 23, 2020/ 6:00 pm  |
|                       | BoCC: August 11, 2020/ 9:30 am  |
| Report Date:          | August 4, 2020  |
| Case Manager:         | Holden Pederson   |
| Staff Recommendation: | APPROVAL with 8 Findings-of-Fact, 1 Condition Precedent, 1 Condition of Approval, and 1 Note  |

#### SUMMARY OF APPLICATION

#### **Background:**

The subject property is located on a portion of Plot 1, Block 6 of the Adam Wagner Subdivision, which was recorded in 1950.

The Strasburg Fire Protection District #8 owns the property and provides emergency services for the surrounding community from this site. This request would allow the fire district to install a one-story modular home on their site in order to serve as crew quarters for fire district personnel. The proposed crew quarters would be between 1,200 and 1,800 square feet in size. Its primary

function would be to serve as crew quarters for career and volunteer personnel who are covering fire station duties twenty-four hours a day, three hundred and sixty-five days a year. The proposed crew quarters would include multiple beds/bunks for shared staff use, as well as a living room and kitchen. A portion of the quarters would also be utilized for administrative functions and would include desks and computers.

The modular home would be located directly north of the existing fire station in an open area at the southeast corner of the intersection of Long Branch Street and Westview Avenue. One exit door and an associated walkway would be placed so that they directly face the fire station in order to provide immediate and rapid access for staff in the case of an emergency.

#### Site Characteristics:

The subject property is located in the Commercial-5 (C-5) zone district and is approximately 1.06 acres in size. The lot has three street frontages: Colfax Avenue (Highway 36) to the south, Long Branch Street to the west, and Westview Avenue to the north. A bowling alley and an office building are located directly to the east, while a shopping center is located to the west of the site. Single-family homes are located north of the site along Westview Avenue, facing the empty field, which represents the proposed location for the modular home. Single-family homes, agricultural land, and other commercial uses within the jurisdiction of Arapahoe County are located to the south of the site and across from Colfax Avenue.

The lot is currently developed with a 10,074 square foot fire station. Facilities within the fire station include fire apparatus bays, a training room, a kitchen, a public facing office, and several support spaces. A white picket fence that is in good condition surrounds the entire property. There is minimal landscaping currently installed at the site due to limitations imposed by the intensive use of the site for emergency services and emergency vehicle access. There is an empty field to the north of the facility that provides the proposed location for the crew quarters.

A concrete pad surrounds the fire station on three sides (south, west, and east) in order to provide emergency vehicle access to the facility's bays, as well as parking for fire personnel and visitors. This existing concrete pad cannot be removed or altered, otherwise access and egress for fire apparatus would be impeded. These essential functions of the facility preclude the site from adding addition landscaping or right-of-way improvements along Colfax Avenue, along approximately half of the frontage along Long Branch Street, and within approximately half of the buffer yard area that would separate the facility from the commercial uses to the east. In addition, a gravel or crusher fine surface provides vehicular access to the back of the facility from Westview Avenue.

#### **Development Standards and Regulations:**

The property is zoned C-5. Per Section 3-23 of the County's Development Standards and Regulations, the purpose of the Commercial-5 District is to serve as a general retail and service district designed to provide the broadest scope of services and products for both the general and traveling public in an interstate and regional context.

Public Service uses, such as "Emergency Services, Buildings or Garages," represent a land use category that is conditionally permitted within the C-5 zone district. Per Section 11-02-456 of the

County's Development Standards and Regulations, the Public Service category includes emergency service buildings or garages (e.g. ambulance; fire; police; rescue); utility substations or transmission and distribution facilities; government offices; and all government-owned facilities except landfills or mining facilities. Meanwhile, per Section 11-02-216, a Fire Station is defined as an establishment used for the storage of fire trucks and emergency medical vehicles, which also contains office space and living quarters for firefighting personnel. These definitions adhere with the applicant's proposal to include living quarters and additional office space as part of their established Public Service land use.

There are specific Public Service performance standards listed in the County's Development Standards and Regulations for outdoor storage and garbage storage requirements (Section 4-08-02-07). In addition, there are specific Fire Station performance standards that state that the minimum parcel area must be at least ½ acre and that there are no required setbacks from residential zone districts (Section 4-08-02-07-03). The applicant's site meets these performance standards, as there is no observed or proposed outdoor storage at the site and the garbage areas are screened from public view. In addition, the parcel is over one acre in size and is located near residential zone districts within the small unincorporated town of Strasburg in order to best serve those communities.

As part of this proposal, the applicant has demonstrated that the proposed crew quarters could meet the setback and height requirements for the C-5 zone district, which include 25' front and side corner setbacks from Long Branch Street and Westview Avenue as well as a 15' side/rear setback from the east property line and a 75' arterial right-of-way setback from Colfax Avenue to the south.

The applicant has included several site improvements that will help bring this historic Public Service use into compliance with the County's current Development Standards and Regulations. New development at this site would require street frontage landscaping along the north, south, and west property lines, as well as a Type B landscape bufferyard along the east property line in order to separate a new institutional use from an existing commercial use. As part of this Conditional Use Permit application and in order to improve the overall site, the applicant has proposed street frontage landscaping in accordance with Option 3 as listed in Section 4-16-07-01 and a Type B bufferyard as listed in Section 4-16-06-01 for the available area along their north, east, and west property lines.

Street frontage landscaping cannot be extended along the entirety of the street frontage abutting Long Branch Street and along the street frontage abutting Colfax Avenue due to the existing concrete pad that provides emergency services and emergency vehicle access that are essential to the function of the site as well as an area for training activities, an alternate landing zone for medical evacuation helicopters, and access to an existing fire hydrant located at the southeast corner of the property as a water refilling point for large water tenders to support fire incidents in non-hydranted portions of the community; however, the applicant has provided street frontage landscaping in all available areas according to Option 3 listed in Section 4-16-07-01 for street frontage landscaping options and a bufferyard between uses in all available areas according to the Type B landscape bufferyard listed in Section 4-16-06-01 for bufferyards . In addition, the landscaped yard around the proposed crew quarters will be maintained, irrigated, and enhanced

with xeriscape improvements (such as ornamental rocks). The applicant has included pedestrian sidewalks connecting the crew quarters to the west and east sides of the fire station.

In total, the applicant has estimated that 5,170 square feet of landscaping will be included on the site as a result of this request, which exceeds the requirement to landscape a minimum of 10% of the lot area (4,617 square feet for this 1.06 acre site) as dictated by the County's Development Standards and Regulations for new or redevelopment on any commercial, industrial, or institutional property.

In addition, as part of this proposal, the applicant would stripe six new parking spaces and one new handicap parking space along the west portion of the concrete pad, as well as twelve new parking spaces along the south portion of the concrete pad for staff and visitors to the site. These nineteen newly striped parking spaces would represent an improvement to the existing site, as the concrete pad currently has few or no parking spaces striped to indicate where visitors and staff should park. The County's Development Standards and Regulations state only that parking requirements for Government Buildings (the closest applicable land use in Section 4-12-04-03) should be based on review by the Director of Community and Economic Development considering site size, topography, and supporting facilities.

#### **Future Land Use Designation/Comprehensive Plan:**

The future land use designation on the property is Commercial. Per Chapter 5 of the Adams County Comprehensive Plan, the purpose of areas designated as Commercial are to serve either neighborhood or regional needs and can be comprised of a variety of uses, including retail sales, restaurants and other services, and professional and commercial offices. The primary objective of the Commercial land use designation is to support and attract businesses that provide employment opportunities, meet the needs of County residents and visitors, and contribute to the County's tax base. Commercial areas should be compatible with surrounding development, and located in areas with adequate transportation access, services, and public infrastructure. Building materials, architectural design, relationship to streets, sidewalks, and parking areas, should all contribute positively to the aesthetic character of the area.

While this Public Service use is considered an institutional use rather than a commercial use, the use would continue to serve neighborhood and regional needs, support and attract businesses to Strasburg's commercial corridor along Colfax Avenue as a prominent landmark, and be compatible with surrounding development as a result of the residential nature of the proposed crew quarters and the site improvements proposed by the applicant as part of this request.

| Northwest                  | North                   | Northeast                  |  |
|----------------------------|-------------------------|----------------------------|--|
| R-1-C                      | <b>R-1-C</b>            | <b>R-1-C</b>               |  |
| Single-Family Dwellings    | Single-Family Dwellings | Single-Family Dwellings    |  |
| West                       | Subject Property        | East                       |  |
| C-5                        | C-5                     | C-5                        |  |
| <b>Commercial Shopping</b> | <b>Fire Station</b>     | <b>Bowling Alley and</b>   |  |
| Center                     |                         | <b>Commercial Offices</b>  |  |
| Southwest                  | South                   | Southeast                  |  |
| Arapahoe County            | Arapahoe County         | Arapahoe County            |  |
| <b>Commercial Uses and</b> | Agricultural Land       | <b>Commercial Uses and</b> |  |
| Single-Family Dwellings    |                         | Single-Family Dwellings    |  |

#### **Surrounding Zoning Designations and Existing Use Activity:**

#### **Compatibility with the Surrounding Area:**

The surrounding properties located in unincorporated Adams County are all zoned as Commercial or Residential-1-C; therefore, this site represents a desirable transition from the commercial uses that are more prevalent along Colfax Avenue to the south and the residential uses that are primarily located farther to the north. As a result of the proposed new pedestrian sidewalks, new landscaping, existing white picket fence, and residential character of the proposed crew quarters, the northern portion of the applicant's site would resemble a residential home that fits in well with the surrounding area. These improvements would ensure that the site does not appear overdeveloped and is not an eye sore for the area. Instead, the new landscaping would improve the views of the overall site from the surrounding public rights-of-way while the residential character of the crew quarters would provide additional separation for the residential community located to the north of the site and would match the existing residential form of the other single-family homes located across from Westview Avenue.

Overall, this prominent location within the unincorporated town of Strasburg is compatible with the surrounding area and provides assurance that emergency services are never far away from the surrounding residential communities. The site's three street frontages would continue to facilitate emergency vehicle circulation while providing multiple points of access for different users of the facility. As a historic Public Service use, this Conditional Use Permit request would help bring the site into conformance with the County's Development Standards and Regulations, representing a functional improvement for the Fire District and an aesthetic improvement for the surrounding area.

#### PLANNING COMMISSION UPDATE:

The Planning Commission considered this request on July 23, 2020, and recommended unanimous approval through a 7-0 vote with 8 Findings-of-Fact, 1 Condition Precedent, 1 Condition of Approval, and 1 Note to the Applicant. No members of the public spoke in support or opposition to the request during the public hearing.

During the public hearing, the Planning Commission asked whether or not the Fire District owns the subject property and inquired about the proposed duration of the Conditional Use Permit request. The applicant responded that the Fire District does own the property, and staff explained that no expiration date had been proposed for the permanent Public Service use that the Fire District plans to utilize in perpetuity. Staff also explained that the purpose of the recommended Condition of Approval #1 is to ensure that if ownership of the property changes in the future, that the use of the modular home as crew quarters or as a dwelling unit will not be allowed to continue in perpetuity. Instead, according to the proposed Condition of Approval, the modular home will need to be removed from the site so that residential uses are not allowed to continue operating in conjunction with any new commercial land use that is introduced to the site, as such a scenario would represent a non-conforming use within the zone district.

#### **Staff Recommendation:**

# Based upon the application, the criteria for rezoning approval, and a recent site visit, staff recommends <u>Approval</u> of this request with 8 Findings-of-Fact, 1 Condition Precedent, 1 Condition of Approval, and 1 Note:

#### **Recommended Findings-of-Fact:**

- 1. The conditional use is permitted in the applicable zone district.
- 2. The conditional use is consistent with the purposes of these standards and regulations.
- 3. The conditional use will comply with the requirements of these standards and regulations including, but not limited to, all applicable performance standards.
- 4. The conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. In making this determination, the Planning Commission and the Board of County Commissioners shall find, at a minimum, that the conditional use will not result in excessive traffic generation, noise, vibration, dust, glare, heat, smoke, fumes, gas, odors, or inappropriate hours of operation.
- 5. The conditional use permit has addressed all off-site impacts.
- 6. The site is suitable for the conditional use including adequate usable space, adequate access, and absence of environmental constraints.
- 7. The site plan for the proposed conditional use will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
- 8. Sewer, water, storm water drainage, fire protection, police protection, and roads are to be available and adequate to serve the needs of the conditional use as designed and proposed.

#### **Recommended Condition Precedent:**

1. Landscaping improvements and parking striping as proposed through this Conditional Use Permit request must be installed at the site prior to the applicant receiving a Certificate of Occupancy for the modular home to begin serving as crew quarters.

#### **Recommended Condition of Approval:**

1. This request is for a permanent accessory use that would support the operations of the Strasburg Fire Protection District #8. If the Fire Protection District relocates and ownership of

the property changes in the future, then this Conditional Use Permit approval would subsequently expire and the modular home must be removed from the site so that it does not continue being utilized for non-conforming residential uses within a commercial zone district.

#### **Recommended Note to the Applicant:**

1. All applicable building, zoning, health, fire, and engineering requirements and codes shall be adhered to with this request.

#### **CITIZEN COMMENTS**

| Notifications Sent | Comments Received |
|--------------------|-------------------|
| 87                 | 0                 |

All property owners and occupants within 750 feet of the subject property were notified of the request. As of writing this report, staff has received no responses from neighboring property owners or residents.

#### COUNTY AGENCY COMMENTS

Staff reviewed the request and had no concerns with the proposed Conditional Use Permit application.

Development Services Engineering reviewed the applicant's drainage and traffic study requirements, determining that no drainage reports or studies were required at this time due to the limited scope of the request. The reviewer did note that any increase in impervious area on the site would be reviewed at the time of building permit application, and that any paved parking areas or concrete walks that cross the 3,000 square foot threshold could require a drainage report and mitigation measures at that time. Development Services Engineering also reviewed the applicant's Trip Generation Letter, determining that no additional traffic analysis was required, that new impacts from this use on County roads would be negligible, and that no improvement to adjacent streets or infrastructure would be required at this time.

The County's Right-of-Way Agent reviewed the proposal and requested that the applicant dedicate an additional 10' of right-of-way along Westview Avenue. The Right-of-Way Agent also determined that if there is a ration nexus to acquire additional right-of-way along Long Branch Street and Colfax Avenue, that it needs to be equal to the impact of the development. These impacts would be determined at the time of building permit application by a traffic impact study and/or public improvement requirements for the development.

#### **REFERRAL AGENCY COMMENTS**

# **Responding with Concerns:**

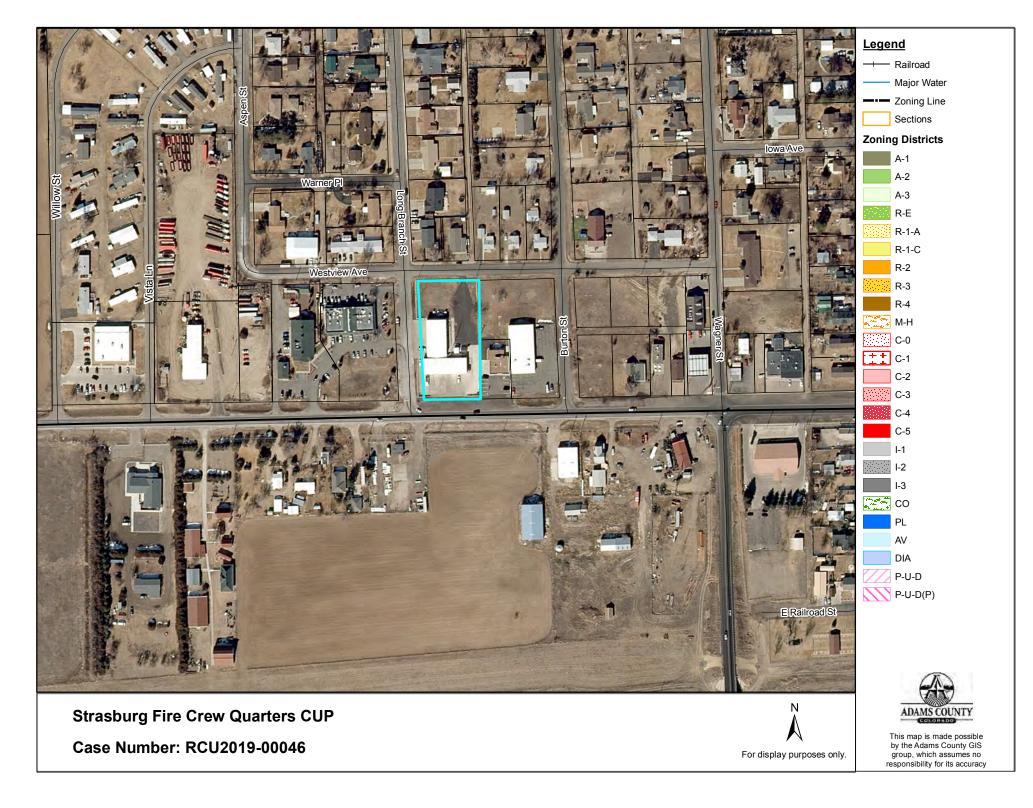
None

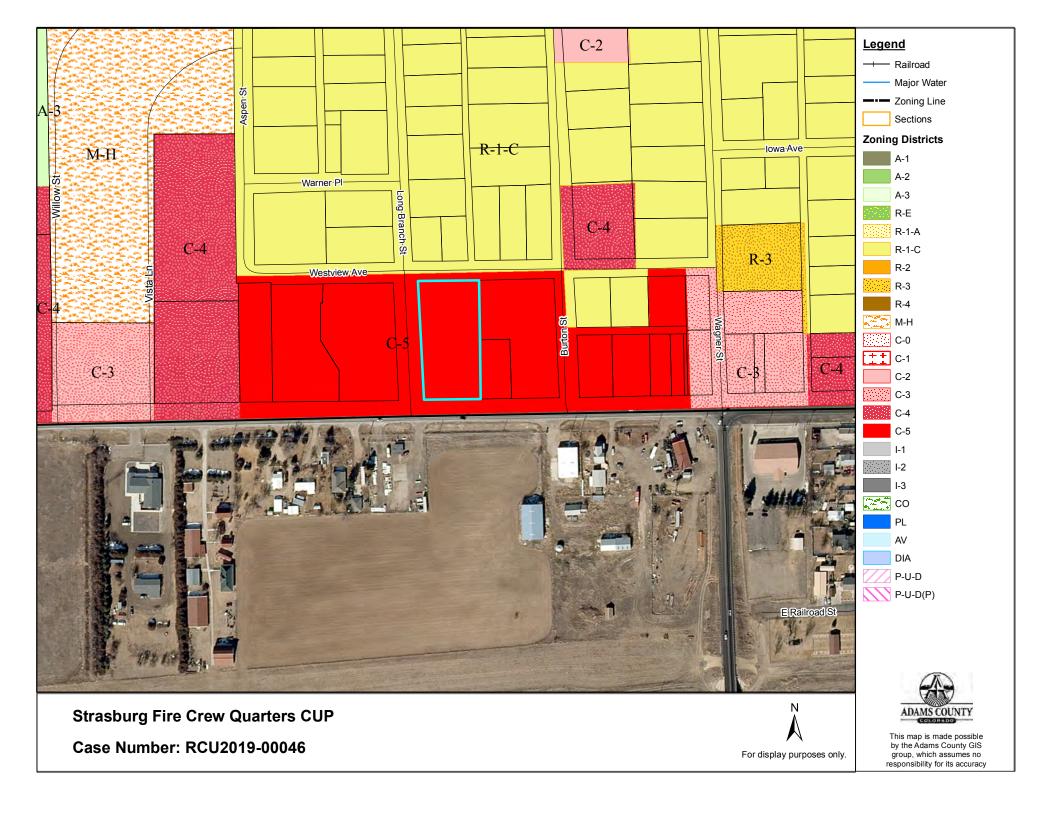
**Responding without Concerns:** Strasburg Fire Protection District #8

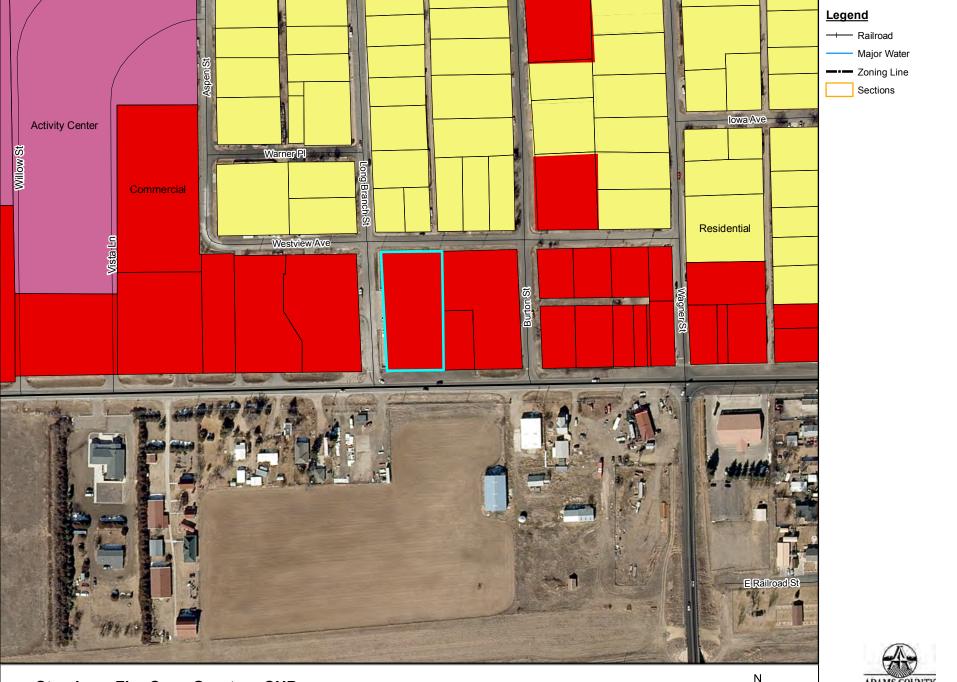
**Tri-County Health Department** Xcel Energy

#### Notified but not Responding / Considered a Favorable Response:

Adams County Attorney's Office Adams County Sheriff's Office Colorado Department of Public Health and the Environment Century Link, Inc. Colorado Division of Wildlife Comcast Intermountain Rural Electric Association Strasburg Parks and Recreation District Strasburg School District 31J Strasburg Water and Sanitation District







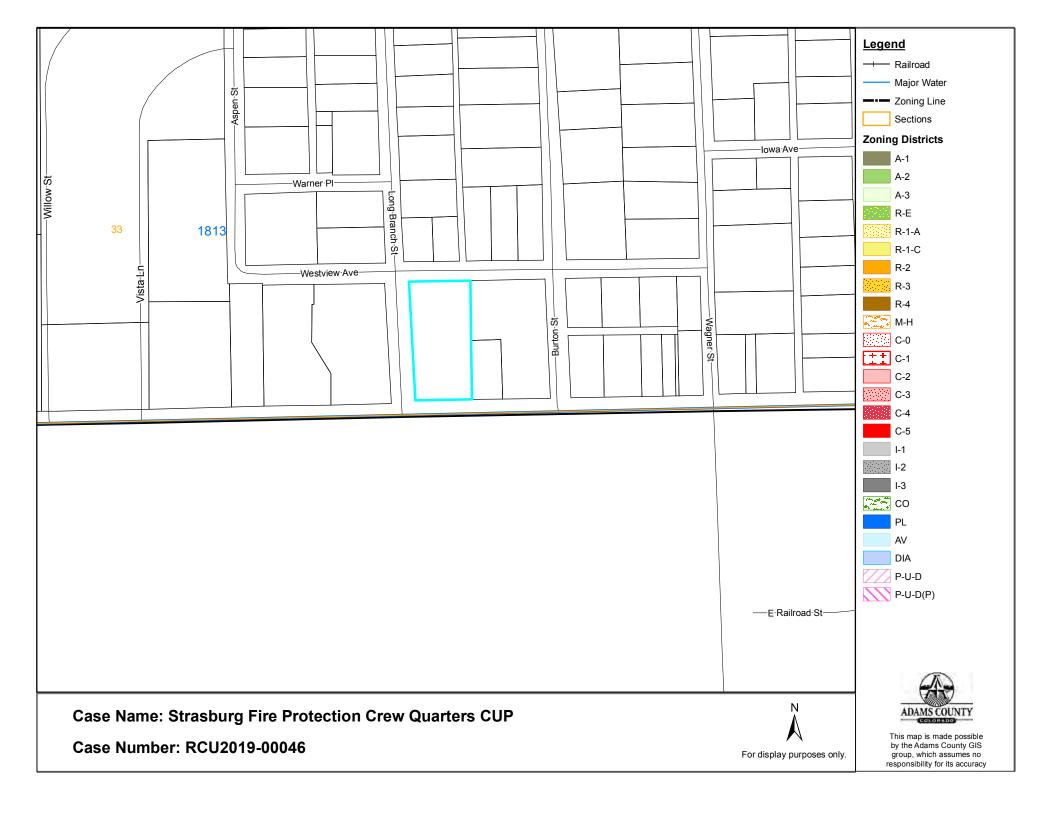
Strasburg Fire Crew Quarters CUP

Case Number: RCU2019-00046





This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy



#### 3: Written Explanation of the Project

The Strasburg Fire Protection District, a special district established pursuant to Colorado State Statute, is proposing to purchase and install a modular home to serve as fire personnel crew quarters. The location of the installation will be at Strasburg Fire Station 1, 56281 East Colfax Ave.

It is the intent of the District to solicit bids from qualified builders for this project. This will be a" turn-key" proposal in that the successful bidder will be responsible for:

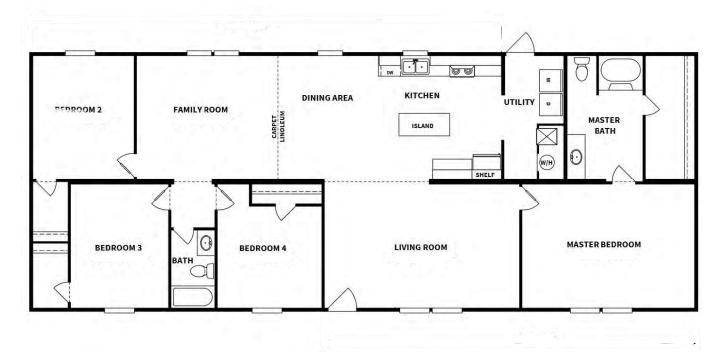
- Submission of a design that conforms to the District specifications.
- Preparing the installation site for the unit.
- Identifying all applicable utilities and managing all aspects of the tie-ins to those utilities.
- Securing all necessary permits for the project.

It is anticipated that the modular will be between 1,200-1,800 square feet in size and that is shall generally conform to the specifications identified below. The primary use of the modular will be to serve as crew quarters for career and volunteer personnel who are covering the first station 24/7/365. A portion of the space will also be utilized for administrative functions.

#### **General Specifications**

- One story modular home.
- Four bedrooms and two baths.
- Master bedroom will be utilized for multiple beds/bunks for shared staff use.
- Carbon monoxide detection as required by Colorado Law.
- Walls will be 1/2 inch finished drywall throughout.
- Open kitchen and dining nook.
- Open den and great room. One area will be used as a day room for staff (recliners, sofa, TV, etc.) The other area will be used as a general works space (desk, computer work area, etc).
- Laundry nook for washer/dryer (to be provided by bidder).
- Kitchen appliances to be supplied by bidder Range, oven, microwave, refrigerator and microwave. Refrigerator shall be oversize.
- Stainless steel kitchen sink.
- All countertops shall be solid surface.
- All flooring shall be solid surface or commercial grade carpeting.
- Minimum 200-Amp electrical service.
- LED lighting to be used where appropriate.
- Minimum 50-gallon electric water heater.
- High efficiency forced air heating and air conditioning.
- TV and phone jacks TBD based on design.
- Home will be located directly adjacent to the current fire station.
- One exit door of the home will directly face the fire station to provide immediate access. The walkway to the station will be provided by others.

- Home will be integrated into the existing Fire Station Emergency Generator if possible. This will require further investigation.
- For the purposes of this project this building is classified as an R-2 occupancy under the International Building Code and International Fire Code.
- An NFPA 13R fire sprinkler system will be required for this building.
- In accordance with the exceptions allowed in Section 907.2.9 of the International Fire Code manual fire alarm system is not required for this project.
- Single station smoke detectors will be required in accordance with Section 907.2.11.2 of the International Fire Code.
- It shall not be required to provide any additional protection for openings in this modular unit that may face the existing fire station as called out in Section 705.8 of the International Building Code.
- The sketch below is intended to serve as a general representation of the layout only. Bidders will be encouraged to propose standard floor plans that can be adapted to meet the needs of the Strasburg Fire Department.



#### Site Information:

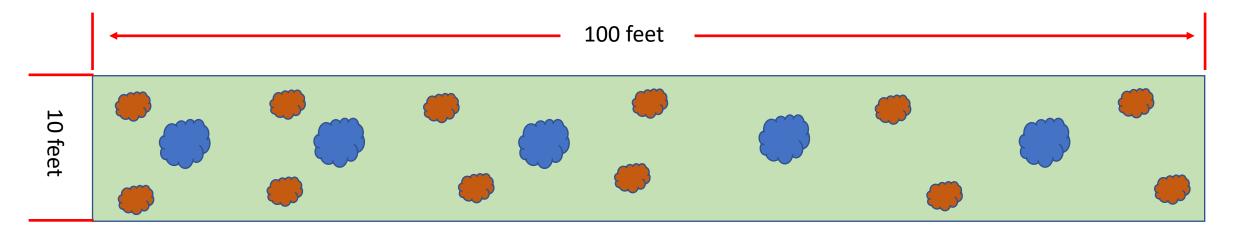
The current Strasburg Fire Station 1 is located at 56281 East Colfax Ave. The property is located in a portion of Plot 1, Block 6 of the Adam Wagner Subdivision as shown in Attachment #1. The Fire Station is a metal structure consisting of fire apparatus bays, a training room and kitchen, and several support spaces. The total size of the station is 10,074 square feet. The Adams County Assessors Office lists this building as a "commercial" structure. The current zoning for this property is listed as C-5.



# Detail of proposed landscaping, bufferyard, and hardscape areas



# West Side Street Frontage Landscape Detail



### <u>Plant List</u>

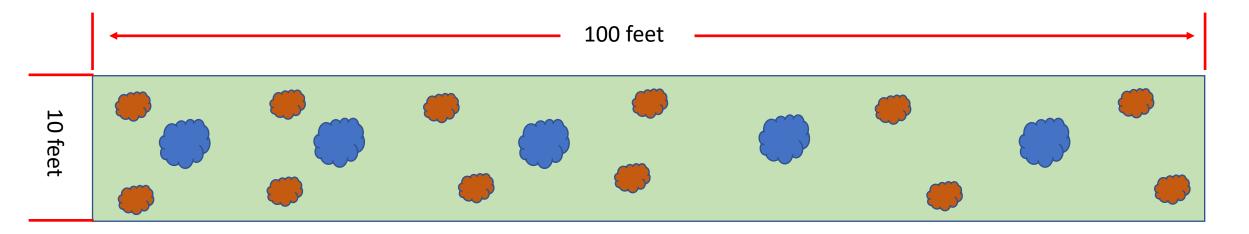


5 ornamental trees or evergreens – minimum 1-1 ½ caliper is diameter for the trees and 5 feet in height for the evergreens.

12 small shrubs – minimum of 5-gallon



# North Side Street Frontage Landscape Detail



### <u>Plant List</u>

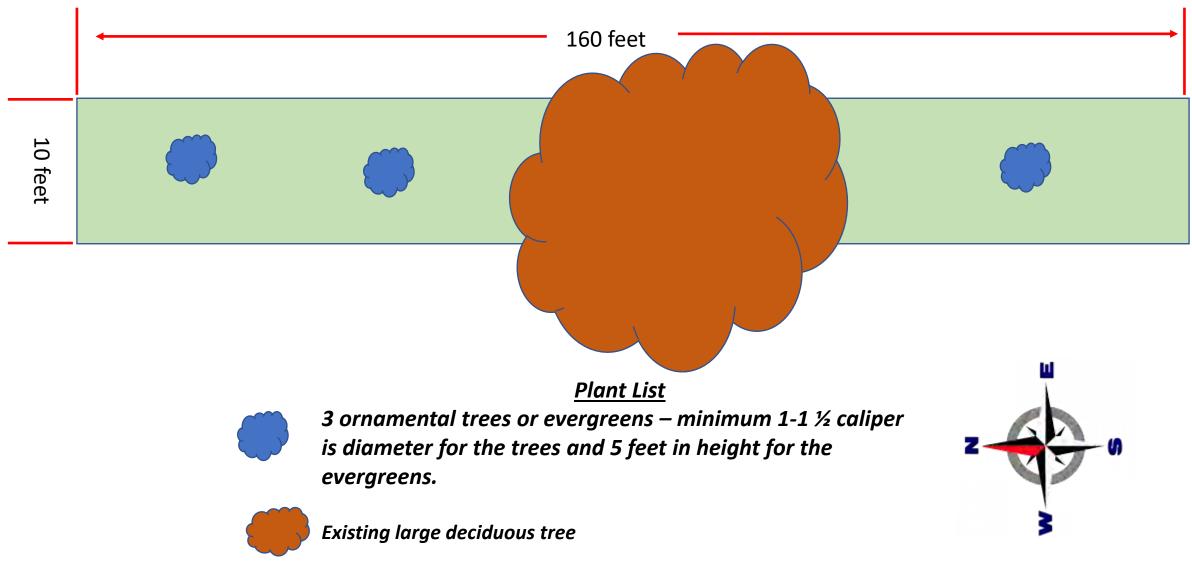


5 ornamental trees or evergreens – minimum 1-1 ½ caliper is diameter for the trees and 5 feet in height for the evergreens.

12 small shrubs – minimum of 5-gallon



# East Bufferyard Landscape Detail

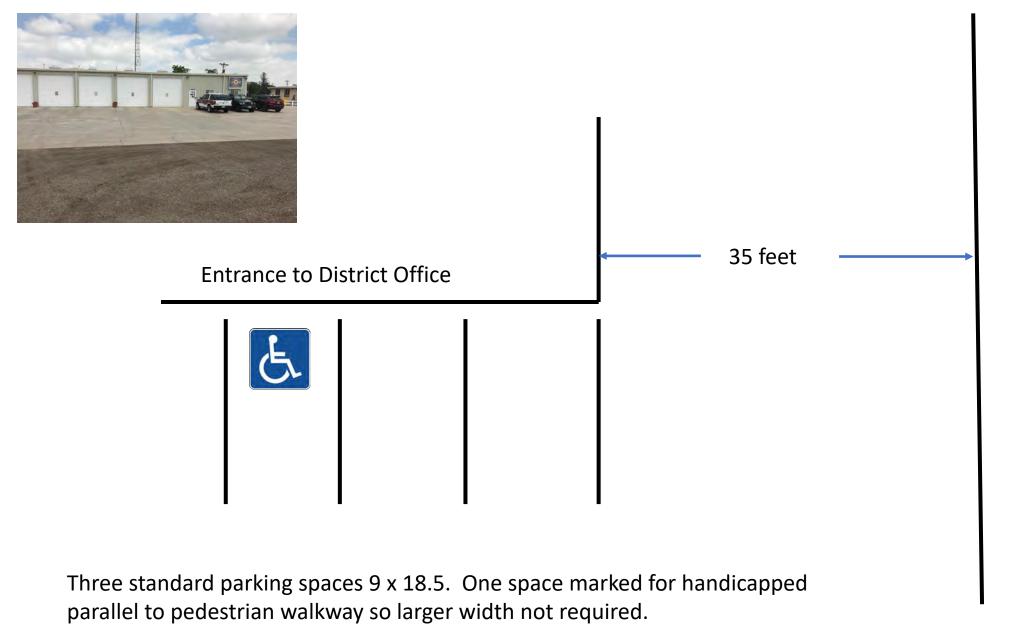


Proposed Designated Parking Areas

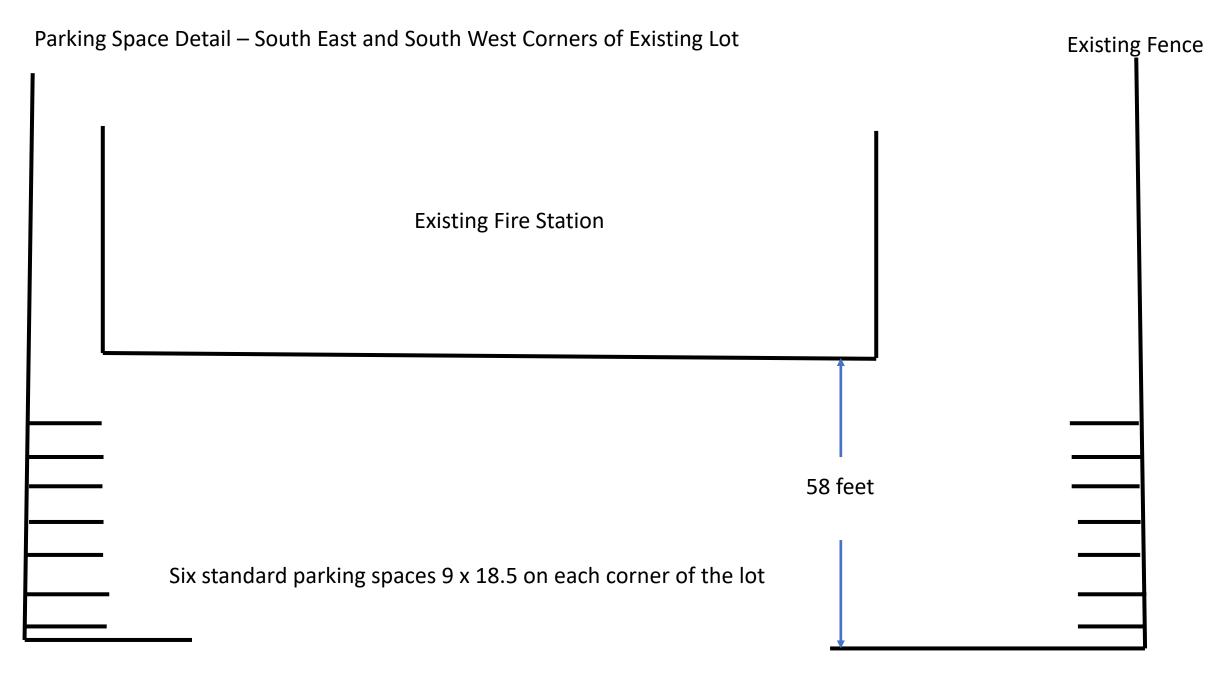
### See Detail Pages



## Parking Space Detail – South East Corner of Existing Building



**Existing Fence** 

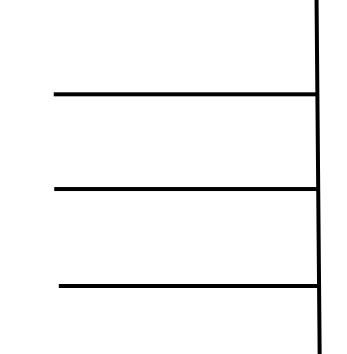


East Colfax Ave

# Parking Space Detail – West Side of Existing Fire Station



Four standard parking spaces 9 x 18.5 to the right of the apparatus bays



## Existing Fire Station

Community & Economic Development Department www.adcogov.org



#### **Development Team Review Comments**

The following comments have been provided by reviewers of your land use application. At this time, a resubmittal of your application is required before this case is ready to be scheduled for public hearing.

To prepare your resubmittal, you will be expected to provide:

- A response to each comment with a description of the revisions and the page of the response on the site plan;
- Any revised plans or renderings; and
- A list identifying any additional changes made to the original submission other than those required by staff.

Resubmittal documents must be provided in person to the One-Stop Customer Service Center of the Community and Economic Development Department. The following items will be expected by our One-Stop Customer Service Center:

- One paper copy of all new materials
  - Paper copies shall not exceed 11"x17" (exception shall be made only for construction drawings or engineering plan review)
  - All paper copies shall be accompanied by the attached Resubmittal Form
- One digital copy of all new materials
  - All digital materials shall be in a single PDF document
  - The single PDF document shall be bookmarked
  - If a Subdivision Improvements Agreement, Legal Description, or Development Agreement is required, then an additional Microsoft Word version of these documents shall also be provided

Charles "Chaz" Tedesco

BOARD OF COUNTY COMMISSIONERS

Emma Pinter DISTRICT 3 Steve O'Dorisio

Mary Hodge DISTRICT 5

**Community & Economic Development Department** www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000 Brighton, CO 80601-8204 PHONE 720.523.6800 FAX 720.523.6998

# **Re-submittal Form** Case Name/ Number: \_ RCU2019-00046

# Case Manager: Holden Pederson

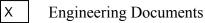
Development Plan/ Site Plan

#### **Re-submitted Items:**

| Х |  |
|---|--|
|   |  |

Plat

Х Parking/ Landscape Plan



Subdivision Improvements Agreement

| Other: |  |  |
|--------|--|--|
| Oulor. |  |  |

\* All re-submittals must have this cover sheet and a cover letter addressing review comments.

#### Please note the re-submittal review period is 21 days.

The cover letter must include the following information:

- Restate each comment that requires a response •
- Provide a response below the comment with a description of the revisions •
- Identify any additional changes made to the original document •

For County Use Only:

Date Accepted:

Staff (accepting intake):

Resubmittal Active: Addressing, Building Safety, Neighborhood Services,

Engineering, Environmental, Parks, Planner, ROW, SIA - Finance, SIA - Attorney

Commenting Division: Development Services, Planning Name of Reviewer: Holden Pederson Email and Phone Number: <u>HPederson@adcogov.org</u> / 720-523-6847

PLN1: Applicant has requested a Conditional Use Permit for a Public Service use that would allow a modular home to serve as living quarters for the Strasburg Fire Protection District's career and volunteer personnel that cover the fire station. A portion of the space will also be utilized for administrative functions.

PLN2: Fire station is currently considered a legal nonconforming use in the Commercial-5 (C-5) zone district. This Conditional Use Permit would bring the proposed modular home and living quarters into compliance with the Adams County Development Standards and Regulations for a commercial zone district.

PLN3: Applicant must provide a site plan with proposed setbacks from the property lines to the proposed structure in order to demonstrate that the setback requirements for the C-5 zone district can be met.

PLN4: In order to create a more residential appearance along Westview Avenue, staff recommends that the modular home be oriented so that it faces the north property line.

PLN5: No additional parking is proposed for the crew quarters, as there is existing parking for personnel on the east and west sides of the existing fire station as well as parking for the public in front. The parking requirement for "Government Offices" states that the requirement is based on review by the Director of Community and Economic Development considering site size, topography and supporting facilities.

- a. Section 4-12-02-05 of the Adams County Development Standards and Regulations states that all striping of parking spaces must be evident at the property lines.
- b. Section 4-12-04-07 lists handicap parking space requirements that are based on the total number of parking spaces in the lot.
- c. Staff believes the applicant's application would be strengthened by complying with these regulations to stripe parking areas and provide accessible parking.

PLN6: Currently a white picket fence surrounds the property, there are no trees or shrubs, and more than half of the site is paved while the other half is covered by native grasses.

- a. Section 4-16-07-01 lists five street frontage landscaping options for areas along any property line abutting a public road right-of-way. Staff recommends that one of these options (calculated for approximately 300 feet of street frontage) is included within the area abutting the west property line that is not currently paved.
- b. Staff also recommends that one of the street frontage landscaping options (calculated for approximately 150 feet of street frontage) is included along the south property line. Staff recommends that the applicant includes landscaping in the east and west corners of the area abutting the south property line in order to enhance the viewshed along E Colfax Avenue, which represents a major road through Strasburg and is designated as a section line.
- c. Section 4-07-02-01 lists performance standards for detached single-family dwellings. Section 4-07-02-01-03 lists landscaping requirements, which include a minimum of 1 large tree and 5 shrubs, or 2 ornamental trees and 5 shrubs that are required for each residential lot. In order to enhance the residential appearance along Westview Avenue, staff recommends that the applicant include the required detached single-family dwelling landscaping along the north property line and in front of the modular home.
- d. Staff believes the application would be strengthened by demonstrating a willingness to conform to the maximum extent that is feasible with these landscaping regulations.

Commenting Division: Development Services, Engineering Name of Reviewer: Matt Emmens Email and Phone Number: MEmmens@adcogov.org / 720-523-6826

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C1002H), Federal Emergency Management Agency, January 20, 2016. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required.

ENG2: The project site is not located in a NRCO district. An environmental assessment is not required.

ENG3: The project site is NOT within the County's MS4 Stormwater Permit area. The use of erosion and sediment control BMPs are expected. The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements.

ENG4: Applicant is required to submit a site plan showing all existing and proposed improvement, site dimensions, setbacks, landscaping, etc.

ENG5: If the applicant is proposing to install over 3,000 square feet of impervious area on the project site. A drainage report and drainage plans in accordance to Chapter 9 of the Adams County Development Review Manual, are required to be completed by a registered professional engineer and submitted to Adams County for review and final approval.

ENG5: If the proposed scope of work shows the use of the new structures on the site will generate over 20 vehicles per day, then a traffic impact study signed and stamped by a professional engineer will be required.

ENG6: The developer is required to construct roadway improvements as required by the approved traffic impact study.

ENG7: No building permits will be issued until all public improvements have been constructed, inspected and preliminarily accepted by Adams County Public Works Department.

ENG8: Any changes or modifications to the existing access points, the developer must obtain an access permit from the epermitcenter.

**Commenting Division:** Development Services, Right-of-Way **Name of Reviewer**: Marissa Hillje **Email and Phone Number**: mhillje@adcogov.org / 720-523-6837

#### **Complete**

ROW1: Westview is classified as a local street per the 2012 Adams County Master Transportation Plan. As such it should have a half right-of-way width of 30 feet. Since the existing half right-of-way width is 20 feet, Adams County requests a dedication of 10 feet additional right-of-way.

ROW2: Long Branch Street is classified as a local road which requires 30 ft for the ½ street. Currently, there is 30ft of right-of-way for the ½ street. If there is a rational nexus to acquire additional right of way it needs to be equal to the impact of the development. This can be determined by a traffic impact study and/or public improvement requirements for the development.

ROW3: HWY 36/ Colfax Ave is classified as a principal arterial road per the 2012 Adams County Master Transportation Plan. As such it should have a half right-of-way width of 70 feet. A surveyor should be hired to confirm the existing half street length to see if additional right of way dedication is needed. If

there is a rational nexus to acquire additional right of way it needs to be equal to the impact of the development. This can be determined by a traffic impact study and/or public improvement requirements for the development.

ROW4: With the building permit and engineering review a title commitment should be submitted, which should be used to depict the applicable recordings on the site plan. Send Adams County a copy of the title commitment with your application dated no later than 30 days to review in order to ensure that any other party's interests are not encroached upon.

| Commenting Division: Development Services, Addressing<br>Name of Reviewer: Marissa Hillje<br>Email and Phone Number: <u>mhillje@adcogov.org</u> / 720-523-6837                               | <u>Complete</u> |
|--|-----------------|
| No comment.  |                 |
| <b>Commenting Division:</b> Development Services, Environmental Analyst<br><b>Name of Reviewer</b> : Katie Keefe<br><b>Email and Phone Number</b> : <u>KKeefe@adcogov.org</u> / 720-523-6986 | <u>Complete</u> |
| No comment.  |                 |
| Commenting Division: Parks and Open Space<br>Name of Reviewer: Aaron Clark<br>Email and Phone Number: <u>AClark@adcogov.org</u> / 720-523-8005   | <u>Complete</u> |
| No comment.  |                 |
| Commenting Division: Development Services, Building and Safety<br>Name of Reviewer: Justin Blair<br>Email and Phone Number: jblair@adcogov.org / 720-523-6843                                | <u>Complete</u> |

No comment.

#### **External Agency Referral Comments:**



September 24, 2019

Holden Pederson Adams County Community and Economic Development 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601

RE: Strasburg Fire Protection Crew Quarters, RCU2019-00046 TCHD Case No. 5853

Dear Holden Pederson,

Thank you for the opportunity to review and comment on Conditional Use Permit for a modular home to serve as living quarters for the Strasburg Fire Protection District located at 56281 E. Colfax Avenue. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has no comments.

Please feel free to contact me at 720-200-1575 or <u>kboyer@tchd.org</u> if you have any questions about TCHD's comments.

Sincerely,

Kathy Boyer, REHS Land Use and Built Environment Specialist III

cc: Sheila Lynch, Dylan Garrison, TCHD

Community & Economic Development Department www.adcogov.org



#### **Development Team Review Comments**

The following comments have been provided by reviewers of your land use application. At this time, a resubmittal of your application is required before this case is ready to be scheduled for public hearing.

To prepare your resubmittal, you will be expected to provide:

- A response to each comment with a description of the revisions and the page of the response on the site plan;
- Any revised plans or renderings; and
- A list identifying any additional changes made to the original submission other than those required by staff.

Resubmittal documents must be provided in person to the One-Stop Customer Service Center of the Community and Economic Development Department. The following items will be expected by our One-Stop Customer Service Center:

- One paper copy of all new materials
  - Paper copies shall not exceed 11"x17" (exception shall be made only for construction drawings or engineering plan review)
  - All paper copies shall be accompanied by the attached Resubmittal Form
- One digital copy of all new materials
  - All digital materials shall be in a single PDF document
  - The single PDF document shall be bookmarked
  - If a Subdivision Improvements Agreement, Legal Description, or Development Agreement is required, then an additional Microsoft Word version of these documents shall also be provided

Charles "Chaz" Tedesco

BOARD OF COUNTY COMMISSIONERS

Emma Pinter DISTRICT 3 Steve O'Dorisio

Mary Hodge DISTRICT 5

**Community & Economic Development Department** 

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000 Brighton, CO 80601-8204 PHONE 720.523.6800 FAX 720.523.6998

### **Re-submittal Form**

| Case Name/ Number:  |   |  |
|---|---|--|
| Case Manager:   |   |  |
| Re-sub  | mitted Items:                                     |  |
|   | Development Plan/ Site Plan                       |  |
|   | Plat  |  |
|   | Parking/ Landscape Plan                           |  |
|   | Engineering Documents                             |  |
|   | Subdivision Improvements Agreement                |  |
|   | Other:  |  |
| All re-submittals must have this cover sheet and a cover letter addressing review comments. |   |  |
| Please 1  | note the re-submittal review period is 21 days.   |  |
| The cov   | er letter must include the following information: |  |

- Restate each comment that requires a response •
- Provide a response below the comment with a description of the revisions ٠
- Identify any additional changes made to the original document •

For County Use Only:

Date Accepted:

\*

Staff (accepting intake):

Resubmittal Active: Addressing, Building Safety, Neighborhood Services,

Engineering, Environmental, Parks, Planner, ROW, SIA - Finance, SIA - Attorney

#### Commenting Division: Development Services, Planning Name of Reviewer: Holden Pederson Email and Phone Number: HPederson@adcogov.org / 720-523-6847

PLN1: Applicant must provide a higher quality site plan with proposed setbacks from each property line to the proposed structure, as well as the dimensions of the proposed structure, in order to demonstrate that the setback requirements for the C-5 zone district can be met.

- a. Adherence to the proposed site plan will not be a condition of the Conditional Use Permit or required as part of future building permit approval; however, staff needs a descriptive site plan that can be conveyed to the Planning Commission and Board of County Commissioners during public hearing presentations.
- b. Applicant can also include striped parking spaces on the site plan in order to show that striping and handicap space improvements will be made to the site as a result of this project.
- c. An improved site plan will help the applicant better present their proposal, make the case for their request during public hearings, and provide assurance that the final product will not have negative external impacts on this prominent location in Strasburg.

PLN2: Applicant must provide a landscape plan separate from the revised site plan.

- a. Applicant must provide a higher quality landscape plan that can be conveyed to the Planning Commission and Board of County Commissioners during public hearing presentations and that clearly shows that landscaping improvements will be made to the site as a result of this project.
- b. The landscape plan must meet the minimum requirements listed in Chapter 4, Section 4-16-10 of the Adams County Development Standards and Regulations, including a plant schedule and a written statement describing the type of irrigation system or maintenance plan proposed for the new landscaping. Staff believes this description of future maintenance will likely be an important topic during public hearings.

PLN3: Staff recommends that a street frontage landscaping option is also included along the north property line, which would be consistent with requirements for any commercial, industrial, or institutional development located at this site.

- a. If landscaping along the north property line would impede the function of the site for the Fire Department, a written justification is required that staff can use during public hearings to explain the lack of landscaping along the property line abutting Westview Avenue.
- b. Staff also recommends that a portion of the chosen street frontage landscaping option for Westview Avenue is incorporated into the northeast corner of the site in order to provide some additional buffering between the applicant's institutional use and the neighboring commercial use. Type B bufferyards (Chapter 4, Section 4-16-06-01) are required between institutional and commercial uses; however, staff acknowledges there is not enough unpaved land along the east property line to provide a full bufferyard and that removing existing pavement would impede the function of the site for emergency vehicle circulation.

Commenting Division: Development Services, Engineering Name of Reviewer: Matt Emmens Email and Phone Number: <u>MEmmens@adcogov.org</u> / 720-523-6826

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C1002H), Federal Emergency Management Agency, January 20, 2016. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required. Applicant Response: Acknowledged – no floodplain use permit required.

County Comment: Comment Closed.

#### **Resubmittal Required**

ENG2: The project site is not located in a NRCO district. An environmental assessment is not required. <u>Applicant Response</u>: Acknowledged – environmental assessment not required. County Comment: Comment Closed.

ENG3: The project site is NOT within the County's MS4 Stormwater Permit area. The use of erosion and sediment control BMPs are expected. The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements.

<u>Applicant Response</u>: Acknowledged – the scope of the project is not expected to have any impact that would require erosion or sediment control BMP's.

<u>County Comment</u>: Any/all ground disturbance requires the installation of Stormwater BMP's. For example: the construction of the foundation and, the marks/damage left by construction equipment will require installation of stormwater BMP's. When/if the building permit is applied for, the permit application is required to include an Erosion and Sediment Control plan.

ENG4: Applicant is required to submit a site plan showing all existing and proposed improvement, site dimensions, setbacks, landscaping, etc.

Applicant Response:

<u>County Comment</u>: Applicant did not submit a site plan showing the required information. Re-submittal required.

ENG5: If the applicant is proposing to install over 3,000 square feet of impervious area on the project site. A drainage report and drainage plans in accordance to Chapter 9 of the Adams County Development Review Manual, are required to be completed by a registered professional engineer and submitted to Adams County for review and final approval.

<u>Applicant Response</u>: County staff has clarified that the 3,000 square feet comment that they made was an error therefore this comment does not apply to this project.

<u>County Comment</u>: Noted. The increase in impervious area will also be reviewed at the time of building permit application; any paved parking areas or concrete walks that cross the 3,000 SF threshold could require a drainage report and mitigation measures. Comment Closed.

ENG6: If the proposed scope of work shows the use of the new structures on the site will generate over 20 vehicles per day, then a traffic impact study signed and stamped by a professional engineer will be required.

Applicant Response: Acknowledged - does not apply to this project.

<u>County Comment</u>: At the time of building permit, the applicant will be required to submit a Trip Generation Analysis. This analysis should show a comparison of the existing vehicle trips and future trips with the new structure. The Trip Generation Analysis is required to be stamped and signed by an engineering, licensed in the state of Colorado.

ENG7: The developer is required to construct roadway improvements as required by the approved traffic impact study.

Applicant Response: Acknowledged - does not apply to this project.

<u>County Comment</u>: Per the County comment/response to ENG6 above, a Trip Generation Analysis needs to be submitted for review at the time of building permit. It is that analysis that decides whether a Traffic Impact Study is needed and, what, if any, roadway improvements need to be constructed. Comment Closed.

ENG8: No building permits will be issued until all public improvements have been constructed, inspected

and preliminarily accepted by Adams County Public Works Department. <u>Applicant Response</u>: Acknowledged – public improvements not required for this project.

<u>County Comment</u>: Per the County response to ENG6 and ENG7 above, whether roadway improvements are needed would be decided by a Traffic Impact Study. As it is very likely there will be no increase in vehicle trips, due to this site change, this concerns can be dealt with at the time of building permit, per Comment ENG6 above.

ENG9: Any changes or modifications to the existing access points, the developer must obtain an access permit from the epermitcenter.

<u>Applicant Response</u>: Acknowledged – no changes to existing access points required for this project. <u>County Comment</u>: Comment Closed.

Commenting Division: Development Services, Right-of-WayCompleteName of Reviewer: Marissa HilljeEmail and Phone Number: mhillje@adcogov.org / 720-523-6837

ROW1: With the building permit and engineering review a title commitment should be submitted, which should be used to depict the applicable recordings on the site plan. Send Adams County a copy of the title commitment with your application dated no later than 30 days to review in order to ensure that any other party's interests are not encroached upon.

| From:        | Patrick Conroy  |
|--------------|---|
| To:          | Holden Pederson   |
| Cc:          | Gerri Ventura   |
| Subject:     | Re: Request for Comments: RCU2019-00046 Strasburg Fire Protection Crew Quarters CUP |
| Date:        | Monday, September 16, 2019 1:49:53 PM   |
| Attachments: | image.png   |
|              | image.png   |
|              | <u>image.png</u>  |
|              | image.png   |

Please be cautious: This email was sent from outside Adams County

As the Strasburg Fire Protection District is the applicant for this Conditional Use Permit we have no comments beyond what is contained within the Application.

```
Patrick Conroy, CFEI
ICC Certified Building Official
ICC Certified Fire Marshal
Colorado Fire Plans Examiner
Fire Marshal
Strasburg Fire Protection District
Station: 303-622-4444
```



September 24, 2019

Holden Pederson Adams County Community and Economic Development 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601

RE: Strasburg Fire Protection Crew Quarters, RCU2019-00046 TCHD Case No. 5853

Dear Holden Pederson,

Thank you for the opportunity to review and comment on Conditional Use Permit for a modular home to serve as living quarters for the Strasburg Fire Protection District located at 56281 E. Colfax Avenue. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has no comments.

Please feel free to contact me at 720-200-1575 or <u>kboyer@tchd.org</u> if you have any questions about TCHD's comments.

Sincerely,

KBG\_\_\_\_

Kathy Boyer, REHS Land Use and Built Environment Specialist III

cc: Sheila Lynch, Dylan Garrison, TCHD



Right of Way & Permits 1123 West 3<sup>rd</sup> Avenue Denver, Colorado 80223 Telephone: **303.571.3306** Facsimile: 303. 571.3284 donna.l.george@xcelenergy.com

October 2, 2019

Adams County Community and Economic Development Department 4430 South Adams County Parkway, 3<sup>rd</sup> Floor, Suite W3000 Brighton, CO 80601

Attn: Holden Pederson

### Re: Strasburg Fire Protection Crew Quarters, Case # RCU2019-00046

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the conditional use permit plans for **Strasburg Fire Protection Crew Quarters** and has no apparent conflict. The property owner/developer/contractor must complete the application process for any new natural gas or electric service, or modification to existing facilities via <u>xcelenergy.com/InstallAndConnect</u>. The Builder's Call Line is 1-800-628-2121. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the Utility Notification Center by dialing 811 to have all utilities located prior to any construction.

Donna George Right of Way and Permits Public Service Company of Colorado dba Xcel Energy Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com Community & Economic Development Department Development Services Division

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000B Brighton, CO 80601-8218 PHONE 720.523.6800 FAX 720.523.6967

## **Request for Comments**

Case Name:Strausburg Fire Protection Crew Quarters CUPCase Number:RCU2019-00046

September 12, 2019

The Adams County Planning Commission is requesting comments on the following application: **Request a Conditional Use Permit for a Public Service use that would allow a modular home to serve as living quarters for the Strasburg Fire Protection District.** This request is located at 56281 E COLFAX AVE. The Assessor's Parcel Number is 0181333425001.

Applicant Information: STRASBURG FIRE PROTECTION DISTRICT NO 8 STRASBURG FIRE PROTECTION DISTRICT NO 8 56281 E COLFAX AVE STRASBURG, CO 80136

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 (720) 523-6800 by 10/04/2019 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to HPederson@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you for your information upon request. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Holden Pederson Planner I

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry DISTRICT 1 Charles "Chaz" Tedesco DISTRICT 2

Emma Pinter DISTRICT 3 Steve O'Dorisio

Mary Hodge

Community & Economic Development Department Development Services Division

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000B Brighton, CO 80601-8218 PHONE 720.523.6800 FAX 720.523.6967

## **Public Hearing Notification**

| Case Name:                                  | Strasburg Fire Protection Crew Quarters CUP |
|---|---|
| Case Number:                                | RCU2019-00046                               |
| Planning Commission Hearing Date:           | 07/23/2020 at 6:00 p.m.                     |
| Board of County Commissioners Hearing Date: | 08/11/2020 at 9:30 a.m.                     |

June 25, 2020

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following request:

Request a Conditional Use Permit for a Public Service use that would allow a modular home to serve as living quarters for the Strasburg Fire Protection District.

The proposed use will be Commercial. This request is located at 56281 E COLFAX AVE on undetermined parcel size.

The Assessor's Parcel Number(s) 0181333425001

Applicant Information:STRASBURG FIRE PROTECTION DISTRICT NO 8STRASBURG FIRE PROTECTION DISTRICT NO 856281 E COLFAX AVESTRASBURG, CO 80136

The Planning Commission meeting will be held virtually using the Zoom video conferencing software and members of the public will be able to submit comments prior to the start of the public hearing that will then be entered into the record. For instructions on how to access the public hearing via telephone or internet, or to submit comment, please visit http://www.adcogov.org/planning-commission for up to date information.

The Board of County Commissioners meeting is broadcast live on the Adams County YouTube channel and members of the public will be able to submit comments prior to the start of the public hearing that will then be entered into the record. The eComment period opens when the agenda is published and closes at 4:30 p.m. the Monday prior to the noticed meeting. For instructions on how to access the public hearing and submit comments, please visit http://www.adcogov.org/bocc for up to date information.

These will be public hearings and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. The full text of the proposed request and additional colored maps can be obtained by accessing the Adams County Community and Economic Development Department website at www.adcogov.org/planning/currentcases.

Charles "Chaz" Tedesco DISTRICT 2

Emma Pinter DISTRICT 3 Steve O'Dorisio

Mary Hodge

Thank you for your review of this case.

Hall Pala

Holden Pederson Planner II

## **PUBLICATION REQUEST**

Strasburg Fire Protection Crew Quarters CUP

| Case Number:                                | RCU2019-00046           |
|---|-------------------------|
| Planning Commission Hearing Date:           | 07/23/2020 at 6:00 p.m. |
| Board of County Commissioners Hearing Date: | 08/11/2020 at 9:30 a.m. |

Request: Request a Conditional Use Permit for a Public Service use that would allow a modular home to serve as living quarters for the Strasburg Fire Protection District.

| Location:      | 56281 E COLFAX AVE                      |
|----------------|---|
| Parcel Number: | 0181333425001                           |
| Case Manager:  | Holden Pederson                         |
|                |   |
| Applicant:     | STRASBURG FIRE PROTECTION DISTRICT NO 8 |
|                | 56281 E COLFAX AVE                      |
|                | STRASBURG, CO 80136                     |
| Owner:         | STRASBURG FIRE PROTECTION DISTRICT NO 8 |
|                |   |
|                | STRASBURG, CO 80136                     |

These meetings will be held virtually. Please visit http://www.adcogov.org/planning-commission and http://www.adcogov.org/bocc for up to date information on accessing the public hearings and submitting comment prior to the hearings. The full text of the proposed request and additional colored maps can be obtained by accessing the Adams County Community and Economic Development Department website at www.adcogov.org/planning/currentcases.

Legal Description: SUB:ADAM WAGNER SUBD BLK:6 DESC: BEG AT THE SW COR OF PLOT 1 TH N ALG THE W LN OF SD PLOT 1 310 FT TO THE NW COR THEREOF TH E 235/25 FT TH SLY AND // TO THE E LN OF SD PLOT 1 310 FT TO A PT ON THE S LN OF SD PLOT 1 WHICH IS 24/55 FT E OF THE POB TH W ALG THE S LN 245/55 FT TO POB EXC RD AND EXC PARC



### Referral Listing Case Number RCU2019-00046 Strausburg Fire Protection Crew Quarters CUP

| Agency  | Contact Information  |
|---|--|
| Adams County Attorney's Office                    | Christine Fitch<br>CFitch@adcogov.org<br>4430 S Adams County Pkwy<br>Brighton CO 80601<br>720-523-6352             |
| Adams County CEDD Development Services Engineer   | Devt. Services Engineering<br>4430 S. Adams County Pkwy.<br>Brighton CO 80601<br>720-523-6800                      |
| Adams County CEDD Environmental Services Division | Katie Keefe<br>4430 S Adams County Pkwy<br>Brighton CO 80601<br>720-523-6986<br>kkeefe@adcogov.org                 |
| Adams County CEDD Right-of-Way                    | Marissa Hillje<br>4430 S. Adams County Pkwy.<br>Brighton CO 80601<br>720-523-6837<br>mhillje@adcogov.org           |
| Adams County Development Services - Building      | Justin Blair<br>4430 S Adams County Pkwy<br>Brighton CO 80601<br>720-523-6825<br>JBlair@adcogov.org                |
| Adams County Parks and Open Space Department      | Aaron Clark<br>mpedrucci@adcogov.org<br>(303) 637-8005<br>aclark@adcogov.org                                       |
| Adams County Sheriff's Office: SO-HQ              | Rick Reigenborn<br>(303) 654-1850<br>rreigenborn@adcogov.org   |
| Adams County Sheriff's Office: SO-SUB             | SCOTT MILLER<br>720-322-1115<br>smiller@adcogov.org  |
| CDPHE   | Sean Hackett<br>4300 S Cherry Creek Dr<br>Denver CO 80246<br>303.692.3662 303.691.7702<br>sean.hackett@state.co.us |

| Agency                                | Contact Information  |
|---------------------------------------|--|
| CDPHE                                 | Sean Hackett<br>4300 S Cherry Creek Dr<br>Denver CO 80246<br>30<br>sean.hackett@state.co.us  |
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| CDPHE - WATER QUALITY PROTECTION SECT | Patrick Pfaltzgraff<br>4300 CHERRY CREEK DRIVE SOUTH<br>WQCD-B2<br>DENVER CO 80246-1530<br>303-692-3509<br>patrick.j.pfaltzgraff@state.co.us |
| CDPHE SOLID WASTE UNIT                | Andy Todd<br>4300 CHERRY CREEK DR SOUTH<br>HMWMD-CP-B2<br>DENVER CO 80246-1530<br>303.691.4049<br>Andrew.Todd@state.co.us                    |
| Century Link, Inc                     | Brandyn Wiedreich<br>5325 Zuni St, Rm 728<br>Denver CO 80221<br>720-578-3724 720-245-0029<br>brandyn.wiedrich@centurylink.com                |
| Code Compliance Supervisor            | Eric Guenther<br>eguenther@adcogov.org<br>720-523-6856<br>eguenther@adcogov.org  |
| COLORADO DIVISION OF WILDLIFE         | Serena Rocksund<br>6060 BROADWAY<br>DENVER CO 80216<br>3039471798<br>serena.rocksund@state.co.us   |
| COLORADO DIVISION OF WILDLIFE         | Eliza Hunholz<br>Northeast Regional Engineer<br>6060 BROADWAY<br>DENVER CO 80216-1000<br>303-291-7454<br>eliza.hunholz@state.co.us           |
| COMCAST                               | JOE LOWE<br>8490 N UMITILLA ST<br>FEDERAL HEIGHTS CO 80260<br>303-603-5039<br>thomas_lowe@cable.comcast.com                                  |

| Agency                            | Contact Information  |
|-----------------------------------|--|
| IREA                              | Brooks Kaufman<br>PO Box Drawer A<br>5496 North US Hwy 85<br>Sedalia CO 80135<br>303-688-3100 x105<br>bkaufman@intermountain-rea.com |
| NS - Code Compliance              | Gail Moon<br>gmoon@adcogov.org<br>720.523.6833<br>gmoon@adcogov.org  |
| STRASBURG FIRE PROTECTION DIST #8 | GERRI VENTURA<br>PO BOX 911<br>STRASBURG CO 80136<br>303-622-4814<br>gventura@svfd8.org  |
| STRASBURG PARKS AND REC DIST.     | Angie Graf<br>P.O. BOX 118<br>STRASBURG CO 80136<br>(303) 622-4260<br>angie@strasburgparks.org                                       |
| STRASBURG SCHOOL DISTRICT 31J     | Monica Johnson<br>56729 E Colorado Ave<br>STRASBURG CO 80136<br>303-622-9211<br>mjohnson@strasburg31j.org                            |
| Strasburg Water & Sanitation Dist | Tracy Griffin<br>PO Box 596<br>Strasburg CO 80136<br>303-622-4443<br>strawaternsan@tds.net   |
| Xcel Energy                       | Donna George<br>1123 W 3rd Ave<br>DENVER CO 80223<br>303-571-3306<br>Donna.L.George@xcelenergy.com                                   |

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BONDS JOHN G AND BONDS ALICE J 56181 WEST VIEW AVE STRASBURG CO 80136

BROCKMAN MARVIN CHARLES AND BROCKMAN GLENNA KAY PO BXO 73 STRASBURG CO 80136-0073

BUCK MICHAEL AND BUCK MAUREEN MUZEK PO BOX 1838 ELIZABETH CO 80107

CARD FAMILY TRUST THE PO BOX 435 STRASBURG CO 80136-0435

CARD GEORGE W AND CARD LINDA J PO BOX 67 STRASBURG CO 80136-0067

CARD STEPHEN MICHAEL 56336 OAK AVE/BOX 617 STRASBURG CO 80136-0617 CARON SARAH AND VANDERWERKEN LUKE 1655 LONG BRANCH ST STRASBURG CO 80136-7733

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DCF INVESTMENTS #12 LLC PO BOX 500 STRASBURG CO 80136-0500

DOCKSTADER JEAN C PO BOX 324 STRASBURG CO 80136-0324

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FAHEY DAVID J AND FAHEY DIANE E 93 S COUNTRY RD 159 STRASBURG CO 80136

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GRAFENDELIA PROPERTIES LLC PO BOX 1003 STRASBURG CO 80136-1003

HAGER TODD L 1645 LONG BRANCH ST STRASBURG CO 80136-7733 HIDDLE JAMES AND HIDDLE CARMEN 1590 LONG BRANCH ST STRASBURG CO 80136-7704

HUIGENS JUDY PO BOX 96 STRASBURG CO 80136

JONES MATTHEW 1624 LONG BRANCH ST STRASBURG CO 80136-7704

KERKSIEK CHARLOTTE 1615 LONGBRANCH/PO BOX 921 STRASBURG CO 80136

KOGER JENNIFER AND WAGGONER NATHAN 1570 LONG BRANCH ST STRASBURG CO 80136-7704

KROCK PROPERTIES LLC 977 PINEHURST CT BENNETT CO 80102-8753

KUNISH BRADLEY E PO BOX 451 STRASBURG CO 80136-0451

LAMB EUNICE ARLENE TRUST PO BOX 653 STRASBURG CO 80136-0653

LE MAY WILLIAM RICHARD AND LE MAY ERNEST R 1685 LONG BRANCH ST STRASBURG CO 80136-7733

MANN SHAWN W PO BOX 784 STRASBURG CO 80136 MC NEILAN JOE C AND MC NEILAN ROSEMARY PO BOX 121 STRASBURG CO 80136

MORTENSON C MICHAEL 13510 HIWAY 86 KIOWA CO 80117

NEIRA THOMAS C 8290 S COUNTY ROAD 149 BENNETT CO 80102-8206

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NORDLOH JOEL D PO BOX 42 STRASBURG CO 80136-0042

PACELLO LORI L PO BOX 684 STRASBURG CO 80136

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RETOROKA LLC PO BOX 632 STRASBURG CO 80136-0632

RICHARDSON FLYERS LTD 21 INVERNESS WAY EAST ENGLEWOOD CO 80112-5710

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SHERER DONALD F AND SHERER PATRICIA ANN PO BOX 46 BENNETT CO 80102-0046

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STRASBURG-DENVER COMPANY LLC 1360 SOUTH POTOMAC AURORA CO 80012

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WINTER JULINA M PO BOX 7 STRASBURG CO 80136-0007

BEHRENS FRANCIS J AND BEHRENS ROBYN L OR CURRENT RESIDENT 1675 LONGBRANCH STREET STRASBURG CO 80136-7733 CHRISTOPHERSON JEFFREY C OR CURRENT RESIDENT 1656 ASPEN ST STRASBURG CO 80136-7710

DAMRON KEVIN M OR CURRENT RESIDENT 1600 WAGNER ST STRASBURG CO 80136

GIST DENNIS RAY AND GIST MELISSA TANNER OR CURRENT RESIDENT 56383 WESTVIEW AVE STRASBURG CO 80136-7712

HARRINGTON ERIC OR CURRENT RESIDENT 1623 BURTON ST STRASBURG CO 80136-7731

JACOB JOHN OR CURRENT RESIDENT 1610 ASPEN ST STRASBURG CO 80136

KUNKLE JAMES E OR CURRENT RESIDENT 56473 WESTVIEW AVE STRASBURG CO 80136-7712

NEAL RONDAL LEE AND NEAL YOLANDA JANE OR CURRENT RESIDENT 1622 BURTON ST STRASBURG CO 80136-7703

PINZENSCHAM LINDA J OR CURRENT RESIDENT 1614 LONGBRANCH STREET STRASBURG CO 80136

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WALLACE MICHELLE L AND FIELDS FRANKLIN R JR OR CURRENT RESIDENT 1635 LONGBRANCH ST STRASBURG CO 80136

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WINKLEPLECK P ROSS JR AND WINKELPLECK CHARLOTTE E OR CURRENT RESIDENT 56371 E COLFAX AVE STRASBURG CO 80136-7718

YAICH ROBERT K OR CURRENT RESIDENT 1676 ASPEN ST STRASBURG CO 80136-7710

CURRENT RESIDENT 1570 LONGBRANCH ST STRASBURG CO 80136-7704

CURRENT RESIDENT 1590 LONGBRANCH ST STRASBURG CO 80136-7704

CURRENT RESIDENT 1624 LONGBRANCH ST STRASBURG CO 80136-7704

CURRENT RESIDENT 1634 LONGBRANCH ST STRASBURG CO 80136-7704

CURRENT RESIDENT 1626 ASPEN ST STRASBURG CO 80136-7710 CURRENT RESIDENT 56181 WESTVIEW AVE STRASBURG CO 80136-7712

CURRENT RESIDENT 56303 WESTVIEW AVE STRASBURG CO 80136-7712

CURRENT RESIDENT 1608 VISTA LN STRASBURG CO 80136-7720

CURRENT RESIDENT 1628 VISTA LN STRASBURG CO 80136-7720

CURRENT RESIDENT 1638 VISTA LN STRASBURG CO 80136-7720

CURRENT RESIDENT 56371 E COLFAX AVE UNIT A STRASBURG CO 80136-7724

CURRENT RESIDENT 56371 E COLFAX AVE UNIT B STRASBURG CO 80136-7724

CURRENT RESIDENT 1603 BURTON ST STRASBURG CO 80136-7731

CURRENT RESIDENT 1595 LONGBRANCH ST STRASBURG CO 80136-7733

CURRENT RESIDENT 1645 LONGBRANCH ST STRASBURG CO 80136-7733 CURRENT RESIDENT 1655 LONGBRANCH ST STRASBURG CO 80136-7733

CURRENT RESIDENT 1685 LONGBRANCH ST STRASBURG CO 80136-7733

CURRENT RESIDENT 1596 WAGNER ST STRASBURG CO 80136-7737

CURRENT RESIDENT 1591 WAGNER ST STRASBURG CO 80136-7738

CURRENT RESIDENT 56131 E COLFAX AVE STRASBURG CO 80136-7741

CURRENT RESIDENT 56321 E COLFAX AVE STRASBURG CO 80136-7741

CURRENT RESIDENT 56441 E COLFAX AVE STRASBURG CO 80136-7741

## **CERTIFICATE OF POSTING**



I, Holden Pederson, do hereby certify that I had the property posted at

56281 East Colfax Avenue

on July 8, 2020

in accordance with the requirements of the Adams County Zoning Regulations



**Holden Pederson** 

# Strasburg Fire Protection Crew Quarters CUP RCU2019-00046

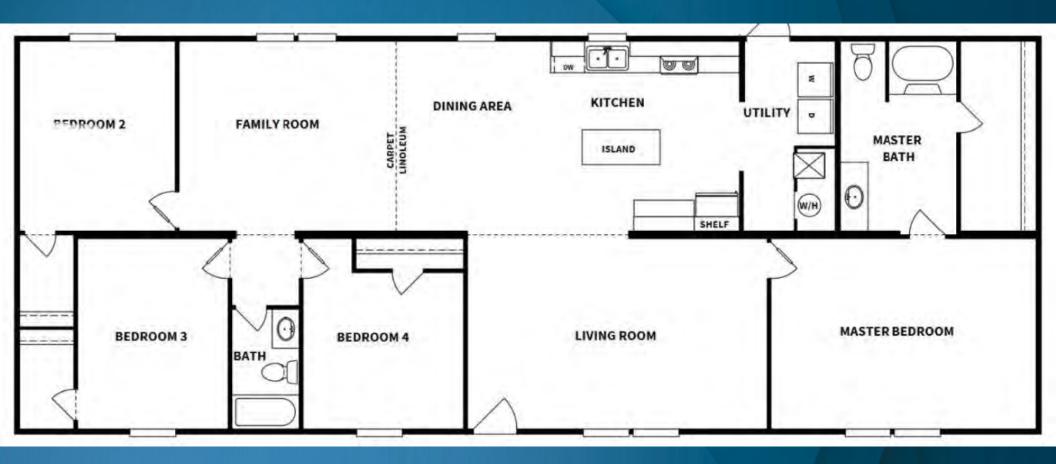
56281 East Colfax Avenue

August 11, 2020 Board of County Commissioners Public Hearing Community and Economic Development Department Case Manager: Holden Pederson

# Request

Conditional Use Permit for a Public Service use that would allow a modular home to serve as living quarters for the Strasburg Fire Protection District.

# Floor Plan of Crew Quarters

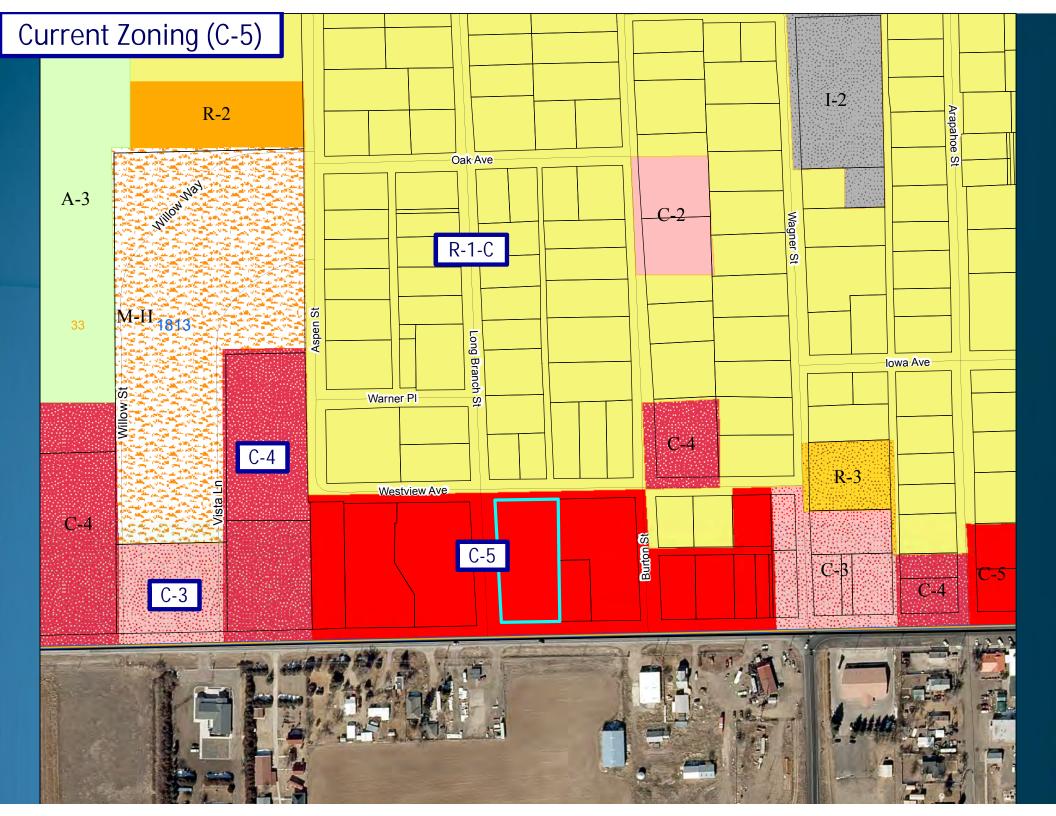


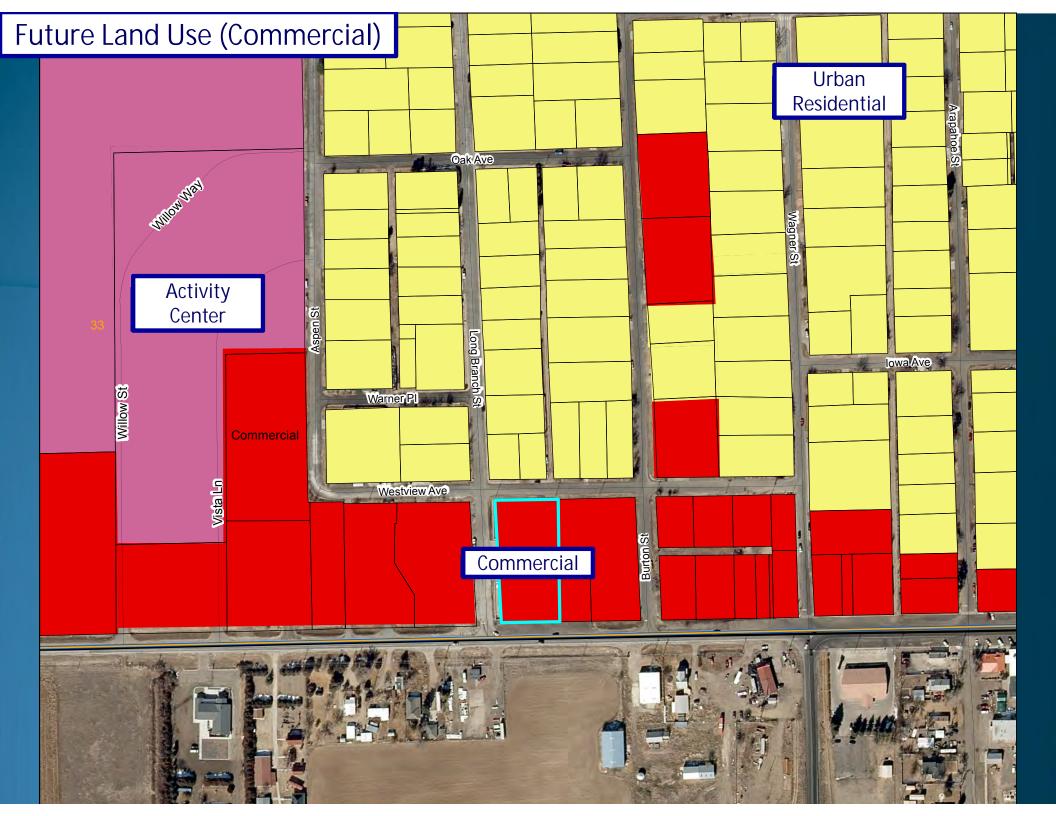
## Aerial View



## Aerial View

















# Criteria for Conditional Use

Section 2-02-08-06

- 1. Permitted in zone district
- 2. Consistent with regulations
- 3. Complies with performance standards
- 4. Harmonious & compatible
- 5. Addressed all off-site impacts
- 6. Site suitable for use
- 7. Site plan adequate for use
- 8. Adequate services

### Landscape Plan

Landscape Areas



# Parking Plan



### Parking Areas

### **Referral Comments**

| Notifications Sent* | # Comments Received |  |  |  |  |
|---------------------|---------------------|--|--|--|--|
| 87                  | 0                   |  |  |  |  |
|                     |                     |  |  |  |  |

\*Property owners and residents within 750 ft.

External Referral Agencies Responding with Concerns:

None.

External Referral Agencies Responding without Concerns:

Strasburg Fire Protection District #8, Tri-County Health Department, Xcel Energy

### Planning Commission Update (July 23, 2020)

- Recommended unanimous approval to the Board of County Commissioners through a 7-0 vote.
- No members of the public spoke in support or opposition to the request.

# Criteria for Conditional Use

Section 2-02-08-06

- 1. Permitted in zone district
- 2. Consistent with regulations
- 3. Complies with performance standards
- 4. Harmonious & compatible
- 5. Addressed all off-site impacts
- 6. Site suitable for use
- 7. Site plan adequate for use
- 8. Adequate services

# PC and Staff Recommendation

(RCU2019-00046; Strasburg Fire Protection Crew Quarters CUP)

The Planning Commission and staff recommend APPROVAL of the subject request (RCU2019-00046) with 8 Findings-of-Fact, 1 Condition Precedent, 1 Condition of Approval, and 1 Note to the applicant.

# **Recommended Findings-of-Fact**

- 1. The conditional use is permitted in the applicable zone district.
- 2. The conditional use is consistent with the purposes of these standards and regulations.
- 3. The conditional use will comply with the requirements of these standards and regulations, including but not limited to, all applicable performance standards.
- 4. The conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
- 5. The conditional use permit has addressed all off-site impacts.
- 6. The site is suitable for the proposed conditional use including adequate usable space, adequate access, and absence of environmental constraints.
- 7. The site plan for the proposed conditional use will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
- 8. Sewer, water, storm water drainage, fire protection, police protection, and roads are available and adequate to serve the needs of the conditional use as designed and proposed.

### **Recommended Condition Precedent**

1. Landscaping improvements and parking striping as proposed through this Conditional Use Permit request must be installed at the site prior to the applicant receiving a Certificate of Occupancy for the modular home to begin serving as crew quarters.

# **Recommended Condition of Approval**

1. This request is for a permanent accessory use that would support the operations of the Strasburg Fire Protection District #8. If the Fire Protection District relocates and ownership of the property changes in the future, then this Conditional Use Permit approval would subsequently expire and the modular home must be removed from the site so that it does not continue being utilized for non-conforming residential uses within a commercial zone district.

# Recommended Note to the Applicant

1. All applicable building, zoning, health, fire, and engineering requirements and codes shall be adhered to with this request.



#### COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

#### CASE NO.: PLN2019-00008

#### **CASE NAME: Second Creek Interceptor and Intergovernmental Agreement**

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- 3.2 Intergovernmental Agreement

#### **EXHIBIT 4- Referral Comments**

- 4.1 Referral Comments (Adams County)
- 4.2 Referral Comments (Brighton Fire)
- 4.3 Referral Comments (CDOT)
- 4.4 Referral Comments (City of Aurora)
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- 6.1 Neighborhood Meeting Summary
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#### COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT STAFF REPORT

### **Board of County Commissioners**

### August 11, 2020

| CASE No.: PLN2019-00008 | CASE NAME: Second Creek Interceptor   |
|-------------------------|---|
| Applicant's Name:       | Metro Wastewater Reclamation District   |
| Applicant's Address:    | 6450 York Street, Denver, CO 80229  |
| Location of Request:    | Multiple – Runs from an area near the intersection of East 136 <sup>th</sup> Avenue and E-470 to an area near the intersection of Peña Boulevard and E-470.   |
| Nature of Request:      | Intergovernmental Agreement (IGA) with the Metro<br>Wastewater Reclamation District for Areas and Activities<br>of State Interest (AASI) Permit (Interceptor, a pipeline that<br>will provide a regional solution to conveyance of<br>wastewater in the northeastern portion of the District's<br>service area. The new installation of approximately 5.2<br>miles of a 30-60-inch pipe). |
| Zone District:          | Agricultural-1, Agricultural-3, Residential Estate  |
| Site Size:              | Approximately 5.2 nonconsecutive linear miles   |
| Proposed Uses:          | Utility (Interceptor)   |
| Existing Use:           | Residential, County Park, Vacant Lands, and Right-of-Way  |
| Hearing Date(s):        | BOCC: August 11, 2020/ 9:30 am  |
| Report Date:            | July 28, 2020   |
| Case Manager:           | Greg Barnes   |
| Staff Recommendation:   | APPROVAL with 30 findings-of-fact and 1 condition   |

#### SUMMARY OF APPLICATION

#### **Background:**

The applicant, Metro Wastewater Reclamation District, is requesting an Intergovernmental Agreement with the County to allow construction of the Second Creek Interceptor, which is a wastewater conveyance pipeline. The overall length of the pipeline will be approximately 17 miles spanning through three counties, with approximately 13 miles within Adams County's boundaries, and approximately 5 miles within unincorporated portions of Adams County. The

pipeline will range in diameter from 24-60 inches. The interceptor would be constructed across temporary and permanent easement across private parcels with limited construction in public rights-of-way. The standard construction width is 120 feet. A combination of open-cut and trenchless crossings will be utilized for critical roadways, railroads, and waterways. Trenchless construction will be used to minimize impacts at roadway crossings at locations including: Tower Road, East 96<sup>th</sup> Avenue, East 104<sup>th</sup> Avenue, I-76, East 120<sup>th</sup> Avenue, and US Highway 85.

As part of the regional planning for the Sand Creek and Second Creek Basins, it was determined that the Second Creek Interceptor project will provide the greatest long-term economic benefit by collecting the most flows in the Second Creek upper and lower basins and conveying them by gravity to the South Platter Interceptor and Northern Treatment Plant. The Metro Wastewater Reclamation District's Northern Treatment Plant, which is in Brighton, provides treatment to the district's northeastern service area. The subject Second Creek Interceptor will allow for the decommissioning of up to six lift stations and supports the decommissioning of two lift stations that are located at the Adams County Regional Park.

#### Site Characteristics:

There are 28 impacted parcels within unincorporated Adams County, and 19 different property owners will be affected. The interceptor begins at the Second Creek Lift Station, which is located about a half-mile south of the intersection of Gun Club Road and East 75<sup>th</sup> Avenue. The end of the interceptor will be at the South Platte Interceptor at East 136<sup>th</sup> Avenue, just to the west of the South Platte River.

The linear path of the proposed interceptor line crosses several municipality and county boundaries. There are six segments of the line that will cross through unincorporated portions of Adams County See Exhibit 3.1, Figure 6-1):

- Segment A of the interceptor alignment traverses the eastern side of Riverdale Golf Course and turns east between East 124th and 120th Avenues. Land uses within this portion of the alignment primarily consist of natural vegetation, recreation, floodplains, and agricultural use. Much of this segment resides within or adjacent to the Adams County Regional Park.
- Segment B of the interceptor alignment is located between East 120th and East 124th Avenues and just east of Peoria Street and US Highway 85. Land uses along this portion are comprised of agricultural and low-density residential uses. This segment parallels East 124th Avenue east to Peoria Street and into the City of Brighton.
- Segment C of the interceptor alignment runs south, roughly paralleling State Highway (SH) 2. Land uses in this segment primarily consist of agriculture, natural habitat, and highway rights-of-way associated with I-76 and State Highway 2.
- Segment D of the interceptor alignment, which is south of East 88th Avenue to Tower Road, runs southeast, roughly paralleling Second Creek. Land use in this segment consists of agriculture and the floodplain of Second Creek.

- Segment E of the interceptor alignment, which is south of East 81st Avenue to the Adams County/Denver line, runs south along the western side of Tower Road. Land use along this segment consists of agricultural pasture/grassland and natural vegetation.
- Segment F of the interceptor alignment is located south of the Denver International Airport, roughly from Gun Club Road to North Elk Street. Land use in this segment consists of agriculture, floodplain, and natural vegetation.

#### **Development Standards and Regulations Requirements:**

Most of the land within the Project corridor is zoned as Agricultural-1 (A-1) and Agricultural-3 (A-3). The purpose of the A-1 District is to support limited agricultural uses and provide a rural single-family dwelling district where the minimum lot area for a home site is intended to provide for a rural living experience. Farming uses permitted include the keeping of a limited number of animals for an individual homeowner's use. The purpose of the A-3 District is to offer land primarily in holdings of at least 35 acres for dryland or irrigated farming, pasturage, or other related food production uses. Small areas located along the western side of Segment A are zoned as Residential Estate (RE). Areas zoned as RE serve exclusively as single-family detached residential districts for larger lots and larger homes in a spacious, open environment away from higher density uses, and where agricultural uses and the keeping of livestock are substantially restricted. Outdoor public uses are permitted in this area.

On April 19, 2006, the Board of County Commissioners adopted regulations for Areas and Activities of State Interest (AASI). The purpose of these regulations is to ensure growth and development in Adams County occurs in a safe, efficient, planned, and coordinated manner. Additionally, the regulations ensure that adequate community services and facilities are provided in a manner consistent with the constitutional rights of property owners, community goals and protection of the public welfare, and are consistent with legitimate environmental concerns. In lieu of an AASI permit, the County may elect to negotiate an intergovernmental agreement (IGA) with a political subdivision of the State as defined by Section 29-1-202(1), C.R.S. for activities of state interest. In the event the Board of County Commissioners approves such an agreement, an AASI Permit may be issued.

#### Areas and Activities of State Interest / Intergovernmental Agreement:

As part of this request, the applicant has agreed to enter into an Intergovernmental Agreement (Exhibit 3.1) with the County. The agreement addresses pre-construction requirements, construction, and operational standards of the pipelines. Section 6-16 of the County's Development Standards and Regulations outlines the criteria for approval of an IGA. The proposed project must be technically and financially feasible, must include consideration for relevant regional water quality plans, not significantly degrade the environment, and must not negatively impact recreational or agricultural activities. In addition, the project must conform to the County's Comprehensive Plan, be compatible with the surrounding area, not create a nuisance or negatively affect transportation in the area. Further, the location must not interfere with existing easements, rights-of-way, or other utilities, or create a financial burden on County residents, and the purpose and need for the proposed project must serve the needs of an increasing population.

According to the applicant, the interceptor construction will be designed to mitigate any potential nuisances that may be associated with the project. There will be no odor, dust, or lighting associated with the project. In addition, except during construction activities, there will not be an increase in traffic from the proposed development.

Per Section 6-17-01 of the Development Standards, the proposed use is required to be compatible with the surrounding area, as well as character of the neighborhood, and not detrimental to the health, safety, or welfare of inhabitants of the surrounding area. Most of the surrounding areas to the proposed alignment consist of large tracts of agricultural land or single-family residential development on parcels of approximately 1 to 2 acres. The proposed path of the interceptor will require the Metro Wastewater Reclamation District to negotiate with the affected property owners.

The site and application documents demonstrate that the proposed project will be compatible with the surrounding area, and not be detrimental to the health, safety, and welfare of the inhabitants of the area, and potential nuisances will be mitigated through design and placement of the pipelines.

#### **Future Land Use Designation/Comprehensive Plan:**

The County's Comprehensive Plan guides the distribution and intensity of future growth for all areas within the County's unincorporated limits in conjunction with the goals, policies, and strategies established in the Comprehensive Plan and accompanying plans. In addition, the County will encourage new urban residential development primarily within unincorporated infill areas or within County and municipal growth areas, where it can be served by a full range of urban services.

Nonresidential growth will be encouraged in strategic locations throughout the county, both incorporated and unincorporated. The Summary of Related Plans and Studies element of the Comprehensive Plan identifies areas within the Project area to transition to RE, leading to broader and more suburbanized uses from existing agricultural lands. Planned developments in unincorporated Adams County include the careful development of the Riverdale Road Corridor along the South Platte River.

According to the Riverdale Road Corridor Plan and the South Platte River Heritage Plan, future widening of Riverdale Road and creation of new vehicular access points are discouraged to avoid increasing vehicular traffic. This will minimize interference with current agricultural operations and help preserve the area's rural character.

The subject request conforms to the goals of the Comprehensive Plan and the County's Development Standards, and the areas adjacent to the sites will benefit from increased sewer capacity which will support new residential and commercial growth in the County.

#### Adams County Staff Comments:

During the review period, the Adams County Parks, Open Space, and Cultural Arts Department, as well as the Facilities & Fleet Management Department, identified a concern that the proposed interceptor construction would create a disruption of the golf course at the Adams County Regional Park. Over the span of a year, Metro Wastewater Reclamation District and the Adams

County Parks, Open Space, and Cultural Arts Department have been negotiating an agreement to resolve this matter. At the time of this report, the two parties have indicated that they are very close to finalizing an agreement and expect a resolution prior to the Board of County Commissioners hearing on August 11, 2020.

#### **Referral Agency Comments:**

CDOT, the City of Aurora, and the City of Thornton all provided no objection to the use but reminded the applicant that permitting would be required. The City of Thornton also advised the applicant that should the proposed alignment ever include canal crossings, then design plans would be required.

#### **Responding with Concerns:**

CDOT City of Aurora City of Thornton

#### **Responding without Concerns:**

Brighton Fire Rescue District Thornton Fire Department Xcel Energy

#### Notified but not Responding / Considered a Favorable Response:

Adams Arapahoe School District 28J Adams County School District 14 Adams County Sheriff Brighton School District 27J Century Link City of Brighton Colorado Internation Center Comcast **Commerce City** Metro Wastewater Reclamation North Metro Fire RTD **Riverdale Peaks Metro District** Sable Atura Fire South Adams County Fire South Adams County Water & Sanitation District **Tri-County Health Department** Union Pacific Railroad United Power

#### **PUBLIC COMMENTS**

| Notifications Sent | Comments Received |  |  |  |  |
|--------------------|-------------------|--|--|--|--|
| 302                | 4                 |  |  |  |  |

Notices were sent to all residents and property owners within a 750-foot radius of the proposed alignment. On the initial referral, staff received comments from four individuals. The concerns noted were regarding how the proposed project may impact the individual property owners. In one instance, the Metro Wastewater Reclamation District entered into a financial agreement to resolve the concerns noted by one of these property owners who was directly impacted by the project. In November 2019, the applicant resubmitted the application and provided responses to these four comments. Since that time, no additional comments have been received and it is believed that all the comments were resolved.

#### **Staff Recommendation:**

Based upon the application, the criteria for approval of areas and activities of state interest/ intergovernmental agreement, and a recent site visit, staff recommends Approval of this request with 30 findings-of-fact:

#### **RECOMMENDED FINDINGS- OF- FACT**

- 1. The proposed project considers the relevant provisions of the regional water quality plans.
- 2. The applicant has the necessary expertise and financial capability to develop and operate the proposed project consistent with all requirements and conditions.
- 3. The proposed project is technically and financially feasible.
- 4. The proposed project is not subject to significant risk from natural hazards.
- 5. The proposed project is in general conformity with the applicable comprehensive plans.
- 6. The proposed project does not have significant adverse effect on the capability of local government to provide services or exceed the capacity of service delivery systems.
- 7. The proposed project does not create an undue financial burden on existing or future residents of the County.
- 8. The proposed project does not significantly degrade any substantial sector of the local economy.
- 9. The proposed project does not unduly degrade the quality or quantity of recreational opportunities and experience.
- 10. The planning, design and operation of the proposed project reflects principals of resource conservation, energy efficiency and recycling or reuse.
- 11. The proposed project does not significantly degrade the environment. For purposes of this criterion, the term environment shall include: air quality, visual quality, surface water quality, groundwater quality, wetlands, floodplains, streambed meander limits, recharge areas, and riparian areas, terrestrial and aquatic animal life, terrestrial and aquatic plant life, and soils and geologic conditions.
- 12. The proposed project does not cause a nuisance and if a nuisance has been determined to be created by the proposed project, the nuisance has been mitigated to the satisfaction of the County.
- 13. The proposed project does not significantly degrade areas of paleontological, historic, or archaeological importance.
- 14. The proposed project does not result in unreasonable risk of releases of hazardous materials. In making this determination as to such risk, this includes:

- a) Plans for compliance with federal and State handling, storage, disposal, and transportation requirements.
- b) Use of waste minimization techniques.
- c) Adequacy of spill prevention and counter measures, and emergency response plans.
- 15. The benefits accruing to the County and its citizens from the proposed activity outweigh the losses of any resources within the County, or the losses of opportunities to develop such resources.
- 16. The proposed project is the best alternative available based on consideration of need, existing technology, cost, impact, and these Regulations.
- 17. The proposed project shall not unduly degrade the quality or quantity of agricultural activities.
- 18. The proposed project does not negatively affect transportation in the area.
- 19. All reasonable alternatives to the proposed project, including use of existing rights-of-way and joint use of rights-of-way wherever uses are compatible, have been adequately assessed and the proposed project is compatible with and represents the best interests of the people of the County; and represents a fair and reasonable utilization of resources in the Impact Area.
- 20. The nature and location of the proposed project or expansion will not unduly interfere with existing easements, rights-of-way, other utilities, canals, mineral claims, or roads.
- 21. Adequate electric, gas, telephone, water, sewage, and other utilities exist or shall be developed to service the site.
- 22. The proposed project will not have a significantly adverse net effect on the capacities or functioning of streams, lakes, and reservoirs in the impact area, nor on the permeability, volume, recharge capability and depth of aquifers in the impact area.
- 23. If the purpose and need for the proposed project are to meet the needs of an increasing population within the County, the area and community development plans and population trends clearly demonstrate a need for such development.
- 24. The proposed project is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area.
- 25. To the extent practicable, Domestic Water and Wastewater Treatment Systems will be consolidated with existing facilities within the area. The determination of whether consolidation is practicable shall include but not be limited to the following considerations:
  - a) Distance to and capacity of nearest Domestic Water or Wastewater Treatment System.
  - b) Technical, legal, managerial, and financial feasibility of connecting to existing Domestic Water or Wastewater Treatment System.
  - c) Scope of the Service Area for existing Domestic Water or Wastewater Treatment System.
  - d) Projected growth and development in the Service Area of existing Domestic Water or Wastewater Treatment System.
- 26. The proposed project will not result in duplication of services within the County.
- 27. The proposed project will be constructed in areas that will result in the proper utilization of existing treatment plants and the orderly development of domestic water and sewage treatment systems of adjacent communities.
- 28. If the proposed project is designed to serve areas within the County, it will meet community development and population demands in those areas.

- 29. The proposed project emphasizes the most efficient use of water, including the recycling, reuse, and conservation of water.
- 30. The applicant has demonstrated sufficient managerial expertise and capacity to operate the facility.

#### **Recommended Conditions of Approval:**

1. The application shall comply with the terms of the approved Intergovernmental Agreement.



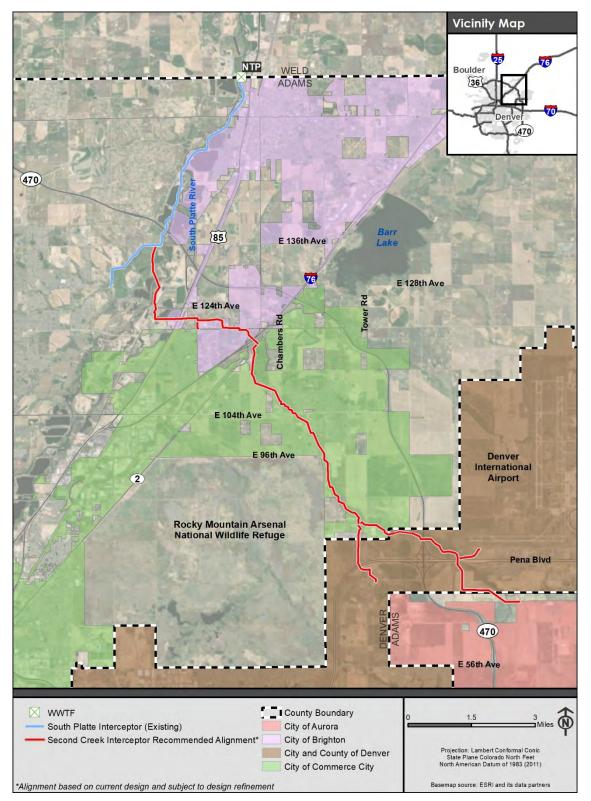


Figure 1-2: Metro District Northeastern Area Regional System



#### **ABBREVIATIONS AND ACRONYMS**

| Abbreviation or<br>Acronym | Definition   |
|----------------------------|--|
| $\mu g/m^3$                | microgram(s) per cubic meter   |
| AASI                       | Areas and Activity of State Interest                                     |
| ACBM                       | Asbestos-containing building materials                                   |
| ACM                        | asbestos-containing building material                                    |
| AFR                        | Aurora Fire Rescue   |
| AHDGC                      | Adams Hollow Disc Golf Course  |
| APCD                       | Adams Honow Disc Gon Course<br>Air Pollution Control Division            |
|                            |  |
| APE                        | Area of Potential Effect   |
| ASTM                       | ASTM International (formerly American Society for Testing and Materials) |
| Aurora                     | City of Aurora   |
| BGEPA                      | Bald and Golden Eagle Protection Act                                     |
| BLS                        | U.S. Bureau of Labor Statistics  |
| BNSF                       | Burlington Northern Santa Fe Railroad                                    |
| Brighton                   | City of Brighton   |
| CBP                        | Colorado Butterfly Plan  |
| CDOT                       | Colorado Department of Transportation                                    |
| CDOW                       | Colorado Division of Wildlife  |
| CDPHE                      | Colorado Department of Public Health and Environment                     |
| CES                        | Capital Expenditure Schedule   |
| CFR                        | Code of Federal Regulations  |
| СМ                         | control measure  |
| Commerce City              | City of Commerce City  |
| County                     | Adams County   |
| CPW                        | Colorado Parks and Wildlife  |
| CWA                        | Clean Water Act  |
| DEN                        | Denver International Airport   |
| Denver                     | City and County of Denver  |
| District                   | Metro Wastewater Reclamation District                                    |
| DRCOG                      | Denver Regional Council of Governments                                   |
| EDR                        | Environmental Data Resources   |
| EPA                        | U.S. Environmental Protection Agency                                     |
| ESA                        | Endangered Species Act   |
| FE                         | Federally Endangered   |
| FEMA                       | Federal Emergency Management Agency                                      |
| FRPM                       | Fiberglass Reinforced Polymer Mortar                                     |
| FT                         | Federally Threatened   |
| GBFPD                      | Greater Brighton Fire Protection District                                |
| GMP                        | guaranteed maximum price   |
| HazMat                     | hazardous material   |
| HSP                        | Health and Safety Plan   |
|                            |  |



| Acronym Definition  |                                  |  |  |  |  |
|---|----------------------------------|--|--|--|--|
| HUC Hydrologic Unit Code  |                                  |  |  |  |  |
| I Interstate  |                                  |  |  |  |  |
| IBA Important Bird Area   |                                  |  |  |  |  |
| IGA Intergovernmental Agreement   |                                  |  |  |  |  |
| LBP Lead-based paint  |                                  |  |  |  |  |
| · · · · · · · · · · · · · · · · · · ·   | leaking underground storage tank |  |  |  |  |
| MBTA Migratory Bird Treaty Act  |                                  |  |  |  |  |
| Metro District Metro Wastewater Reclamation District  |                                  |  |  |  |  |
| mgd million gallon(s) per day   |                                  |  |  |  |  |
| MMP Materials Management Plan   |                                  |  |  |  |  |
| N/A not available   |                                  |  |  |  |  |
| NAAQS National Ambient Air Quality Standards  |                                  |  |  |  |  |
| NPDES National Pollutant Discharge Elimination System   |                                  |  |  |  |  |
| NRCS Natural Resources Conservation Service   |                                  |  |  |  |  |
| NRHP National Register of Historic Places   |                                  |  |  |  |  |
| NTP Northern Treatment Plant  |                                  |  |  |  |  |
| NWI National Wetlands Inventory   |                                  |  |  |  |  |
| NWR National Wildlife Refuge  |                                  |  |  |  |  |
| O&M operations and maintenance  |                                  |  |  |  |  |
| OSHA Occupational Safety and Health Administration  |                                  |  |  |  |  |
| PCB polychlorinated biphenyl  | * · · · ·                        |  |  |  |  |
| PEM Palustrine emergent   |                                  |  |  |  |  |
| Pinyon Pinyon Environmental Engineering Resources   |                                  |  |  |  |  |
| PM <sub>2.5</sub> PM <sub>10</sub> particulate matter less than 2.5 and 10 microns in diameter, respectivel | y                                |  |  |  |  |
| PMJM Preble's Meadow Jumping Mouse  |                                  |  |  |  |  |
| ppm part(s) per million   |                                  |  |  |  |  |
| PSS palustrine scrub-shrub  |                                  |  |  |  |  |
| PVC polyvinyl chloride  |                                  |  |  |  |  |
| QMA Quarterly Management Advisory   |                                  |  |  |  |  |
| RDGC Riverdale Dunes Golf Course  |                                  |  |  |  |  |
| RE residential estate   |                                  |  |  |  |  |
| REC recognized environmental condition  |                                  |  |  |  |  |
| RMP Regional Master Plan  |                                  |  |  |  |  |
| ROW right-of-way  |                                  |  |  |  |  |
| RTD Regional Transportation District  |                                  |  |  |  |  |
| RWHTFRobert W. Hite Treatment Facility  |                                  |  |  |  |  |
| SACFPD South Adams County Fire Protection District  |                                  |  |  |  |  |
| SACWSD South Adams County Water and Sanitation District   |                                  |  |  |  |  |
| SAFR Sable-Altura Fire Protection District  |                                  |  |  |  |  |
| SC State Special Concern (not a statutory category)   |                                  |  |  |  |  |
| SD Second Creek   |                                  |  |  |  |  |
| SE State Endangered   |                                  |  |  |  |  |



| Abbreviation or<br>Acronym | Definition                                |  |  |  |  |  |
|----------------------------|---|--|--|--|--|--|
| SH                         | State Highway                             |  |  |  |  |  |
| SHPO                       | State Historic Preservation Officer       |  |  |  |  |  |
| SPCC                       | Spill Protection Countermeasure Control   |  |  |  |  |  |
| SPI                        | South Platte Interceptor                  |  |  |  |  |  |
| ST                         | State Threatened                          |  |  |  |  |  |
| TBM                        | tunnel boring machine                     |  |  |  |  |  |
| TDR                        | Transfer of Development Rights            |  |  |  |  |  |
| TWG                        | Technical Working Group                   |  |  |  |  |  |
| U.S.                       | United States                             |  |  |  |  |  |
| UDFCD                      | Urban Drainage and Flood Control District |  |  |  |  |  |
| ULTO                       | Ute Ladies'-tresses Orchid                |  |  |  |  |  |
| UPRR                       | Union Pacific Railroad                    |  |  |  |  |  |
| US                         | U.S. Route                                |  |  |  |  |  |
| USACE                      | U.S. Army Corps of Engineers              |  |  |  |  |  |
| USFWS                      | U.S. Fish and Wildlife Service            |  |  |  |  |  |
| WBID                       | Water Body Identification                 |  |  |  |  |  |
| WPF                        | water purification facility               |  |  |  |  |  |
| WWTP                       | wastewater treatment plant                |  |  |  |  |  |



#### 1.0 APPLICANT INFORMATION (#13 ON CHECKLIST)

The applicant for this project: Metro Wastewater Reclamation District 6450 York Street Denver, CO 80229

The Metro Wastewater Reclamation District (Metro District or District) has begun the initial efforts to site and construct the Second Creek Interceptor (SD Interceptor), a pipeline that will provide a regional solution to conveyance of wastewater in the northeastern portion of the District's service area.

An Areas and Activity of State Interest (AASI)/1041 application and submittal is required for portions of the SD Interceptor Recommended Alignment located in unincorporated Adams County. Checklist information and submittal requirements described in Chapter 6 of the Adams County Development Standards and Regulations are described in the following sections of this 1041 Information Report.

The Metro District was created by the Colorado Legislature in 1961 to promote regional cooperation and is nationally recognized for cost-effectively protecting public health and the environment. The District operates two wastewater treatment facilities: the Robert W. Hite Treatment Facility (RWHTF) and the Northern Treatment Plant (NTP). The RWHTF, which serves as the Upper South Platte regional facility, is the largest wastewater treatment facility in the Rocky Mountain West, with a capacity of 220 million gallons per day (mgd). The NTP, which serves as the Lower South Platte regional facility, became operational in 2016 and has a current capacity of 28.8 mgd. With a projected buildout capacity of 60 mgd, the NTP could be expanded to accommodate regional growth for an estimated 50 years.

The SD Interceptor Project (Project) includes design and construction of the Metro District's proposed 17.5-mile-long SD Interceptor extending from the City of Aurora (Aurora) to Adams County (County). There are approximately 13.6 miles in Adams County, of that, approximately 5.2 miles are in unincorporated areas. Collaborative efforts between, and Project benefits for, the County discussed during the planning and preliminary design phases of the Project are as follows:

- Minimizes impacts on the Riverdale Dunes Golf Course (RDGC), Adams Hollow Disc Golf Course (AHDGC), and Adams County Regional Park and Fairgrounds
- Supports potential future decommissioning by the County of two County-owned and operated lift stations at the Adams County Regional Park and Fairgrounds and the conversion of the pumped wastewater conveyance system to gravity flow to reduce operations and maintenance (O&M) costs
- Accommodates the urbanized portions of the County to avoid disruptions to utilities, businesses, and traffic
- Avoids inactive historical landfills

The benefits are discussed in detail throughout the report.



### 1.1 Background (#3 on Checklist)

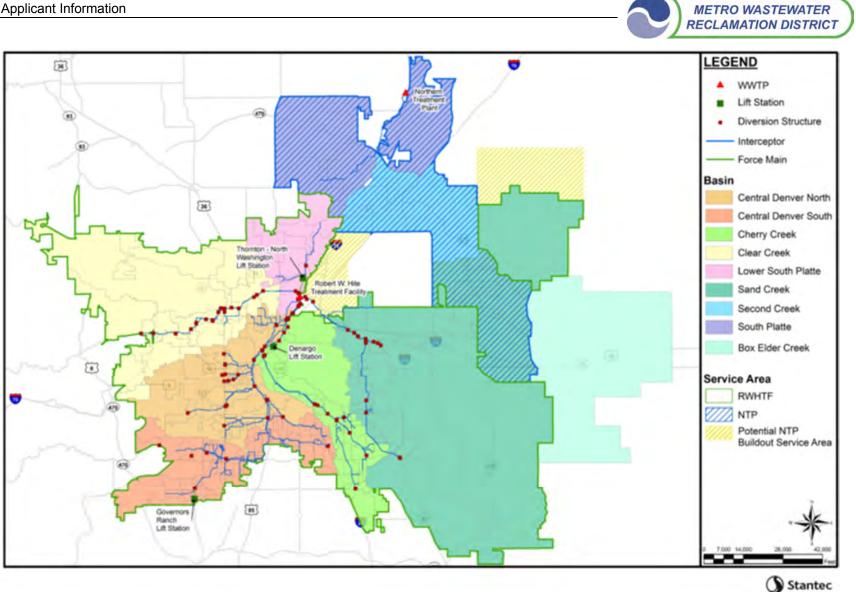
The Metro District is one of the largest water public utility service providers in the United States (U.S.). The District serves approximately 1.8 million people in the Denver metropolitan area, including the City and County of Denver (Denver) and portions of Adams, Weld, Arapahoe, Douglas, and Jefferson Counties. The District provides wastewater transmission and treatment services to 22 Member Municipalities and 26 Special Connectors over the 715-square-mile area shown on Figure 1-1. The District conveys, treats, and recovers approximately 130 mgd of water. With a mission to protect the region's health and environment by cleaning water and recovering resources, the District is one of the leading public agencies in innovation and resource recovery stewardship.

The Metro District's NTP, located in the City of Brighton (Brighton), provides treatment to the District's northeastern service area. The District's 6.8-mile South Platte Interceptor (SPI) was constructed in 2015 to convey wastewater flows from several contributing agencies to the NTP for treatment. The SD Interceptor will convey flows to the District's SPI and ultimately to the NTP. The regional system for the service area is shown on Figure 1-2. In 2010, the SPI received County approval of the AASI (1041 Permit), and was issued an Intergovernmental Agreement (IGA) in lieu of a permit on December 13, 2010.

On April 23, 2019, the County entered into an agreement to become a Special Connector to the Metro District. Under the Special Connectors Agreement, flows from the County's designated service area, including the Regional Park, may be routed to the SPI and conveyed to the NTP for treatment.

As part of the evolution of regional planning for the NTP, the *Sand Creek and Second Creek Basins Regional Master Plan* (RMP) was completed (Carollo and Jacobs 2017) to identify the optimal regional solution for providing cost-effective and long-term wastewater conveyance for its Member Municipalities and Special Connectors. The RMP was developed through the collaborative efforts of Aurora, Brighton, Denver, Denver International Airport (DEN), and South Adams County Water and Sanitation District (SACWSD). Of all alternatives evaluated, it was determined that construction of the SD Interceptor will provide the greatest long-term economic benefit by collecting the most flows in the upper and lower Second Creek Basin and conveying them by gravity to the SPI and NTP.

The SD Interceptor will allow for decommissioning of up to six lift stations, which are shown on Figure 1-3. The interceptor also supports future decommissioning of two lift stations at the Adams County Regional Park and Fairgrounds and the conversion to gravity flow. In addition, the SD Interceptor will preserve capacity at the RWHTF to support growth in its existing service area.



(Source: Metro Wastewater Reclamation District, Planning Document PAR 304 – 2018 Facility Plan, December 2018 [Metro District 2018a]

Figure 1-1: Metro District Buildout Service Area



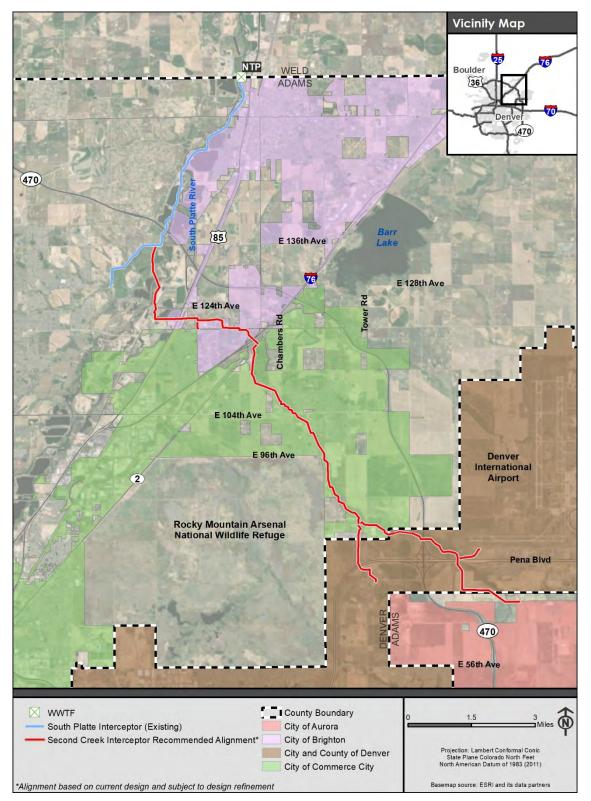


Figure 1-2: Metro District Northeastern Area Regional System



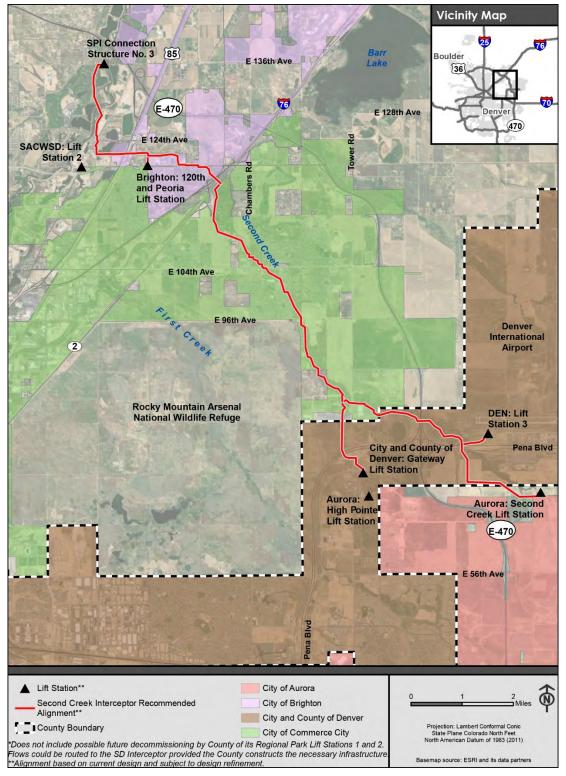


Figure 1-3: Lift Stations for Potential Decommissioning



The RMP alignment for the SD Interceptor was determined based on engineering analysis, aerial imagery and topography, site observations, identified wetlands, discussions with stakeholders, and potential connectors. Since the RMP was issued, some of the areas surrounding the RMP alignment have experienced rapid development, and portions of the alignment are no longer viable. This information, combined with environmental and technical data, as well as stakeholder input collected during the preliminary design phase, provides the basis for the alternative alignments analysis in Section 2.0.

#### 1.2 Project Summary (#3 and #14 on Checklist)

The SD Interceptor has its basis in the RMP, with modifications made during the preliminary design phase to account for a variety of factors as discussed in Section 1.2.1. The alignment is shown on Figure 1-5.

#### 1.2.1 Project Need

Six agencies will be capable of contributing flows to the SD Interceptor, including SACWSD (which includes the City of Commerce City [Commerce City]), Aurora, Brighton, Denver, DEN, and the County. Population and flow projections were determined using a 50-year planning period (2015 to 2065) and a system-wide per capita dry weather flow factor of 80 gallons per capita per day. These data, coupled with the preliminary flow projections from each contributing agency listed in Table 1-1, were used to determine preliminary pipe diameter sizes for the SD Interceptor.

| Agency Flow Projections<br>by Segment | 2025<br>mgd | 2030<br>mgd | 2035<br>mgd | 2065<br>mgd |
|---------------------------------------|-------------|-------------|-------------|-------------|
| Aurora <sup>a</sup>                   | 3.63        | 7.52        | 11.67       | 17.40       |
| Brighton <sup>b</sup>                 | 0.64        | 0.74        | 0.85        | 1.59        |
| Denver <sup>c</sup>                   | 0.83        | 1.08        | 1.34        | 2.83        |
| SACWSDd                               | 2.57        | 3.20        | 3.83        | 10.21       |
| Total <sup>e</sup>                    | 7.67        | 12.54       | 17.70       | 32.02       |

#### Table 1-1: Annual Average Flow Projections by Agency

<sup>a</sup> Aurora flows are based on updates provided by the City of Aurora on May 23, 2019.

<sup>b</sup> Brighton flows are based on a unit flow factor of 80 gallons per capita per day.

<sup>c</sup> DEN flow contributions are accounted for in the Denver flow values because DEN is within Denver's jurisdictional boundary.

<sup>d</sup> SACWSD flows are based on updates provided to HDR by SACWSD on October 22, 2018.

<sup>e</sup> Adams County flows are not included at this time. The County could construct infrastructure to connect to the SD Interceptor in the future, which would eliminate their Lift Station 2 and possibly Lift Station 1. Values in Total row may differ slightly from sum of corresponding agency values due to rounding.

The RMP divides the SD Interceptor into three segments: First Creek segment, Second Creek segment, and Combined segment. Figure 1-4 shows interceptor sub-segments. Table 1-2 lists the service areas annual average flow contributions by segment. Table 1-3 further breaks down the average annual flow and peak flow for the First Creek segment, Second Creek segment, and Combined segment.



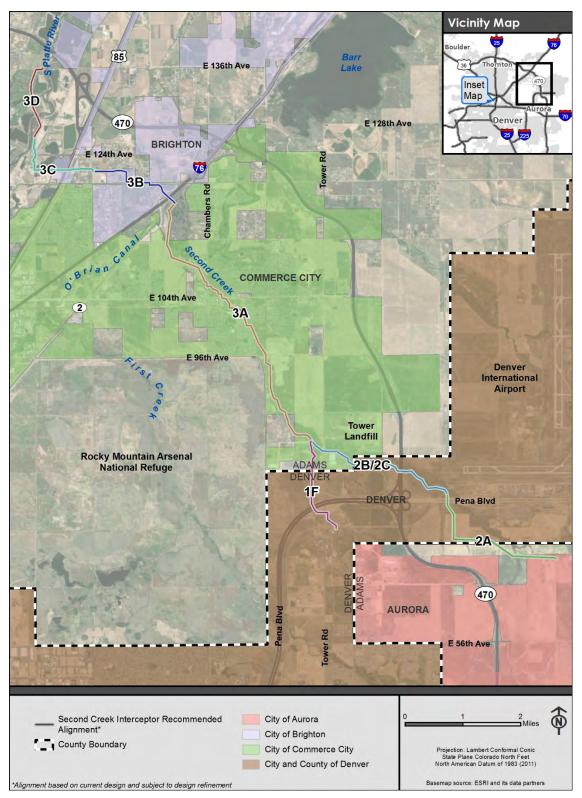


Figure 1-4: SD Interceptor Sub-Segments in RMP

| Table 1-2: Service Areas Annual Average Flow Contributions by Segment for SD Interceptor |  |               |               |               |               |        |  |  |
|--|--|---------------|---------------|---------------|---------------|--------|--|--|
| Segment  | Service Area                                 | 2020<br>(mgd) | 2025<br>(mgd) | 2030<br>(mgd) | 2035<br>(mgd) |        |  |  |
| First Creek Segm   |  | (1194)        | (ingu)        | (ingu)        | (ingu)        | (ingu) |  |  |
| 1F   | Aurora <sup>a</sup> , Denver                 | 0.36          | 0.46          | 0.55          | 0.64          | 1.24   |  |  |
| Second Creek Se  | gment-                                       |               |               |               |               |        |  |  |
| 2A   | Auroraa                                      | 1.36          | 1.36          | 2.81          | 4.37          | 6.51   |  |  |
| 2B   | Denver                                       | 0.23          | 0.32          | 0.45          | 0.60          | 1.33   |  |  |
| 2C   | Denver                                       | 0.03          | 0.05          | 0.08          | 0.10          | 0.25   |  |  |
| Combined Segment-  |  |               |               |               |               |        |  |  |
| 3A   | -  | 0.00          | 0.00          | 0.00          | 0.00          | 0.00   |  |  |
| 3B   | SACWSDb                                      | 1.50          | 2.10          | 2.69          | 3.28          | 9.39   |  |  |
| 3C   | Brighton <sup>c</sup>                        | 0.13          | 0.17          | 0.20          | 0.22          | 0.42   |  |  |
| 3D   | Brighton <sup>c</sup><br>SACWSD <sup>b</sup> | 0.81          | 0.94          | 1.06          | 1.18          | 1.99   |  |  |

<sup>a</sup>Aurora flows are based on updates provided on May 23, 2019.

<sup>b</sup>SACWSD flows are based on updates provided on October 22, 2018.

<sup>c</sup>Brighton flows are based on a unit flow factor of 80 gallons per capita per day.

| Flow<br>Projections<br>by Segment   | 2020         |              | 2025         |              | 2030         |              | 2035         |              | 2065         |              |
|-------------------------------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|
|                                     | AAF<br>(mgd) | PHF<br>(mgd) |
| First Creek<br>Segment<br>Total     | 2.63         | 8.44         | 2.74         | 8.73         | 5.25         | 15.50        | 7.94         | 22.30        | 12.13        | 32.37        |
| Second<br>Creek<br>Segment<br>Total | 1.61         | 5.48         | 1.73         | 5.83         | 3.34         | 10.41        | 5.07         | 15.03        | 8.09         | 22.67        |
| Combined<br>Segment<br>Total        | 6.69         | 19.16        | 7.67         | 21.63        | 12.54        | 33.32        | 17.70        | 45.14        | 32.02        | 76.05        |

Table 1-3: Total Annual Average Flow and Peak Hourly Flow Projections by Segment

All values in the table are cumulative.

Notes:

AAF = annual average flow

PHF = peak hourly flow



#### 1.2.2 Impacts and Benefits (#3 and #14 on Checklist)

The SD Interceptor will be constructed primarily within temporary and permanent easements across private parcels with limited construction in public rights-of-way (ROWs). This is required to accommodate a standard construction width of 120 feet , which eliminates most ROW corridors from consideration because of existing utilities. The width will vary depending on the interceptor depth and site restrictions. There are 28 parcels within unincorporated Adams County limits that will be affected by construction and long-term maintenance of the SD Interceptor. The parcel impacts will affect 19 owners.

The Project will provide the following overall benefits:

- Allows for the closure of up to six existing lift stations via gravity-powered SD Interceptor
- Reduces energy use and carbon footprint
- Decreases long-term O&M costs
- Balances and preserves treatment capacity at regional water reclamation facilities
- Supports community growth and economic development projected for the next 50 years
- Preserves the natural character and landscape of the surrounding community
- Strengthens the Metro District's more than 50-year legacy of environmental stewardship

#### 1.2.3 Second Creek Interceptor Alignment Overview (#4 on Checklist)

The proposed 17.5-mile SD Interceptor alignment spans multiple cities and counties along the northeastern part of the Denver metropolitan area. The interceptor begins at Aurora's Second Creek Lift Station located roughly 0.5-mile south of East 75th Avenue and Gun Club Road, and ends at an existing Metro District SPI connection structure located at 136th Avenue immediately west of the South Platte River. The pipe diameter ranges from 24 to 60 inches. Approximately 5.2 miles of the proposed SD Interceptor is located in unincorporated Adams County, which includes a combination of open-cut installation and trenchless crossings of critical roadways, rail tracks, and waterways. The Project will be executed using a Construction Management-at-Risk delivery model, which involves the contractor providing constructability input throughout the final design phase of the Project.

Flows will be directed from Aurora's Second Creek Lift Station and Denver's Gateway Lift Station to the SD Interceptor, as shown on Figure 1-5. The first branch of the interceptor will collect flows from Aurora's Second Creek Lift Station. The second branch will convey flows from Denver's Gateway Lift Station and upstream flows from the First Creek Basin. These two branches will meet at a junction point at approximately East 81st Avenue and North Tower Road. The remainder of the SD Interceptor extends from the junction point to its ending location at the SPI connection structure. The segments upstream from Denver's Gateway Lift Station identified in the RMP are not included in this Project.



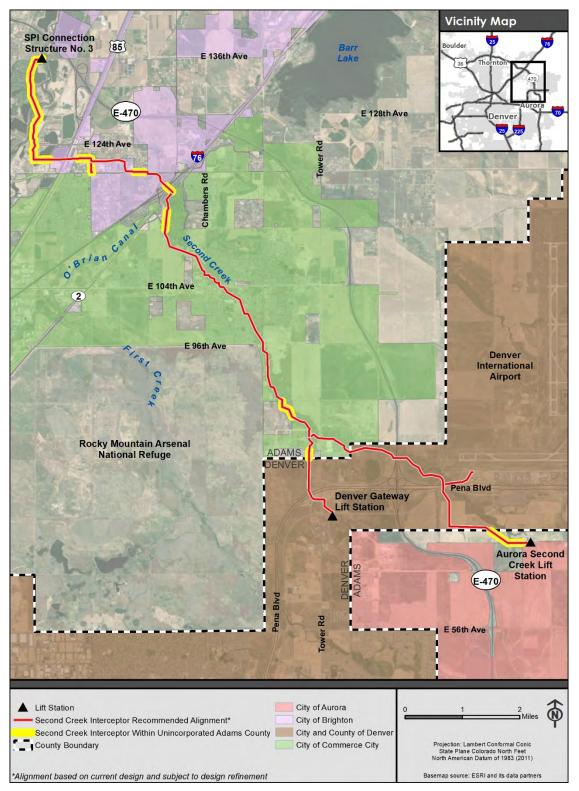


Figure 1-5: SD Interceptor Alignment Overview



### 1.3 Areas of High Importance

The Project Team has coordinated with the County throughout the selection of the recommended alignment for the SD Interceptor. Key coordination items include roadway crossings, impacts to the Riverdale Dunes Golf Course (RDGC)/Adams Hollow Disc Golf Course (AHDGC), and planning for the County's possible future decommissioning of the County's Regional Park Lift Stations 1 and 2.

#### 1.3.1 SD Interceptor Alignment

The RMP identified an alignment for the SD Interceptor that paralleled Brighton Road from East 124<sup>th</sup> Avenue to E-470. The Project Team reviewed this alignment and determined that construction along Brighton Road would not only be extremely disruptive to homeowners and businesses but is also not feasible given the numerous existing utilities and the planned interceptor depths. Alternative alignments were discussed with the County and it was determined that routing the interceptor through the RDGC and AHDGC would be less disruptive to the public, allow for shallower pipe bury depths, and make potential connections from the County's Lift Station 1 and 2 a viable option to the County in the future.

The Project Team is working diligently to perform field utility surveys, potholing and environmental investigations to refine the exact location and elevation of the SD Interceptor. The recommended alignment will continue to be altered as the District works through the 1041 review process with the County and stakeholders.

#### 1.3.2 Limit Disturbances and Impacts to County Facilities

Impacts to County controlled roadways, the RDGC, and AHDGC will be temporary in nature and well-coordinated with County staff. Construction scheduling and installation techniques will help limit impacts and disturbances to the County facilities.

#### Construction Schedule

The SD Interceptor construction will begin in mid-2020 and is anticipated to be complete by the end of the first quarter of 2024. Generally speaking, the interceptor will be constructed from north to south with restoration activities following closely behind the pipe installation.

Construction of the SD Interceptor through the RDGC will be completed outside of peak golf season during the months of November through March to the extent practicable. The actual construction schedule will be closely coordinated with the County, specifically County Parks & Open Space Department, and will include full restoration of the facilities to preconstruction conditions. With the exception of a few holes on the front nine, the RDGC should be able to remain open and operational during construction. Safety fencing, temporary access routes, detour signage, dust control, and noise mitigation will be implemented by the Project Team to help facilitate RDGC operations.

#### Open-cut Construction

To decrease roadway impacts, the Project Team is working with the Brighton School District on an alignment through Prairie View High School and Middle School grounds to avoid construction within E. 120<sup>th</sup> Avenue. This planned alignment will avoid extensive E. 120<sup>th</sup> Avenue right of way construction from Potomac Street to Peoria Street.



#### Trenchless Construction

Trenchless construction will be used to minimize impacts at roadway crossings within unincorporated Adams County including Tower Road, East 96<sup>th</sup> Avenue, East 104<sup>th</sup> Avenue, Interstate 76, East 120<sup>th</sup> Avenue, and Highway 85. Trenchless techniques are also being evaluated for other segments of the SD Interceptor within unincorporated Adams County based on impacts to stakeholders. The design phase of the Project will evaluate trenchless alternatives given geotechnical ground conditions and mitigation of construction risks.

#### Restoration

As previously mentioned, restoration activities will closely follow pipe installation. To prevent multiple disruptions to County property, the Project Team plans to plant during spring and fall seasons for best results. Restoration items include but are not limited to: seeding of disturbed areas, sod replacement, irrigation repairs, tree replacement, concrete or gravel trail replacement, asphalt, and fencing repairs as necessary.

#### 1.3.3 Potential Future Connection of County Lift Stations 1 & 2 to SD Interceptor

Construction of the SD Interceptor provides an opportunity for the County, through the Special Connector Agreement, to request connections in accordance with District's Rules and Regulations to the SD Interceptor from the County's Regional Park Lift Stations 1 and 2. The County will be responsible for any connecting sewers including any metering and sampling facilities, if needed.

Flows from the County's Regional Park Lift Stations 1 and 2 are planned to be pumped to the Metro District's SPI and conveyed to the District's NTP for treatment.

The County and RDGC staff have expressed interest in the possible future decommissioning of the County's Regional Park Lift Stations 1 and 2 through gravity pipeline connections to the SD Interceptor. If the County constructs necessary infrastructure in the future, the Lift Stations could be decommissioned and flows routed by gravity to the SD Interceptor instead of pumped to the SPI. Flows would continue to be treated at the District's NTP. Figure 1-6 shows a conceptual routing for gravity connections to the SD Interceptor from each lift station. The design and construction of the lift station connection pipelines will not be completed with this Project; however, the Project Team has conducted preliminary investigations that has verified the viability of the gravity connections if the County decides to complete the work in the future.

#### 1.3.4 Construction Benefits

Construction of the SD Interceptor could potentially provide other benefits beyond those addressed by this Project, as described below.

#### Fill Material Delivered to the County

Construction of the SD Interceptor will generate large amounts of excess soil (spoil material). The County has expressed interest in receiving spoil materials to raise the elevation of planned infrastructure at the regional park as well as partially filling a gravel pond (Fishing is Fun Pond) on the east side of the RDGC. The Project Team will work with the County to determine if suitable spoil material is desired by the County and if so, the quantity, timing, and locations for its delivery during construction.



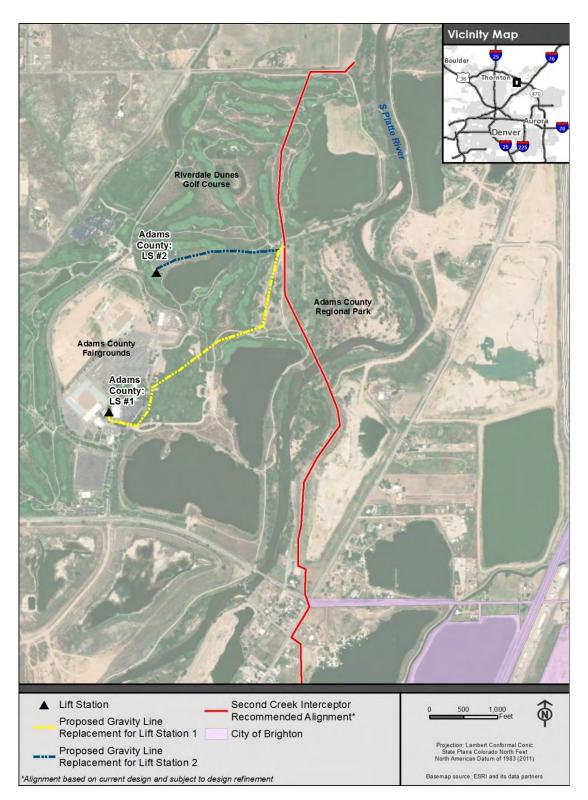


Figure 1-6: Conceptual Routing of County Lift Station 1 and 2 to the SD Interceptor



#### **RDGC Irrigation Main**

RDGC staff has identified an aging 6-inch diameter irrigation main on the east side of Hole 13 that is parallel to and in some locations conflicting with the SD Interceptor alignment. To facilitate timely construction of the SD Interceptor approximately 1,000-feet of the irrigation main will be replaced as a part of the Project. RDGC has indicated that replacement of this line would benefit the County through improved resiliency of the irrigation system.

### 1.4 County and District Agreements

The District and the County executed an IGA on December 13, 2010 in lieu of an AASI/1041 Permit for construction of the SPI. The 2010 IGA required the District to construct a connection from the County's Regional Park Lift Station 2 to the SPI, among other considerations.

On April 23, 2019, the County entered into an agreement to become a Special Connector to the Metro District. Under the Special Connectors Agreement, flows from the County's designated service area, including the Regional Park, can be routed to the SPI and conveyed to the NTP for treatment.

Once flow is sent through the SPI connection, the County will discontinue use of its onsite lagoon system that is currently used for treatment of the Regional Park wastewater. The SD Interceptor Recommended Alignment will provide the County with the option to decommission its two existing lift stations at the Adams County Regional Park and Fairgrounds in the future, Lift Station 1 and Lift Station 2, and the convert them to gravity flow by routing flows to the SD Interceptor instead of pumping flows to the SPI. Any necessary connecting infrastructure would be provided by the County.

### 1.5 Lead Representative and Day-to-Day Representative Contact Information

| Lead representative for this project:       | Jon Wicke, P.E.<br>Project Manager<br>Metro Wastewater Reclamation District<br>6450 York Street<br>Denver, CO 80229<br>jwicke@mwrd.dst.co.us<br>Ph. 303.286.3406 office     |
|---|---|
| Day-to-day representative for this project: | Renee Paplow, P.E.<br>Senior Engineer<br>Metro Wastewater Reclamation District<br>6450 York Street<br>Denver, CO 80229<br>rpaplow@mwrd.dst.co.us<br>Ph. 303.286.3384 office |



# 1.6 Contact Information for Those Responsible for Construction and Operating the Project

The SD Interceptor design and construction will be delivered using a Construction Management-at-Risk alternative delivery approach. With this approach, the Metro District has contracted directly with HDR as the lead design consultant and Garney Construction as the Construction Manager-at-Risk. The Construction Manager-at-Risk will provide preconstruction services, such as value engineering, constructability reviews, estimating, and scheduling, and construction of the improvements.

| Construction Manager for this Project: | Keith Lemaster<br>Construction Manager<br>Garney Construction<br>7911 Shaffer Parkway<br>Littleton, CO 80127<br>Ph. 303.791.3600               |
|--|--|
| Operations Manager for this Project:   | Doug Woods<br>Transmission Superintendent<br>Metro Wastewater Reclamation District<br>6450 York Street<br>Denver, CO 80229<br>Ph. 303.286.3241 |
| Design Engineer for this Project:      | Mike Gossett<br>Design Engineer<br>HDR, Inc.<br>1670 Broadway, Suite 3400<br>Denver, CO 80202<br>Ph. 303.318.6280                              |

### 1.7 Authorization of the Application by the Project Owner

The Metro District is both the Project Owner and Applicant.

### 1.8 Documentation of the Applicant's Financial and Technical Capability

#### 1.8.1 Financial Capability

Since 1961, the Metro District has relied upon sound financial, legal, and management strategies to fund capital improvements, operate facilities to the highest standards, and maintain its facilities in excellent working order. Inclusion of the SD Interceptor improvements within the framework of assets owned and operated by the District will ensure that the required capital improvements are constructed in a timely manner consistent with the projected system flows and loadings. Further, the existing management and financial planning expertise of the District will be employed to ensure that the necessary resources are available to operate and maintain the interceptors and associated improvements once they are constructed, as well as expand the facilities as needed and as outlined in the RMP.



The Metro District conducts financial planning on an annual basis for each fiscal year's anticipated expenditures and revenues. In addition, the District relies on facility-specific plans for long-term forecasting of capital expenditures. The RMP will function as such a document by describing the facilities needed, a schedule for their construction, and anticipated costs.

The Metro District revenues are derived from a variety of sources, including annual charges for service, bonds, and connection fees. Additional information regarding the District's financial capability and Project financing is provided in Section 5.0.

The Metro District's current system of rigorous planning and anticipation of upcoming regulatory requirements and their associated costs, coupled with long-range and annual determinations of revenue streams to pay for each year's expenditures, indicates that the District is financially capable of constructing this Project.

### 1.8.2 Technical Capability

The Metro District is responsible for the transmission and treatment of wastewater from much of the Denver metropolitan area. This responsibility includes management of the design and construction of a majority of the District-owned facilities. To manage these efforts, the District uses professional internal personnel, supplemented by qualified, experienced consultants. Population growth and expansion throughout the history of the District have resulted in a strong, diverse background in projects, such as design and construction of the following:

- Gravity sewers (interceptors)
- Lift stations
- Force mains
- Treatment facilities

### 1.9 Environmental Assessments

In addition to developing an approach and process to acquire necessary Project permits, the Metro District is performing environmental assessments during the design phase, including hazardous material assessments, historical/archaeological field surveys in accordance with Section 106 of the National Historic Preservation Act, wetlands and waters of the U.S. surveys and delineation, habitat and presence/absence surveys for threatened and endangered species, and a raptor nest survey and tree surveys. These assessments will be used in conjunction with other design information to optimize the interceptor alignments and provide supporting information for permit applications.

## 1.10 Considerations

Temporary construction impacts will include nuisance effects, such as noise, vibration, and traffic, and direct effects caused by landscaping disturbances and restoration, as well as interceptor installation. These impacts will be localized because of the use of a phased construction approach that entails completing work on a given segment before proceeding to the next. After construction and during the first available planting season, restoration of disturbed areas will be initiated to begin the process of returning the areas to the preconstruction or improved conditions.

Permanent aboveground impacts will be limited to manhole covers, connection structure covers, control cabinets for metering facilities, a bio-filter for odor control, and gravel access roads as



needed for maintenance and operation of the SD Interceptor. The gravel access roads are expected to experience limited use for maintenance during the life of the interceptor. Long-term noise and vibration impacts from the permanent operation of the interceptor are not anticipated because flows in the SD Interceptor will be via gravity.

The crossing of the South Platte River is a key feature of the SD Interceptor alignment. Because of elevation constraints at the SPI Connection Structure No. 3 and the elevation of the river channel bottom, a siphon is required to cross the river at this location. The upstream siphon box will collect foul air from the SD Interceptor, which must be treated by an odor control facility. The interceptor will be designed to maintain negative pressure and draw odorous gases downstream to the odor control facility. The proposed location of the odor control facility is near the upstream siphon box on the east side of the South Platte River in unincorporated Adams County, as shown on Figure 1-7. The facility will require power and irrigation water from the City of Brighton for operation.

# 1.11 Project Schedule

Preliminary design of the SD Interceptor is complete and the final design is expected to be complete in spring/summer 2020. Final design approval by Colorado Department of Public Health and Environment (CDPHE) is anticipated in late summer 2020. The estimated construction start date is summer/fall 2020, with completion expected in early 2024.

# 1.12 Areas and Activities of State Interest Checklist

A completed County Areas and Activities of State Interest Checklist documenting the items submitted in this report is provided in Appendix A.





Figure 1-7: Odor Control Facility



### 2.0 SECOND CREEK INTERCEPTOR ALTERNATIVES ANALYSIS

Although the RMP established a basis of design for the SD Interceptor, new information has been received from the Metro District's preliminary design efforts that warrants revising the alignment. This information, which includes environmental and technical data, as well as stakeholder input, provides the basis for the alternative alignments analysis provided in this section.

# 2.1 Second Creek Interceptor Evaluation

Several interceptor alignment alternatives were developed and evaluated to determine the preferred SD Interceptor alignment. The Metro District considered many constraints in the development of the alignment alternatives, including topography, environmental resources, costs, utility and traffic conflicts, design considerations (length and depth), land acquisitions, business disruptions, and economic and non-economic factors. The District also took into account minimizing impacts on sensitive areas and maximizing the possibility of shared corridors or resources for future maintenance, and input from potentially affected stakeholders.

Taking into account the considered constraints, the team established a corridor through which potential alignments could be developed. Conveying wastewater from the southern portion of the service area near DEN to the existing SPI connection structure located to the immediate north of the RDGC can be accomplished solely by gravity because the corridor generally follows the topographic profile of Second Creek and the South Platte River.

Other considerations included minimizing impacts on the RDGC; the Adams County Regional Park and Fairgrounds; active and inactive landfills; gravel quarry operations; DEN; and the urbanized portion of the County to avoid disruptions to utilities, businesses, and traffic. While accounting for these many constraints and in developing alignment alternatives, the primary objective was to maintain gravity flow for the entire length of the interceptor.

During the preliminary design phase, the District's Project Team collaborated with County personnel to optimize the SD Interceptor alignment on the RDGC. Several alignment alternatives were evaluated to achieve a balance between limiting disruptions to the golf course during construction and minimizing the permanent impacts on the adjacent grounds. Access for future O&M activities was also considered in determining the alignment.

To aid in the comparative analysis of alternative alignments to those in the RMP, the SD Interceptor project was divided into six project areas based on geographic boundaries. All of the project areas contain portions of the SD Interceptor in unincorporated areas of the County as described in Table 2-1 and shown on Figure 1-4. The alternatives analysis for the SD Interceptor, including sub-alignments in Project Areas 1 through 6, are provided in Appendix B.

| Table 2-1: Recommended Alignment Parameters for Project Areas in Adams County |  |                            |                                      |                            |  |  |
|---|--|----------------------------|--------------------------------------|----------------------------|--|--|
| Project<br>Area   | Project Area<br>Extent   | Average<br>Depth<br>(feet) | Number of<br>Trenchless<br>Crossings | Pipe<br>Diameter<br>(inch) | Approx. Length –<br>Total/Adams<br>County (mile) | Approx. Length in<br>Unincorporated<br>Adams County (mile) |
| 1   | SPI to East<br>124th Avenue  | 8.5                        | 3                                    | 66                         | 1.7/1.7  | 1.7  |
| 2   | East 124th<br>Avenue to<br>East 120th<br>Avenue/Peoria<br>Lift Station             | 12                         | 3                                    | 48 to 66                   | 1.4/1.4  | 0.8  |
| 3   | I-76 and<br>BNSF<br>Railroad<br>Crossing   | 13                         | 6                                    | 48                         | 2.8/2.8  | 1.5  |
| 4   | Commerce<br>City Bison<br>Ridge<br>Recreation<br>Center to East<br>96th Avenue     | 12                         | 2                                    | 48                         | 3.0/3.0  | 0.1  |
| 5   | East 96th<br>Avenue to<br>Gateway Lift<br>Station                                  | 12                         | 3                                    | 48                         | 3.6/2.3  | 0.5  |
| 6   | First Creek<br>Interceptor<br>Junction Point<br>to Second<br>Creek Lift<br>Station | 17                         | 3                                    | 42                         | 5.0/1.4  | 0.6  |

#### . . . . - 1- 1 - 0 4

BNSF = Burlington Northern Santa Fe Railroad

I = Interstate

#### Second Creek Interceptor Refinement Based on Stakeholder 2.2 Coordination

Coordination efforts with private parcel owners, developers, and other stakeholders have taken place since the original alignment was recommended. The alignment corridor has been shifted slightly in areas to coordinate with these individual stakeholders and accommodate future development and land use planning. Table 2-2 lists the major adjustments that occurred within the unincorporated portions of the County based on stakeholder coordination.



| 1       STA 15+00 to<br>55+00       Adams County;<br>Parcels       The alignment corridor was adjusted to minimize impacts to<br>the RDGC and Adams County Regional Park and<br>Fairgrounds         1       STA 15+00 to<br>55+00       The alignment corridor was adjusted to minimize impacts to<br>the RDGC and Adams County Regional Park and<br>Fairgrounds         1       STA 15+00 to<br>55+00       Fairgrounds | Project<br>Area | Adjustment<br>Extent | Stakeholder                               | Description                                 |
|--|-----------------|----------------------|---|---|
|  | 1               |                      | Parcels<br>157127004001,<br>157127000080, | the RDGC and Adams County Regional Park and |

#### Table 2-2: SD Interceptor Alignment Adjustments Based on Stakeholder Coordination

# 2.3 Recommended Second Creek Alignment (#3 on Checklist)

Figure 2-1 presents the recommended alignment for the SD Interceptor based on the alternatives evaluation and stakeholder coordination. The total length of the SD Interceptor is approximately 17.5 miles, which includes approximately 5.2 miles in unincorporated Adams County corresponding to Project Areas 1 through 6 shown in Figure 2-1. The interceptor diameter ranges from 36 inches at the upstream end in Aurora and gradually increases to 60 inches at the downstream end at the SPI connection structure near the South Platte River, as shown on Figure 2-1.

The plans accompanying this Application show the initial profile of the recommended SD Interceptor alignment based on the selected alternatives and stakeholder coordination efforts. The profile will be refined as utility data are received and connection elevations are confirmed with field survey information. Moving forward, field investigations will continue along the entire recommended alignment corridor. These investigations include detailed utility corridor surveys, geotechnical investigations, subsurface utility engineering planning, environmental permitting fieldwork, and easement acquisition. Minor refinement of the recommended alignment may occur during final design but will not significantly impact the results of the field investigations.

## 2.4 Conservation Techniques

The construction and operation of the SD Interceptor will employ the conservation techniques discussed in the sections below.

### 2.4.1 Construction Control Measures

The contractor will use control measures (CMs) during construction to manage the pollution of stormwater and minimize erosion and sedimentation. These CMs will be identified in the Stormwater Management Plan prepared by the contractor. The CMs will likely include fugitive dust control for excavations and stockpiling, temporary and permanent erosion control measures for disturbed ground, and sedimentation filtering for runoff. The Stormwater Management Plan and associated CMs will comply with all CDPHE and Adams County regulations. Other conservation measures that the Metro District will implement for this Project are discussed in Section 10.3.2.



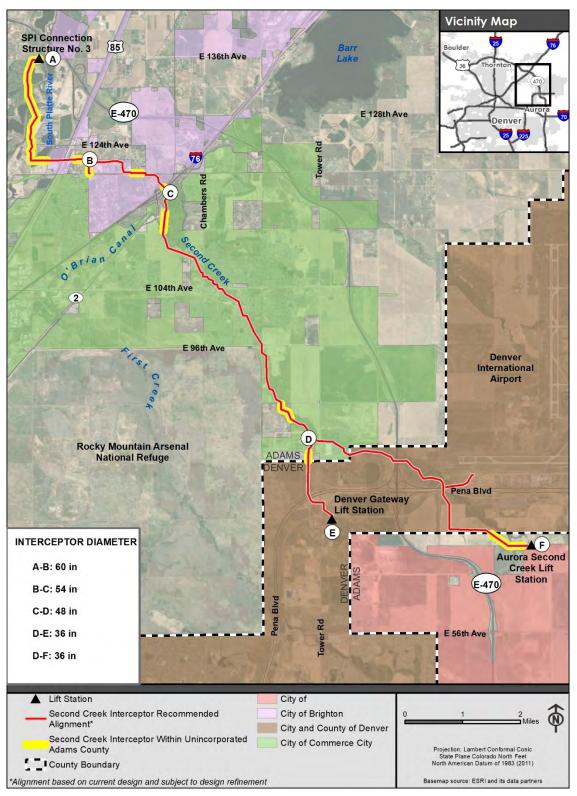


Figure 2-1: Recommended SD Interceptor Alignment



### 2.4.2 Natural Conservation Areas

During the alignment alternatives evaluation, the Metro District focused on minimizing impacts on sensitive areas with historic or ecological importance, and considering existing conservation easements in proximity to the alignments. Design of the Project considers preservation of the riparian habitat along Second Creek, South Platte River, and other water bodies.

### 2.4.3 Floodplain Protection

This Project will cross several known master drainage and outfall system plan study areas within County boundaries. The Metro District will coordinate with the County throughout the design phase on planned regional facilities and continue to coordinate with the Urban Drainage and Flood Control District (UDFCD) on the drainage master plan for this area. The Project will comply with the County's floodplain permitting requirements.



### 3.0 PARCEL IMPACTS AND EASEMENTS (#15 ON CHECKLIST)

Public ROWs will generally be impractical for construction of the SD Interceptor given the width of excavation required because of pipe diameter and depth. The width required for permanent access and maintenance for the SD Interceptor will be about 40 feet, with construction widths of 120 feet or more depending upon depth. This space requirement will eliminate most public ROW corridors from consideration as constructible corridors because other utilities are present. Moreover, obtaining a width of 40 feet will be impractical from a cost and public impact perspective because it will require multiple utility relocations and potential outages. Also, public ROWs generally are set up in a grid formation, which, for the SD Interceptor, will require multiple sharp bends and disruptions to wastewater flow between points of commencement and terminus. This configuration will lead to excessive turbulence in flow, which, in turn, will create the potential for increased off-gassing and odor impacts along the alignment, potentially affecting the public.

As a result of these impacts, permanent and temporary easements across private parcels are required for the SD Interceptor. This section discusses parcel impacts and easements for the SD Interceptor.

### 3.1 Impacted Parcels

Preliminary title investigation and property records research have identified 28 parcels (see Figure 3-1 through Figure 3-6) within unincorporated Adams County that will be affected by construction or long-term maintenance of the SD Interceptor. The parcel impacts will affect 19 owners.

The impacted parcels are primarily used for parks and open space along the South Platte River. The interceptor alignment has been designed to minimize impacts on existing and future development to the extent practical by siting the interceptor within the floodway of Second Creek, thereby reducing the impact on developable land. However, the selected SD Interceptor alignment will affect some developed private parcels and vacant commercial parcels with planned development activity. Table 3-1 lists impacted parcels, ownership, zoning, and future land use. The SD Interceptor will cross the open space portions of several planned unit developments. The Project Team has coordinated with the County and developers on future development plans along the corridor.

## 3.2 Proof of Ownership

Prior to initiating easement acquisition activities on each parcel, preliminary title work was conducted to verify the legal ownership of each parcel to negotiate a land rights transfer.

## 3.3 Temporary and Permanent Easements

The types of land rights that will be acquired within unincorporated Adams County will be permanent easements and temporary construction leases for all parcels impacted by the recommended alignment listed in Table 3-1.



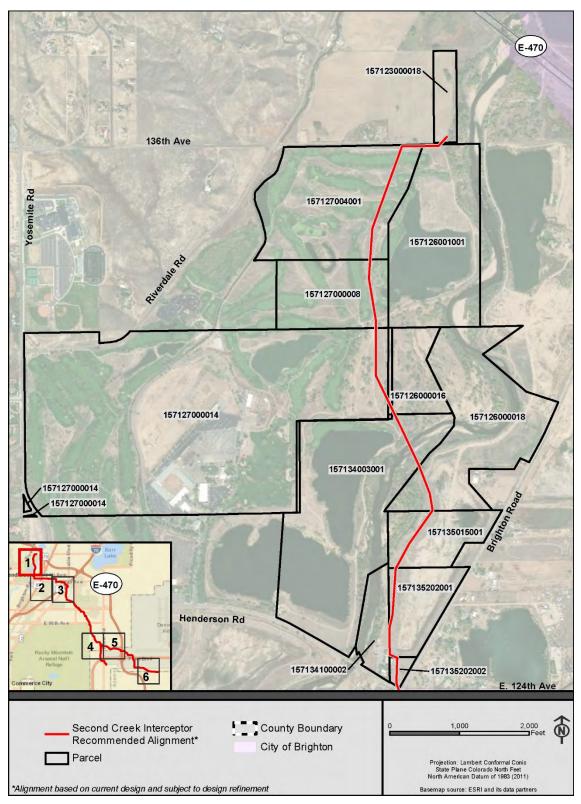


Figure 3-1: Map 1 Second Creek Parcels Unincorporated Adams County



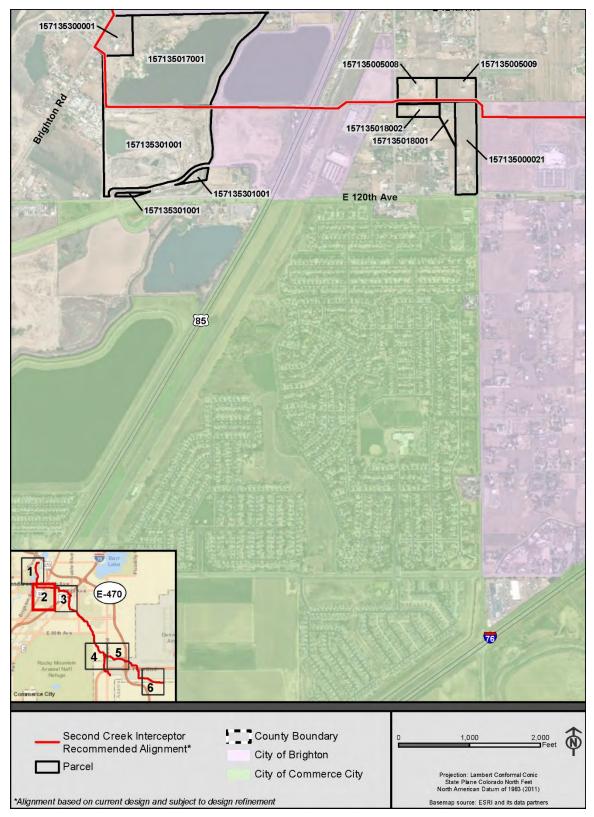


Figure 3-2: Map 2 Second Creek Parcels Unincorporated Adams County



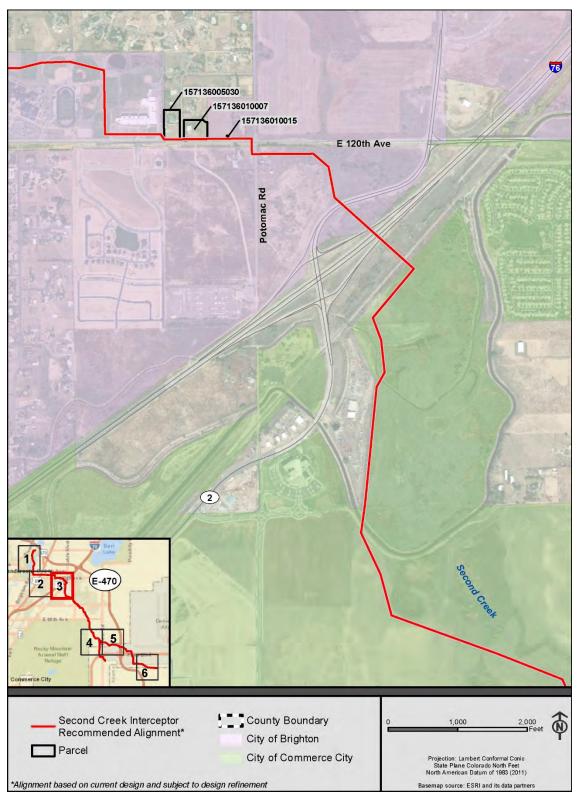


Figure 3-3: Map 3 Second Creek Parcels Unincorporated Adams County



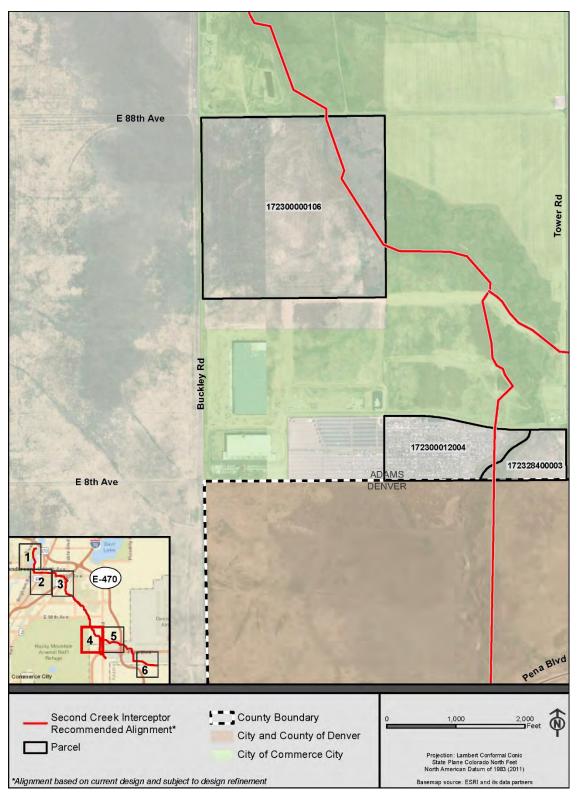


Figure 3-4: Map 4 Second Creek Parcels Unincorporated Adams County



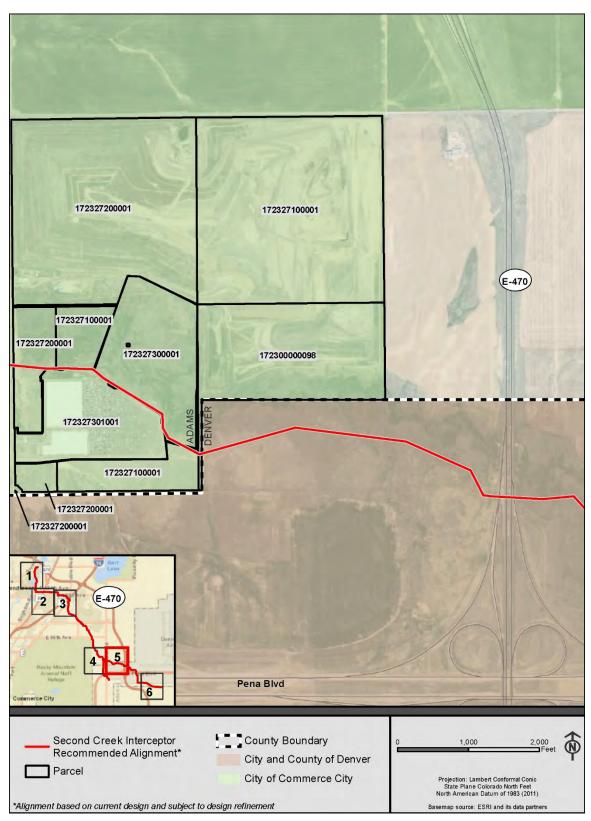


Figure 3-5: Map 5 Second Creek Parcels Unincorporated Adams County



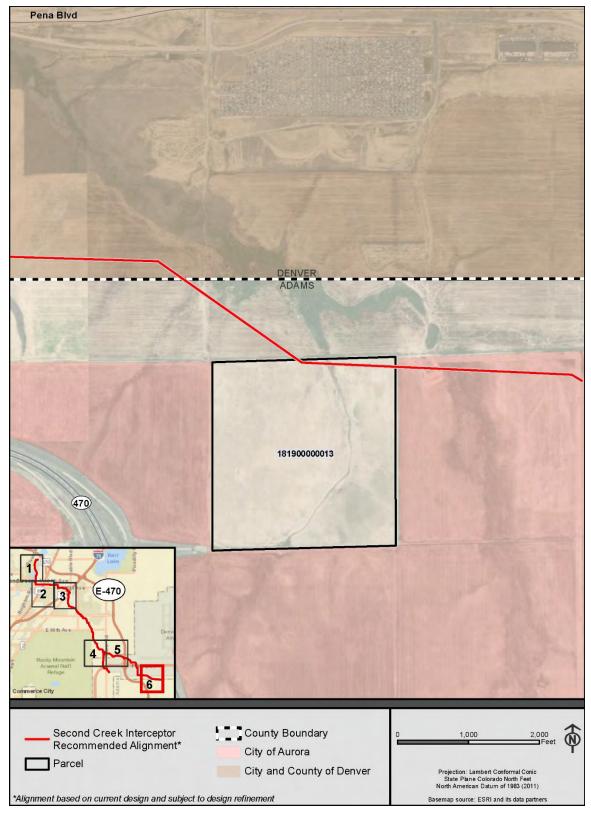


Figure 3-6: Map 6 Second Creek Parcels Unincorporated Adams County



Permanent easements will be acquired to allow for the perpetual occupation of the land with the SD Interceptor and gravel access road, and to provide access rights to operate and maintain the line. Temporary construction leases will be acquired to provide additional areas for construction and material staging. Temporary construction leases are anticipated to vary in duration depending upon the construction phasing and complexity; nevertheless, they will be obtained for an initial anticipated timeframe of 6 months, with additional options to extend.

### 3.3.1 Easement Status

Acquisition of easements is ongoing, concurrent with this Areas and Activities of State Interest (1041) Application. In order to illustrate the required land rights for the SD Interceptor project, the District will prepare a supplementary submittal for the County showing a legal land right for portions of the SD Interceptor across parcels outside of the public ROW. Because of the potential for multiple phases of construction, the District may phase its submittals of land rights documentation.

| County   |  |  |
|--|--|--|
| Owner  | Zoning   | Comprehensive<br>Plan Designation  |
| BOARD OF COUNTY COMMISSIONERS COUNTY OF<br>ADAMS                                 | A-3  | Parks and Open<br>Space  |
| BOARD OF COUNTY COMMISSIONERS COUNTY OF ADAMS                                    | A-3  | Parks and Open<br>Space  |
| BOARD OF COUNTY COMMISSIONERS COUNTY OF<br>ADAMS                                 | A-3  | Parks and Open<br>Space  |
| BOARD OF COUNTY COMMISSIONERS COUNTY OF<br>ADAMS                                 | A-3  | Parks and Open<br>Space  |
| BOARD OF COUNTY COMMISSIONERS COUNTY OF<br>ADAMS                                 | A-3  | Parks and Open<br>Space  |
| BOARD OF COUNTY COMMISSIONERS COUNTY OF ADAMS                                    | A-3  | Parks and Open<br>Space  |
| BOARD OF COUNTY COMMISSIONERS COUNTY OF<br>ADAMS                                 | A-3  | Parks and Open<br>Space  |
| HENDERSON AGGREGATE LTD.   | A-3  | Parks and Open<br>Space  |
| HENDERSON AGGREGATE LTD.   | A-3  | Agriculture  |
| HENDERSON AGGREGATE LTD.   | A-3  | Estate Residential   |
| KROLL TRISHA/ALAN 25 PERCENT INT AND<br>HAMILTON PATRICIA L LIVING TRUST 75 PERC | A-3  | Agriculture  |
| HAMILTON PATRICIA L LIVING TRUST THE   | A-1  | Estate Residential   |
| TRUNKENBOLZ LLC  | C-3  | Estate Residential   |
| HENDERSON WATER SKI CLUB LLC C/O TOM<br>KRUEGER                                  | A-3  | Estate Residential   |
|  | OwnerBOARD OF COUNTY COMMISSIONERS COUNTY OF<br>ADAMSBOARD OF COUNTY COMMISSIONERS COUNTY OF<br>ADAMSHENDERSON AGGREGATE LTD.HENDERSON AGGREGATE LTD.HENDERSON AGGREGATE LTD.KROLL TRISHA/ALAN 25 PERCENT INT AND<br>HAMILTON PATRICIA L LIVING TRUST 75 PERCHAMILTON PATRICIA L LIVING TRUST THE<br>TRUNKENBOLZ LLCHENDERSON WATER SKI CLUB LLC C/O TOM | OwnerZoningBOARD OF COUNTY COMMISSIONERS COUNTY OF<br>ADAMSA-3BOARD OF COUNTY COMMISSIONERS COUNTY OF<br> |

| Table 3-1: Ownership and Future Land Use of Impacted Parcels Within Unincorporated Adams |
|--|
| County   |



| Parcel No.    | Owner   | Zoning  | Comprehensive<br>Plan Designation |
|---------------|---|---------|-----------------------------------|
| 0157135301001 | 120 85 LLC  | A-3     | Estate Residential                |
| 0157135005008 | MONTOYA ROY ANTHONY                                     | A-2     | Estate Residential                |
| 0157135018001 | KENDRICK THOMAS E AND VENDEGNA ANGELA M                 | A-1     | Estate Residential                |
| 0157135005009 | DIETZ CAROL W 1/2 INT AND DIETZ LEONARD P JR 1/2<br>INT | A-2     | Estate Residential                |
| 0157135000021 | SERNA ANDREW J AND SERNA TRACI S                        | A-3     | Estate Residential                |
| 0157136005030 | SISNEROS JOE M AND NIKKI L                              | A-1     | Estate Residential                |
| 0157136010007 | MARQUEZ HECTOR  | A-1     | Estate Residential                |
| 0157136010015 | FARNER WILLIAM H AND FARNER JACQULYN N                  | A-1     | Estate Residential                |
| 0172300000106 | SCHUCK DIA LLC  | A-3     | Mixed Use<br>Employment           |
| 0172300012004 | COLORADO AIRPORT PARKING LLC                            | I-1     | Mixed Use<br>Employment           |
| 0172328400003 | SCM-GRP VAN SCHAAK LLLP UND 8.5254% INT ET AL           | PUD (P) | Commercial                        |
| 0181900000013 | BOWIP PARTNERS LLC                                      | A-3     | Mixed Use<br>Employment           |
| 0182100000145 | CITY & COUNTY OF DENVER                                 | DIA     | Airport Reserve                   |
| 0181900000012 | CITY & COUNTY OF DENVER                                 | DIA     | Airport Reserve                   |



### 4.0 **PERMITS AND OTHER APPROVALS (#15 ON CHECKLIST)**

The SD Interceptor project will require permitting coordination with various agencies throughout the design and construction stages as described below.

## 4.1 Permits Required for the Project and Coordination

The Metro District has initiated contact and coordination with various local, state, and federal permitting agencies for this Project. Such coordination will be ongoing throughout the design and construction phases as required by the various permits. A summary of the necessary permits and associated agencies, as well as the status of each permit, is provided in Appendix C.

### 4.2 Federal and State Permitting Correspondence

Coordination between the Metro District and federal, state, and local permitting agencies is ongoing. Most permit approvals have not yet occurred, but the Project will meet requirements necessary for permit approvals. Section 11.0 provides information on agency coordination for this Project.

### 4.3 Water to Be Used by the Project

As discussed in Section 1.10, a permanent odor control facility will be installed on the east side of the South Platte River at the SD Interceptor crossing of the river to treat foul air from the interceptor. The biofilter component of the facility requires a water source to maintain a healthy environment for the microorganisms treating the odor compounds. The nearest public utility water source to the facility is the City of Brighton's distribution system in Brighton Road. The estimated average annual supply flow rate is 1 gpm. Based on discussions with City personnel, supplying water to the odor control facility from the City's system is a viable approach.

Temporary use of public water may occur during construction.

### 4.4 Compliance with CDPHE

The Metro District's construction of the SD Interceptor is consistent with CDPHE policies that encourage regionalization and consolidation of wastewater conveyance. CDPHE Site Location and Design Approvals are required prior to construction of the Project. Site Location Approval and Design Approval are anticipated in early 2020 and late summer 2020, respectively.



### 5.0 FINANCIAL FEASIBILITY OF THE PROJECT (#16 AND #19 ON CHECKLIST)

Since 1961, the Metro District has relied upon sound financial, legal, and management strategies to fund capital improvements, operate facilities to the highest standards, and maintain its facilities in excellent working order. Inclusion of the SD Interceptor within the framework of assets owned and operated by the District will ensure that the required capital improvements are constructed in a timely manner consistent with the projected system flows and loadings.

### 5.1 Construction Costs and Time Periods

The Metro District has contracted with Garney Construction to deliver the Project via the Construction Management-at-Risk alternative delivery approach. The Construction Manager-at-Risk and Project Team will collaborate throughout the design phase. Preliminary design is complete and the final design is expected to be complete by the middle of 2020. This approach will support an estimated construction start date of summer/fall 2020. Construction is expected to reach substantial completion by early 2024. The midpoint of construction is anticipated to be March 2021.

Table 5-1 presents the SD Interceptor Project cost estimate based on the above schedule and the preferred alignment. This estimate is considered to be a Class 3 estimate, as defined in the Metro District's *Cost Estimating Guide* (Metro District 2017) and is expected to be accurate to between plus 30 percent and minus 15 percent of the actual cost. The cost estimate includes construction cost escalated to the midpoint

| Table 5-1: Project Cost Estimates |                 |  |
|-----------------------------------|-----------------|--|
| Item                              | Cost (millions) |  |
| Construction Costs                | \$139.0         |  |
| Engineering                       | \$30.1          |  |
| Administration                    | \$9.8           |  |
| Contingency                       | \$35.6          |  |
| Total Project Cost                | \$214.5         |  |
|                                   |                 |  |

of construction, engineering costs, administration costs, and a Project contingency of 20 percent. Procurement of easements for this Project is included as an administrative cost.

### 5.2 Revenues and Operating Expenses

Revenues necessary to fund the estimated construction costs, and O&M expenses for the improvements, are discussed in Sections 5.2.1 and 5.2.2.

#### 5.2.1 **Project Revenues**

The revenue necessary to fund the capital and operating costs for these facilities will be derived from a variety of sources, as discussed in this section.

#### Annual Charges for Service

The Metro District assesses annual charges for all member municipalities and special connectors for treatment services, termed "annual charges for service." Annual charges for service comprise the largest source of revenue for the District to fund its annual operating budget, debt service, capital needs, and other financial requirements. The cash flow schedule used to calculate annual charges for service is based on assumptions that provide relatively stable and predictable annual charges for

service increases while maintaining the District's strong financial base. The projected annual charges for service percentage increases based on the 2018 Budget are included in Table 5-2. These increases are not all directly related to construction of the SD Interceptor improvements, but include consideration for all projected expenditures for the District.

| Table 5-2: Projected Annual Charges<br>for Service Increases |         |  |  |
|--|---------|--|--|
| Year   | Percent |  |  |
| 2018-2019  | 2%      |  |  |
| 2019-2029  | 3%      |  |  |
| 2030–2039  | 4%      |  |  |

#### Additional Revenue

In addition to revenue from annual charges for service, the Metro District receives revenue from numerous other sources. Sewer connection charges are the largest of these sources and are imposed on all new or altered connections to the system. This revenue is used to offset capital costs and debt service costs for growth-related capital improvements. The District has forecasted \$1.21 million in revenue from sewer connection charges for the period 2019 through 2039.

Construction of this SD Interceptor project will generate additional capacity throughout the Metro District's transmission system and provide the opportunity, through its Member Municipalities and Special Connectors, for new connections to the system.

### 5.2.2 Operation and Maintenance Expenses

Initial O&M costs associated with the Project are estimated at approximately \$237,000 per year. These costs will include staffing and contracted services for maintenance (e.g., siphon cleaning) and miscellaneous vehicle and insurance costs to access the alignment. The only power costs associated with this Project will be those required to operate the odor control facility at the South Platte River siphon. O&M costs for manhole rehabilitation are assumed for future phases. The basis of design for the interceptor assumes a Fiberglass Reinforced Polymer Mortar (FRPM) pipe or other corrosion-resistant material with a 50-year design service life. Therefore, no slip-lining or major rehabilitation is assumed within the 50-year service life.

Maintenance of the new facilities will occur through the existing transmission system maintenance team, and additional employees will not be required for system maintenance.

O&M expenses will be included in the Metro District capital planning and will be funded though District revenues.

## 5.3 Debt and Method and Cost of Debt Service

The Metro District issued bonds in 2009 for \$250 million. Those bonds were rated AAA by Standard & Poors and Aa2 by Moody's. Two types of bonds were issued: standard tax-exempt bonds and Build America Bonds. The bonds funded various projects and improvements. In 2012, the District issued \$380 million of tax-exempt bonds to fund the construction of the NTP and other system improvements. The District is not planning to issue any additional bonds to fund projects in



the near future. Projects will be funded by revenue from annual charges for service and sewer connection charges.

## 5.4 Contracts or Agreements for Revenues or Services

The Metro District's Board of Directors is appointed by the chief executive officers of the Member Municipalities, with one Director for every 75,000 persons or fraction thereof in the Member Municipality's service area. The District and 22 Member Municipalities are signatories of the Service Contract, which describes the responsibilities of the District and the Member Municipalities. The additional 27 Special Connectors are served under individual agreements modeled after the Service Contract. Although Special Connectors do not have representation on the Board of Directors, they receive the same services as Member Municipalities at the same cost. The cost of transmission and treatment service is based on the amount (flow) and strength (loading) of the wastewater received from each connector.

## 5.5 Entities to Pay For, Use, or Benefit from the Project

The SD Interceptor will result in significant consolidation of wastewater treatment facilities and conveyance structures in the northeastern Denver metropolitan area, directly benefiting several of the Metro District member municipalities. The SD Interceptor will provide a conveyance system hydraulically downgradient from a significant portion of the District's northeastern service area. This area is currently a mix of upgradient and downgradient contributors, with the latter requiring lift stations to provide wastewater service. The SD Interceptor Project will allow the decommissioning of six wastewater lift stations, resulting in an overall improvement to the reliability and safety of the conveyance systems and a reduction in O&M costs. These facilities are listed in Table 5-3.

| Owner <sup>a</sup>   | Facility  |  |
|--|---|--|
| City of Brighton •   | East 120th Avenue/Peoria Street Lift Station          |  |
| City of Aurora •   | High Pointe Lift Station<br>Second Creek Lift Station |  |
| City and County of Denver •  | Denver Gateway Lift Station<br>DEN Lift Station No. 3 |  |
|  | Lift Station No. 2 <sup>b</sup>                       |  |
| <sup>a</sup> Does not include possible future decommissioning by County of its Regional Park Lift Stations 1 |   |  |

| Table 5-3: | Facilities | Planned | for De | commissioning        |
|------------|------------|---------|--------|----------------------|
|            |            |         |        | o o nini o o ronning |

a Does not include possible future decommissioning by County of its Regional Park Lift Stations 1 and 2. Flows could be routed to the SD Interceptor provided the County constructs the necessary infrastructure.

<sup>b</sup> Could be decommissioned in the future but decommissioning currently not planned. Note: WWTP = wastewater treatment plant

# 5.6 Cost of Mitigation Measures

The Metro District will continually work to minimize any adverse effects caused by this Project. In some instances, impact mitigation may be required; however, the extent of the mitigation is unknown at this time. The District is financially capable of funding reasonable mitigation measures using contingent funds within the Project construction budget.



# 5.7 Project Financing

Capital costs required for construction of the SD Interceptor are included in the *Ten-Year Capital Expenditure Schedule* (CES), which lists the Metro District's capital projects anticipated from 2019 through 2029. The CES reflects the current schedule and cost projections for capital projects and is updated twice a year. The CES was updated in January 2019, and will continue to be updated as the design progresses. The financing for this project would come from the District's capital improvement funds and would be distributed over the estimated design and construction schedule.



### 6.0 LAND USE (#17 ON CHECKLIST)

This section describes the existing and future land use in the SD Interceptor corridor and how the Project supports planned growth and benefits the community.

### 6.1 Land Use

Data sources used to characterize land use in the Project area include aerial photography, the Adams County Development Standards and Regulations (Adams County 2017), the Adams County Comprehensive Plan (Adams County 2012a), the Adams County Open Space Plan (Adams County 2012b), and geographic information system data.

### 6.2 Existing Land Use

Jurisdictional boundaries along the SD Interceptor alignment intermingle. As a result, there are multiple interceptor alignment segments within unincorporated Adams County. These segments are identified as Segments A through F on Figure 6-1.

Segment A of the SD Interceptor alignment (south of E-470 to west of U.S. Route [US] 85) as shown on Figure 6-1 traverses the eastern side of RDGC and turns east between East 124th and 120th Avenues. Land use within this portion of the alignment primarily consists of natural vegetation, recreation, floodplains, and agricultural use. Much of this segment resides within or adjacent to Adams County Regional Park. This 1,150-acre park provides important recreational, educational, and agricultural support for the surrounding communities. The park comprises the Adams County Fairgrounds, a large exhibit hall with meeting rooms, two golf courses, a nature preserve, fishing lakes, picnic grounds, a campground, a historic museum, county park, community resource offices, direct access to the South Platte River, and extensive lands that will be reclaimed for open space and recreational uses.

Segment B of the SD Interceptor alignment (east of US 85 to east of Peoria Street) is located between East 120th and East 124th Avenues. Land uses along this portion comprise agricultural and low-density residential uses. This segment parallels East 124th Avenue east to Peoria Street and into the City of Brighton.

Segment C of the SD Interceptor alignment (east of I-76 to East 112th Avenue) runs south, roughly paralleling State Highway (SH) 2. Land uses in this segment primarily consist of agriculture, natural habitat, and highway ROW associated with I-76 and SH 2.

Segment D of the SD Interceptor alignment (south of East 88th Avenue to Tower Road) runs southeast, roughly paralleling Second Creek. Land use in this segment consists of agriculture and the floodplain of Second Creek.

Segment E of the SD Interceptor alignment (south of East 81st Avenue to the Adams County/Denver line) runs south along the western side of Tower Road. Land use along this segment consists of agricultural pasture/grassland and natural vegetation.



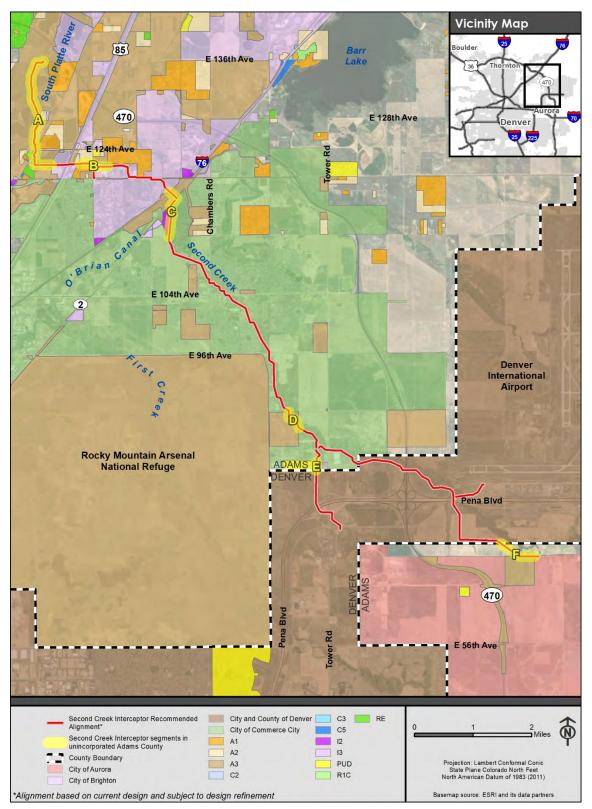


Figure 6-1: Current Land Use near SD Interceptor



Segment F of the SD Interceptor alignment (E-470 to Jackson Gap Street) is located south of DEN, roughly from Gun Club Road to North Elk Street. Land use in this segment consists of agriculture, floodplain, and natural vegetation.

### 6.2.1 Zoning within the Project Area

Most of the land within the Project corridor is zoned as agricultural (District A-1 or A-3), as shown on Figure 6-1. The purpose of the A-1 District is to support limited agricultural uses and provide a rural single-family dwelling district where the minimum lot area for a home site is intended to provide for a rural living experience. Farming uses permitted include the keeping of a limited number of animals for an individual homeowner's use. The purpose of the A-3 District is to offer land primarily in holdings of at least 35 acres for dryland or irrigated farming, pasturage, or other related food production uses (Adams County 2017).

Small areas located along the western side of Segment A are zoned as residential estate (RE). Areas zoned as RE serve exclusively as single-family detached residential districts for larger lots and larger homes in a spacious, open environment away from higher density uses, and where agricultural uses and the keeping of livestock are substantially restricted. Outdoor public uses are permitted in this area. The *Adams County Development Standards and Regulations* (Adams County 2017) describes permitted land uses for each zone district.

### 6.2.2 Future Land Use within the Project Corridor

The *Adams County Comprehensive Plan* (Adams County 2012a) guides the distribution and intensity of future growth for all areas within the County's unincorporated limits in conjunction with the goals, policies, and strategies established in the Comprehensive Plan and accompanying plans (unincorporated areas within the Project area are highlighted n Figure 6-2). In addition, the County will encourage new urban residential development primarily within unincorporated infill areas or within County and municipal growth areas, where it can be served by a full range of urban services. Nonresidential growth will be encouraged in strategic locations throughout the county, both incorporated and unincorporated. The Summary of Related Plans and Studies element of the Comprehensive Plan identifies areas within the Project area to transition to RE, leading to broader and more suburbanized uses from existing agricultural land (see Figure 6-2).

Planned developments in unincorporated Adams County include the careful development of the Riverdale Road Corridor along the South Platte River. According to the *Riverdale Road Corridor Plan* (Adams County 2005a) and the *South Platte River Heritage Plan* (Adams County 1997), future widening of Riverdale Road and creation of new vehicular access points are discouraged to avoid increasing vehicular traffic. This will minimize interference with current agricultural operations and help preserve the area's rural character.



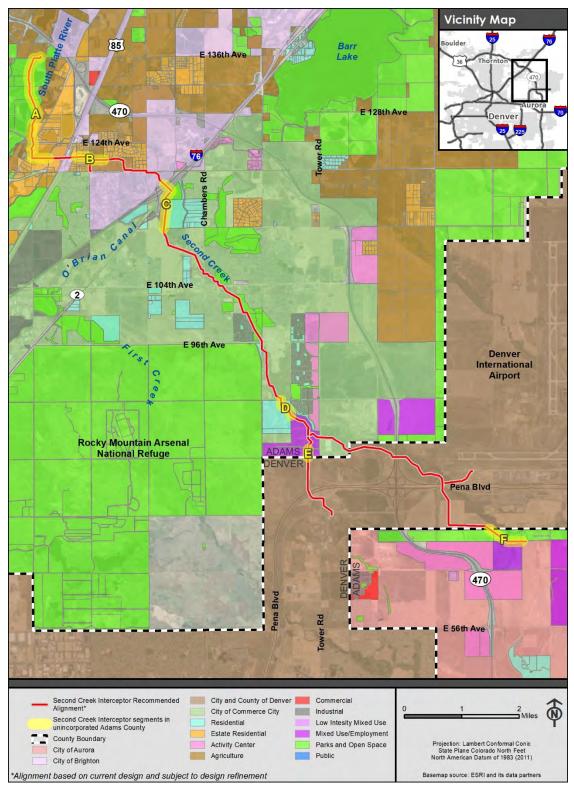


Figure 6-2: Future Land Use in the Project Corridor



The US 85 corridor is an important gateway for Brighton. While maintaining open space and farmland uses in this corridor is a primary objective, it is understood that water and sewer projects are planned to be located within this area, according to the *City of Brighton Comprehensive Plan* (Adams County 2009). The South Sub-Area Plan (Adams County 2005b), which is a more detailed part of the *City of Brighton Comprehensive Plan* (City of Brighton 2016), and the *Adams County and City of Brighton District Plan* (Adams County 2016) predict more opportunities for mixed-use development in the area east of the South Platte River and south of Brighton. Planned roadway improvements include an emphasis on north-south arterials, redesigning the Sable Boulevard and I-76 interchange, and a proposal for a new interchange at Potomac Street and E-470.

The growth boundary for Commerce City contains more than 68 square miles of land, 41 square miles of which are currently within Commerce City limits (City of Commerce City 2010). With the City expected to grow faster than any other in the region, future growth is planned to include large properties within the Northern Range along E-470 and north of DEN. The E-470 corridor provides motorists with the opportunity to bypass more congested roadways in Denver and the surrounding region.

Land use planning for the South Platte River corridor in the Project area includes residential, industrial, agricultural, and recreational uses. The area is important in terms of open space, environmentally sensitive areas, wildlife corridors and habitat, agricultural uses, and mineral extraction uses. The *South Platte River Heritage Corridor Plan* (Adams County 1997) seeks to provide a framework for preserving and enhancing the natural, cultural, and recreational qualities of the river corridor. Adams County plans to continue work on the Platte River Trail System, improve natural lands and wildlife habitat, and expand recreational opportunities while protecting the rural characteristics of the area. Additionally, the County plans to continue development of the RE properties along the eastern side of the South Platte River (Figure 6-2).

### 6.2.3 Compliance with Local Land Use Plans

The SD Interceptor Project is consistent with and supports Adams County land use policies and plans. Almost all direct Project effects on existing land uses will be temporary. The Project complies with or supports the *Adams County Comprehensive Plan* and the *South Platte River Heritage Corridor Plan*, both of which are discussed in the following paragraphs.

Adams County Comprehensive Plan (Adams County 2012a): This plan provides a concise statement of the County's objectives for future development within unincorporated areas of the County and in municipal growth areas. It establishes goals, policies, and strategies to guide decision making regarding growth; promotes intergovernmental coordination; promotes public and private investment; coordinates activities and investments, including transportation, open space, parks, trails, hazard identification and risk assessment; and accounts for neighborhood and subarea plans. In addition, the plan is to provide predictability for residents, property and business owners, school districts, and agencies.

The plan also promotes open space systems that conserve agricultural lands throughout the County; preserves and enhances important wildlife habitats and corridors; and protects and improves important natural and scenic resources, such as wetlands, floodplains, and unique land forms. The plan identifies corridors for trail development and open space conservation that link to the open space systems of adjacent counties and communities while retaining the natural, cultural, and



agricultural qualities of the County. The following key goals from the *Adams County Comprehensive Plan* are applicable to the SD Interceptor Project:

- Uphold Comprehensive Plan Water Goal (page 18): "Guarantee water quantity and quality to assure a continuing quality of life in Adams County." The purpose of this Project is to convey wastewater for multiple entities in the northeastern portion of the Metro District's service area.
- Meet Community Facilities and Services Goals (page 37): "The County intends to ensure that new urban development will not occur until adequate community facilities and services are available to serve the development." The Project will provide new regional infrastructure that will support growth in surrounding communities.
- Minimize Environmental and Health Risks (page 38): "Establish appropriate location and development criteria for landfills, power transmission lines, waste processing facilities, and other similar, potentially high-impact regional uses so that any associated environmental and health risks (as applicable) are minimized." The Metro District will operate with a contingency plan to repair leaks, and an ongoing maintenance plan to ensure that leakage is not an issue in the future as discussed in Section 10.4.2.
- **Conserve Natural Resources** (page 40): "Natural Resources policies promote conservation of important natural and cultural resources, such as rivers, streams, wetlands, and archeological sites and minimize damage due to development." The Project will minimize negative effects on natural resources by employing CMs, such as sediment and erosion control for disturbed ground.
- **Support Operational Efficiency** (page 45): "Continue to pursue goals related to increasing the efficiency related to internal county operations (e.g., reduced energy and fuel consumption, waste diversion) and revisit these goals as needed to establish new targets." The Project allows for the potential decommissioning of up to six existing lift stations and the conversion to gravity flow to reduce O&M costs.
- Follow Agricultural Lands Policy (page 52): "Maintain the integrity of sensitive agricultural lands by keeping non-rural commercial, estate residential, or other potentially disruptive uses separate from agricultural activities where necessary in order to preserve the county's agricultural economic base." (Adams County 2012a). This Project will temporarily impact agricultural lands in the Project area and will convert existing agricultural lands within the permanent easement to other land uses, including ancillary facilities and access roads for long-term maintenance of the facilities and interceptor.

South Platte River Heritage Corridor Plan: "Provides a strategic framework for preserving and enhancing the natural, cultural, and recreational qualities of the river corridor through Adams County" (Adams County 1997). Because the South Platte River comprises a significant number of valuable environmental resources, a specific study was completed to evaluate the preservation and enhancement of its corridor. The goals and objectives outlined in the South Platte River Heritage Plan are incorporated into the Adams County Comprehensive Plan. The general location of the SD Interceptor Project was selected to minimize environmental impacts from the construction and O&M activities.



Project effects on parks and recreation areas are discussed in Section 9.0. Potential effects on wetlands, floodplains, and riparian areas are discussed in Section 10.5. Wildlife impacts are discussed in Section 10.6.

## 6.3 Effects on Land Use Patterns

The Project will support planned growth in this part of unincorporated Adams County and in other locations. By providing services and facilities deemed critical to support planned and orderly development, the Project supports potential future recreational, industrial, residential, and commercial land uses in the area. The land use plans described above set forth policies and goals that guide the development of the Project and, therefore, its effects on land use patterns. With the implementation of the Project, land use patterns are expected to be consistent with county and municipality land use plans, which will be supported with the addition of wastewater conveyance improvements. Furthermore, construction of this Project is consistent with CDPHE and Denver Regional Council of Governments (DRCOG) policies that encourage regionalization and consolidation of wastewater treatment facilities.

Interceptor construction will impact the Adams County Regional Park and its associated recreational features. The primary temporary impact will be limited interruption of public use of the park's recreational facilities. Section 9.0 provides information about impacts on recreational properties. Additionally, construction of the SD Interceptor will result in temporary noise, visual, and dust impacts. Many of the remaining segments will affect agricultural lands as short-term impacts on growing crops or grazing pasture, but the effects will be temporary and limited to the construction season. After completion of the Project, no impacts on local residences, businesses, roadways, or the environment are anticipated.

Because the Project will support local agency policies and existing and future populations, the Project is considered to support future land use goals.

## 6.4 Surrounding Communities

Communities surrounding the Project have the potential to receive positive impacts because of the Project and other impacts from Project construction activities. Communities that the Project will cross will experience temporary noise, visual, and dust impacts during construction similar to those in unincorporated Adams County. These cities include Brighton, Commerce City, Aurora, and Denver. Areas where construction activities will take place are anticipated to experience construction impacts similar to those in unincorporated Adams County. The Project will require temporary easements for construction activities and will require permanent easements for ancillary facilities and gravel access roads for long-term maintenance of the facilities and the interceptor. Land use effects from the Project on existing or future land uses of these surrounding communities will be similar to those described for unincorporated Adams County. Impacts will be predominantly temporary and minor. Some existing land uses will be permanently converted to interceptor easement. The Project is designed to support planned development in the surrounding communities.

## 6.5 Farmlands within the Project Area

This section explains existing conditions and impacts associated with protected farmlands in the Project corridor.



### 6.5.1 Existing Conditions

As of 2012, Adams County had 841 individual farms and 690,528 acres of farmland. Grains such as wheat, corn, and millet are grown in large quantities and represent the bulk of the crops produced in the county (Adams County 2012a). According to the Natural Resources Conservation Service (NRCS), most of the protected farmlands located in the Project area fall under two classifications: Prime farmland if irrigated or prime farmland if irrigated with an erodibility index less than 60 (the erodibility index is the product of the climatic characterization of wind speed and soil moisture with the soil's susceptibility to wind erosion) (see Figure 6-3). Prime farmland is defined as land that has the best combination of physical and chemical characteristics for producing food, feed, forage, fiber, and oilseed crops. It can economically produce sustained high yields of these crops when treated and managed according to acceptable farming practices. A much smaller total of the Project area is categorized as farmland of statewide importance. The criteria for defining and delineating farmland of statewide importance are determined by the appropriate state agencies. Generally, this land includes areas of soils that nearly meet the requirements for prime farmland and that economically produce high yields of crops when treated and managed according to acceptable farming methods.

Crops that are grown in and around the Project area are split into two distinct groups: dryland and irrigated. Dryland crops in the area primarily consist of corn, wheat, sunflower, and millet. Irrigated crops in the Project area vary considerably but primarily consist of dry beans, onions, broccoli, small fruits, and cole crops such as lettuce, cabbage, and mustards (Gourd, pers. comm. 2019).

To preserve important farmlands (along with important open space, wildlife, and floodplains), Adams County has implemented a Transfer of Development Rights program (TDR). The program provides a method for developing real property in the agricultural area in a manner that is consistent with the *Adams County Comprehensive Plan* (Adams County 2012a). TDR can advance the preservation of agricultural lands along the Project alignment by preventing land designated as Natural Resource Conservation areas from being developed at an urban scale, while still providing an economic benefit to the landowners. Under the program, property owners granting a conservation easement may reap economic benefits not otherwise available to them because of current restrictions on development of their property. Important farmlands designated as Natural Resource Conservation areas by the TDR program are shown on Figure 6-3.

Most of Segments A, C, D, and F of the SD Interceptor alignment are located in lands classified as Natural Resource Conservation areas. Much of Segment B is on land that is classified as farmland of statewide importance. Segments D and E include lands classified as prime farmland if irrigated and prime farmland if irrigated with an erodibility index less than 60 (USDA NRCS 2019).

### 6.5.2 Impacts

Interceptor construction will temporarily impact some agricultural land in the area. The temporary impacts will occur in areas of interceptor installation and construction of ancillary facilities, such as metering stations, and in construction staging and access areas. After construction, there will be a permanent easement in the location of the interceptor and the ancillary facilities for long-term maintenance. Therefore, within unincorporated Adams County, the Project will result in the permanent conversion of 0.82 acre of prime farmland if irrigated, 0.22 acre of prime farmland if irrigated with an erodibility index less than 60, and 1.14 acres of farmland of statewide importance to gravel access roads for facility maintenance. The Project will not adversely impact the area's agricultural economy or the livelihood of individual farmers or farming operations.

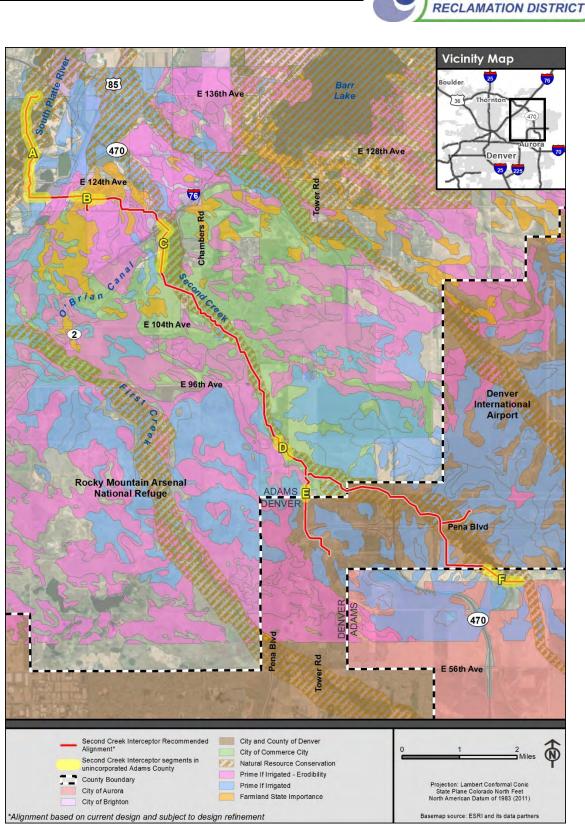


Figure 6-3: NRCS Designated Farmlands

METRO WASTEWATER



# 7.0 LOCAL GOVERNMENT SERVICES (#18 ON CHECKLIST)

# 7.1 Capacity of and Demand for Local Government Services

The existing capacity of and demand on local government services related to the SD Interceptor are described in this section. Although the AASI is only required for unincorporated areas of the County, demand on adjacent communities has been included for information and coordination purposes. In addition to the service demands, the Project will involve construction of facilities in unincorporated Adams County, including two metering stations and one odor control facility, that will have minor power requirements.

### 7.1.1 Adams County

#### Water and Wastewater Systems

Wastewater treatment for parcels in unincorporated Adams County near the SD Interceptor alignment is generally provided by single-parcel septic systems, the District's NTP in Weld County, Brighton, Aurora, or SACWSD.

#### Fire Departments and Emergency Services

Most of the SD Interceptor alignment within the County is located within the boundaries of the South Adams County Fire Protection District (SACFPD). The SACFPD serves more than 72 square miles of Commerce City and Henderson, and is protected by eight fire stations. Ambulance services for the SACFPD are provided by Northglenn Ambulance, which is housed in five different fire stations within the district. SACFPD is part of the North Area Technical Rescue Team, which includes services in the following specialties: rope rescue, confined space rescue, trench rescue, and collapse rescue.

The remaining portion of the project area is located within the boundaries of the Greater Brighton Fire Protection District (GBFPD) and Sable-Altura Fire Protection District (SAFR). The GBFPD has five fire stations and covers 150 square miles, including the city of Brighton. Ambulance services for the GBFPD are provided by Platte Valley Medical Center, where two of the fire station ambulances are housed. The SAFR district covers 26 square miles a largely volunteer department and is part of the I-70 corridor fire departments that protect areas, such as in northern Aurora, DEN Airport, and parts of unincorporated Adams County. With one station, this district has its own fire academy and provides 24/7 Advanced Life Support care.

#### Law Enforcement

Adams County is policed by the Adams County Sheriff's Office. The sheriff's office includes the following services: Administrative Services, Detective Division, Jail Division, Patrol Division, and Professional Standards.

#### Roads and Transportation

Major road intersections near the Project area include SH 2, I-76, US 85, and E-470 (see Section 7.3 for more information on Transportation Networks).



#### Housing

According to DRCOG (2016), Adams County has a population of about 500,000 people with about 166,000 housing units. The median home value is \$216,700.

#### <u>Schools</u>

The SD Interceptor will be developed in two school districts: Denver Public Schools and 27J Brighton School District. Denver Public Schools was not assessed for existing capacity or demand because the SD Interceptor will be developed in the DEN area of Denver and not near residential areas.

The 27J Brighton School District covers 212.4 square miles with 26 schools. This district educates more than 18,000 students from Brighton, Commerce City, Aurora, Lochbuie, Thornton, and portions of South Adams County.

### 7.1.2 South Adams County

#### Water and Wastewater Systems

SACWSD has a service area of 65 square miles and currently operates the Williams Monaco WWTP and the Klein Water Treatment Facility. The SACWSD receives treated surface water from Denver Water and operates 11 wells that draw from the alluvial aquifer tributary to the South Platte River, and eight deep wells that draw from the Arapahoe Formation (SACWSD 2019).

The Williams Monaco WWTP was last upgraded in 2004 with a rated capacity of 8 mgd and is near capacity. The Klein Water Treatment Facility was built in 1989 and is capable of providing 12 mgd. The Klein Water Treatment Facility pumps water from eight of the District's shallow wells, which is then mixed with water from Denver Water before delivery to potable storage reservoirs. The facility has ongoing renovations to increase the capacity (SACWSD 2019).

Well locations and other current water supply systems are described in Section 13.0.

### 7.1.3 City of Brighton

#### Water and Wastewater Systems

Brighton serves a 27-square-mile area with water usage of 2.5 mgd, with peak demands reaching more than 11 mgd. Groundwater from the South Platte and Beebe Draw aquifer systems is the predominant water resource for the city and for its potable water supply. Brighton currently obtains its water from 12 wells. The water is pumped to one of two water treatment plants, where groundwater drawn from the South Platte is treated at the reverse osmosis treatment plant, while groundwater drawn from the Beebe Draw is treated at the Greensands filter plant. Then, the treated water is sent to four different water storage tanks before entering the distribution system. Brighton also has a permanent lease agreement with the City of Westminster for the delivery of up to 2 mgd of treated water from the City of Thornton distribution system (City of Brighton 2018).

Brighton treats wastewater at its WWTP, the Metro District's NTP, or the Lochbuie WWTP. No upgrades to Brighton's WWTP are planned because the facility will be phased out over a 20-year period as flows are diverted to NTP over time.



#### Fire Departments and Emergency Services

Fire protection for Brighton is provided by the GBFPD (see Section 7.1.1).

#### Law Enforcement

Brighton's Police Department serves more than 33,000 residents and is divided into the following divisions: Police Administration, Patrol Division, Investigations Division, Professional Standards and Training, Support Services Division, and Juvenile Services Division.

#### Roads and Transportation

Three major roads (E-470, US 85, and I-76) pass through Brighton, which are maintained by Colorado Department of Transportation (CDOT) and the E-470 Highway Authority. Brighton's Public Works Department maintains more than 300 miles of streets within the city limits.

#### Housing

According to DRCOG (2016), Brighton has a population of about 38,000 people with 11,500 housing units. The median home value is \$214,500.

#### <u>Schools</u>

Brighton is served by the 27J Brighton School District (see Section 7.1.1).

# 7.1.4 City of Commerce City

#### Water and Wastewater Systems

Commerce City is within the jurisdiction of SACWSD (see Section 7.1.2).

#### Fire Departments and Emergency Services

Commerce City is within the jurisdiction of SACFPD (see Section 7.1.1).

#### Law Enforcement

Commerce City is policed by the Commerce City Police Department. The department services include patrol and support operations, and it employs 125 sworn and civilian employees.

#### Roads and Transportation

Commerce City has nearly 280 lane-miles of roadway within the City, with Tower Road. E. 120<sup>th</sup> Ave and SH 2 being the main roads near the SD Interceptor alignment.

#### Housing

According to DRCOG (2016), Commerce City has a population of about 54,000 people with 15,900 housing units. The median home value is \$228,500.

#### <u>Schools</u>

Portions of Commerce City are served by the 27J Brighton School District (see Section 7.1.1).



#### Solid Waste

Tower Road Landfill, owned by Republic Services, receives the solid waste from Commerce City and is located south of the SD Interceptor alignment.

# 7.1.5 City of Aurora

#### Water and Wastewater Systems

Aurora receives 95 percent of its water from surface water sources and 5 percent from deep aquifer groundwater wells. The City has 12 reservoirs and more than 156,000 acre-feet of water storage. Aurora currently has three water purification facilities (WPFs): Griswold, Wemlinger, and Binney. The rated capacity of Griswold and Wemlinger WPFs is 80 mgd. Binney WPF has a rated capacity of 33.3 mgd for the Aurora Reservoir Train and 50 mgd for the South Platte Train. Wastewater flows from Aurora are treated at RWHTF and the Sand Creek Water Reclamation Facility, with a capacity of 5 mgd (City of Aurora 2018).

#### Fire Departments and Emergency Services

A portion of the Project area lies within the Aurora Fire Rescue (AFR) jurisdiction. AFR currently has 15 fire stations and approximately 400 members. The fire station closest to the Project area is Station 12. AFR currently employs Falck Rocky Mountain emergency medical technicians and paramedics for ambulance services.

A portion project area in city of Aurora also lies within the Sable-Altura Fire Protection District.

#### Law Enforcement

Aurora is policed by the Aurora Police Department. The department currently employs 714 officers and 232 civilians and has five main divisions: Operations Division, Metro Division, Compliance and Professional Standards Division, Business Services Division, and Public Safety Communications Division.

#### Roads and Transportation

The SD Interceptor will connect to Second Creek Lift Station, which is near E-470 and 64th Avenue.

#### Housing

Aurora has a population of around 362,000 people with 132,000 housing units. The median home value is \$206,500.

#### <u>Schools</u>

No schools or residential areas in Aurora are near the SD Interceptor alignment.

### 7.1.6 City and County of Denver

#### Water and Wastewater Systems

Denver Water's source water collection system covers about 2.5 million acres and extends into more than eight counties. They have 15 reservoirs and more than 692,000 acre-feet of water storage.



Denver Water's three major treatment plants are Marston, Moffat, and Foothills with rated capacities of 250 mgd, 185 mgd, and 280 mgd, respectively

DEN and other portions of Denver near the SD Interceptor alignment currently send their wastewater to the RWHTF for treatment. With the installation of the SD Interceptor, wastewater from the northeast connectors, such as DEN, will be diverted to NTP for treatment, which is also owned and operated by Metro District.

#### Fire Departments and Emergency Services

Denver is within the Denver Fire Department jurisdiction. The department has more than 900 firefighters with 38 fully staffed fire stations and is organized into the following divisions: Operations, Fire Prevention, Technical Services, Administration, Safety and Training, and DEN. The Denver International Division consists of four stations with 25 firefighters. The Denver Health Paramedic Division is the sole provider of emergency medical services for Denver. The fire stations closest to the SD Interceptor alignment are Fire Stations 29 and 35.

A portion of the project area in City and County of Denver lies within the Sable-Altura Fire Protection District.

#### Law Enforcement

Denver is policed by the Denver Police Department, which has five stations, with District 5 being the closest to the SD Interceptor alignment. The department is organized into more than 100 divisions, including Administrative Management Division, Airport Police Division, Air Support Unit, City Enforcement Unit, Highway/Hazardous Materials Unit, and Traffic Operations Section.

#### Roads and Transportation

The SD Interceptor will cross the following main roads in Denver near DEN: E-470, Peña Boulevard, and Tower Road. Additionally, the SD Interceptor will run under the Regional Transportation District (RTD) Eagle Commuter Rail A-Line that connects Union Station to DEN in two places.

### Housing

Denver has a population of about 700,000 people with 300,000 housing units. The median home value is \$292,700.

### <u>Schools</u>

No schools in Denver are near the SD Interceptor alignment.

# 7.2 Impacts and Effect of Project on Governmental Services

SD Interceptor impacts on local governmental services, such as emergency services, road and transportation, and infrastructure, will be temporary and will occur during interceptor construction. Other local governmental services, such as housing and education, are typically influenced by immigration/emigration within their jurisdictions, funding, or service changes. No permanent immigration or emigration is expected to occur in the region as a direct result of the Project. Most construction employment likely will be provided by local workers and will not add permanent housing or schooling burden to the local community. However, temporary relocation of workers



may be required for more specialized services, such as trenchless construction work, and may cause a temporary population increase for the surrounding community.

The Project will provide a long-term positive impact on wastewater services provided by surrounding communities in the District's northeastern service area: SACWSD, Brighton, Aurora, Denver, and DEN. The SD Interceptor will allow the decommissioning of six wastewater lift stations, resulting in an overall improvement to the reliability and safety of the conveyance systems and a reduction in O&M costs.

Overall, the SD Interceptor will have either no or minimal permanent effects on local governmental services. These effects are summarized in Table 7-1 and discussed for each local governmental entity in Sections 7.2.1 through 7.2.6.

|                 |  |  | Geveniment  |  |  |  |
|-----------------|--|--|---|--|--|--|
| Service Impacts |  |  |   |  |  |  |
| Adams<br>County | SACWSD   | City of<br>Brighton  | Commerce<br>City  | City and<br>County of<br>Denver  | City of<br>Aurora  | Denver<br>Inter-<br>national<br>Airport  |
| Enhancement     | Enhancement  | Enhancement  | Enhancement   | Enhancement  | Enhancement  | Enhancement  |
| Negligible      | N/A  | Negligible   | Negligible  | None   | None   | None   |
| Negligible      | N/A  | Negligible   | Negligible  | None   | None   | None   |
| Negligible      | N/A  | Negligible   | Negligible  | Negligible   | Negligible   | Negligible   |
| Negligible      | N/A  | Negligible   | Negligible  | None   | None   | None   |
| None            | N/A  | None   | None  | None   | None   | None   |
|                 | Adams<br>County<br>Enhancement<br>Negligible<br>Negligible<br>Negligible | Adams<br>CountySACWSDEnhancementEnhancementNegligibleN/ANegligibleN/ANegligibleN/A | Adams<br>CountyCity of<br>BrightonEnhancementEnhancementEnhancementNegligibleN/ANegligibleNegligibleN/ANegligibleNegligibleN/ANegligibleNegligibleN/ANegligibleNegligibleN/ANegligibleNegligibleN/ANegligible | Adams<br>CountySACWSDCity of<br>BrightonCommerce<br>CityEnhancementEnhancementEnhancementEnhancementNegligibleN/ANegligibleNegligibleNegligibleN/ANegligibleNegligibleNegligibleN/ANegligibleNegligibleNegligibleN/ANegligibleNegligibleNegligibleN/ANegligibleNegligibleNegligibleN/ANegligibleNegligible | Adams<br>CountySACWSDCity of<br>BrightonCommerce<br>CityCity and<br>County of<br>DenverEnhancementEnhancementEnhancementEnhancementEnhancementNegligibleN/ANegligibleNegligibleNoneNegligibleN/ANegligibleNegligibleNoneNegligibleN/ANegligibleNegligibleNoneNegligibleN/ANegligibleNegligibleNoneNegligibleN/ANegligibleNegligibleNoneNegligibleN/ANegligibleNegligibleNone | Adams<br>CountySACWSDCity of<br>BrightonCommerce<br>CityCity and<br>County of<br>DenverCity of<br>AuroraEnhancementEnhancementEnhancementEnhancementEnhancementEnhancementNegligibleN/ANegligibleNegligibleNoneNoneNegligibleN/ANegligibleNegligibleNoneNoneNegligibleN/ANegligibleNegligibleNoneNoneNegligibleN/ANegligibleNegligibleNoneNoneNegligibleN/ANegligibleNegligibleNoneNoneNegligibleN/ANegligibleNegligibleNoneNone |

### Table 7-1: Impacts on Local Governmental Services

### 7.2.1 Adams County

#### Fire Departments and Emergency Services

There will be no permanent increase in demand on SACFPD and SAFR, but there is a possibility of slight increase in demand on emergency services during construction.

#### Law Enforcement

There will be no permanent increase in demand and negligible impact on the Adams County Sheriff's Office, but increased traffic may slightly increase demand on the patrol division during construction.

#### Road and Transportation

The capacity of and demand for roads and transportation will not be permanently affected by the Project, but some lane closures during construction could lead to temporary increases in traffic congestion (see Section 7.3for transportation impacts during construction).



### Housing

The capacity of and demand for housing near the SD Interceptor alignment will not be directly affected. There is a chance that some workers hired during construction may move to Adams County to work within commuting distance. However, this Project is not anticipated to have a net permanent effect on the capacity of and demand for housing.

#### <u>Schools</u>

The capacity of and demand for schools near the SD Interceptor alignment in unincorporated Adams County will not be permanently affected. In addition, no temporary impacts are anticipated to schools in the unincorporated portions of the County.

# 7.2.2 South Adams County

#### Water and Wastewater Systems

The SD Interceptor Project is anticipated to positively impact SACWSD. The SD Interceptor will divert flows in the lower Second Creek Basin from the Williams Monaco WWTP to NTP. This diversion will preserve the capacity of the Williams Monaco WWTP to support future growth in its existing service area. Additionally, the potential decommissioning of Lift Station No. 2 (see Section 5.5) would reduce wastewater flows into the Williams Monaco WWTP, eliminate the need for capacity upgrades, and eliminate O&M of the lift station.

# 7.2.3 City of Brighton

#### Water and Wastewater Systems

The SD Interceptor Project is anticipated to positively impact Brighton wastewater service. The SD Interceptor will increase the wastewater flow to NTP and reduce the amount of flow into the Brighton WWTP. The Brighton WWTP will be decommissioned no later than 2036. In addition, the East 120th Avenue/Peoria Lift Station will be decommissioned, and flows will be diverted from the Brighton WWTP to NTP via gravity.

#### Fire Departments and Emergency Services

There will be no permanent increase in demand upon GBFPD, but demand on emergency services may slightly increase during construction.

#### Law Enforcement

Increased construction traffic likely will cause a slight temporary increase in demand on the Brighton Police Department patrol division during construction, but no permanent increase in demand will occur.

#### Road and Transportation

The capacity of and demand for roads and transportation will not be permanently affected because of the Project, but potential lane closures during construction may lead to temporary increases in traffic (see Section 7.3 for transportation impacts during construction).



#### Housing

The capacity of and demand for housing near the SD Interceptor alignment will not be affected directly. There is a chance that some workers hired during construction may move to the Greater Brighton area to work within commuting distance; however, it is not anticipated that this Project will have a net permanent effect on the capacity of and demand for housing.

#### <u>Schools</u>

The capacity of and demand for schools near the SD Interceptor alignment will not be affected. Construction of the SD Interceptor in the vicinity of Prairie View Middle School and Prairie View High School will be during summer months when school is not in session.

# 7.2.4 City of Commerce City

#### Water and Wastewater Systems

A portion of Commerce City's wastewater flows will be conveyed in the SD Interceptor which will foster development and retain capacity at SACWSD's Williams Monaco WWTP.

#### Fire Departments and Emergency Services

There will be no permanent increase in demand upon SACFPD, but demand on emergency services may slightly increase during construction.

#### Law Enforcement

Increased construction traffic likely will cause a slight temporary increase in demand on the patrol division during construction, but no permanent increase in demand will occur.

#### Road and Transportation

The capacity of and demand for roads and transportation will not be permanently affected by the Project, but potential lane closures during construction may lead to temporary increases in traffic (see Section 7.3 for transportation impacts during construction).

#### Housing

The capacity of and demand for housing near the SD Interceptor alignment will not be affected directly. There is a chance that some workers hired during construction may temporarily move to Commerce City to work within commuting distance; however, it is not anticipated that this Project will have a net permanent effect on the capacity of and demand for housing.

#### <u>Schools</u>

The capacity of and demand for schools near the SD Interceptor alignment will not be permanently affected. Construction of the SD Interceptor in the vicinity of a school will be delayed until the summer when school is not in session.

### 7.2.5 City of Aurora

#### Water and Wastewater Systems

The SD Interceptor is anticipated to positively affect Aurora's wastewater service. Wastewater flows will be diverted from the Second Creek Lift Station and connected to the SD Interceptor to convey



flows to NTP via gravity. This use of gravity will allow Aurora to decommission the lift station. In addition, the High Pointe Lift Station will be eliminated after the future First Creek Interceptor ties into the SD Interceptor via gravity. Gravity conveyance provides greater operational reliability, as lift stations require an uninterrupted power supply and equipment operation to successfully deliver flows. A power outage or equipment failure can result in sewer flow backups, causing odor complaints, and in the worst cases, sewer overflows.

Aurora's Sand Creek Water Reclamation Facility will remain in operation and most of the existing service area's wastewater will continue to be treated at RWHTF.

#### Fire Departments and Emergency Services

There will be no permanent increase in demand upon the AFR and SAFR, but demand on emergency services may increase slightly during construction.

#### Law Enforcement

Increased construction traffic likely will cause a slight temporary increase in demand on the patrol division during construction near Peña Boulevard and E-470, but no permanent increase in demand will occur.

#### Road and Transportation

The capacity of and demand for roads and transportation will not be permanently affected by the Project, but potential lane closures during construction may lead to temporary increases in traffic (see Section 7.3 for transportation impacts during construction).

#### Housing

The capacity of and demand for housing near the SD Interceptor alignment will not be affected.

#### <u>Schools</u>

The capacity of and demand for schools near the SD Interceptor alignment will not be affected.

### 7.2.6 City and County of Denver/Denver International Airport

#### Water and Wastewater Systems

The SD Interceptor will accept wastewater flows from Denver and DEN and convey the flows by gravity via the SPI to the NTP. The SD Interceptor will provide a gravity solution for wastewater flow in the upper and lower Second Creek Basin to NTP while preserving capacity at RWHTF to support future growth in its existing service area and defer capacity expansions.

The Gateway Lift Station, which ties the First Creek Interceptor segment to the SD Interceptor, and DEN's Lift Station No. 3 will be decommissioned in the future.

#### Fire Departments and Emergency Services

There will be no permanent increase in demand upon the Denver Fire Department and SAFR, but demand on emergency services may slightly increase during construction.



#### Law Enforcement

Increased construction traffic likely will cause a slight temporary increase in demand on the patrol division during construction near Peña Boulevard, but no permanent increase in demand will occur.

#### Road and Transportation

The capacity of and demand for roads and transportation near the SD Interceptor alignment will not be permanently affected, but there is a chance of lane closures during construction, which will lead to temporary increases in traffic (see Section 7.3 for transportation impacts during construction). In addition, the RTD A-Line will not experience closures during construction.

#### Housing

The capacity of and demand for housing near the SD Interceptor alignment will not be affected.

#### <u>Schools</u>

The capacity of and demand for schools near the SD Interceptor alignment will not be affected.

# 7.3 Potential Effect on Transportation Networks

During Project construction, temporary effects on existing transportation networks are anticipated from the increased commuting traffic from construction workers and delivery of materials. Also, construction in areas where the interceptor runs adjacent to or across existing roads likely will require lane closures. These temporary effects will be coordinated with each governing agency to minimize disruption.

The SD Interceptor will enable the decommissioning of six lift stations, which will reduce maintenance traffic to these facilities.

### 7.3.1 Road Impacts

To support interceptor construction, traffic control plans will be developed by the Metro District's contractor and coordinated with each governing agency for each affected transportation network. Minor roadways in unincorporated Adams County, including Oakland and Peoria Street, will be open cut. To limit impacts and construction duration, temporary road closures with detours are likely. Where possible, one lane of traffic in each direction will be maintained, or providing a flagger to maintain one-lane, head-to-head traffic around the construction, depending on the existing roadway width. If interceptor trenching occurs under the existing pavement, the contractor will coordinate with the Adams County Public Works Department to determine the proper resurfacing treatment, depending on the field conditions.

Major roadways, including Brighton Road, Henderson Road, E. 120th Ave, US 85, and SH 2 will be tunneled to reduce effects on traffic. In addition, crossings of the Union Pacific Railroad (UPRR) and BNSF Railroad will be completed with trenchless methods of construction. Because trenchless construction methods minimize aboveground disturbance, no traffic disruptions will be expected along major traffic corridors where these methods are employed. Although effects on traffic are not anticipated, minor diversions to locate utilities and protect workers on the shoulder of the road may occur.

Construction parallel to the roadway will be minimized through alignment optimization. If construction parallel to roadways is required, construction will occur outside of the existing



pavement and will be limited to the shoulder or to temporary closure of one traffic lane per the traffic control plan.

There will be no permanent effects on the existing roadways. During construction, the Metro District a will provide public outreach and information to citizens regarding the construction and will respond to citizens' concerns regarding the Project.

# 7.3.2 Construction-Related Traffic

Increased traffic is anticipated during construction as a result of construction equipment and materials being transported both onsite and offsite. Also, minor increases in traffic volumes will occur from construction workers traveling to, from, and along the interceptor alignment during construction.

The Metro District has coordinated with CDOT, Adams County, Brighton, and Commerce City to determine which roads can be open-cut trenched and which roads will require trenchless construction methods. An example of trenchless installation is shown on Figure 7-1.

Trenchless construction methods are shown on Figure 7-1.



Microtunneling

Auger Bore

Figure 7-1: Example Trenchless Construction Method

Other roadway crossings will be coordinated throughout the design and construction process. Some will require that construction hours be limited to certain times of the day (such as keeping lanes open on major transportation corridors during peak hours). These details will be coordinated with the governing agency of each roadway.

In areas with lower traffic volumes, detours or temporary lane closures may be used in accordance with detour plans and traffic control plans that incorporate the most recent standards in the *Manual* on Uniform Traffic Control Devices (FHWA 2012). Additionally, contractors will be required to provide continual access to local residents and businesses affected by such closures. Table 7-2 shows anticipated roadway and railroad crossings and the anticipated construction methods and governing agencies.

| Anticipated Construction |  |   |  |  |  |  |
|--------------------------|--|---|--|--|--|--|
| Туре                     | Method   | Governing Agency  |  |  |  |  |
|                          |  |   |  |  |  |  |
| Collector                | Tunnel   | Adams County  |  |  |  |  |
| Local                    | Tunnel   | Adams County  |  |  |  |  |
| Collector                | Open Cut   | Adams County  |  |  |  |  |
| Collector                | Open Cut   | Adams County  |  |  |  |  |
| Collector                | Tunnel   | Adams County  |  |  |  |  |
| Expressway               | Tunnel   | Brighton  |  |  |  |  |
| Expressway               | Tunnel   | CDOT  |  |  |  |  |
|                          |  |   |  |  |  |  |
| Railroad                 | Tunnel   | Union Pacific   |  |  |  |  |
| Railroad                 | Tunnel   | Burlington Northern Santa Fe  |  |  |  |  |
|                          | A<br>Type<br>Collector<br>Local<br>Collector<br>Collector<br>Collector<br>Expressway<br>Expressway<br>Expressway | TypeMethodCollectorTunnelLocalTunnelCollectorOpen CutCollectorOpen CutCollectorTunnelExpresswayTunnelExpresswayTunnelRailroadTunnel |  |  |  |  |

# Table 7-2: Second Creek Interceptor Anticipated Project Road Crossings within unincorporated Adams County

# 7.3.3 Gravel Access Roads

The Metro District will seek to use existing access paths or roads to construct the SD Interceptor and for future maintenance. Permanent and temporary gravel access roads will be constructed, as necessary, and coordinated with the County's master planned trail system to provide the required access for the District's maintenance vehicles and equipment, taking into consideration public safety, environmental considerations, and land use, among others, to preserve the overall character of the area. The location and duration of the gravel access roads will be negotiated during the easement acquisition process. The overall construction approach strengthens the District's 50-year legacy of environmental stewardship.

Multipurpose gravel access roads that serve as community trails may be provided along the South Platte River and Second Creek. This trail system will be evaluated for use as maintenance access for the manholes along the interceptor and improved as needed to facilitate access within open spaces. Additionally, in open space areas where trails do not yet exist, the Metro District will work with the governing agency to provide gravel access roads that serve a dual benefit as public access trails. Other temporary gravel access roads may be constructed but will be removed, and the area will be restored by the contractor upon completion of the interceptor.

# 7.4 Conformance with Adams County Engineering Standards

The Metro District and its contractor will coordinate with Adams County Public Works Department to identify additional technical documentation, such as pavement design reports, drainage reports, stormwater management plans, erosion and sediment control plans, and traffic studies that may be required as part of the design review process. Additionally, in-place infrastructure unintentionally damaged by installation of the interceptor will be repaired at the contractor's expense.



# 8.0 FINANCIAL BURDEN ON COUNTY RESIDENTS AND LOCAL ECONOMY (#19 AND #20 ON CHECKLIST)

# 8.1 Financial Burden on County Residents

As discussed in Section 1.1, the Project is part of a larger plan – outlined in the RMP – to provide cost effective wastewater service to the Metro District's members. Chapter 5.0 discusses the financial feasibility of the Project, with Section 5.2 specifically addressing revenues and operating expenses. Chapter 7.0 discusses effects and demands on local government services. In sum, the Project is not anticipated to increase the existing tax burden and fee structure for government services applicable to County residents and property owners. Any effects to tax burden and fee structure are anticipated to be beneficial.

# 8.2 Local Economy

The economy in Adams County has a wide array of industry sectors, types of labor, and resources. Adams County's main economic sectors include construction, transportation, retail, healthcare, manufacturing, hospitality, and education. According to the U.S. Bureau of Labor Statistics (BLS), the unemployment rate in Adams County was 4.1 percent as of December 2018, which is comparable to the State of Colorado's average of 3.8 percent. Specifically, the unemployment rates for Brighton, Commerce City, Denver, and Aurora are 4.0, 4.2, 3.7, and 4.2 percent, respectively (BLS 2018a).

# 8.3 Impacts and Effects of Project on Economy

It is not anticipated that the Project will have a net permanent effect on the local economy. The Project will be operated and maintained by Metro District staff.

Most of the SD Interceptor Project will be in agricultural lands or adjacent to Second Creek, but some of the alignment will be near local businesses that rely on the main thoroughfares. Project construction may temporarily affect these businesses, and the Metro District will coordinate with these affected businesses throughout the design and construction phases to minimize adverse effects.

During SD Interceptor construction, temporary economic stimulus is expected to occur for local retail establishments, such as restaurants, grocery stores, and gas stations, but increases are expected to be minor and will not be permanent.

# 8.4 Potential Jobs Created as a Result of the Project

Overall, the construction of the SD Interceptor will create temporary construction-related employment for the duration of the construction.

# 8.5 Income Potential as a Result of the Project

The average construction wage in Adams County was \$1,235 per week in third quarter 2018, with a location quotient of 2.18 (BLS 2018b). This means that Adams County has a greater concentration of construction employment than the national average. The average trade, transportation, and



utilities wage in Adams County was \$951 per week in third quarter 2018, with a location quotient of 1.45. These wages are expected to be higher for more skilled labor, and less for unskilled labor. It is anticipated that this Project will not result in permanent jobs creation or permanent changes in income potential.

Other economic sectors, such as local retail establishments, may experience a temporary increase in revenue during the construction of the SD Interceptor, but the increase will be negligible, and there will be no net permanent effect on income potential.



# 9.0 **RECREATIONAL OPPORTUNITIES (#21 ON CHECKLIST)**

This section highlights recreational opportunities near the SD Interceptor alignment, which includes sporting facilities, picnic and entertainment areas, trails, nature appreciation locations, educational opportunities, and cultural resource sites.

# 9.1 Existing Recreational Facilities

This section discusses recreational facilities located in unincorporated Adams County. There are municipal, county, and state parks, as well as open space areas and multi-use trails. County recreational facilities within the Project area are described from north to south in Table 9-1 and shown on Figure 9-1.

| Facility                    | Jurisdiction | Location               | Description   |
|-----------------------------|--------------|------------------------|---|
| Parks and Oper              | n Spaces     |                        |   |
| Regional Park               | Adams County | 9755 Henderson<br>Road | A park of 1,550 acres that includes the Adams County<br>Fairgrounds, two golf courses, nature preserve, fishing<br>pond, picnic grounds, camping areas, and many other<br>recreational and educational opportunities.   |
| Existing Trails             |              |                        |   |
| South Platte<br>River Trail | Adams County | Multiple locations     | Concrete multi-use trail that is a part of the Colorado<br>Front Range Trail system. The South Platte River Trail<br>connects to several other trails. The trail runs through<br>the natural area alongside the river and past several<br>lakes, residential neighborhoods, local parks, golf<br>courses, industrial areas, commercial districts, and<br>designated open space. |
| Kucera Trail                | N/A          | Multiple locations     | Natural path trail through rural parts of Adams and Denver Counties.  |

#### Table 9-1: Existing County-Owned Recreational Facilities in Unincorporated Adams County

Note:

N/A = not available



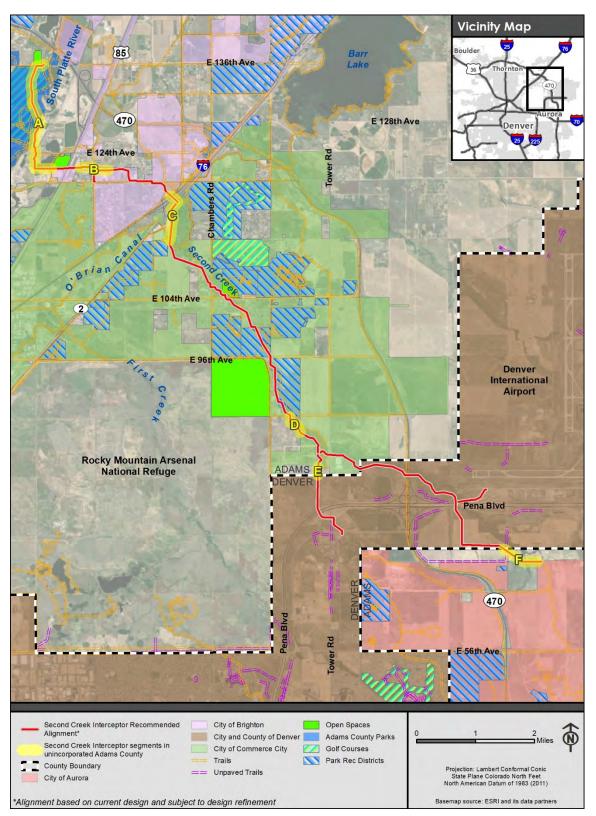


Figure 9-1: Parks and Trails



# 9.2 Impacts and Net Effect on Land Use Patterns

Impacts on parks, trails, and recreational facilities will be temporary and will occur during the construction phase of the Project. No permanent impacts are anticipated.

Segment A will temporarily affect the Regional Park, the RDGC, AHDGC, and the South Platte River Trail. Open-cut construction activities will temporarily affect the park and trail; however, no other recreational facilities within the parks will be affected. Full recreational value will be restored to the property after completion of the Project. Work near the golf course will follow a maintenance corridor up to the golf course fairways and continue to 136<sup>th</sup> Ave . Also, construction activities at the golf course will be completed during the off-season to minimize impacts on golf course users. No long-term direct or indirect effects are anticipated.

Users of the South Platte River Trail will be temporarily rerouted in two locations south of the Fishing Is Fun Pond for approximately four months to accommodate interceptor construction. Signage will be used to direct trail users. There will be no long-term impacts on the trail.

Open-cut construction activities used in Segment F will temporarily impact the Kucera Trail. Users of the Kucera Trail in the construction area will be temporarily rerouted to accommodate interceptor construction. Signage will be used to direct trail users. There will be no long-term impacts on the trail.

Users of nearby recreational areas and trails may be temporarily affected by noise and dust during construction of the Project. Parks and trails will be restored to their preconstruction condition after construction is completed.



# **10.0** Environmental Impact Analysis (#22 on Checklist)

This section discusses potential environmental effects from Project construction and operation. The extents of the evaluation corridor vary depending on the Project activity.

# 10.1 Air Quality

The U.S. Environmental Protection Agency (EPA) has established National Ambient Air Quality Standards (NAAQS) (EPA 2016) for six criteria pollutants to protect the public from the health hazards associated with air pollution. These six criteria pollutants are carbon monoxide, ozone, nitrogen dioxide, sulfur dioxide, particulate matter less than 2.5 microns in diameter and less than 10 microns in diameter (PM<sub>2.5</sub> and PM<sub>10</sub>), and lead. The State of Colorado has adopted the NAAQS for the above criteria pollutants. The NAAQS are shown in Table 10-1.

| I                                       | able 10-1: National Amplent Air           | Quality Standards |                       |  |
|---|---|-------------------|-----------------------|--|
|   |   | National          |                       |  |
| Pollutant                               | Averaging Time                            | Primary Standard  | Secondary<br>Standard |  |
| Ozone                                   | 1 hour<br>(applies only in limited areas) | 0.12 ppm          | 0.12 ppm              |  |
| Ozone                                   | 8 hour                                    | 0.075 ppm         | 0.075 ppm             |  |
| Carbon Monoxide                         | 1 hour                                    | 35 ppm            | N/A                   |  |
| Carbon Monoxide                         | 8 hour                                    | 9 ppm             | N/A                   |  |
| Sulfur Dioxide                          | 3 hour                                    | N/A               | 0.5 ppm               |  |
| Sulfur Dioxide                          | 24 hour                                   | 0.14 ppm          | N/A                   |  |
| Sulfur Dioxide                          | Annual                                    | 0.03 ppm          | N/A                   |  |
| Nitrogen Dioxide                        | Annual                                    | 0.053 ppm         | 0.053 ppm             |  |
| Particulate Matter (PM <sub>10</sub> )  | 24 hour                                   | 150 µg/m³         | 150 µg/m³             |  |
| Particulate Matter (PM <sub>10</sub> )  | Annual                                    | Revoked           | Revoked               |  |
| Particulate Matter (PM <sub>2.5</sub> ) | 24 hour                                   | 35 µg/m³          | 35 µg/m³              |  |
| Particulate Matter (PM <sub>2.5</sub> ) | Annual                                    | 15 µg/m³          | 15 µg/m³              |  |
| Lead                                    | Calendar quarter                          | 1.5 µg/m³         | 1.5 µg/m³             |  |
| C EDA 001/                              |   |                   |                       |  |

#### Table 10-1: National Ambient Air Quality Standards

Source: EPA 2016

Notes:

ppm = part(s) per million

µg/m3 = micrograms per cubic meter

Geographic areas with concentrations that exceed a NAAQS pollutant standard are considered "non-attainment" areas for that pollutant. Conversely, areas with concentrations that are below a NAAQS standard are considered "attainment" areas.

The Project is located within portions of Adams County, which is part of the Denver metropolitan area. The Denver metropolitan area is designated as a non-attainment area for ozone, a maintenance area for carbon monoxide and  $PM_{10}$ , and an attainment area for all other criteria pollutants.

Concentrations of criteria pollutants in the ambient air are monitored by the Air Pollution Control Division (APCD) at the CDPHE. Table 10-2 summarizes the ambient concentrations in Adams

County. Figure 10-1 depicts the location of the air monitoring stations. As shown in Table 10-2, there have been no exceedances in concentrations of criteria pollutants in Adams County for the past 4 years.

| Table 10-2: Criteria Pollutant Concentrations in Ambient Air at CDPHE Monitoring Stations |                  |                               |                              |              |              |              |           |
|---|------------------|-------------------------------|------------------------------|--------------|--------------|--------------|-----------|
| Address   | Site Name        | County                        | Pollutant                    | 2015         | 2016         | 2017         | 2018      |
|   |                  |                               | Carbon<br>monoxide<br>1-hour | 3.1 ppm      | 3.0 ppm      | 2.1 ppm      | 2.4 ppm   |
| 3174 E. 78th Welby Ad<br>Avenue A   | Adams            | Carbon<br>monoxide 8-<br>hour | 2.0 ppm                      | 1.6 ppm      | 1.5 ppm      | 2.1 ppm      |           |
|   |                  |                               | Ozone<br>8-hour              | 0.069<br>ppm | 0.066<br>ppm | 0.068<br>ppm | 0.069 ppm |
|   |                  |                               | PM <sub>10</sub> 24-hour     | 74 µg/m³     | 76 µg/m³     | 56 µg/m³     | 84 µg/m³  |
| 7101 Birch<br>Street  | Commerce<br>City | Adams                         | PM <sub>10</sub> 24-hour     | 84 µg/m³     | N/A          | N/A          | N/A       |
| 4201 E. 72nd<br>Avenue  | Commerce<br>City | Adams                         | PM <sub>10</sub> 24-hour     | N/A          | 123<br>µg/m³ | 124<br>µg/m³ | 158 µg/m³ |
| Source: EPA 2019  | Pa               |                               |                              |              |              |              |           |

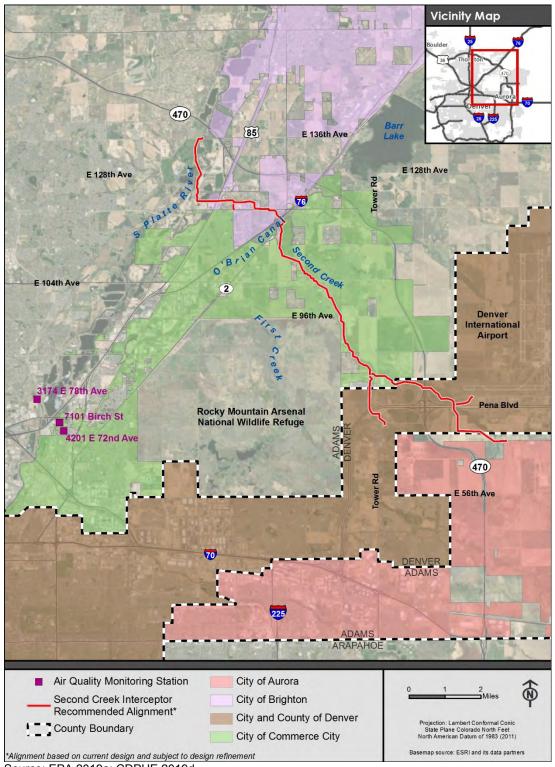
Construction of this Project will result in short-term (temporary) air emission impacts, mostly associated with fugitive dust. However, these temporary emissions will be unlikely to cause ambient air pollutant concentrations that will approach or exceed the NAAQS within the Project vicinity. After construction, it is anticipated that the dust level will return to preconstruction conditions.

Operational activities may generate air emissions. However, these air emission sources will be controlled as necessary and will be permitted in accordance with state and local requirements. Therefore, regional air emission impacts are not anticipated.

Nuisances, such as odors, are not anticipated; however, the Metro District is committed to minimizing odors from the Project and will take a proactive approach to odor management and mitigation through all phases of Project development.

To prevent turbulent flows, and resultant excessive off-gassing, the Project will be designed to maintain a sub-critical, laminar flow throughout the interceptor. Manhole covers will be sealed with caulk as a secondary measure should off-gassing occur. It is not possible to completely eliminate off-gassing, but proper design will minimize off-gassing to the extent that nuisance odors will not be likely to occur. Section 10.8 of this document discusses potential odor levels as a result of the Project.





Source: EPA 2019a; CDPHE 2019d

Figure 10-1: Locations of Air Monitoring Stations



The Project will be subject to the fugitive dust permitting and control requirements of the Colorado Air Quality Control Commission Regulation 1 (Emission Control Regulation for Particulate Matter, Smoke, Carbon Monoxide, and Sulfur Oxides for the State of Colorado, effective August 30, 2007) and Regulation 3 (Stationary Source Permitting and Air Pollutant Emission Notice Requirements, effective November 30, 2018). A Land Development Permit Application, Fugitive Dust Control Plan, and appropriate Air Pollutant Emission Notices will be submitted to APCD at the CDPHE prior to commencement of construction activities.

Because short-term impacts, mostly consisting of fugitive dust, are anticipated from construction activities, fugitive dust will be controlled by watering, stabilization, or other measures, as needed. Table 10-3 summarizes possible control measures.

| Fugitive Dust Source      | Possible Control Measures  |
|---------------------------|--|
| Haul roads                | Watering and chemical stabilizers will be applied as necessary. Speed limit signs will be posted and limits will be enforced. Watering will be conducted outside of drought conditions.                    |
| Disturbed areas           | Watering, soil compaction, and revegetation will be employed as needed and appropriate for given conditions. Watering will be conducted outside of drought conditions.                                     |
| Active construction areas | Watering will be employed as appropriate. Under extreme wind or dust conditions, temporary curtailment of earthmoving activity may be necessary. Watering will be conducted outside of drought conditions. |
| Haul trucks               | Haul trucks transporting construction materials will be covered as needed and appropriate for reducing dust. Haul truck speed will be limited on unpaved road sections.                                    |

### Table 10-3: Potential Air Quality Control Measures

# 10.2 Visual Quality

The 17.5-mile SD Interceptor Project area crosses multiple jurisdictions, including the cities of Aurora, Brighton, and Commerce City; the City and County of Denver; and unincorporated Adams County. This section discusses visual conditions and potential impacts for SD Interceptor alignment segments that fall within unincorporated Adams County.

Jurisdictional boundaries in the SD Interceptor project area intermingle. As a result, the alignment segments within unincorporated Adams County are not contiguous. These segments are identified as Segments A through F on Figure 10-2.



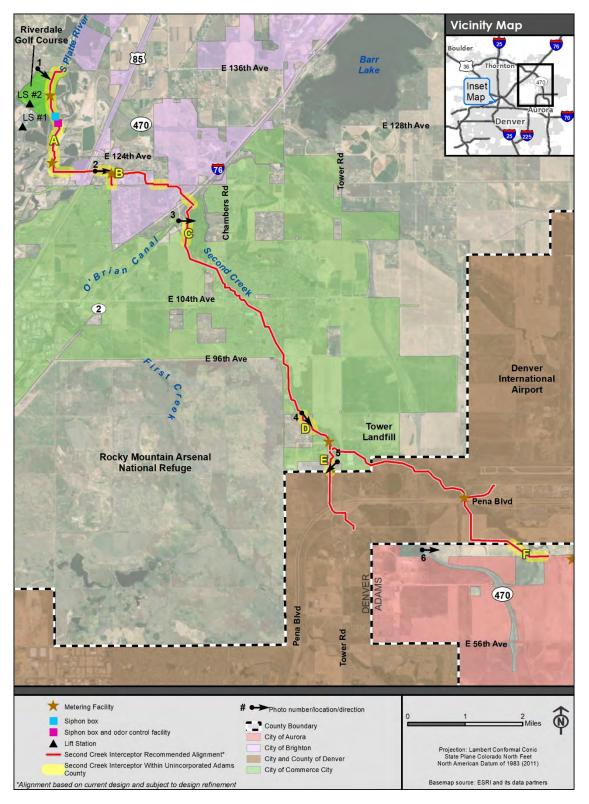


Figure 10-2: Project Segments and Viewpoints in Project Area



### 10.2.1 Existing Conditions

The Project area segments located within unincorporated Adams County are in sparsely developed, low-lying areas with relatively flat to slightly rolling topography that allows for largely unobstructed distant views. Land cover and vegetation generally consist of agricultural uses and grassland/natural vegetation (see Section 6.0 for more detail). The visual setting for these segments is described below.

Segment A: This segment begins south of E-470 at East 136th Avenue, runs south along the eastern side of the Riverdale Golf Course, then turns east between East 124th and 120th Avenues, ending west of US-85. Segment A has open views of undeveloped or sparsely developed areas with natural vegetation, such as trees and grasses (see Figure 10-3). Land uses include agricultural, scattered rural residential, and recreational (such as the RDGC), and the area has saturated gravel pits. Industrial land uses also exist but are scattered. Mature trees are visible along the South Platte River, which is a



View of SD Interceptor alignment area from 136th Avenue/Riverdale Road intersection looking southeast. Riverdale Dunes Golf Course visible in middle ground; cottonwood trees along South Platte River visible on horizon/background. Source: Google Streetview 2017

#### Figure 10-3: Segment A Visual Conditions

prominent water feature in this segment. Distant views from the project area to the Rocky Mountains to the west are partially obstructed in some areas by natural features, such as trees. Project construction areas are visible from existing developments and roads but are intermittently obstructed by vegetation and area development. Full views of the interceptor alignment are limited to areas adjacent to the alignment, such as the RDGC, because of the Project area's relatively level topography.

**Segment B**: This segment starts east of US-85 at Oakland Street and ends east of Peoria Street. The visual setting consists of agricultural uses and lowdensity residential uses with views of houses, barns, other outbuildings, and mature trees clustered around buildings. Narrow paved roads lined with power poles are seen, as are scattered industrial uses (see Figure 10-4). Except for distant mountain views to the west, area development and mature vegetation intrude on



View of SD Interceptor alignment area from Oakland Street looking east. Views of rural residences, road, and power lines. Source: Google Streetview 2019

#### Figure 10-4: Segment B Visual Conditions

distant views to the north and south; distant views to the east are constrained by the gently sloping topography. Project construction areas can be fully viewed from nearby development and roads but become less visible from farther distant areas because of area development and vegetation.



Segment C: This segment begins immediately east of I-76 and runs south, roughly paralleling SH-2 to approximately East 112th Avenue. The visual setting consists of open views of agricultural uses and natural vegetation, such as trees and grasses, some commercial landscaping, and scattered areas of industrial and retail uses, with views of roads and distant mountains to the west. Residential developments can be seen in the distance to the east (see Figure 10-5). Project construction areas are visible from nearby sparse development and roads, becoming less visible from farther distances.

Segment D: This segment is south of East 88th Avenue between Buckley Road and Tower Road. The visual setting consists of wide, open views of agricultural uses and grasslands, with infrequent views of farms, ranch houses, and barns in the distance. Power lines can be seen along East 88th Avenue. While Second Creek is barely discernible in the grasslands, travelers on East 88th Avenue can see where the creek crosses under the roadway in this segment (see Figure 10-6). The Rocky Mountains are visible in the distance to the west. The Tower Landfill to the east is the dominant visual element in this segment.



View of SD Interceptor alignment area from SH-2 south of I-76 looking east. View of undeveloped land with area of industrial use in middle ground.

Source: Google Streetview 2019

Figure 10-5: Segment C Visual Conditions



View of SD Interceptor alignment area from East 88th Avenue looking southeast. View of undeveloped land, roadway, and power poles/power lines, with Tower Landfill visible to the left. Second Creek is seen in foreground behind guardrail. Source: Google Streetview 2016

#### Figure 10-6: Segment D Visual Conditions

The Project construction area would be visible to travelers on East 88th Avenue.

**Segment E**: This segment is located south of East 81st Avenue and west of Tower Road. The visual setting of this short segment consists of open views of agricultural pasture and grassland, natural vegetation, scattered farms and ranches, and Tower Landfill to the north. A one-story parking structure and industrial building associated with DEN are visible in the background to the east. To the south and west are views of a paved surface parking lot associated with DEN, including views of parked cars, shuttle buses and shelters, lighting,



View of SD Interceptor alignment area from East 81st Avenue looking southwest. View of surface parking lot, grasslands, and distant mountains. Source: Google Streetview 2019

#### Figure 10-7: Segment E Visual Conditions

flag poles, chain-link fencing, commercial landscaping (trees), valet parking building, and other commercial buildings. Beyond the parking lot are views of open grasslands and mountains in the background (see Figure 10-7). Project construction areas would be visible to travelers on East 81st Avenue and Tower Road, and to users of the two parking areas.

**Segment F**: This segment is located south of DEN between E-470 to the west and Jackson Gap Street to the east. The visual setting largely consists of open views of grasslands and agricultural uses in most directions. To the west are views of the E-470 Tollway and associated moving vehicles and lighting, and the distant Rocky Mountains. To the east are distant views of DEN (see Figure 10-8). E-470 travelers would see project construction areas in the distance to the east.



View of SD Interceptor alignment area from E-470 looking east. Views of roadway and open grasslands, with views of DIA in the distance. Source: Google Streetview 2019

Figure 10-8: Segment F Visual Conditions

### 10.2.2 Impacts

#### Temporary Impacts

During construction, temporary visual impacts would include views of construction equipment and personnel, pipe staging, trench excavation, pipe installation, trench backfill and compaction, and revegetation of disturbed areas (see Figure 10-9). These temporary impacts would occur to residences, farms, businesses, recreation areas, and other areas within view of the interceptor alignment and in the immediate vicinity of the associated construction sites. Viewers would include users of the Riverdale Golf Course in Segment A, residents in Segment B, users of parking facilities in Segment E, and travelers on roads and highways that are adjacent to or crossed by the SD Interceptor alignment in all segments. Because of the sparse development along most of the



alignment, temporary visual impacts from construction activities are expected to be minor in all segments within unincorporated Adams County.

Open-cut construction would be the primary method used, with trenchless construction used at major road, ditch, canal, and railroad crossings. Areas where open-cut construction is employed would experience higher temporary visual impacts than areas where trenchless construction is used,

but the duration of open-cut construction would be shorter. For open-cut construction, the interceptor is expected to be constructed in 200- to 400-foot segments (depending on pipe diameter). Estimated time from excavation to backfill is 1 to 2 weeks per segment. Figure 10-9 shows a representative example of open-cut construction methods.



Figure 10-9: Examples of Open-Cut Construction Methods

Where trenchless interceptor construction is employed, surface disturbance would be limited to tunneling shafts at regular intervals (see Figure 10-10), with slurry plants and associated equipment at

the launch shaft, resulting in fewer visual impacts overall than with open-cut construction. The estimated time from access pit excavation to backfill is 6 to 8 weeks, depending on geology and length of interceptor between access pits. Construction for the entire Project is expected to be completed in 3 years.

Temporary visual impacts include the following:

- Construction equipment and fencing
- Traffic control devices
- Pipe and manhole stockpiles
- Trench excavation (where open-cut construction is used)
- Tunneling pits (where trenchless construction is used)
- Excavated soil stockpiles
- Dust from construction activities



Figure 10-10: Example of Tunneling Pit (for trenchless construction)



- Temporary construction access roads (in undeveloped areas)
- Removal of existing vegetation in immediate vicinity of interceptor installation
- Trench compaction and disturbed soil

#### Permanent Impacts

The interceptor would be buried underground and result in minimal permanent visual impacts. Construction of aboveground facilities in unincorporated Adams County, including two metering stations and one odor control facility, would result in minor and permanent visual impacts (see example on Figure 10-11). The metering facility in unincorporated Adams County would consist of an in-manhole station, with aboveground structures consisting of a power and communications panel. While metering facilities have a relatively low aboveground impact, the odor control facility would likely include two approximately 16-foot square biofilters and aboveground equipment (odor control facility example is shown on Figure 10-11). Siphon boxes are cast-in-place concrete structures for flow control through the under-river siphon that would protrude from grade and would feature access hatches on top. Manhole lids would appear at grade.



Example of Metering Station



Example of Odor Control Facility

Figure 10-11: Examples of Aboveground Facilities

In addition, the Project may result in the eventual decommissioning and removal of the six lift stations shown in Figure 1-3 plus allows for the County's removal of an additional two lift stations at the Adams County Regional Park and Fairgrounds located in the northern portion of the Project area (see Figure 10-2). The jurisdictions that own the lift stations would decide on the decommissioning of their lift stations and the timing thereof. Therefore, the schedule for this activity is not known at this time. These land use changes could improve visual conditions at these locations depending on the reuse of these areas.

Options for construction of ongoing monitoring and maintenance access to manholes, metering facilities, connection structures, and odor control facilities along the interceptor alignment could include permanent gravel access roads. New visual elements would be introduced where permanent access features are constructed. In addition, ongoing monitoring and maintenance activities would be visible to individuals within view of the interceptor alignment. The type of interceptor access to be constructed would be determined during the final design process.

# 10.2.3 Mitigation

Measures that would be employed to minimize and mitigate visual impacts during and after construction are as follows:

- Use construction fencing and silt fencing to minimize disturbance to surrounding areas.
- Preserve existing trees and vegetation to the extent practicable.
- Employ dust suppression techniques during construction.
- Revegetate disturbed areas with native trees and vegetation as soon as practicable after construction is completed.

# 10.3 Surface Water Quality

### 10.3.1 Existing Conditions

For purposes of adopting water quality standards, the CDPHE Water Quality Control Commission identifies surface waters in the South Platte River basin and/or sub-basin and specific water segments. The Project is near Segment 15 of the South Platte River, which extends from the Burlington Ditch headgate to the confluence with Big Dry Creek, approximately 26 miles downstream (see Figure 10-12). The project is immediately adjacent to Reach 3, which extends from 124<sup>th</sup> Avenue to the end of the segment. In the Project area, the South Platte River flows through a mix of suburban, rural, agricultural, and industrial uses. Segment 15 receives both urban and rural stormwater runoff, but flow is dominated by the effluent discharge from the RWHTF. This facility discharges an average 130 mgd of treated effluent, which provides for approximately 85 percent of the South Platte River's flow for six months of the year (Metro District 2018b).

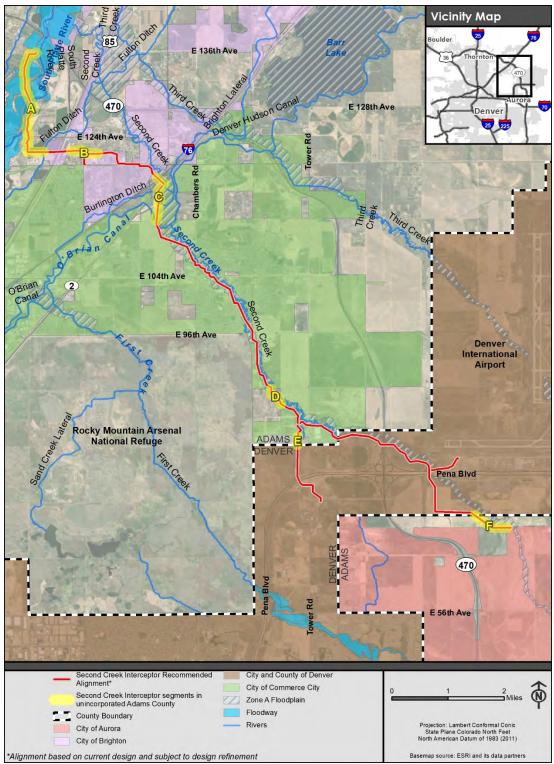
Other surface waters in the project area include saturated gravel pits, remnant quarries, Second Creek, Fulton Ditch, Burlington Ditch, and Denver Hudson Canal.

The CDPHE Water Quality Control Commission stream classifications for Segment 15 of the South Platte River include the following: Aquatic Life Warm 2, Recreation E, Water Supply, and Agriculture (CDPHE 2018).

Section 303(d) of the Clean Water Act requires states to prepare lists of waters that are not meeting their designated uses because of excess pollutants. These include waters where it is known that water quality does not meet applicable standards, and/or it is not expected to meet applicable water quality standards and for which technology-based effluent limitation (and other required controls) are not effective enough to comply with water quality standards. Table 10-4 lists surface waters in the project area that are currently on the 303(d) list.

Segment 15 of the South Platte River, as well as downstream, provides drinking water for many communities but the largest demand on the water supply is for irrigation of crops. Also, a number of municipal alluvial wells exist in this segment.





Source: Adams County and Colorado Division of Water Resources

Figure 10-12: Surface Water Features along the SD Interceptor Alignment



| Stream Segment  | Water Body<br>Identification | Impairment  |
|---|------------------------------|---|
| South Platte River  | COSPUS15*                    | Ammonia, Nitrates, Dissolved Oxygen,<br>E. coli, Temp |
| All Tributaries to the South Platte River,<br>including all wetlands, except for specific<br>listings in the South Platte River basin | COSPUS16c                    | E. coli, Selenium                                     |
| Second Creek  | COSPUS16d                    | N/A   |
| Lakes and Reservoirs in watersheds tributary to the South Platte River  | CUSPUS22a                    | N/A   |

#### Table 10-4: 303(d) Listed Waters in the Project Area

\*Colorado Department of Public Health and Environment Section 303(d) Water Body Identification (WBID) Codes are assigned to segments of waters.

#### 10.3.2 Impacts

#### Temporary Impacts

Without proper mitigation, construction activities could adversely affect surface water quality. Potential impacts from construction will be mitigated through the creation of a site-specific Stormwater Management Plan, Erosion and Sediment Control Plan, and the use of CMs, per Adams County and State regulations. CMs that could be used include, but are not limited to, erosion control logs, erosion control bales, sediment control fencing along areas of soil disturbance and around soil stockpiles, erosion control blankets for work occurring on slopes, and the minimization of disturbance to existing vegetation adjacent to surface waters.

The Project will require a Colorado Discharge Permit System General Permit (Stormwater Construction Permit), obtained through CDPHE, which will be submitted to the Adams County Public Works Department prior to construction.

The Metro District and its contractor(s) will comply with all environmental regulations, including Adams County Ordinance 11 (Concerning Illicit Discharges to the Waters of the State within Unincorporated Adams County) during construction of the Project.

#### Long-Term Impacts

The Metro District anticipates that treated effluent discharge at the RWHTF will decrease approximately 5 mgd in 2025. The effects will be negligible, given the nominal flow contribution that will be rerouted from the RWHTF to the NTP at the time the SD Interceptor becomes operational. The operation of existing drinking water intakes will be unaffected by the long-term operation of the SD Interceptor.

Infiltration and exfiltration tests will be conducted for the SD Interceptor per the Metro District and ASTM International (ASTM) standards. All the manholes and piping will be vacuum or air tested prior to being placed in service.

The Project is not expected to adversely affect surface waters assuming proper construction and maintenance. A potential for surface water contamination occurs if there are line breaks. To combat the potential for these possibilities, the Metro District operates with a contingency plan to repair leaks, and an ongoing maintenance plan to ensure that leakage is not an issue in the future, as



outlined in the District's Water Quality Section Procedural Manual, Chapter 7-Emergency Spill Response (Metro District 2010). Water quality will be unaffected.

If a breach is identified by a member of the general public, they can alert the Metro District by calling (303) 286-3000 during business hours or (303) 286-3274 after business hours. The District must provide verbal notification of the breach to CDPHE, and, as applicable, the EPA, within 24 hours of learning of the breach. A written report is to be provided within 5 days.

The Metro District is responsible for returning the affected areas to pre-spill conditions to the extent possible. In addition, the District will document flow rates to estimate distance of travel and dilution of any spilled materials, water samples will be taken to determine the impacts to water quality, and a visual survey will be completed to assess any impairment or non-impairment of natural systems.

Health risks signs will be placed in the immediate vicinity of the breach. The need for additional public notification will be determined in coordination with local and state agencies.

For additional information regarding emergency spill response, see the Metro District's Water Quality Section Procedural Manual, Chapter 7-Emergency Spill Response.

The Project will also include measurement devices to meter incoming flows that are tributary to the SD Interceptor. Through measurement of these flows and comparison to measurements taken at the NTP, the Metro District will be able to monitor for potential leaks.

# 10.4 Groundwater Quality and Quantity

### 10.4.1 Existing Conditions

Adams County is underlain by the Denver Basin aquifers and surficial aquifers found along the South Platte River valley (USGS 2017). The Project area north of I-76 generally is underlain by the Denver aquifer while the locations south of I-76 are underlain by the Denver aquifer and the Laramie-Fox Hills aquifer. The water from these aquifers is used for public water supply and agricultural and industrial uses. There are no sole source aquifers within the Project area (EPA 2019b).

#### 10.4.2 Impacts

#### Temporary Impacts

Dewatering required for open-cut and trenchless interceptor installation will be mitigated in accordance with state and local regulatory requirements and permits that can be found in Appendix C. The SD Interceptor is expected to be constructed in 200- to 400-foot segments (depending on pipe diameter) at a rate of approximately 1 to 2 weeks for trenchless activities and 50 feet per day for open-cut and cover activities; therefore, construction dewatering in any given area will be of short duration. Adhering to proper construction techniques will avoid and minimize potential effects on groundwater resources and existing wells.

### 10.4.3 Long-term Impacts

Proper maintenance will avoid and minimize potential effects on existing drinking water supply wells. During operation, line breaks could increase the risk of groundwater contamination. To combat the potential for these possibilities, the Metro District will operate with a contingency plan



to repair leaks, and an ongoing maintenance plan to ensure that leakage is not an issue in the future, as outlined in *Interceptor Emergency Notification Procedure* (Metro District 2015). In the event of a breach, the District will follow procedures discussed in Section 10.3.

Construction will include quality control and quality assurance measures to minimize the potential for leaks at manholes and pipe joints. The Project will include five metering facilities: one in Aurora, one in Commerce City, one in Brighton, and two in unincorporated Adams County. Each meter facility will be in a below grade vault with an above grade communications panel. Through measurement of these flows, the Metro District will be able to monitor for potential leaks. Interceptor joints will be leak tested following installation.

Low-permeability cutoff walls will be installed during construction to prevent groundwater flows from being transported through the interceptor bedding material. The wall configuration and spacing will be determined during the design phase based on field conditions and the governing jurisdiction's requirements.

# 10.5 Wetlands, Floodplains, and Riparian Areas

#### 10.5.1 Wetlands

#### Regulatory Basis

Section 404 of the Clean Water Act (CWA) establishes a program to regulate the discharge of dredge or fill material into waters of the U.S., including wetlands and other waters. Section 404 may require issuance of a permit for dredge or fill activities within jurisdictional waters of the U.S. from the U.S. Army Corps of Engineers (USACE). Jurisdictional waters of the U.S. are typically navigable waters, their tributaries, and those abutting these waters, including wetlands.

Other waters refer to unvegetated waterways and other water bodies with a defined bed and bank, such as tide channels, drainages, ponds, creeks, rivers, and lakes (USACE 1987). Other waters typically lack wetland vegetation and may also lack hydric soils. Other waters are identified as perennial, intermittent, and ephemeral drainages with flowing water or characteristics of an active channel (e.g., ordinary high water mark).

Wetlands are defined using the guidelines and criteria of the USACE 1987 *Wetland Delineation Manual* (1987 Manual) (USACE 1987) and the appropriate regional supplement. For the project, the appropriate regional supplement is the Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Great Plains Region (Supplement) (USACE 2010). According to the 1987 Manual, wetlands are "those areas that are inundated or saturated by surface or groundwater at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions" (USACE 1987).

Following recent Supreme Court rulings, the USACE typically does not take jurisdiction over wetlands or other waters that do not flow to navigable waters unless these areas are considered to have a "significant nexus" to navigable waters. Only the USACE has the authority to make jurisdictional determinations.

The definitions and jurisdictional reach of the CWA have been contentious since its inception, and many court cases and rulings have been made attempting to provide clarification. In response, the USACE and EPA published a final rule on June 29, 2015 in the Federal Register to be effective as of



August 28, 2015 (33 Code of Federal Regulations [CFR] part 328, Vol. 80, No. 124.) providing clarification to what defines a jurisdictional water of the U.S. The rule was scheduled to take effect as of August 28, 2015; however, on October 9, 2015, the U.S. Court of Appeals for the Sixth Circuit stayed the new Clean Water Rule nationwide pending further action of the court.

On November 16, 2015, the EPA and USACE formally agreed to comply with the stay, stating that during which the agencies will implement the prior regulatory definition of waters of the U.S. as clarified by the 2008 Rapanos Guidance. The EPA and the USACE resumed use of the 2008 Rapanos Guidance to define the term "waters of the United States." However, on August 16, 2018, a federal judge in South Carolina issued a nationwide injunction on the stay for failing to comply with the Administrative Procedure Act. As a result, 22 states, the District of Columbia, and the U.S. territories are currently adhering to the Clean Water Rule (Waters of the United States Rule) of 2015. As of the writing of this report, the remaining 28 states will continue to follow the 2008 Rapanos Guidance.

The EPA submitted a revised definition of waters of the U.S. for publication to the Federal Register on December 11, 2018. This revised definition may again change what is considered a jurisdictional water of the U.S., pending public comment, enactment, and possible legal action. The state of Colorado continues to follow the 2008 Rapanos Guidance.

DRCOG also has a policy of no net loss of wetland functions on projects within the DRCOG region (DRCOG 2006). The DRCOG water quality position further promotes the protection of regionally significant wetlands from loss, the use of artificial and constructed wetlands that are created and maintained solely for resource management purposes, and mitigation through wetland restoration or creation, including mitigation banking.

#### Existing Conditions

The project is located within the Middle South Platte – Cherry Creek watershed (HUC Hydrologic Unit Code 10190003). The South Platte River, a jurisdictional water of the U.S., is a prominent water resource in the Project area. The northern end of the project alignment runs along and crosses the South Platte River and its associated wetlands. Near the South Platte River floodplain are numerous gravel quarries and attenuation ponds. The SD Interceptor alignment would be near a number of these.

Second Creek is a jurisdictional tributary to the South Platte River. The SD Interceptor alignment would first intercept Second Creek south of E. 120th Avenue and loosely follow the creek for the remainder of the alignment southward. Most of the wetlands in the Project area are adjacent to Second Creek.

Although palustrine scrub-shrub (PSS) and palustrine emergent (PEM) wetlands occur within the project area, PEM wetlands are the most common. PSS wetlands are dominated by woody vegetation less than approximately 20 feet tall. PEM wetlands are dominated by herbaceous wetland species. In the Project area, most wetlands display recent or relict signs of disturbance, both natural and human-induced. Plant species vary greatly, but wetlands are often dominated by common threesquare (Schoenoplectus pungens), broadleaf cattail (Typha latifolia), or reed canarygrass (Phalaris arundinacea).

In addition to the South Platte River, gravel quarries, attenuation ponds, and Second Creek and its associated wetlands, five other types of features were identified within the alignment. These are



irrigation ditches, man-made lakes, modified natural drainages, roadside swales, and stormwater structures.

The Metro District's Project Team initially reviewed the length of the alignment using public access in May 2018. Delineation of waters of the U.S. occurred within the areas with access permissions between June 5, 2018 and December 13, 2018. Remaining features were further reviewed using aerial maps and the U.S. Fish and Wildlife Service's (USFWS) National Wetlands Inventory (NWI) Wetlands Mapper application (USFWS 2019a). Riparian areas were identified using aerial imagery, but have not yet been formally mapped. Table 10-5 lists the delineable waters within the project area. Figure 10-13 through Figure 10-22 show the locations of mapped waters of the U.S. supplemented with the National Wetlands Inventory data outside of the 250-foot delineated corridor and aerial-identified riparian areas. Please note that, since the delineation, minor shifts were made to the SD Interceptor alignment. Supplemental delineations will be conducted as needed to account for any data gaps.

| Cross Street <sup>a</sup>        | Name                      | Туре                         | Flows To <sup>b</sup>   |
|----------------------------------|---------------------------|------------------------------|---|
| Multiple                         | South Platte River        | Wetlands and Other<br>Waters | Platte River  |
| Second Creek Combine             | ed Alignment (136th Ave   | nue to Tower Road)           |   |
| Brighton Rd. and 124th Ave.      | Unnamed wetland           | Wetland                      | None. Constructed in upland 2010-2011.  |
| Brighton Rd. and 124th<br>Ave.   | Unnamed, man-made<br>lake | Wetlands and Other<br>Waters | No direct connectivity. Adjacent to Fulton Ditch.                                     |
| Brighton Rd. and 124th<br>Ave.   | Fulton Ditch              | Wetlands and Other<br>Waters | Appears to end in uplands near<br>Platteville, CO. May connect to<br>Mose Davis Lake. |
| Peoria St. and E. 120th<br>Ave.  | Unnamed wetland           | Wetland                      | None. Constructed in upland 2005-2006.  |
| Potomac St. and E.<br>120th Ave. | Second Creek              | Wetlands and Other<br>Waters | South Platte River  |
| I-76 and SH 2                    | Burlington Ditch          | Other Waters                 | Brighton Lateral Ditch, appears to end in an upland near Fort Lupton.                 |
| Potomac St. and 112th<br>Ave.    | O'Brian Canal             | Other Waters                 | Barr Lake   |
| Multiple                         | Second Creek              | Wetlands and Other<br>Waters | South Platte River  |
| Multiple                         | West Fork Second<br>Creek | Wetlands and Other<br>Waters | South Platte River  |
|                                  |                           |                              |   |

#### Table 10-5: Wetlands and Open Waters within unincorporated Adams County

| Cross Street <sup>a</sup>               | Name                      | Туре                         | Flows To <sup>b</sup> |  |  |  |
|---|---------------------------|------------------------------|-----------------------|--|--|--|
| Segment 5 (81st Ave to E 71st Ave.)     |                           |                              |                       |  |  |  |
| Multiple                                | West Fork Second<br>Creek | Wetlands and Other<br>Waters | South Platte River    |  |  |  |
| Segment 5 (81st Ave to Jackson Gap St.) |                           |                              |                       |  |  |  |
| Multiple                                | Second Creek              | Wetlands and Other<br>Waters | South Platte River    |  |  |  |
| E-470 and Peña Blvd.                    | Pinon Draw                | Wetland                      | Second Creek          |  |  |  |

Notes:

<sup>a</sup>Cross street or approximate cross street number is according to Figure 10-12.

<sup>b</sup>Information outside project area is based on aerial photographs. Features may have outlets that were not visible on photographs.

# 10.5.2 Floodplains

Floodplains are an important feature of the integrated natural systems surrounding waterways that affect and support myriad natural and cultural values, including water quality, agriculture, flora, fauna, recreation, and groundwater recharge. Floodplains attenuate the effects of flooding and water temperature while protecting the physical, biological, and chemical integrity of water (FEMA 2019a).

The 1 percent annual chance flood (100-year flood) is the regulatory standard used by federal agencies and most states to administer floodplain management programs. A review of Federal Emergency Management Agency (FEMA) National Flood Insurance Rate Maps (FEMA 2019b) indicates that portions of the Project would be located within FEMA-mapped flood zones, as follows: Special Flood Hazard Zone A, primarily along Second Creek, and Special Flood Hazard Zone AE, along the South Platte River and Second Creek. The following are descriptions of flood zone designations (FEMA 2019c) found within the project area:

- Zone A: Areas with a 1-percent annual chance of flooding. Because detailed analyses are not performed for such areas; no depths or base flood elevations are shown within these zones.
- **Zone AE**: Areas with a 1-percent annual chance of flooding in any given year where base flood elevations are provided. Base flood elevations are derived from detailed hydraulic analysis.

Figure 10-12 shows the floodways and 100-year floodplain.





Figure 10-13: Map Index: Location of Mapped Wetlands, Open Water, and Riparian Areas



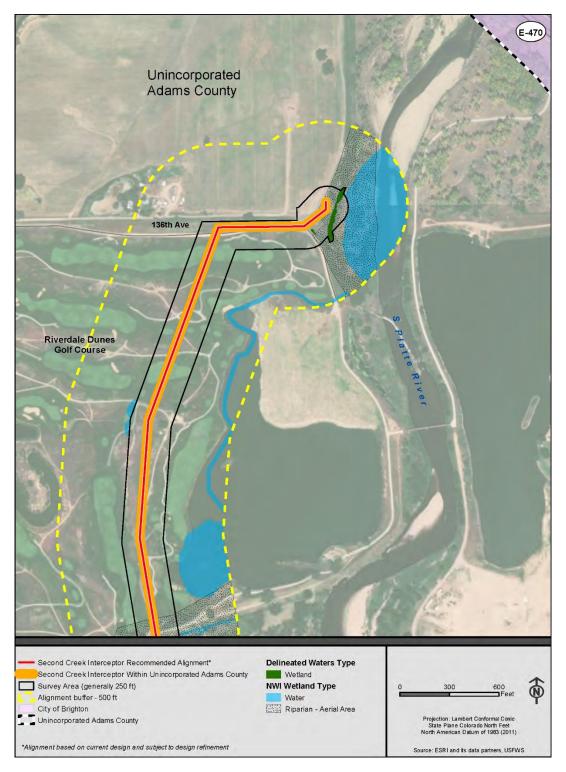


Figure 10-14: Map 1 Location of Mapped Wetlands, Open Water, and Riparian Areas



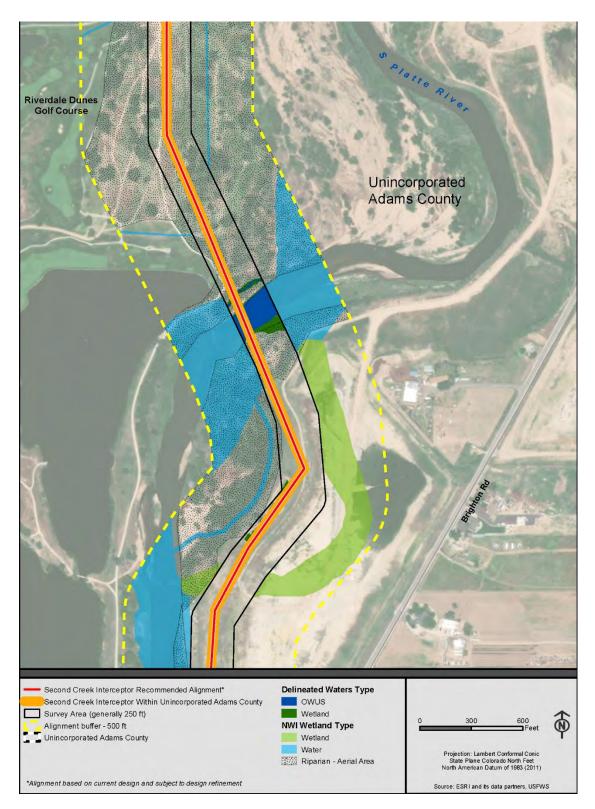


Figure 10-15: Map 2 Location of Mapped Wetlands, Open Water, and Riparian Areas



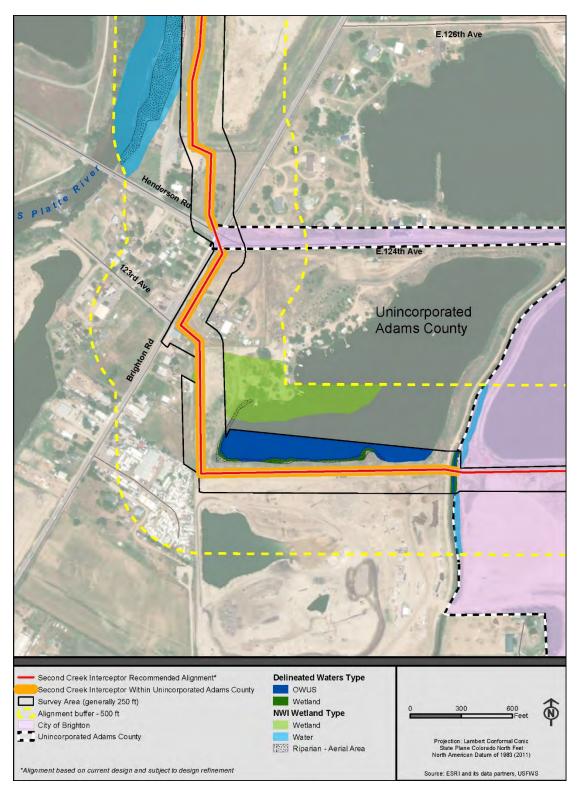
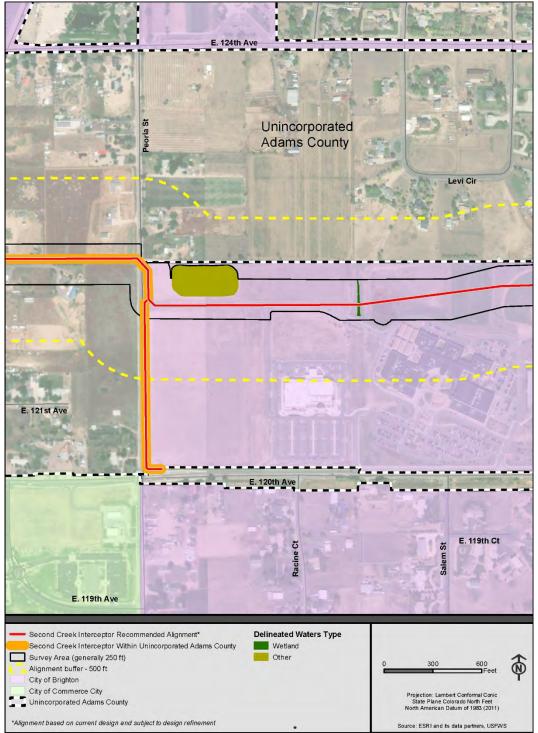
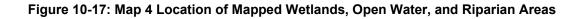


Figure 10-16: Map 3 Location of Mapped Wetlands, Open Water, and Riparian Areas





\* "Other" refers to Non-Jurisdictional Features





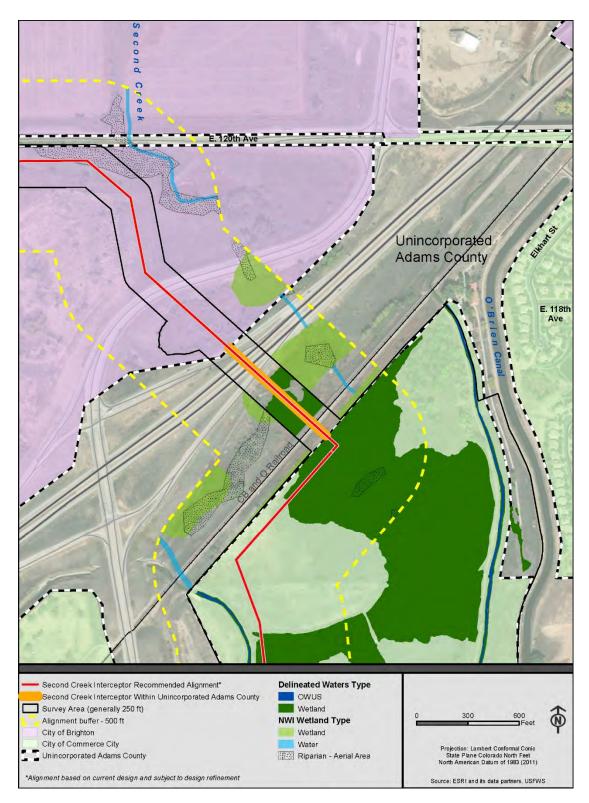


Figure 10-18: Map 5 Location of Mapped Wetlands, Open Water, and Riparian Areas



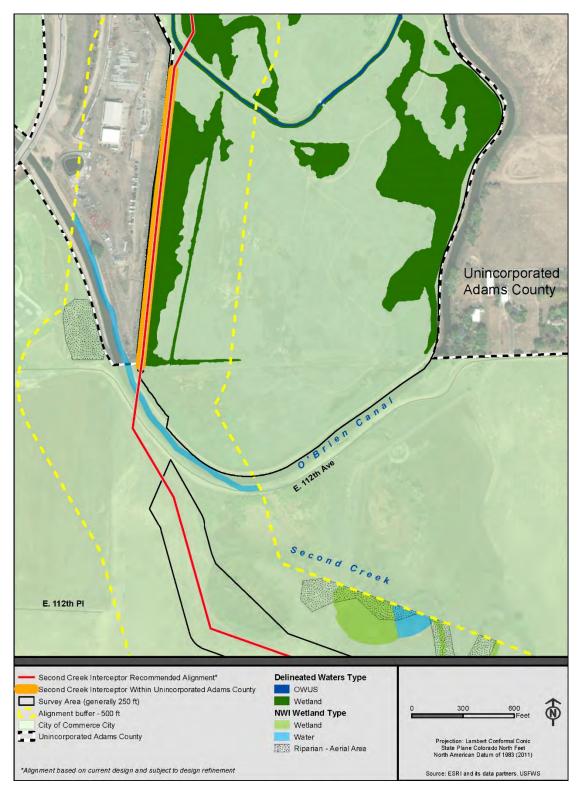


Figure 10-19: Map 6 Location of Mapped Wetlands, Open Water, and Riparian Areas



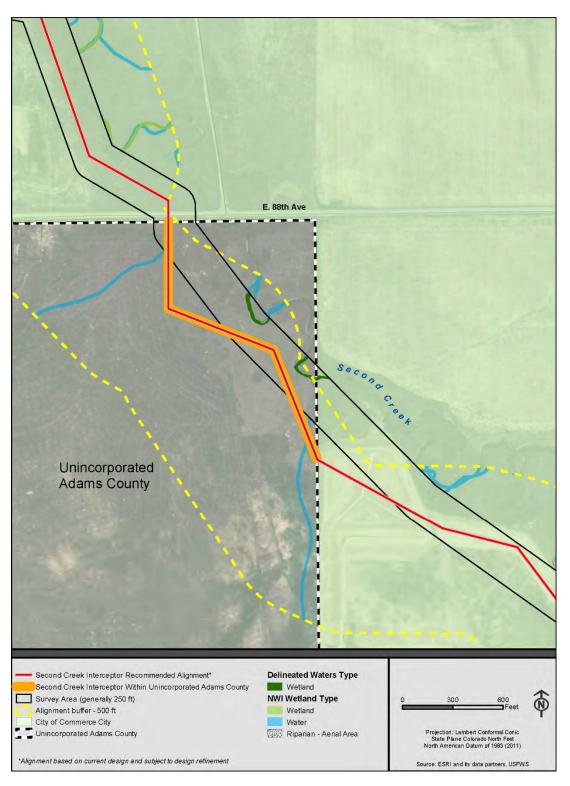


Figure 10-20: Map 7 Location of Mapped Wetlands, Open Water, and Riparian Areas



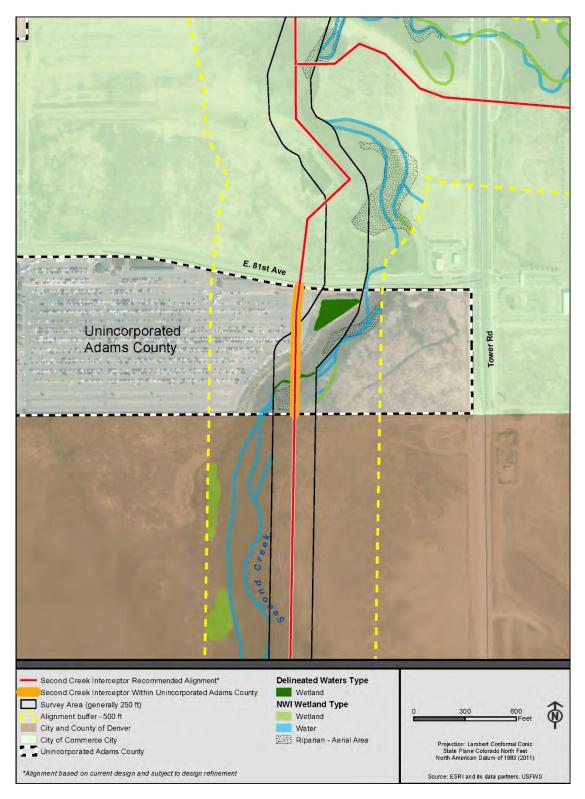
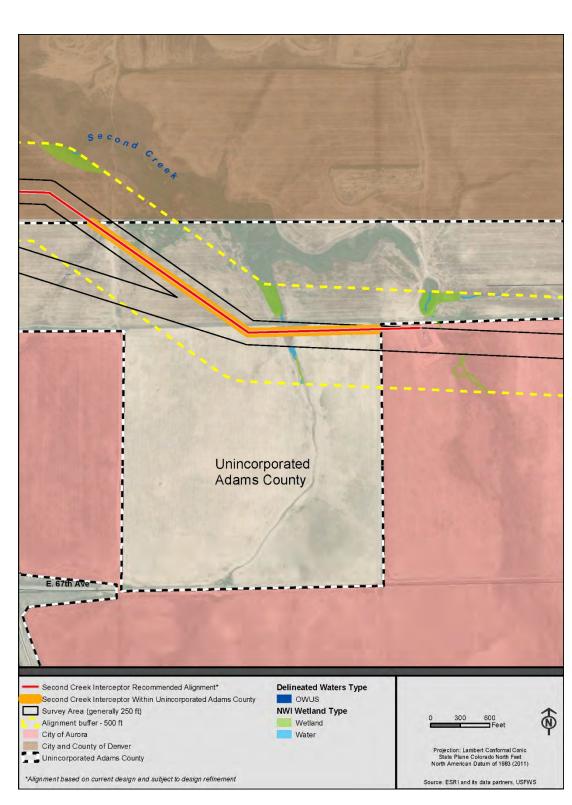


Figure 10-21: Map 8 Location of Mapped Wetlands, Open Water, and Riparian Areas



METRO WASTEWATER RECLAMATION DISTRICT

Figure 10-22: Map 9 Location of Mapped Wetlands, Open Water, and Riparian Areas



### 10.5.3 Riparian Areas

Riparian areas, or riparian buffers, are typically defined as the zone of vegetation adjacent to wetlands and other waters. These zones are typically transitional, with identifiably distinct characteristics from the adjacent waters and uplands. Although riparian buffers typically have both herbaceous and woody vegetation, they are often characterized by the extent of their woody vegetation.

The DRCOG Clean Water Plan includes a riparian policy that supports the protection and enhancement of riparian zones and states that the riparian policy will be considered in the siting process for regional infrastructure, including wastewater facilities (DRCOG 2006).

North of 120th Avenue, the riparian buffer is mostly restricted to the area surrounding the South Platte River. This riparian buffer is relatively extensive, with mature trees and weedy understory that extend well into the Riverdale Regional Park and RDGC to the west. Plains cottonwood (Populus deltoides), Siberian Eelm (Ulmus pumila), and a mix of both shrub- and tree-form willows (Salix sp.) dominate the overstory. Dominant species in the herbaceous layer include both natives and nonnatives, such as smooth brome (Bromus inermis), bottlebrush squirreltail (Elymus elymoides), goosefoots (Chenopodium sp.), Russian thistle (Salsola sp.), Canada thistle (Cirsium arvense), and kochia (Bassia prostrata).

The riparian buffers found south of 120th Avenue are associated with Second Creek and limited in their extent. These generally have a low canopy very often dominated by Russian olive (Eleagnus angustifolia) with occasional willows of various species, plains cottonwoods, and Siberian elm. Although the herbaceous layer around Second Creek is well-developed, the riparian buffers are irregular and widely separated.

### 10.5.4 Impacts

The SD Interceptor alignment will cross multiple waters of the U.S. that potentially fall under the jurisdiction of the USACE, including the South Platte River, Fulton Ditch, Second Creek, Burlington Ditch, O'Brian Canal, and Pinon Draw and their associated wetlands and tributaries. Additional features that meet the definitions of waters of the U.S. that may be impacted include gravel quarries, attenuation ponds, man-made lakes, modified natural drainages, roadside swales, and stormwater structures. Following completion of planned formal delineations, further consultation with the USACE will be conducted to determine jurisdictional status, CWA Section 404 permitting, and any required mitigation. Both jurisdictional and non-jurisdictional impact on wetlands and other waters will be mitigated in accordance with all applicable local, state, and federal requirements.

The Metro District will coordinate with the UDFCD to verify that UDFCD's planned improvements along the South Platte River are considered during the design of this Project.

Project impacts on the regulated floodplain are expected to be minimal. The Project will conform to all regulatory requirements regarding the floodplain and floodway, and necessary permits will be obtained, including a Floodplain Use Permit in accordance with Adams County requirements.

# 10.6 Terrestrial and Aquatic Animals and Habitat

# 10.6.1 Endangered Species Act

The federal Endangered Species Act of 1973 (ESA) was passed to ensure the protection and recovery of imperiled species and the ecosystems on which they depend. In the interior United States, the ESA is administered by the USFWS. As of March 2019, the USFWS lists nine threatened and endangered species with the potential to occur in or be impacted by the Project (USFWS, 2019ba). No critical habitats are anticipated to be impacted by the Project. Table 10-6 lists threatened and endangered species and their federal and state listing status.

| Common Name  | Scientific Name                                  | Status          |
|--|--|-----------------|
| Preble's Meadow Jumping Mouse  | Zapus hudsonius preblei                          | FT, ST          |
| Least Tern <sup>a</sup>  | Sternula antillarum                              | FE, SE          |
| Mexican Spotted Owl  | Strix occidentalis lucida                        | FT, ST          |
| Piping Plover <sup>a</sup>   | Charadrius melodus                               | FT, ST          |
| Whooping Crane <sup>a</sup>  | Grus americana                                   | FE, SE          |
| Pallid Sturgeon <sup>a</sup>   | Scaphirhynchus albus                             | FE              |
| Colorado Butterfly Plant   | Gaura neomexicana var. coloradensis              | FE              |
| Ute Ladies'-tresses Orchid   | Spiranthes diluvialis                            | FT              |
| Western Prairie Fringed Orchida  | Platanthera praeclara                            | FT              |
| <sup>a</sup> Water depletions in the South Platte reaches in other states. | River may affect the species or critical habitat | t in downstream |

# Table 10-6: Federally Listed Species with the Potential to Occur or be Affected by Projects in Adams County, Colorado

<sup>a</sup>Water depletions in the South Platte River may affect the species or critical habitat in downstreal reaches in other states.
 Source: USFWS 2019b
 Notes:
 FT = Federally Threatened
 ST = State Threatened

| FT = Federally Threatened | ST = State Threatened |
|---------------------------|-----------------------|
| FE = Federally Endangered | SE = State Endangered |

Habitat suitable for federally listed species was identified based on vegetative characteristics. The corridor was informally reviewed for prairie dog colonies because they may provide habitat for Burrowing Owls (Athene cunicularia) (see Section 10.6.8).

The Project area was reviewed for nine federally listed threatened and endangered species with the potential to occur in Adams County or be indirectly impacted affected by projects located there (USFWS 2019b, 2019c, 2019d, 2019e) (see Table 10-6). Potential habitat for 3 of the 9 listed species occurs within the Project area: Preble's meadow jumping mouse (Zapus hudsonius preblei) (PMJM), Colorado butterfly plant (Guara neomexicana var. coloradensis) (CBP), and Ute ladies'- tresses orchid (Spiranthes diluvialis) (ULTO) occurs within the Project area. However, the habitats are of poor quality, and these species are not expected to be present. Moreover, each of these species further has a USFWS Block Clearance Zone that overlaps a portion of the project area. Although these species are protected wherever found, within block clearance zones habitat analysis and survey requirements would not apply within Block Clearance Zones within during the applicable dates of the clearance because of the previously verified absence of the species.



No potential habitat for the remaining six species was identified in the Project area. However, if the Project affects the flow of the South Platte River downstream of the Project corridor, five of the remaining six species may be indirectly impacted by the Project. Each of these are discussed in more detail below.

# 10.6.2 Preble's Meadow Jumping Mouse

PMJM are typically found in well-developed riparian communities bordered by undisturbed grasslands (USFWS 2018). These riparian communities are typically dense and shrub-dominated. Most of the potential habitat within the Project area is disturbed and weedy, often altogether lacking the shrub component required for this species. Additionally, most of the Denver Metropolitan Area has been assessed for PMJM, and the USFWS has approved a Block Clearance Zone that includes a large portion of the Project corridor, except for an approximately 1-mile stretch from east of E-470 to the northern side of Peña Boulevard (USFWS 2018) along Second Creek. This stretch of the creek, bordered on both sides by a Block Clearance Zone and lacking in the typical well-developed shrub riparian characterizing PMJM habitat, is extremely unlikely to support the species.

### 10.6.3 Mexican Spotted Owl

This species occurs in mixed conifer forests and rocky canyons. No suitable habitat for the Mexican Spotted Owl (Strix occidentalis lucida) occurs within the Project area.

### 10.6.4 Colorado Butterfly Plant

CBP is a facultative plant species found in or adjacent to wetlands within the floodplains of meandering streams. The species prefers undisturbed sites dominated by native grasses and little competition. Although portions of the Project area present appropriate meandering stream sites, these are often overgrown and generally weedy, therefore lacking ideal habitat for CBP. This species is not anticipated to occur within the Project area. Additionally, the portion of the Project within the South Platte River floodplain would overlap with the USFWS 2017 published Block Clearance Zone for this species (USFWS 2019c). Surveys for this species would not be required within this zone through the valid date of the clearance, currently January 24, 2020. However, pre-disturbance surveys would be performed at the discretion of the USFWS within the remainder of the Project corridor.

### 10.6.5 Ute Ladies'-tresses Orchid

ULTO is a facultative wetland species that prefers mesic or wet meadows in riparian and wetland communities near perennial water sources, including springs and streams (USFWS 1992). Typical vegetative communities vary but generally display more open and low characteristics, including those created by active grazing or other forms of disturbance. Although several riparian wetland communities are along the SD Interceptor alignment, these generally display the characteristics of stable communities, including weedy and overgrown areas not typically considered habitat for ULTO. This species is not anticipated to occur within the Project area. Additionally, the portion of the SD Interceptor alignment within the South Platte River floodplain overlaps with the USFWS 2017 published Block Clearance Zone for this species (USFWS 2019d). Surveys for this species would not be required within this zone through the valid date of the clearance, currently January 24, 2020. However, pre-disturbance surveys would be performed at the discretion of USFWS within the remainder of the Project area.

### 10.6.6 Downstream Threatened and Endangered Species

Five species are listed because they occur downstream from the Project corridor in or along the South Platte River and could be affected by projects with water-related activities or uses in the South Platte River Basin. The following five species could be affected: Least Tern (Sternula antillarum), Piping Plover (Charadrius melodus), Whooping Crane (Grus americana), pallid sturgeon (Scaphirhyncus albus), and western prairie fringed orchid (Platanthera praeclara). If the Project reduces the South Platte River flow, these five species could be negatively affected.

The flow rates associated with the NTP, to which this Project connects, were addressed during that project's permitting process based on the NTP's buildout projections. Nevertheless, based on preliminary Project information, discharge volumes to the South Platte River are expected to remain the same or increase. Downstream Project impacts would be evaluated in more detail at the discretion of USFWS.

### 10.6.7 Migratory Bird Treaty Act and Bald and Golden Eagle Protection Act

The Migratory Bird Treaty Act (MBTA) makes it illegal to take, possess, import, export, transport, sell, purchase, barter, or offer for sale, purchase, or barter, any migratory bird, or the parts, nests, or eggs of such a bird except under the terms of a valid federal permit. The December 22, 2017 M 37050 Solicitor's Opinion (November 2017 M-Opinion) interprets the MBTA to apply only to affirmative actions that have as their purpose the taking or killing of migratory birds, their nests, or their eggs. The November 2017 M-Opinion is in direct conflict with M-37041 Solicitor's Opinion (January M-Opinion), which interpreted the MBTA to apply to both direct take and incidental take. Incidental take is defined as take that results from an activity but is not the purpose of the activity.

The Bald and Golden Eagle Protection Act (BGEPA) prohibits anyone without a permit issued by the Secretary of the Interior from "taking" bald or golden eagles, including their parts, nests, or eggs. The Act provides criminal penalties for persons who "take, possess, sell, purchase, barter, offer to sell, purchase or barter, transport, export or import, at any time or any manner, any Bald Eagle . [or any Golden Eagle], alive or dead, or any part, nest, or egg thereof." The Act defines "take" as "pursue, shoot, shoot at, poison, wound, kill, capture, trap, collect, molest or disturb." Disturb is defined as "to agitate or bother a Bald or Golden Eagle to a degree that causes, or is likely to cause, based on the best scientific information available, injury to an eagle, a decrease in its productivity, by substantially interfering with normal breeding, feeding, or sheltering behavior, or nest abandonment, by substantially interfering with normal breeding, feeding, or sheltering behavior." In addition to immediate impacts, this definition also covers impacts that result from human-induced alterations initiated around a previously used nest site during a time when eagles are not present, if, upon the eagle's return, such alterations agitate or bother an eagle to a degree that interferes with or interrupts normal breeding, feeding, or sheltering behavior."

The Department of Justice is responsible for enforcing the MBTA and BGEPA at the referral of USFWS. In the state of Colorado, the USFWS works in cooperation with Colorado Parks and Wildlife (CPW). CPW has published guidelines on buffer distances to minimize impacts to nesting raptors (CPW 2008).

Construction-related activities, including tree removal, vegetation grubbing (removal), earth moving, other permanent or temporary changes to the landscape, and the presence of people, have the potential to destroy nests or otherwise result in the take of bird species protected under these acts. Nearby construction may cause birds to abandon nests. Similarly, winter construction activities may



cause Bald Eagles to abandon roosting areas. The SD Interceptor alignment crosses both urban and rural areas. Birds in rural areas tend to be less habituated to activity, including construction, than those occurring and nesting in more urbanized areas. In addition to nests that occur in trees, shrubs, and on the ground, prairie dog colonies and other burrows may provide habitat for nesting Burrowing Owls. Therefore, where prairie dog colonies occur within or adjacent to the SD Interceptor alignment, disturbances can occur to Burrowing Owls. For further information see 10.6.9 Impact Mitigation.

### 10.6.8 Colorado State-listed Species

The State of Colorado prohibits the willful destruction of wildlife dens, nests, and eggs, and the harassment of wildlife (Colorado Revised Statute 33-6-128). Take of state-listed endangered and threatened species is prohibited by statute (Colorado Revised Statute 33-2-105). Species of special concern are protected under game and non-game laws in Colorado, as appropriate, but the designation of species of special concern is otherwise non-statutory. Table 10-7 provides a summary of the state-listed species that are reasonably likely to occur within the Project corridor.

| Common Name Scientific Name Status |                          |    |  |  |  |
|------------------------------------|--------------------------|----|--|--|--|
| Black-tailed Prairie Dog           | Cynomys ludovicianus     | SC |  |  |  |
| Northern Leopard Frog              | Rana/Lithobates pipiens  | SC |  |  |  |
| Northern Cricket Froga             | Acris crepitans          | SC |  |  |  |
| Blanchards Cricket Froga           | Acris blanchardi         | SC |  |  |  |
| Common Garter Snake                | Thamnophis sirtalis      | SC |  |  |  |
| Bald Eagle                         | Haliaeetus leucocephalus | SC |  |  |  |
| Ferruginous Hawk                   | Buteo regalis            | SC |  |  |  |
| Burrowing Owl                      | Athene cunicularia       | ST |  |  |  |
| Mountain Plover                    | Charadriua montanus      | SC |  |  |  |
|                                    |                          |    |  |  |  |

| Table 10-7: State of Colorado Listed Species with the Potential to Occur or be Affected by Projects |
|---|
| in Adams County, Colorado   |

<sup>a</sup>Species historically occurred in the region but has been extirpated from Colorado since the 1970s.

Source: CPW, 2019

Notes:

ST = State Threatened

SC = State Special Concern (not a statutory category)

#### Black-tailed Prairie Dogs

Black-tailed prairie dogs (Cynomys ludovicianus) occur in colonies or "towns" formed by a series of burrows. Prairie dogs are commonly considered a "keystone" species because in their absence, local biological communities typically change or degrade. Their burrows provide shelter and nesting opportunities for other grassland species, their intensive grazing activities increase diversity of prairie plant species, and they are an important food source for many predators.

The black-tailed prairie dog is listed by the CPW as both a state species of special concern and a small game species. The CPW prohibits removal of prairie dogs from public lands and recommends refraining from removal on private lands from March 1 through June 14 because prairie dog pups



inhabit the burrows during that period. Some municipalities within Colorado have regulations protecting prairie dogs, but Adams County refers to CPW regulations and guidance regarding black-tailed prairie dogs. Although prairie dogs are not protected under the ESA, CPW recommends attempting to remove or exterminate prairie dogs prior to bulldozing an active prairie dog town for humane reasons.

Prairie dog colonies were observed in the Project corridor. Colonies become more expansive and frequent towards the eastern and southern end of the SD Interceptor alignment. The Project Team will abide by CPW regulations and guidance for removal of the colonies.

#### Northern Leopard Frog, Northern and Blanchard Cricket Frogs, and Common Garter Snake

The Project corridor would overlap with the ranges of northern leopard frog (Rana/Lithobates pipiens), northern and Blanchards cricket frogs (Acris crepitans and Acris blanchardi, respectively), and common garter snakes (Thamnophis sirtalis). Although the Project would overlap with the range of both species of cricket frog, neither has been detected within Colorado since the 1970s; therefore, both species of cricket frog are considered extirpated from the region (CPW 2019). Because of this, neither will be addressed further in this report.

The northern leopard frog is a medium-sized frog covered in spots that are dark with a pale outline. The species requires a mosaic of vegetative communities adjacent to water to meet all the requirements of its life and breeding cycles (USFWS 2019e). Although this species is widely distributed throughout the U.S., it has seen vast range declines contemporarily. Within eastern Colorado, it is primarily restricted to the northeastern part of the state, with other local, uncommon occurrences (CPW 2019).

Common garter snakes are a species of natricine snake with pale stripes occurring at the sides and along the dorsal plane, pale belly, and otherwise dark dorsal half (CPW 2019). Within Colorado, this species occurs below 6,000 feet along the South Platte River and below 3,600 feet in the North Fork Republican River drainage. This species is restricted to aquatic, wetland, riparian, and floodplain communities. Within the Project corridor, this species is only anticipated within the South Platte River floodplain.

Although take of these species is prohibited except by permit, otherwise lawful activities that result in take are not restricted.

#### State-listed Bird Species: Bald Eagle, Ferruginous Hawk, and Burrowing Owls

Bald Eagles (Haliaeetus leucocephalus) are state-listed species of special concern and protected under the MBTA, BGEPA, and Colorado wildlife law. Bald Eagles occur within and near the Project corridor. Based on the findings of the raptor nest survey conducted for the Project corridor in May 2019, Bald Eagles have been observed, and one nest has been identified within view of the Project corridor. The Project corridor is anticipated to be nesting, foraging, and wintering habitat for this species.

Ferruginous Hawks (Buteo regalis) are state-listed species of special concern and protected under the MBTA and Colorado wildlife law. Ferruginous Hawks have been observed in the Project corridor. Nesting habitat for this species has not been identified near the SD Interceptor alignment, but wintering Ferruginous Hawks are anticipated within the Project corridor.



Burrowing Owls are a state-listed threatened species, also protected under the MBTA. Burrowing Owls occur within and near the Project area seasonally. They are closely tied to the availability of burrows and are, therefore, anticipated on and near prairie dog towns.

Mountain Plovers (Charadrius montanus) are state-listed species of special concern and protected under the MBTA and Colorado wildlife law. Mountain Plovers are a migratory, seasonal species typically associated with shortgrass prairie, grazing areas, or prairie dog towns because of their short vegetation characteristics.

Refer to Section 10.6.9 for specific actions planned to minimize possible impacts on these species.

The South Platte River corridor from Denver north to 136th Avenue is a designated Important Bird Area (IBA) (Audubon-Rockies 2019). The river, its riparian floodplain, and associated ponds through this area are included in the IBA and constitute cover, nesting, and winter habitat for birds. The largest Bald Eagle roost in Adams County outside of Rocky Mountain Arsenal is known to occur within this corridor. The IBA program is a voluntary, non-regulatory conservation program administered by Audubon-Rockies.

### 10.6.9 Impact Mitigation

No federally listed threatened or endangered species are anticipated within the Project corridor. Most of the project would fall within the Denver Block Clearance Zone for the PMJM, and a portion of the project would occur within the Block Clearance Zones for ULTO and CBP. Because an approximately 1-mile section of the alignment falls outside of the PMJM Block Clearance Zone and the ULTO and CBP Block Clearance Zones are limited to the South Platte River corridor, any areas of impacts on wetlands, waters, and riparian habitat that occur outside of the Block Clearance Zones will be evaluated and discussed with the USFWS. Depending on the location and types of impacts, a formal habitat assessment or species surveys may be required. There is low potential for the Project to affect the resident native and non-native fish species and the five listed species that occur in the South Platte River downstream from the Project. Downstream Project impacts would be evaluated in more detail and discussed with the USFWS as necessary. Coordination with CPW to address concerns regarding native fish may be required if in-stream work were to occur to the South Platte River.

Removal of black-tailed prairie dogs is restricted from March 1 to June 14 annually on public lands, and CPW recommends that removal of this species take place outside of these dates on private lands. CPW recommends several removal methods, including relocation, trapping, barriers, shooting, and use of rodenticides as indicated on the Colorado State University Extension fact sheet titled Managing Prairie Dogs (Andelt and Hopper 2016). The Project would abide by these recommendations and restrictions, as appropriate, to the land type and control method. CPW further recommends steps to minimize risks to non-target species when controlling prairie dogs (CPW 2007). These recommendations would be incorporated into management steps, as appropriate, to the planned control.

No specific actions are recommended for preservation of the amphibious and reptilian non-game species listed as species of special concern for the State of Colorado. Impacts on wetlands and other waters are anticipated to be restored to preconstruction contours and vegetation in accordance with CWA 404 regulations; therefore, any impacts on these species are anticipated to be minor and short-



term in duration. CPW coordination, although not required, would provide recommendations on protecting suitable habitat for these species.

Take of migratory birds, Bald Eagles, Ferruginous Hawks, Burrowing Owls, and Mountain Plovers, their nests, eggs, and parts is prohibited by the MBTA, BGEPA, and Colorado wildlife law.

Raptor nest surveys would be performed by a qualified biologist and would occur annually beginning at least one year prior to construction to form a baseline of nesting activity along the Project corridor. Annual surveys would occur in two or three phases, as appropriate, to determine nesting activity and verify that nesting raptors are not being negatively affected by construction. Nest buffers would be prescriptive and used where necessary to protect nesting raptors. Survey protocol, survey results, and buffers would be coordinated with the appropriate CPW biologist.

If construction commences in an area between November 15 and March 15, a preconstruction survey for roosting Bald Eagles would be conducted. If Bald Eagles are roosting in the Project vicinity, coordination with CPW may be required.

Preconstruction migratory bird nesting surveys would also be performed by a qualified biologist in the appropriate season within the seven days prior to any vegetation removal (including mowing, clearing, grubbing, tree removal, or changes in construction activities) to avoid abandonment and nest destruction of nesting species, including Mountain Plover. Migratory bird nesting surveys would not be performed within active construction zones if the activity began prior to the nesting season. Survey protocol, survey results, and buffers will be coordinated with the appropriate CPW biologist.

Where active prairie dog towns are found within or immediately adjacent to the Project, Burrowing Owl nest surveys will be performed in accordance with the CPW protocol.

# 10.7 Geologic Conditions and Natural Hazards

The SD Interceptor corridor generally is underlain by alluvial soils that can be characterized as loamy with some containing higher amounts of sand. Most of the soils throughout the alignment will be considered well drained. The soils in the northern segments of the Project area are coarse while the soils in the southern segments tend to be finer, shallower soils. Segment A (see Figure 2-1 for alignment segments) primarily consists of loamy or wet alluvial lands, associated with the South Platte River and Dacano loam. Segment B consists mostly of Truckton loamy sand and Vona sandy loam. Segment C primarily consists of Truckton loamy sand, Truckton sandy loam, and loamy alluvial land. Segment D is dominated by Arvada loam but also has large concentrations of loamy alluvial land and Truckton loamy sand. Segments E and F have primarily Arvada loam, Wiley-Adena-Renhill complex, and Platner loam, while Segment F also has a large concentration of Samsil-Shingle complex.

Groundwater in the Project area is expected to exist in the unconsolidated alluvial deposits above bedrock. The depth to groundwater is anticipated to vary across the Project and is expected to be as shallow as 5 feet but typically from 10 to 30 feet or deeper below ground surface. Regionally, groundwater within the Project area flows north, as influenced by Second Creek, and north-northeast, as influenced by the flow direction of the South Platte River.

Project area soils and geological conditions do not pose significant construction concerns in relation to the interceptor and associated facilities. Although most of the soils along the alignment are stable for excavation, the Truckton, Samsil-Shingle, and wet alluvial soils have a moderate to poor stability



rating. Excluding the Truckton soils, the soils in the Project area tend to have a moderate to high level of risk for corrosion of steel. These types of soil issues can be addressed by various construction techniques. Topsoil may be stripped, salvaged, and stockpiled during construction and replaced when interceptor installation is completed. No changes to soils are anticipated.

The SD Interceptor alignment was selected based on several key factors, including proximity to Second Creek and construction considerations, such as dewatering, shoring, and others. Multiple fault lines are located generally west of the alignment. The Rock Creek fault line is closest to the Project at approximately 15 miles to the west of the SD Interceptor alignment. Fault lines in the vicinity of the Project are rated as Class B faults with slip rates less than 0.2 millimeter per year. No unstable slopes, avalanche areas, debris fans, mud flows, or rockslide areas were identified in the Project area. The Project will not result in increased fire danger.

# 10.8 Nuisances

During construction, the SD Interceptor Project will result in temporary nuisances, including increased noise, dust, traffic, and vibration that are typical of construction activities. These nuisances are expected to be localized to the area of activity and are not expected to have long-term impacts. Specific nuisance impacts are discussed in the rest of this section.

### 10.8.1 Odors

The SD Interceptor Project is proposed as a fully underground gravity sewer interceptor with manholes that are vented to the sewer. Nuisance odors in sewers are often the result of the off-gassing of hydrogen sulfide buildup, which often occurs when dissolved hydrogen sulfide is released from solution during turbulent flows.

To prevent turbulent flows, and therefore excessive off-gassing, the SD Interceptor will be designed to maintain subcritical, laminar flow throughout the interceptor. Locations where flows mix (such as at connection structures and where potential pressurization may occur, such as the siphon) will be designed to maintain negative pressure and draw odorous gases downstream to an odor control facility. The odor control facility will be connected to the siphon structure and designed to capture and treat odors generated within the interceptor, upstream from the siphon. Odors generated in the SD Interceptor downstream from the siphon will be captured and treated by the SPI's odor control facility at the NTP. The odor control facility may emit minor odor, but these odors will not affect the surrounding community.

### 10.8.2 Noise and Vibration

The odor control facility will use fans to convey air from the siphon structure to the odor control facility. The fans will be housed in an enclosed structure to minimize noise and vibration, so nuisance effects are expected to be negligible. The odor control facility fans are the only mechanical components in the SD Interceptor that have the potential to generate nuisance noise or vibration.

#### 10.8.3 Dust

Permanent gravel access roads will be installed along portions of the SD Interceptor alignment in unincorporated Adams County for maintenance and operation of the interceptor. The roads will be designed to reduce dust generation. It is expected that the access roads will be used rarely during the



life of the SD Interceptor. Metro District's contractor will implement appropriate CMs, including watering of exposed soils, to minimize fugitive dust from construction.

### 10.8.4 Fuel Leaks and Spills

Systems within the SD Interceptor alignment will not require backup power generators or fuel storage tanks, thus eliminating nuisance fuel leaks or spills.

#### 10.8.5 Rodents and Insects

SD Interceptor aboveground and belowground structures will be designed to eliminate access to the sewer by rodents or other animals. Vents and small openings will be fitted with insect screens to keep insects out of the sewer.

# 10.9 Historic, and Archaeological Resources

The SD Interceptor alignment was modified after the 2018 cultural inventory summarized herein was conducted. A supplemental survey was conducted in May 2019 to survey those areas where the alignment shifted that were not surveyed during the initial survey. The results of the supplemental survey are also summarized here.

### 10.9.1 Methodology

A Class III cultural resources inventory and survey was conducted in September and December 2018 to assess cultural resources in the proposed area of potential effect (APE) established for the project, entitled *Class III Cultural Resources Inventory of the Second Creek Project, Adams and Denver Counties* (Jacobs 2019a). The results of the supplemental survey will be incorporated into a final report. The APE consists of a 100-foot area on each side of the centerline of the approximately 17.5-mile proposed interceptor alignment (see the alignment on Figure 10-23). The APE encompasses the extent of potential ground disturbance from construction of the Project, including grading, cutting, filling, excavation, and staging activities. The inventory findings are summarized below only for those sections of the APE that are located within unincorporated Adams County.

The following tasks were performed as part of the inventory:

- Conducted file research in August and September 2018 through the Colorado Office of Archaeology and Historic Preservation using the Colorado On-line Cultural Resource Database (Compass) and review of reports, maps, and aerial photographs related to the APE and the vicinity.
- Reviewed topographic and geologic maps and aerial photographs.
- Conducted a field pedestrian survey of the APE in September and December 2018 to inspect ground conditions, relocate previously identified cultural resources, identify previously unrecorded resources, and assess potential for presence of subsurface resources.
- Conducted a field pedestrian survey of realigned portions of the APE, which included areas within unincorporated Adams County, in May 2019.



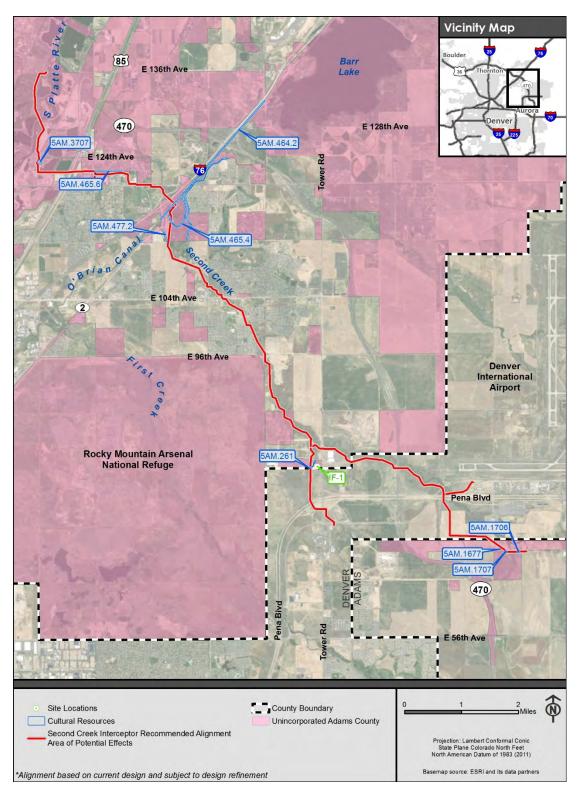


Figure 10-23: Previously Recorded Cultural Resources Within APE Located in Unincorporated Adams County

### 10.9.2 Cultural Resources Identified

#### Archaeology and Historic

#### Previous Cultural Resources Surveys

The file search indicated that over 50 cultural resource inventories have been conducted within or adjacent to the APE for the overall SD Interceptor alignment. The majority of the inventories were conducted in connection with various highway projects, DEN, and Rocky Mountain Arsenal. These inventories recorded 21 previously documented cultural resources within the APE (see Table 4-1 of the inventory report) and 65 cultural resources within 0.25 mile of the APE (see Table 4-2 of the inventory report). Nine previously recorded resources fall within the APE located in unincorporated Adams County, including six historical and three prehistoric resources. Of those, one is National Register of Historic Places (NRHP) eligible, one contributes to an NRHP-eligible resource, one supports the NRHP eligibility of a linear resource, and one has undetermined NRHP eligibility due to insufficient data (see Table 10-8).

### Cultural Resources Assessment for Second Creek Interceptor Project

The pedestrian survey and analysis of local topography revealed that the northeastern sections of the APE have been heavily impacted by development, and areas adjacent to the South Platte River have been heavily modified by the current and historical extraction of gravel. The central sections of the APE have been moderately disturbed by housing developments and historical agricultural use. The lands encompassed by the Second Creek Open Space adjacent to Second Creek appear to be intact with higher potential for intact archaeological subsurface deposits. The southern and eastern sections of the APE have been moderately disturbed by historical and current agricultural use and transportation-related construction.

The inventory conducted for this Project reexamined the 21 previously recorded archaeological/historical resources within the APE. Of those sites, nine are located within unincorporated Adams County, including five sites in the northern section of the APE, one site in the central section, and three sites in the southern section of the APE. The inventory also evaluated one newly-recorded site in unincorporated Adams County located in the central section of the APE. These sites are summarized in Table 10-8 and shown on Figure 10-23.

The supplemental pedestrian survey included 100 percent survey of the realignment falling in unincorporated Adams County. No new resources were identified.

| Site Number/Name    | Site Type/Description   | NRHP Eligibility |
|---------------------|---|------------------|
| Previously Recorded |   |                  |
| 5AM.1706/Adr-2      | Prehistoric/Open Camp. Late prehistoric open camp located on hilltop<br>above confluence of Second Creek and intermittent tributary. Consists<br>of multiple artifact scatter. Recommended not NRHP eligible due to<br>highly disturbed landform. | Not eligible     |
| 5AM.1707/Adr-8      | Prehistoric/Open Camp. Prehistoric open camp located on hilltop above confluence of Second Creek and seasonal tributary. Consists of multiple artifact scatter. Recommended not NRHP eligible due to highly disturbed landform.                   | Not eligible     |

#### Table 10-8: Previously and Newly Recorded Cultural Resources within the APE



| Site Number/Name                          | Site Type/Description  | NRHP Eligibility  |
|---|--|---|
| 5AM.261/High Line<br>Canal                | Historical/Water Control Feature. Portion of the Highline Canal system<br>built in 1898 that was an expansion of original canal built between 1880<br>and 1883. This segment retains its original earthen composition but<br>does not appear to be regularly maintained. Segment was determined<br>contributing segment to an eligible resource in 1986.   | Eligible  |
| 5AM.464.2/Burlington<br>Northern Railroad | Historical/Railroad Segment. Railroad section built in 1883. Rail line is still in use and determined to be not distinctive of type, period, or method of construction.  | Not eligible  |
| 5AM.465.4/Burlington<br>Ditch - Segment   | Historical/Ditch, Water Control Feature. Ditch was built in 1888 to<br>convey water from South Platte River and the Sand, First, Second, and<br>Third Creeks for direct irrigation and to supply two reservoirs. This ditch<br>segment retains its original earthen composition. Entire linear resource<br>was determined eligible in 1988; this segment was determined a<br>contributing segment in 1992. | Contributing  |
| 5AM.465.6/Burlington<br>Ditch - Lateral   | Historical/Ditch, Water Control Feature. Ditch segment was built in 1888<br>and was previously determined a noncontributing element to NRHP-<br>eligible linear resource.  | Noncontributing   |
| 5AM.477.2/O'Brian<br>Canal - Segment      | Historical/Canal. Canal was built in 1908 to increase storage limit of the Oasis and Barr Lake reservoirs, Entire linear resource, including this segment, was determined NRHP eligible in 1992. It does not appear to have been significantly altered since its 1992 NRHP eligibility determination.  | Supports<br>eligibility of linear<br>feature            |
| 5AM.1677/91DVIF30                         | Prehistoric/Isolated Find. Consists of a fragmented limestone metate recommended not NRHP eligible.  | Not eligible  |
| 5AM.3707/Trunkenbolz<br>Farm              | Historical/Historical Structures. Farm complex consisting of main<br>residence built in 1934, garage built before 1950, equipment shed built<br>in 1991, and another residential building built in 1919. Site was<br>evaluated in 2016, but NRHP eligibility was not determined at the time<br>because more data was recommended.  | Undetermined - no<br>information in<br>Compass database |
| Newly Recorded                            |  |   |
| IF-1/Isolated Find                        | Prehistoric/Single petrified wood piece of debitage located on north slope of landform containing prehistoric sites 5DV.3903/3904 and 5DV.3866. Area has been highly disturbed by historical agriculture; probable that IF-1 was displaced from larger upslope prehistoric lithic scatter. Site is located outside the current APE.  | Recommended not<br>eligible for the<br>NRHP             |

### 10.9.3 Impacts

The Project has the potential to affect cultural resources that are eligible for the NRHP or that contribute to an NRHP eligible resource. The SD Interceptor alignment would cross the following previously determined NRHP-eligible historic architecture resources within the APE located in unincorporated Adams County:

- 5AM.261 High Line Canal (parcels SD 277 and SD 287)
- 5AM465.4 Burlington Ditch Segment (parcel SD 332)
- 5AM.477.2 O'Brian Canal Segment (parcel SD 214)



As part of its Section 404 permitting process (see Section 10.5), the USACE will conduct Section 106 consultation to finalize the APE and determine NRHP eligibility and Project effects based on the findings of the *Class III Cultural Resources Inventory of the Second Creek Project, Adams and Denver Counties* (Jacobs 2019a) prepared for this permit. Determining effects involves assessing if a project diminishes the character-defining features of a resource that rendered it eligible for the NRHP. Effect determinations for the resources listed above would consider the construction methods used and resultant physical alterations (direct, indirect, temporary, permanent) to those resources. Determination of effects for linear resources considers whether the integrity of design, materials, setting, workmanship, and feeling of that resource that already lacks integrity due to previous damage or alterations, or the length of impacted area in relation to the overall length of the linear resource.

During final design and construction, physical alterations to these resources should be avoided or minimized to the extent practicable.

### Mitigation

The Metro District and its contractors will adhere to mitigation commitments developed through the Section 106 consultation process. These may include, but not be limited to, the following:

- Employ trenchless construction techniques under the historic canal and ditches to avoid effects to those resources.
- Install construction fencing around sensitive resources during construction.
- If any subsurface bones or other potential fossils are found by construction personnel during construction, work in the area will cease immediately, and a qualified paleontologist will be contacted to evaluate the significance of the find and determine appropriate salvage and/or mitigation measures. Once salvage or other mitigation measures (including sampling) is complete, the paleontologist will notify the construction supervisor that paleontological clearance has been granted.

# 10.10 Hazardous Materials

Hazardous materials could be encountered during construction. Therefore, properties need to be identified that may contain contamination prior to easement acquisition and construction. Hazardous materials are defined as any waste product that is considered flammable, corrosive, reactive, or toxic. Hazardous materials can be found in various forms and can originate from a variety of sources. Examples of potential sites that may contain hazardous waste include landfills, service stations, industrial areas, railroad corridors, and mine sites.

A Hazardous Materials Assessment was performed to screen the SD Interceptor corridor for sites with known or suspected recognized environmental conditions (RECs) (Jacobs 2019b). RECs indicate the presence or likely presence of any hazardous substances or petroleum products in, on, or at a property because of a release to the environment, or under conditions indicative of a release to the environment, or under conditions that pose a material threat of a future release to the environment (ASTM International 2013). The term REC is not intended to include *de minimis* conditions that generally do not present a material risk of harm to public health or the environment



and that generally will not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies.

A search of selected government databases was conducted using Environmental Data Resources (EDR). According to the EDR corridor and radius reports for the SD Interceptor alignment, approximately 25 listed sites are within 0.5 mile of the subject property that may or may not pose a risk to the Project. However, after further review, these sites are not considered REC sites and are not anticipated to impact the proposed SD Interceptor project within unincorporated areas of Adams County. In addition, based on information reviewed for the Rocky Mountain Arsenal site and the Tomahawk Truck Stop, it is concluded that RECs associated with these sites are not likely to impact the Project. The EDR report depicts the locations of listed sites and can be found in the *Hazardous Materials Assessment Report* (Jacobs 2019b).

Additional records were reviewed for the Project: the on-line Colorado Storage Tank Information System (Colorado Department of Labor and Employment 2000), Hazardous Materials and Waste Management Division on-line mapping (CDPHE 2019a), and the Tri-County Health Department historic landfill database (Tri-County Health Department 2019). Based on review of these records, approximately six listed sites were identified within 0.5 mile of the SD Interceptor (see Figure 10-24). However, these sites are not considered REC sites and are not anticipated to impact the SD Interceptor construction within unincorporated areas of Adams County. Additional information on the records review can be found in the *Hazardous Materials Assessment Report* (Jacobs 2019b). Background information and a figure showing the locations of the historic landfills within unincorporated Adams County near the SD Interceptor are provided in Appendix D.

Temporary and permanent easements are anticipated at approximately 80 and 78 properties, respectively, for the Project. There are 28 parcels within the unincorporated County limits that will be affected by construction or long-term maintenance of the SD Interceptor as discussed in Section 3.1. Of these properties, four are anticipated to have easements on or near listed sites identified in the regulatory databases and records as discussed above.

Because of anticipated easements and historical and unknown potential contamination adjacent to the SD Interceptor alignment, the contractor will prepare a Health and Safety Plan (HSP) and Hazardous Materials Management Plan (MMP) in accordance with CDPHE Solid Waste Guidance and Policy to respond to hazardous materials or waste that may be encountered (CDPHE 2019b). These plans will include assessment of the extent of potential construction debris disposal areas to characterize the soil for worker, public, and environmental protection and to determine appropriate and necessary waste management and disposal requirements. The plans will be prepared in accordance with Occupational Safety and Health Administration (OSHA): 29 CFR Part 1910 (OSHA 2019a), *Safety Standards for General Industry*, and 29 CFR Part 1926, *Safety and Health Regulations for Construction* (OSHA 2019b).

In addition, the Hazardous MMP will include procedures for management of asbestos-containing building material in accordance with CDPHE Regulation 8 (CDPHE 2019b), and regulated asbestos-containing soil in accordance with CDPHE 6, Code of Colorado Regulations 1007-2 Part 1 Section 5 (CDPHE 2019c). These procedures will be used in areas where these asbestos-containing materials may be encountered during construction, including landfill areas. Construction personnel will be trained to recognize signs of possible contamination in soil, such as odors and staining.



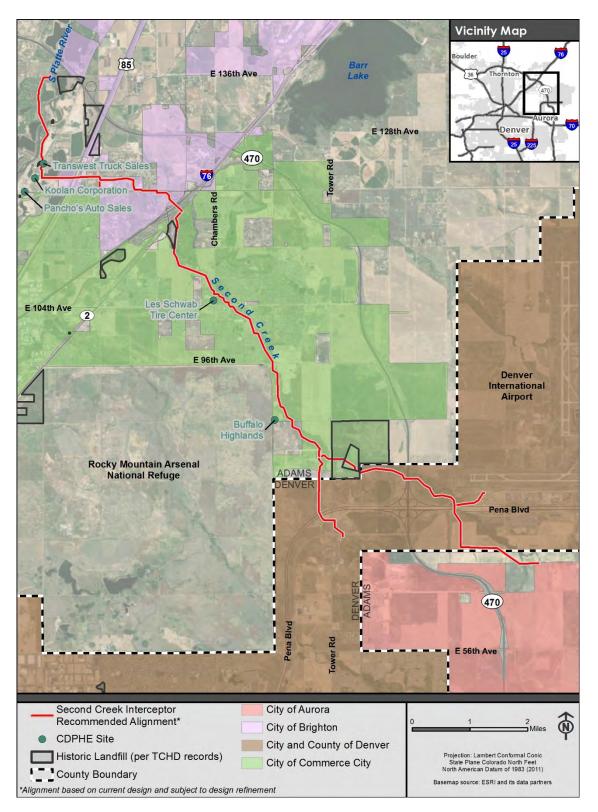


Figure 10-24: Additional Records Map for the SD Interceptor



Full property acquisitions and demolition of structures are not anticipated. If property acquisition or structure demolition is needed, additional investigations are recommended that include, but are not limited to, inspections for the possible presence of asbestos-containing building materials (ACBM), lead-based paint (LBP), polychlorinated biphenyl (PCB) waste (light ballasts, transformers, etc.), heavy metals (mercury switches), fire suppression system contents, or petroleum hydrocarbons in soil.

The guidance, *Reporting Environmental Releases in Colorado* (CDPHE 2009), and a spill protection countermeasure control (SPCC) plan will be developed during construction. A separate Flammable Gas Investigation Plan (see Appendix D) has been prepared for and approved by Tri-County Health Department that outlines the requirements for monitoring methane gas near active and historical landfills during the design and construction phases.

CMs that are recommended during construction are summarized in Table 10-9.

| Table 10-9: Recommended Hazardous Materials Mitigation During Construction                                       |                             |  |  |  |
|--|-----------------------------|--|--|--|
| Impact   | Impact Type                 | Mitigation Measures  |  |  |
| Existing hazardous materials<br>sites adjacent to areas of<br>proposed excavation and<br>acquisition of property | Construction<br>(Temporary) | <ul> <li>Prepare an HSP and an MMP to address contamination as described in this assessment and others that may follow, in accordance with CDPHE Environmental Spill Reporting.</li> <li>Conduct appropriate asbestos surveys and abatement prior to demolition of buildings (if any), per applicable state and federal regulations.</li> <li>Evaluate whether any landfill material proposed for construction contains ACMs, in accordance with CDPHE Solid Waste Regulations.</li> <li>Determine necessary engineering controls to minimize exposure to contaminated materials.</li> <li>Determine cost recovery of hazardous material sites where removal actions and long-term maintenance is required.</li> </ul> |  |  |
| Water Quality Protection   | Construction<br>(Temporary) | Implement construction CMs in accordance with a<br>SPCC plan. The CMs may include secondary<br>containment areas for refueling construction<br>equipment, berms or ponds to control runoff, and<br>monitoring to test stormwater runoff for contaminants<br>prior to discharge from the construction site.   |  |  |
| Protection of Construction<br>Workers  | Construction<br>(Temporary) | Compliance with OSHA requirements for construction<br>workers who may be exposed to hazardous materials,<br>including completion of and adherence to the Health<br>and Safety Plan, performing applicable air monitoring,<br>and provision of Personal Protection Equipment.   |  |  |

Table 10-9: Recommended Hazardous Materials Mitigation During Construction

ACM = asbestos-containing material



# 10.11 Balance Between Benefits and Losses

Issues and effects of the project, along with the section(s) of this report that discuss the issue, are summarized in Appendix E.

# 10.12 Monitoring and Mitigation Plan

The Metro District will employ monitoring and mitigation measures during construction and operation of the Project to avoid or minimize potential impacts on environmental resources. Those measures are summarized in Appendix F.



# 11.0 COORDINATION AND 1041 SUBMITTAL

# **11.1 Coordination History**

The Metro District prepared an RMP for the Sand Creek and Second Creek basins in June 2017. Development of the RMP involved extensive collaboration between the District, the City of Aurora, City of Brighton, City and County of Denver (including DEN) and SACWSD in the assessment of wastewater management alternatives in the Sand Creek and Second Creek basins. This collaboration included meetings of the following groups that were formed to provide input and guidance in developing and evaluating alternatives.

Technical Workgroup (TWG): The TWG included technical representatives from the City of Aurora, City of Brighton, City and County of Denver (including DEN) and SACWSD. The TWG met frequently throughout the development of the RMP.

Quarterly Management Advisory (QMA) group: This group included management representatives of the parties represented in the TWG. This group met three times during development of the RMP.

Since the RMP was finalized in June 2017, the Metro District has coordinated with several jurisdictions, agencies, stakeholders, and the public along the full length of the SD Interceptor alignment to inform and involve them during refinement of the design of the preferred alternative identified in the RMP. Table 11-1 summarizes the meetings held with these stakeholders, not including informal conversations held over the years.

| Table 11-1: Agency, Stakeholder, an           Jurisdiction/Stakeholder | Number of Meetings   |
|--|--|
| Adams County Parks-Golf Course   | 8  |
| Adams County Stakeholders/Departments                                  | 8  |
| Adams County Water Quality Association                                 | 2  |
| City of Aurora   | 4  |
| City of Brighton   | 2  |
| City of Brighton – Schools   | 3  |
| CDPHE  | 1 Aug 2019 timeframe   |
| City of Commerce City  | 10   |
| CDOT   | CDOT indicated no meeting required; plan review is<br>sufficient.            |
| DEN (Denver International Airport)                                     | 3  |
| City and County of Denver  | 2  |
| Denver Department of Public Health and Environment                     | 1  |
| E-470 Authority  | 1  |
| FRICO  | FRICO indicated no meeting needed—moving forward with easement negotiations. |
| RTD  | 1  |

### Table 11-1: Agency, Stakeholder, and Public Participation in 2018/2019



| Jurisdiction/Stakeholder                            | Number of Meetings  |
|---|---|
| Sable Altura Fire Department                        | 1 telecon   |
| SACWSD  | 4   |
| Tri-County Health Department                        | 2   |
| UDFCD   | 1   |
| United Power/other pipeline operators Xcel/Sinclair | 2   |
| USACE   | 1   |
| Public meeting                                      | 3 (1-Adams County, 2-Commerce City [to occur in July 2019]) |

To promote the Neighborhood/Scoping Meeting held on May 9, 2019, the Metro District worked with local agencies to distribute meeting notices to residents. Attendees included property owners, business owners and representative, residents, City/agency staff, and consultants. Two additional Neighborhood meetings will occur in July 2019.

Easement discussions were initiated with some impacted landowners during the preliminary design phase of the project. Participation of impacted parcel owners in future meetings and coordination with the Metro District will be required for temporary construction easements and permanent easements for the interceptor alignment. The timing of subsequent discussions will depend on the interceptor construction sequencing that the Construction Manager At Risk is developing as part of the overall construction schedule. Easement descriptions will be prepared and negotiations between the District and landowners will begin on a prioritized segment basis to maintain the construction schedule.

# 11.2 Agency Coordination

The Metro District has initiated coordination with the agencies listed below who are associated with the Project for those portions of the alignment within unincorporated Adams County. Coordination will be ongoing throughout design and construction of the project. Communication included in person meetings, telephone conversations, and email correspondence. Table 11-2 summarizes the status of communication with each of these agencies and the information exchanged, including possible action items that will be required for coordination and approval in the future. The District will continue coordinating with referral agencies and other stakeholders throughout the planning, design, and construction processes.



### Table 11-2: Agency Coordination

| Agency  | Contact Info   | Outreach<br>To Date                               | Notes  |
|---|--|---|--|
| Adams County Water<br>Quality Association             | Sandra Schrawder, MBA<br>Executive Assistant to General Counsel<br>Designated Election Official<br>South Adams County Water & Sanitation<br>District<br>6595 East 70th Avenue<br>Commerce City, CO 80022<br>(303) 288-2646<br>sschrawder@sacwsd.org  | Attendance at Two<br>Association<br>Meetings      | No issues or<br>questions at this<br>time.   |
| CDPHE - Water<br>Quality Control<br>Division          | Bret Icenogle, P.E.<br>Engineering Section Manager<br>303-692-3278<br>bret.icenogle@state.co.us  | Email notification;<br>telephone<br>communication | Provided guidance<br>on Site Location<br>Application.                                |
| Colorado Parks &<br>Wildlife                          | Serena Rocksund<br>District Wildlife Manager—Adams County<br>6060 Broadway (same for all)<br>Denver, CO 80216 (same for all)<br>303-291-7132<br>serena.rocksund@state.co.us<br>Jordan Likes<br>District Wildlife Manager—Brighton (west of<br>HWY 85)<br>303-291-7135<br>jordan.likes@state.co.us<br>Megan Lacey<br>District Wildlife Manager—Denver County<br>303-291-7137<br>megan.lacey@state.co.us | Email notification;<br>telephone<br>communication | Nesting birds could<br>present some<br>timeline<br>restrictions for<br>construction. |
| Colorado Department<br>of Transportation—<br>Region 1 | Steve Loeffler<br>2829 W. Howard Pl. 2nd Floor<br>Denver, CO 80204<br>303-757-9891<br>steven.loeffler@state.co.us  | Email notification;<br>telephone<br>communication | No meeting<br>required; plan<br>review is sufficient.                                |



| Agency  | Contact Info   | Outreach<br>To Date  | Notes   |
|---|--|--|---|
| Colorado State<br>Historic Preservation<br>Office         | Mark Tobias<br>Intergovernmental Services Manager<br>1200 Broadway<br>Denver, CO 80203<br>303-866-4674<br>mark.tobias@state.co.us  | Email notification;<br>telephone<br>communication            | Section 106 will be<br>initiated through<br>Section 404<br>process.   |
| Tri-County Health<br>Department                           | Warren Brown<br>Senior Environmental Health Consultant<br>6162 South Willow Drive, Suite 100<br>Greenwood Village, CO 80111<br>303-220-9200<br>wbrown@tchd.org                                       | Meeting; email<br>notification;<br>telephone<br>conversation | Flammable Gas<br>Investigation Plan<br>required for design<br>phase<br>investigations and<br>construction phase<br>monitoring.  |
| U.S. Army Corps of<br>Engineers                           | Aaron R. Eilers<br>U.S. Army Corps of Engineers<br>Omaha District Denver Regulatory Office<br>9307 South Wadsworth Boulevard<br>Littleton, CO 80128<br>303-979-4120<br>aaron.r.eilers@usace.army.mil | Meeting; email<br>notification;<br>telephone<br>conversation | Avoid or limit<br>permanent<br>wetlands impacts<br>to qualify for<br>project-wide<br>Nationwide Permit<br>12. Also avoid<br>potential delays<br>with permitting<br>process by using<br>trenchless<br>crossings of<br>NRHP-eligible<br>canals. |
| U.S. Dept. of the<br>Interior: Fish & Wildlife<br>Service | USFWS Rocky Mountain Arsenal<br>David Lucas<br>Project Leader<br>303-289-0232, X5350<br>David_C_Lucas@fws.gov  | Email notification;<br>telephone<br>communication            | No issues or<br>questions at this<br>time.  |
| Urban Drainage and<br>Flood Control District              | David Skoudas<br>2480 W 26th Ave #156B<br>Denver, CO 80211<br>303-455-6277<br><u>dskoudas@udfcd.org</u>  | Meeting; email notification                                  | Drainage study<br>and floodplain<br>considerations for<br>design.   |



# 12.0 NEIGHBORHOOD MEETING (#8 ON CHECKLIST)

# 12.1 Meeting Overview

The Metro District promoted and hosted a Neighborhood/Scoping Meeting at the Riverdale Golf Courses on May 9, 2019, to provide information, answer questions, and gather public input regarding the SD Interceptor Project. The meeting was a combined event to satisfy the neighborhood meeting requirement for the Adams County 1041 and Brighton Conditional Use Permit, which was approved in advance by the respective agency case managers.

# 12.2 Notification and Attendance

Notification postcards were mailed more than three weeks before the meeting to all residents and property owners located within 500 feet of the recommended alignment. A total of 1,246 notifications were mailed. The complete notification list is provided in Appendix G.

# 12.3 Summary

The meeting included open house discussions where members of the public could ask subject matter experts questions on the proposed interceptor alignment. After signing in and receiving a bilingual fact sheet regarding the alignment, attendees were encouraged to visit six stations to gather information, get questions answered from Project representatives, and submit comments. Each station had a series of topic-specific display boards, as well as supplemental maps and a flyover video of the interceptor alignment. The six informations presented the following information:

- 1. **Metro District Overview** Two District facilities serve more than 2 million people and 60 local governments; service area map identifying those served by connectors to connectors.
- 2. Second Creek Interceptor Project Overview The Project's goal is to convey flow to the NTP while maintaining capacity at the RWHTF and expand the District's sustainable gravity flow transmission system. The SD Interceptor is the result of a collaborative effort to identify the best long-term water reclamation solution and enable portions of Aurora, Brighton, Commerce City, Denver, DEN, and South Adams County to be served by the NTP.
- 3. **Project Design** Overview of the interceptor alignment, facts, and design elements with a map of the alignment, as well as a flyover video illustrating the 17.5-mile alignment and surrounding area.
- 4. **Project Construction** Construction methods, including open-cut and trenchless, materials and facilities, what to expect during construction, minimizing construction impacts, current activity and Project schedule.



5. **Regional Benefits** — Long-term infrastructure solution, regional collaboration, environmental stewardship, regional water reclamation service expansion, economic development, and community growth.

### 6. Public Comment

Thirteen people attended the meeting. Most attendees were property owners near the alignment, but other attendees included Brighton staff and representatives from School District 27J and Orchard Church. Spanish language interpretation was offered to facilitate bilingual discussion, but was not required.

# **12.4 Presentation Materials**

Presentation materials, including the fact sheet and display boards, are provided in Appendix G.

# **12.5 Formal Comments**

Most public meeting participants elected to ask questions and provide comments verbally to Project representatives, rather than complete written comment forms at the Public Comment station. The main themes identified in the comments included:

- Identify residential well systems and ensure the well location information is used during construction to prevent impacts. Wells are a vital asset for many property owners.
- Provide a construction schedule and notification of potential road closures.
- Ensure the interceptor works as planned and as needed for population growth.

Attendees also expressed interest in potential sewer line connections.



# 13.0 ADDITIONAL SUBMITTAL REQUIREMENTS

# 13.1 Existing Domestic Wastewater Treatment Systems

Existing domestic wastewater treatment systems are presented for Metro District, SACWSD, and Brighton.

### 13.1.1 Metro Wastewater Reclamation District

The Metro District currently operates the RWHTF (CO-0026638) and NTP (CO-0048959). These facilities collect wastewater flows throughout various areas of the Denver metropolitan area from Member Agencies that have service contracts with the District. The RWHTF has a rated treatment capacity of 220 mgd, currently treats approximately 140 mgd, and discharges to the South Platte River Segment COSPMS04. The proposed SD Interceptor will divert a minor portion of the flows from the RWHTF to NTP. By diverting flows, capacity will be preserved at the RWHTF for future growth in areas such as the urbanizing Platte River Corridor, south metropolitan Denver, and western service areas that are currently only serviceable via gravity flow to the RWHTF. In addition, diverting flows will defer and downsize infrastructure improvements at RWHTF.

The NTP has a rated treatment capacity of 28.8 mgd (maximum month), currently treats average daily flow of about 5 mgd, and discharges to the South Platte River Segment COSPUS16e. The NTP site has been laid out to accommodate expansions in two phases, with a total buildout capacity of 60 mgd beyond 2045. This facility will be able to support incoming flows from the SD Interceptor.

### 13.1.2 Adams County

Adams County currently operates an onsite lagoon system and two lift stations, Lift Station 1 and Lift Station 2, at the Regional Park and Fairgrounds. Lift Station 1 discharges to Lift Station 2, which discharges to either the on-site lagoon system or the SPI. The lagoon system only provides treatment of wastewater generated within the Regional Park. The facility is rated at 10,500 gallons per day.

### 13.1.3 South Adams County Water and Sanitation District

SACWSD's existing Williams Monaco WWTP operates under the National Pollutant Discharge Elimination System (NPDES) Discharge Permit Number CO-0026662. This facility collects wastewater from SACWSD's service area, including Commerce City. The facility is rated at 8 mgd, currently treats around 4 mgd, and discharges to the South Platte River Segment COSPUS15.

# 13.1.4 City of Brighton

The existing Brighton wastewater treatment facility operates under the NPDES Discharge Permit Number CO-0021547. The rated capacity of this facility is 3 mgd, and it currently discharges to the South Platte River Segment COSPUS15 near the Weld County border. Approximately 0.45 mgd of the Brighton WWTP influent is diverted to the SPI for treatment at the NTP.

# 13.2 Domestic Wastewater Treatment Systems Consolidation Analysis

The NTP, Williams Monaco WWTP, Brighton WWTP, and Adams County Regional Park onsite lagoon system are located within a 5-mile radius of the SD Interceptor. Additionally, as many as six



lift stations (listed in Table 5-3) may be decommissioned in Brighton, SACWSD, Aurora, and Denver. The decommissioning of lift stations and diversions of flow will improve the reliability and safety of the collection systems in the region, reduce O&M costs across multiple jurisdictions, and eliminate capacity-driven improvements to existing treatment facilities. The County could construct infrastructure to connect to the SD Interceptor in the future, which would eliminate their Lift Station 2 and possibly Lift Station 1.

### 13.2.1 Consolidation with Adams County

The County and RDGC staff have expressed interest in the possible future decommissioning of the County's Regional Park Lift Stations 1 and 2 through gravity pipeline connections to the SD Interceptor. If the County constructs necessary infrastructure in the future, the Lift Stations could be decommissioned and flows routed by gravity to the SD Interceptor instead of pumped to the SPI.

### 13.2.2 Consolidation with the South Adams County Water and Sanitation District

Metro understands there are no plans to expand the hydraulic capacity of SACWSD's Williams Monaco WWTP at this time. The SD Interceptor will allow SACWSD to tie into a regional interceptor rather than construct its own smaller interceptor to divert flows to the NTP and decommission Lift Station No. 2 in the future.

### 13.2.3 Consolidation with the City of Brighton

Brighton's WWTP is planned to be decommissioned no later than 2036; flows will be diverted to the NTP. Currently, the SPI diverts approximately 0.45 mgd from the Brighton WWTP to NTP, and the proposed SD Interceptor will connect and decommission the East 120th Avenue and Peoria Street Lift Station to divert incoming flows from Brighton WWTP to NTP.

### 13.2.4 Consolidation with the City of Aurora and the City and County of Denver

Aurora is planning to divert flows from portions of its existing service areas that currently are pumped to the RWHTF. These flows will be conveyed via gravity to NTP in the SD Interceptor. This will allow Aurora to decommission three existing lift stations. Aurora will perform decommissioning activities outside of this project. Aurora's Sand Creek Water Reclamation Facility will remain in operation, and the majority of wastewater flows from Aurora will continue to be treated at the RWHTF.

Denver will divert some of its service area flows from the RWHTF to NTP, particularly in the DEN area. The SD Interceptor will connect to and allow decommissioning of the Gateway Lift Station, with flows from this lift station moving by gravity to the SD Interceptor. Additionally, DEN's Lift Station No. 3 will be connected to the SD Interceptor and decommissioned.

# 13.3 Effect on Adjacent Communities and Users of Wells

The SD Interceptor Project area was selected to minimize negative impacts on adjacent communities and residents. These communities will benefit from reliable sanitary sewer collection well into the future because capacity will become available in existing infrastructure to allow for developmental growth. The possible effects of this Project on municipalities, the community, and adjacent well users are described in the following sections.



# 13.3.1 Existing and Potential Utility Constraints

The SD Interceptor alignment crosses several major utility corridors that may affect the construction of the interceptor by requiring special construction or protection methods at these crossings. Coordination with owners of these utilities and their requirements for crossing are being negotiated as part of the crossing license procurement.

These crossing locations include the following:

- Aurora's Prairie Water raw water pipeline, which will likely be part of the E-470 tunneled crossing
- East Cherry Creek Valley Water and Sanitation District northern treated water pipeline
- DEN Jet Fuel Line Corridor
- Magellan Petroleum Pipeline
- Sinclair Petroleum Pipeline
- SACWSD Second Creek Interceptor
- Big Burlington Ditch
- Little Burlington Ditch
- Fulton Ditch

The SD Interceptor is designed to avoid conflict with these utilities. In addition to the major utilities previously indicated, several smaller utilities will be crossed by the SD Interceptor. These smaller utilities will be relocated should a conflict occur.

### 13.3.2 Existing Wells

The Division of Water Resources online resource (Colorado Division of Water Resources n.d.) was used to determine the location of decreed wells adjacent to the SD Interceptor alignment. Wells within 100 feet of the SD Interceptor alignment are shown on Figure 13-1, with information summarized in Table 13-1. Examination of the well information indicates the presence of monitoring wells, irrigation wells, dewatering wells, and potable water wells. Well data indicate the presence of ten potable or irrigation wells within the 100-foot buffer area, generally located along Brighton Road and 120<sup>th</sup> Avenue. Mitigation measures for impacts on these wells are as follows:

- **Receipt No. 9005260, Domestic and Irrigation:** Parcel line for subject property is more than 50 feet away from interceptor where interceptor will not be encased. Where interceptor intrudes on 50-foot buffer, the interceptor will be encased for trenchless installation.
- **Receipt No. 0270059A, Domestic and Irrigation:** Parcel line for subject property is more than 50 feet away from interceptor; no additional protection required.
- **Receipt No. 9005150, Domestic:** Parcel line for subject property is more than 50 feet away from interceptor; no additional protection required.
- **Receipt No. 9005007, Domestic:** Parcel line for subject property is more than 50 feet away from interceptor; no additional protection required.
- **Receipt No. 02922494A, Domestic:** Well is more than 50 feet away from interceptor ; no additional protection required.



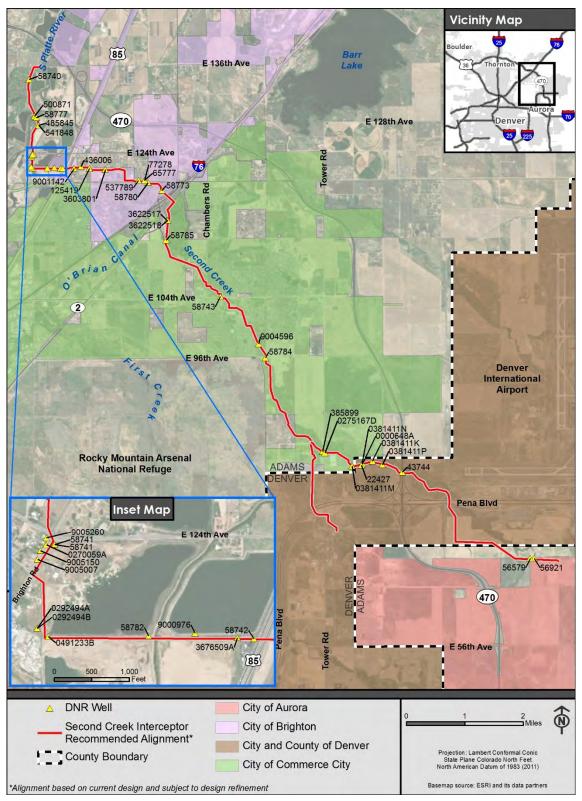


Figure 13-1: Wells Located near SD Interceptor Alignment



| Receipt | Permit              |                             | 3-1: Wells Located near SD Inte           |                                    |                                     |
|---------|---------------------|-----------------------------|---|------------------------------------|-------------------------------------|
| Number  | Number <sup>a</sup> | Current Status <sup>b</sup> | Contact Name                              | Permit Category                    | Purpose                             |
| 22427   | 22427-MH            | Well Constructed            | BFI of Colorado                           | Monitoring Hole (Notice of Intent) | Ground Water Level Monitoring       |
| 43744   | 43744-MH            | Well Abandoned              | East Cherry Creek Water and<br>Sanitation | Monitoring Hole (Notice of Intent) | Abandoned                           |
| 56579   | 56579-MH            | Permit Issued               | City of Aurora                            | Monitoring Hole (Notice of Intent) | Ground Water Level Monitoring       |
| 56921   | 56921-MH            | Well Constructed            | City of Aurora                            | Monitoring Hole (Notice of Intent) | Ground Water Level Monitoring       |
| 58740   | 58740-MH            | Well Constructed            | Metro Wastewater Reclamation<br>District  | Monitoring Hole (Notice of Intent) | Water Levels/Water Quality Sampling |
| 58741   | 58741-MH            | Well Constructed            | Metro Wastewater Reclamation<br>District  | Monitoring Hole (Notice of Intent) | Water Levels/Water Quality Sampling |
| 58741   | 58741-MH            | Well Constructed            | Shannon and Wilson (Ganse,<br>Peggy)      | Monitoring Hole (Notice of Intent) | Water Levels/Water Quality Sampling |
| 58742   | 58742-MH            | Well Constructed            | Metro Wastewater Reclamation<br>District  | Monitoring Hole (Notice of Intent) | Water Levels/Water Quality Sampling |
| 58743   | 58743-MH            | Well Constructed            | Metro Wastewater Reclamation<br>District  | Monitoring Hole (Notice of Intent) | Water Levels/Water Quality Sampling |
| 58773   | 58773-MH            | Well Constructed            | Metro Wastewater Reclamation<br>District  | Monitoring Hole (Notice of Intent) | Water Levels/Water Quality Sampling |
| 58777   | 58777-MH            | Well Constructed            | Metro Wastewater Reclamation<br>District  | Monitoring Hole (Notice of Intent) | Water Levels/Water Quality Sampling |
| 58780   | 58780-MH            | Well Constructed            | Metro Wastewater Reclamation<br>District  | Monitoring Hole (Notice of Intent) | Water Levels/Water Quality Sampling |
| 58782   | 58782-MH            | Well Constructed            | Metro Wastewater Reclamation<br>District  | Monitoring Hole (Notice of Intent) | Water Levels/Water Quality Sampling |

#### Table 13-1: Wells Located near SD Interceptor Alignment



| Receipt<br>Number | Permit<br>Number <sup>a</sup> | Current Status <sup>b</sup>          | Contact Name                             | Permit Category                    | Purpose                                |
|-------------------|-------------------------------|--------------------------------------|--|------------------------------------|--|
| 58784             | 58784-MH                      | Well Constructed                     | Metro Wastewater Reclamation<br>District | Monitoring Hole (Notice of Intent) | Water Levels/Water Quality<br>Sampling |
| 58785             | 58785-MH                      | Well Constructed                     | Metro Wastewater Reclamation<br>District | Monitoring Hole (Notice of Intent) | Water Levels/Water Quality<br>Sampling |
| 65777             | 2689-F-R                      | Permit Expired                       | Farner, William H                        | General Purpose                    | N/A                                    |
| 77278             | 2689-F-R                      | Well Constructed                     | Farner, William H                        | General Purpose                    | Irrigation                             |
| 125419            | N/A                           | Application Withdrawn                | Conca, Bruno                             | Unknown                            | N/A                                    |
| 385899            | N/A                           | Application Information<br>Requested | TD Development and<br>Management         | Unknown                            | N/A                                    |
| 436006            | 215481                        | Well Constructed                     | Montoya, Anthony R                       | Residential                        | Domestic                               |
| 485845            | 57722-F                       | Permit Issued                        | Mobile Premix Concrete Inc               | General Purpose                    | Industrial Use                         |
| 500871            |                               | Application Information<br>Requested | Silver Peaks Metropolitan Dist<br>No 1   | Unknown                            | Unknown                                |
| 537789            | 263350                        | Well Constructed                     | Tarango, Hector Marquez                  | Residential                        | Domestic                               |
| 541848            | 63864-F                       | Permit Issued                        | Albert Frei and Sons                     | General Purpose                    | Industrial Use                         |
| 3603801           | 64623-F                       | Well Constructed                     | Brighton School Dist No 27J              | General Purpose                    | Irrigation                             |
| 3622517           | 275741                        | Permit Issued                        | Fiore Family Trust                       | Monitoring/Observation             | Water Levels/Water Quality<br>Sampling |
| 3622518           | 275740                        | Permit Issued                        | Fiore Family Trust                       | Monitoring/Observation             | Water Levels/Water Quality Sampling    |
| 9000976           | 7377-R                        | Permit Expired                       | Carlson, Albert E                        | General Purpose                    | N/A                                    |
| 9001142           | 8796-R                        | Well Abandoned                       | Reichardt, Carl E                        | General Purpose                    | Abandoned                              |
| 9004596           | 83404                         | Well Abandoned                       | Brown, Joseph B                          | Residential                        | Abandoned                              |
| 9005007           | 101702                        | Well Constructed                     | Johnston, Clark R                        | Residential                        | Domestic                               |
| 9005150           | 120950                        | Well Constructed                     | Bishop, May K                            | Residential                        | Domestic                               |



| Receipt<br>Number | Permit<br>Number <sup>a</sup> | Current Status <sup>b</sup>          | Contact Name              | Permit Category        | Purpose                                |
|-------------------|-------------------------------|--------------------------------------|---------------------------|------------------------|--|
| 9005260           | 146660                        | Well Constructed                     | Cutler Robert and Lawayne | Residential            | Domestic and Irrigation                |
| 0000648A          | 1998067-<br>AB                | Well Abandoned                       | BFI Colorado Landfills    | Unknown                | Abandoned                              |
| 0270059A          | 146661                        | Well Constructed                     | Cutler, Robert            | Residential            | Domestic and Irrigation                |
| 0275167D          | 31692-M                       | Well Constructed                     | Landfill Inc              | Monitoring/Observation | Water Levels/Water Quality<br>Sampling |
| 0292494A          | 152562                        | Well Constructed                     | Bodnar, Georgie           | Residential            | Domestic                               |
| 0292494B          | 152562A                       | Well Constructed                     | Bodnar, Georgie           | Residential            | Irrigation                             |
| 0381411K          | 186208                        | Well Constructed                     | BFI of Colorado Inc       | Monitoring/Observation | Water Levels/Water Quality Sampling    |
| 0381411M          | 186213                        | Well Constructed                     | BFI of Colorado Inc       | Monitoring/Observation | Water Levels/Water Quality Sampling    |
| 0381411N          | 186206                        | Well Constructed                     | BFI of Colorado Inc       | Monitoring/Observation | Water Levels/Water Quality Sampling    |
| 0381411P          | 186209                        | Well Constructed                     | BFI of Colorado Inc       | Monitoring/Observation | Water Levels/Water Quality Sampling    |
| 0491233B          | NA                            | Application Information<br>Requested | 124th Estates Partners    | Unknown                | Monitoring                             |
| 3676509A          | 303439                        | Well Constructed                     | Brighton City of          | Monitoring/Observation | Water Levels/Water Quality Sampling    |
|                   |                               |                                      |                           |                        | 1 0                                    |

<sup>a</sup> Wells with Metro Wastewater Reclamation District listed as the Contact Name were constructed as part of the SD Interceptor Project. <sup>b</sup> Status as of February 20, 2019.



- **Receipt No. 02922494B, Irrigation:** Well is more than 50 feet away from interceptor ; no additional protection required.
- **Receipt No. 436006, Domestic:** Well is approximately 45 feet away from interceptor . Well location will be positively verified, and the pipe will be concrete-encased where it falls within 50 feet of well.
- **Receipt No. 3603801, Irrigation:** Well is more than 50 feet away from interceptor ; no additional protection required.
- **Receipt No. 537789, Domestic:** Well is more than 50 feet away from interceptor ; no additional protection required.
- **Receipt No. 77278, Irrigation:** Well location unknown. Well will be positively located and the interceptor encased in concrete where it is within 50 feet of well.

Impacts on monitoring wells will be discussed with the owners and the wells will be replaced in-kind subsequent to construction if continued use is required. If continued use is not required, wells will be abandoned in accordance with state regulations.

#### 13.3.3 Community Effects

The construction of the SD Interceptor is not anticipated to have noticeable effects on water sources or water quality in adjacent communities. With this Project, the location of wastewater treatment may change. However, local utility providers will continue to collect sanitary waste and bill the public. Even though the SD Interceptor will divert flows from RWHTF, and the amount of effluent discharged by the RWHTF may temporarily decrease, this decrease will not have a noticeable effect on any holders of water rights downstream.

# 13.4 Description of Water Use, Recycling, and Reuse Technology

Because this Project only involves the transmission of wastewater, no permanent uses of water resources or effects on existing water rights are anticipated. Temporary use of public water may occur during construction. The SD Interceptor will require irrigation water for the odor control biofilter. This water will be a metered public water supply from Brighton because there is no recycled or reuse water available near the SD Interceptor.

## 13.5 Effect on Urban and Rural Development and Densities

The construction of the SD Interceptor will add regional wastewater conveyance capacity to Adams County, Aurora, Brighton, Denver, and SACWSD; therefore, the SD Interceptor will provide capacity for development and higher population densities. The SD Interceptor sanitary service area capacity could accommodate flows from the Adams County Regional Park and Fairgrounds and in areas transitioning from rural to urban development, including the High Pointe area, Commerce City, and Brighton. Additionally, the SD Interceptor will be able to support commercial development near DEN.



# 13.6 Other Municipal and Industrial Water and Wastewater Projects in the Area

The SD Interceptor is a regional facility and will be constructed for use by the Metro District Member Municipalities. The structure of the District and its composition of 60 Member Municipalities and Special Connectors encourage consolidation rather than competition between services. Member agencies generally have their own collection systems and connect to the District's transmission system for wastewater treatment. The SD Interceptor will preserve treatment capacity at regional water reclamation facilities, such as RWHTF, and will support community growth and economic development. The SD Interceptor is the only regional facility under construction in the area.



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# APPENDIX B:

# ALTERNATIVES ANALYSIS



## **APPENDIX B: ALTERNATIVES ANALYSIS**

The following sections describe the alternatives evaluation for the Second Creek (SD) Interceptor. The interceptor alignment has its basis in the Regional Master Plan (RMP) with modifications made during the preliminary design phase to reflect new environmental and technical data as well as stakeholder input as discussed in Section 1.

Figure B-1 shows a Project overview with the six project areas identified and the alternative alignments evaluated within each area. Portions of all Project Areas are within unincorporated Adams County. Table B-1 summarizes the key features for the project areas within the County.

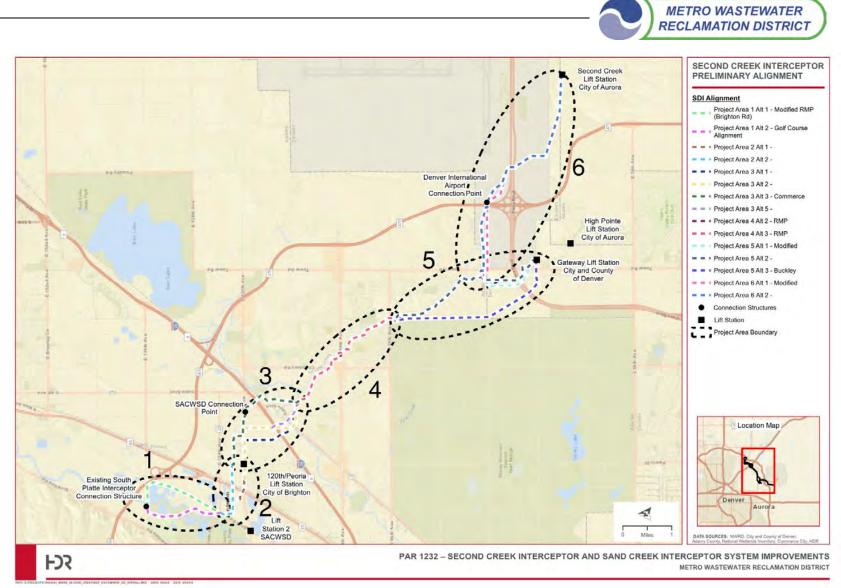


Figure B-1: Project Area Boundaries



| Project<br>Area | Project Area Extent   | Approximate<br>Length of<br>Interceptor <sup>a</sup> –<br>Total/Uninc.<br>Adams County<br>(mile) | Pipe<br>Size<br>Range<br>(inch) | Major Crossings   | Connecting<br>Agencies |
|-----------------|---|--|---------------------------------|---|------------------------|
| 1               | SPI to East 124th<br>Avenue   | 3.8/1.7  | 60                              | South Platte River<br>Brighton Road<br>Riverdale Golf Course<br>(Alt 2)                                   | N/A                    |
| 2               | East 124th Avenue to<br>East 120th<br>Avenue/Peoria Lift<br>Station   | 1.4/0.8  | 60                              | Fulton Ditch<br>US 85<br>UPRR   | N/A                    |
| 3               | I-76 and BNSF Railroad<br>Crossing                                    | 2.5/1.5  | 48 to 54                        | East 120th Avenue<br>I-76<br>Burlington Ditch<br>BNSF Railroad Tracks<br>SH 2<br>Burlington/O'Brian Canal | SACWSD<br>Brighton     |
| 4               | Commerce City Bison<br>Ridge Recreation Center<br>to East 96th Avenue | 2.9/0.1  | 48                              | Chambers Road<br>East 104th Avenue<br>East 96th Avenue  | Commerce City          |
| 5               | East 96th Avenue to<br>Gateway Lift Station                           | 3.6/0.5  | 36 to 48                        | Second Creek<br>Peña Boulevard<br>A-Line Commuter Rail<br>Tracks<br>Tower Road                            | Denver<br>Aurora       |
| 6               | Connection Structure to<br>Second Creek Lift Station                  | 5.6/0.6  | 36                              | Tower Road<br>E-470<br>Peña Boulevard<br>A-Line Commuter Rail<br>Tracks                                   | Denver<br>Aurora       |

#### Table B-1: Project Areas and Key Features



| Approximate<br>Length of<br>Interceptor <sup>a</sup> – Pipe<br>Total/Uninc. Size<br>Project Area Extent (mile) (inch) Major | Connecting<br>Crossings Agencies |
|---|----------------------------------|
|---|----------------------------------|

<sup>a</sup>The approximate length of the interceptor is calculated by taking the average length of all alignment alternatives within each project area. Notes:
Aurora = City of Aurora
BNSF = Burlington Northern Santa Fe
Brighton = City of Brighton
Denver = City and County of Denver
I = Interstate
SACWSD = South Adams County Water and Sanitation District
SH = state highway
SPI = South Platte Interceptor
UPRR = Union Pacific Railroad

Based on evaluations conducted during the preliminary design phase, alternative sub-alignments were short-listed for further consideration in the Project Areas. The alternative alignments are discussed in the following project area subsections. Additional alignments within each project area were considered but eliminated early in the evaluation process because of flaws, such as conflicts with existing utilities, right-of-way (ROW) encroachments, and excessive interceptor depths.

Table B-2 summarizes the key Project issues, or decision support criteria, that were used in developing and scoring the alternative alignments in the project areas.



|                               | Criteria                                   | Definition  |
|-------------------------------|--|---|
| Public Impacts                | Transportation Impacts                     | Impacts on transportation, including both roadway and rail, if open-cut construction is used. Opportunities to divert or detour traffic and trains are also considered.   |
|                               | Private Property Value<br>Impacts          | Construction impacts on developed private property, or permanent impacts that may affect the ability for future development of the property.  |
|                               | Public Property Impacts                    | Impacts on agency-owned parks, trails, and other public use areas.  |
| Operations and<br>Maintenance | Maintenance Access                         | Ability for District crews to access the interceptor for maintenance, including the ability to accommodate large Vactor trucks or other equipment required to perform maintenance activities.   |
|                               | Operator Safety                            | Safety concerns for operators performing interceptor maintenance, including the ability for traffic diversion if the manhole/structure is located in the roadway.   |
| Design Factors                | Utility Conflicts and Relocations          | Degree of existing utility conflicts that may require coordination with utility owners or relocations, or that increase design and construction risk.   |
|                               | Wetland and<br>Environmental Impacts       | Impacts on known wetlands.  |
|                               | Floodplains and<br>Drainageways            | Impacts from floodplain or drainageways on long-term interceptor operation or increased construction risk.  |
| Project Schedule              | Permitting and<br>Third-party Coordination | Assessment of federal (USACE, USFWS), State (SHPO, CDPHE, etc.), regional (Urban Drainage and Flood Control District, BNSF, UPRR), or local permits and impacts on construction schedule. Assessment of third-party coordination requirements, including potential impact on construction schedule and impact by future third-party infrastructure. |
|                               | Land Acquisition                           | Permanent and temporary easements or other land acquisition required.   |
|                               | Construction Access                        | Ability to accommodate construction equipment and movement of materials and the associated impact on schedule.  |
| Construction<br>Cost          | Trenchless vs. Open-cut<br>Construction    | Construction risk related to trenchless methods versus traditional open-cut practices.  |
|                               | Construction Dewatering                    | Extent of construction dewatering and risk of CDPHE dewatering discharge requirements as determined by the elevation of the water table relative to excavations.  |
|                               | Depth and Length of Construction           | Total interceptor length and maximum pipe depth.  |

#### Table B-2: Decision Support Criteria Summary and Definitions

Notes:

CDPHE = Colorado Department of Public Health and the Environment

SHPO = State Historic Preservation Office

USACE = U.S. Army Corps of Engineers USFWS = U.S. Forest Service



#### **Project Area 1**

Figure B-2 shows the Project Area 1 extents with two alternative alignments between the existing SPI Connection Structure No. 3 at the downstream end to the intersection of East 124th Avenue and Brighton Road at the upstream end: The Modified RMP Alignment and the Golf Course Alignment. A slight modification was made to the RMP alignment within this project area to avoid a fatal flaw within the E-470 ROW. The original alignment was shifted west to stay outside of the E-470 ROW at the Brighton Road overpass and away from recent grading activity on the private property to the south. This shift reduces the excavation depth at this location and significantly reduces the cost of land acquisition. Therefore, this alignment is now referred to as the "Modified RMP" alignment. Alignment descriptions are provided at the beginning of each alternative analysis section.

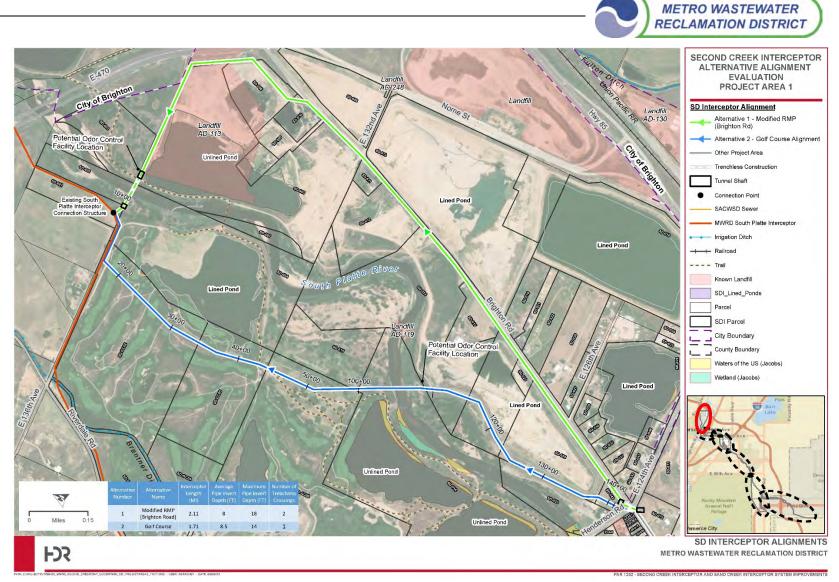


Figure B-2: Project Area 1 Alternatives Data



The crossing of the South Platte River is a key feature of this project area. Because of elevation constraints at the SPI Connection Structure No. 3 and the river channel bottom, a siphon will be required to cross the river at this location. The upstream siphon box will collect foul air from the SD Interceptor, which must be treated with an odor control facility. The odor control facility will require power and irrigation water, which will affect the siting of the structure.

The crossing of the intersection of East 124th Avenue and Brighton Road is anticipated to be completed using trenchless construction methods. The greatest risk associated with the trenchless crossing in this project area is the propensity for cobbles and boulders to hinder tunnel excavation and dewatering requirements, including possible treatment.

Viable trenchless methods for the crossing of the intersection of East 124th Avenue and Brighton Road include MTBM or a guided pipe ram. A guided pipe ram may prove infeasible and the tunnel unstable if a high percentage of saturated sand, gravel, and cobble is encountered during the geotechnical investigation.



#### Project Area 1 – SPI to East 124<sup>th</sup> Avenue Alternative 1 – Modified RMP (Brighton Road)

This alignment (based on the alignment presented in the *Sand Creek and Second Creek Basins Regional Master Plan*, which is referred to as the RMP) will generally follow the RMP alignment from the SPI Connection Structure No. 3 to the east and across the South Platte River near 136th Avenue. The alignment will skirt around the E-470 ROW and continue south at Brighton Road until it reaches the project area boundary at East 124th Avenue.

Figure B-2 shows the potential odor control facility location at the eastern side of the South Platte River crossing within parcel Second Creek (SD)-5.

Alternative 1 General Summary:

- Length ~ 2.11 miles
- Depth ~ 4 to 18 feet
- Diameter 60 inches
- Trenchless Installation
  - o Brighton Road/East 124th Avenue Intersection
- Agency Connections 0
- Dewatering High
- Production Rate Low

| Public Impacts                    |   |  |
|-----------------------------------|---|--|
| Transportation Impacts            | This alternative will require extensive roadway work and traffic control leading to slower production rates, extensive restoration, and increased construction cost.  |  |
| Private Property Value<br>Impacts | Impacts on private property will be moderate. The interceptor could be installed across several private properties to the west of Brighton Road to limit roadway restoration.   |  |
| Public Facility Impacts           | None identified.  |  |
| Operations and Maintena           | nce   |  |
| Maintenance Access                | There will be good overall access along Brighton Road, but access will be challenging because of traffic volumes.   |  |
|                                   | Maintenance access on the western side of Brighton Road within private properties could<br>be via a private service road. Access through the private gate will need to be coordinated.  |  |
| Operator Safety                   | Concerns with operator safety are moderate along the alignment. Brighton Road experiences high volumes of traffic, which will be a factor during typical maintenance activities. Traffic control may be required for routine maintenance.   |  |
| Design Factors                    |   |  |
| Conflicts and Relocations         | The interceptor in Brighton Road will cross under numerous dry and wet utility service lines<br>and laterals. It is assumed that the depth of the proposed interceptor will be sufficient to<br>avoid conflicts with these existing services; however, working around and supporting the<br>utilities will decrease production rates. |  |
|                                   | Brighton water mains within the intersection at East 124th Avenue and Brighton Road will be avoided by using a trenchless crossing.   |  |
| Wetland and                       | Temporary wetland impacts are anticipated.  |  |
| Environmental Impacts             | Traverses mining/landfill areas, travelers near one leaking underground storage tank (LUST), and may require proper disposal of material/soil (low risk).   |  |
| Floodplains and<br>Drainageways   | No impacts.   |  |



|   | Project Area 1 – SPI to East 124 <sup>th</sup> Avenue<br>Alternative 1 – Modified RMP (Brighton Road)   |
|---|---|
| Project Schedule                        |   |
| Permitting and<br>Third-party           | Coordination with several property owners, Colorado Department of Transportation (CDOT), and Adams County will be required to construct the alignment.  |
| Coordination                            | USACE Section 404 permitting will be required. This may include coordination with USFWS.  |
|   | Appropriate city/county/state agencies will need to be contacted for hazardous material (HazMat).   |
| Land Acquisition                        | Permanent utility easements will be required along the properties west of Brighton Road.<br>Temporary construction easements will be needed along the western edge of Brighton Road.                                  |
| Construction Access                     | Construction access along Brighton Road will be constrained by the narrow utility corridor.<br>Access for the trenchless segment will be tight at the East 124th Avenue and Brighton Road intersection.               |
|   | Coordination with property owners west of Brighton Road will be required for construction access to the properties.   |
| Construction Cost                       |   |
| Trenchless vs.<br>Open-cut Construction | This alternative will provide slightly less room for equipment laydown at the crossing of the South Platte River, but the risks associated with the crossing will be similar to those of Alternative 2.               |
| Construction<br>Dewatering              | Construction dewatering is anticipated where the alignment crosses the South Platte River, near the wetlands area by the E-470 and Brighton Road intersection, and adjacent to an unlined gravel pond on parcel SD-5. |
| Depth and Length of<br>Construction     | The depth of construction will increase as the alignment moves away from the South Platte<br>River. The proximity to the river will allow for the interceptor to be installed at reasonable<br>depths.                |



#### Project Area 1 – SPI to East 124<sup>th</sup> Avenue Alternative 2 – Golf Course

This alignment will head west out of the existing SPI Connection Structure No. 3 and follow 136th Avenue before turning south across the Riverdale Golf Course. The alignment will remain west of the Fishing is Fun Pond and cross the South Platte River approximately 0.8 mile to the north of East 124th Avenue. After the river crossing, the alignment will run south on the eastern side of the South Platte River until it reaches the project boundary at East 124th Avenue.

Figure B-2 indicates the potential odor control facility location on the eastern side of the South Platte River crossing within parcel SD-14.

Alternative 2 General Summary:

- Length ~ 1.71 miles
- Depth ~ 4 to 14 feet
- Diameter 60 inches
- Trenchless Installation
  - o Brighton Road/East 124th Avenue Intersection
- Agency Connections 0
- Dewatering High
- Production Rate High

| Public Impacts                    |  |  |
|-----------------------------------|--|--|
| Transportation Impacts            | Minimal to no traffic impacts are anticipated.   |  |
| Private Property Value<br>Impacts | The majority of the alignment will be located within the Riverdale Golf Course property.<br>Impacts on this property may be minimized by completing construction during the off-<br>season (i.e., winter). The alignment on the eastern side of the river will be adjacent to a future<br>gravel pond and located on undevelopable land.       |  |
|                                   | No further property owner impacts are anticipated.   |  |
| Public Facility Impacts           | Riverdale Golf Course is contained within Adams County Regional Park. Access to the Fishing is Fun Pond will be limited during construction, and the frisbee golf course will need to be closed while construction progresses though the site. Minimal impacts on the golf course are anticipated with off-season (i.e., winter) construction. |  |
| Operations and Maintena           | nce  |  |
| Maintenance Access                | Most of the manholes will be located within the open space of the golf course property alongside an existing gravel access road.   |  |
|                                   | Access to the interceptor on the eastern side of the South Platte River will require property owner coordination.  |  |
| Operator Safety                   | Safety concerns are limited because most of the alignment will be contained within private property.   |  |
| Design Factors                    |  |  |
| Conflicts and Relocations         | Slight modifications to the alignment may be required to avoid potential clay liners or slurry walls around the existing gravel ponds.   |  |
|                                   | Minimal utility conflicts are anticipated.   |  |
| Wetland and                       | Temporary wetland impacts are anticipated.   |  |
| Environmental Impacts             | Traverses mining/landfill areas, travels near one LUST site, and may require proper disposal of material/soil (low risk).  |  |



|   | Project Area 1 – SPI to East 124 <sup>th</sup> Avenue<br>Alternative 2 – Golf Course   |
|---|--|
| Floodplains and<br>Drainageways               | No impacts as long as the odor control facility is located outside the floodplain.   |
| Project Schedule                              |  |
| Permitting and<br>Third-party<br>Coordination | Coordination with Riverdale Golf Course will be required for most of the alignment.<br>Additional coordination will be needed with the property owners on the eastern side of the<br>South Platte River.   |
|   | USACE Section 404 permitting will be required. This may include coordination with USFWS.   |
|   | Appropriate city/county/state agencies will need to be contacted for HazMat.   |
| Land Acquisition                              | Permanent utility easements will be required within the golf course property and the private properties east of the river. A temporary construction easement will be needed at the trenchless crossing for the East 124th Avenue and Brighton Road intersection.   |
| Construction Access                           | Construction access will be relatively good. The trenchless construction under the East 124th Avenue and Brighton Road intersection will be constrained.   |
| Construction Cost                             |  |
| Trenchless vs.<br>Open-cut Construction       | This alternative will provide more laydown room for equipment and materials at the crossing<br>of the South Platte River. The trenchless crossing at the intersection of East 124th Avenue<br>and Brighton Road will be approximately 30 feet longer for this alternative than for<br>Alternative 1. However, the extra length will have a negligible impact on risk. The risks<br>associated with the trenchless crossing methods are similar to those under Alternative 1. |
| Construction<br>Dewatering                    | Extensive construction dewatering is anticipated where the alignment crosses and parallels the South Platte River.   |
| Depth and Length of                           | The proximity to the river will allow for the interceptor to be installed at reasonable depths.  |
| Construction                                  | Cutting through the golf course will allow for a more direct route to the East 124th Avenue and Brighton Road intersection. This will shorten the length of pipe required as compared to the length of pipe needed under Alternative 1.  |



### Project Area 2

Figure B-3 shows the Project Area 2 extents with two alternative alignments between the intersection of East 124th Avenue and Brighton Road at the downstream end to the intersection of East 120th Avenue and Peoria Street at the upstream end. One key feature of this project area is the connection to the SACWSD Lift Station No. 2 at the intersection of East 120th Avenue and Brighton Road. Additionally, CDOT has planned improvements within the US 85 corridor, which include the construction of overpass bridges at East 120th Avenue and East 124th Avenue. Alignment descriptions are provided at the beginning of each alternative analysis section.



Figure B-3: Project Area 2 Alternatives Data

**METRO WASTEWATER** 



Both alternatives in this project area will include crossings of the Fulton Ditch, US 85, and UPRR, which are anticipated to be completed using trenchless construction methods. Notable risks associated with the Fulton Ditch crossing include sinkholes within the ditch, fluid frac-out into the ditch water, and degradation of the pit liners on the western side of the crossing from tunneling activities. The anticipated subsurface conditions include wet coarse alluvium (sand, gravel, and potential cobbles), and viable trenchless techniques include MTBM, guided pipe ram, or guided auger bore. A guided pipe ram or auger bore may prove infeasible and the tunnel unstable if a high percentage of saturated sand, gravel, and cobble is encountered during the investigation.

Because of the length of the crossings at US 85 and the UPRR tracks, an intermediate shaft may be needed between the highway and the railroad that will reduce the tunnel lengths but increase the number of tunnel drives and shafts. The risks presented with this crossing include settlement of the roadway or rail, traffic disruptions, and fluid frac-out. These risks will be further characterized based on results of the geotechnical investigation. The anticipated subsurface conditions are favorable for MTBM. Guided pipe ram and auger bore are viable options since the groundwater table above the tunnel is within constructible limitations, and a center shaft can be used.



#### Project Area 2 – East 124<sup>th</sup> Avenue to West 120<sup>th</sup> Avenue/Peoria Street Lift Station Alternative 1 – RMP Alignment

This alignment will head southwest along Brighton Road until traveling east at East 123rd Avenue. At this point, it will continue south until it reaches the southern side of the lined pond on parcel SD-71, where it will turn east to cross Fulton Ditch. After crossing Fulton Ditch, the alignment will turn south to parallel Fulton Ditch until it reaches parcel SD-109. At this point, it will head east and south to cross US 85 and the UPRR tracks at East 120th Avenue. From there, it will head east, paralleling East 120th Avenue until it reaches the project area boundary.

#### Alternative 1 General Summary:

- Length ~ 1.27 miles
- Depth ~ 4 to 16.5 feet
- Diameter 60 inches
- Trenchless Installations 3
  - Fulton Ditch
    - o UPRR
    - o US 85
- Agency Connections 1 (SACWSD)
- Dewatering Low
- Production Rate Low

| Public Impacts                    |   |  |
|-----------------------------------|---|--|
| Transportation Impacts            | The alignment will affect traffic during construction along Brighton Road and East 120th Avenue. Road closures and detours will be required for construction.   |  |
|                                   | CDOT is currently in the design phase for the US 85 project, which will improve the highway from I-76 to East 124th Avenue. The project includes construction of a new overpass/interchange structure at East 120th Avenue. The location of this structure will affect the constructability of crossing US 85 and the railroad tracks for this alignment. |  |
| Private Property Value<br>Impacts | Permanent and temporary easements will likely be required on parcels SD-66, SD-71, SD-98, and SD-99. Permanent easement on SD-72 will avoid construction within Brighton Road. Gravel access roads for the District will also be required on these parcels.   |  |
| Public Facility Impacts           | None identified.  |  |
| Operations and Maintena           | nce   |  |
| Maintenance Access                | Maintenance access will be extremely limited because of the future interchange structure at US 85 and East 120th Avenue. Access roads will need to be installed within parcels SD-71 and SD-99.   |  |
| Operator Safety                   | A majority of the alignment will be located near or within major roadways, adding potential safety risks for operators when performing maintenance activities.  |  |
| Design Factors                    |   |  |
| Conflicts and<br>Relocations      | Utility services are expected in Brighton Road and East 120th Avenue, but conflicts are not anticipated because of the depth of the proposed interceptor.   |  |
|                                   | The interceptor will run adjacent to a Brighton water main in Brighton Road and a SACWSD sewer interceptor and water main in East 120th Avenue.   |  |
| Wetland and                       | Temporary wetland impacts are anticipated.  |  |
| Environmental Impacts             | Traverses mining sites and UPRR, travels near LUST sites, and may require proper disposal of material or soil (low risk).   |  |



| Proje                                   | ct Area 2 – East 124 <sup>th</sup> Avenue to West 120 <sup>th</sup> Avenue/Peoria Street Lift Station<br>Alternative 1 – RMP Alignment  |
|---|---|
| Floodplains and<br>Drainageways         | Segment limits will be outside the floodplain.  |
| Project Schedule                        |   |
| Permitting and<br>Third-party           | Coordination and permitting will be required with CDOT, UPRR, Brighton, Commerce City, and several private property owners for this alignment.  |
| Coordination                            | USACE Section 404 permitting will be required. This may include coordination with USFWS.  |
|   | Appropriate city/county/state agencies will need to be contacted for HazMat.  |
|   | Alignment crosses National Register of Historic Places (NRHP)-eligible ditch (5AM.465.8) and railroad (5AM.459.2), which will require Section 106 Consultation with SHPO and other parties.   |
| Land Acquisition                        | Permanent utility easements and temporary construction easements will be required within parcels SD-66, SD-71, SD-98, and SD-99, and potential properties along Brighton Road and East 120th Avenue.  |
|   | The planned CDOT East 120th Avenue/US 85 overpass project will make land acquisition difficult, if not impossible, for this alignment.  |
| Construction Access                     | Construction access to the alignment will primarily be on private property and in roadways.<br>Fulton Ditch will prevent continuous access though the project area.   |
| Construction Cost                       |   |
| Trenchless vs.<br>Open-cut Construction | This alternative will provide a shorter, perpendicular crossing of US 85 and UPRR tracks.   |
| Construction<br>Dewatering              | Dewatering may be required near the ponds on parcels SD-71 and SD-99 depending on the alignment's proximity to existing pond liners or slurry walls. Construction dewatering is expected where the alignment crosses, and is parallel to, Fulton Ditch. |
| Depth and Length of Construction        | Most of the preliminary profile will be within typical depths for an interceptor (e.g., less than 15 feet).   |



Project Area 2 – East 124<sup>th</sup> Avenue to East 120<sup>th</sup> Avenue/Peoria Street Lift Station Alternative 2 – Central Alignment

This alignment will follow the RMP alignment up to the Fulton Ditch crossing. On the eastern side of Fulton Ditch, the alignment will continue directly east all the way to Peoria Street, crossing US 85 and the UPRR tracks approximately 1,400 feet north of East 120th Avenue. The alignment will then head south, paralleling Peoria Street until it reaches the project area boundary.

The crossings of the Fulton Ditch, US 85, and UPRR are anticipated to be constructed via trenchless methods.

Alternative 2 General Summary:

- Length ~ 1.44 miles
- Depth ~ 8 to 17.5 feet
- Diameter 60 inches
- Trenchless Installations 3
  - o Fulton Ditch
  - o UPRR
  - o US 85
- Agency Connections 1 (SACWSD)
- Dewatering Low
- Production Rate Medium

| Minimal traffic impacts are expected. Road closures are expected for construction of the segment within Brighton Road. One-way traffic is anticipated along Peoria Street, which sees limited traffic.   |  |
|--|--|
| This alternative will avoid the impacts of the US 85 project at East 120th Avenue and East 124th Avenue by crossing the highway and railroad tracks between the two streets. Peoria Street is relatively undeveloped, so traffic control and constructability will be non-factors. |  |
| Construction and permanent access will be required through parcels SD-71, SD-99, SD-98, and SD-314. Construction along Brighton Road and Peoria Street might temporarily inconvenience residents.  |  |
| None identified.   |  |
| nce  |  |
| Access roads will need to be installed within parcels SD-71, SD-98, and SD-99. Additional manholes will be located in or near streets to facilitate access.  |  |
| A majority of the alignment will be contained within private property, leading to safe working conditions. Peoria Street is not a high-volume roadway and will not pose safety concerns.   |  |
|  |  |
| Utility services are expected in Brighton Road and Peoria Street, but conflicts are not anticipated because of the depth of the proposed interceptor.  |  |
| The interceptor will run adjacent to a Brighton water main in Brighton Road and Peoria Street.   |  |
| Temporary wetland impacts anticipated.   |  |
| Traverses mining sites and UPRR, travels near LUST sites, and may require proper disposal of material or soil (low risk).  |  |
| Segment limits will be outside the floodplain.   |  |
|  |  |



| Project Area 2 – East 124 <sup>th</sup> Avenue to East 120 <sup>th</sup> Avenue/Peoria Street Lift Station<br>Alternative 2 – Central Alignment |  |  |
|---|--|--|
| Project Schedule  |  |  |
| Permitting and<br>Third-party<br>Coordination   | Coordination will be required with CDOT, UPRR, Brighton, Commerce City, and several private property owners for this alignment.  |  |
|   | USACE Section 404 permitting will be required. This may include coordination with USFWS.   |  |
|   | Appropriate city/county/state agencies will need to be contacted for HazMat.   |  |
| Land Acquisition  | Permanent utility easements and temporary construction easements will be required within parcels SD-71, SD-98, SD-99, and the properties east of the railroad crossing.  |  |
| Construction Access   | Construction access to the alignment will primarily be on private property and in roadways.  |  |
| Construction Cost   |  |  |
| Trenchless vs.<br>Open-cut Construction   | This alternative will have a significantly longer, skewed crossing of the highway and rail. This will increase both the distance and the time for which infrastructure is at risk. In addition, this trenchless crossing will need to avoid both the pond liner and nearby residential structures to the west. |  |
| Construction<br>Dewatering  | Dewatering may be required near the ponds on parcels SD-71 and SD-99 depending on the alignment's proximity to existing pond liners or slurry walls. Construction dewatering is expected where the alignment will cross Fulton Ditch.  |  |
| Depth and Length of<br>Construction   | The majority of the preliminary profile will be within typical depths for an interceptor (e.g., less than 15 feet).  |  |



#### **Project Area 3**

Figure B-4 shows the Project Area 3 extents with three alternative alignments between the intersection of East 120th Avenue and Peoria Street at the downstream end to the intersection of Potomac Street and East 112th Avenue on the upstream end. Key features of this project area include a connection for Brighton's East 120th Avenue/Peoria Street Lift Station, and a connection for SACWSD near the intersection of East 120th Avenue and Potomac Street. Alignment descriptions are provided at the beginning of each alternative analysis section.



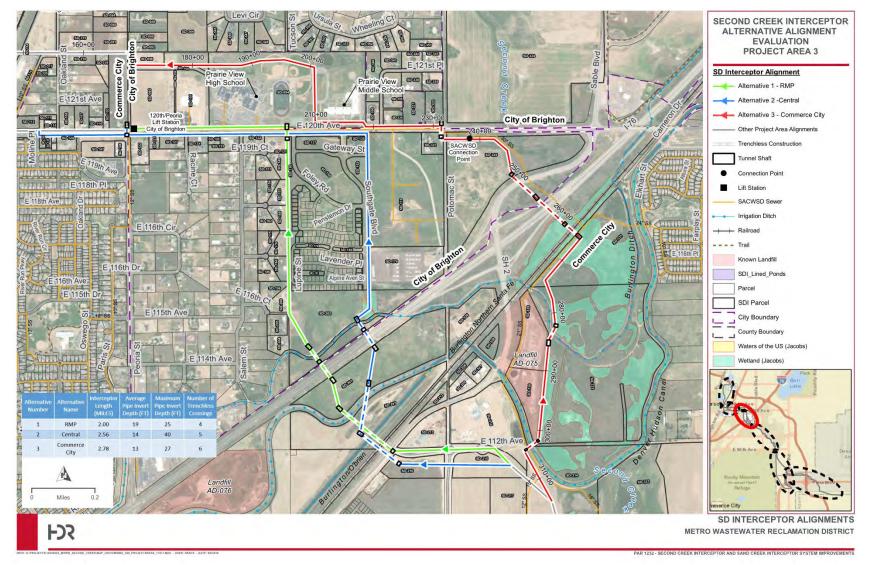


Figure B-4: Project Area 3 Alternatives Data



Additionally, this project area includes crossings of East 120th Avenue, Burlington Ditch, I-76, Burlington/O'Brian Ditch, BNSF Railroad tracks, and SH 2. The crossing of East 120th Avenue has the potential for open-cut construction, which will eliminate the need for a tunnel. If a tunnel is required by Commerce City, viable trenchless techniques will include excavation by guided auger bore or guided pipe ram, depending on the groundwater and subsurface conditions encountered during the geotechnical investigation.

The remainder of the crossings for Project Area 3 are anticipated to be completed using trenchless methods. The major risks for these crossings include settlement of the roadway, traffic disruptions, sinkholes within the ditch, and fluid frac-out. The anticipated subsurface conditions include dry fine to coarse alluvium (clay, silt, sand, and gravel). Viable trenchless techniques for these crossings include excavation by tunnel boring machine or MTBM. If a center shaft is used and tunnel lengths can be reduced to less than 200-foot segments, a guided pipe ram or auger bore may be considered.



#### Project Area 3 – I-76 and BNSF Railroad Crossing Alternative 1 – RMP Alignment

This alignment will run east along East 120th Avenue before turning south at the western edge of a new development (2,650 feet east of Peoria Street). The alignment will continue south along the western boundary of the development and will then turn diagonally to the southeast to cross I-76, Burlington Ditch, Denver Hudson Canal, the BNSF Railroad tracks, SH 2, and O'Brian Canal. The alignment will then continue east along East 112th Avenue, remaining on the southern side of the Commerce City Recreation Center and traveling through the newly constructed roundabout at Potomac Street, ending at the project area boundary.

#### Alternative 1 General Summary:

- Length ~ 2 miles
- Depth ~ 7 to 25 feet
- Diameter 48 to 54 inches
- Trenchless Installations 4
  - o East 120th Avenue
    - o Burlington Ditch and I-76
    - o Denver Hudson Canal
  - BNSF Railroad Tracks, SH 2, and O'Brian Canal
- Agency Connections 2 (Brighton and SACWSD)
- Dewatering Medium
- Production Rate Low

| • Hoddetion Rate Low              |  |
|-----------------------------------|--|
| Public Impacts                    |  |
| Transportation Impacts            | Moderate traffic impacts are anticipated because half of the alignment will be through<br>undeveloped land. Road closures and detours will be likely required on East 120th Avenue.<br>Potomac Street bus and parent drop-off access to the schools on East 120th Avenue will be<br>difficult to coordinate. |
|                                   | Brighton is not in favor of this alignment because of potential impacts on future development and church/school access constraints.  |
| Private Property Value<br>Impacts | The development to the south of East 120th Avenue is currently under construction.<br>Multiple new parcel owners will be affected on the eastern and western sides of the<br>alignment. This alternative will place the interceptor under a planned drainageway for the<br>development.                      |
| Public Facility Impacts           | Access to the new Commerce City Recreation Center from Potomac Street will be affected during construction. The alignment will be open cut directly through two newly constructed roundabouts for the Recreation Center on East 112th Avenue.  |
|                                   | Access to the schools on the north side of East 120th Avenue will be affected, and the parking lots could be disrupted depending on the final alignment of the interceptor.  |
| Operations and Maintena           | nce  |
| Maintenance Access                | Maintenance access will be difficult through the new development because of the planned drainage swale and piping.   |
|                                   | Separate easements will be required for a maintenance road to access the manholes on the southern side of I-76.  |
| Operator Safety                   | Safety for maintenance will be affected by high traffic volumes along East 120th Avenue.<br>Traffic control may be needed depending on the final interceptor location.   |
|                                   |  |



|   | Project Area 3 – I-76 and BNSF Railroad Crossing   |  |
|---|--|--|
| Alternative 1 – RMP Alignment           |  |  |
| Design Factors                          |  |  |
| Conflicts and Relocations               | Key factors for this alternative will include navigating and avoiding existing utilities along<br>and within the East 120th Avenue ROW. Brighton has water and sewer lines located in the<br>ROW, and SACWSD's Second Creek sewer line is also within the roadway. A large fiber<br>optic duct bank occupies the northern side of the street just outside the roadway. The water<br>and sewer lines to the new development have already been constructed on the southern side<br>of the roadway. |  |
| Wetland and                             | Temporary wetland impacts are anticipated.   |  |
| Environmental Impacts                   | Traverses BNSF Railroad property, travels near one closed LUST site, and may require proper disposal of material or soil (low risk).   |  |
| Floodplains and<br>Drainageways         | Segment limits will be outside the floodplain.   |  |
| Project Schedule                        |  |  |
| Permitting and                          | Coordination will be necessary with Commerce City, Brighton, and Brighton School District.   |  |
| Third-party<br>Coordination             | CDOT, BNSF, and Farmers Reservoir and Irrigation Company coordination and permitting will be required for each crossing.   |  |
|   | USACE Section 404 permitting will be required, which may include coordination with USFWS.  |  |
|   | Appropriate city/county/state agencies will need to be contacted for HazMat.   |  |
|   | Alignment crosses NRHP-eligible ditch (5AM.465.8), which will require Section 106 Consultation with SHPO and other parties.  |  |
| Land Acquisition                        | Extensive permanent and temporary construction easements will be required between the existing development and new development.  |  |
| Construction Access                     | Construction access will be constrained along the entire alignment considering the canal and ditch, BNSF Railroad, I-76, the Commerce City Recreation Center, and the new development. This project area is the most constrained segment of the SD Interceptor.  |  |
| Construction Cost                       |  |  |
| Trenchless vs.<br>Open-cut Construction | The trenchless crossing at East 120th Avenue will be directly across from Prairie View High School, and the school in-session dates will likely affect the tunnel construction schedule. The southern trenchless shaft for this crossing will need to be coordinated with overhead utilities on the southern side of East 120th Avenue.  |  |

|     | The crossings at the southern end of the project area will be perpendicular to all utilities and surface features, which is ideal for trenchless construction. |
|-----|--|
| ion | Dewatering is anticipated in areas near the Denver Hudson Canal, Burlington Ditch, and   |

| Construction<br>Dewatering          | Dewatering is anticipated in areas near the Denver Hudson Canal, Burlington Ditch, and O'Brian Canal.  |
|-------------------------------------|--|
| Depth and Length of<br>Construction | The preliminary profile will exceed typical depths for an interceptor (e.g., less than 15 feet), primarily because of the roadway crossings and proximity to Second Creek. |



#### Project Area 3 – I-76 and BNSF Railroad Crossing Alternative 2 – Central Alignment

This alignment will run east along East 120th Avenue before turning south at the eastern edge of a new development (~4,000 feet east of Peoria Street). The alignment will continue south along the eastern boundary of the development to cross I-76 and Burlington Ditch. The alignment will then turn to the southwest to avoid excessive bury depths that will be required to cross parcels SD-213 and SD-212. From there, it will cross the Denver Hudson Canal, the Burlington/O'Brian Canal, the BNSF Railroad tracks, and SH 2. The alignment will then continue east along East 112th Avenue, remaining on the southern side of the Commerce City Recreation Center and traveling through the newly constructed roundabout at Potomac Street, ending at the project area boundary.

#### Alternative 2 General Summary:

- Length ~ 2.56 miles
- Depth ~ 4 to 40 feet
- Diameter 48 to 54 inches
- Trenchless Installations 5
  - o East 120th Avenue
  - o Burlington Ditch and I-76
  - o Denver Hudson Canal
  - o BNSF Railroad Tracks, SH 2, and O'Brian Canal
  - Agency Connections 2 (Brighton and SACWSD)
- Dewatering Medium
- Production Rate Low

| Dald's house at a                 |  |
|-----------------------------------|--|
| Public Impacts                    |  |
| Transportation Impacts            | Moderate traffic impacts are anticipated because two-thirds of the alignment will be through<br>undeveloped land. Road closures and detours will likely be required on East 120th Avenue.<br>Potomac Street bus and parent drop-off access to the schools on East 120th Avenue will be<br>difficult to coordinate. |
|                                   | Brighton is not in favor of this alignment because of potential impacts on future development and church/school access constraints.  |
| Private Property Value<br>Impacts | The development to the south of East 120th Avenue is currently under construction.<br>Multiple new parcel owners could be affected on the western side of the alignment<br>depending on the final location of the interceptor.   |
| Public Facility Impacts           | Access to the new Commerce City Recreation Center (SD-210) from Potomac Street will be affected during construction. The alignment will be open cut directly through two newly constructed roundabouts for the recreation center on East 112th Avenue.   |
|                                   | Access to the schools on the north side of East 120th Avenue will be affected, and the parking lots could be disrupted depending on the final alignment of the interceptor.  |
| Operations and Maintena           | nce  |
| Maintenance Access                | Maintenance access will be difficult through the new development because of the planned drainage swale and piping.   |
|                                   | Separate easements will be required on SD-203 for a maintenance access road to the manholes on the southern side of I-76.  |
| Operator Safety                   | Safety for maintenance will be affected by high traffic volumes along East 120th Avenue.<br>Traffic control may be needed depending on the final interceptor location.   |



|   | Project Area 3 – I-76 and BNSF Railroad Crossing<br>Alternative 2 – Central Alignment   |
|---|---|
| Design Factors                          |   |
| Conflicts and<br>Relocations            | Key factors for this alternative will include navigating and avoiding existing utilities along<br>and within the East 120th Avenue ROW. Brighton has water and sewer lines located in the<br>ROW, and SACWSD's Second Creek sewer line is also within the roadway. A large fiber<br>optic duct bank occupies the northern side of the street just outside the roadway. The water<br>and sewer lines to the new development have already been constructed on the southern side<br>of the roadway. A gas station for the bus storage and parking facility exists on the<br>southwestern side of SD-179. |
| Wetland and                             | Temporary wetland impacts are anticipated.  |
| Environmental Impacts                   | Traverses BNSF Railroad property, travels near one closed LUST site, and may require proper disposal of material or soil (low risk).  |
| Floodplains and<br>Drainageways         | Segment limits will be outside the floodplain.  |
| Project Schedule                        |   |
| Permitting and                          | Coordination will be necessary with Commerce City, Brighton, and Brighton School District.  |
| Third-party<br>Coordination             | CDOT, BNSF, and Farmers Reservoir and Irrigation Company coordination and permitting will be required for each crossing.  |
|   | USACE Section 404 permitting will be required, which may include coordination with USFWS.   |
|   | Appropriate city/county/state agencies will need to be contacted for HazMat.  |
|   | Alignment crosses NRHP-eligible ditch (5AM.465.2), which will require Section 106 Consultation with SHPO and other parties.   |
| Land Acquisition                        | Extensive permanent and temporary construction easements may be required to the east of the new development depending on the final alignment. Land acquisition will be simplified if the interceptor is primarily located within the East 120th Avenue ROW, SD-119, and SD-179.   |
| Construction Access                     | Construction access will be constrained along the entire alignment considering the canal and ditch, BNSF Railroad, I-76, the Commerce City Recreation Center, and the new development. This project area is the most constrained segment of the SD Interceptor.   |
| Construction Cost                       |   |
| Trenchless vs.<br>Open-cut Construction | The trenchless crossing at the intersection of East 120th Avenue and Peoria Street will require more traffic control and will provide less laydown area than Alternative 1. Coordination will still be required with Prairie View High School in-session dates.   |
|   | The crossing of the Burlington/O'Brian Canal will be a long, skewed crossing, which is not ideal for trenchless construction. The remainder of the crossings will be perpendicular and will share the same risks as those under Alternative 1.  |
| Construction<br>Dewatering              | Dewatering is anticipated in areas near the Denver Hudson Canal, Burlington Ditch, and O'Brian Canal.   |
| Depth and Length of<br>Construction     | The preliminary profile will exceed typical depths for an interceptor (e.g., less than 15 feet), primarily because of the roadway crossings and proximity to Second Creek.  |



# Project Area 3 - I-76 and BNSF Railroad Crossing Alternative 3 – Commerce City Alignment

This alignment will begin north of East 120th Avenue on Peoria Street and will head directly east on the southern side of parcel SD-96. It will continue east through the Prairie View High School and turn south through the Prairie View Middle School parcel on the western side of the track. The alignment will head east along the northern side of East 120th Avenue and cross East 120th Avenue at the intersection of Potomac Street via trenchless construction. From there, it will head east to cross Potomac Street, and southeast to cross SH 2, I-76, the BNSF Railroad tracks, Burlington Ditch, and the Denver Hudson Canal in five separate trenchless crossings, ending at the project area boundary. A portion of this alignment will parallel an existing landfill (AD-075).

### Alternative 3 General Summary:

- Length ~ 2.78 miles •
- Depth ~ 4 to 13 feet
- Diameter 48 to 54 inches
- Trenchless Installations 6
  - 0 East 120th Avenue
  - 0 SH 2
  - I-76 0
  - **BNSF Railroad Tracks** 0
  - **Burlington Ditch** Ο
  - Denver Hudson Canal 0
- Agency Connections 2 (Brighton and SACWSD)
- **Dewatering Medium**
- Production Rate High

| Public Impacts                    |  |
|-----------------------------------|--|
| Transportation Impacts            | Minimal traffic impacts are anticipated because most of the alignment will be through<br>undeveloped land, and the major roadway crossings will be trenchless installations.   |
| Private Property Value<br>Impacts | The southern portion of the alignment will be on Commerce City property and parallel to their master planned trail system.   |
|                                   | A few parcels on the northern side of East 120th Avenue will be affected by required permanent and temporary easements.  |
| Public Facility Impacts           | This alignment will avoid impacts on the Commerce City Recreation Center but will travel across the northern side of the two schools located on the northern side of East 120th Avenue. Access to the schools can be maintained with this alternative. |
|                                   | A future Second Creek Park is planned for parcels SD-331 and SD-332 within Commerce City. This alignment has been coordinated with future park plans to benefit the public and to provide the District with uninterrupted access under highways.       |
| Operations and Maintena           | nce  |
| Maintenance Access                | Access to manholes for the northern half of the alignment will be available from East 120th Avenue and through the school property. Manholes located between SH 2 and I-76 will be difficult to access.  |
|                                   | Gravel roads will need to be constructed for maintenance between the two ditches east of Landfill AD-075 until the Commerce City trail system is in place.   |
| Operator Safety                   | This alternative will provide optimal operator safety because all manholes will be located outside of roadways and the depth of construction will be shallower because of the proximity to the creek.  |



|   | Project Area 3 – I-76 and BNSF Railroad Crossing<br>Alternative 3 – Commerce City Alignment  |
|---|--|
| Design Factors                          | Alternative 5 – Commerce City Alignment  |
|   | This alternative will avoid the congested East 120th Avenue utility corridor.  |
| Conflicts and Relocations               | A 1,200-foot connection lateral will be required across SD-95 to tie in the Brighton Lift<br>Station.  |
|   | Overhead power lines will be crossed between the middle school and the private property to the east (SD-106).  |
| Wetland and<br>Environmental Impacts    | Permanent and temporary wetland impacts are expected.  |
| Floodplains and<br>Drainageways         | Portions of the segment limits will be located inside the floodplain. No permanent impacts are anticipated if the manholes are located at grade and the existing grade is restored.  |
| Project Schedule                        |  |
| Permitting and<br>Third-party           | Coordination will be necessary with Commerce City, Brighton, Brighton School District CDOT, BNSF, and governing entities for the various canals and ditches.   |
| Coordination                            | Access to the BNSF and I-76 ROW will be needed.  |
|   | USACE Section 404 permitting will be required, which may include coordination with USFWS.  |
|   | Appropriate city/county/state agencies will need to be contacted for HazMat.   |
|   | Alignment crosses two NRHP-eligible ditches (5AM.465.8 and 5AM.465.5) and an NRHF<br>farm (5AM.889), which will require Section 106 Consultation with SHPO and other parties   |
| Land Acquisition                        | Minimal private parcels will be affected on the northern side of East 120th Avenue. Most of<br>the alignment will travel through Commerce City property or Brighton School District<br>property.   |
| Construction Access                     | Access between Burlington Ditch and the Denver/Hudson Canal will be difficult. Ditch rider bridges and access roads may not be adequate for equipment crossings.   |
|   | Continuous (straight through) access will not be possible because of the highways and railroad tracks. Temporary roads outside the alignment corridor may be needed.   |
| Construction Cost                       |  |
| Trenchless vs.<br>Open-cut Construction | The crossing of East 120th Avenue at Potomac Street will require more traffic control than Alternative 1 (RMP Alignment). Alternative 3 will provide more laydown area than is provided under Alternative 2 (Central Alignment).   |
|   | The I-76 and SH 2 interchange crossing will be much larger for this alternative and will<br>require several tunneled segments or one extremely long tunneled segment. This alternative<br>will not provide the benefit of tunneling the two ditches in the same tunnel as the roadway<br>as in the other two alternatives. |
| Construction<br>Dewatering              | This alternative has greater dewatering potential because of proximity to the canal and ditch<br>and Second Creek compared to the other alternatives.  |
| Depth and Length of<br>Construction     | The preliminary profile will be within typical depths for interceptor construction.  |

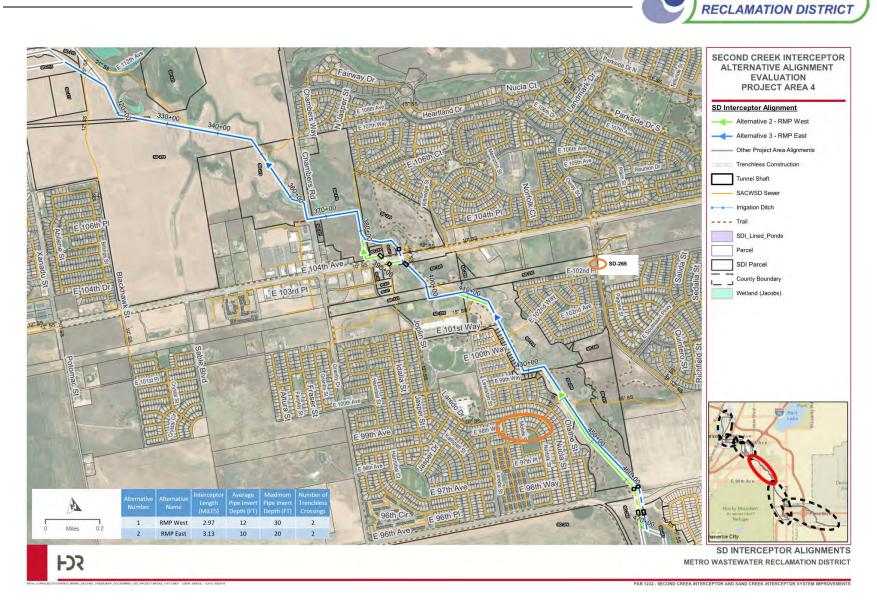


# **Project Area 4**

Figure B-5 shows the Project Area 4 extents with two alternative alignments between the intersection of Potomac Street and East 112th Avenue on the downstream end and the crossing of East 96th Avenue at the upstream end. Alignment descriptions are provided at the beginning of each alternative analysis section. At the far upstream portion of the project area near SD-265, there are planned improvements at Buckley Road. The improvements include the expansion of the Rocky Mountain Arsenal farther to the east where the RMP alignment is currently located. Because of this planned expansion and the number of planned creek crossings, the RMP alignment is not viable and will not be further evaluated as a part of this report.

Additional key features in this project area include crossings of Chambers Road, East 104th Avenue, and East 96th Avenue. Commerce City has indicated that open-cut construction may be a viable option for the crossing of Chambers Road.

Commerce City has indicated that the crossings at East 104th Avenue and East 96th Avenue will require trenchless construction methods. The anticipated subsurface conditions at both crossings include dry to wet, fine to coarse alluvium (clay, silt, sand, and gravel). Viable trenchless methods for the East 104th Avenue crossing include excavation by MTBM, guided auger bore, or guided pipe ram. Viable trenchless methods for the East 96th Avenue crossing only include TBM or MTBM because the length of this tunnel precludes other trenchless methods. The selection of the final trenchless method will depend on groundwater and subsurface conditions encountered during the investigation.





METRO WASTEWATER



#### Project Area 4 – Commerce City Bison Ridge Recreational Center to 96th Avenue Alternative 1 – RMP West Alignment

This alignment will remain on the western side of Second Creek and an existing SACWSD sewer interceptor, which it will parallel for the entire length. Remaining on the western side of the SACWSD sewer will eliminate crossings of SACWSD's main interceptor. Only three crossings of SACWSD lateral sewer lines are anticipated for this alignment alternative. Key features of the alignment include crossings of Chambers Road, East 104th Avenue., and East 96th Avenue. Development plans on parcel SD-224 will likely require a diagonal trenchless crossing of East 104th Avenue.

Alternative 1 General Summary:

- Length ~ 2.97 miles
- Depths ~ 4 to 30 feet
- Diameter 48 inches
- Trenchless Installations 2
  - o East 104th Avenue
  - o East 96th Avenue
- Agency Connections 0
- Dewatering High
- Production Rate High

| 5   |
|---|
|   |
| Overall minimal impacts. The crossings of East 96th Avenue and East 104th Avenue are expected to be trenchless. If Chambers Road is open cut, a minor closure and detour will be required.  |
| Impacts on private properties will be minimal and isolated to a few parcels around the East 104th Avenue crossing.  |
| The Second Creek trail will need to be closed during construction. Trail improvements could be incorporated into the Project to assist in public perception.  |
| Construction adjacent to Stuart Middle School (SD-235) will require coordination but will not have a significant impact on the school.  |
| ance  |
| Gravel access roads will need to be constructed for the alignment north of East 104th Avenue.<br>All manholes could be accessed via roadways or the existing trail system.  |
| This alternative will have good operator safety provision because of all manholes being located outside of roadways and the shallower depth of construction associated with the alignment's proximity to the creek.   |
|   |
| The alignment will parallel the SACWSD sewer interceptor on the western side. One main crossing<br>and three lateral crossings will be required. Preliminary review of survey data and as-built drawings<br>indicates that the SACWSD sewer will be above the SD Interceptor. |
| Overhead power lines and buried gas lines are present in the area to the north of Stuart<br>Middle School on parcels SD-233 and SD-232. The gas line crossings will require extensive<br>research, planning, and coordination.  |
|   |



| Project Area 4 – Commerce City Bison Ridge Recreational Center to 96th Avenue<br>Alternative 1 – RMP West Alignment |  |
|---|--|
| Wetland and<br>Environmental Impacts  | Because of its proximity to Second Creek, this project area will have the largest impact on wetlands.<br>Both alternatives considered for this project area are considered to have the same impact.<br>Underground storage tanks adjacent to the alignment within parcel SD-228 may require<br>coordination and possible work restrictions within a certain distance of the tanks. |
|   | Rocky Mountain Arsenal National Wildlife Refuge (NWR) is a Superfund site adjacent to the alignment within parcel SD-226. This site has ongoing cleanup and controls but presents a low risk because the alignment stays outside of federal land.  |
| Floodplains and<br>Drainageways   | Most of the segment limits will be inside the floodplain. No permanent impacts are anticipated if the manholes are located at grade and the existing grade is restored.  |
| Project Schedule  |  |
| Permitting and<br>Third-party   | Coordination with Commerce City will be required for the crossings at Chambers Road, East 96th Avenue, and East 104th Avenue.  |
| Coordination  | Additional coordination with SACWSD will be necessary because of the location of its sewer<br>interceptor.   |
|   | A USACE Section 404 Permit will be required, which may include coordination with USFWS.  |
|   | Appropriate city/county/state agencies will need to be contacted for Superfund site information.   |
| Land Acquisition  | The SD Interceptor will parallel an existing SACWSD sewer easement for the majority of this project area. Additional easements are expected to be streamlined because of the already encumbered land within the floodplain.  |
|   | Private land owners around the East 104th Avenue crossing will be affected by permanent and temporary easements.   |
| Construction Access   | Construction access roads will be necessary north of East 104th Avenue. Continuous access along the alignment will streamline construction.  |
| <b>Construction Cost</b>  |  |
| Trenchless vs.<br>Open-cut Construction   | This alignment will cross East 104th Avenue at an angle, which will increase both the distance and the time for which roadway infrastructure will be at risk. Additionally, the crossing will be much shallower than the crossing presented in Alternative 2, which will decrease the amount of cover and increase the risk of roadway settlement.                                 |
| Construction<br>Dewatering  | Construction dewatering is anticipated for most of the alignment because of its proximity to Second Creek.   |
| Depth and Length of<br>Construction   | The preliminary profile will exceed typical depths for an interceptor (e.g., less than 15 feet).   |



#### Project Area 4 – Commerce City Bison Ridge Recreational Center to 96th Avenue Alternative 2 – RMP East Alignment

This alignment will also remain on the western side of Second Creek; however, it will parallel the SACWSD sewer interceptor on the eastern side for its entire length. This will require six crossings of the SACWSD sewer interceptor and will push the SD Interceptor alignment very close to Second Creek in some areas.

Key features of the alignment include crossings of Chambers Road, East 104th Avenue, and East 96th Avenue. A perpendicular trenchless crossing at East 104th Avenue is possible for this alternative.

Alternative 2 General Summary:

- Length ~ 3.13 miles
- Depths ~ 4 to 20 feet
- Diameter 48 inches
- Trenchless Installations 2
  - o East 104th Avenue
  - o East 96th Avenue
- Agency Connections 0
- Dewatering Potential High
- Production Rate High

| Public Impacts                       |  |
|--------------------------------------|--|
| Transportation Impacts               | Overall minimal impacts. The crossings of East 96th Avenue and East 104th Avenue are expected to be trenchless. If Chambers Road is open cut, a minor closure and detour will be required.   |
| Private Property Value<br>Impacts    | Impacts on private properties will be minimal and isolated to a few parcels around the East 104th Avenue crossing.   |
| Public Facility Impacts              | The Second Creek trail will need to be closed during construction. Trail improvements could be incorporated into the Project to assist in public perception.   |
| Operations and Maintena              | nce  |
| Maintenance Access                   | Gravel access roads will need to be constructed for the alignment north of East 104th Avenue.<br>All manholes can be accessed via roadways or the existing trail system.   |
| Operator Safety                      | This alternative will have good operator safety provision because of all manholes being located outside of roadways and a shallower depth of construction associated with the alignment's proximity to the creek.  |
| Design Factors                       |  |
| Conflicts and Relocations            | The alignment will parallel the SACWSD sewer interceptor on the eastern side. Several sewer main crossings will occur that may require bypass pumping. Preliminary review of survey data and as-built drawings indicates that the SACWSD sewer will be above the SD Interceptor. |
|                                      | Overhead power lines and buried gas lines are present in the area to the north of Stuart<br>Middle School on parcels SD-233 and SD-232. The gas line crossings will require extensive<br>research, planning, and coordination.   |
|                                      | Segments of this alternative cut extremely close to Second Creek, which increases the risk of river bed erosion and pipe scouring.   |
| Wetland and<br>Environmental Impacts | Because of its proximity to Second Creek, this project area will have the largest impact on wetlands.<br>Both alternatives considered in this evaluation will have the same impact.  |
|                                      | The NWR is a Superfund site adjacent to the alignment within parcel SD-226. This site has ongoing cleanup and controls but presents a low risk because the alignment stays outside of federal land.  |
| Floodplains and<br>Drainageways      | Most of the segment limits will be inside the floodplain. No permanent impacts are anticipated if the manholes are located at grade and the existing grade is restored.  |



| Project                                 | Project Area 4 – Commerce City Bison Ridge Recreational Center to 96th Avenue<br>Alternative 2 – RMP East Alignment   |  |
|---|---|--|
| Project Schedule                        |   |  |
| Permitting and<br>Third-party           | Coordination with Commerce City will be required for the crossings at Chambers Road, East 96th Avenue, and East 104th Avenue.   |  |
| Coordination                            | Additional coordination with SACWSD will be necessary because of the location of its sewer<br>interceptor.  |  |
|   | A USACE Section 404 Permit will be required, which may include coordination with USFWS.   |  |
|   | Appropriate city/county/state agencies will need to be contacted for Superfund site information.  |  |
| Land Acquisition                        | The interceptor will parallel an existing SACWSD sewer easement for the majority of this project area. Additional easements are expected to be streamlined because of already encumbered land within the floodplain.  |  |
|   | Private land owners around the East 104th Avenue crossing will be affected by permanent and temporary easements.  |  |
| Construction Access                     | Construction access roads will be necessary north of East 104th Avenue. Continuous access along the alignment will streamline construction.   |  |
| Construction Cost                       |   |  |
| Trenchless vs.<br>Open-cut Construction | This alternative will cross East 104th Avenue underneath the embankment for the Second Creek overpass. The tunnel shafts could be placed on either side of the embankment to limit the shaft depth. The tunneled segment of pipe will have more cover than under Alternative 1, which will decrease the risk of roadway settlement. |  |
| Construction<br>Dewatering              | Construction dewatering is anticipated for most of the alignment because of its proximity to Second Creek.  |  |
| Depth and Length of<br>Construction     | The preliminary profile will exceed typical depths for an interceptor (e.g., less than 15 feet).  |  |



# **Project Area 5**

Figure B-6 shows the Project Area 5 extents with three alternative alignments between the crossing of East 96th Avenue at the downstream end and the Gateway Lift Station at the upstream end. One key feature in this project area is the junction point between the First Creek Segment from the south, the Second Creek Segment from the east, and the Combined Segment to the north. The junction point originally proposed in the RMP was shifted slightly to the north to avoid locating the structure within waters of the U.S. and to provide a better location for maintenance access. Alignment descriptions are provided at the beginning of each alternative analysis section.

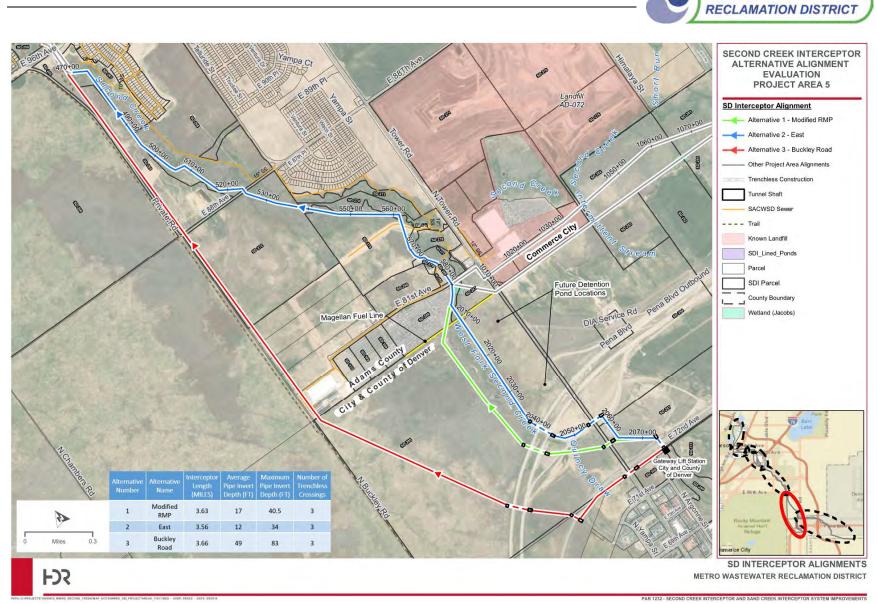


Figure B-6: Project Area 5 Alternatives Data

METRO WASTEWATER



Denver is also planning to construct two detention ponds within the vicinity of this project area. The first will be located west of Tower Road and south of Denver's property line, and the second will be in the northwest corner of the Peña Boulevard/Tower Road underpass. Detention pond locations are shown on Figure B-6 and were considered in the evaluation of alternatives.

Other key features in this project area include crossings of East 88th Avenue, Peña Boulevard, North Tower Road, and the A-Line commuter rail. Commerce City has indicated that open-cut construction may be a viable option for the crossing of East 88th Avenue. Crossings at Peña Boulevard, North Tower Road, and the A-Line are anticipated to be completed using trenchless construction methods. The risks associated with these crossings include settlement of roadways and rail lines, traffic disruptions, and potential damage to a mechanically stabilized earth wall located near the A-Line crossing. The design may consider ground improvements, such as pre-excavation grouting, to limit potential damage to the mechanically stabilized earth wall.

The anticipated subsurface conditions in this project area include dry to wet, fine to coarse alluvium (clay, silt, sand, and gravel). Feasible trenchless technologies for the crossings of Peña Boulevard and Tower Road only include tunnel boring machine (TBM) or MTBM because of the lengths of the tunnels. The A-Line commuter rail crossing is short, and many trenchless methods are viable. If the geotechnical investigation suggests that the tunnel will be above groundwater, guided auger boring or excavation by TBM may be considered. If the tunnel will be below groundwater, guided pipe ram or MTBM may be appropriate.



# Project Area 5 – 96th Avenue to Gateway Lift Station Alternative 1 – Modified RMP Alignment

The Combined Segment for this alternative will run south from East 96th Avenue, paralleling Second Creek to the west until it reaches the modified junction point in the northeastern corner of parcel SD-286. The alignment will travel through the eastern edge of the Denver International Airport (DEN) parking lot to remain on the west side of West Fork Second Creek for the crossing of Peña Boulevard. At this point, it will head east to cross West Fork Second Creek and North Tower Road, and then south to cross the A-Line commuter rail and connect to Denver's Gateway Lift Station.

Alternative 1 General Summary:

- Length ~ 3.63 miles
- Depth ~ 6.5 to 40.5 feet
- Diameter 36 to 48 inches
- Trenchless Installations 3
  - o Peña Boulevard
  - o North Tower Road
  - A-Line Commuter Rail
  - Agency Connections 1 (Denver)
- Dewatering Medium

•

Production Rate – High

| <ul> <li>FIGURE FIGURE FIG</li></ul> | · · · · ·   |
|--|---|
| Public Impacts   |   |
| Transportation Impacts   | Traffic impacts are expected to be moderate. Road closures and detours will be required at East 88th Avenue and East 81st Avenue. There will be some traffic impacts on Tower Road and Peña Boulevard associated with access to trenchless construction shafts.   |
| Private Property Value<br>Impacts  | The closure of East 81st Avenue will affect access to the airport parking lot on parcel SD-286.<br>Alternative access will need to be coordinated and constructed. There will be potential lost revenue<br>to the parking lot owner associated with the open-cut construction through the parking lot.<br>DEN is planning to develop parcel SD-295 in the future. |
| Public Facility Impacts  | None identified.  |
| Operations and Maintena  | nce   |
| Maintenance Access   | Maintenance access is considered good because of the location of the alignment near several roadways and existing access roads.   |
|  | The connection structure will need to be located outside the airport parking lot, so that no access limitations, including gates or parked cars, are over the structure.  |
| Operator Safety  | No specific items identified.   |
| Design Factors   |   |
| Conflicts and Relocations  | The alignment will generally parallel the SACWSD sewer interceptor until East 81st Avenue.<br>The SD Interceptor will cross water and sewer services for parcel SD-286. Conflicts are not<br>expected because of the anticipated depth of the interceptor.  |
|  | High- and medium-pressure gas lines travel along East 80th Avenue to DEN. The SD Interceptor will likely cross under these utilities.   |
| Wetland and<br>Environmental Impacts   | Three or four mapped wetlands are near the alignment. The Project Team will mitigate this issue by delineating the wetlands to determine more accurate boundaries and adjusting the alignment to avoid them, if possible.   |
|  | The NWR is a Superfund site adjacent to the alignment within parcel SD-226. This site has ongoing cleanup and controls but presents a low risk because the alignment stays outside of it.   |



|   | Project Area 5 – 96th Avenue to Gateway Lift Station<br>Alternative 1 – Modified RMP Alignment  |
|---|---|
| Floodplains and<br>Drainageways               | A majority of the alignment will be within the floodplain for this segment. Manhole locations will be located outside the floodplain where possible.  |
| Project Schedule                              |   |
| Permitting and<br>Third-party<br>Coordination | Coordination with Denver, Commerce City, DEN, CDOT, Regional Transportation District (RTD),<br>and SACWSD will be necessary.<br>USACE Section 404 permitting will be required, which may include coordination with USFWS.<br>Appropriate city/county/state agencies will need to be contacted for Superfund site information.<br>Alignment crosses NRHP-eligible canal segment (5AM.261), which will require Section 106<br>Consultation with SHPO and other parties. |
| Land Acquisition                              | Permanent utility easements and temporary construction easements will be needed for a majority of the alignment.  |
| Construction Access                           | Construction access will be difficult for the trenchless crossing near the Peña Boulevard ramps.  |

| Construction Cost                       |   |
|---|---|
| Trenchless vs.<br>Open-cut Construction | In general, construction of this alternative will be shallower than construction of the other two<br>alternatives, which will decrease construction cost.   |
|   | The crossing of Peña Boulevard for this alternative will occur within a large fill slope, which will<br>require deep tunnel shafts. Additionally, the length of this tunnel will be much longer than tunnel<br>lengths under the other alternatives, which will increase construction risk. |
|   | The crossing of Tower Road at this location will provide a good layout area and access for<br>trenchless construction.  |
| Construction<br>Dewatering              | Construction dewatering is expected along the entire alignment because of its proximity to West Fork Second Creek and Second Creek.   |
| Depth and Length of<br>Construction     | The proposed profile will exceed typical depths for an interceptor (e.g., less than 15 feet) on the upstream end because of roadway crossings. The depth of bury will decrease as the segment gets closer to Second Creek.  |



### Project Area 5 – 96th Avenue to Gateway Lift Station Alternative 2 – East Alignment

The Combined Segment for this alternative is the same as that for Alternative 1. After the junction point, this alternative will head southwest and cross West Fork Second Creek at approximately station 2000+50. It will then run south on the east side of the creek to cross Peña Boulevard. After crossing Peña Boulevard, it will head east to cross North Tower Road, and then south to cross the A-Line commuter rail and connect to Gateway Lift Station.

Alternative 2 General Summary:

- Length ~ 3.56 miles
- Depth ~ 7.5 to 32 feet
- Diameter 36 to 48 inches
- Trenchless Installations 3
  - o Peña Boulevard
  - o North Tower Road
  - o A-Line Commuter Rail Tracks
- Agency Connections 1 (Denver)
- Dewatering High
- Production Rate High

| Public Impacts                    |  |  |  |
|-----------------------------------|--|--|--|
| Transportation Impacts            | Traffic impacts are expected to be moderate. Road closures and detours will be required at East 88th Avenue and East 81st Avenue. There will be some traffic impacts on Tower Road and Peña Boulevard associated with access to trenchless construction shafts.  |  |  |
| Private Property Value<br>Impacts | The closure of East 81st Avenue will affect access to the airport parking lot on parcel SD-286.<br>Alternative access will need to be coordinated and constructed. There will be potential lost revenue<br>associated with the open-cut construction through the parking lot.<br>Parcel SD-295 is planned for development by DEN.  |  |  |
| Public Facility Impacts           | None identified.   |  |  |
| Operations and Maintena           | Operations and Maintenance   |  |  |
| Maintenance Access                | Maintenance access is considered good because of the location of the alignment near several<br>roadways and existing access roads.   |  |  |
|                                   | The connection structure will need to be located outside the parking lot to prevent access limitations, including gates or parked cars over the structure.   |  |  |
| Operator Safety                   | No specific items identified.  |  |  |
| Design Factors                    |  |  |  |
| Conflicts and Relocations         | The alignment will generally parallel the SACWSD sewer interceptor until East 81st Avenue.<br>The water and sewer services for parcel SD-286 will be crossed by the alignment. Conflicts are not<br>expected because of the anticipated depth of the interceptor.<br>High- and medium-pressure gas lines travel along East 80th Avenue to DEN. The interceptor will<br>likely cross under these utilities. |  |  |



|   | Project Area 5 – 96th Avenue to Gateway Lift Station<br>Alternative 2 – East Alignment  |
|---|---|
| Wetland and<br>Environmental Impacts          | Three or four mapped wetlands are in the vicinity of the alignment. The Project Team will mitigate this issue by delineating the wetlands to determine more accurate boundaries and adjusting the alignment to avoid them, if possible.<br>The NWR is a Superfund site adjacent to the alignment within parcel SD-226. This site has ongoing  |
|   | cleanup and controls but presents a low risk because the alignment stays outside of it.   |
| Floodplains and<br>Drainageways               | A majority of the alignment will be within the floodplain for this segment. Manhole locations will be located outside the floodplain where possible.  |
| Project Schedule                              |   |
| Permitting and<br>Third-party<br>Coordination | Coordination with Denver, Commerce City, DEN, CDOT, RTD, and SACWSD will be necessary.<br>USACE Section 404 permitting will be required, which may include coordination with USFWS.<br>Appropriate city/county/state agencies will need to be contacted for Superfund site information.<br>Alignment crosses NRHP-eligible canal segment (5AM.261), which will require Section 106<br>Consultation with SHPO and other parties. |
| Land Acquisition                              | Permanent utility easements and temporary construction easements will be needed for a majority of the alignment.  |
| Construction Access                           | Construction access will be difficult near the Peña Boulevard ramps for the trenchless crossing.  |
| Construction Cost                             |   |
| Trenchless vs.<br>Open-cut Construction       | The crossing of Peña Boulevard for this alternative will avoid a large fill area, some wetlands, and the Peña Boulevard off-ramp, which will make this a more ideal tunneling location.   |
|   | The crossing of Tower Road in this location will occur within a fill area with a lowered roadway, which will require deeper shafts, provide less cover for tunneling, and increase the risk of roadway settlement.  |
| Construction<br>Dewatering                    | Construction dewatering is expected along the entire alignment because of its proximity to West Fork Second Creek and Second Creek.   |
| Depth and Length of<br>Construction           | The proposed profile will exceed typical depths for an interceptor (e.g., less than 15 feet) on the upstream end because of roadway crossings. The depth of bury will decrease as the segment gets closer to Second Creek.  |



# Project Area 5 – 96th Avenue to Gateway Lift Station Alternative 3 – Buckley Road Alignment

For this alternative, the junction point between the First Creek Segment, Second Creek Segment, and Combined segments of the SD Interceptor will be located just to the south of East 96th Avenue. The First Creek Segment will run south along Buckley Road, turn diagonally southeast through parcel SD-295, cross Peña Boulevard, and then head directly east along East 72nd Avenue to cross West Fork Second Creek and North Tower Road, ending at Denver's Gateway Lift Station.

The Second Creek Segment of the interceptor will follow the same route as that presented for Alternative 1 until it ends at the original junction point and the new project area boundary. The alignment will not continue south from the junction point on parcel SD-286 because flows from Gateway Lift Station will be collected by the Buckley Road segment of the alignment.

One key factor for this alternative is the expected depth of construction. The Buckley Road leg of this alternative will be farther from Second Creek, and the increase in grade elevation is expected to push the construction depth to an average of 50 feet.

Alternative 3 General Summary:

- Length ~ 3.66 miles
- Depth ~ 4 to 83 feet
- Diameter 36 to 48 inches
- Trenchless Installations 3
  - o Peña Boulevard
  - o North Tower Road
  - o A-Line Commuter Rail Tracks
- Agency Connections 1 (Denver)
- Dewatering Potential Medium
- Production Rate Low

#### Public Impacts Transportation The alignment will be offset from Buckley Road so as not to affect the roadway during construction. Impacts Road closures and detours will be required at East 88th Avenue and East 72nd Avenue. There will be some traffic impacts on Tower Road and Peña Boulevard associated with access to trenchless construction shafts. Private Property The alignment will cross through the newly constructed parking lot for the building on the eastern edge of Value Impacts parcel SD-286. The closure of East 81st Avenue will affect access to the airport parking lot on parcel SD-286. Alternative access will need to be coordinated and constructed. There will be potential lost revenue associated with the open-cut construction through the parking lot. Parcel SD-295 is planned for development by DEN. This alternative will dissect the parcel and will decrease land value and the potential for development. Public Facility None identified. Impacts **Operations and Maintenance** Maintenance Access to the alignment will be good because of its proximity to Buckley Road and other streets. Access This alternative presents the longest alignment, which will require more pipe and manholes to maintain. **Operator Safety** As the parcels along Buckley Road are developed, the amount of traffic will increase.



|   | Project Area 5 – 96th Avenue to Gateway Lift Station<br>Alternative 3 – Buckley Road Alignment   |
|---|--|
| Design Factors                                |  |
| Conflicts and<br>Relocations                  | The Second Creek Segment will generally parallel the SACWSD sewer interceptor until East 81st Avenue.<br>The water and sewer services for parcel SD-286 will be crossed by the interceptor. Conflicts are not<br>expected because of the anticipated depth of the interceptor.<br>High- and medium-pressure gas lines travel along East 80th Avenue to DEN. Both legs of the interceptor<br>will likely cross under these utilities. |
| Wetland and<br>Environmental<br>Impacts       | Three or four mapped wetlands are in the vicinity of the alignment. The Project Team will mitigate this issue by delineating the wetlands to determine more accurate boundaries and adjusting the alignment to avoid them, if possible.  |
|   | The First Creek Segment will not encounter wetlands.<br>The NWR is a Superfund site adjacent to the alignment within parcel SD-226. This site has ongoing<br>cleanup and controls but presents a low risk because the alignment stays outside of it.   |
| Floodplains and<br>Drainageways               | A majority of the alignment will be within the floodplain for this segment. Manhole locations will be located outside the floodplain where possible.   |
| Project Schedule                              |  |
| Permitting and<br>Third-party<br>Coordination | Coordination with Denver, Commerce City, DEN, CDOT, RTD, and SACWSD will be necessary.<br>USACE Section 404 permitting will be required, which may include coordination with USFWS.<br>Appropriate city/county/state agencies will need to be contacted for Superfund site information.  |
| Land Acquisition                              | Permanent utility easements and temporary construction easements will be needed for a majority of the alignment. Because of the overall length of the two segments, this alternative will have the highest land acquisition cost.  |
| Construction<br>Access                        | Construction access along Buckley Road will be good where the alignment parallels the street.<br>Construction access will be difficult near the Peña Boulevard ramps for the trenchless crossings.   |
| Construction Cost                             |  |
| Trenchless vs.<br>Open-cut<br>Construction    | This alternative will be farther from Second Creek than both of the previous alternatives. The distance from the creek will push the construction depth to as deep as 80 feet in some areas. This depth of construction will only be possible through trenchless construction methods and will increase the risk and cost of construction significantly for this alternative.  |
| Construction<br>Dewatering                    | Construction dewatering is expected along the entire Second Creek Segment because of its proximity to West Fork Second Creek and Second Creek.<br>Dewatering is not anticipated for the First Creek Segment along Buckley Road.  |
| Depth and Length of Construction              | The proposed profile will exceed typical depths for an interceptor (e.g., less than 15 feet) along Buckley Road and on the upstream end because of roadway crossings. The depth of bury will decrease as the Second Creek Segment gets closer to Second Creek.   |



# **Project Area 6**

Figure B-7 shows the Project Area 6 extents with two alternative alignments between the intersection of East 80th Avenue and North Tower Road on the downstream end and the Second Creek Lift Station on the upstream end. One key factor in this project area is the connection at the upstream end to the Second Creek Lift Station. Second Creek Lift Station is the most upstream connection point of the SD Interceptor, and the inlet elevation at the lift station will serve as a fixed starting elevation for the Project. Most of this project area is within DEN property. Alignment descriptions are provided at the beginning of each alternative analysis section.

Coordination with DEN improvements were considered for this project area. DEN's future construction improvements include the widening of Peña Boulevard, a business park development, and a future runway project. Additionally, DEN has plans to connect to the SD Interceptor at approximately station 1080+00, which was proposed as a part of the RMP.

Additional key features in this project area include trenchless crossings of North Tower Road, E-470, and Peña Boulevard. The crossing of the A-Line commuter rail will be at an elevated portion of the rail and can likely be constructed via open cut. The crossing of North Tower Road will occur where the roadway and pedestrian trail have been recently upgraded and replaced, and new utilities within this corridor will need to be investigated. The anticipated subsurface conditions include dry fine to coarse alluvium (clay, silt, sand, and gravel) over shallow claystone bedrock. Viable trenchless methods for this crossing include TBM or a guided auger bore equipped with a cutting edge suitable for claystone. The crossings of Peña Boulevard and E-470 will occur within dry to wet, fine to coarse alluvium (clay, silt, sand, and gravel) over shallow claystone bedrock. The most viable trenchless method for both crossings is TBM.



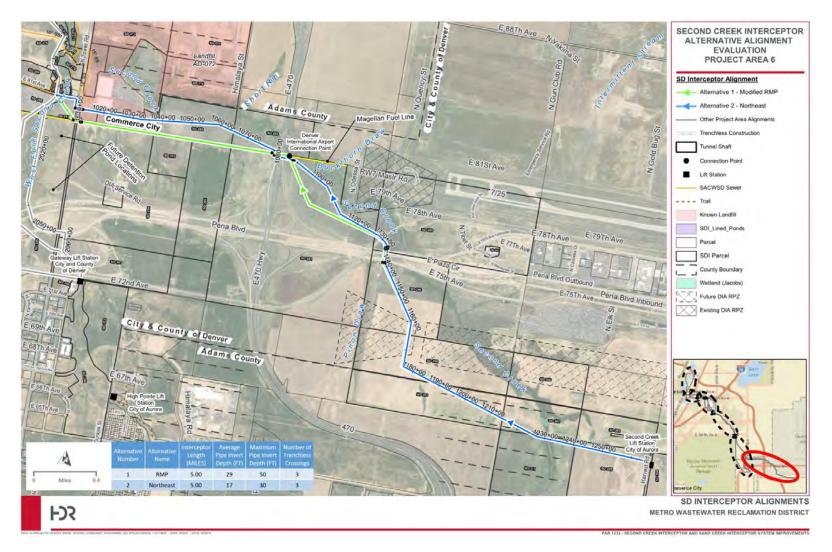


Figure B-7: Project Area 6 Alternatives Data



#### Project Area 6 – First Creek Interceptor Junction Point to Second Creek Lift Station Alternative 1 – RMP Alignment

This alignment will head east from the Junction Point to cross E-470. After the crossing, it will generally follow Second Creek southeast until it turns south to cross Peña Boulevard at a perpendicular angle. Then, it will head southeast again along Second Creek, cross in front of the future DEN runway, and end at the Second Creek Lift Station and the project area boundary.

Alternative 1 General Summary:

- Length ~ 5 miles
- Depth ~ 10 to 50 feet
- Diameter 36 inches
- Trenchless Installations 3
  - o E-470
  - o Tower Road
  - o Peña Boulevard and A-Line Commuter Rail Tracks
- Agency Connections 2 (Denver and Aurora)
- Dewatering Medium
- Production Rate High

| Production Rate                               | _ ngn   |
|---|---|
| Public Impacts                                |   |
| Transportation Impacts                        | Minimal traffic impacts are anticipated on Tower Road to access the pits for the trenchless crossing. The trenchless crossings for E-470 and Peña Boulevard will be located at elevated road segments; therefore, no traffic impacts are expected other than for construction surveys and monitoring.                             |
| Private Property Value<br>Impacts             | None identified.  |
| Public Facility Impacts                       | No impacts identified. Alignment will cross to the west of a future DEN runway.   |
| Operations and Maintena                       | ance  |
| Maintenance Access                            | Gravel access roads will need to be constructed for maintenance for most of the alignment.<br>Access to manholes between the E-470 and Peña Boulevard crossings will be difficult.  |
| Operator Safety                               | The alignment will be in the exclusion zone of a future runway and 1,000 feet from the edge of the runway. Noise and wind will be likely hazards.   |
| Design Factors                                |   |
| Conflicts and Relocations                     | Several known high- and medium-pressure gas lines surround Peña Boulevard and the E-470 interchange. The interceptor will likely cross under these utilities.   |
| Wetland and<br>Environmental Impacts          | The alignment will end at the Second Creek Lift Station, which is currently being constructed on the western side of Second Creek. A crossing of Second Creek will not be required; however, a tributary to Second Creek will be crossed. Only temporary wetland impacts are anticipated.   |
| Floodplains and<br>Drainageways               | Most of the alignment will be within the floodplain for this segment. Manhole locations will be located outside the floodplain where possible.  |
| Project Schedule                              |   |
| Permitting and<br>Third-party<br>Coordination | Coordination with Denver and DEN will be required, specifically with regard to the planned new runway. Access to DEN property will be difficult and will need to be coordinated.<br>Permitting will be required through the Federal Aviation Association (FAA) because of the alignment's proximity to the future runway project. |



| Project Area 6 – First Creek Interceptor Junction Point to Second Creek Lift Station<br>Alternative 1 – RMP Alignment |   |  |  |  |  |  |
|---|---|--|--|--|--|--|
|   | The alignment crosses an NRHP-eligible canal segment (5AM.261) and an NRHP-eligible archaeological site (5DV.3017), which will require Section 106 Consultation with SHPO and other parties.  |  |  |  |  |  |
| Land Acquisition  | Permanent utility easements and temporary construction easements will be needed for the entire alignment. DEN land acquisition will be time consuming.  |  |  |  |  |  |
| Construction Access   | Construction access for most of the segment will be good. The stretch of the alignment between E-470 and Peña Boulevard will be difficult to access and will need to be coordinated with DEN from East 78th Avenue.                   |  |  |  |  |  |
| Construction Cost   |   |  |  |  |  |  |
| Trenchless vs.<br>Open-cut Construction   | Risks associated with the trenchless crossings for this alternative will include settlement of the roadways, traffic disruptions, and dewatering.   |  |  |  |  |  |
| Construction<br>Dewatering  | Construction dewatering is anticipated for most of the alignment because of its proximity to Second Creek.  |  |  |  |  |  |
| Depth and Length of<br>Construction   | Construction depth west of the future runway will exceed typical interceptor construction because of the required 1,000-foot offset to the runway. Larger working areas will be required to avoid additional trenchless construction. |  |  |  |  |  |

# Second Creek Interceptor Recommended Alignment

To evaluate the alternatives for each project area, the decision support criteria in (see Table B-3) were first assigned an overall importance weight. Next, the differentiators between alternatives were defined to provide a range in scores for each criterion. Table B-4 presents the criteria, scoring definitions, and the criteria weight.



|                 | Table D-5. Dec              | 131011 30 | pport on | iteria weight and Scoring Demitions  |
|-----------------|-----------------------------|-----------|----------|--|
|                 | Criteria                    | Points    | Weight   | Scoring Definition   |
|                 | 1. Transportation Impacts   |           | 4        |  |
|                 | None                        | 10        |          | Construction not within roadways.  |
|                 | Moderate                    | 5         |          | Construction within residential roadways with efficient detour opportunities.  |
|                 | High                        | 1         |          | Construction requiring multiple lane closures in collector or higher volume streets. Construction in arterial roadways.  |
|                 | 2. Private Property Value I | mpacts    | 5        |  |
| ipacts          | None                        | 10        |          | No private property impacts. All work is contained within public ROW or within easements of adequate width.              |
| Public Impacts  | Moderate                    | 5         |          | Work is contained within newly acquired easements but does not affect improvements on private property.                  |
| ₫.              | High                        | 1         |          | Sewer improvements will result in construction activities on private property that will affect improvements on property. |
|                 | 3. Public Facility Impacts  |           | 3        |  |
|                 | None                        | 10        |          | No work within parks, open space, or other public spaces.  |
|                 | Moderate                    | 5         |          | Limited work within parks, open space, etc. that will require short duration temporary closure of the area.              |
|                 | High                        | 1         |          | Significant work within parks, open space, etc. that will require temporary closure of the area.                         |
|                 | 4. Maintenance Access       |           | 10       |  |
|                 | Good                        | 10        |          | No access issues associated with maintenance activities, including closed circuit television and Vactor truck access.    |
|                 | Moderate                    | 5         |          | Select areas of poor or limited maintenance access.  |
| and Maintenance | Poor                        | 1         |          | Poor access for maintenance activities.  |
| and             | 5. Operator Safety          |           | 14       |  |
| itions          | Good                        | 10        |          | All manholes are in open space with none in existing roadways.   |
| Operation       | Moderate                    | 5         |          | Some manholes are in existing roadways with lane or road closures available to perform maintenance activities.           |
|                 | Poor                        | 1         |          | All manholes are in existing roadways with no lane or road closures available to perform maintenance activities.         |

# Table B-3: Decision Support Criteria Weight and Scoring Definitions



|                | Criteria                                | Points   | Weight | Scoring Definition   |
|----------------|---|----------|--------|--|
|                | 6. Conflicts and Reloca                 | tions    | 5      |  |
|                | None                                    | 10       |        | No utility conflicts are anticipated.  |
|                | Moderate                                | 5        |        | Some number of utility conflicts require relocation.   |
|                | High                                    | 1        |        | Significant number of conflicts require relocation.  |
| S              | 7. Wetland and Enviror<br>Impacts       | imental  | 3      |  |
| actor          | None                                    | 10       |        | No anticipated wetland impacts.  |
| Design Factors | High                                    | 1        |        | Significant wetland impacts.   |
| Des            | 8. Floodplains and Drai                 | nageways | 4      |  |
|                | None                                    | 10       |        | Alignment is outside the 100-year floodplain, minimizing long-term maintenance issues, and outside the floodway/main channel, minimizing short-term construction risk. |
|                | Moderate                                | 5        |        | Alignment is outside the 100-year floodplain, minimizing long-term maintenance issues, but not outside the floodway/main channel.                                      |
|                | High                                    | 1        |        | Alignment is within the main channel and susceptible to flood-<br>related maintenance issues.  |
|                | 9. Permitting and Third<br>Coordination | -party   | 7      |  |
|                | None                                    | 10       |        | No significant permitting or third-party coordination required. No third-party infrastructure improvements will affect the SD Interceptor.                             |
|                | Moderate                                | 5        |        | Typical third-party coordination requirements will not impact schedule.  |
| lule           | High                                    | 1        |        | Permitting and third-party coordination likely to affect schedule.<br>Third-party infrastructure improvements likely to affect the SD<br>Interceptor in the future.    |
| sched          | 10. Land Acquisition                    |          | 7      |  |
| Project Sch    | None                                    | 10       |        | No land acquisition required.  |
| Pro            | Moderate                                | 5        |        | Land acquisition required. Schedule estimated to be less than 6 months.  |
|                | High                                    | 1        |        | Land acquisition required. Schedule estimated to be greater than 6 months.   |
|                | 11. Construction Acces                  | S        | 9      |  |
|                | Good                                    | 10       |        | Open access for construction equipment and materials. Access is available from multiple points along the alignment.  |
|                | Poor                                    | 1        |        | Access is constrained and available from only one point along the alignment.   |



|                   | Criteria                                 | Points | Weight | Scoring Definition   |
|-------------------|--|--------|--------|--|
|                   | 12. Trenchless vs. Open-<br>Construction | cut    | 9      |  |
|                   | None                                     | 10     |        | Minimal construction risk. Typical construction issues and mitigation measures. Primarily open-cut construction.                         |
|                   | Moderate                                 | 5      |        | Moderate construction risk. Typical construction issues and mitigation measures. Use of trenchless methods in select areas.              |
|                   | High                                     | 1      |        | Reliance on trenchless methods with minimal opportunities to mitigate risk through obtaining field data or similar information.          |
| Cost              | 14. Construction Dewater                 | ing    | 8      |  |
| Construction Cost | None                                     | 10     |        | No construction dewatering anticipated. Groundwater not expected, or construction method will not require dewatering (i.e., trenchless). |
| Constr            | Moderate                                 | 5      |        | Minor construction dewatering anticipated with minimal regulatory risk.  |
|                   | High                                     | 1      |        | Dewatering anticipated with discharge to Second Creek or the South Platte River; risk of CDPHE regulatory requirements.                  |
|                   | 15. Depth and Length of Construction     |        | 12     |  |
|                   | Low                                      | 10     |        | Average depth of interceptor is less than 20 feet.   |
|                   | Moderate                                 | 5      |        | Average depth of interceptor is between 20 and 30 feet.  |
|                   | High                                     | 1      |        | Average depth of interceptor is greater than 30 feet.  |

Table B-4 presents the results of the alternatives evaluation for Project Areas 1 through 6 within the County using the decision support criteria, weights, and scoring in a decision support matrix. The "Initial Status" column on the right-hand side of the table indicates which alignment alternatives are ranked highest and preferred to be used for Final Design. These alignments will be further evaluated and refined as the design progresses.



# Table B-4: Decision Support Matrix

|                 |                       | Ρι                     | ublic Impac                    | cts                     | 0                  | &M              | De                                | esign Facto                          | ors                         | Project                                    | Sched            | ule                 | Co                                      | nstructio               | n Cost                              |                 |                |
|-----------------|-----------------------|------------------------|--------------------------------|-------------------------|--------------------|-----------------|-----------------------------------|--------------------------------------|-----------------------------|--|------------------|---------------------|---|-------------------------|-------------------------------------|-----------------|----------------|
| Project<br>Area | Alignment Alternative | Transportation Impacts | Private Property Value Impacts | Public Property Impacts | Maintenance Access | Operator Safety | Utility Conflicts and Relocations | Wetland and Environmental<br>Impacts | Floodplain and Drainageways | Permitting and Third-party<br>Coordination | Land Acquisition | Construction Access | Trenchless vs. Open-cut<br>Construction | Construction Dewatering | Depth and Length of<br>Construction | Weighted Totals | Initial Status |
|                 | Criteria Weight       | 4                      | 5                              | 3                       | 10                 | 14              | 5                                 | 3                                    | 4                           | 7  | 7                | 9                   | 9                                       | 8                       | 12                                  | 100             |                |
| 1               | 1. Modified RMP       | 1                      | 3                              | 9                       | 8                  | 5               | 2                                 | 8                                    | 3                           | 6  | 2                | 8                   | 6                                       | 3                       | 2                                   | 472             |                |
|                 | 2. Golf Course        | 10                     | 6                              | 5                       | 6                  | 9               | 8                                 | 7                                    | 3                           | 4  | 5                | 6                   | 4                                       | 3                       | 5                                   | 581             | Selected       |
| 2               | 1. RMP                | 1                      | 6                              | 10                      | 6                  | 2               | 2                                 | 9                                    | 10                          | 1  | 3                | 3                   | 7                                       | 2                       | 5                                   | 423             |                |
| 2<br>           | 2. Central            | 8                      | 4                              | 10                      | 5                  | 8               | 7                                 | 9                                    | 10                          | 5  | 5                | 5                   | 7                                       | 3                       | 4                                   | 596             | Selected       |
|                 | 1. RMP                | 2                      | 1                              | 3                       | 2                  | 5               | 4                                 | 9                                    | 10                          | 4  | 1                | 2                   | 4                                       | 5                       | 2                                   | 352             |                |
| 3               | 2. Central            | 3                      | 3                              | 1                       | 4                  | 5               | 2                                 | 5                                    | 10                          | 4  | 2                | 2                   | 5                                       | 5                       | 3                                   | 386             |                |
|                 | 3. Commerce City      | 2                      | 6                              | 6                       | 3                  | 6               | 6                                 | 3                                    | 8                           | 5  | 5                | 2                   | 2                                       | 5                       | 5                                   | 447             | Selected       |
| 4               | 1. RMP West           | 5                      | 7                              | 2                       | 8                  | 9               | 8                                 | 5                                    | 4                           | 6  | 4                | 7                   | 7                                       | 5                       | 4                                   | 622             | Selected       |
| 4               | 2. RMP East           | 5                      | 7                              | 2                       | 8                  | 9               | 5                                 | 4                                    | 3                           | 5  | 3                | 5                   | 8                                       | 5                       | 4                                   | 577             |                |
|                 | 1. Modified RMP       | 7                      | 4                              | 9                       | 6                  | 8               | 7                                 | 4                                    | 5                           | 6  | 5                | 5                   | 6                                       | 4                       | 5                                   | 582             |                |
| 5               | 2. East               | 7                      | 4                              | 9                       | 6                  | 8               | 7                                 | 5                                    | 4                           | 6  | 5                | 5                   | 7                                       | 4                       | 6                                   | 602             | Selected       |
|                 | 3. Buckley Road       | 7                      | 4                              | 9                       | 8                  | 6               | 7                                 | 9                                    | 9                           | 3  | 3                | 5                   | 3                                       | 2                       | 1                                   | 479             |                |
| /               | 1. Modified RMP       | 8                      | 9                              | 10                      | 4                  | 6               | 3                                 | 7                                    | 3                           | 5  | 3                | 1                   | 5                                       | 6                       | 3                                   | 473             |                |
| 6               | 2. Northeast          | 8                      | 9                              | 10                      | 4                  | 6               | 7                                 | 7                                    | 3                           | 5  | 3                | 1                   | 5                                       | 6                       | 4                                   | 505             | Selected       |



# APPENDIX C:

PERMIT AND AGENCY CONTACT LIST

| Agency  | Contact  | Permit  | Initial<br>Contact | Negotiation/<br>Referral in<br>Process | Construction<br>Coordination<br>Required |
|---|--|---|--------------------|--|--|
| FEDERAL   |  |   |                    |  |  |
| Federal Emergency Management Agency   | Casey Martin, E.I.<br>CDM Smith, a member of Compass PTS JV<br>303-383-2333<br>martinc@cdmsmith.com  | Conditional Letter of Map Revision<br>Letter of Map Revision  |                    |  |  |
| U.S. Army Corps of Engineers  | Aaron R. Eilers<br>U.S. Army Corps of Engineers<br>Omaha District Denver Regulatory Office<br>9307 South Wadsworth Boulevard<br>Littleton, CO 80128<br>303-979-4120<br>aaron.r.eilers@usace.army.mil | Nationwide Permit 12  | X                  |  |  |
| U.S. Dept. of the Interior: Fish & Wildlife<br>Service                                    | Dominic Barrett<br>134 Union Blvd<br>Lakewood, CO 80228<br>303-236-7920<br>dominic_barrett@fws.gov   | Concurrence letter  | X                  |  |  |
| STATE   |  |   | <u> </u>           |  | 1  |
| Colorado Department of Public Health &<br>Environment - Air Pollution Control Division    | Chip Hancock<br>4300 E Cherry Creek Drive South<br>Denver, CO 80246<br>303-692-3169<br>r. hancock@state.co.us  | APEN for VOC emissions - equipment<br>(Notice of Relocation for portable<br>equipment)<br>APEN for VOC emissions - pipe coating |                    |  |  |
|   | T. Hancock@state.co.us   | Land Development APEN General Permit<br>(Fugitive Dust)   |                    |  |  |
|   | Laura Shumpert<br>APCD - Indoor Environment Program - Asbestos/IAQ Air<br>Unit<br>4300 Cherry Creek Drive South, APCD-IE-B1<br>Denver, CO 80246<br>303-692-2100<br>I.shumpert@state.co.us            | Asbestos Abatement Permit   |                    |  |  |
| Colorado Department of Public Health &<br>Environment - Water Quality Control<br>Division | Nathan Moore<br>Clean Water Compliance Unit Manager<br>4300 E Cherry Creek Drive South (same for all)  | CDPS General Permit for Stormwater<br>Discharges Associated with Construction<br>Activity (including SWMP)                      |                    |  | x  |
|   | Denver, CO 80246 (same for all)<br>303-692-3555<br>nathan.moore@state.co.us  | CDPS Hydrostatic Testing of Pipelines,<br>Tanks, and Similar Vessels Discharge Permit   |                    |  | x  |
|   | Margo Griffin<br>CDPHE-WQCD ES B2<br>303-692-3607<br>margo.griffin@state.co.us   | CDPS Individual Industrial Discharge Permit<br>(Construction Dewatering)  |                    |  | x  |

| Agency   | Contact   | Permit  | Initial<br>Contact | Negotiation/<br>Referral in<br>Process | Construction<br>Coordination<br>Required |
|--|---|---|--------------------|--|--|
|  | Bret Icenogle, P.E.<br>Engineering Section Manager<br>303-692-3278<br>bret.icenogle@state.co.us                   | Site Location Approval  | X                  |  |  |
| Colorado Department of Public Health &<br>Environment - Hazardous Materials and<br>Waste Management Division | Andy ToddCDPHE-HMWMD-B24300 Cherry Creek Drive<br>SouthDenver, CO 80246303-691-<br>4049andy.todd@state.co.us      | Materials Management Plan   |                    |  |  |
| Colorado Department of Transportation -<br>Region 1  | Steve Loeffler<br>2829 W. Howard Pl. 2nd Floor<br>Denver, CO 80204<br>303-757-9891<br>steven.loeffler@state.co.us | State Highway Access Permit - Temporary<br>(see Utility/Special Use Permit) | Х                  |  | Х  |
|  |   | Special Transport Permit  | х                  |  | Х  |
|  |   | Utility/Special Use Permit  | x                  |  | Х  |
|  |   | State Highway 22 (E. 124th Ave.)  |                    |  | Х  |
|  |   | State Highway 85  |                    |  | Х  |
|  |   | State Highway 2   |                    |  | Х  |
|  |   | State Highway 6 (Interstate 76)   |                    |  | Х  |
| Colorado Division of Water Resources   | David Nettles, P.E.<br>Regional Engineer  | Permanent Monitoring Well Permit  |                    |  |  |
|  | 810 - 9th Street Suite 200<br>Greeley, CO 80631   | Temporary Dewatering Well Permit  |                    |  |  |
|  | 970-352-8712 x1208<br>david.nettles@state.co.us   | Temporary Monitoring Well Permit  |                    |  |  |

| Agency                               | Contact   | Permit   | Initial<br>Contact | Negotiation/<br>Referral in<br>Process | Construction<br>Coordination<br>Required |
|--------------------------------------|---|--|--------------------|--|--|
| Colorado Parks & Wildlife            | Serena Rocksund<br>District Wildlife Manager-Adams County<br>6060 Broadway (same for all)<br>Denver, CO 80216 (same for all)<br>303-291-7132<br>serena.rocksund@state.co.us<br>Jordan Likes<br>District Wildlife Manager-Brighton (west of HWY 85)<br>303-291-7135<br>jordan.likes@state.co.us<br>Megan Lacey<br>District Wildlife Manager-Denver County<br>303-291-7137<br>megan.lacey@state.co.us | Raptor Monitoring Protocol   | X                  |  | x  |
| State Historical Preservation Office | Mark Tobias<br>Intergovernmental Services Manager<br>1200 Broadway<br>Denver, CO 80203<br>303-866-4674<br>mark.tobias@state.co.us   | Section 106 of National Historic<br>Preservation Act-Phase I (Not a permit.<br>Support for USACE Nationwide Permit 12) | x                  |  |  |
| COUNTY                               |   |  |                    |  |  |
| Adams County                         | Shayla ChristiansonAdministrative Technician4430 South<br>Adams County Parkway (same for all)Brighton, CO 80601<br>(same for all)720-523-6985schristianson@adcogov.org  | Stormwater Quality Permit  |                    |  |  |
|                                      | Greg Barnes<br>Planner II, Community and Economic Development Dept.   | Areas and Activities of State Interest Permit<br>(1041)  | x                  | х                                      | х  |
|                                      | 720-523-6853<br>gjbarnes@adcogov.org  | Temporary Use Permit   | x                  |  |  |

| Agency                    | Contact  | Permit   | Initial<br>Contact | Negotiation/<br>Referral in<br>Process | Construction<br>Coordination<br>Required |
|---------------------------|--|--|--------------------|--|--|
|                           | Greg LaBrie<br>Floodplain Administrator  | Floodplain Use Permit  | х                  |  |  |
|                           | 720-523-6824<br>glabrie@adcogov.org  | On-site Grading and Drainage Permit                                  | x                  |  | X  |
|                           |  | Right of Way & Infrastructure Permit                                 | x                  |  | X  |
|                           |  | E. 81st Avenue   |                    |  | X  |
|                           |  | E. 136th Avenue  |                    |  | x  |
|                           |  | Oakland Street   |                    |  | X  |
|                           |  | Peoria Street  |                    |  | x  |
|                           |  | Utility Street Cut Permit (see Right of Way & Infrastructure Permit) | x                  |  | x  |
|                           | Gordon Stevens<br>Adams County Transportation Department<br>720-523-6965<br>gstevens@adcogov.org | Oversize Load Permit   |                    |  |  |
|                           | Rene Valdez<br>Adams County Transportation Department  | Building Permit  |                    |  | Х  |
|                           | 720-523-6961<br>rvaldez@adcogov.org  | Demolition Permit  |                    |  |  |
|                           |  | Underground & Above Ground Utility<br>Permit                         |                    |  |  |
| СІТҮ                      |  |  |                    |  |  |
| City and County of Denver | Jennifer Williams<br>Senior Engineer Wastewater Capital Projects Management                      | Building Permit  | x                  |  | Х  |
|                           | 2000 W. 3rd Ave (same for all)<br>Denver, CO 80223 (same for all)                                | Construction Activities Stormwater<br>Discharge Permit               | x                  |  |  |
|                           | 303-446-3549<br>Jennifer.Williams@Denvergov.org  | Floodplain Permit  | x                  |  |  |
|                           |  | Temporary Sign Permit  | x                  |  |  |
|                           |  | Utility Plan Review  | x                  |  |  |
|                           |  | Zoning Construction Permits  | x                  |  | Х  |

| Agency           | Contact  | Permit   | Initial<br>Contact | Negotiation/<br>Referral in<br>Process | Construction<br>Coordination<br>Required |
|------------------|--|--|--------------------|--|--|
|                  | Steve Forvilly, PE & PLSSenior Engineer Engineering,<br>Regulatory & Analytics, Public WorksCity and County of   | Street Occupancy Permit / Right of Way<br>Construction Permit      | х                  |  | Х  |
|                  | Denver720-913-4533steven.forvilly@Denvergov.org  | E. 72nd Avenue   |                    |  | Х  |
|                  |  | Peña Boulevard   |                    |  | Х  |
|                  |  | Tower Road   |                    |  | X  |
| City of Aurora   | Permit Center<br>15151 E. Alameda Parkway, 2nd Floor   | Building Permit  | х                  |  | Х  |
|                  | Aurora, CO<br>303-739-7000   | Public Improvement Permit  | х                  |  |  |
|                  | permitcounter@auroragov.org  | Sign Permit  | х                  |  |  |
|                  |  | Stormwater Management Plan   | х                  |  | Х  |
|                  |  | Stormwater Quality Discharge Permit for<br>Construction Activities | x                  |  | Х  |
| City of Brighton | Lauren Simmons, AICP<br>Senior Planner<br>500 S 4th Ave (same for all)<br>Brighton, CO 80601 (same for all)<br>303-655-2177<br>Isimmons@brightonco.gov | Conditional Use Permit   | x                  | x                                      | x  |
|                  | Matt Rowland<br>Chief Building Official  | Building Permit - Demolition                                       |                    |  | Х  |
|                  | 303-655-2014<br>mrowland@brightonco.gov  | Building/Utility Construction Permit                               |                    |  | Х  |
|                  | Scott Olsen<br>303-655-2136  | Erosion and Sediment Control Permit                                |                    |  | Х  |
|                  | solsen@brightonco.gov  | Floodplain Permit  |                    |  |  |

| Agency                | Contact   | Permit                                | Initial<br>Contact | Negotiation/<br>Referral in<br>Process | Construction<br>Coordination<br>Required |
|-----------------------|---|---------------------------------------|--------------------|--|--|
|                       | Customer Service Center<br>303-655-2017<br>1stop@brightonco.gov   | Hydrant Meter Permit<br>Moving Permit |                    |  |  |
|                       |   | Right-of-Way Permit                   |                    |  | x  |
|                       |   | Brighton Road                         |                    |  | x  |
|                       |   | Henderson Road                        |                    |  | Х  |
|                       |   | Potomac Street                        |                    |  | X  |
|                       |   | Sign Permit                           |                    |  |  |
|                       |   | Temporary Use Permit                  |                    |  |  |
| City of Commerce City | Jenny Axmacher, AICP<br>City Planner<br>7887 E 60th Ave (same for all)<br>Commerce City, CO 80022 (same for all)<br>303-289-3716<br>jaxmacher@c3gov.com | Conditional Use Permit                | X                  | x                                      | x  |
|                       | Building Safety Division303-289-3790  | Building Permit                       |                    |  | Х  |
|                       |   | Temporary Use Permit                  |                    |  |  |
|                       | Planner of the Day<br>303-227-8777<br>cdplanner@c3gov.com   | Floodplain Development Permit         |                    |  |  |

| Agency                       | Contact   | Permit  | Initial<br>Contact | Negotiation/<br>Referral in<br>Process | Construction<br>Coordination<br>Required |
|------------------------------|---|---|--------------------|--|--|
|                              | Public Works Department<br>Municipal Services Center<br>8602 Rosemary Street<br>Commerce City, CO 80022<br>303-289-8150                             | Grading Permit  |                    |  | x  |
|                              |   | Right of Way Permit   | x                  |  | x  |
|                              |   | E. 88th Avenue  |                    |  | x  |
|                              |   | E. 96th Avenue  |                    |  | x  |
|                              |   | E. 104th Avenue   |                    |  | x  |
|                              |   | E. 112th Avenue   |                    |  | x  |
|                              |   | E. 120th Avenue   |                    |  | x  |
|                              |   | Chambers Road   |                    |  | x  |
|                              |   | Tower Road  |                    |  | x  |
|                              |   | Wheeling Street   |                    |  | x  |
| RAILROADS                    |   |   |                    |  |  |
| Burlington Northern Santa Fe | Melissa Leal<br>Jones Lang LaSalle Brokerage, Inc.<br>4200 Buckingham, Suite 110<br>Fort Worth, TX 76155<br>817-230-2626<br>Melissa.leal@am.jll.com | Pipeline Crossing and/or Longitudinal<br>(South of I-76 and east of State Highway 2)                | X                  |  | x  |
| Union Pacific Railroad       | UPRR<br>Real Estate - Contracts<br>1400 Douglas Street MS 1690<br>Omaha, NE 68179<br>402-544-8600<br>recontracts@up.com                             | Crossing Permit (East of State Highway 85<br>midway between E. 120th Avenue and E.<br>124th Avenue) | X                  |  | X  |

| Agency                           | Contact  | Permit   | Initial<br>Contact | Negotiation/<br>Referral in<br>Process | Construction<br>Coordination<br>Required |
|----------------------------------|--|--|--------------------|--|--|
| UTILITIES                        |  |  |                    |  |  |
| Xcel Energy                      | Preston Gibson<br>Area Manager<br>1800 Larimer St., Suite 1400<br>Denver, CO 80202<br>303-425-3944<br>preston.e.gibson@xcelenergy.com  | Application for Gas and Electric Services<br>(Const trailers, Odor Control Facility)                                       | X                  |  | x  |
| MISCELLANEOUS                    |  |  |                    | L                                      |  |
| Denver International Airport     | Catherine A. Rafferty, PE, CFM, CCCA<br>Senior Engineer<br>Denver International Airport<br>Airport Infrastructure Management – Development<br>Airport Office Building, 7th Floor<br>8500 Peña Boulevard<br>Denver, CO 80249-6340<br>(303) 342-4461; (303) 688-0099<br>CATHERINE.RAFFERTY@FLYDENVER.COM | Obstruction Evaluation / Airport Airspace<br>Analysis (OE/AAA) / Form 7460   | x                  |  | x  |
| E-470                            | Justine Brown<br>Permits Coordinator<br>22470 E. 6th Parkway, Suite 100  | Construction Permit  | x                  |  | X  |
|                                  | Aurora, CO 80018<br>303-537-3470<br>jbrown@e-470.com   | Annual Access Permit (Operation)   | х                  |  |  |
| Regional Transportation District | Manager of RTD Real Property<br>1560 Broadway Street, Suite 650<br>Denver, CO 80202  | ROW Agreement Request (East of Tower<br>Road and north of E. 72nd Avenue and east<br>of E-470 and north of Peña Boulevard) | x                  |  |  |
|                                  | realproperty@rtd-denver.com  | Utility Agreement (see ROW Agreement<br>Request)   | x                  |  |  |
|                                  | RTD<br>1560 Broadway Street, Suite 650<br>Denver, CO 80202<br>BGAPpermits@rtd-denver.com   | Facility Access Permit (Building Grounds<br>Access Permit) (see ROW Agreement<br>Request)                                  | X                  |  | X  |
|                                  | RTD<br>1560 Broadway Street, Suite 650<br>Denver, CO 80202<br>railopspermits@rtd-denver.com  | Light Rail Access Permit (see ROW<br>Agreement Request)  | X                  |  | x  |
|                                  | RTD<br>1560 Broadway Street, Suite 650<br>Denver, CO 80202<br>rwic@rtdcrail.com track.usage@rtdcrail.com   | RTD/DTO Commuter Rail Right-of-Way<br>Access Permit (see ROW Agreement<br>Request)   | X                  |  | X  |

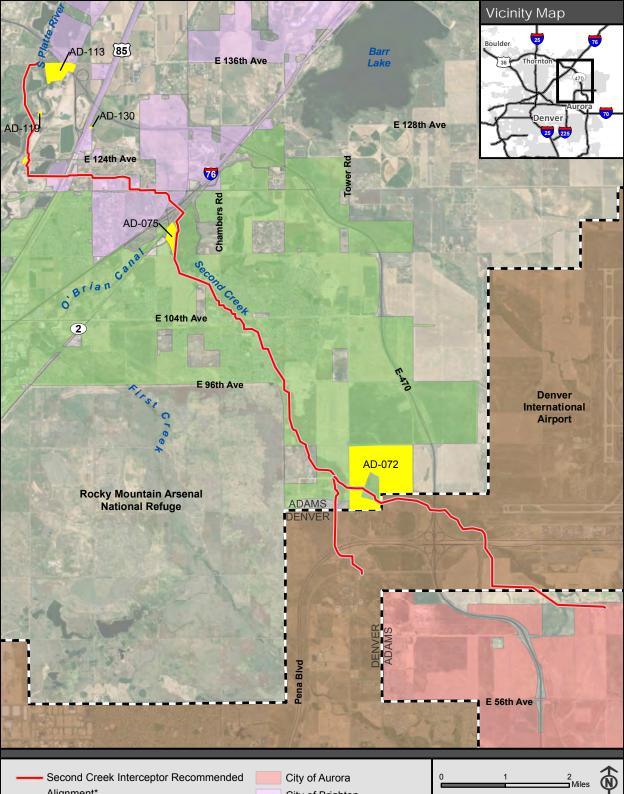
| Agency  | Contact  | Permit                           | Initial<br>Contact | Negotiation/<br>Referral in<br>Process | Construction<br>Coordination<br>Required |
|---|--|----------------------------------|--------------------|--|--|
| South Adams County Water and Sanitation<br>District | Abel Moreno<br>Distribution and Collection Systems Manager<br>10200 E 102nd Ave<br>Henderson, CO 80640<br>720-206-0590<br>amorena@sacwsd.org                   | Connection Permit                | х                  |  | Х  |
|   |  | Crossing Agreement               | x                  |  |  |
|   |  | Hydrant Permit                   | х                  |  | х  |
| Tri-County Health Department                        | Warren Brown<br>Senior Environmental Health Consultant<br>6162 South Willow Drive, Suite 100<br>Greenwood Village, CO 80111<br>303-220-9200<br>wbrown@tchd.org | Flammable Gas Investigation Plan | x                  | X                                      | X  |



# APPENDIX D:

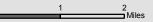
# LANDFILLS IN PROJECT AREA AND FLAMMABLE GAS INVESTIGATION PLAN

| Tri-County   |   | Adams County                    |  |   | Section/Township/ | Methane Gas      |  |                    | Other Known Contaminants of  |
|--------------|---|---------------------------------|--|---|-------------------|------------------|--|--------------------|--|
| Landfill No. | SD Parcel                               | Parcel No.                      | Landfill/Land Use  | Location  | Range             | Monitoring       | Current Owner                            | Years of Operation | Concern  |
| AD-113       | SD-005,<br>SD-006                       | 157126201001,<br>157126101003   | Inert Fill   | East side of South Platte<br>River opposite north end<br>of Riverdale Knolls-Dune<br>Golf Course  | 26/1S/67W         | No data on file. | Albert Frei & Sons (Pit<br>#4)           | 5/17/88 - Unknown  | Unknown  |
| AD-119       | SD-014                                  | 157126000018                    | Sanitary waste and<br>construction debris<br>(mainly organic debris) | South Platte River at<br>approximate east-west<br>midpoint between<br>northeast tip of the<br>north Mann-Nyholt Lake<br>on Adams County<br>Fairground and Brighton<br>Road. | 26/1S/67W         | No data on file. | Unknown                                  | Unknown            | Unknown  |
| No ID        | SD-050                                  | 157134000053                    | Special Use  | North of 123 <sup>rd</sup> Ave., east<br>of the South Platte River,<br>south of Henderson Rd.,<br>and west of Brighton Rd.  | 34/1S/67W         | No data on file. | Melvin Clark                             | Unknown            | Unknown  |
| AD-130       | SD-034                                  | 157135101001,<br>157135101002   | Inert Fill   | North of HWY 22, east of<br>Union Pacific Railroad<br>and HWY 85, west of<br>Fulton Ditch, and south<br>of E-470  | 35/1S/67W         | No data on file. | Big R Construction CO<br>- Henderson Pit | 12/31/86 - 1994    | Tri-County Health Department file<br>suggests potential disposal of asbesto<br>wastes, petroleum contaminated soils<br>and USTs. |
| AD-075       | SD-329,<br>SD-330                       | 0172306004001,<br>0172306004002 | Inert Fill   | North of E. 112 <sup>th</sup> Ave.,<br>East of Denver Hudson<br>Canal and SH-2, south of<br>Burlington Northern<br>Sante Fe Railroad  | 6/2S/66W          | No data on file. | Fiore & Sons Inc.                        | 2/9/97 - Unknown   | Unknown  |
| AD-072       | SD-270,<br>SD-271,<br>SD-276,<br>SD-288 | 172327200001,<br>172327301001   | Sanitary waste and construction debris                               | North of E.80 <sup>th</sup> Ave., east<br>of N. Tower Road, south<br>of E. 88 <sup>th</sup> Ave., and west<br>of Himalaya St.   | 27/2S/66W         | No data on file. | Allied Waste                             | 4/19/81 - Present  | Unknown  |



- Second Creek Interceptor Recommended Alignment\*
  - Active or Historic Landfill (per TCHD records)
- **County Boundary**

- City of Aurora
  - City of Brighton
  - City and County of Denver City of Commerce City



Projection: Lambert Conformal Conic State Plane Colorado North Feet North American Datum of 1983 (2011)

Alignment based on current design and subject to design refinement



# Memo

| Date:<br>(Revision 1)        | Monday, March 04, 2019   |
|------------------------------|--|
| Date:<br>(Initial Submittal) | Monday, January 28, 2019   |
| Project:                     | PAR 1232: Second Creek Interceptor and Sand Creek Interceptor System<br>Improvements |
| To:                          | Tri-County Health Department   |
| From:                        | Metro Wastewater Reclamation District, HDR Engineering, and Shannon & Wilson         |
| Subject:                     | Flammable Gas Investigation Plan   |

# Introduction

The PAR 1232 Second Creek Interceptor (SD Interceptor) and Sand Creek Interceptor System (SCIS) Improvements Project (Project) is being initiated by the Metro Wastewater Reclamation District (Metro District or District) to provide a regional solution to conveyance in the northeastern portion of the Metro District's service area. This Project includes the design and construction of the new SD Interceptor, an approximately 17.5-mile long interceptor, as well as improvements to portions of the existing SCIS to alleviate capacity constraints in the system. The Project will be delivered through the Construction Manager at Risk (CMAR) project delivery method. This delivery method was recommended to enhance overall Project value through collaboration with the CMAR contractor and specialty subcontractors during design and construction phases.

The purpose of this memo is to provide a flammable gas investigation plan (Plan) for portions of the SD Interceptor and SCIS improvements that are located within 1,000-feet of known landfill sites. The Tri-County Health Department (TCHD) has recommended in a meeting on October 2, 2018 that a flammable soil gas investigation should be performed to evaluate if methane gas may potentially be present as a result of these landfills. The Plan includes groundwater and methane monitoring wells installed in conjunction with the geotechnical investigation for the Project.

After completion and acceptance of the Plan by TCHD, the wells will be installed during winter/spring 2019. Initial monitoring will be performed during well installation, and subsequent periodic monitoring will be performed at the frequencies proposed below. Monitoring results will be summarized in reports during the design and construction phases and submitted to TCHD for review. All pre-construction groundwater and methane monitoring will be performed by the geotechnical subcontractor, and construction monitoring will be performed by the CMAR. Based on recommendations from TCHD, additional or follow-up monitoring will occur as necessary.

In addition, prior to beginning construction in 2020, a Materials Management Plan (MMP) will be submitted to TCHD and the Colorado Department of Public Health and Environment's (CDPHE) Solids Waste Division for review. CDPHE must approve the MMP prior to the start of construction. To ensure appropriate health and safety measures during construction, the construction

specifications will also require that a Health and Safety Plan (HASP) is prepared prior to the start of construction.

# Site Descriptions and Monitoring Requirements

The SD Interceptor alignment passes within 1,000-feet of four known landfill sites. The portion of the SCIS improvements adjacent to the District's Robert W. Hite Treatment Facility (RWHTF) is within one known landfill. Appendix A provides figures of the SD Interceptor and SCIS alignments in relation to these known landfills, as well as proposed monitoring locations.

The following sections define flammable gas monitoring requirements for each individual landfill site as recommended by TCHD in a phone call that occurred on November 20, 2018. Two phases of monitoring are proposed: initial monitoring during the design phase of the Project, and monitoring to take place during construction of the Project. Shannon and Wilson Inc. is conducting the geotechnical work during the design phase, and will be conducting all initial pre-construction methane and groundwater monitoring. Garney, the CMAR contractor, will be responsible for methane monitoring during the construction phase. Garney will develop a separate construction-phase monitoring plan, and will summarize the results in reports that will be submitted to TCHD for review. Additionally, Garney will be responsible for developing and submitting the MMP for approval by TCHD and CDPHE, as well as the HASP, prior to the start of construction.

## **SD Interceptor Sites**

## Landfill AD-113

The SD Interceptor is within 600-feet of this landfill, however the South Platte River is located between the landfill and the proposed interceptor location. No monitoring is required per TCHD recommendation, as the river acts as a barrier. See Appendix A, Figure 1.

## Landfill AD-119

The SD Interceptor is within 600-feet of this landfill, however due to the known history of the landfill and per TCHD recommendation, no monitoring is required during the design phase in this location. Methane monitoring will be required during construction, and a separate monitoring plan will be prepared at that time. See Appendix A, Figure 1.

## Landfill (Henderson Rd & E 124<sup>th</sup> Ave)

The SD Interceptor is within 250-feet of this landfill. A groundwater monitoring well and a methane monitoring well are required in this location per TCHD recommendation. Both wells should be tested weekly for a total of eight weeks during the design phase. Methane monitoring may be required during construction based on the results of this preliminary methane investigation.

Wells will be located at Geotechnical Boring number 1100TW, shown in Appendix A, Figure 2. A groundwater monitoring well was installed at this location at a depth of 18.5 feet on September 20, 2018. A methane monitoring well will be installed to a depth of approximately 8 feet adjacent to the existing groundwater monitoring well.



#### Landfill AD-75

The SD Interceptor runs adjacent to this landfill for approximately 2,000-feet. Monitoring of both groundwater and methane are required at this location per TCHD recommendations. Due to the presence of shallow groundwater at this location (< 1 foot below existing ground surface), both methane and groundwater monitoring will be performed with the groundwater monitoring wells; separate methane monitoring wells will not be utilized. Each well should be tested weekly for a total of eight weeks during the design phase. Methane monitoring will be required continuously during construction, and a separate monitoring plan will be prepared at that time.

Wells will be located at Geotechnical Boring numbers 3105TW & 3110PW, shown in Appendix A, Figure 3. Groundwater monitoring wells will be installed to the top of bedrock at these locations. Methane monitoring will be performed from within the groundwater monitoring wells using a passive sampler as described below under "Field Investigations."

#### Landfill AD-072

The SD Interceptor runs adjacent to the parking lot of this active landfill. Methane monitoring wells have been installed on the active portion of the landfill site. These wells are continuously monitored by the Tower Road Landfill and the results are submitted to the TCHD quarterly. Figure 4 in Appendix A shows the SD Interceptor alignment in this area as well as the approximate location of existing monitoring wells. Data from these wells has been requested and will be included in the data report for this investigation plan. Additionally, Second Creek is located between the SD Interceptor alignment and the active portion of the landfill in this area, and it is anticipated that the creek will act as a barrier for contamination.

## **SCIS Sites – RWHTF Facility**

### Landfill AD-117

The SCIS runs adjacent to this landfill for approximately 550-feet. See Appendix A, Figure 5. Groundwater and methane monitoring are required in this location per TCHD recommendation. Landfill AD-117 has been abandoned and the site is now owned and operated by the Suncor Commerce City Refinery (Suncor). Appendix A, Figure 6 shows a map of the Suncor site including existing contaminant mitigation structures, groundwater elevation contours, and monitoring well and piezometer locations. Due to restrictions on Suncor property, both methane and groundwater monitoring will be performed within an existing groundwater monitoring well; a separate methane monitoring well is not viable and will not be utilized.

Existing well number WLA-TW-3 shown in the figures is proposed for monitoring. This well will be tested weekly for a total of eight weeks during the design phase. Methane monitoring will be required continuously during construction, and a separate monitoring plan will be prepared at that time. Depending on the level of groundwater in the well during sampling, methane monitoring can be performed using either of the methods listed below under "Field Investigations."

# **F**

# Scope of Work

## Well Installation and Monitoring Approach

Groundwater monitoring wells will be installed at the top of bedrock. The wells will consist of a threaded, flush-jointed, 2-inch inside diameter, Schedule 40, polyvinyl chloride (PVC) well casing with a slotted portion (screen) to allow for inflow of groundwater. The machine-slotted screen will have 0.010-inch wide openings (No. 10-slot). An end cap will be attached to the bottom of the slotted section. The length of the screened interval is expected to be 10 feet based on soil units encountered in nearby borings and anticipated groundwater levels.

A filter pack consisting of No. 10-20 silica sand will be poured in the annular space between the boring wall and the well screen from the bottom of the boring to approximately 2 feet above the top of the screen. A bentonite seal will be constructed above the top of the filter pack using hydrated bentonite chips, which will be placed to the top of the well.

Methane monitoring wells will be constructed in a similar manner to the groundwater monitoring wells, using the same materials. The methane monitoring wells would be installed to within 6 inches to 1 foot above the approximate groundwater depth to allow for potential seasonal groundwater fluctuations. To maximize the potential for methane gas to enter the well, the machine-slotted screen will be installed from the bottom of the well to just below the required bentonite well seal.

Both the groundwater and methane monitoring wells will be completed flush with the surrounding grade by placing a 6-inch-diameter, flush-mounted steel monument over the top of the borehole. The steel monuments will be set in place with quick-set concrete.

Periodic groundwater monitoring will be performed using an electronic water level indicator. Periodic methane monitoring will be performed using a direct read instrument such as a flame ionization detector (FID). A FID is capable of detecting lower concentrations of methane gas in the parts per million (ppm) range than a combustible gas indicator (aka multi-gas meter).

Where shallow groundwater (< 1 foot below existing ground surface) is encountered, methane monitoring wells will not be installed. Instead, monitoring for dissolved methane will be performed in the groundwater well using a passive diffusion sample bag (i.e. HydraSleeve). This methodology will also be utilized in the event the groundwater level in the methane monitoring wells were to rise too high to allow for monitoring using the FID. After the diffusion membrane sampler has been prepared, it will be placed in the well for up to three days and allowed to absorb groundwater and methane into the sampling bag. The sampler will then be collected and delivered under chain-of-custody procedures to an analytical testing laboratory and analyzed for dissolved methane using EPA method RSK-175. This testing method is considered an industry-accepted standard for sampling in shallow groundwater conditions. Based on information from the testing laboratory, the method detection limit is 0.01 mg/L, which is sufficiently low enough to ensure that low levels of methane will be detected in low solubility conditions.

Pumping down groundwater levels in areas of shallow groundwater was investigated. However, the process of pumping groundwater out of the well would introduce oxygen into the system, which could alter the biological processes responsible for generating methane. As a result, the methane concentrations (if possible to detect) would not likely be representative. Additionally, existing borings drilled near locations with high groundwater conditions encountered poorly-graded sands, which would likely recharge quickly and not allow the well to remain dry if groundwater were pumped out.

Bar hole probe monitoring was also investigated as an alternative means of monitoring in areas of shallow groundwater. While the bar hole probe approach has been used in the past in limited conditions, it can be difficult to obtain consistent and representative samples given that air intrusion could occur when driving in the bar. The passive diffusion sample bag method will be used for methane monitoring for this Project.

## Field Data and Reporting

Field data such as sample date, time, location, weather conditions, sample methods used, and meter methane readings will be recorded in a project field book for all sample points. Upon completion of monitoring, a report will be prepared summarizing the investigation and methane results. Additional sampling, testing, and methane mitigation will be defined at this time if required given the results presented in the investigation report.

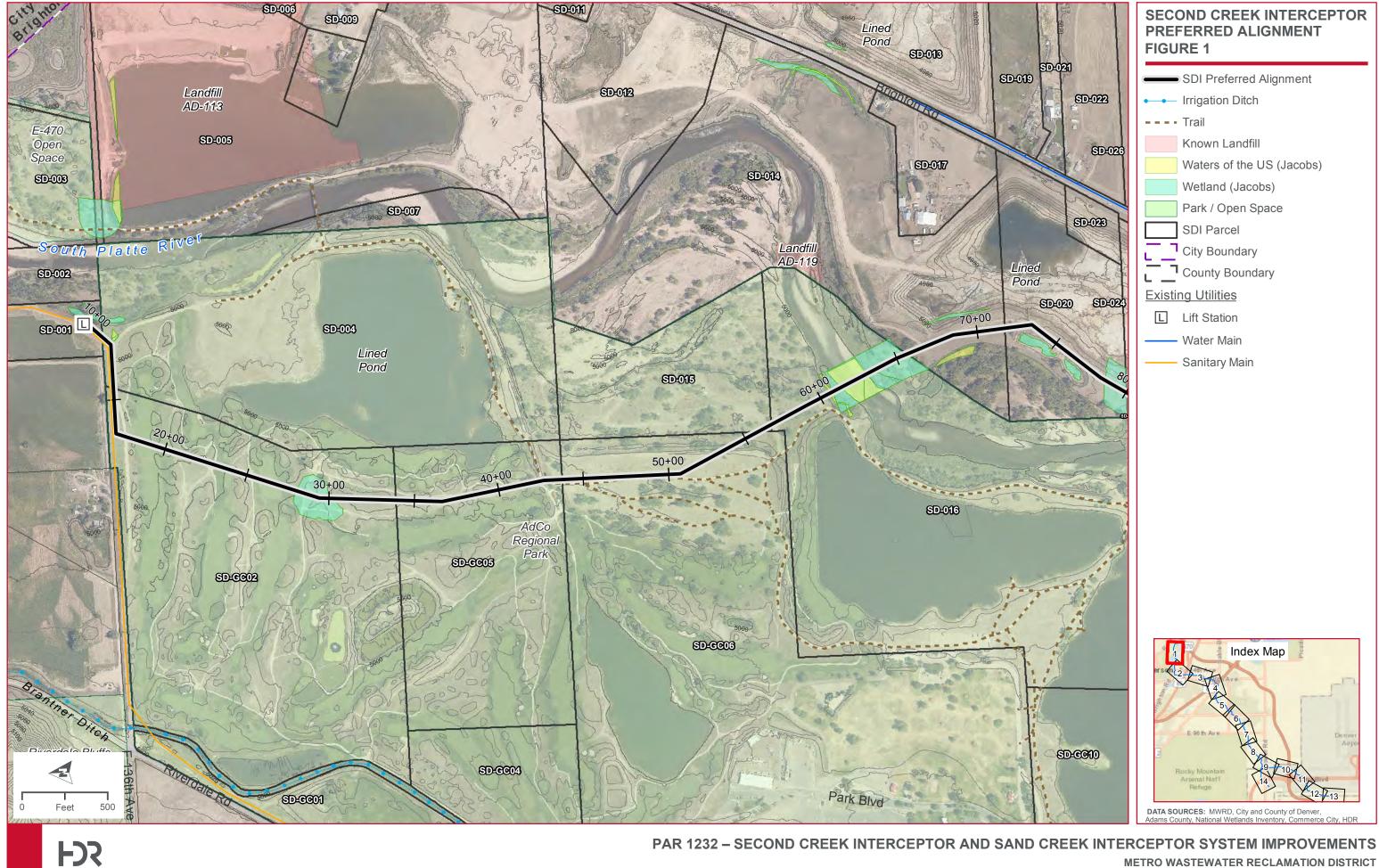
# Schedule

The SD Interceptor project is currently in the preliminary design phase. Phase 1 of the geotechnical boring work was completed on January 7, 2019. Installation of groundwater and methane monitoring wells will take place during the Phase 2 geotechnical boring work beginning on February 1, 2019 and continuing through December 31, 2019. The Design Phase of the project will continue through the end of 2020, with Construction taking place from 2020 through 2023.

# Limitations

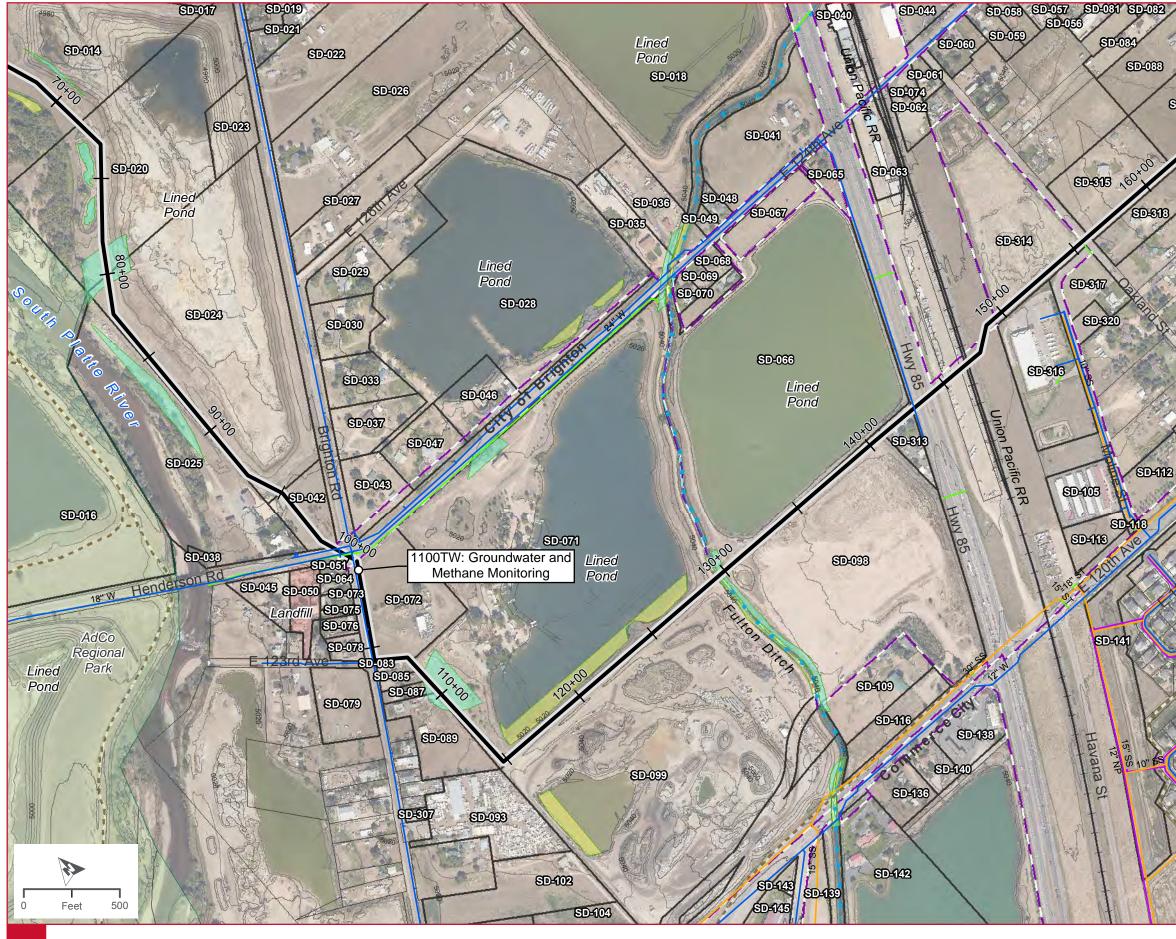
Flammable gas investigations will be performed in a manner that is consistent with generally accepted practices undertaken in similar studies in the same geographic area during the same period. Actual conditions may vary from those encountered at specific sampling points. The data, interpretations, findings, and final recommendations will be based solely on data obtained at the time and within the scope of this investigation plan. This investigation will not result in any guarantee that the site is free and clear of hazardous materials other than those which may be indicated in the report.

# Appendix A Supporting Figures



SDATA\PROJECTS\10089425\_MWRD\_SECOND\_CREEK\MAP\_DOCS\MWRD\_SDI\_PREFERRED\_ALIGN\_MAPBOOK\_500\_SCALE.MXD - USER: WWHEELER - DATE: 9/5/201

METRO WASTEWATER RECLAMATION DISTRICT



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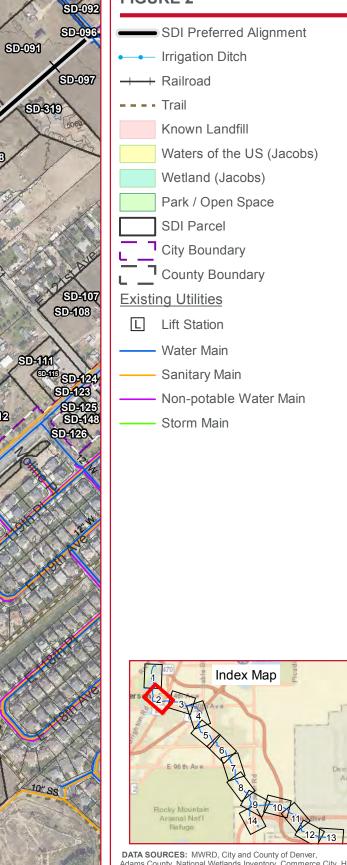
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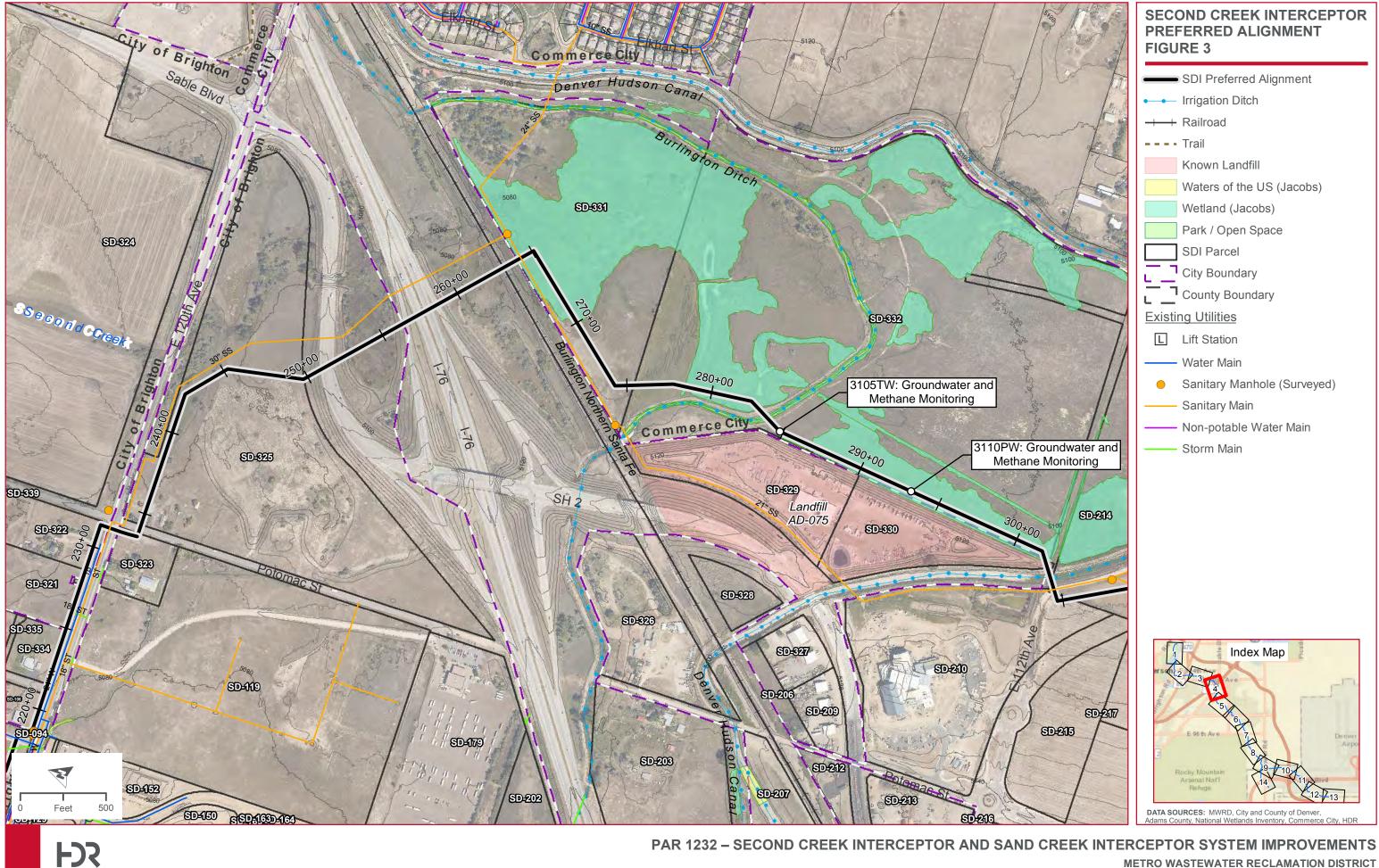
PAR 1232 – SECOND CREEK INTERCEPTOR AND SAND CREEK INTERCEPTOR SYSTEM IMPROVEMENTS METRO WASTEWATER RECLAMATION DISTRICT



SD-086

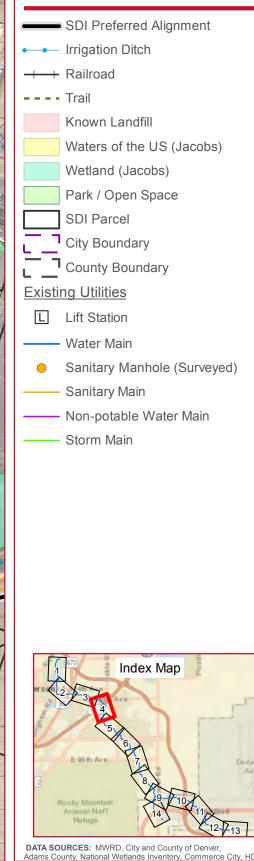
SD-090





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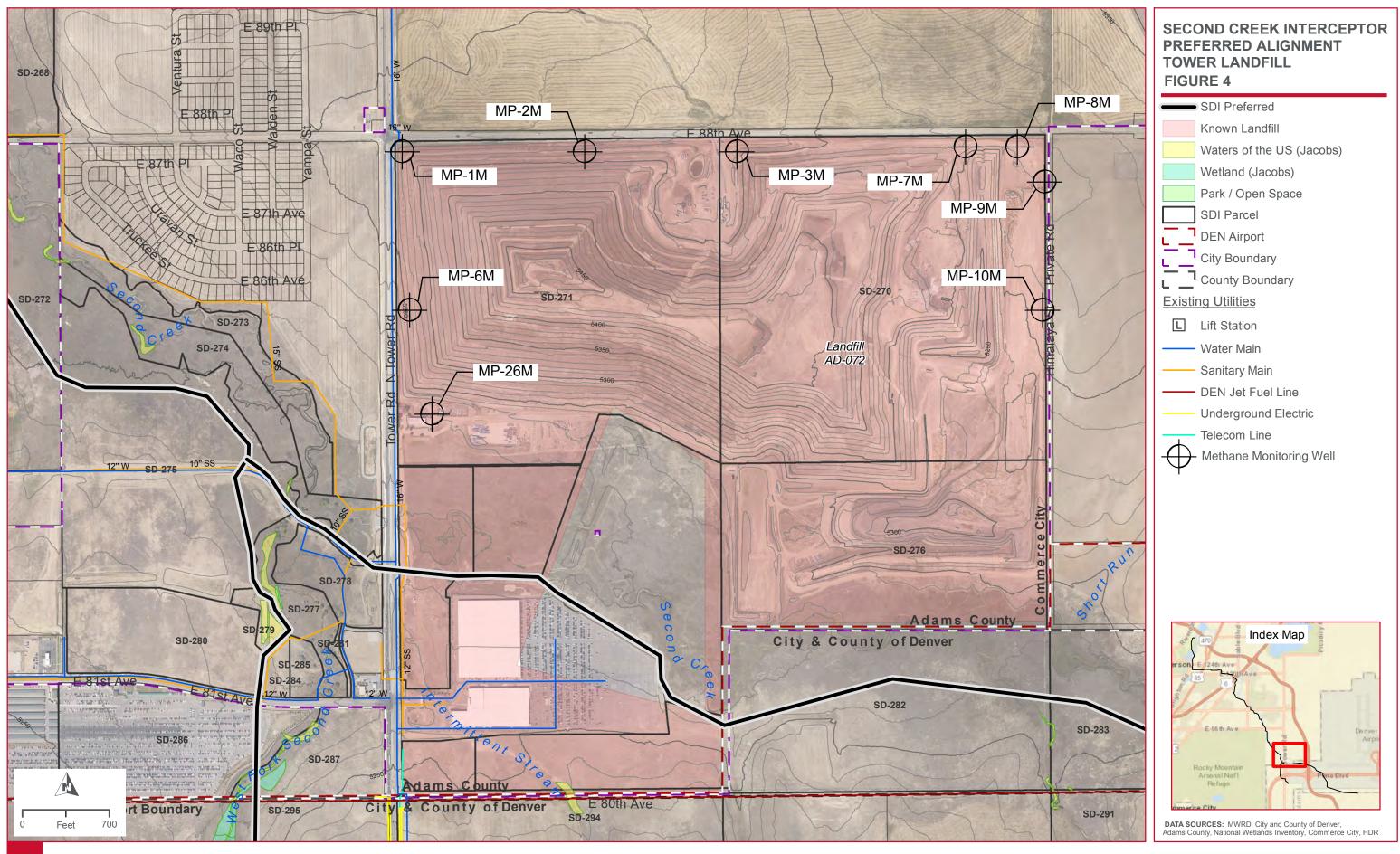


SD-214

SD-217

SD-215

METRO WASTEWATER RECLAMATION DISTRICT



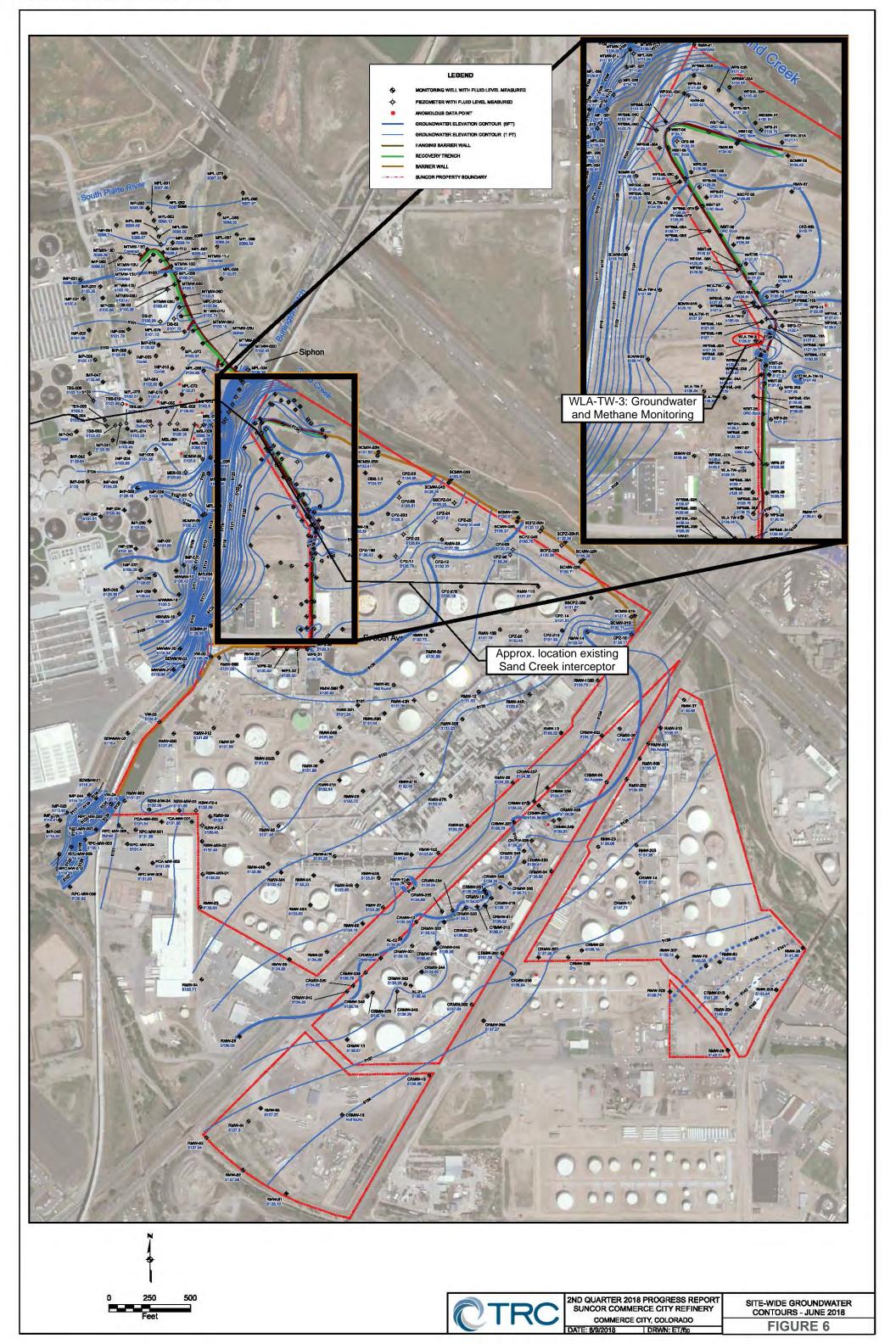
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PAR 1232 – SECOND CREEK INTERCEPTOR AND SAND CREEK INTERCEPTOR SYSTEM IMPROVEMENTS METRO WASTEWATER RECLAMATION DISTRICT



PAR 1232 - SECOND CREEK INTERCEPTOR AND SAND CREEK INTERCEPTOR SYSTEM IMPROVEMENTS





# APPENDIX E:

BALANCES BETWEEN BENEFITS AND LOSSES



\*For definition of acronyms used in this appendix, refer to Acronyms and Abbreviations list in 1041 report.

| Report<br>Section | Resource/Issue               | Effect   |
|-------------------|------------------------------|--|
| 6.0               | Land Use                     | Will be consistent with and support existing and planned land uses, and<br>support planned growth in this part of Adams County, as well as in other<br>locations.  |
| 6.5               | Farmlands                    | The Project will result in temporary impacts during construction and permanent impacts in the form of permanent easements for long-term maintenance activities. The Project will not adversely impact the area's agricultural economy or the livelihood of individual farmers or farming operations.   |
| 7.0               | Local Government<br>Services | The Project will have minimal or no effects on fire departments, law<br>enforcement, or solid waste services provided by Adams County, SACWSD,<br>Brighton, Commerce City, Aurora, Denver, and DEN. Water and wastewater<br>services will be enhanced for those entities. Overall, the Project will improve<br>the reliability and safety of conveyance systems and reduce O&M costs.<br>Temporary impacts would occur to emergency services, road and<br>transportation, and infrastructure services during construction. No permanent<br>immigration or emigration is expected for the region as a direct result of the<br>Project. Most construction employment likely will be provided by local workers<br>and will not add permanent housing or schooling burden to the local<br>community. However, temporary relocation of workers may be required for<br>more specialized construction services. |
|                   | Transportation               | Temporary traffic increases are anticipated to occur during construction from commuting construction workers, and movement of construction equipment and materials.<br>Roadway crossings will be coordinated throughout the design and construction process. Some will require limiting construction hours to certain times of the day (e.g., keeping lanes open on major transportation corridors during peak hours). These details will be coordinated with the governing agency of each roadway.  |
| 7.3               |                              | On minor roadways, temporary road closures with detours are likely. Where possible, at least one lane of traffic in each direction will be maintained, or a flagger will be used to maintain one-lane, head-to-head traffic around construction, depending on existing roadway width. If trenching occurs under existing pavement, the contractor will coordinate with Adams County Public Works Department to determine proper resurfacing treatment, depending on field conditions.  |
|                   |                              | Major roadways will be tunneled to reduce effects on traffic. In addition, crossings of the Union Pacific Railroad (UPRR) and Burlington Northern Santa Fe Railroad (BNSF) Railroad will be completed with trenchless construction methods. Because trenchless construction methods minimize aboveground disturbance, no traffic disruptions are expected along major traffic corridors where these methods are employed. Although effects on traffic are not  |



| Report<br>Section | Resource/Issue                                  | Effect  |
|-------------------|---|---|
|                   |   | anticipated, minor diversions to protect workers on the shoulder of the road may occur.   |
|                   |   | Traffic control plans will be developed and coordinated with each governing agency for each affected transportation network.  |
|                   |   | Construction parallel to the roadway will be minimized through alignment<br>optimization. If construction parallel to roadways is required, construction will<br>occur outside the existing pavement and will be limited to the shoulder or to<br>temporary closure of one traffic lane.  |
|                   |   | In lower traffic volume areas, detours or temporary lane closures may be used<br>in accordance with detour and traffic control plans that incorporate the most<br>recent Manual on Uniform Traffic Control Devices (FHWA 2012) standards.<br>Also, contractors will be required to provide continual access to local residents<br>and businesses affected by such closures.   |
|                   |   | The Metro District will seek to use existing access paths or roads to construct<br>the SD Interceptor and for future maintenance. Permanent and temporary<br>gravel access roads will be constructed, as necessary, and coordinated with<br>the County's master planned trail system to provide the required access for the<br>District's maintenance vehicles and equipment, taking into consideration public<br>safety, environmental considerations, and land use, among others, to preserve<br>the overall character of the area. Multipurpose gravel access roads that serve<br>as community trails may be provided along the South Platte River and Second<br>Creek. This trail system will be evaluated for use as maintenance access for<br>manholes along the interceptor and improved as needed to facilitate access<br>within open spaces. Additionally, in open space areas where trails do not yet<br>exist, Metro District will work with the governing agency to provide gravel<br>access roads that serve a dual benefit as public access trails. Other temporary<br>gravel access roads may be constructed but will be removed, and the area will<br>be restored by the contractor upon completion of the interceptor. |
|                   |   | There will be no permanent effects on the existing roadways. During construction, the Metro District will provide public outreach and information to citizens regarding the construction and respond to citizen concerns.   |
|                   |   | The Project will enable the decommissioning of up to six lift stations, which will reduce maintenance traffic to these facilities.  |
| 8.2               | Impacts and Effects<br>of Project on<br>Economy | The Project is not anticipated to result in a net permanent effect on the local economy. The Project will be operated and maintained by Metro District personnel or workers hired for interceptor maintenance and other tasks. Most of the Project will be in agricultural lands or adjacent to Second Creek, but some of the Project will be near local businesses that rely on main thoroughfares. Project construction may temporarily affect these businesses, and the Metro District will coordinate with affected businesses throughout design and construction phases to minimize adverse effects.   |



| Report<br>Section | Resource/Issue                                    | Effect  |
|-------------------|---|---|
|                   |   | During construction, temporary economic stimulus is expected to occur for local retail establishments, but temporary increases are expected to be minor.  |
| 8.3               | Potential Jobs<br>Created as a Result             | Overall, this Project will create temporary construction-related employment during construction.  |
| 0.0               | of the Project                                    | Facilities constructed by the Project will be operated and maintained by Metro<br>District personnel or workers hired for interceptor maintenance and other tasks.  |
| 8.4               | Income Potential as<br>a Result of the<br>Project | No permanent jobs will be created as a result of this Project; therefore, it is<br>anticipated that no income potential will be permanently added specifically<br>because of this Project. Local retail establishments may experience a<br>temporary increase in revenue during construction.   |
|                   |   | Impacts on parks, trails, and recreational facilities in unincorporated Adams<br>County will be temporary and will occur during the construction phase of the<br>Project. No permanent impacts are anticipated.   |
| 9.0               | Recreation<br>Opportunities                       | Segment A will temporarily affect the Regional Park, the Riverdale Dunes Golf<br>Club, Adams Hollow Disc Golf Course, and South Platte River Trail. Open-cut<br>construction activities will temporarily affect the park and trail; however, no<br>other recreational facilities within the parks will be affected. Full recreational<br>value will be restored to the property after Project completion. Work near the<br>golf course will follow a maintenance corridor up to the golf course fairways<br>and continue to 136 <sup>th</sup> Avenue. Also, construction activities at the golf course<br>will be completed during the off-season to minimize impacts on golf course<br>users. No long-term direct or indirect effects are anticipated. |
|                   |   | The South Platte River Trail will be temporarily rerouted in two locations south of the Fishing Is Fun Pond for approximately four months to accommodate construction. Signage will be used to direct trail users. There will be no long-term impacts on the trail.   |
|                   |   | In Segment F, open-cut construction will temporarily impact the Kucera Trail, which will be temporarily rerouted to accommodate construction. Signage will be used to direct trail users. There will be no long-term impacts on the trail.  |
|                   |   | Users of nearby recreational areas and trails may be temporarily affected by noise and dust during construction. Parks and trails will be restored to their pre-construction condition after construction is completed.   |
| 10.1              | Air Quality                                       | Project construction will result in short-term (temporary) air emission impacts<br>mostly associated with fugitive dust. These temporary emissions will be<br>unlikely to cause ambient air pollutant concentrations that will approach or<br>exceed the NAAQS within the Project vicinity. After construction, the dust level<br>is anticipated to return to preconstruction conditions. Operational activities may<br>generate air emissions. However, these air emission sources will be controlled<br>as necessary and will be permitted in accordance with state and local<br>requirements. Therefore, no regional air emission impacts are anticipated.<br>Nuisances, such as odors, are not anticipated.   |



| Report<br>Section | Resource/Issue                                  | Effect  |
|-------------------|---|---|
| 10.2              | Visual Quality                                  | During construction, temporary visual impacts will occur to residences,<br>businesses, recreation areas, and other areas within view of the interceptor<br>alignments and in the immediate vicinity of construction sites. Areas where<br>open-cut construction is employed will experience higher temporary visual<br>impacts than areas where trenchless construction is used, but the duration of<br>open-cut construction will be shorter. Temporary impacts during construction<br>include views of construction equipment/fencing, pipe stockpiles, trench<br>excavation (where open-cut construction is used), access pits (where<br>trenchless construction is used), excavated soil stockpiles, dust, temporary<br>construction access roads, vegetation removal, and trench<br>compaction/disturbed soil. |
|                   |   | Permanent impacts will result from construction of aboveground facilities, such<br>as metering stations and an odor control facility, and the possible removal or<br>demolition of several lift stations. Depending on the reuse of these areas,<br>these land use changes could improve visual conditions at these locations. In<br>addition, ongoing monitoring and maintenance activities will be visible to areas<br>within view of the interceptor alignment.  |
| 10.3              | Surface Water<br>Quality                        | The Project is not expected to adversely affect surface waters assuming<br>proper construction and maintenance. Treated effluent discharge at the<br>RWHTF will decrease by approximately 5 mgd in 2025. The effects will be<br>negligible, given the nominal flow contribution that will be rerouted from the<br>RWHTF to the Northern Treatment Plant at the time the SD Interceptor<br>becomes operational.  |
|                   |   | The operation of existing drinking water intakes will be unaffected by the long-term operation of the SD Interceptor.   |
|                   |   | The Project will not affect surface waters if constructed and maintained properly. Surface water contamination could occur if there are line breaks. Water quality will be unaffected or improved.  |
| 10.4              | Groundwater<br>Quality and Quantity             | Dewatering required for open-cut and trenchless interceptor installation will be mitigated in accordance with state and local regulatory requirements and permits. The SD Interceptor is expected to be constructed in 200- to 400-foot segments (depending on pipe diameter) at a rate of approximately 1 to 2 weeks for trenchless activities; therefore, construction dewatering in any given area will be of short duration. Adhering to proper construction techniques will avoid and minimize potential effects on groundwater resources and existing wells.  |
|                   |   | Proper maintenance will avoid and minimize potential effects on existing drinking water supply wells.   |
|                   | Wotlands  | A potential for groundwater contamination could occur if line breaks occur.   |
| 10.5              | Wetlands,<br>Floodplains, and<br>Riparian Areas | The SD Interceptor alignment will cross multiple waters of the U.S. that potentially fall under the USACE's jurisdiction, including the South Platte River, Fulton Ditch, Second Creek, Burlington Ditch, O'Brian Canal, and Pinon Draw   |



| Report<br>Section | Resource/Issue                                    | Effect  |
|-------------------|---|---|
|                   |   | and their associated wetlands and tributaries. Additional features that meet the definitions of waters of the U.S. that may be impacted include gravel quarries, attenuation ponds, man-made lakes, modified natural drainages, roadside swales, and stormwater structures. Following completion of planned formal delineations, consultation with the USACE will be required to determine jurisdictional status, CWA Section 404 permitting, and any required mitigation. The Metro District will coordinate with UDFCD to ensure that UDFCD's planned improvements along the South Platte River are considered during the design of this Project.   |
|                   |   | Impacts on the regulated floodplain, although minimal, may result in a change<br>in floodplain elevation. The Project will conform to regulatory requirements<br>regarding the floodplain and floodway, and necessary permits will be obtained,<br>including a Floodplain Use Permit in accordance with Adams County<br>requirements.   |
| 10.6              | Terrestrial and<br>Aquatic Animals and<br>Habitat | No federally listed threatened or endangered species are anticipated within the Project corridor. Most of the Project will fall within the Denver Block Clearance Zone for the PMJM, and a portion of the Project will occur within the Block Clearance Zones for ULTO and CBP. Because an approximately 1-mile section of the alignment falls outside of the PMJM Block Clearance Zone and the ULTO and CBP Block Clearance Zones are limited to the South Platte River corridor, any areas of impacts on wetlands, waters, and riparian habitat that occur outside of the Block Clearance Zones will be evaluated and discussed with the USFWS. Depending on the location and types of impacts, a formal habitat assessment or species surveys may be required. There is low potential for the Project to affect the resident native and non-native fish species and the five listed species that occur in the South Platte River downstream from the Project. Downstream project impacts would be evaluated in more detail and discussed with the USFWS as necessary. Coordination with CPW to address concerns regarding native fish may be required if in-stream work were to occur to the South Platte River. |
|                   |   | Removal of black-tailed prairie dogs is restricted from March 1 to June 14<br>annually on public lands, and CPW recommends that removal of this species<br>take place outside of these dates on private lands.  |
|                   |   | No specific actions are recommended for preservation of the amphibious and reptilian non-game species listed as species of special concern for the State of Colorado. Impacts on wetlands and other waters are anticipated to be restored to preconstruction contours and vegetation in accordance with CWA 404 regulations; therefore, any impacts on these species are anticipated to be minor and short-term in duration. CPW coordination, although not required, would provide recommendations on protecting suitable habitat for these species.   |
|                   |   | Take of migratory birds, Bald Eagles, Ferruginous Hawks, Burrowing Owls,<br>and Mountain Plovers, their nests, eggs, and parts is prohibited by the MBTA,   |



| Report<br>Section | Resource/Issue                                | Effect   |
|-------------------|---|--|
|                   |   | BGEPA, and Colorado wildlife law. Mitigation measures such as<br>preconstruction surveys would be conducted to avoid impacts. Where active<br>prairie dog towns are found within or immediately adjacent to the Project,<br>Burrowing Owl nest surveys would be performed in accordance with the CPW<br>protocol to avoid impacts.   |
| 10.7              | Geologic Conditions<br>and Natural<br>Hazards | The Project is not anticipated to impact area soils or geologic conditions.<br>Topsoil may be stripped, salvaged, and stockpiled during construction and<br>replaced when interceptor installation is completed. No changes to soils are<br>anticipated. No unstable slopes, avalanche areas, debris fans, mud flows, or<br>rockslide areas were identified in the Project area. The Project will not result in<br>increased fire danger.  |
|                   |   | The Project will result in localized temporary nuisances during construction, including increased noise, dust, traffic, and vibration that are typical of construction activities.   |
| 10.8              | Nuisances                                     | The SD Interceptor is proposed as a fully underground gravity sewer<br>interceptor with manholes vented to the sewer. Nuisance odors in sewers<br>result from off-gassing of hydrogen sulfide buildup, which often occurs when<br>dissolved hydrogen sulfide is released from solution during turbulent flows. The<br>Project will be designed to control and treat odors; therefore, odor nuisances<br>are not anticipated. The odor control facility may emit minor odor, but these<br>odors will not affect the surrounding community. The odor control facility fans<br>have the potential to generate nuisance noise or vibration, which are expected<br>to be negligible. Permanent gravel access roads used for maintenance and<br>operation of the SD Interceptor will be designed to reduce dust generation.<br>Access roads are expected to be used rarely during the life of the SD<br>Interceptor. Systems within the SD Interceptor alignment will not require<br>backup power generators or fuel storage tanks, thus eliminating nuisance fuel<br>leaks or spills. SD Interceptor aboveground and belowground structures will be<br>designed to eliminate access to the sewer by rodents or other animals. |
| 10.9              | Historic or<br>Archaeological<br>Resources    | <ul> <li>The Project has the potential to affect cultural resources that are eligible for the NRHP or that contribute to an NRHP eligible resource. The SD Interceptor alignment would cross the following previously determined NRHP-eligible historic architecture resources within the APE located in unincorporated Adams County:</li> <li>5AM.261 - High Line Canal (parcels SD 277 and SD 287)</li> <li>5AM465.4 - Burlington Ditch Segment (parcel SD 332)</li> <li>5AM.477.2 - O'Brian Canal Segment (parcel SD 214)</li> <li>As part of its Section 404 permitting process, the USACE will conduct Section 106 consultation to finalize the APE and determine NRHP eligibility and Project effects.</li> </ul>  |



| Report<br>Section | Resource/Issue         | Effect   |
|-------------------|------------------------|--|
|                   |                        | No sites listed within 0.5 mile of the interceptor are considered REC sites and are not anticipated to impact the Project within unincorporated Adams County. RECs associated with the Rocky Mountain Arsenal site and the Tomahawk Truck Stop sites are not likely to impact the Project.   |
| 10.10             | Hazardous<br>Materials | Temporary and permanent easements are anticipated at approximately 80 and<br>78 properties, respectively, for the Project. There are 28 parcels impacted in<br>unincorporated Adams County. Of these properties, four are anticipated to<br>have easements on or near listed sites identified in the regulatory databases<br>and records as discussed above. |



## APPENDIX F:

MONITORING AND MITIGATION PLAN



\*For definition of acronyms used in this appendix, refer to Acronyms and Abbreviations list in 1041 report.

| Resource<br>Impacted  | Monitoring or Mitigation Measure  |
|-----------------------|---|
| Air Quality           | <b>Construction Phase:</b><br>During construction, fugitive dust will be controlled on haul roads, haul trucks, disturbed areas, and active construction areas by implementing measures such as watering, chemical stabilizers, soil compaction, revegetation, curtailing earthmoving activities during extreme wind or dust conditions, covering haul trucks transporting construction materials, and limiting haul truck speeds on unpaved road sections  |
|                       | The Project will be subject to the fugitive dust permitting and control requirements of the Colorado Air Quality Control Commission Regulation 1 (Emission Control Regulation for Particulate Matter, Smoke, Carbon Monoxide, and Sulfur Oxides for the State of Colorado, effective August 30, 2007) and Regulation 3 (Stationary Source Permitting and Air Pollutant Emission Notice Requirements, effective November 30, 2018). A Land Development Permit Application, Fugitive Dust Control Plan, and appropriate Air Pollutant Emission Notices will be submitted to Air Pollution Control Division (APCD) at the Colorado Department of Public Health and Environment (CDPHE) prior to commencement of construction activities. |
|                       | To prevent turbulent flows that can result in excessive off-gassing, the Project will be designed to maintain a sub-critical, laminar flow throughout the interceptor. Manhole covers will be sealed with caulk as a secondary measure should off-gassing occur. It is not possible to eliminate off-gassing, but proper design will minimize off-gassing to the extent that nuisance odors will not be likely to occur. The Metro District is committed to minimizing odors from the Project and will take a proactive approach to odor management and mitigation through all phases of Project  |
| Visual Quality        | development. Construction Phase: The Metro District will employ the following measures to minimize and mitigate visual  |
|                       | <ul> <li>Impacts during and after construction:</li> <li>Use construction fencing and silt fencing to minimize disturbance to surrounding areas.</li> </ul>   |
|                       | <ul> <li>Preserve existing trees and vegetation to the extent practicable.</li> </ul>   |
|                       | <ul> <li>Employ dust suppression techniques during construction.</li> </ul>   |
|                       | <ul> <li>Revegetate disturbed areas with native trees and vegetation as soon as practicable<br/>after construction is completed.</li> </ul>   |
| Surface Water Quality | Construction Phase:   |
|                       | The Metro District will create a site-specific Stormwater Management Plan, Erosion and Sediment Control Plan, and use control measures (CMs), in accordance with Adams County and State regulations. CMs that could be used include, but are not limited to, erosion control logs, erosion control bales, sediment control fencing along areas of soil  |



| Resource<br>Impacted | Monitoring or Mitigation Measure  |
|----------------------|---|
|                      | disturbance and around soil stockpiles, erosion control blankets for work occurring on<br>slopes, and the minimization of disturbance to existing vegetation adjacent to surface<br>waters. The Project will require a Colorado Discharge Permit System General Permit<br>(Stormwater Construction Permit), obtained through CDPHE, which will be submitted to<br>the Adams County Public Works Department prior to construction.   |
|                      | The Metro District and its contractor(s) will comply with environmental regulations,<br>including Adams County Ordinance 11 (Concerning Illicit Discharges to the Waters of the<br>State within Unincorporated Adams County) during construction of the project.<br>Construction will include quality control and quality assurance measures to minimize the<br>potential for leaks at manholes and pipe joints. The Metro District will conduct infiltration<br>and exfiltration tests for the Second Creek (SD) Interceptor in accordance with Metro<br>District and ASTM International (formerly American Society for Testing and Materials<br>(ASTM) standards. All the manholes and piping will be vacuum or air tested prior to being<br>placed in service. In addition, a Wastewater Flow Management Plan (WFMP) will be<br>developed to help minimize the risk of a wastewater discharge, spill, or overflow to the<br>environment while maintaining a safe working environment for the Metro District and<br>contractor personnel. |
|                      | Operational Phase:<br>To combat the potential for surface water contamination caused by line breaks, the Metro<br>District will develop a Discharge Emergency Response Plan to address emergency<br>notification procedures in the event of a discharge, spill, or overflow to the environment,<br>partial or complete line blockage, manhole surcharge, construction debris entering the<br>sewer stream, or another emergency. In addition to notification procedures, the<br>Emergency Response Plan will describe assessment of the site, equipment available for<br>repair, and containment/mitigation approach (Wastewater Flow Management Plan &<br>Discharge Emergency Response Plan, Metro District 2018).   |
|                      | If a breach is identified by members of the general public, they can alert the Metro District by calling (303) 286-3000 during business hours or (303) 286-3274 after business hours.   |
|                      | The Project will include measurement devices to meter incoming flows that are tributary to the SD Interceptor. Through measurement of these flows, and comparison to measurements taken at the Northern Treatment Plant (NTP), the Metro District will be able to monitor for potential leaks.  |
| Groundwater Quality  | Construction Phase:   |
| and Quantity         | Dewatering required for open-cut and trenchless pipeline installation will be mitigated in accordance with state and local regulatory requirements and permits. The SD Interceptor is expected to be constructed in 200- to 400-foot segments at a rate of approximately 1 to 2 weeks for trenchless activities and 50 feet per day for open-cut and cover activities; therefore, construction dewatering in any given area will be of short duration. Adhering to proper construction techniques will avoid and minimize potential effects on groundwater resources and existing wells.  |
|                      | Construction will include quality control and quality assurance measures to minimize the potential for leaks at manholes and pipe joints. Metro District will conduct infiltration and  |



| Resource<br>Impacted               | Monitoring or Mitigation Measure  |
|------------------------------------|---|
|                                    | exfiltration tests for the SD Interceptor. The line will be pressure-tested at 150 percent of the operating pressure.   |
|                                    | Low-permeability cutoff walls will be installed during interceptor construction to prevent groundwater flows from being transported through the pipeline bedding material. The wall configuration and spacing will be determined during the design phase based on field conditions and the governing jurisdiction's requirements.   |
|                                    | Operational Phase:  |
|                                    | Proper maintenance will avoid and minimize potential effects on existing drinking water supply wells. After construction, line breaks could increase the risk of groundwater contamination. To combat the potential for these possibilities, the Metro District will operate with a contingency plan to repair leaks, and an ongoing maintenance plan to ensure that leakage is not an issue in the future, as outlined in <i>Interceptor Emergency Notification Procedure</i> (Metro District 2015). In the event of a breach, the Metro District will follow procedures discussed in Surface Water Quality above.   |
|                                    | The Project will include four metering facilities: one in Aurora, one in Commerce City, and two in unincorporated Adams County. Each metering facility will be in a below grade vault with an above grade communications panel. Through measurement of these flows, the Metro District will be able to monitor for potential leaks.   |
| Wetlands,                          | Construction Phase:   |
| Floodplains, and<br>Riparian Areas | The SD Interceptor alignment will cross multiple waters of the U.S. that potentially fall<br>under the jurisdiction of the U.S. Army Corps of Engineers (USACE), including the South<br>Platte River, Fulton Ditch, Second Creek, Burlington Ditch, O'Brian Canal, and Pinon<br>Draw and their associated wetlands and tributaries. Additional features that meet the<br>definitions of waters of the U.S. that may be impacted affected include gravel quarries,<br>attenuation ponds, man-made lakes, modified natural drainages, roadside swales, and<br>stormwater structures. Following completion of planned formal delineations, consultation<br>with the USACE will be required to determine jurisdictional status, Clean Water Act<br>(CWA) Section 404 permitting, and any required mitigation. Both jurisdictional and non-<br>jurisdictional impacts to on wetlands and other waters will be mitigated in accordance<br>with all applicable local, state, and federal requirements. |
|                                    | The Metro District will coordinate with the Urban Drainage and Flood Control District (UDFCD) to ensure that UDFCD's planned improvements along the South Platte River are considered during the design of this Project.  |
|                                    | Impacts to on the regulated floodplain, although minimal, may result in a change in floodplain elevation. The Project will would conform to regulatory requirements regarding the floodplain and floodway, and all necessary permits will would be obtained, including a Floodplain Use Permit per in accordance with Adams County requirements.  |
| Terrestrial and                    | Construction Phase:   |
| Aquatic Animals and<br>Habitat     | Any areas of impacts on wetlands, waters, and riparian habitat that occur outside of the<br>Block Clearance Zones for the Preble's Meadow Jumping Mouse (PMJM), Ute Ladies'<br>Tresses Orchid (ULTO), and Colorado butterfly plant (CBP) will be evaluated and<br>discussed with the U.S. Fish and Wildlife Service (USFWS). Depending on the location  |



| Resource<br>Impacted                       | Monitoring or Mitigation Measure  |
|--|---|
|  | and types of impacts, a formal habitat assessment or species surveys may be required.<br>There is low potential for the project to affect the resident native and non-native fish<br>species and the five listed species that occur in the South Platte River downstream from<br>the Project. Downstream project impacts would be evaluated in more detail and<br>discussed with the USFWS as necessary. Coordination with Colorado Parks and Wildlife<br>(CPW) to address concerns regarding native fish may be required if in-stream work were<br>to occur to the South Platte River. |
|  | The Project Team will comply with CPW regulations and guidance for removal of black-<br>tailed prairie dog colonies, if removal is required.  |
|  | No specific actions are recommended for preservation of the amphibious and reptilian<br>non-game species listed as species of special concern for the State of Colorado. Impacts<br>on wetlands and other waters are anticipated to be restored to preconstruction contours<br>and vegetation in accordance with CWA 404 regulations; therefore, any impacts on these<br>species are anticipated to be minor and short-term in duration. CPW coordination,<br>although not required, would provide recommendations on protecting suitable habitat for<br>these species.                 |
|  | Take of migratory birds, Bald Eagles, Ferruginous Hawks, Burrowing Owls, and Mountain Plovers, their nests, eggs, and parts is prohibited by the Migratory Bird Treaty Act (MBTA), Bald and Golden Eagle Protection Act (BGEPA), and Colorado wildlife law.   |
|  | Raptor nest surveys would be performed by a qualified biologist. Nest buffers would be prescriptive and used where necessary to protect nesting raptors. Survey protocol, survey results, and buffers would be coordinated with the appropriate CPW biologist.  |
|  | If construction commences in an area between November 15 and March 15, a preconstruction survey for roosting Bald Eagles would be conducted. If Bald Eagles are roosting in the Project vicinity, coordination with CPW may be required.  |
|  | Pre-construction migratory bird nesting surveys would also be performed by a qualified biologist. Survey protocol, survey results, and buffers would be coordinated with the appropriate CPW biologist.   |
|  | Where active prairie dog colonies are found within or immediately adjacent to the Project,<br>Burrowing Owl nest surveys would be performed in accordance with the CPW protocol.  |
| Geologic Conditions<br>and Natural Hazards | Construction Phase:   |
|  | Topsoil may be stripped, salvaged, and stockpiled during construction and replaced when interceptor installation is completed.  |
| Nuisances                                  | Construction Phase:   |
|  | To prevent turbulent flows, and therefore excessive off-gassing, the SD Interceptor will be designed to maintain subcritical, laminar flow throughout the interceptor. Locations where flows mix (such as at connection structures and where potential pressurization may occur, such as the siphon) will be designed to maintain negative pressure and draw odorous gases downstream to an odor control facility.  |
|  | Operation Phase   |
|  | The odor control facility will be connected to the siphon structure and designed to capture<br>and treat odors generated within the interceptor, upstream from the siphon. Odors  |



| Resource<br>Impacted                       | Monitoring or Mitigation Measure  |
|--|---|
|  | generated in the SD Interceptor downstream from the siphon will be captured and treated<br>by the South Platte Interceptor's (SPI's) odor control facility at the NTP. The odor control<br>facility may emit minor odor, but these odors will not affect the surrounding community.   |
|  | The odor control facility will use fans to convey air from the siphon structure to the odor control facility. The fans will be housed in an enclosed structure to minimize noise and vibration, so nuisance effects are expected to be negligible.  |
|  | Permanent access roads used for maintenance and operation of the SD Interceptor will<br>be gravel and designed to reduce dust generation. It is expected that the access roads<br>will be used rarely during the life of the SD Interceptor.  |
|  | Systems within the SD Interceptor alignment will not require backup power generators or fuel storage tanks, thus eliminating nuisance fuel leaks or spills.   |
|  | SD Interceptor aboveground and belowground structures will be designed to eliminate access to the sewer by rodents or other animals. Vents and small openings will be fitted with insect screens to keep insects out of the sewer.  |
| Historic or<br>Archaeological<br>Resources | Construction Phase:   |
|  | The Metro District and its contractors will adhere to mitigation commitments developed through the Section 106 consultation process. These may include, but not be limited to, the following:   |
|  | <ul> <li>Employ trenchless construction technique under the historic canal and ditches to<br/>avoid effects to those resources.</li> </ul>  |
|  | <ul> <li>Install construction fencing around sensitive resources during construction.</li> </ul>  |
|  | If any subsurface bones or other potential fossils are found by construction personnel during construction, work in the immediate area will cease immediately, and a qualified paleontologist will be contacted to evaluate the significance of the find and determine appropriate salvage and/or mitigation measures. Once salvage or other mitigation measures (including sampling) is complete, the paleontologist will notify the construction supervisor that paleontological clearance has been granted.  |
| Hazardous Materials                        | Construction Phase:   |
|  | Because of anticipated easements and historical and unknown potential contamination adjacent to the SD Interceptor project, the contractor will prepare Health and Safety Plan (HSP) and Hazardous Materials Management Plan (MMP) in accordance with CDPHE Solid Waste Guidance and Policy to response to hazardous materials or waste that may be encountered (CDPHE 2019b). These plans will include assessment of the extent of potential construction debris disposal areas to characterize the soil for worker, public, and environmental protection and to determine appropriate and necessary waste management and disposal requirements. The plans will be prepared in accordance with Occupational Safety and Health Administration (OSHA): 29 Code of Federal Regulations (CFR) Part 1910 (OSHA 2019a), <i>Safety Standards for General Industry</i> , and 29 CFR Part 1926, <i>Safety and Health Regulations for Construction</i> (OSHA 2019b). |
|  | In addition, it is recommended that the Hazardous MMP include procedures for management of asbestos-containing building material in accordance with CDPHE Regulation 8 (CDPHE 2019b), and regulated asbestos-containing soil in accordance with   |



| Resource |
|----------|
| Impacted |

## Monitoring or Mitigation Measure

CDPHE 6, Code of Colorado Regulations 1007-2 Part 1 Section 5 (CDPHE 2019c). These procedures will be used in areas where these asbestos-containing materials may be encountered during construction, including landfill areas. Construction personnel will be trained to recognize signs of possible contamination in soil, such as odors and staining.

Full property acquisitions and demolition of structures are not anticipated. If property acquisition or structure demolition is needed, additional investigations are recommended that include, but are not limited to, inspections for the possible presence of asbestoscontaining building materials (ACBM), lead-based paint (LBP), polychlorinated biphenyl (PCB) waste (light ballasts, transformers, etc.), heavy metals (mercury switches), fire suppression system contents, or petroleum hydrocarbons in soil.

The guidance, *Reporting Environmental Releases in Colorado* (CDPHE 2009), and a spill protection countermeasure control (SPCC) plan will be developed during construction. A separate Flammable Gas Investigation Plan (see Appendix D) has been prepared for and approved by Tri-County Health Department that outlines the requirements for monitoring methane gas near active and historical landfills during the design and construction phases.

CMs that are recommended during construction are listed below:

# For existing hazardous materials sites within or adjacent to areas of proposed excavation, the following measures may be carried out:

- Prepare a Health and Safety Plan and a Materials Management Plan to address contamination as described in this assessment and others that may follow, in accordance with CDPHE Environmental Spill Reporting.
- Conduct appropriate asbestos surveys and abatement prior to demolition of buildings (if any), per applicable state and federal regulations.
- Evaluate whether any landfill material proposed for construction contains ACMs, in accordance with CDPHE Solid Waste Regulations.
- Determine necessary engineering controls to minimize exposure to contaminated materials.
- Determine cost recovery of hazardous material sites where removal actions and longterm maintenance is required.

### Water Quality Protection:

 Implement construction CMs in accordance with a SPCC plan. The CMs may include secondary containment areas for refueling construction equipment, berms or ponds to control runoff, and monitoring to test stormwater runoff for contaminants prior to discharge from the construction site.

### Protection of Construction Workers:

 Compliance with OSHA requirements for construction workers who may be exposed to hazardous materials, including completion of and adherence to the Health and Safety Plan, performing applicable air monitoring, and provision of Personal Protection Equipment.

#### INTERGOVERNMENTAL AGREEMENT BETWEEN THE COUNTY OF ADAMS AND THE METRO WASTEWATER RECLAMATION DISTRICT RE: SECOND CREEK INTERCEPTOR

THIS INTERGOVERNMENTAL AGREEMENT (IGA) is entered into this \_\_\_\_ day of \_\_\_\_\_, 2020, by and between the BOARD OF COMMISSIONERS OF ADAMS COUNTY (County), a body politic organized under and existing by virtue of the laws of the State of Colorado whose address is 450 South 4<sup>th</sup> Avenue, Brighton, CO 80601 and the METRO WASTEWATER RECLAMATION DISTRICT (District), a quasi-municipal corporation and political subdivision of the State of Colorado, whose address is 6450 York St., Denver, CO 80229.

WHEREAS, the District is a metropolitan sewage disposal district, organized and existing pursuant to C.R.S. § 32-4-501, *et. seq.*; and

WHEREAS, the District provides wholesale wastewater treatment services to entities in Adams, Arapahoe, Denver, Douglas, and Jefferson counties;

WHEREAS, the County has been delegated the power to supervise matters of "state interest" by the Colorado General Assembly as set forth in C.R.S. § 24-65.1-101, *et. seq.*, and

WHEREAS, the County has adopted regulations governing areas and activities of State interest, Chapter 6 of the County Development Standards and Regulations, which include under Activities of State Interest, site selection and construction of major new domestic sewage treatment systems and major extensions of existing domestic sewage treatment systems; and

WHEREAS, the District constructed a new wastewater treatment plant, the Northern Treatment Plant (NTP), in southern Weld County along with a sewage interceptor, the South Platte Interceptor (SP Interceptor) in the County; and

WHEREAS, the District plans on constructing a new sewage interceptor, the Second Creek Interceptor (SD Interceptor or Project) through parts of the County that will connect with the SP Interceptor; and

WHEREAS, the County Development Standards and Regulations for Areas and Activities of State Interest apply to private or public lands within the unincorporated areas of the County.

WHEREAS, the SD Interceptor will serve many areas of the County including the City of Brighton (Brighton), the City of Aurora (Aurora), and South Adams County Water & Sanitation District (SACWSD) (serving the City of Commerce City); and

WHEREAS, construction of the SD Interceptor in and around the South Platte River Corridor and through the County's Riverdale Regional Park may temporarily interfere with the natural landscape, agricultural character, recreational activities and wildlife habitat of this environmentally sensitive region; and WHEREAS, pursuant to Section 6-16 of the Adams County Development Standards and Regulations, in lieu of a permit application and review under the regulations, the County may elect to negotiate an intergovernmental agreement (IGA) with any political subdivision of the State as defined by C.R.S. § 29-1-202(1); and

WHEREAS, the parties are also authorized pursuant to Article XIV, Section 18 of the Colorado Constitution and C.R.S. § 29-1-201, *et. seq.*, to cooperate or contract with any political subdivision of the State to provide any function, service, or facility lawfully authorized to each of the cooperating or contracting units; and

WHEREAS, the District is diligently working in a cooperative manner with neighboring jurisdictions, including Brighton, Commerce City, SACWSD, Aurora, Denver and DEN, and with private interests along the proposed route for the SD Interceptor to address concerns they may have; and

WHEREAS, notice of the proposed SD Interceptor has been provided to all landowners within 500 feet of the proposed route as defined in the applicable County regulations; and

WHEREAS, the District has requested, and the County has consented to, the utilization of the provisions of Section 6-16 of the County Development Standards and Regulations, both parties finding that an IGA is the most efficient and effective manner in which to proceed; and

WHEREAS, the District has paid an appropriate application fee in conjunction with this IGA; and

WHEREAS, the District desires to use portions of road right-of-ways and other property owned by the County to construct the SD Interceptor as shown on parcels located in Attachment A; and

WHEREAS, the District will acquire easements from private property owners for the SD Interceptor inside the boundaries of the County; and

WHEREAS, the County is willing to grant to the District, on the terms and conditions herein contained, certain easements and/or a non-revocable license to construct, maintain, service and repair the SD Interceptor within the road rights-of-way and other property of the County; and

WHEREAS the District considered alignments for the SD Interceptor as described in the Alternatives Analysis included in the District's Areas and Activities of State Interest Application and associated Information Report; and

WHEREAS, after discussions with the County, the SD Interceptor Recommended Alignment was chosen by the District as the best option for the sewer line.

WHEREAS, portions of the SD Interceptor Recommended Alignment are located within unincorporated areas of the County as shown in Attachment B.

NOW THEREFORE, for valuable consideration the receipt of which, and the adequacy and sufficiency of which, are hereby acknowledged by both parties and in

consideration of the recitals, mutual covenants and agreements herein contained, it is hereby agreed as follows:

1. **Submittal Requirements.** The County has requested that the District submit for review and comment those materials identified as part of the "submittal requirements" for areas and activities of State interest as identified in Chapter 6 of the County Development Standards and Regulations. This was necessary for the County to be able to evaluate fairly and thoroughly the potential impact of the Facilities upon the County. The District has submitted the aforementioned materials and they have been found to be complete.

2. <u>Neighborhood/Scoping Meetings.</u> Under Section 6-07 of the aforementioned regulations, the District is required to hold and summarize the findings of at least one neighborhood/scoping meeting. The District disseminated appropriate notice of such meeting to landowners within the proposed SD Interceptor alignment area in the County in accordance with a mailing list provided by the County and to individuals who carry out official functions on behalf of the County and other local governments in the immediate vicinity of the SD Interceptor. The public meeting was held on May 9, 2019 at the Clubhouse at Riverdale Golf Courses. A summary of the meeting and mailing list is included in Attachment C.

3. <u>Mitigation of Concerns.</u> The District will be diligent in its efforts to identify and address citizen concerns, including efforts to locate the SD Interceptor alignment to avoid or mitigate the SD Interceptor's impacts upon the County's citizenry, its natural resources and environment. Specifically, the District has agreed to the following:

- A. The District will contact each of the landowners within 500 feet of the SD Interceptor who may be impacted by its construction in order to identify their concerns and take appropriate steps, where possible, to address those concerns;
- B. The District will not deprive any landowner of access to their property during construction activities without consultation with the County and reasonable mitigation to the landowner; and
- C. The District will take all responsible measures to avoid damage to crops during the construction of the SD Interceptor and, where such damage proves unavoidable, to fully compensate the landowner for all losses and to promptly restore the property to a condition suitable for planting.
- D. The District and the County's Parks, Open Space & Cultural Affairs (Parks) Department; and Facilities & Fleet Management (Facilities) Department will collaborate (Ownership Discussions) on items related specifically to future operational elements of the SD Interceptor and temporary impacts on the Riverdale Regional Park and Riverdale Dunes Golf Course (RDGC).
- E. The District will construct an odor control facility on the east side of the South Platte River across from the Adams Hollow Disc Golf Course to capture and treat potential odors from the SD Interceptor siphon structure. Downstream of the river crossing all sewer gases are drawn to the NTP for odor control. Manhole covers will also be sealed with caulk as a secondary odor control measure.

4. <u>County Regulatory Conditions.</u> The District has specifically addressed the SD Interceptor's impacts upon those attributes identified in Chapter 6 of the Adams County Development Standards and Regulations in a manner determined satisfactory by the County.

5. <u>Referral Agencies.</u> The County submitted referral packets to a variety of referral agencies as referenced in Section 6-07-02-12 of Chapter 6 of the Adams County Development Standards and Regulations. The District adequately responded to all referral comments received by the County.

6. <u>Approval Criteria.</u> Subject to the conditions identified herein, the County has determined that the SD Interceptor, as proposed, meets the general approval criteria and additional approval criteria found in Section 6-17 of the Adams County Development Standards and Regulations.

7. <u>County Benefits.</u> More specifically, the County has determined that the benefits accruing to the County and its citizens from construction of the SD Interceptor outweigh the losses of any resources within the County or the loss of opportunities to develop such resources. In reaching this conclusion, the County has requested and the District has specifically agreed that in addition to the inherent benefits to the County afforded by the Project as designed, the District has provided or will agree to the following:

- A. The District transferred by bill of sale to the County ownership of a portion of the former force-main pipelines (force-main) from its former Brantner Gulch Lift Station for use by the County to connect to the SP Interceptor at approximately 128<sup>th</sup> Ave. and Riverdale Road. The force-main may be used to service areas in the south part of the County's Riverdale Regional Park that are within the County's Special Connector Service Area, including but not limited to the proposed new animal shelter. The County shall be responsible for maintenance and repair of the force-main to the SP Interceptor.
- B. The District shall contribute to the County the value of the final easement sizes for the SD Interceptor that runs through the County's property.
- C. Construction of the SD Interceptor will generate large amounts of excess soil (spoil material). The County has expressed interest in receiving spoil materials before the end of 2021 for projects at the County's Riverdale Regional Park. The District will work with the County to determine if suitable spoil material is desired by the County and if so, the timing and locations for its delivery by the District during construction, but not to exceed 10 miles from the point of excavation of spoil material. It is anticipated there is no additional compensation due to either party for delivery of spoil material up to 100,000 cubic-yards. Any permitting associated with delivery of spoils shall be undertaken by the County.
- D. During the course of its construction activities, the District, in coordination with affected private property owners and as approved by the Adams County Department of Planning and Development, shall install new post and wire fence parallel and adjacent to the District's SD Interceptor in areas

**Commented [PR1]:** Pending County staff review of responses to comments.

deemed necessary by the County for the protection of the public and the County at large. Fencing locations must be reviewed and approved by the County prior to installation so as to minimize the impact to wildlife habitat. All fencing and construction materials shall be removed by the District within thirty (30) days after completion of construction.

- Ε. Based on the Recommended Alignment, construction of the SD Interceptor provides an opportunity for the County, through the Special Connector Agreement, to request connections in accordance with District's Rules and Regulations to the SD Interceptor from the County's Riverdale Regional Park Lift Stations 1 and 2. The County will be responsible for any connecting sewers including any metering and sampling facilities, if needed. Currently, flows from the County's Riverdale Regional Park Lift Stations 1 and 2 are pumped to the Metro District's SP Interceptor and conveyed to the District's NTP for treatment. The County has expressed interest in the possible future decommissioning of the County's Riverdale Regional Park Lift Stations 1 and 2 through gravity pipeline connections to the SD Interceptor. If the County constructs necessary infrastructure in the future, the Lift Stations could be decommissioned and flows routed by gravity to the SD Interceptor instead of pumped to the SP Interceptor. Flows would continue to be treated at the District's NTP.
- F. The County identified an aging 6-inch diameter irrigation main at the RDGC on the east side of Hole 13 that is parallel to and in some locations conflicting with the SD Interceptor Recommended Alignment. To facilitate timely construction of the SD Interceptor, if the Recommended Alignment does not shift, approximately 1,000-feet of the irrigation main will be replaced by the District as a part of SD Interceptor construction. If the Recommended Alignment shifts to avoid conflict with the irrigation main, the main will not be replaced by the District.

8. <u>Financial Security.</u> The County has determined that there is no need for a guarantee of financial security in this instance.

9. <u>Coordination between the County and the District.</u> The District further agrees to coordinate with the County the following:

- A. The District will utilize its best efforts to coordinate its overall construction schedule with any infrastructure construction or event(s) contemplated and scheduled by the County so as to minimize the disruption of County construction efforts and/or special events.
- B. The District will not commence any construction without first obtaining all necessary approvals, permits, and authorizations from Adams County, Tri-County Health Department, and/or the State of Colorado. A Statement of Authority will be provided by the County prior to any work commencing on County-owned land.
- C. To the extent practicable, the District will take all reasonable efforts to construct portions of the SD Interceptor located in County right-of-way in accordance with the specifications designated in the Adams County 2012

Transportation Plan. The District will use reasonable efforts to construct the SD Interceptor to meet the minimum distances from ultimate/future right-of-way; however, the District will balance meeting the specifications with considerations to minimize impacts to private property.

- D. In the event that private property is dedicated to the County for public road right-of-way purposes and that property is encumbered by District easements for the SD Interceptor, the District agrees that after dedication and acceptance by the County, the District's rights under the easement deed shall be subordinate to the rights of the County with respect to that portion of the easement property dedicated to the County. Notwithstanding the preceding subordination of District relocate the SD Interceptor within these easements and any modifications must first be agreed to by the District in writing and any such modifications to the SD Interceptor will be performed to District standards at no cost to the District.
- E. The District will provide mapping of the SD Interceptor alignment within the RDGC showing existing facilities, utilities, golf course, trails, etc. as well as structures, and impacted areas, etc.
- F. In the event that the County needs to grade and move the earthcover over the SD Interceptor, or adjust or relocate the SD Interceptor, for County roadway construction or drainage projects located within County right-ofway, the County agrees that it shall use its best efforts in the development and design of its roads or streets to avoid causing relocation of the SD Interceptor. In the event that the County uses its best efforts in its design and the County cannot avoid the SD Interceptor, the County will coordinate with the District and if necessary, enter into a utility relocation agreement (URA) prior to proceeding with the roadway construction or drainage project.
- G. Should a new location within the County's road right-of-way be needed for the District's SD Interceptor due to the relocation for a County project, a new location within the County's road right-of-way will be provided by the County. If the new location is not within County right-of-way but on private property, the County will procure new easement/s to cover those portions not located on County right-of-way for the District in a form to be approved by the District as required in any URA.
- H. In consideration for the agreements made herein, the County agrees to enter into such easements and/or license agreements as necessary for the District to install, access, operate and permanently maintain the SD Interceptor in the form included as Attachment D. The District will also require additional area outside of the permanent easement area to conduct construction activities. A lease agreement describing a temporary area to support construction of the SD Interceptor included but not limited to the terms of the restoration, time of occupancy, and financial impacts to RDGC is included as Attachment E.

I. Construction of the SD Interceptor through the County's Riverdale Regional Park including the RDGC will be coordinated with County Parks and Facilities Departments. Based on limited available (shallow) cover, high groundwater, sandy soils, and the set elevation of the SP Interceptor connection, open cut construction is required in the Riverdale Regional Park and on the RDGC.

10. The District shall meet all Federal, State and Local development standards and regulatory requirements, and provide evidence thereof to the County upon request.

11. This IGA is intended to describe and determine such rights and responsibilities only as between the parties hereto. It is not intended to and shall not be deemed to confer rights or responsibilities to any person or entities not named hereto.

12. The provisions contained herein shall inure to the benefit of the parties hereto. Neither party to this IGA may assign its rights or delegate its duties under this IGA without the prior written consent of the other.

13. This IGA and the Areas and Activities of State Interest (AASI) Permit, the conditions of approval, and any agreement or document referred to herein, constitutes the entire understanding between the parties with respect to the subject matter hereof and all other prior understandings or agreements shall be deemed merged herein. Once the conditions identified in Section 6-7 of the Adams County Development Standards and Regulations have been met, an AASI Permit shall be issued to the District by the County. It is recognized that this IGA obviates any need or requirement of the District to obtain a Conditional Use Permit for the Project.

Permit Term. The County recognizes that the Project is large in scope, and may 14 include multiple bid packages and at least a 3-year construction schedule. So long as the District is diligently proceeding with construction activities, the SD Interceptor shall be considered commenced for purposes of obtaining necessary construction or building permits in a timely manner, the language of Section 6-12 of the County Regulations notwithstanding; provided, however, that the District shall provide notice to the County of any delay in seeking construction permits within unincorporated Adams County that extend beyond 2024. If there is a material change in the SD Interceptor's alignment, the type of activities within unincorporated parts of the County are modified, or there are material modifications to the SD Interceptor, the District shall notify the Adams County Department of Planning and Development in writing, at which time the County may request the submission of additional information concerning any changes in scope within the unincorporated areas of the County and may impose such reasonable, additional conditions as necessary to address any unforeseen impacts associated with such changes in scope. The County, at its sole discretion, will determine whether a Full Amendment or a Technical Review Amendment to the IGA and/or the AASI Permit is required.

15. <u>Terms and Conditions.</u> In order to ensure continued compliance with the requirements of Chapter 6 of the Adams County Development Standards and Regulations, the District agrees to satisfy the following terms and conditions:

- A. All required environmental and cultural resource avoidance measures are to be properly installed and implemented during construction and during maintenance activities thereafter.
- B. The SD Interceptor construction shall be in compliance with all applicable Federal, State and Local regulations.
- C. The District shall take the lead in identifying and coordinating actions and responses to any unanticipated discovery of sensitive environmental resources, cultural resources or contamination that occurs during construction. The District will inform the County of any such action.
- D. Prior to site disturbance in the County, the District will:
  - (1) Obtain all necessary property rights, easements, permits and approvals.
  - (2) Provide the County with completed reviews and any necessary approvals secured from all applicable State agencies and special districts, including but not limited to the following:
    - a. Colorado Department of Transportation
    - b. Colorado Department of Public Health and Environment
    - c. Mile High Flood District
    - d. Tri-County Health Department
    - e. United States Army Corps of Engineers
    - f. Colorado Parks and Wildlife
- E. The District agrees to abide by the following conditions of approval:
  - (1) Fugitive dust control mechanisms must be in place, and functioning at all times.
  - (2) Hours of construction and related activities shall be from 7 a.m. to 7 p.m., Monday through Saturday. The Adams County Director of Planning and Development may extend or limit the hours and days of operation if there has been demonstration of a sufficient need. In the public right-of-way, hours of construction shall be from 8:00 AM to 4:00 PM.
  - (3) This site is subject to inspections from County inspectors, during reasonable working hours. The County may or may not give notice of an inspection prior to the inspection. The County will make reasonable efforts to coordinate and not unduly interfere with ongoing construction and related activities conducted by the District.
  - (4) All construction-related work shall be completed by December 31, 2024. A one-year extension may be granted by the County.

- (5) Mining and all development activities, including fill, stockpiling, and storage of fuel and hazardous materials within the 100 year floodplain shall be prohibited or the District will obtain a Floodplain Use Permit. All activities within the designated flood hazard zone shall conform to all local, state, and federal floodplain regulations and requirements.
- (6) All hauling/construction trucks shall cover their loads pursuant to C.R.S.§ 42-4-1407.
- (7) Maintenance of the haul route and/or construction traffic route, including dust abatement shall be the responsibility of the District. The District shall repair any rutting and potholes resulting from its construction activities as determined by the Adams County Department of Public Works.
- (8) All fluid spills such as hydraulic and oil from maintenance of equipment, shall be removed and disposed of at a facility permitted for such disposal.
- (9) The County will be the final arbitrator regarding the intensity of noise emitting from any construction related work and equipment.
- (10) All complaints received by the District concerning offsite impacts within the County, and the resolution of those complaints, shall be conveyed to the County Community & Economic Development Department. Offsite impacts shall be responded to and resolved by the District to the extent practicable. Disputes concerning offsite impacts may be resolved by the County Community & Economic Development Department and may be justification for a Show Cause Hearing before the Adams County Board of Commissioners and may result in a default of the terms of the IGA.
- (11) If fuel will be stored along the SD Interceptor route during construction:
  - All fuel storage shall be provided with secondary containment, which complies with State of Colorado Oil Inspection Section Regulations; and
  - Fueling areas shall be separated from the rest of the site's surface area, and protected from storm water; and
  - The District shall provide a spill prevention plan and release prevention plan for fuel storage and fueling operations. Spill and drip containment pans shall be emptied frequently and all spills shall be cleaned and disposed immediately at a facility permitted for such disposal.

- (12) The District shall comply with all applicable requirements of the Adams County Zoning, Health, Building, Engineering and Fire Codes.
- (13) Failure to comply with the requirements set forth in this IGA may be justification for a Show Cause Hearing before the Adams County Board of Commissioners, where the AASI Permit and/or this IGA may be revoked.
- (14) Areas disturbed during construction within the County property shall be completely restored to prior existing conditions or a mutually agreed upon improved condition.
- (15) Copies of all as-built drawings and geotechnical studies related to the location of the SD Interceptor or future work near or connecting to the SD Interceptor shall be provided to the County.
- (16) Adams County Parks and Facilities Departments shall be included in relevant construction meetings as described in Attachment E.
- (17) District access for operation and maintenance of the SD Interceptor shall be in accordance with the permanent easement in Attachment D.
- (18) The District shall, at all times, during the term of the Project shall maintain in full force and effect workers' compensation and employer's liability insurance and general liability insurance which includes coverage for personal injury, contractual liability and the District's independent contractors. The general liability should be procured and maintained with no less than Two Million Dollars (\$2,000,000.00) per occurrence combined single limit, and a Five Million Dollars (\$5.000,000.00) aggregate limit for bodily injury, personal injury or property damage liability.
- (19) The Project shall not cause closure of any Adams County Trail. The District shall maintain a safe alternative for trail users throughout the duration of the Project. The District will provide and maintain all safety barriers and will be required to coordinate necessary detour signage. The District shall submit a trail detour plan, for County review and approval.
- (20) Subject to applicable law, with respect to work associated with construction of the SD Interceptor located within unincorporated Adams County, the District will be responsible for any damages that are caused by the District and/or by any contractor/subcontractor doing work for the District.
- (21) District will be responsible for the maintenance and upkeep of any District facilities associated with construction of the SD Interceptor that may be located within unincorporated Adams County.

Commented [PR2]: County to check limits to ensure still current 16. **Notices.** Any and all notices, demands or other communications desired or required to be given under any provision of this IGA shall be given in writing and delivered personally or sent by registered or certified mail, return receipt requested, postage prepaid or by fax addressed as follows:

To District: District Manager Metro Wastewater Reclamation District 6450 York St. Denver, CO 80229-7499 Fax: 303-286-3033

To Adams County: Director, Community & Economic Development Department 4430 S. Adams County Parkway 1st Floor, Suite W2000 Brighton, CO 80601 Fax: 720-523-6998 With a copy to: General Counsel Metro Wastewater Reclamation District 6450 York St. Denver, CO 80229-7499 Fax: 303-286-3033

With a copy to: Adams County Attorney 4430 S. Adams County Parkway Brighton, CO 80601 Fax: 720-523-6114

or to such other addresses that any party may hereafter from time to time designate by written notice to the other party in accordance with this paragraph. Notice shall be effective upon receipt.

17. <u>Amendments.</u> This IGA may be modified, amended, changed or terminated in whole or in part by an agreement in writing duly authorized and executed by the parties hereto with the same formality, and subject to the same statutory and regulatory requirements, as this IGA or as determined by the County.

18. **Force Majeure.** Notwithstanding anything herein to the contrary, the parties agree not to hold each other responsible for any losses or damages incurred as a result of a party's inability to perform pursuant to this IGA due to the following causes if beyond the party's control and when occurring through no direct or indirect fault of the party: acts of God; natural disasters; actions or failure to act by governmental authorities other than the parties hereto; unavailability of power, fuel, supplies or equipment critical to a party's ability to perform; major equipment or facility breakdown; and changes in the State of Colorado or Federal law, including, without limitation, changes in any permit requirements.

19. <u>State Law.</u> This IGA and its application shall be construed in accordance with the laws of the State of Colorado.

20. **Default.** If either party is in default of this IGA, the non-defaulting party may elect to treat this IGA as terminated, in which case the non-defaulting party may recover damages as well as all other remedies available under the law, including injunctive relief and specific performance. No such default shall be deemed to exist until the defaulting party has been given notice of the alleged default and fails to remedy such default within

30 days of receipt of such notice and there is a determination by a court having venue that there has been a breach of this IGA.

21. <u>Costs and Fees.</u> In the event of any litigation, arbitration or other dispute resolution process arising out of this IGA, the parties agree that each will pay its own costs and fees.

22. <u>Obligation of the District.</u> The parties hereto agree that any and all obligations of the District pursuant to this IGA do not constitute a general obligation or other indebtedness of the District, or a multiple fiscal year direct or indirect debt or other financial obligation whatsoever of the District within the meaning of any constitutional or statutory limitation.

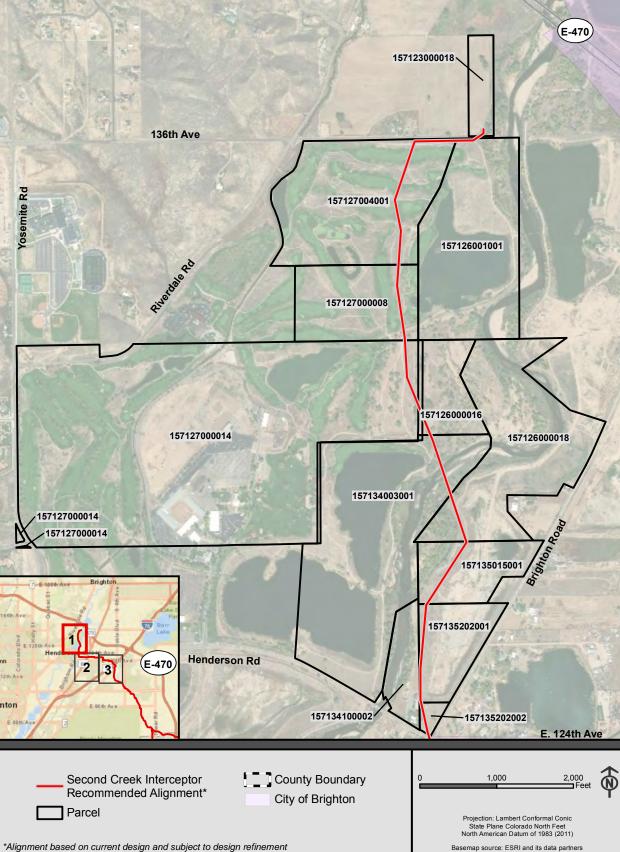
IN WITNESS THEREOF, the Metro Wastewater Reclamation District and the Adams County Board of Commissioners have executed this IGA with its exhibits.

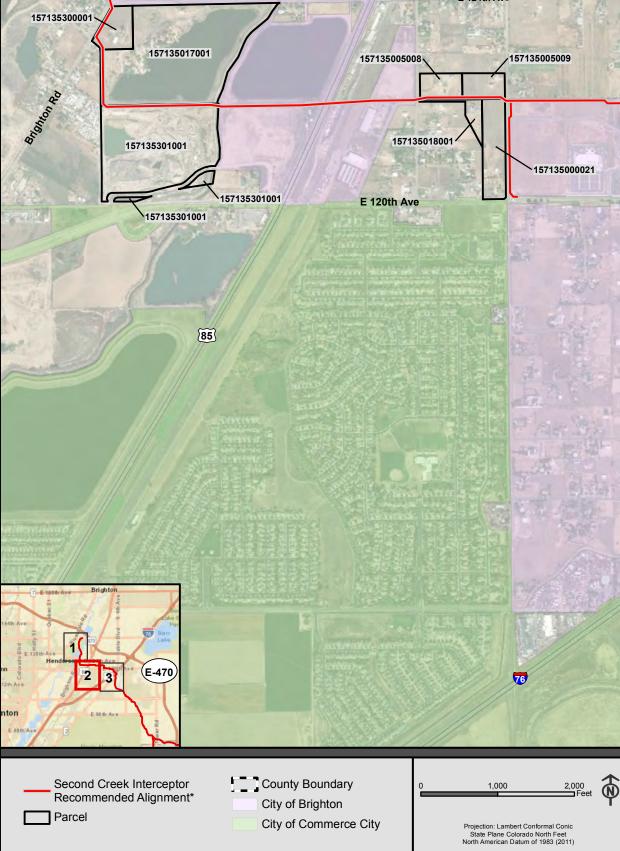
| METRO WASTEWATER<br>RECLAMATION DISTRICT    | ADAMS COUNTY COMMISSIONERS      |  |  |
|---|---------------------------------|--|--|
| William J. Conway, District Manager         | Emma Pinter, Chair              |  |  |
| Date  | Date                            |  |  |
| Attest:<br>Robert J. Thomas, Deputy Manager | Stan Martin, Clerk and Recorder |  |  |
| APPROVED AS TO FORM:                        | APPROVED AS TO FORM:            |  |  |
| District General Counsel                    | Adams County Attorney's Office  |  |  |

# ATTACHMENT A

# Parcel Impacts and Easements

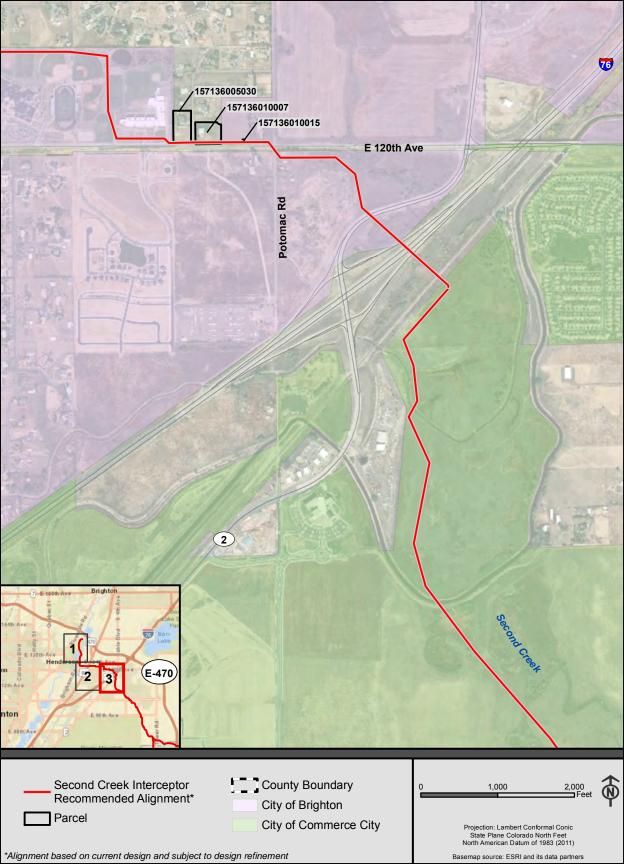
| Parcel No.    | Owner  | Zoning | Comprehensive<br>Plan Designation | Easements Required                                  |
|---------------|--|--------|-----------------------------------|---|
| 0157123000018 | BOARD OF COUNTY COMMISSIONERS COUNTY<br>OF ADAMS | A-3    | Parks and Open<br>Space           | Temporary Construction<br>Lease, Permanent Easement |
| 0157126001001 | BOARD OF COUNTY COMMISSIONERS COUNTY<br>OF ADAMS | A-3    | Parks and Open<br>Space           | Temporary Construction<br>Lease, Permanent Easement |
| 0157127004001 | BOARD OF COUNTY COMMISSIONERS COUNTY<br>OF ADAMS | A-3    | Parks and Open<br>Space           | Temporary Construction<br>Lease, Permanent Easement |
| 0157127000008 | BOARD OF COUNTY COMMISSIONERS COUNTY<br>OF ADAMS | A-3    | Parks and Open<br>Space           | Temporary Construction<br>Lease, Permanent Easement |
| 0157127000014 | BOARD OF COUNTY COMMISSIONERS COUNTY<br>OF ADAMS | A-3    | Parks and Open<br>Space           | Temporary Construction<br>Lease, Permanent Easement |
| 0157126000016 | BOARD OF COUNTY COMMISSIONERS COUNTY<br>OF ADAMS | A-3    | Parks and Open<br>Space           | Temporary Construction<br>Lease, Permanent Easement |
| 0157134003001 | BOARD OF COUNTY COMMISSIONERS COUNTY<br>OF ADAMS | A-3    | Parks and Open<br>Space           | Temporary Construction<br>Lease, Permanent Easement |

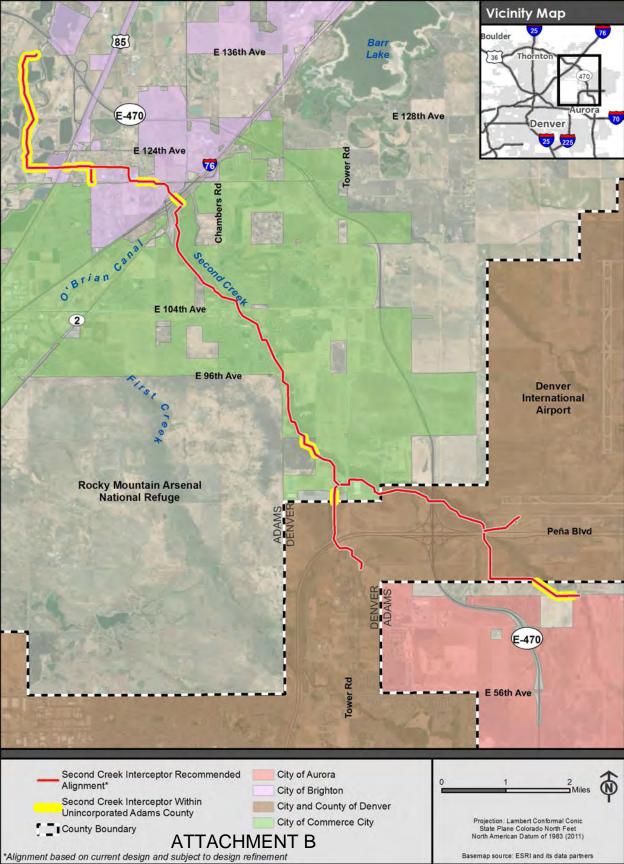




\*Alignment based on current design and subject to design refinement

Basemap source: ESRI and its data partners





# ATTACHMENT C

# **NEIGHBORHOOD MEETING**

## **Meeting Overview**

The Metro District promoted and hosted a public meeting at the Riverdale Golf Course on May 9, 2019 to provide information, answer questions, and gather public input regarding the SD Interceptor Project. The meeting was a combined event to satisfy the neighborhood meeting requirements for the Adams County 1041 and Brighton Conditional Use Permit, which was approved by the respective agency case managers.

## Notification and Attendance

Notification postcards were mailed more than three weeks before the meeting to all residents and property owners located within 500 feet of the interceptor alignment. A total of 1,246 notifications were mailed. The complete notification list is provided below.

## Summary

The meeting included open house discussions where members of the public could ask subject matter experts questions on the proposed interceptor alignment. After signing in and receiving a bilingual fact sheet regarding the alignment, attendees were encouraged to visit six stations to gather information, get questions answered from Project representatives, and submit comments. Each station had a series of topic-specific display boards as well as supplemental maps and a flyover video of the interceptor alignment. The six information stations included:

- 1. Metro District Overview Two District facilities serve more than 2 million people and 60 local governments, service area map identifying those served by connectors to connectors.
- 2. Second Creek Interceptor Project Overview The Project's goal is to convey flow to the NTP while maintaining capacity at the RWHTF and expand the District's sustainable gravity flow transmission system. The SD Interceptor is the result of a collaborative effort to identify the best long-term water reclamation solution and enable portions of Aurora, Brighton, Commerce City, Denver, DEN, and South Adams County to be served by the NTP.
- 3. Project Design Overview of the interceptor alignment, facts, and design elements with a map of the alignment on hand as well as a flyover video illustrating the 17.5-mile alignment and surrounding area.
- 4. Project Construction Construction methods including open-cut and trenchless, materials and facilities, what to expect during construction, minimizing construction impacts, current activity and Project schedule.
- 5. Regional Benefits Long-term infrastructure solution, regional collaboration, environmental stewardship, regional water reclamation service expansion, economic development, and community growth.
- 6. Public Comment

Thirteen people attended the meeting. Most attendees were property owners near the alignment, but other attendees included Brighton staff and representatives from the 27 J School District. Spanish language interpretation was offered to facilitate bilingual discussion but was not required.

## **Presentation Materials**

Presentation materials, including the fact sheet and display boards, are provided in the 1041 application.

## **Formal Comments**

Most public meeting participants elected to ask questions and provide comments verbally to Project representatives, rather than completing written comment forms at the Public Comment station. The main themes identified in the comments included:

- Identify residential well systems and ensure the well location information is used during construction to prevent impacts. Wells are a vital asset for many property owners.
- Provide construction schedule and notification of potential road closures.
- Ensure interceptor works as planned and needed for population growth.

Interest in potential sewer line connections.

Community & Economic Development Department

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000 Brighton, CO 80601-8204 РНОВЕ 720.523.6800 FAX 720.523.6998

## **Development Review Team Comments**

Date: 8/26/2019 Project Number: PLN2019-00008 Project Name: Second Creek Interceptor

Commenting Division: Planner Review Name of Reviewer: Greg Barnes Date: 08/22/2019 Email: gjbarnes@adcogov.org

#### **Resubmittal Required**

PLN01: Please provide e-mail addresses in Section 1.6 PLN02: There is no description of two alternative routes. Please provide.

Commenting Division: Environmental Analyst Review

Name of Reviewer: Katie Keefe

**Date:** 08/19/2019

Email:

#### Complete

ENV1: Numerous sections of pipe infrastructure cross parcels covered by the Natural Resource Conservation Overlay (NRCO) district. The intent of the NRCO is to protect environmentally valuable areas and wildlife corridors associated with rivers, streams, riparian ecosystems and wetlands. All development must comply with the NRCO buffers/setbacks requirements in section 4-11-02-04-02.

ENV2: As noted in the project Information Report for the Second Creek Interceptor, an Environmental Assessment will be completed during the design phase of the project. The Environmental Assessment, as described, appears to meet the objectives of a Resources Review, which is required when development disturbs more than 1-acre of land within the NRCO. A Resources Review must be completed by a qualified professional prior to application submittal and provided to the county so that it may be taken into consideration. See section 4-11-02-03-04 for Resource Review methodology and content requirements.

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry DISTRICT 1 Charles "Chaz" Tedesco

Emma Pinter DISTRICT 3

Steve O'Dorisio

Mary Hodge

Page 1 of 4

# Commenting Division: Parks Review Name of Reviewer: Aaron Clark Date: 08/19/2019 Email: aclark@adcogov.org

### Complete

PRK1: Comments from Kurt Carlson, Regional Park Manager:

Adams County Parks, Open Space and Cultural Arts Dept. (ACPOSCAD). has the following comments on the Second Creek Interceptor project.

• The District will not commence any construction without first obtaining all necessary approvals, permits, and authorizations from Adams County Tri-County Health and/or the State of Colorado.

• Any work being done within the boundaries of the Riverdale Regional Park (including the Riverdale Golf Courses) shall only take place during November – February.

• The District will utilize its best efforts to coordinate its overall construction schedule with any infrastructure construction or event(s) contemplated and scheduled by the County in order to minimize the disruption of County construction efforts and/or special events.

• The District shall, at all times, during the term of the project shall maintain in full force and effect workers' compensation and employer's liability insurance and general liability insurance which includes coverage for personal injury, contractual liability and the District's independent contractors. The general liability should be procured and maintained with no less than Two Million Dollars (\$2,000,000.00) per occurrence combined single limit, and a Five Million Dollars (\$5.000,000.00) aggregate limit for bodily injury, personal injury or property damage liability. NEED TO CHECK THESE LIMITS TO ASSURE THEY ARE STILL CURRENT..

• Project shall not cause closure of any Adams County Trail. The District shall maintain a safe alternative for trail users throughout the duration of the project. District will provide and maintain all safety barriers and will be required to coordinate necessary traffic control. The District shall submit a traffic control plan, in advance, which will have to be approved in advance by the County prior to any physical work being initiated.

• Adams County Parks Open Space and Cultural Arts and Riverdale Golf staff shall be included in constitution meetings and/or project meetings and will be included in the distribution of any project correspondence.

Contact for Golf Course work: Steve Bruning Steve@riverdalegolf.com (303) 659-4700 Contact for Regional Park work: Kurt Carlson kcarlson@adcogov.org (303) 637-8013

- After the project, the District shall return the site to its native and/or pre-construction state.
- District will be responsible for any damages that are caused by the project and/or by any contractor /

subcontractor doing work for the District.

• Adams County shall not be responsible for the maintenance and upkeep of any District facilities.

Commenting Division: ROW Review

Name of Reviewer: Marissa Hillje

**Date:** 08/08/2019

### Email: mhillje@adcogov.org

### Complete

ROW1: Pipelines should be located in easements on private property. Said easements should be placed outside of the ultimate Right-of-ways of County roads as delineated by the Adams County Transportation Plan, approved 2012.

ROW2: Encroachment upon Future Right-of-Way. In any segment of the Project that is parallel to an Adams County right-of-way, the pipeline shall be constructed a minimum of five (5) feet from the edge of the maximum future right-of-way width, as designated in the Adams County 2012 Transportation Plan.

ROW3: As development of the Transportation Plan is implemented and if the location and existence of Developer's permanent easement precludes such development, Developer's overlapping easement rights shall be subordinated (subject to the then existing rights of the parties, laws and regulations) to accommodate Adams County's development.

ROW4: The proposed alignment through the Adams County owned property will need easements granted by BOCC.

Commenting Division: Development Engineering Review Name of Reviewer: Matthew Emmens Date: 07/10/2019 Email: memmens@adcogov.org Resubmittal Required Review complete with comments. See Doc #5959402.

Planned alignment will require some revisions.

# Second Creek Interceptor Combined Segment Case # PLN2019-00008 Development Review Engineering Comments

ENG1: It appears that the project crosses various floodplains. Depending upon construction techniques and the presence of surface structures, the applicant may be required to obtain a floodplain use permit. It is recommended that the applicant provide the alignment of the pipeline in Adams County superimposed with the data from all relevant floodplains.

Potential flood plains are shown on:

Flood Insurance Rate Maps *FIRM Panels 08001C0328H, 08001C0336H, 08001C0337H, 08001C0339H, 08001C0343H*, *08001C0635H, and 08001C0655H,* Published by the Federal Emergency Management Agency, January 204, 2016

ENG2: The project is located within the boundaries of the following regional drainage studies:

*Todd Creek & DFA 0052 OSP, P*repared for City of Thornton, Adams County, and Urban Drainage and Flood Control District. Prepared by Kiowa Engineering, December 2003.

*South Platte River MDP*, Prepared for City of Brighton, Commerce City, Denver Water Department, Metro Wastewater, reclamation District, City of Thornton, South Adams County Water and Sanitation District, Adams County, and Urban Drainage and Flood Control District. Prepared by Camp Dresser & McKee Inc., April 2002.

Second Creek (Downstream of DIA) and DFA 0053 Watersheds Outfall System Planning Study Update, Prepared for City of Brighton, Commerce City, Adams County, and Urban Drainage and Flood Control District. Prepared by Kiowa Engineering, October 2002.

Second Creek & DFA 0053 OSP, Prepared for City of Brighton, Commerce City, City of Aurora, City and County of Denver, Adams County, and Urban Drainage and Flood Control District. Prepared by Kiowa Engineering Corp., May 1990.

For the regional drainage facilities mentioned in the studies listed above, it is recommended that the applicant either avoid them or install the line to a depth below the facility to provide sufficient cover and avoid potential utility conflicts. Show these regional facilities on the plans.

ENG3: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is within the County's MS4 Stormwater Permit area. In the event that the disturbed area of the site exceeds 1 acre, or disturbing less than 1 acre but belonging to a larger subdivision (over 1 acre), the applicant shall be responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR400000.

ENG4: All necessary paperwork such as Commissioners Resolutions, Development Agreements, Collateral Agreements, BOA decisions, easements, etc. will be on file with the Adams County

Department of Public Works / Construction Management Section prior to the issuance of any construction or building permits.

ENG5: The Adams County boundaries are not clearly identified on any of the construction plan sheet. Jurisdictional boundaries need to be identified with ownership labels on either side of the boundary line. See example below:

### ADAMS COUNTY

BRIGHTON

\_\_\_\_\_

For example: On sheet 2011, the Adams County/Brighton Boundary runs along the north/west side of the railroad ROW. There is no label identifying this as the boundary.

ENG6: The project appears to cross several irrigation ditches. It is recommended that the applicant either avoid them or contact the irrigation company directly and discuss crossing requirements.

ENG7: The pipeline appears to cross several Adams County roadways and properties. <u>Condition of Approval:</u>

In the event that Adams County performs a roadway or drainage project that requires adjustment or relocation of the pipe line within the right-of-way, the Public Works Department will require that the applicant perform any adjustments or relocations, at their own expense, upon receiving notification from the County.

ENG8: The applicant will be required to obtain Adams County construction permits for any crossing of Adams County road Right-of-Ways or, easements or properties owned by Adams County.

ENG9: Pipelines running parallel to Adams County road Right-of-Way must be located outside of all current and future road Right-of-way's (ROW).

ENG10: All crossing of Adams County ROW must be perpendicular. The plan set includes many nondiagonal roadway crossings. For example, Sheet 02 shows the interceptor pipe crossing diagonally Peoria St. Community & Economic Development Department

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000 Brighton, CO 80601-8204 РНОВЕ 720.523.6800 FAX 720.523.6998

## **Development Review Team Comments**

Date: 12/23/2019 Project Number: PLN2019-00008 Project Name: Second Creek Interceptor

Commenting Division: Plan Coordination 2nd Review Name of Reviewer: Greg Barnes Date: 12/23/2019 Email: gjbarnes@adcogov.org

**Resubmittal Required** 

**Commenting Division:** Planner Review 2nd Review

Name of Reviewer: Greg Barnes

**Date:** 12/07/2019

Email: gjbarnes@adcogov.org

#### Complete

There are two remaining issues that I'm hoping we can make some progress on before scheduling public hearings:

1. I'd like to clarify the justification for locating the line along the Sisneros property. Please resubmit a written justification, or consider relocating the line.

2. I would like for the issues addressed by our Parks and Facilities Departments to be resolved.

Eva J. Henry DISTRICT 1 Charles "Chaz" Tedesco

Emma Pinter DISTRICT 3

Steve O'Dorisio

Mary Hodge DISTRICT 5

Page 1 of 7

#### **Commenting Division:** Development Engineering Review 2nd Review

Name of Reviewer: Matthew Emmens

Date: 12/11/2019

Email: memmens@adcogov.org

### **Resubmittal Required**

Review complete. Comment ENG7 remains open. See doc #6014132. Applicant must acknowledge and accept the Condition of Approval.

Commenting Division: Parks Review 2nd Review Name of Reviewer: Aaron Clark Date: 12/06/2019 Email: aclark@adcogov.org Resubmittal Required

Please see attached letter from Sean Braden dated 12/06/2019

Commenting Division: SIA Review 1 - Finance Name of Reviewer: Megan Ulibarri Date: 11/18/2019 Email: Complete

Commenting Division: SIA Review 1 - Attorney Name of Reviewer: Megan Ulibarri Date: 11/18/2019 Email:

Complete

Commenting Division: Application Intake 2nd Review Name of Reviewer: Megan Ulibarri Date: 11/18/2019 Email: Complete

Commenting Division: Application Intake 2nd Review Name of Reviewer: Kevin Mills Date: 09/04/2019 Email: Complete

Commenting Division: Planner Review Name of Reviewer: Greg Barnes Date: 08/22/2019

Email: gjbarnes@adcogov.org

## **Resubmittal Required**

PLN01: Please provide e-mail addresses in Section 1.6 PLN02: There is no description of two alternative routes. Please provide.

## Commenting Division: Environmental Analyst Review

Name of Reviewer: Katie Keefe

Date: 08/19/2019

## Email:

## Complete

ENV1: Numerous sections of pipe infrastructure cross parcels covered by the Natural Resource Conservation Overlay (NRCO) district. The intent of the NRCO is to protect environmentally valuable areas and wildlife corridors associated with rivers, streams, riparian ecosystems and wetlands. All development must comply with the NRCO buffers/setbacks requirements in section 4-11-02-04-02.

ENV2: As noted in the project Information Report for the Second Creek Interceptor, an Environmental Assessment will be completed during the design phase of the project. The Environmental Assessment, as described, appears to meet the objectives of a Resources Review, which is required when development disturbs more than 1-acre of land within the NRCO. A Resources Review must be completed by a qualified professional prior to application submittal and provided to the county so that it may be taken into consideration. See section 4-11-02-03-04 for Resource Review methodology and content requirements.

Commenting Division: Environmental Analyst Review

Name of Reviewer: Katie Keefe

**Date:** 08/19/2019

Email:

## Comment

ENV1: Numerous sections of pipe infrastructure cross parcels covered by the Natural Resource Conservation Overlay (NRCO) district. The intent of the NRCO is to protect environmentally valuable areas and wildlife corridors associated with rivers, streams, riparian ecosystems and wetlands. All development must comply with the NRCO buffers/setbacks requirements in section 4-11-02-04-02.

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# Commenting Division: Parks Review Name of Reviewer: Aaron Clark Date: 08/19/2019 Email: aclark@adcogov.org

### Complete

PRK1: Comments from Kurt Carlson, Regional Park Manager:

Adams County Parks, Open Space and Cultural Arts Dept. (ACPOSCAD). has the following comments on the Second Creek Interceptor project.

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• The District shall, at all times, during the term of the project shall maintain in full force and effect workers' compensation and employer's liability insurance and general liability insurance which includes coverage for personal injury, contractual liability and the District's independent contractors. The general liability should be procured and maintained with no less than Two Million Dollars (\$2,000,000.00) per occurrence combined single limit, and a Five Million Dollars (\$5.000,000.00) aggregate limit for bodily injury, personal injury or property damage liability. NEED TO CHECK THESE LIMITS TO ASSURE THEY ARE STILL CURRENT..

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Contact for Golf Course work: Steve Bruning Steve@riverdalegolf.com (303) 659-4700 Contact for Regional Park work: Kurt Carlson kcarlson@adcogov.org (303) 637-8013

- After the project, the District shall return the site to its native and/or pre-construction state.
- District will be responsible for any damages that are caused by the project and/or by any contractor /

subcontractor doing work for the District.

• Adams County shall not be responsible for the maintenance and upkeep of any District facilities.

**Commenting Division:** ROW Review

Name of Reviewer: Marissa Hillje

**Date:** 08/08/2019

## Email: mhillje@adcogov.org

## Complete

ROW1: Pipelines should be located in easements on private property. Said easements should be placed outside of the ultimate Right-of-ways of County roads as delineated by the Adams County Transportation Plan, approved 2012.

ROW2: Encroachment upon Future Right-of-Way. In any segment of the Project that is parallel to an Adams County right-of-way, the pipeline shall be constructed a minimum of five (5) feet from the edge of the maximum future right-of-way width, as designated in the Adams County 2012 Transportation Plan.

ROW3: As development of the Transportation Plan is implemented and if the location and existence of Developer's permanent easement precludes such development, Developer's overlapping easement rights shall be subordinated (subject to the then existing rights of the parties, laws and regulations) to accommodate Adams County's development.

ROW4: The proposed alignment through the Adams County owned property will need easements granted by BOCC.

**Commenting Division:** Environmental Analyst Review

Name of Reviewer: Katie Keefe

**Date:** 08/06/2019

Email:

### Comment

ENV1: Numerous sections of pipe infrastructure cross parcels covered by the Natural Resource Conservation Overlay (NRCO) district. The intent of the NRCO is to protect environmentally valuable areas and wildlife corridors associated with rivers, streams, riparian ecosystems and wetlands. All development must comply with the NRCO buffers/setbacks requirements in section 4-11-02-04-02.

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Commenting Division: Planner Review Name of Reviewer: Greg Barnes Date: 07/12/2019 Email: gjbarnes@adcogov.org External Agencies Selected

Commenting Division: Development Engineering Review Name of Reviewer: Matthew Emmens Date: 07/10/2019 Email: memmens@adcogov.org Resubmittal Required Review complete with comments. See Doc #5959402.

Planned alignment will require some revisions.

# Second Creek Interceptor Combined Segment Case # PLN2019-00008 Development Review Engineering Comments

ENG1: It appears that the project crosses various floodplains. Depending upon construction techniques and the presence of surface structures, the applicant may be required to obtain a floodplain use permit. It is recommended that the applicant provide the alignment of the pipeline in Adams County superimposed with the data from all relevant floodplains.

Potential flood plains are shown on:

Flood Insurance Rate Maps FIRM Panels 08001C0328H, 08001C0336H, 08001C0337H, 08001C0339H, 08001C0343H, 08001C0635H, and 08001C0655H, Published by the Federal Emergency Management Agency, January 204, 2016

<u>Applicant Response</u>: The 100-year floodplain boundary was added to the Metro District's SD Interceptor updated design plans (50% design). A Floodplain Use Permit will be obtained from the County prior to starting work in the 100-year floodplains shown on the applicable FIRM panels. <u>County Comment</u>: Comment closed.

ENG2: The project is located within the boundaries of the following regional drainage studies:

*Todd Creek & DFA 0052 OSP, P*repared for City of Thornton, Adams County, and Urban Drainage and Flood Control District. Prepared by Kiowa Engineering, December 2003.

*South Platte River MDP*, Prepared for City of Brighton, Commerce City, Denver Water Department, Metro Wastewater, reclamation District, City of Thornton, South Adams County Water and Sanitation District, Adams County, and Urban Drainage and Flood Control District. Prepared by Camp Dresser & McKee Inc., April 2002.

Second Creek (Downstream of DIA) and DFA 0053 Watersheds Outfall System Planning Study Update, Prepared for City of Brighton, Commerce City, Adams County, and Urban Drainage and Flood Control District. Prepared by Kiowa Engineering, October 2002.

Second Creek & DFA 0053 OSP, Prepared for City of Brighton, Commerce City, City of Aurora, City and County of Denver, Adams County, and Urban Drainage and Flood Control District. Prepared by Kiowa Engineering Corp., May 1990.

For the regional drainage facilities mentioned in the studies listed above, it is recommended that the applicant either avoid them or install the line to a depth below the facility to provide sufficient cover and avoid potential utility conflicts. Show these regional facilities on the plans. <u>Applicant Response</u>: Regional drainage facilities were considered as a part of the SD Interceptor alignment evaluation. The Metro District has reviewed information from Mile High Flood District and verified the SD Interceptor does not impact the proposed regional facilities. The Interceptor is expected to be buried at a depth that would not impact the proposed regional facilities. <u>County Comment</u>: Comment closed.

ENG3: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is within the County's MS4 Stormwater Permit area.

In the event that the disturbed area of the site exceeds 1 acre, or disturbing less than 1 acre but belonging to a larger subdivision (over 1 acre), the applicant shall be responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR400000.

<u>Applicant Response</u>: A SWMP will be prepared for the Metro District's SD Interceptor and construction stormwater discharge permits will be obtained in accordance with CDPHE and County regulations. The SWMP will include control measures to mitigate the adverse effects of construction activities on surface water quality as discussed in Section 10.3.2 of the Information Report.

<u>County Comment</u>: County construction permits cannot be issued until the applicant has obtained a County SWQ permit. The County's SWQ permit is issued by the Public Works Department. The applicant should contact Juliana Archuleta, the County's Stormwater Program Manager, to inquire about obtaining a SWQ Permit. Ms. Archuleta can be contacted at 720-523-6869 or By email at mjarchuleta@adcogov.org. Comment closed.

ENG4: All necessary paperwork such as Commissioners Resolutions, Development Agreements, Collateral Agreements, BOA decisions, easements, etc. will be on file with the Adams County Department of Public Works / Construction Management Section prior to the issuance of any construction or building permits.

<u>Applicant Response</u>: The Metro District will continue to coordinate with the County to ensure required documents are on file to support permit issuance for the SD Interceptor. <u>County Comment</u>: comment closed.

ENG5: The Adams County boundaries are not clearly identified on any of the construction plan sheet. Jurisdictional boundaries need to be identified with ownership labels on either side of the boundary line. See example below:

ADAMS COUNTY

BRIGHTON

For example: On sheet 2011, the Adams County/Brighton Boundary runs along the north/west side of the railroad ROW. There is no label identifying this as the boundary. <u>Applicant Response</u>: Jurisdictional boundaries have been added to the Metro District's SD Interceptor revised 50% design plans as requested. <u>County Comment</u>: comment closed.

ENG6: The project appears to cross several irrigation ditches. It is recommended that the applicant either avoid them or contact the irrigation company directly and discuss crossing requirements. <u>Applicant Response</u>: The Metro District is working with irrigation ditch companies to determine crossing requirements and obtain appropriate land rights associated with the SD Interceptor. <u>County Comment</u>: Comment closed.

ENG7: The pipeline appears to cross several Adams County roadways and properties. <u>Condition of Approval:</u>

In the event that Adams County performs a roadway or drainage project that requires adjustment or relocation of the pipe line within the right-of-way, the Public Works Department will require that the

applicant perform any adjustments or relocations, at their own expense, upon receiving notification from the County.

Applicant Response: In the event that the County needs to grade and move the earth cover over the Metro District's SD Interceptor, or adjust or relocate the SD Interceptor, for County roadway construction or drainage projects located within County ROW, the District anticipates that the County will use its best efforts in the development and design of its roads or streets to avoid causing relocation of the SD Interceptor. In the event a relocation of the SDI is required, the District's Board of Directors would need to authorize entering into a utility relocation agreement (URA) between the District and the County that identifies conflicting utilities, design review and approval processes, and construction inspection and acceptance procedures. Based on past relocations of District infrastructure by the County, the URA will indicate the County agrees that it will take all necessary actions to protect, modify, or relocate the SD Interceptor, at its sole cost and expense at the time of the initial construction of the roadway or street or drainage project.

<u>County Comment</u>: When the County needs to change the grade of a street, every effort is made to avoid having to move utilities. However, the County does not enter into utility relocation agreement (URA) with utility districts. As stated in the condition of approval above, when necessary moving of the utility is done at the expense of the utility district. The condition of approval will remain.

ENG8: The applicant will be required to obtain Adams County construction permits for any crossing of Adams County road Right-of-Ways or, easements or properties owned by Adams County. <u>Applicant Response</u>: The Metro District will coordinate with the County to obtain the required permits for the SD Interceptor. A preliminary permit summary is provided in Appendix C of the Information Report. <u>County Comment</u>: Comment closed.

ENG9: Pipelines running parallel to Adams County road Right-of-Way must be located outside of all current and future road Right-of-way's (ROW).

<u>Applicant Response</u>: The Metro District's SD Interceptor alignment generally is planned within easements on private properties at least five feet beyond ultimate ROW as defined in the *2012 Adams County Transportation Plan.* Section 3.4 was added which describes five instances where placement of the SD Interceptor may encroach on this requirement. The Metro District is requesting a variance or waiver of this requirement from the County due private property impacts described in Section 3.4. <u>County Comment: Comment closed.</u>

ENG10: All crossing of Adams County ROW must be perpendicular. The plan set includes many nondiagonal roadway crossings. For example, Sheet 02 shows the interceptor pipe crossing diagonally Peoria St.

<u>Applicant Response</u>: In some circumstances, diagonal crossings of County roadways are required due to utility conflicts, to maintain a smooth hydraulic flow in the SD Interceptor, or to limit property impacts on adjacent parcels. Trenchless construction will be utilized for diagonal crossings of major roadways to limit traffic impacts and the need for asphalt patching. Open cut crossings of County roadways will be made as close to perpendicular as possible with consideration for existing utilities and minimizing private property impacts. The Metro District coordinated with the County in November 2019 to discuss the proposed diagonal crossing at E. 120th Avenue and Potomac Street. Based on discussions between the District and the County and input from various departments at the County, a diagonal road crossing is acceptable as long as the trenchless construction spans from manhole to manhole and the interceptor is installed in a steel casing at a depth greater than 10 feet. Ongoing coordination will occur with the County for review and acceptance of the planned road crossings. The 50% design plans include markups to reflect the road crossing alignment modifications resulting from discussions with the County.

<u>County Comment</u>: The applicant has reached out to County staff concerning diagonal crossings of County roadways and intersections. The reasons given were sufficient to allow the County to approve diagonal crossings at certain locations. Facilities & Fleet Management Department www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite 1700 Brighton, CO 80601-8208 PHONE 720.523.6006 FAX 720.523.6008

December 6, 2019

Mr. Jon Wicke Metro Wastewater Reclamation District (MWRD) 6450 York Street Denver, CO 80229

> Review Comments sent through Community & Economic Development (CED) c/o Mr. Greg Barnes, Planner III at Adams County CED

RE: PAR 1232 - Second Creek Interceptor Review Comments Related to Planning Review Application dated 11/18/19

Dear Jon,

As a follow up to the original submission from earlier this year, we thank you for the opportunity to review and further comment on the proposed Second Creek Interceptor development planned to route through the Riverdale Regional Park. As you and your team are aware, the substance of our review is related specifically to the 'ownership' of the land, associated agreements, and future operational elements. Neither Parks, Open Space & Cultural Affairs (Parks) Department, nor the Facilities & Fleet Management (Facilities) Department are providing comment specific to the regulatory elements of your submittal, and only commenting on elements impacting the County's ownership and use of the land potentially impacted by your development.

To this end, Parks and Facilities have collaboratively reviewed the proposal and offer the following comments:

- 1. Please refer to the review letter dated November 18, 2019 for pertinent comments and requests that were likely not available for review or inclusion in your latest submittal. These comments still stand.
- 2. We (you and I) have been exchanging emails over the past week or so with intent to further review the routing and impacts to the park and golf course. We are still planning that meeting and the opportunity to address our concerns in person. Additional comment may follow that meeting, which is currently anticipated for mid to late December 2019.

Eva J. Henry DISTRICT 1 Charles "Chaz" Tedesco

BOARD OF COUNTY COMMISSIONERS

Emma Pinter DISTRICT 3 Steve O'Dorisio

Mary Hodge DISTRICT 5 3. The submittal, and its preceding document, both make several references to collaborative meetings with the county. While that is true, and it is also true our desire to be collaborative with MWRD, the document does not address the discrepancies and requested changes/alternative investigations. To that end, this submittal should not imply that everything included in the submittal has been agreed to by the County, when in fact, there are many elements needing resolution. We do not suggest to author the document or language, but we would suggest that documents submitted to regulatory review show the current status of negotiation and agreement, not only for us, but for any landowner which MWRD has to have some easement or similar agreement. Status for the County is still in negotiation, with potential change to route and construction methodology.

We are looking forward to our upcoming meeting and some potential solutions to those items of concern. If you should have any questions regarding these specific reviews, please let us know.

Sincerely,

Adams County – Facilities and Fleet Management

Seán Braden Manager; Planning, Design and Construction

Encl.

Cc: Project File Greg Barnes, CED Byron Fanning, Parks, Open Space and Cultural Affairs Community & Economic Development Department

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000 Brighton, CO 80601-8204 PHONE 720.523.6800 FAX 720.523.6998

## **Development Review Team Comments**

Date: 3/12/2020 Project Number: PLN2019-00008 Project Name: Second Creek Interceptor

Commenting Division: Planner Review 3rd Review

Name of Reviewer: Greg Barnes

Date: 03/12/2020

Email: gjbarnes@adcogov.org

#### **Resubmittal Required**

Please continue to work with the Adams County Parks & Facilities Departments so that the case can be advanced forward for hearings.

Commenting Division: Development Engineering Review 3rd Review

Name of Reviewer: Matthew Emmens

Date: 03/12/2020

Email: memmens@adcogov.org

#### **Resubmittal Required**

Review complete with unresolved comments. Applicant must accept condition of approval: In the event that Adams County performs a roadway or drainage project that requires adjustment or relocation of the pipe line within the right-of-way, the Public Works Department will require that the applicant perform any adjustments or relocations, at their own expense, upon receiving notification from the County.The County may enter into an Intergovernmental Agreement (IGA) with the District to facilitate any pipeline adjustments or relocations.

See doc #6048955.

Eva J. Henry DISTRICT 1 BOARD OF COUNTY COMMISSIONERS

Charles "Chaz" Tedesco DISTRICT 2 Emma Pinter

Steve O'Dorisio

Mary Hodge DISTRICT 5

Page 1 of 8

Commenting Division: Parks Review 3rd Review Name of Reviewer: Aaron Clark Date: 02/26/2020 Email: aclark@adcogov.org Complete PRK1: Parks and Facilities are coordinating and will submit comments together through Facilities.

Commenting Division: Application Intake 3rd Review Name of Reviewer: Megan Ulibarri Date: 02/19/2020 Email: Complete

Commenting Division: Plan Coordination 2nd Review Name of Reviewer: Greg Barnes Date: 12/23/2019 Email: gjbarnes@adcogov.org Resubmittal Required

Commenting Division: Planner Review 2nd Review

Name of Reviewer: Greg Barnes

Date: 12/07/2019

Email: gjbarnes@adcogov.org

### Complete

There are two remaining issues that I'm hoping we can make some progress on before scheduling public hearings:

1. I'd like to clarify the justification for locating the line along the Sisneros property. Please resubmit a written justification, or consider relocating the line.

2. I would like for the issues addressed by our Parks and Facilities Departments to be resolved.

#### **Commenting Division:** Development Engineering Review 2nd Review

Name of Reviewer: Matthew Emmens

Date: 12/11/2019

Email: memmens@adcogov.org

### **Resubmittal Required**

Review complete. Comment ENG7 remains open. See doc #6014132. Applicant must acknowledge and accept the Condition of Approval.

Commenting Division: Parks Review 2nd Review Name of Reviewer: Aaron Clark Date: 12/06/2019 Email: aclark@adcogov.org Resubmittal Required

Please see attached letter from Sean Braden dated 12/06/2019

Commenting Division: SIA Review 1 - Finance Name of Reviewer: Megan Ulibarri Date: 11/18/2019 Email: Complete

Commenting Division: SIA Review 1 - Attorney Name of Reviewer: Megan Ulibarri Date: 11/18/2019 Email:

Complete

Commenting Division: Application Intake 2nd Review Name of Reviewer: Megan Ulibarri Date: 11/18/2019 Email: Complete

Commenting Division: Application Intake 2nd Review Name of Reviewer: Kevin Mills Date: 09/04/2019 Email: Complete

Commenting Division: Planner Review Name of Reviewer: Greg Barnes Date: 08/22/2019

Email: gjbarnes@adcogov.org

## **Resubmittal Required**

PLN01: Please provide e-mail addresses in Section 1.6 PLN02: There is no description of two alternative routes. Please provide.

## Commenting Division: Environmental Analyst Review

Name of Reviewer: Katie Keefe

Date: 08/19/2019

## Email:

## Complete

ENV1: Numerous sections of pipe infrastructure cross parcels covered by the Natural Resource Conservation Overlay (NRCO) district. The intent of the NRCO is to protect environmentally valuable areas and wildlife corridors associated with rivers, streams, riparian ecosystems and wetlands. All development must comply with the NRCO buffers/setbacks requirements in section 4-11-02-04-02.

ENV2: As noted in the project Information Report for the Second Creek Interceptor, an Environmental Assessment will be completed during the design phase of the project. The Environmental Assessment, as described, appears to meet the objectives of a Resources Review, which is required when development disturbs more than 1-acre of land within the NRCO. A Resources Review must be completed by a qualified professional prior to application submittal and provided to the county so that it may be taken into consideration. See section 4-11-02-03-04 for Resource Review methodology and content requirements.

Commenting Division: Environmental Analyst Review

Name of Reviewer: Katie Keefe

**Date:** 08/19/2019

Email:

## Comment

ENV1: Numerous sections of pipe infrastructure cross parcels covered by the Natural Resource Conservation Overlay (NRCO) district. The intent of the NRCO is to protect environmentally valuable areas and wildlife corridors associated with rivers, streams, riparian ecosystems and wetlands. All development must comply with the NRCO buffers/setbacks requirements in section 4-11-02-04-02.

ENV2: As noted in the project Information Report for the Second Creek Interceptor, an Environmental Assessment will be completed during the design phase of the project. The Environmental Assessment, as described, appears to meet the objectives of a Resources Review, which is required when development disturbs more than 1-acre of land within the NRCO. A Resources Review must be completed by a qualified professional prior to application submittal and provided to the county so that it may be taken into consideration. See section 4-11-02-03-04 for Resource Review methodology and content requirements.

# Commenting Division: Parks Review Name of Reviewer: Aaron Clark Date: 08/19/2019 Email: aclark@adcogov.org

### Complete

PRK1: Comments from Kurt Carlson, Regional Park Manager:

Adams County Parks, Open Space and Cultural Arts Dept. (ACPOSCAD). has the following comments on the Second Creek Interceptor project.

• The District will not commence any construction without first obtaining all necessary approvals, permits, and authorizations from Adams County Tri-County Health and/or the State of Colorado.

• Any work being done within the boundaries of the Riverdale Regional Park (including the Riverdale Golf Courses) shall only take place during November – February.

• The District will utilize its best efforts to coordinate its overall construction schedule with any infrastructure construction or event(s) contemplated and scheduled by the County in order to minimize the disruption of County construction efforts and/or special events.

• The District shall, at all times, during the term of the project shall maintain in full force and effect workers' compensation and employer's liability insurance and general liability insurance which includes coverage for personal injury, contractual liability and the District's independent contractors. The general liability should be procured and maintained with no less than Two Million Dollars (\$2,000,000.00) per occurrence combined single limit, and a Five Million Dollars (\$5.000,000.00) aggregate limit for bodily injury, personal injury or property damage liability. NEED TO CHECK THESE LIMITS TO ASSURE THEY ARE STILL CURRENT..

• Project shall not cause closure of any Adams County Trail. The District shall maintain a safe alternative for trail users throughout the duration of the project. District will provide and maintain all safety barriers and will be required to coordinate necessary traffic control. The District shall submit a traffic control plan, in advance, which will have to be approved in advance by the County prior to any physical work being initiated.

• Adams County Parks Open Space and Cultural Arts and Riverdale Golf staff shall be included in constitution meetings and/or project meetings and will be included in the distribution of any project correspondence.

Contact for Golf Course work: Steve Bruning Steve@riverdalegolf.com (303) 659-4700 Contact for Regional Park work: Kurt Carlson kcarlson@adcogov.org (303) 637-8013

- After the project, the District shall return the site to its native and/or pre-construction state.
- District will be responsible for any damages that are caused by the project and/or by any contractor /

subcontractor doing work for the District.

• Adams County shall not be responsible for the maintenance and upkeep of any District facilities.

**Commenting Division:** ROW Review

Name of Reviewer: Marissa Hillje

**Date:** 08/08/2019

# Email: mhillje@adcogov.org

# Complete

ROW1: Pipelines should be located in easements on private property. Said easements should be placed outside of the ultimate Right-of-ways of County roads as delineated by the Adams County Transportation Plan, approved 2012.

ROW2: Encroachment upon Future Right-of-Way. In any segment of the Project that is parallel to an Adams County right-of-way, the pipeline shall be constructed a minimum of five (5) feet from the edge of the maximum future right-of-way width, as designated in the Adams County 2012 Transportation Plan.

ROW3: As development of the Transportation Plan is implemented and if the location and existence of Developer's permanent easement precludes such development, Developer's overlapping easement rights shall be subordinated (subject to the then existing rights of the parties, laws and regulations) to accommodate Adams County's development.

ROW4: The proposed alignment through the Adams County owned property will need easements granted by BOCC.

**Commenting Division:** Environmental Analyst Review

Name of Reviewer: Katie Keefe

**Date:** 08/06/2019

Email:

# Comment

ENV1: Numerous sections of pipe infrastructure cross parcels covered by the Natural Resource Conservation Overlay (NRCO) district. The intent of the NRCO is to protect environmentally valuable areas and wildlife corridors associated with rivers, streams, riparian ecosystems and wetlands. All development must comply with the NRCO buffers/setbacks requirements in section 4-11-02-04-02.

ENV2: As noted in the project Information Report for the Second Creek Interceptor, an Environmental Assessment will be completed during the design phase of the project. The Environmental Assessment, as described, appears to meet the objectives of a Resources Review, which is required when development disturbs more than 1-acre of land within the NRCO. A Resources Review must be completed by a qualified professional prior to application submittal and provided to the county so that it may be taken into consideration. See section 4-11-02-03-04 for Resource Review methodology and content requirements.

Commenting Division: Planner Review Name of Reviewer: Greg Barnes Date: 07/12/2019 Email: gjbarnes@adcogov.org External Agencies Selected

Commenting Division: Development Engineering Review Name of Reviewer: Matthew Emmens Date: 07/10/2019 Email: memmens@adcogov.org Resubmittal Required Review complete with comments. See Doc #5959402.

Planned alignment will require some revisions.

# Second Creek Interceptor Combined Segment Case # PLN2019-00008 Development Review Engineering Comments

ENG1: It appears that the project crosses various floodplains. Depending upon construction techniques and the presence of surface structures, the applicant may be required to obtain a floodplain use permit. It is recommended that the applicant provide the alignment of the pipeline in Adams County superimposed with the data from all relevant floodplains.

Potential flood plains are shown on:

Flood Insurance Rate Maps FIRM Panels 08001C0328H, 08001C0336H, 08001C0337H, 08001C0339H, 08001C0343H, 08001C0635H, and 08001C0655H, Published by the Federal Emergency Management Agency, January 204, 2016

<u>Applicant Response</u>: The 100-year floodplain boundary was added to the Metro District's SD Interceptor updated design plans (50% design). A Floodplain Use Permit will be obtained from the County prior to starting work in the 100-year floodplains shown on the applicable FIRM panels. <u>County Comment</u>: Comment closed.

ENG2: The project is located within the boundaries of the following regional drainage studies:

*Todd Creek & DFA 0052 OSP, P*repared for City of Thornton, Adams County, and Urban Drainage and Flood Control District. Prepared by Kiowa Engineering, December 2003.

*South Platte River MDP*, Prepared for City of Brighton, Commerce City, Denver Water Department, Metro Wastewater, reclamation District, City of Thornton, South Adams County Water and Sanitation District, Adams County, and Urban Drainage and Flood Control District. Prepared by Camp Dresser & McKee Inc., April 2002.

Second Creek (Downstream of DIA) and DFA 0053 Watersheds Outfall System Planning Study Update, Prepared for City of Brighton, Commerce City, Adams County, and Urban Drainage and Flood Control District. Prepared by Kiowa Engineering, October 2002.

Second Creek & DFA 0053 OSP, Prepared for City of Brighton, Commerce City, City of Aurora, City and County of Denver, Adams County, and Urban Drainage and Flood Control District. Prepared by Kiowa Engineering Corp., May 1990.

For the regional drainage facilities mentioned in the studies listed above, it is recommended that the applicant either avoid them or install the line to a depth below the facility to provide sufficient cover and avoid potential utility conflicts. Show these regional facilities on the plans. <u>Applicant Response</u>: Regional drainage facilities were considered as a part of the SD Interceptor alignment evaluation. The Metro District has reviewed information from Mile High Flood District and verified the SD Interceptor does not impact the proposed regional facilities. The Interceptor is expected to be buried at a depth that would not impact the proposed regional facilities. <u>County Comment</u>: Comment closed.

ENG3: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is within the County's MS4 Stormwater Permit area.

In the event that the disturbed area of the site exceeds 1 acre, or disturbing less than 1 acre but belonging to a larger subdivision (over 1 acre), the applicant shall be responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR400000.

<u>Applicant Response</u>: A SWMP will be prepared for the Metro District's SD Interceptor and construction stormwater discharge permits will be obtained in accordance with CDPHE and County regulations. The SWMP will include control measures to mitigate the adverse effects of construction activities on surface water quality as discussed in Section 10.3.2 of the Information Report.

<u>County Comment</u>: County construction permits cannot be issued until the applicant has obtained a County SWQ permit. The County's SWQ permit is issued by the Public Works Department. The applicant should contact Juliana Archuleta, the County's Stormwater Program Manager, to inquire about obtaining a SWQ Permit. Ms. Archuleta can be contacted at 720-523-6869 or By email at mjarchuleta@adcogov.org. Comment closed.

ENG4: All necessary paperwork such as Commissioners Resolutions, Development Agreements, Collateral Agreements, BOA decisions, easements, etc. will be on file with the Adams County Department of Public Works / Construction Management Section prior to the issuance of any construction or building permits.

<u>Applicant Response</u>: The Metro District will continue to coordinate with the County to ensure required documents are on file to support permit issuance for the SD Interceptor. <u>County Comment</u>: comment closed.

ENG5: The Adams County boundaries are not clearly identified on any of the construction plan sheet. Jurisdictional boundaries need to be identified with ownership labels on either side of the boundary line. See example below:

ADAMS COUNTY

BRIGHTON

For example: On sheet 2011, the Adams County/Brighton Boundary runs along the north/west side of the railroad ROW. There is no label identifying this as the boundary. <u>Applicant Response</u>: Jurisdictional boundaries have been added to the Metro District's SD Interceptor revised 50% design plans as requested. <u>County Comment</u>: comment closed.

ENG6: The project appears to cross several irrigation ditches. It is recommended that the applicant either avoid them or contact the irrigation company directly and discuss crossing requirements. <u>Applicant Response</u>: The Metro District is working with irrigation ditch companies to determine crossing requirements and obtain appropriate land rights associated with the SD Interceptor. <u>County Comment</u>: Comment closed.

ENG7: The pipeline appears to cross several Adams County roadways and properties. Condition of Approval:

In the event that Adams County performs a roadway or drainage project that requires adjustment or relocation of the pipe line within the right-of-way, the Public Works Department will require that the applicant perform any adjustments or relocations, at their own expense, upon receiving notification from the County. <u>The County may enter into an Intergovernmental Agreement (IGA) with the District to</u> facilitate any pipeline adjustments or relocations.

Applicant Response: In the event that the County needs to grade and move the earth cover over the Metro District's SD Interceptor, or adjust or relocate the SD Interceptor, for County roadway construction or drainage projects located within County ROW, the District anticipates that the County will use its best efforts in the development and design of its roads or streets to avoid causing relocation of the SD Interceptor. In the event a relocation of the SDI is required, the District's Board of Directors would need to authorize entering into a utility relocation agreement (URA) between the District and the County that identifies conflicting utilities, design review and approval processes, and construction inspection and acceptance procedures. Based on past relocations of District infrastructure by the County, the URA will indicate the County agrees that it will take all necessary actions to protect, modify, or relocate the SD Interceptor, at its sole cost and expense at the time of the initial construction of the roadway or street or drainage project.

<u>County Comment</u>: When the County needs to change the grade of a street, every effort is made to avoid having to move utilities. However, the County does not enter into utility relocation agreement (URA) with utility districts. As stated in the condition of approval above, when necessary moving of the utility is done at the expense of the utility district. The condition of approval will remain. <u>Applicant Response</u>: <No applicant response or acknowledgement of condition of approval> <u>County Comment</u>: The County may enter into an Inter-governmental Agreement (IGA) if conditions required. The condition of approval has been modified to include this possibility. However, the condition of approval will remain and must be acknowledged and accepted.

ENG8: The applicant will be required to obtain Adams County construction permits for any crossing of Adams County road Right-of-Ways or, easements or properties owned by Adams County. <u>Applicant Response</u>: The Metro District will coordinate with the County to obtain the required permits for the SD Interceptor. A preliminary permit summary is provided in Appendix C of the Information Report. <u>County Comment</u>: Comment closed.

ENG9: Pipelines running parallel to Adams County road Right-of-Way must be located outside of all current and future road Right-of-way's (ROW).

<u>Applicant Response</u>: The Metro District's SD Interceptor alignment generally is planned within easements on private properties at least five feet beyond ultimate ROW as defined in the *2012 Adams County Transportation Plan.* Section 3.4 was added which describes five instances where placement of the SD Interceptor may encroach on this requirement. The Metro District is requesting a variance or waiver of this requirement from the County due private property impacts described in Section 3.4. County Comment: Comment closed.

ENG10: All crossing of Adams County ROW must be perpendicular. The plan set includes many nondiagonal roadway crossings. For example, Sheet 02 shows the interceptor pipe crossing diagonally Peoria St.

<u>Applicant Response</u>: In some circumstances, diagonal crossings of County roadways are required due to utility conflicts, to maintain a smooth hydraulic flow in the SD Interceptor, or to limit property impacts on adjacent parcels. Trenchless construction will be utilized for diagonal crossings of major roadways to limit traffic impacts and the need for asphalt patching. Open cut crossings of County roadways will be made as close to perpendicular as possible with consideration for existing utilities and minimizing private property impacts. The Metro District coordinated with the County in November 2019 to discuss the proposed diagonal crossing at E. 120th Avenue and Potomac Street. Based on discussions between the District and the County and input from various departments at the County, a diagonal road crossing is acceptable as long as the trenchless construction spans from manhole to manhole and the interceptor is installed in a steel casing at a depth greater than 10 feet. Ongoing coordination will occur with the County for review

and acceptance of the planned road crossings. The 50% design plans include markups to reflect the road crossing alignment modifications resulting from discussions with the County.

<u>County Comment</u>: The applicant has reached out to County staff concerning diagonal crossings of County roadways and intersections. The reasons given were sufficient to allow the County to approve diagonal crossings at certain locations.

Comment Closed.

Facilities & Fleet Management Department www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite 1700 Brighton, CO 80601-8208 PHONE 720.523.6006 FAX 720.523.6008

March 11, 2020

Mr. Jon Wicke Metro Wastewater Reclamation District (MWRD) 6450 York Street Denver, CO 80229

> Review Comments sent through Community & Economic Development (CED) c/o Mr. Greg Barnes, Planner III at Adams County CED

RE: PAR 1232 - Second Creek Interceptor Review Comments Related to Project Submittal dated 2/19/2020

Dear Jon,

As a follow up to the previous submissions and the ongoing meetings we have held between MWRD and the County, we thank you for the opportunity to review and further comment on the proposed Second Creek Interceptor development planned to route through the Riverdale Regional Park. As you and your team are aware, the substance of this review letter is related specifically to the 'ownership' of the land, associated agreements, and future operational elements. Neither Parks, Open Space & Cultural Affairs (Parks) Department, nor the Facilities & Fleet Management (Facilities) Department are providing comment specific to the regulatory elements of your submittal, and only commenting on elements impacting the County's ownership and use of the land potentially impacted by your development.

To this end, Parks and Facilities have collaboratively reviewed the proposal and offer the following comments:

- Please refer to the review letter dated November 18, 2019 and December 6, 2019 for pertinent comments and requests. Some of those items have been addressed in recent meetings but still need formal resolution. These comments still stand.
- 2. During late January and February, we have had a series of productive meetings toward the final alignment of the PAR 1232 route through the Regional Park and the impacts (physical and financial) that have not been completely resolved. While these meetings have been positive and productive, final decisions related

Eva J. Henry DISTRICT 1 Charles "Chaz" Tedesco DISTRICT 2

BOARD OF COUNTY COMMISSIONERS

Emma Pinter DISTRICT 3 Steve O'Dorisio

Mary Hodge DISTRICT 5 to these issues should be included in either the final approved submittal and/or the 1041 Agreement.

3. Content specifically addressed in these ongoing 'ownership' impact meetings (as mentioned in #2 above) should be properly documented. We (Parks & Facilities) have not been part of formal 1041 Agreement negotiations but expect that these elements will be properly addressed and accounted for once final decisions have been made related to routes, construction schedule, repairs and mitigation, finances, and other project impacts/elements as necessary.

We look forward to our continued meetings while we develop final solutions to those items of concern. If you should have any questions regarding these specific reviews, please let us know.

Sincerely,

#### Adams County – Facilities and Fleet Management

Seán Braden Manager; Planning, Design and Construction

Encl.

Cc: Project File Greg Barnes, CED Byron Fanning, Parks, Open Space and Cultural Affairs

From: Sent: To: Subject: BFR Plan Reviews [planreviews@brightonfire.org] Friday, August 09, 2019 5:13 PM Greg Barnes RE: Request for Comments: Second Creek Interceptor (PLN2019-00008)

Please be cautious: This email was sent from outside Adams County Good evening,

We do not have any comments on this case at this time. Thank you!



Whitney Even Fire Marshal Brighton Fire Rescue District 500 S. 4<sup>th</sup> Ave. 3<sup>rd</sup> Floor Brighton, CO 80601 303-659-4101 www.brightonfire.org

From: Greg Barnes <<u>GJBarnes@adcogov.org</u>>
Sent: Monday, July 15, 2019 12:05 PM
To: Greg Barnes <<u>GJBarnes@adcogov.org</u>>
Subject: RE: Request for Comments: Second Creek Interceptor (PLN2019-00008)

I forgot to include the attachment. My apologies.



**Greg Barnes** Planner III, *Community and Economic Development Dept.* ADAMS COUNTY, COLORADO 4430 S. Adams County Parkway, 1st Floor, Suite W2000A Brighton, CO 80601-8216 720.523.6853 *gjbarnes@adcogov.org* adcogov.org

From: Greg Barnes Sent: Monday, July 15, 2019 12:01 PM To: Greg Barnes Subject: Request for Comments: Second Creek Interceptor (PLN2019-00008)

Adams County has received a land use application, and we are seeking comments from you regarding this case. I have attached a document providing an overview of the application. The full submittal information can be viewed at: <a href="http://www.adcogov.org/sites/default/files/PLN2019-00008-submittal1.pdf">http://www.adcogov.org/sites/default/files/PLN2019-00008-submittal1.pdf</a>



If you have comments regarding this case, please send them to me by noon on August 14, 2019. Thank you!

#### **Greg Barnes**

Planner III, *Community and Economic Development Dept.* ADAMS COUNTY, COLORADO

| From:<br>Sent: | Loeffler - CDOT, Steven [steven.loeffler@state.co.us]<br>Wednesday, August 14, 2019 10:16 AM |
|----------------|--|
| То:            | Greg Barnes  |
| Cc:            | Bradley Sheehan - CDOT   |
| Subject:       | Re: Request for Comments: Second Creek Interceptor (PLN2019-00008)                           |

Please be cautious: This email was sent from outside Adams County Greg,

I have reviewed the Second Creek Interceptor referral and have the following comments:

Any proposed work in the State Highway or Interstate Right-of-Way will require a permit from our office. Application can be made on our website at the following link: <u>https://www.codot.gov/business/permits/utilitiesspecialuse/online-permit-application</u> Separate locations will require separate permits. Point of contact for permitting is Robert Williams who can be reached at 303-916-3542 or robert.williams@state.co.us

Thank you for the opportunity to review this referral.

Steve Loeffler Permits Unit- Region 1



P 303.757.9891 | F 303.757.9886 2829 W. Howard Pl. 2nd Floor, Denver, CO 80204 <u>steven.loeffler@state.co.us</u> | <u>www.codot.gov</u> | <u>www.cotrip.org</u>

On Mon, Jul 15, 2019 at 12:06 PM Greg Barnes <<u>GJBarnes@adcogov.org</u>> wrote:

I forgot to include the attachment. My apologies.



# **Greg Barnes**

Planner III, Community and Economic Development Dept.

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

720.523.6853 gjbarnes@adcogov.org

adcogov.org

From: Greg Barnes Sent: Monday, July 15, 2019 12:01 PM To: Greg Barnes Subject: Request for Comments: Second Creek Interceptor (PLN2019-00008)

Adams County has received a land use application, and we are seeking comments from you regarding this case. I have attached a document providing an overview of the application. The full submittal information can be viewed at: <u>http://www.adcogov.org/sites/default/files/PLN2019-00008-submittal1.pdf</u>

If you have comments regarding this case, please send them to me by noon on August 14, 2019. Thank you!



**Greg Barnes** 

Planner III, Community and Economic Development Dept.

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

| From:    | Ingrum, Porter [pingrum@auroragov.org]                                     |
|----------|--|
| Sent:    | Tuesday, July 16, 2019 9:43 AM   |
| To:      | Greg Barnes  |
| Subject: | FW: Adams County Referral - Request for Comments: Second Creek Interceptor |
| Subject. | (PLN2019-00008)  |

Please be cautious: This email was sent from outside Adams County

Hi Greg, see the comments below...I am not expecting that we will have additional comments but if we do I will pass them along.

Thanks,

Porter

From: Young, Sarah(Aurora Water)
Sent: Monday, July 15, 2019 4:38:37 PM
To: Akrie, Darren
Subject: RE: Adams County Referral - Request for Comments: Second Creek Interceptor (PLN2019-00008)

Thank you Darren. The City of Aurora fully supports this project.

From: Akrie, Darren
Sent: Tuesday, July 16, 2019 7:49 AM
To: Ingrum, Porter pingrum@auroragov.org
Subject: RE: Adams County Referral - Request for Comments: Second Creek Interceptor (PLN2019-00008)

**Real Property Services Comment** 

If any portion of the Metro Wastewater infrastructure encroaches within City of Aurora Rights of Way or Easements, then a License Agreement shall be required. Please refer to this link for document requirements.

https://www.auroragov.org/business services/development center/tools and resources/real propert y/

From: Ingrum, Porter
Sent: Monday, July 15, 2019 12:50 PM
To: Irvin, Vinessa <<u>VIrvin@auroragov.org</u>>; Parnes, Mindy <<u>mparnes@auroragov.org</u>>; Adam, Vern
<<u>Vadam@auroragov.org</u>>; Geyer, Mark <<u>mgeyer@auroragov.org</u>>; Rachael, Victor <<u>vrachael@auroragov.org</u>>; Akrie,
Darren <<u>DAKRIE@auroragov.org</u>>
Subject: FW: Adams County Referral - Request for Comments: Second Creek Interceptor (PLN2019-00008)

FYI

I forgot to include the attachment. My apologies.



Planner III, Community and Economic Development Dept. ADAMS COUNTY, COLORADO 4430 S. Adams County Parkway, 1st Floor, Suite W2000A Brighton, CO 80601-8216 720.523.6853 <u>gjbarnes@adcogov.org</u> adcogov.org

From: Greg Barnes Sent: Monday, July 15, 2019 12:01 PM To: Greg Barnes Subject: Request for Comments: Second Creek Interceptor (PLN2019-00008)

Adams County has received a land use application, and we are seeking comments from you regarding this case. I have attached a document providing an overview of the application. The full submittal information can be viewed at: <a href="http://www.adcogov.org/sites/default/files/PLN2019-00008-submittal1.pdf">http://www.adcogov.org/sites/default/files/PLN2019-00008-submittal1.pdf</a>

If you have comments regarding this case, please send them to me by noon on August 14, 2019. Thank you!



**Greg Barnes** Planner III, *Community and Economic Development Dept.* 

ADAMS COUNTY, COLORADO 4430 S. Adams County Parkway, 1st Floor, Suite W2000A Brighton, CO 80601-8216 720.523.6853 <u>gibarnes@adcogov.org</u> adcogov.org

| Sent: Tue       | DeHerrera, James [jldeherr@auroragov.org]<br>Tuesday, August 13, 2019 8:38 AM<br>Greg Barnes  |
|-----------------|---|
| Cc:<br>Subject: | Adam, Vern; Irvin, Vinessa; Parnes, Mindy; Geyer, Mark; Rachael, Victor; Akrie, Darren RE: Adams County Referral - Request for Comments: Second Creek Interceptor (PLN2019-00008) |

Please be cautious: This email was sent from outside Adams County

Good morning Greg,

Thank you for referring this application for review. I have completed the review for Aurora Water and have added comments in a PDF that can be accessed through the FTP link below. Please let me know if clarification is needed on any of the comments and/or if anything else is required at this time.

https://cityofaurora.egnyte.com/fl/8b180shcpa

Thank you,

James DeHerrera, P.E. Project Engineer | City of Aurora | Aurora Water office 303.739.7296



Facebook | Twitter | Nextdoor | AuroraTV.org

From: Adam, Vern
Sent: Monday, July 15, 2019 12:56 PM
To: DeHerrera, James <<u>ildeherr@auroragov.org</u>>
Subject: FW: Adams County Referral - Request for Comments: Second Creek Interceptor (PLN2019-00008)

James, Would you like to review this referral application from Adams County on the SDI?

Vernon A. Adam, P.E. Engineering Services Manager Aurora Water Department 15151 E. Alameda Parkway, Suite 3600 Aurora, CO 80012 Office: 720-859-4324 Cell: 303-549-7909



From: Ingrum, Porter
Sent: Monday, July 15, 2019 12:50 PM
To: Irvin, Vinessa <<u>VIrvin@auroragov.org</u>>; Parnes, Mindy <<u>mparnes@auroragov.org</u>>; Adam, Vern
<<u>Vadam@auroragov.org</u>>; Geyer, Mark <<u>mgeyer@auroragov.org</u>>; Rachael, Victor <<u>vrachael@auroragov.org</u>>; Akrie,
Darren <<u>DAKRIE@auroragov.org</u>>
Subject: FW: Adams County Referral - Request for Comments: Second Creek Interceptor (PLN2019-00008)

FYI

#### I forgot to include the attachment. My apologies.



**Greg Barnes** Planner III, *Community and Economic Development Dept.* ADAMS COUNTY, COLORADO 4430 S. Adams County Parkway, 1st Floor, Suite W2000A Brighton, CO 80601-8216 720.523.6853 *gibarnes@adcogov.org* adcogov.org

From: Greg Barnes
Sent: Monday, July 15, 2019 12:01 PM
To: Greg Barnes
Subject: Request for Comments: Second Creek Interceptor (PLN2019-00008)

Adams County has received a land use application, and we are seeking comments from you regarding this case. I have attached a document providing an overview of the application. The full submittal information can be viewed at: <a href="http://www.adcogov.org/sites/default/files/PLN2019-00008-submittal1.pdf">http://www.adcogov.org/sites/default/files/PLN2019-00008-submittal1.pdf</a>

If you have comments regarding this case, please send them to me by noon on August 14, 2019. Thank you!



**Greg Barnes** Planner III, *Community and Economic Development Dept.* ADAMS COUNTY, COLORADO 4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216 720.523.6853 <u>ajbarnes@adcogov.org</u> adcogov.org



City Hall 9500 Civic Center Drive Thornton, Colorado 80229-4326 City Development Department 303-538-7295 FAX 303-538-7373 www.cityofthornton.net

August 9, 2019

Greg Barnes, Planner III Adams County Community and Economic Development Department 4430 S. Adams County Parkway, 1<sup>st</sup> Floor, Suite W2000A Brighton, CO 80601-8216

RE: Second Creek Interceptor – (PLN2019-00008)

Mr. Barnes:

The City of Thornton's Infrastructure Engineering Manager Jim Kaiser has provided comments for Adams County Second Creek Interceptor (PLN2019-00008) outlined below:

All of the work is outside the City of Thornton, so we will not need to further review. The
alignment does cross two canals near the river. The Fulton Canal on the east side of the
river will be used to deliver water to a Thornton reservoir immediately north of 104<sup>th</sup>
Avenue, beginning in early 2021. This is well south of the proposed project crossing, but if
the canal were to be shut down for construction, our water deliveries could be impacted.
That said, we expect that the canal companies will provide the design standards and
oversight necessary for this aspect of the work.

Please feel free to contact me at 303-538-7596, or via e-mail at Katelyn.Puga@cityofthornton.net for updates and/or questions related to this response.

Sincerely,

Hatyon Puga

Katelyn Puga Planner I

Enclosures

cc: Grant Penland Brian Garner Jim Kaiser

V:\PLANNING DIVISION\Outside Referrals\Adams County\Adams County 2019\Adams County Second Creek Interceptor PLOSR201901015\Comments\OSR Comments Memo.doc

| From:    | Sadie Naglich <sadie.naglich@cityofthornton.net></sadie.naglich@cityofthornton.net> |
|----------|---|
| Sent:    | Friday, December 13, 2019 2:30 PM   |
| То:      | Greg Barnes   |
| Subject: | FW: 2nd Submittal - Adams County Second Creek Interceptor - PLOSR201901015          |

Please be cautious: This email was sent from outside Adams County

Hi Greg,

I apologize for this coming in late to you, I was just sent this comment in regards to this referral:

Thornton Water Resources (with the respective ditch companies) should be contacted if any interruption to either canal is anticipated during construction, so we can adequately plan diversions to our reservoirs.

Thank you,

Sadie Naglich Planner I 9500 Civic Center Drive, Thornton, CO 80229 P: 303.538.7301 | E: Sadie.Naglich@cityofthornton.net





City Hall 9500 Civic Center Drive Thornton, Colorado 80229-4326 City Development Department 303-538-7295 FAX 303-538-7373 www.ThorntonCO.gov

March 10, 2020

Greg Barnes, Planner III Adams County Community and Economic Development Department 4430 S. Adams County Parkway, 1<sup>st</sup> Floor, Suite W2000A Brighton, CO 80601-8216

RE: Second Creek Interceptor – (PLN2019-00008)

Mr. Barnes:

The City of Thornton's Infrastructure Engineering Manager Jim Kaiser has provided comments for Adams County Second Creek Interceptor (PLN2019-00008) outlined below:

Thornton Water Resources (with the respective ditch companies) should be contacted if any interruption to either canal is anticipated during construction, so we can adequately plan diversions to our reservoirs.

Please feel free to contact me at 303-538-7301, or via e-mail at Sadie.Naglich@ThorntonCO.gov for updates and/or questions related to this response.

Sincerely,

Juli nagti

Sadie Naglich Planner I

cc: Rachelle Plas Jim Kaiser

V:\PLANNING DIVISION\Outside Referrals\Adams County\Adams County 2019\Adams County Second Creek Interceptor PLOSR201901015\3rd Submittal\Comments

From: Sent: To: Subject: Dan Biro [Dan.Biro@cityofthornton.net] Tuesday, July 16, 2019 8:58 AM Greg Barnes RE: Request for Comments: Second Creek Interceptor (PLN2019-00008)

Please be cautious: This email was sent from outside Adams County

Greg,

No comments on this review.

Regards,

Dan Biro, P.E. Deputy Fire Marshal City of Thornton Fire Department

dan.biro@cityofthornton.net 303-538-7663

9500 Civic Center Drive Thornton, CO 80229 www.cityofthornton.net



From: Laurie Davidson <Laurie.Davidson@cityofthornton.net>
Sent: Monday, July 15, 2019 12:09 PM
To: Dan Biro <Dan.Biro@cityofthornton.net>; Stephanie Harpring <Stephanie.Harpring@cityofthornton.net>
Subject: FW: Request for Comments: Second Creek Interceptor (PLN2019-00008)

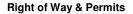
From: Greg Barnes <<u>GJBarnes@adcogov.org</u>>
Sent: Monday, July 15, 2019 12:05 PM
To: Greg Barnes <<u>GJBarnes@adcogov.org</u>>
Subject: [EXTERNAL] RE: Request for Comments: Second Creek Interceptor (PLN2019-00008)



# **Greg Barnes**

Planner III, Community and Economic Development Dept. ADAMS COUNTY, COLORADO 4430 S. Adams County Parkway, 1st Floor, Suite W2000A Brighton, CO 80601-8216

I forgot to include the attachment. My apologies.





1123 West 3<sup>rd</sup> Avenue Denver, Colorado 80223 Telephone: **303.571.3306** Facsimile: 303. 571.3284 donna.l.george@xcelenergy.com

August 15, 2019

Adams County Community and Economic Development Department 4430 South Adams County Parkway, 3<sup>rd</sup> Floor, Suite W3000 Brighton, CO 80601

Attn: Greg Barnes

#### Re: Second Creek Interceptor, Case # PLN2019-00008

Public Service Company of Colorado's (PSCo) Right of Way and Permits Referral Desk has determined there are potential conflicts with the above captioned project. Public Service Company has an existing <u>electric transmission</u> line and an existing <u>high pressure natural gas transmission</u> pipeline and associated land rights as shown within this property. Any activity including grading, proposed landscaping, erosion control or similar activities involving our existing right-of-way will require Public Service Company approval. Encroachments across Public Service Company's easements must be reviewed for safety standards, operational and maintenance clearances, liability issues, and acknowledged with a Public Service Company License Agreement to be executed with the property owner. PSCo is requesting that, prior to any final approval of the development plan, it is the responsibility of the property owner/developer/contractor to contact the following for development plan review and execution of License Agreements:

- for Electric Transmission: John Lupo, Senior Siting and Land Rights Manager at 303-571-7281
- for High Pressure Natural Gas Transmission: <u>https://www.xcelenergy.com/working\_with\_us/builders/encroachment\_requests</u> - Click on Colorado if necessary. An engineer will then be in contact to request specific plan sheets.

Please be aware that PSCo also has existing natural gas distribution facilities throughout the proposed project area. As a safety precaution, PSCo would like to remind the developer to call the Utility Notification Center by dialing 811 to have all utilities located prior to any construction. Be advised that the installation depths may have changed over time, rendering this depth incorrect; therefore, potholing existing facilities at the point of crossing is strongly advised. Use caution and hand dig when excavating within 18-inches of each side of the marked facilities. Please be aware that all risk and responsibility for this request are unilaterally that of the Applicant/Requestor.

Should the project require the modification to existing facilities, the developer/contractor must complete the application process via <u>xcelenergy.com/InstallAndConnect</u>. The Builder's Call Line is 1-800-628-2121.

Donna George Right of Way and Permits Public Service Company of Colorado / Xcel Energy Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com



**Right of Way & Permits** 

1123 West 3<sup>rd</sup> Avenue Denver, Colorado 80223 Telephone: **303.571.3306** Facsimile: 303. 571. 3284 donna.l.george@xcelenergy.com

December 6, 2019

Adams County Community and Economic Development Department 4430 South Adams County Parkway, 3<sup>rd</sup> Floor, Suite W3000 Brighton, CO 80601

Attn: Greg Barnes

# Re: Second Creek Interceptor - 2nd referral, Case # PLN2019-00008

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk acknowledges the comment response for **Second Creek Interceptor** and has no further concerns at this time.

The property owner/developer/contractor is reminded to complete the application process for any new natural gas or electric service, or modification to existing facilities via <u>xcelenergy.com/InstallAndConnect</u>.; and, to call the Utility Notification Center for utility locates prior to construction.

Donna George Right of Way and Permits Public Service Company of Colorado dba Xcel Energy Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com

From: Sent: To: Subject: Leonard Dietz [lvdiet57@gmail.com] Tuesday, August 06, 2019 8:06 AM Greg Barnes Needed information

Please be cautious: This email was sent from outside Adams County

Good morning Greg,

My family received a letter in ref. to case PLN2019-00008, Second Creek Interceptor, I was looking at the map and need more detail, is the pipe going onto our property at 12271 Peoria St, I can't tell by the map. Or you can call 303-655-9573 and leave a message.

Thank you,

Leonard Dietz

Sent from my iPad

From:Leonard Dietz [Ivdiet57@gmail.com]Sent:Friday, August 09, 2019 12:50 PMTo:Greg BarnesSubject:Comments case PLN2019-00008 12271 Peoria St.

Please be cautious: This email was sent from outside Adams County

We the following oppose the easement requested from Metro Wastewater on our property. We will soon be selling the property and don't want a hindrance to that sell. We feel that the Right Of Way, the street, is what should be used for burying utilities not private personal property. I don't feel it necessary to use our property when the R.O.W, street, is available. I send this for the people listed below because they don't have e mail.

Leonard Dietz 12321 Wheeling Ct Carol Dietz 12271 Peoria St Judy Dietz 12291 Peoria St

Thank you.

Leonard Dietz

Sent from my iPad

| From:                           | Darrell Phillips [dphillips@becknellindustrial.com]  |
|---------------------------------|--|
| Sent:                           | Monday, August 12, 2019 2:34 PM  |
| To:<br>Subject:<br>Attachments: | Greg Barnes<br>Metro District Second Creek Interceptor - Case No. PLN2019-00008<br>11013 DIATC F8 PLAT_20180620 (1)-Filed-Copy-2018-09-26.pdf; DIA-Tech-Filing-<br>No-11-19.83-ac-parcel-plat-recorded-2019-08-06.pdf; N0015401Recorded Plat.pdf |

Please be cautious: This email was sent from outside Adams County

Mr. Barnes,

We received the mailing for the Request for Comments regarding the planned Second Creek Interceptor. Our company currently owns two property parcels in the DIA Tech Center Park in Commerce City, DIA Tech Center Filing No. 6- Lot #1 and Filing No. 8-Lot #1, we are preparing to finalize purchase on a 3<sup>rd</sup> property within the next few weeks in the DIA Tech Park, Filing No. 11-Lot #1. In addition we have an additional approximately 170-acres under a purchase contract within the recently annexed and rezoned Nexus North at DIA park in Commerce City.

Initially from the information I have reviewed that has been posted on the Adams County Planning current cases website, we don't not see any immediate concerns other that final alignment of the proposed interceptor and the potential disruption to our proposed development of the property or future disruption of services to the properties while they are in use.

We have been communicating with Schuck Communities regarding this planned sewer interceptor and understand that they have been communicating with a Mr. Steve Pool at the design consultant HDR, Inc.

I would appreciate any more detail information you can share regarding the alignment with the DIA Tech Center and Nexus at DIA parks as once we close on the Filing No. 11 – Lot #1 property we will be submitting development plans to Commerce City for approval and construction of a building on the property and we understand it will not directly impact this property.

I have attached for your reference the two plats of the properties we currently own along with the third Filing No. 11 plat we are finalizing purchase of the property currently.

I also left you a voice message and would appreciate any time you have to discuss further.

Thanks and I look forward to hearing from you.

Darrell Phillips VP - Engineering direct: 317.805.1248 | main: 317.507.2826 2750 East 146th Street, Suite 200 Carmel, Indiana 46033

website | vCard | email



July 23, 2019

Mr. Greg Barnes,

RE: Case Name: Second Creek Interceptor Case Number: PLN2019-00008

Dear Mr. Barnes:

Per your suggestion during our phone conversation on Friday, July 19, 2019, I am following up with this email. This is in regard to the "Request for Comments" letter we received where our property, Parcel #0157136005030, is included in the pipeline construction.

We are on the north side of 120<sup>th</sup> Avenue at 12045 Wheeling Street where the west side of our property line borders the Prairie View Middle School. The property on the south side of 120<sup>th</sup> Avenue directly across from us is undeveloped and a better solution where the pipeline does not impact developed properties. Currently the selected plan (Alternative 3 – Commerce City Alignment) is to have the pipeline cross 120<sup>th</sup> Avenue from north to south at Potomac Street. We see two other options available that will not impact the private properties on the north side of the street. The first would be to cross 120<sup>th</sup> at the property line between the middle school and us, continuing east along the south side of 120<sup>th</sup> avenue where there is no development. The second would be to cross 120<sup>th</sup> at the point where the pipeline meets 120<sup>th</sup> avenue after running south through the Prairie View Middle School parcel on the western side of the track.

We have been here 20 years and have worked very hard to develop and maintain our property in a manner that shows pride of ownership. We've endured the construction of both schools, lost our beautiful view of the front range to a cement wall (the middle school), and numerous phases of road construction. To devastate over 10,000 square feet of our south property, destroy trees we've spent years nurturing, and have our land torn up for months is an unreasonable request.

We did receive an easement agreement along with a lease agreement from Claudia Lopez at the Metro Wastewater Reclamation District. I've left 2 messages for her stating our objection and requesting a meeting to clarify some items that are vague and discuss alternatives but have not received a response.

We appreciate any consideration and support you can give us in rerouting this project out of our property.

Sincerely,

Nikki & Joe Sisneros 12045 Wheeling St Henderson, CO 80640 Cell: 303-886-9880 Home: 303-654-0815

| From:    | Loeffler - CDOT, Steven <steven.loeffler@state.co.us></steven.loeffler@state.co.us> |  |
|----------|---|--|
| Sent:    | Monday, November 25, 2019 2:40 PM   |  |
| То:      | Greg Barnes   |  |
| Subject: | Re: Resubmittal: Second Creek Interceptor (PLN2019-00008)                           |  |

Please be cautious: This email was sent from outside Adams County

Greg,

Previous comments for this review still apply. Any work in the State Highway Right-of-Way will require a permit from our office. Permits can be applied for at the following link: <u>https://www.codot.gov/business/permits/utilitiesspecialuse/online-permit-application</u>

Thank you for the opportunity to review this referral.

Steve Loeffler Permits Unit- Region 1

P 303.757.9891 | F 303.757.9886 2829 W. Howard Pl. 2nd Floor, Denver, CO 80204 <u>steven.loeffler@state.co.us</u> | <u>www.codot.gov</u> | <u>www.cotrip.org</u>

On Mon, Nov 25, 2019 at 1:26 PM Greg Barnes <<u>GJBarnes@adcogov.org</u>> wrote:

A resubmittal of new information was provided to Adams County regarding the Second Creek Interceptor project (PLN2019-00008). You are receiving this e-mail, because you previously provided comments regarding this case.

The new case material can be found at the following link: <u>http://www.adcogov.org/planning/currentcases</u>

If you have any new or additional comments please provide them to me by December 6, 2019.

| From:        | Nikki Sisneros [nikkisisneros@yahoo.com]   |
|--------------|--|
| Sent:        | Tuesday, July 23, 2019 12:53 PM  |
| То:          | Greg Barnes  |
| Cc:          | Joe Sisneros   |
| Subject:     | Second Street Interceptor, Case #PLN2019-00008                                     |
| Attachments: | July 22 letter to Greg Barnes.docx; IMG_3409.JPG; IMG_3419.JPG; IMG_3426.JPG; IMG_ |
|              | 3431.JPG; IMG_3334.JPG   |

Please be cautious: This email was sent from outside Adams County

Greg,

The attachments include our letter in response to the proposed easements.

Also attached are photos described as follows:

Photo #1 - The south portion of our property that is in the request for permanent and temporary easements.

Photo #2 - The proposed easements would go from the catalpa tree shown next to the shop to 120th avenue, removing all 12 spruce trees.

Photo #3 - The south side of 120th avenue looking at the fence line between the middle school and our property. This also shows where the pavement ends on the south side and the undeveloped property starts going east.

Photo #4 - The fence line between the middle school and our west property line where we propose the pipeline could cross 120th avenue to the south side and continue east.

Photo #5 - Looking at 120th avenue from our house.

Reference Map: Figure B-4: Project Area 3 Alternatives Data, page B-21, Adams County - 1041 Information Report

| From:<br>Sent: | Nikki Sisneros [nikkisisneros@yahoo.com]<br>Thursday, August 08, 2019 11:57 AM |
|----------------|--|
| То:            | Lopez, Claudia   |
| Cc:            | Greg Barnes  |
| Subject:       | Re: Metro Wastewater Reclamation District Project- Site Visit                  |

Please be cautious: This email was sent from outside Adams County

Claudia,

The only change we are requesting is rerouting the pipeline to the south of 120th Avenue directly across from us and continuing east to Potomac where it was already planned to cross. The chosen Alternative #3 would remain intact both before and after that point. Alternative plans #1 and #2 both list, under the category of PUBLIC FACILITY IMPACT, the statement "Access to the schools on the north side of East 120th Avenue will be affected, and the parking lots could be disrupted depending on the final alignment of the interceptor" but this is not listed under Alternative #3. The map clearly shows the pipeline going through the entire length of the middle school parking lot which should be even more reason to cross to the school and local traffic so I'm concerned that this fact was omitted from Alternative #3 and may have impacted the decision.

I would appreciate advance notice of any hearings or discussions regarding this pipeline where we could be in attendance. It does bother us that FUTURE and PLANNED parcels are given more consideration than a 20 year resident.

I do not have Craig's email and would appreciate you forwarding this to him and anyone else who is involved in the decision making process.

Thank you, Nikki Sisneros 303-886-9880

On Wednesday, August 7, 2019, 9:02:43 AM MDT, Lopez, Claudia < <u>Claudia.Lopez@hdrinc.com</u> > wrote:

Good morning Nikki,

This email follows up our site visit yesterday. Metro Wastewater Reclamation District selected the north side of 120th primarily due to the number of impacted parcels. There is potential to move to the south side of 120th (outside of ROW) but it would impact more parcels and a planned residential development which was not favored by the City of Brighton.

If you have any more question let me know, my number is 303-323-9850 and my email is Claudia. Lopez@hdrinc.com.

Thanks,

Claudia Lopez, RWA-GN

Real Estate Services Agent

HDR

1670 Broadway Suite 3400 D 303-323-9850M 813-516-7016 <u>Claudia.Lopez@hdrinc.com</u>

hdrinc.com/follow-us

From: Nikki Sisneros [mailto:nikkisisneros@yahoo.com] Sent: Wednesday, July 31, 2019 11:32 PM To: Lopez, Claudia <<u>Claudia.Lopez@hdrinc.com</u>> Subject: Re: Metro Wastewater Reclamation District Project- Site Visit

That will work for us. Thank you, Claudia.

Nikki Sisneros

Sent from my iPhone

On Jul 31, 2019, at 3:00 PM, Lopez, Claudia <<u>Claudia.Lopez@hdrinc.com</u>> wrote:

Good afternoon Nikki,

We will be able to be on site this coming Tuesday August 6<sup>th</sup> at 10am. Let me know if this works for you, otherwise we can reschedule it for some time later.

Thanks,

Claudia Lopez, RWA-GN

Real Estate Services Agent

HDR

1670 Broadway Suite 3400 D 303-323-9850M 813-516-7016 <u>Claudia.Lopez@hdrinc.com</u>

hdrinc.com/follow-us

| From:    | Steve Ward [stevew@asphaltspecialties.com]             |
|----------|--|
| Sent:    | Monday, July 22, 2019 9:57 AM                          |
| То:      | Greg Barnes  |
| Subject: | Second Creek Interceptor - comments on the application |

Please be cautious: This email was sent from outside Adams County

Greg-

Thanks for returning my call this morning.

Asphalt Specialties or related entities own property in the vicinity of 120<sup>th</sup> Ave and Brighton Road in unincorporated Adams County. The property is served by Brighton for water, but there is not sanitary sewer service available in the area. This fact alone is limiting redevelopment options for our property.

The Second Creek Interceptor line will run east and north of our property. Once it is in place, will it be possible for the area to then be served by Brighton for sanitary sewer?

Thanks.

Steve Ward 303-594-1433

 Asphalt Specialties Company, Inc

 10100 Dallas Street

 Henderson, CO 80640

 Direct Line:
 (720)322-7051

 Office:
 (303)289-8555

 Fax:
 (303)289-7707

 Cell:
 (303)594-1433

 Web:
 www.asphaltspecialties.com

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William J. "Mickey" Conway, District Manager

November 14, 2019

Mr. Greg Barnes, Planner III
Adams County Community and Economic Development Department
4430 South Adams County Parkway
1st Floor, Suite W2000A
Brighton, CO 80601

Re: Metro Wastewater Reclamation District Second Creek Interceptor Adams County Areas and Activities of State Interest Permit (1041) Application and Information Report; Adams County Project Number PLN2019-00008 Resubmittal No. 1

Dear Mr. Barnes:

In July 2019, the Metro Wastewater Reclamation District (Metro District or District) submitted to Adams County (County) an Application for an Areas and Activities of State Interest Permit (1041 Application) and associated Information Report (Report) for its Second Creek Interceptor (SD Interceptor or Project). On August 26, 2019, the County provided comments to the Metro District on the 1041 Application and Report.

The Metro District is submitting responses to comments provided by the County, referral agencies, and interested parties (Resubmittal No. 1) related to the 1041 Application and Report for the Project. Responses are based on Project information developed through the 50 percent design phase as well as County input and coordination. This Resubmittal No. 1 of the 1041 Application is the next step in the County's 1041 approval process, and the Resubmittal Form is provided in Attachment A.

Comments and responses are summarized in Table 1 in Attachment B. The Report was updated to reflect responses to County comments and the location of each response is provided in Table 1. Copies of the original County comments are provided in Attachment C. Redline and clean paper versions of the revised Report and 50 percent design plans are enclosed. Where figure updates were necessary, original figures were removed and replaced with updated versions for Report readability.

In response to County comments ENV1 and ENV2, environmental investigation reports are enclosed. The environmental investigation reports are for work completed to date and may be updated as the design progresses.

Digital copies of the Resubmittal Form, Table 1, County comments, revised Report (clean and redline versions), and environmental investigation reports are provided on the enclosed flash drive (labeled as "1041 App. and Report").

Substantive revisions made to the Report, not pertaining to comments addressed, are listed in Table 2 with references to the corresponding section(s). These revisions and minor updates are based on Project design progression and updated information.

| Table 2. Revis | sions and Updates to Resubmittal 1 |  |
|----------------|------------------------------------|--|
| (Not Per       | taining to County Comments)        |  |

| Revision/Update   | Location of<br>Revision/Update in Report  |
|---|---|
| Clarified potential decommissioning of immediate and<br>potential future lift stations as a result of SD Interceptor<br>construction  | Sections 1.1, 1.2.2, 5.5, 6.2.3,<br>7.2, 7.3, 10.2.2, and 13.2;<br>Section 1.1 – Figure 1-3             |
| Revised flow projections based on updated information from<br>the Metro District's Member Municipalities and Special<br>Connectors  | Section 1.2.1 – Tables 1-1, 1-<br>2, and 1-3  |
| Updated SD Interceptor diameters for the six project areas in<br>Adams County based on the updated flow projections   | Section 2.1 – Table 2-1;<br>Section 2.3 – Figure 2-1  |
| Removed Parcel No. 0157135000021 that abuts the west side<br>of Peoria Street and north side of E. 120th Ave, as temporary<br>and permanent easements are no longer required due to a<br>slight shift in the SD Interceptor alignment | Section 3.1 – Figure 3-2;<br>Section 3.3.1 – Table 3-1  |
| Updated and replaced parcel maps requiring temporary<br>and/or permanent easements for the SD Interceptor in Adams<br>County  | Section 3.1 – Figures 3-1<br>through 3-6  |
| Updated Project cost estimates based on design progression  | Section 5.1 – Table 5-1   |
| Replaced wetlands, open water, and riparian figures to include alignment refinements and updated mapping information  | Section 10.5.1 – Figures 10-14<br>through 10-22   |
| Added an evaluation of potential SD Interceptor construction<br>conflicts with existing Onsite Wastewater Treatment Systems<br>in unincorporated Adams County   | Section 10.11   |
| Updated agency, stakeholder, and public participation<br>meetings summary to include the meetings held since the<br>original Report submission  | Section 11.1 – Table 11-1   |
| Revised the existing well information within 100 feet of the SD<br>Interceptor alignment based on updated records on the<br>Colorado Division of Water Resources website  | Section 13.3.2 – Table 13-1<br>Section 13.3.2 – Figure 13-1   |
| Revised Report Appendices to reflect the changes above  | Appendix E - Balances<br>Between Benefits and Losses;<br>Appendix F - Monitoring and<br>Mitigation Plan |

Mr. Greg Barnes – Adams County SD Interceptor; 1041 Application Resubmittal No. 1 November 14, 2019 – Page 3

Based on County comments, the Metro District also updated the draft Intergovernmental Agreement (IGA) in an effort to keep information as relevant as possible throughout the County's 1041 approval process. A redline version of the draft IGA is provided for the County's review on the enclosed flash drive (labeled as "1041 – IGA").

The Metro District is committed to continuing to work closely with the County, referral agencies, and community to address comments as the Project moves forward. The District is hopeful that this collaboration will result in the Board of County Commissioners approval of the 1041 Application and associated IGA at a Public Hearing in spring/summer 2020. If you have any questions regarding the District's responses or the County would like further clarification, please contact Renee Paplow at 303.286.3384 or rpaplow@mwrd.dst.co.us.

Yours truly,

Caslesumen

Jo P. Win

Jon Wicke, P.E. Senior Engineer, Project Manager

| Enclosures:                               | Attachment A – Hesubmittal Form  |
|---|--|
|   | Attachment B – Table 1 Comment-Response Summary  |
|   | Attachment C - County Comments, August 26, 2019  |
|   | Report - clean and redline hard copies (1 each) and 50 percent Design Plans  |
|   | Environmental Investigation Reports (draft):   |
|   | <ul> <li>Waters of the U.S. Delineation Report, Second Creek Interceptor</li> <li>Class III Cultural Resources Inventory of the Second Creek Interceptor Project</li> <li>Hazardous Materials Assessment, Second Creek Interceptor</li> <li>Raptor Monitoring Protocol for Second Creek Interceptor</li> <li>Technical Memorandum – Spring/Summer 2019 Raptor Nest Survey</li> </ul> |
|   | "1041 App. and Report" Flash Drive - Documents above (excluding updated Draft IGA)   |
|   | "1041 - IGA" Flash Drive - Redline version of the updated Draft IGA  |
|   |  |
| 1. A. | 그렇게 잘 하는 것 같아요. 것 같아요. 것 같아요. 이 것 같아요. 같아요. 이 집에 있는 것 같아요.  |

Attendement A Desubasitiel Course

Jim Mallorey, Kelley Merritt, Renee Paplow, Craig Simmonds – Metro District Ashley Bradney, Mike Gossett, Steve Pool – HDR Ed Itell, Nathan Worker – Jacobs

C:



# APPENDIX G:

# NEIGHBORHOOD MEETING SUMMARY

(#8 ON CHECKLIST)

# SECOND CREEK PIPELINE

**General Public Sign-In** 

Second Creek Pipeline Neighborhood Meeting/Community Open House Thursday, May 9, 2019 | 5:00 – 7:00 pm

|    | Name         | Organization     | Email                          | Mailing A<br>(Street, City an |
|----|--------------|------------------|--------------------------------|-------------------------------|
| 1  | Juc Caney    | On chand Chardy  | Jaccuney east.com              | 875 Rese CT, 1                |
| 2  |              |                  | attas rthumming @ SD 27 J. net | 581 Farmhouse                 |
| 3  |              | ally of Brighton | Mwoodrutte brighterco, gov     |                               |
| 4  | Jolene Prill | Resident         | 3                              | 12375 Brigh                   |
| 5  |              |                  |                                |                               |
| 6  |              |                  |                                |                               |
| 7  |              |                  |                                |                               |
| 8  |              |                  |                                |                               |
| 9  |              |                  |                                |                               |
| 10 |              |                  |                                |                               |
| 11 |              |                  |                                |                               |
| 12 |              |                  |                                |                               |
| 13 |              |                  |                                |                               |
| 14 |              |                  |                                |                               |
| 15 |              |                  |                                |                               |



| Address<br>nd Zip Code) | Phone                             |
|-------------------------|-----------------------------------|
| Brighton, 80601<br>Way  | 3-478-8037<br>36594540            |
| ton Rel 80640           | 303-655-2241<br>507<br>3039816739 |
|                         |                                   |
|                         | 52                                |
|                         |                                   |
|                         |                                   |
|                         |                                   |

# SECOND CREEK PIPELINE

General Public Sign-In

Second Creek Pipeline Neighborhood Meeting/Community Open House Thursday, May 9, 2019 | 5:00 – 7:00 pm

|    | Name              | Organization     | Email                         | Mailing Ad<br>(Street, City and      |
|----|-------------------|------------------|-------------------------------|--------------------------------------|
| 1  | Alfred "Garaz     |                  |                               | 10321 E.123                          |
| 2  | Alfred Barenz     |                  |                               | 11901 SALEME                         |
| 3  | Laurnsimmens      | City of Brightin | Isimmons R brighton co. gov   |                                      |
| 4  | Loif Southwell    | , ,              | laif Southwella MSN. com      |                                      |
| 5  | ShirleyCutter     | Resident         | shirley. cutler@critigen. com | 12395 Brigh<br>Henderson,            |
| 6  | Daniel Storjohan  | resident         | dansmrock waol.com            | 10701 E 120 "                        |
| 7  | Dianna Kremheller | Hendersn         | Dianna Krem @ gmail. com      | 10391 E. 123+1 An<br>Henderson CO 50 |
| 8  | Jay Sherratt      | HENDERSON        |                               | 11965 E 120+<br>Henderson 806        |
| 9  |                   |                  |                               |                                      |
| 10 | -                 |                  |                               |                                      |
| 11 |                   |                  |                               |                                      |
| 12 |                   |                  |                               |                                      |
| 13 |                   |                  |                               |                                      |
| 14 |                   |                  |                               |                                      |
| 15 |                   |                  |                               |                                      |



| d <b>dress</b><br>nd Zip Code) | Phone                     |  |
|--------------------------------|---------------------------|--|
| Mare Homerpoor<br>ST           | 0                         |  |
| ton Rd<br>Co 90640             | 303-659.370/              |  |
| CO 90640                       | 303 324 2263              |  |
| 640                            | 720289 4124<br>3035657807 |  |
|                                |                           |  |
|                                |                           |  |
|                                |                           |  |
|                                |                           |  |

## PUBLIC COMMENT FORM

Name Dianna Kremheller Organization (if applicable)\_\_\_\_\_ Address 10391 E 12314 Ave, Henderson CD 80640 Email Address Dianna Krem@gmail. Com Phone Number 720-289-4124

| Please provide any additional comments on the Second Creek Pipeline below.<br>Will we ever have the opportunity to |        |       |          |            |  |
|--|--------|-------|----------|------------|--|
|  |        |       |          | on septic. |  |
| We live on   | E 123r | d Ave | + Highwa | ing 85.    |  |
|  |        |       |          |            |  |
|  |        |       |          |            |  |
|  |        |       |          |            |  |
|  |        |       |          |            |  |
|  |        |       |          |            |  |
|  |        |       |          |            |  |

www.metrowastewater.com/SecondCreek • SecondCreek@mwrd.dst.co.us (303) 286-3115 (English) • (303) 286-3116 (Español)

## PUBLIC COMMENT FORM

| Name Jolene   | Pr'ill Organ | ization (if applicable) | Resident      |
|---------------|--------------|-------------------------|---------------|
| Address_12375 | Brighton Rd  | Henderson               | 00 80640      |
| Email Address | •            | Phone Numbe             | ar 3039816739 |

#### Please provide any additional comments on the Second Creek Pipeline below.

| We are concerned with the   |
|---|
| digging in front of our property  |
| digging in front of our property<br>and the wells to be protected<br>once the placement of the pipeline |
| We want to be soce that we can  |
| the completion has been done.   |
| We want to know in advance when   |
| the access to Roads.  |
| Our wells are an asset to our property<br>and want to ensure we can still use.                          |
| We have 2 wells on both of our property   |

## PUBLIC COMMENT FORM

| Name  | SI  | cirley Cu          | tler       | Or    | ganization (if appli | cable)   |            |     |
|-------|-----|--------------------|------------|-------|----------------------|----------|------------|-----|
|       |     |                    |            | n Rd, | Hendersor            | , Co     | 80640      | _   |
| Email | Add | ress <u>Shirle</u> | ey, Eutles | @cri  | tigen.com Phone      | e Number | 303 659-37 | 101 |

Please provide any additional comments on the Second Creek Pipeline below. about ine Um WC 5 1.7.01 on 07 trenc Same our proper We. 102000 to wale OUN USE Din Vel 4 CI 1110 MS Th ardon Vega ta 1239 Vala to æ asset ou int 00 on each

www.metrowastewater.com/SecondCreek • SecondCreek@mwrd.dst.co.us (303) 286-3115 (English) • (303) 286-3116 (Español)

## PUBLIC COMMENT FORM

| Name ALFREDO GARCIA     | Organization (if applicable) |
|-------------------------|------------------------------|
| Address 10321 E. 123 Am | Hendrogen (\$ 806.40         |
| Email Address           | Phone Number 655-0976        |

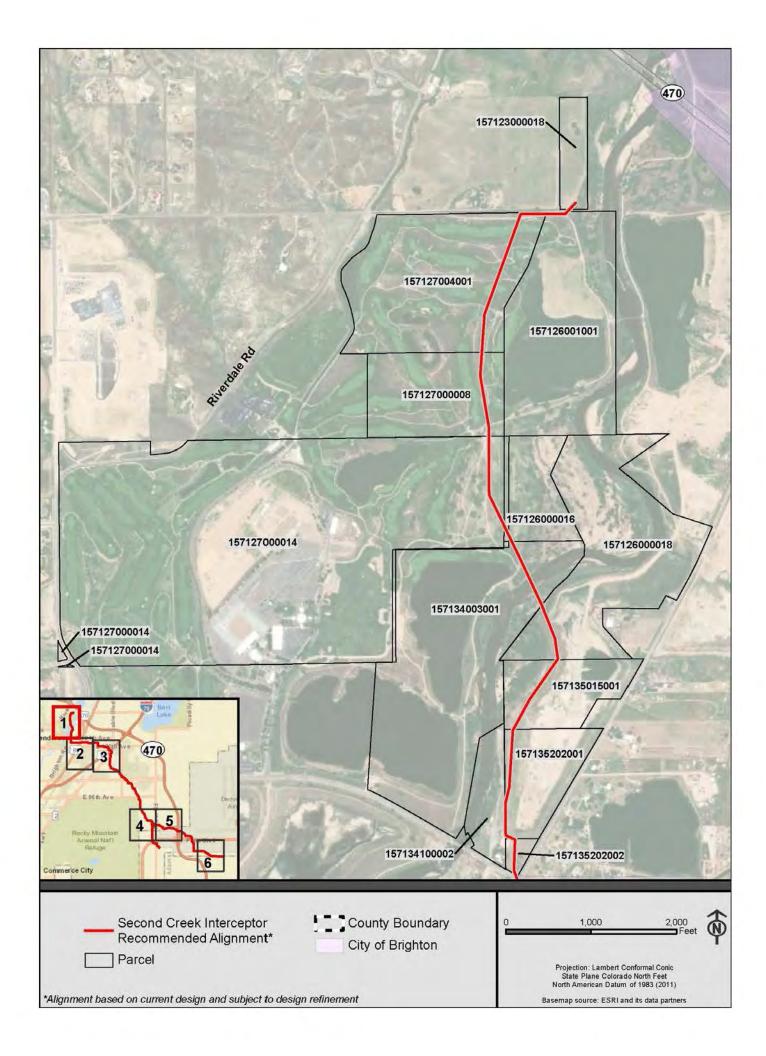
Please provide any additional comments on the Second Creek Pipeline below.

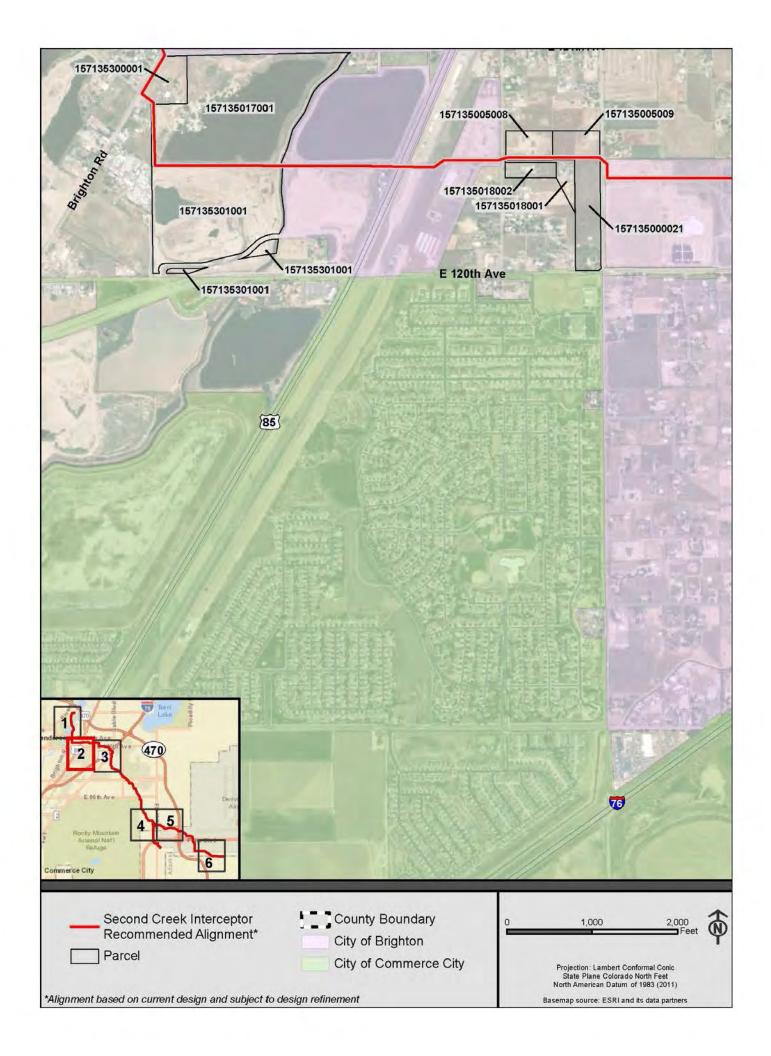
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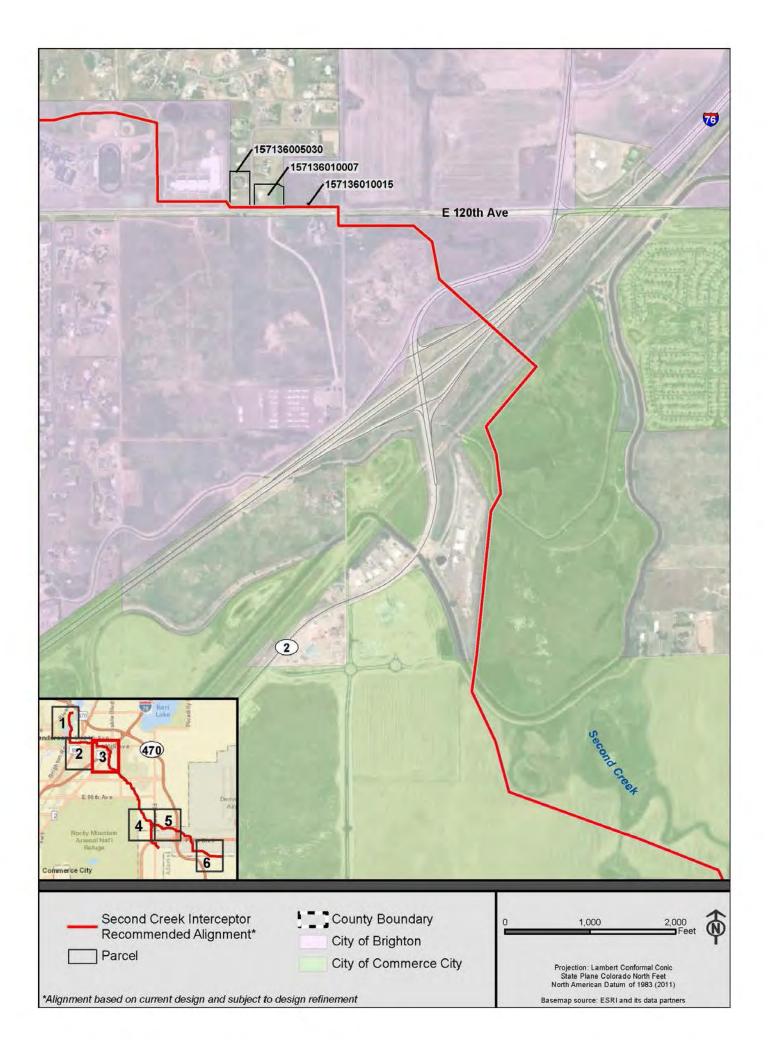
www.metrowastewater.com/SecondCreek • SecondCreek@mwrd.dst.co.us (303) 286-3115 (English) • (303) 286-3116 (Español) Attachment A

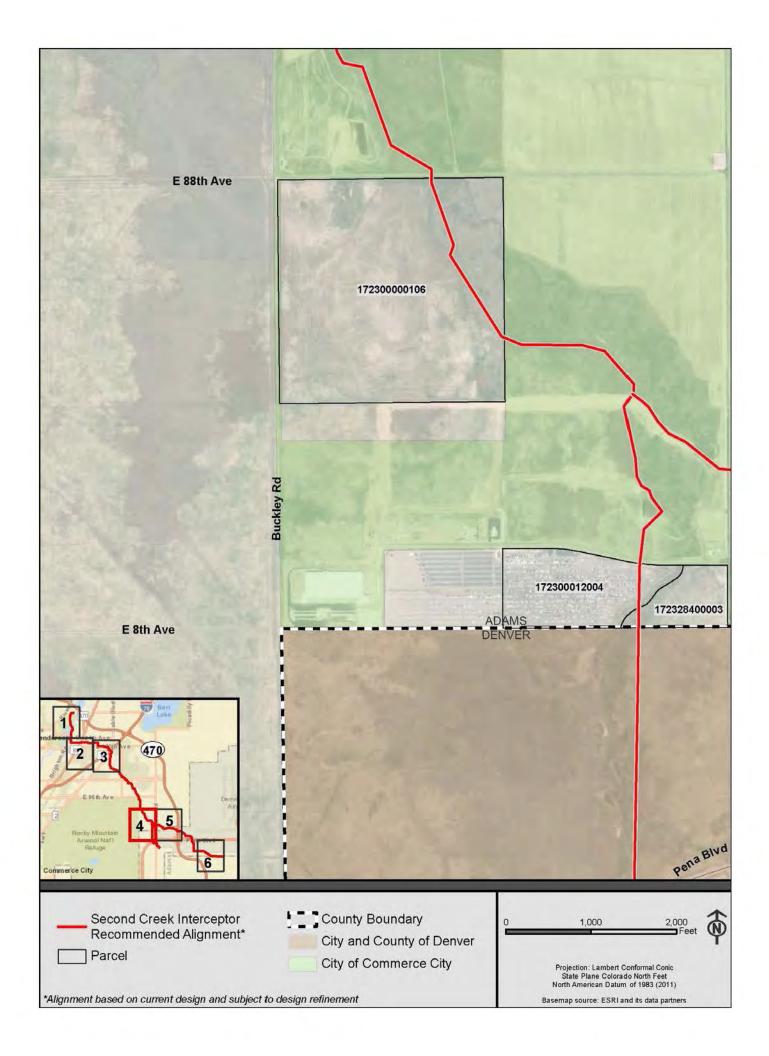
Adams County Parcel List and Maps

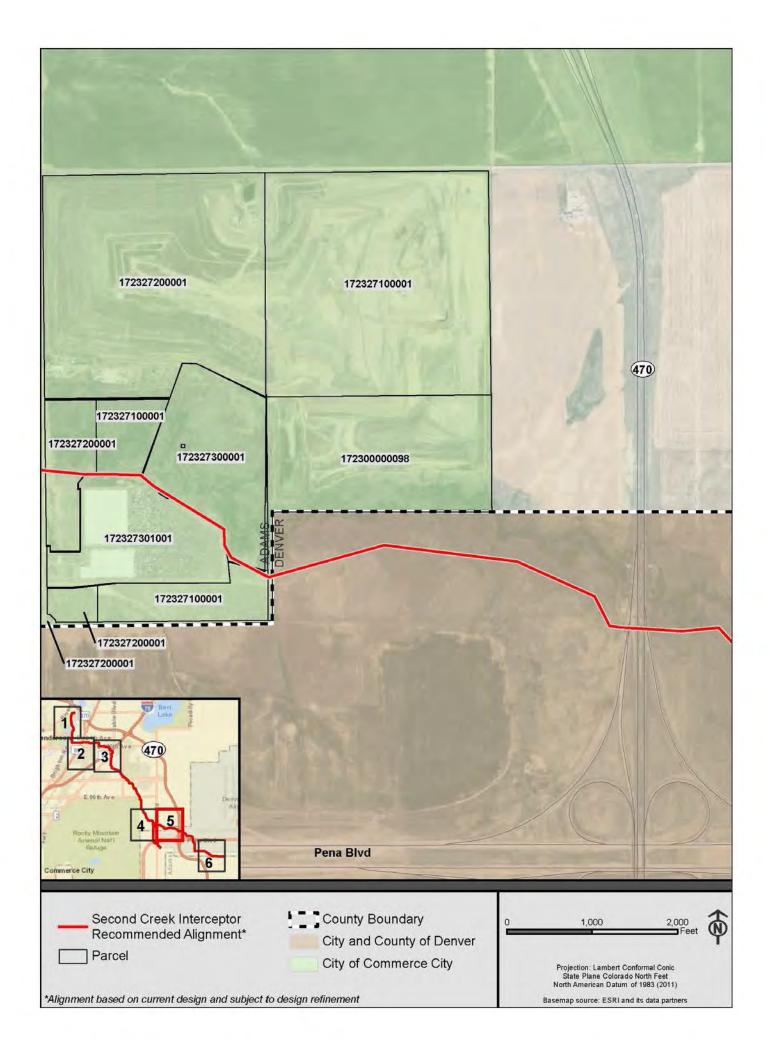
| Parcel No.    | Owner  | Zoning  | Comprehensive<br>Plan Designation |
|---------------|--|---------|-----------------------------------|
| 0157123000018 | BOARD OF COUNTY COMMISSIONERS COUNTY OF ADAMS                                    | A-3     | Parks and Open<br>Space           |
| 0157126001001 | BOARD OF COUNTY COMMISSIONERS COUNTY OF ADAMS                                    | A-3     | Parks and Open<br>Space           |
| 0157127004001 | BOARD OF COUNTY COMMISSIONERS COUNTY OF ADAMS                                    | A-3     | Parks and Open<br>Space           |
| 0157127000008 | BOARD OF COUNTY COMMISSIONERS COUNTY OF ADAMS                                    | A-3     | Parks and Open<br>Space           |
| 0157127000014 | BOARD OF COUNTY COMMISSIONERS COUNTY OF ADAMS                                    | A-3     | Parks and Open<br>Space           |
| 0157126000016 | BOARD OF COUNTY COMMISSIONERS COUNTY OF ADAMS                                    | A-3     | Parks and Open<br>Space           |
| 0157134003001 | BOARD OF COUNTY COMMISSIONERS COUNTY OF ADAMS                                    | A-3     | Parks and Open<br>Space           |
| 0157126000018 | HENDERSON AGGREGATE LTD.   | A-3     | Parks and Open<br>Space           |
| 0157135015001 | HENDERSON AGGREGATE LTD.   | A-3     | Agriculture                       |
| 0157135202001 | HENDERSON AGGREGATE LTD.   | A-3     | Estate Residential                |
| 0157134100002 | KROLL TRISHA/ALAN 25 PERCENT INT AND HAMILTON<br>PATRICIA L LIVING TRUST 75 PERC | A-3     | Agriculture                       |
| 0157135202002 | HAMILTON PATRICIA L LIVING TRUST THE   | A-1     | Estate Residential                |
| 0157135300001 | TRUNKENBOLZ LLC  | C-3     | Estate Residential                |
| 0157135017001 | HENDERSON WATER SKI CLUB LLC C/O TOM KRUEGER                                     | A-3     | Estate Residential                |
| 0157135301001 | 120 85 LLC   | A-3     | Estate Residential                |
| 0157135005008 | MONTOYA ROY ANTHONY  | A-2     | Estate Residential                |
| 0157135018001 | KENDRICK THOMAS E AND VENDEGNA ANGELA M  | A-1     | Estate Residential                |
| 0157135005009 | DIETZ CAROL W 1/2 INT AND DIETZ LEONARD P JR 1/2 INT                             | A-2     | Estate Residential                |
| 0157135000021 | SERNA ANDREW J AND SERNA TRACI S   | A-3     | Estate Residential                |
| 0157136005030 | SISNEROS JOE M AND NIKKI L   | A-1     | Estate Residential                |
| 0157136010007 | MARQUEZ HECTOR   | A-1     | Estate Residential                |
| 0157136010015 | FARNER WILLIAM H AND FARNER JACQULYN N   | A-1     | Estate Residential                |
| 0172300000106 | SCHUCK DIA LLC   | A-3     | Mixed Use<br>Employment           |
| 0172300012004 | COLORADO AIRPORT PARKING LLC   | I-1     | Mixed Use<br>Employment           |
| 0172328400003 | SCM-GRP VAN SCHAAK LLLP UND 8.5254% INT ET AL                                    | PUD (P) | Commercial                        |
| 0181900000013 | BOWIP PARTNERS LLC   | A-3     | Mixed Use<br>Employment           |
| 0182100000145 | CITY & COUNTY OF DENVER  | DIA     | Airport Reserve                   |
| 018190000012  | CITY & COUNTY OF DENVER  | DIA     | Airport Reserve                   |

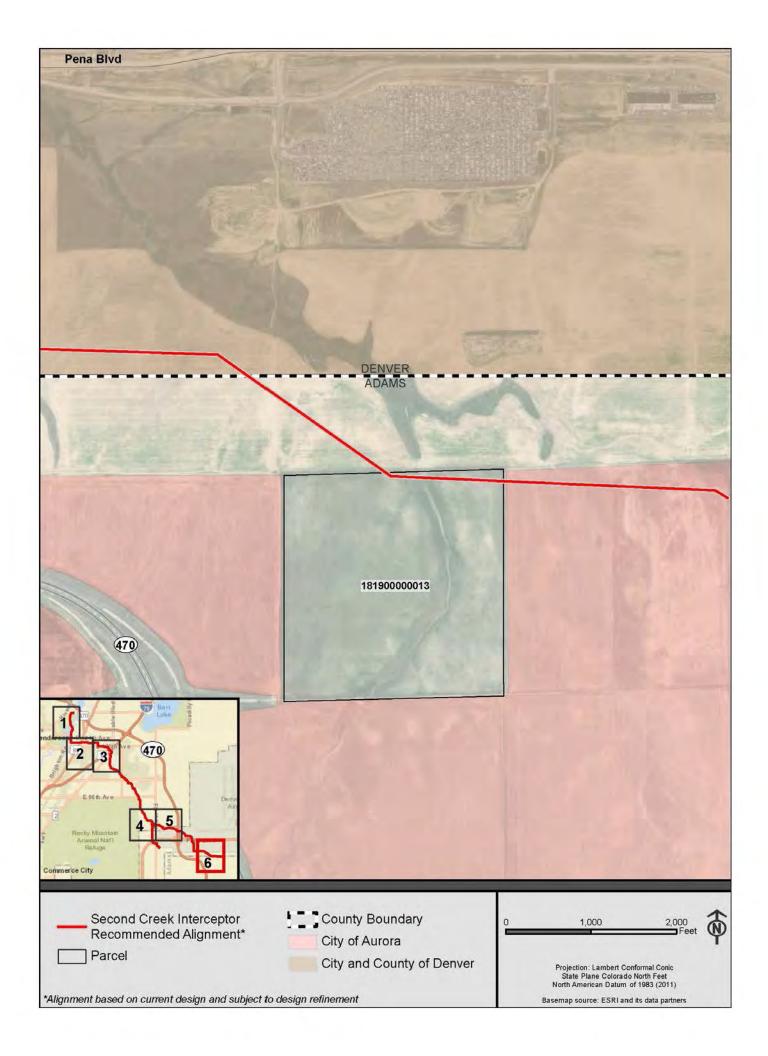






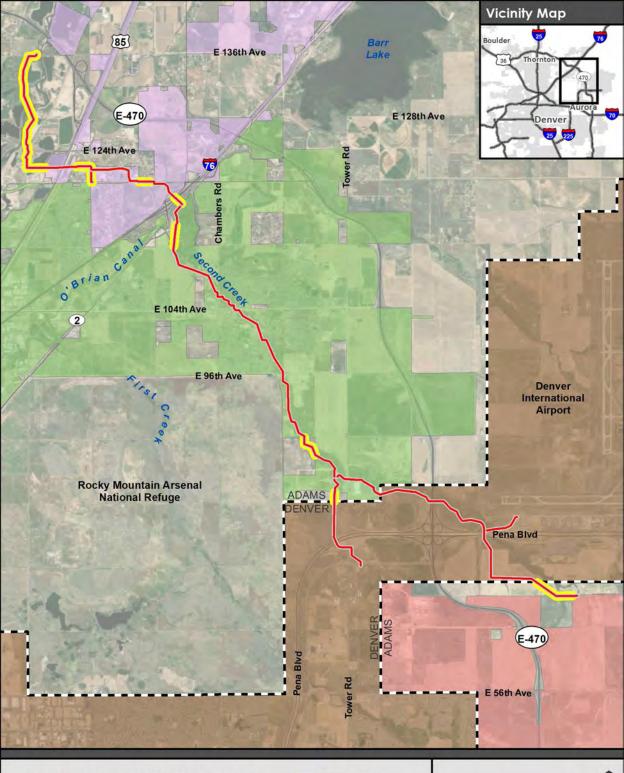






# Attachment B

# Second Creek Interceptor and Unincorporated Areas



Second Creek Interceptor Recommended Alignment\* Second Creek Interceptor Within Unincorporated Adams County City of Aurora City of Brighton City and County of Denver City of Commerce City

Miles

2

Projection: Lambert Conformal Conic State Plane Colorado North Feet North American Datum of 1983 (2011)

\*Alignment based on current design and subject to design refinement

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Basemap source: ESRI and its data partners
```

## Attachment C

# Neighborhood Meeting Summary and Mailing List

#### 1.0 NEIGHBORHOOD MEETING

#### 1.1 Meeting Overview

The Metro District promoted and hosted a Neighborhood/Scoping Meeting at the Riverdale Golf Courses on May 9, 2019, to provide information, answer questions, and gather public input regarding the SD Interceptor Project. The meeting was a combined event to satisfy the neighborhood meeting requirement for the Adams County 1041 and Brighton Conditional Use Permit, which was approved in advance by the respective agency case managers.

#### 1.2 Notification and Attendance

Notification postcards were mailed more than three weeks before the meeting to all residents and property owners located within 500 feet of the recommended alignment. A total of 1,246 notifications were mailed. The complete notification list is provided below.

#### 1.3 Summary

The meeting included open house discussions where members of the public could ask subject matter experts questions on the proposed interceptor alignment. After signing in and receiving a bilingual fact sheet regarding the alignment, attendees were encouraged to visit six stations to gather information, get questions answered from Project representatives, and submit comments. Each station had a series of topic-specific display boards, as well as supplemental maps and a flyover video of the interceptor alignment. The six information stations presented the following information:

- 1. Metro District Overview Two District facilities serve more than 2 million people and 60 local governments; service area map identifying those served by connectors to connectors.
- 2. Second Creek Interceptor Project Overview The Project's goal is to convey flow to the NTP while maintaining capacity at the RWHTF and expand the District's sustainable gravity flow transmission system. The SD Interceptor is the result of a collaborative effort to identify the best long-term water reclamation solution and enable portions of Aurora, Brighton, Commerce City, Denver, DEN, and South Adams County to be served by the NTP.
- 3. Project Design Overview of the interceptor alignment, facts, and design elements with a map of the alignment, as well as a flyover video illustrating the 17.5-mile alignment and surrounding area.
- 4. Project Construction Construction methods, including open-cut and trenchless, materials and facilities, what to expect during construction, minimizing construction impacts, current activity and Project schedule.
- 5. Regional Benefits Long-term infrastructure solution, regional collaboration, environmental stewardship, regional water reclamation service expansion, economic development, and community growth.
- 6. Public Comment

Thirteen people attended the meeting. Most attendees were property owners near the alignment, but other attendees included Brighton staff and representatives from the 27J School District and Orchard Church. Spanish language interpretation was offered to facilitate bilingual discussion, but was not required.

#### 1.4 Presentation Materials

Presentation materials, including the fact sheet and display boards, are provided in the 1041 application.

#### 1.5 Formal Comments

Most public meeting participants elected to ask questions and provide comments verbally to Project representatives, rather than complete written comment forms at the Public Comment station. The main themes identified in the comments included:

- Identify residential well systems and ensure the well location information is used during construction to prevent impacts. Wells are a vital asset for many property owners.
- Provide a construction schedule and notification of potential road closures.
- Ensure the interceptor works as planned and as needed for population growth.

Attendees also expressed interest in potential sewer line connections.

Community & Economic Development Department Development Services Division

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000B Brighton, CO 80601-8218 PHONE 720.523.6800 FAX 720.523.6967

# **Request for Comments**

Case Name: Second Creek Interceptor Case Number: PLN2019-00008

July 15, 2019

The Adams County Planning Commission is requesting comments on the following application: Areas and Activities of State Interest Permit and associated Intergovernmental Agreement to allow and construct the Second Creek Interceptor, a pipeline conveying wastewater. This request is located at 0 -. The Assessor's Parcel Number is 0157123000018, 0157126000016, 0157126000018, 0157126001001, 0157127000008, 0157127000014, 0157127004001, 0157134003001,

0157134100002, 0157135000021, 0157135005008, 0157135005009, 0157135015001, 0157135017001, 0157135018001, 0157135202001, 0157135202002, 0157135300001, 0157135301001, 0157136005030, 0157136010007, 0157136010015, 0172300000106, 0172300012004, 0172328400003, 0181900000012, 0181900000013, 0182100000145.

Applicant Information:

6450 YORK ST DENVER, CO 80229

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 (720) 523-6800 by 08/12/2019 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Greg Barnes Planner III

Charles "Chaz" Tedesco DISTRICT 2

BOARD OF COUNTY COMMISSIONERS

Emma Pinter DISTRICT 3 Steve O'Dorisio

Mary Hodge

Community & Economic Development Department Development Services Division

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000B Brighton, CO 80601-8218 PHONE 720.523.6800 FAX 720.523.6967

### **Public Hearing Notification**

Case Name: Case Number: Planning Commission Hearing Date: Board of County Commissioners Hearing Date: PLN2019-00008 Second Creek Interceptor July 23, 2020 at 6:00 p.m. August 11, 2020 at 9:30 a.m.

June 23, 2020

Public Hearings have been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following request: Areas and Activities of State Interest (AASI) Permit and associated Intergovernmental Agreement to allow and construct the Second Creek Interceptor, a pipeline conveying wastewater. The Assessor's Parcel Numbers associated with the request are: 0157123000018, 0157126000016, 0157126000018, 0157126001001, 0157127000008, 0157127000014, 0157127004001, 0157134003001, 0157134100002, 0157135000021, 0157135005008, 0157135005009, 0157135015001, 0157135017001, 0157135018001, 0157135202001, 015713502002, 0157135300001, 0157135301001, 0157136005030, 0157136010007, 0157136010015, 017230000106, 0172300012004, 0172328400003, 018190000012, 018190000013, and 0182100000145.

Applicant Information: Jon Wicke, Metro Wastewater Reclamation District, 6450 York St., Denver, CO 80229

The Planning Commission meeting will be held virtually using the Zoom video conferencing software and members of the public will be able to submit comments prior to the start of the public hearing that will then be entered into the record. For instructions on how to access the public hearing via telephone or internet, or to submit comment, please visit <u>http://www.adcogov.org/planning-commission</u> for up to date information.

The Board of County Commissioners meeting is broadcast live on the Adams County YouTube channel and members of the public will be able to submit comments prior to the start of the public hearing that will then be entered into the record. The eComment period opens when the agenda is published and closes at 4:30 p.m. the Monday prior to the noticed meeting. For instructions on how to access the public hearing and submit comments, please visit <u>http://www.adcogov.org/bocc</u> for up to date information.

Eva J. Henry DISTRICT 1 Charles "Chaz" Tedesco DISTRICT 2

BOARD OF COUNTY COMMISSIONERS

Emma Pinter DISTRICT 3 Steve O'Dorisio

Mary Hodge DISTRICT 5 These will be public hearings and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. The full text of the proposed request and additional colored maps can be obtained by accessing the Adams County Community and Economic Development Department website at <a href="http://www.adcogov.org/planning/currentcases">www.adcogov.org/planning/currentcases</a>.

Thank you for your review of this case.

Crog Ferr

Greg Barnes Planner III gibarnes@adcogov.org 720-523-6853

#### **PUBLICATION REQUEST**

Case Name: Second Creek Interceptor

Case Number: PLN2019-00008

Planning Commission Hearing Date: July 23, 2020 at 6:00 p.m.

Board of County Commissioners Hearing Date: August 11, 2020 at 9:30 a.m.

Case Manager: Greg Barnes, gjbarnes@adcogov.org, 720-523-6853

**Request:** Areas and Activities of State Interest Permit and associated Intergovernmental Agreement to allow and construct the Second Creek Interceptor, a pipeline conveying wastewater.

**Parcel Numbers:** 0157123000018, 0157126000016, 0157126000018, 0157126001001, 0157127000008, 0157127000014, 0157127004001, 0157134003001, 0157134100002, 0157135000021, 0157135005008, 0157135005009, 0157135015001, 0157135017001, 0157135018001, 0157135202001, 0157135202002, 0157135300001, 0157135301001, 0157136005030, 0157136010007, 0157136010015, 0172300000106, 0172300012004, 0172328400003, 0181900000012, 0181900000013, 0182100000145

Address of the Request: multiple sites throughout Adams County

Applicant: Jon Wicke, Metro Wastewater Reclamation District, 6450 York St., Denver, CO 80229

#### Virtual Meeting and Public Comment Information:

These meetings will be held virtually. Please visit <u>http://www.adcogov.org/planning-commission</u> and <u>http://www.adcogov.org/bocc</u> for up to date information on accessing the public hearings and submitting comment prior to the hearings. The full text of the proposed request and additional colored maps can be obtained by accessing the Adams County Community and Economic Development Department website at <u>www.adcogov.org/planning/currentcases</u>.

11485 E 124TH LLC C/O WARREN J COLLIER 14900 AKRON ST BRIGHTON CO 80602-5646

12235 OAKLAND STREET TRUST 90 W 84TH AVE DENVER CO 80260-4808

12330 BRIGHTON ROAD LLC 6885 LOWELL BLVD DENVER CO 80221-2652

136TH AND YOSEMITE LLC 90% INT AND TIMBERLEAF 146 LLC 10% INT PO BOX 247 EASTLAKE CO 80614-0247

2010-1 RADC/CADC PROPERTY XI LLC 4220 SHAWNEE MISSION PKWY STE 200-B FAIRWAY KS 66205-2571

2010-1 RADC/CADC VENTURE LLC 4220 SHAWNEE MISSION PKWY STE 200-B FAIRWAY KS 66205-2571

7-ELEVEN INC

DALLAS TX 75221-0711

PO BOX 711

ADAMS COUNTY HISTORICAL SOCIETY 9601 HENDERSON RD BRIGHTON CO 80601

ADAMS CROSSING LLC C/O WOODBURY CORPORATION 2733 E PARLEYS WAY SUITE 300 SALT LAKE CITY UT 84109

ALLIED WASTE SYSTEMS OF COLORADO C/O PROPERTY TAX DEPARTMENT PO BOX 29246 PHOENIX AZ 85038-9246

APPELHANZ SUBDIVISION LLC 5980 MONACO ST COMMERCE CITY CO 80022-4023

ARAGON JERRY AND ARAGON DANETTE 2551 W 52ND AVE DENVER CO 80221-1645

ARCUS SOUTHGATE LLC 4915 E BASELINE RD STE 105 GILBERT AZ 85234-2966

ASPHALT SPECIALTIES COMPANY INC 10100 DALLAS STREET HENDERSON CO 80640

8251 QUINTERO STREET COLORADO BRECKNELL INVE STORS LLC 2750 E 146TH ST STE 200 CARMEL IN 46033-7236

ACM HIGH POINT VI LLC ATTN MICHAEL SCHROEDER ESQ 4100 E MISSISSIPPI AVE STE 500 GLENDALE CO 80246-3053

ADAMS COUNTY 4430 SOUTH ADAMS COUNTY PKWY BRIGHTON CO 80601-8204 BARRON BARBARA FORBES 10888 E 120TH AVE

HENDERSON CO 80640

LOS ANGELES CA 90045-6114

AVR DENVER LLC 5235 W 104TH ST

BARRON BARBARA FORBES 10888 E 120TH AVE HENDERSON CO 80640-9736 BECKER DEREK W 4087 WOODGLEN BLVD THORNTON CO 80233

BILLINGS DARYL D AND BILLINGS JOYCE E PO BOX 143 HENDERSON CO 80640-0143

BILLINGS DARYL DEAN AND BILLINGS JOYCE ELAINE PO BOX 143 HENDERSON CO 80640-0143

BLOOD ANDREW RYAN 874 GAMBELS RD GRAND JUNCTION CO 81505-8618

BOARD OF COUNTY COMMISSIONERS COUNTY OF ADAMS 4430 S ADAMS COUNTY PKWY BRIGHTON CO 80601-8222

BOARD OF COUNTY COMMISSIONERS COUNTY OF ADAMS 4430 S ADAMS COUNTY PKWY BRIGHTON CO 80601

BOARD OF COUNTY COMMISSIONERS OF ADAMS COUNTY 4430 SOUTH ADAMS COUNTY PKWY BRIGHTON CO 80601-8204

BOARD OF COUNTY COMMISSIONERS OF ADAMS COUNTY 4430 S ADAMS COUNTY PKWY BRIGHTON CO 80601-8222

BOWIP PARTNERS LLC 4100 E MISSISSIPPI AVE STE 500 DENVER CO 80246-3053

BRIGHTON SCHOOL DISTRICT 27J 18551 E 160TH AVE BRIGHTON CO 80601-8519 BROMLEY DISTRICT WATER PROVIDERS LLC C/O BROMLEY COMPANIES LLC 8301 E PRENTICE AVE STE 100 GREENWOOD VILLAGE CO 80111-2904

BROMLEY KENNETH M JR AND BROMLEY LOU ELLEN 12600 BRIGHTON RD RT 3 BRIGHTON CO 80601

BUFFALO HIGHLANDS METROPOLITAN DISTRICT 141 UNION BLVD STE 150 LAKEWOOD CO 80228-1898

BURROWS CINDY S PO BOX 472 BERTHOUD CO 80513-0472

CARLSON CLAY 18/75% INT ET AL PO BOX 247 EASTLAKE CO 80614-0247

CARRILLO JESUS AND CARRILLO MARTHA 19920 E 58TH DR AURORA CO 80019-2031

CASAS-RODARTE DIONICIO 11821 EAST 121ST AVE HENDERSON CO 80640

CE ACQUISITIONS LLC 1440 IOLA ST UNIT B AURORA CO 80010-3392

CHAVEZ GUADALUPE 115 BERNARD CT FORT LUPTON CO 80621-7617

CITY AND COUNTY OF DENVER ATTN REAL ESTATE DEPT 8500 PENA BLVD DENVER CO 80249-6340 CITY OF BRIGHTON 500 S 4TH AVE BRIGHTON CO 80601-3165

CITY OF BRIGHTON THE 500 S 4TH AVE BRIGHTON CO 80601-3165

CITY OF COMMERCE CITY 7887 E 60TH AVE COMMERCE CITY CO 80022-4199

CITY OF COMMERCE CITY 7887 E 60TH AVE COMMERCE CITY CO 80022

CITY OF COMMERCE CITY THE 7887 E 60TH AVE COMMERCE CITY CO 80022-4199

CITY OF THORNTON 9500 CIVIC CENTER DR THORNTON CO 80229

COHILL ELIZABETH AND SAGER ROBERT HARRY 12480 E 124TH HENDERSON CO 80640-9412

COLORADO AIRPORT PARKING LLC 8575 TANGLEWOOD ROAD FRANKTOWN CO 80116

CORNERSTONE CHRISTIAN ACADEMY 12000 ZUNI ST WESTMINSTER CO 80234-2331

CORNERSTONE CHRISTIAN ACADEMY 12000 ZUNI ST DENVER CO 80234-2331 CORPORATION OF THE RESIDING BISHOP OF THE CHURCH OF JESUS CHRIST OF LATTER-DAY 50 E NORTH TEMPLE FLOOR 22 SALT LAKE CITY UT 84150-3620

COUNTY OF ADAMS 4430 SOUTH ADAMS COUNTY PKWY BRIGHTON CO 80601-8204

COUNTY OF ADAMS BOARD OF COUNTY COMMISSIONERS 4430 SOUTH ADAMS COUNTY PKWY BRGHTON CO 80601-8204

COUNTY OF ADAMS THE 4430 SOUTH ADAMS COUNTY PKWY BRIGHTON CO 80601-8204

COUNTY OF ADAMS THE 4430 S ADAMS COUNTY PKWY BRIGHTON CO 80601-8222

COUNTY OF ADAMS THE 9755 HENDERSON RD BRIGHTON CO 80601-8114

CROM RAYMOND L PO BOX 33 HENDERSON CO 80640-0033

CUTLER ROBERT L AND CUTLER SHIRLEY E 12395 BRIGHTON RD HENDERSON CO 80640

D AND L LEASING LLC 8765 E 127TH CT BRIGHTON CO 80602-8111

DIA TECH CENTER LLC 2 N CASCADE AVE STE 1280 COLORADO SPRINGS CO 80903-1631 DIA TECH CENTER LLC 2 N CASCADE AVE STE 1280 COLORADO SPRINGS CO 80903-1620

DIATC METROPOLITAN DISTRICT 450 E 17TH AVE SUITE 400 DENVER CO 80203-1214

DIBC CARGO LLC C/O L C FULENWIDER INC 1125 17TH ST SUITE 2500 DENVER CO 80202-2092

DIBC CARGO LLC 1125 17TH ST NO. 2500 DENVER CO 80202-2092

DIETZ CAROL W 1/2 INT AND DIETZ LEONARD P JR 1/2 INT PO BOX 441 GEORGETOWN CO 80444-0441

DILL AMY ANNE 13850 RIVERDALE RD BRIGHTON CO 80602-8255

ENLOE VICKIE I 4928 HOLLY STREET KANSAS CITY MO 64112

FARNER THOMAS A 12311 PEORIA ST HENDERSON CO 80640-9650

FARNER WILLIAM H AND FARNER JACQULYN N 1075 WCR 61 KEENESBURG CO 80643

FISCHER RONALD G AND FISCHER KATHY M 10990 E 120TH AVE HENDERSON CO 80640 FROST GERALDINE H TRUST THE PO BOX 23 HENDERSON CO 80640-0023

FULLMER QUE JAY AND FULLMER DEBORA JEAN 3200 S HWY 27 PO BOX 986 SYRACUSE KS 67878

GALLEGOS REINALDO E AND GALLEGOS MARIANNE 14970 CLINTON ST BRIGHTON CO 80602-5671

GLENEAGLE ESTATES HOMEOWNERS ASSOCIATION INC 23 INVERNESS WAY E STE 200 ENGLEWOOD CO 80112-5758

GUERIN RICHARD L PO BOX 116 HENDERSON CO 80640

HAMILTON PATRICIA L LIVING TRUST THE 10485 HENDERSON RD BRIGHTON CO 80601-8111

HENDERSON AGGREGATE LTD 7321 E 88TH AVE STE 100 HENDERSON CO 80640-8137

HENDERSON AGGREGATE LTD 7321 E 88TH AVE HENDERSON CO 80640-8137

HENDERSON AGGREGATE LTD PO BOX 700 HENDERSON CO 80640-9329

HENDERSON AGGREGATE LTD PO BOX 700 HENDERSON CO 80640 HENDERSON WATER SKI CLUB LLC C/O TOM KRUEGER 15037 W 49TH PLACE GOLDEN CO 80403

HOLSTINE RONALD R 3655 OTIS ST WHEAT RIDGE CO 80033-6450

HOLSTINE RONALD R 3655 OTIS STREET WHEAT RIDGE CO 80033

HYATT TIMOTHY AND HYATT EIZABETH 12151 OAKLAND ST COMMERCE CITY CO 80640-9632

JD BRIGHTON INC 12020 WHEELING ST BRIGHTON CO 80601-7181

JR MORGANTI CESARE E 1147 PEAKVIEW DRIVE CASTLE ROCK CO 80109

KIM SO YEON 12345 BRIGHTON ROAD HENDERSON CO 80640

KIRBY KIRK LEVI 10221 E 120TH AVE HENDERSON CO 80640-9745

LA CRESTA ENTERPRISES-CO LLC C/O 7-ELEVEN INC ATTN TAX DEPT #36013 PO BOX 711 DALLAS TX 75221-0711

LANCASTER LEW M 12300 BRIGHTON ROAD HENDERSON CO 80640 LARES-KARAGEORGIS GEORGE ET AL 2582 WYNTERBROOK DR HIGHLANDS RANCH CO 80126-4519

LORENTZ JON O AND LORENTZ DONNA R 5460 E 117TH AVE THORNTON CO 80233

LOW LADISLAV LARRY C/O MARJORIE A HERZBERGER, PR THORNTON CO 80241-2748

LRK LLC C/O RUSSEL W BAUMGARTNER/MANAGER 3038 N 159TH DR GOODYEAR AZ 85395-6427

MARQUEZ HECTOR 12080 WHEELING ST BRIGHTON CO 80601-7181

MASTERSON CLINTON JAMES 520 CARDINAL ST FAIRMONT MN 56031-4544

MONTOYA RUBEN A 12110 OAKLAND ST HENDERSON CO 80640-9631

MORGANTI CESARE E 1147 S PEAK VIEW DR CASTLE ROCK CO 80109-9524

NELSON ANNE J 17227 W 12TH AVE GOLDEN CO 80401-2899

OFF DON AND JEANNE PARTNERSHIP 10495 E 120TH AVE HENDERSON CO 80640-9742 ORCHARD CHURCH THE 10422 HEINZ WAY UNIT A HENDERSON CO 80640-8475

PARK N FLY LLC 1942 BROADWAY STE 314C BOULDER CO 80302-5213

PEARSON BEN 12230 BRIGHTON ROAD HENDERSON CO 80640

PENA MANUELA VERONICA MOLINA 1201 W THORNTON PKWY LOT 197 THORNTON CO 80260-5420

RAMIREZ ARTURO 14116 GLENCOE ST THORNTON CO 80602-7999

RASUL LAILUMA 6842 E 131ST DR THORNTON CO 80602-6950

RODRIGUEZ-RONQUILLO SANDRA C AND RODRIGUEZ-RONQUILLO SAUL 10285 E 112TH WAY HENDERSON CO 80640-9357

SABLE ROGER 12270 BRIGHTON RD HENDERSON CO 80640-9750

SASAKI FAMILY PARTNERSHIP LLLP 697 VOILES DR BRIGHTON CO 80601-3322

SBRM HOTELS COLORADO LLC 7350 E PROGRESS PL STE 100 GREENWOOD VILLAGE CO 80111-2130 SCHOOL DISTRICT NO.27J 18551 E 160TH AVENUE BRIGHTON CO 80601

SCHUCK DIA LLC 2 N CASCADE AVE STE 1280 COLORADO SPRINGS CO 80903-1631

SCHUMANN VERNA M 8501 E 104TH AVE HENDERSON CO 80640-8923

SCM-GRP VAN SCHAAK LLLP UND 8.5254% INT ET AL 1242 E JACKSON ST PHOENIX AZ 85034-2342

SECOND CREEK HOLDINGS LLC 9033 E EASTER PL STE 112 CENTENNIAL CO 80112-2105

SEXAUER KEVIN 201 E CLEVELAND ST LAFAYETTE CO 80026-2340

SHIRABA LLC 12153 MOLINE STREET HENDERSON CO 80640

SHURTLEFF JOSEPH AND SHURTLEFF MINDY PO BOX 55 HENDERSON CO 80640-0055

SINGH RASHPAL AND KAUR RAJWANT 13767 120TH AVE BRIGHTON CO 80601

SPARROW DONAVON N AND BARRON BARBARA J 10888 E 120TH AVE HENDERSON CO 80640-9736 STILLWATER HOMEOWNERS ASSOCIATION INC 783 VALLEJO STREET DENVER CO 80204

SWEETMAN JAMES K PO BOX 321 HENDERSON CO 80640

THOMS TIMOTHY G PO BOX 18 11010 E 120TH AVE NO. B HENDERSON CO 80640-9732

THOMS TIMOTHY G PO BOX 18 11010 E 120TH AVE B HENDERSON CO 80640

TOWER 81ST LLC 5753 SHASTA CIR LITTLETON CO 80123-2732

TRUNKENBOLZ FREDRICK A LIVING TRUST 1/2 TRUNKENBOLZ ELSIE R LIVING TRUST 1/2 609 S 1ST AVE BRIGHTON CO 80601-3001

TRUNKENBOLZ LLC 609 S 1ST AVE BRIGHTON CO 80601-3001

UNION PACIFIC RAILROAD COMPANY C/O PROPERTY TAX DEPARTMENT 1400 DOUGLAS STOP 1640 OMAHA NE 68179-1640

UNITED STATES OF AMERICA 5650 HAVANA STREET COMMERCE CITY CO 80022

VAUGHN JOHNIE 12650 TUCSON ST HENDERSON CO 80640 WANN JAMES D P O BOX 367 HENDERSON CO 80640

WEP ROYALTY HOLDINGS LLC 14000 QUAIL SPRINGS PKWY STE 5000 OKLAHOMA CITY OK 73134-2619

ZIGAN HOMEOWNERS ASSOCIATION 10801 E 124TH AVE BRIGHTON CO 80601-7114

120 85 LLC OR CURRENT RESIDENT 10925 E 120TH AVE HENDERSON CO 80640-9733

A LANDSCAPE SUPPLY LLC OR CURRENT RESIDENT 10701 E 120TH AVE HENDERSON CO 80640-9737

ACKLAM CHRIS THOMAS AND ACKLAM DOROTHY JANE OR CURRENT RESIDENT 10280 E 120TH AVE HENDERSON CO 80640-9746

ADAME JOSE RAUL AND ADAME CONSUELO OR CURRENT RESIDENT 11285 E 124TH AVE BRIGHTON CO 80601-7114

ALGRIM DALE R II AND ALGRIM DIONE S OR CURRENT RESIDENT 8695 E 130TH AVE THORNTON CO 80602-9203

ALONSO REYNALDO OR CURRENT RESIDENT 11225 E 124TH AVENUE BRIGHTON CO 80601

APPELHANZ JOHN JAMES REVOCABLE TRUST OR CURRENT RESIDENT 13245 RIVERDALE RD BRIGHTON CO 80602-8105 ARNOLD LARRY L AND ARNOLD SHARON E OR CURRENT RESIDENT 12700 BRIGHTON RD BRIGHTON CO 80601-7346

BAILEY CRAIG L OR CURRENT RESIDENT 11735 E 119TH AVE HENDERSON CO 80640-7410

BAKER ALAN S AND BAKER TAMARA D OR CURRENT RESIDENT 8655 E 130TH AVE THORNTON CO 80602-9203

BARRINGER CHERIE AND BAILEY SHIRLEY F OR CURRENT RESIDENT 12280 OAKLAND STREET HENDERSON CO 80640

BEHRMANN LARRY JOHN AND STINNETT SHERYL LYNN OR CURRENT RESIDENT 11275 E 124TH AVE BRIGHTON CO 80601

BELUSCAK CONNIE JEAN AND BELUSCAK VINCENT J OR CURRENT RESIDENT 10757 E 124TH AVE BRIGHTON CO 80601-7138

BENSON RONDA A OR CURRENT RESIDENT 11835 E 121ST AVE HENDERSON CO 80640-9617

BHATT JULIAN P AND BHATT TERESA D OR CURRENT RESIDENT 8755 E 130TH AVE THORNTON CO 80602-9204

BLISS WILLIAM G AND BLISS CHARLENE M OR CURRENT RESIDENT 12460 BRIGHTON RD BRIGHTON CO 80601-7350

BOSTROM SHARON A OR CURRENT RESIDENT 12550 BRIGHTON RD BRIGHTON CO 80601-7350 BOWMAN JAMES AND ANDREWS SHELLI A OR CURRENT RESIDENT 11930 E 121ST AVE HENDERSON CO 80640-9616

BRADY JIM AND BRADY LEANN OR CURRENT RESIDENT 12990 XANTHIA CT THORNTON CO 80602-8128

BREWSTER HANS JOACHIM AND LYNDA L OR CURRENT RESIDENT 12170 OAKLAND ST HENDERSON CO 80640-9631

BROMLEY WINIFRED LEE OR CURRENT RESIDENT 12801 BRIGHTON RD BRIGHTON CO 80601-7341

BURBACK MELVIN W OR CURRENT RESIDENT 12199 BRIGHTON RD HENDERSON CO 80640-9751

CAHLANDER SUSAN M AND DUNN JAMES J OR CURRENT RESIDENT 12121 OAKLAND ST HENDERSON CO 80640-9632

CASEY ROBERT E REVOCABLE TRUST OR CURRENT RESIDENT 12975 XANTHIA CT THORNTON CO 80602-8127

CLARK MELVIN M/VICKI L REVOCABLE TRUST THE OR CURRENT RESIDENT 10381 E 123RD AVE HENDERSON CO 80640-7436

COOPER GEORGE E AND COOPER PEGGY L OR CURRENT RESIDENT 13465 E 121ST PL BRIGHTON CO 80601

COOPER SCOTT RICHARD AND COOPER TRACY DANEEN OR CURRENT RESIDENT 12420 BRIGHTON RD BRIGHTON CO 80601-7350 CROSS BARBARA AND CRESPIN ROBERT F SR OR CURRENT RESIDENT 11845 E 121ST AVE HENDERSON CO 80640

CUTLER ROBERT L AND CUTLER SHIRLEY E OR CURRENT RESIDENT 12395 BRIGHTON RD HENDERSON CO 80640-9747

DEARDORFF DENNIS J AND DEARDORFF DEBRA A W OR CURRENT RESIDENT 13293 BRIGHTON RD BRIGHTON CO 80601-7348

DIETZ JUDY OR CURRENT RESIDENT 12291 PEORIA ST HENDERSON CO 80640

DURAN JONI LYNN OR CURRENT RESIDENT 12240 PEORIA ST HENDERSON CO 80640-9639

EINSPAHR NORMAN J AND EINSPAHR CHARLENE R OR CURRENT RESIDENT 12840 BRIGHTON RD BRIGHTON CO 80601

ENRIGHT DOUGLAS J AND FERNANDEZ LUCINDA M OR CURRENT RESIDENT 12965 XANTHIA COURT THORNTON CO 80602

EVANOFF JOE A/LORIE A AS TRUSTEES OF THE JOE AND LORIE EVANOFF LIVING TRUST OR CURRENT RESIDENT 11941 RACINE CT HENDERSON CO 80640-9100

FARNER THOMAS A OR CURRENT RESIDENT 12311 PEORIA ST HENDERSON CO 80640-9650

FINLAY GRETA/NATALIJA/TEREZIJA OR CURRENT RESIDENT 12060 WHEELING ST BRIGHTON CO 80601 FISCHER RONALD G TRUST THE OR CURRENT RESIDENT 10990 E 120TH AVE HENDERSON CO 80640-9734

GARCIA ALFREDO AND GARCIA ADELINA R OR CURRENT RESIDENT 10321 E 123RD AVE HENDERSON CO 80640-7436

GARCIA GILBERTO AND MEDINA BEATRIZ OR CURRENT RESIDENT 12360 E 124TH AVE HENDERSON CO 80640-9414

GIOSO MICHELLE L AND GIOSO PAUL R OR CURRENT RESIDENT 12928 WABASH CT THORNTON CO 80602-8249

GONZALEZ ADRAIN AND MARTINEZ MARIA OR CURRENT RESIDENT 12085 WHEELING ST BRIGHTON CO 80601-7182

GONZALEZ JUAN ANTONIO OR CURRENT RESIDENT 11726 E 119TH PL HENDERSON CO 80640-7416

GONZALEZ OSCAR J AND GONZALEZ LORNA L OR CURRENT RESIDENT 12210 E 120TH AVE BRIGHTON CO 80601-7140

GUERRERO DORA OR CURRENT RESIDENT 11736 E 119TH PL HENDERSON CO 80640-7416

HANSON ROBERT S AND HANSON TERRIE L OR CURRENT RESIDENT 11001 E 120TH AVE HENDERSON CO 80640-9731

HARTNAGLE CAROL AND MADSEN KEN OR CURRENT RESIDENT 12121 POTOMAC ST BRIGHTON CO 80601 HEINTZ VERHN D AND HEINTZ MARLENE E OR CURRENT RESIDENT 11780 E 120TH AVE HENDERSON CO 80640

HEINZ ROBERT A OR CURRENT RESIDENT 12730 BRIGHTON RD BRIGHTON CO 80601-7346

HITNER STANLEY K AND HITNER MARY AND HITNER BRICE OR CURRENT RESIDENT 11951 E 120TH AVE BRIGHTON CO 80601

HOFMANN JOHN AND HOFMANN JESSICA OR CURRENT RESIDENT 8825 E 130TH AVE THORNTON CO 80602-9205

HYATT TIMOTHY AND HYATT ELIZABETH OR CURRENT RESIDENT 12151 OAKLAND ST HENDERSON CO 80640-9632

IRBY KENT M AND IRBY LORI A OR CURRENT RESIDENT 11961 RACINE CT HENDERSON CO 80640

ISBELL LARRY AND ISBELL DONNA OR CURRENT RESIDENT 12211 BRIGHTON RD HENDERSON CO 80640-9749

KENDRICK THOMAS E AND VENDEGNA ANGELA M OR CURRENT RESIDENT 12190 OAKLAND ST HENDERSON CO 80640-9631

KIRBY KIRK LEVI OR CURRENT RESIDENT 10221 E 120TH AVE HENDERSON CO 80640-9745

KREMER DANNY DUAINE AND KREMER JACQULINE JEAN OR CURRENT RESIDENT 10371 E 123RD AVE HENDERSON CO 80640-7436 KREMHELLER DIANNA O AND KREMHELLER DAVID B OR CURRENT RESIDENT 10391 E 123RD AVE HENDERSON CO 80640-7436

KRIZMANICH CHARLES W OR CURRENT RESIDENT 11920 E 124TH AVE HENDERSON CO 80640

KROLL TRISHA/ALAN 25 PERCENT INT AND HAMILTON PATRICIA L LIVING TRUST 75 PERC OR CURRENT RESIDENT 10485 HENDERSON RD BRIGHTON CO 80601-8111

LAND-OLSON MARCIE AND OLSON SHANE C OR CURRENT RESIDENT 8777 E 127TH COURT BRIGHTON CO 80602

LITTLE STACEY AND BARNES-LITTLE JACQUELYN OR CURRENT RESIDENT 12160 OAKLAND ST HENDERSON CO 80640

MARQUEZ HECTOR OR CURRENT RESIDENT 12020 WHEELING ST BRIGHTON CO 80601

MARQUEZ HECTOR OR CURRENT RESIDENT 12080 WHEELING ST BRIGHTON CO 80601-7181

MCCORMICK SUSAN L AND MCCORMICK BRIAN OR CURRENT RESIDENT 12995 XANTHIA CT THORNTON CO 80602-8127

MERICH DAVID L OR CURRENT RESIDENT 11855 E 121ST AVENUE HENDERSON CO 80640

MILO NICHOLAS J OR CURRENT RESIDENT 12365 OAKLAND ST HENDERSON CO 80640-9633 MITCHELL MICHAEL OR CURRENT RESIDENT 8441 E 130TH CIR THORNTON CO 80602-9201

MONTOYA MICHAEL AND SANDRA OR CURRENT RESIDENT 10800 E 126TH AVE BRIGHTON CO 80601

MONTOYA ROY ANTHONY OR CURRENT RESIDENT 12200 OAKLAND STREET HENDERSON CO 80640

NELSON CONSTANCE H OR CURRENT RESIDENT 11810 E 124TH AVE HENDERSON CO 80640-9612

OFF DON AND JEANNE PARTNERSHIP OR CURRENT RESIDENT 10495 E 120TH AVE HENDERSON CO 80640-9742

OKADA DERICK J AND CYNTHIA L OR CURRENT RESIDENT 12065 WHEELING ST HENDERSON CO 80640-8851

ORCHARD CHURCH THE OR CURRENT RESIDENT 12405 E 120TH AVE HENDERSON CO 80640-9607

ORTA AGUSTIN AND ORTA JOSEPHINA OR CURRENT RESIDENT 12180 E 120TH AVE BRIGHTON CO 80601

OTTEN BEVERLY OR CURRENT RESIDENT 12980 XANTHIA COURT THORNTON CO 80602

PAWLAK MATTHEW AND NATHALIE OR CURRENT RESIDENT 12500 BRIGHTON RD BRIGHTON CO 80601 PEARSON BEN E OR CURRENT RESIDENT 12197 BRIGHTON RD HENDERSON CO 80640-9751

POLCYN RAYMOND L OR CURRENT RESIDENT 12209 BRIGHTON RD HENDERSON CO 80640-9749

PRILL MICHAEL J AND PRILL JOLENE L OR CURRENT RESIDENT 12375 BRIGHTON RD HENDERSON CO 80640-9747

RAMIREZ SAUL OR CURRENT RESIDENT 12360 OAKLAND ST HENDERSON CO 80640-9634

RATHKE KENNETH AND RATHKE YOLANDA OR CURRENT RESIDENT 12919 WABASH COURT THORNTON CO 80602

REICHARDT CARL E AND REICHARDT THERESE M OR CURRENT RESIDENT 12340 OAKLAND ST HENDERSON CO 80640-9634

RUSSELL GRACE OR CURRENT RESIDENT 13185 BRIGHTON RD BRIGHTON CO 80601-7341

SANDOVAL AMERICA AND RUIZ JOSE W OR CURRENT RESIDENT 12081 OAKLAND STREET HENDERSON CO 80640

SCHEERE MELISSA OR CURRENT RESIDENT 11900 E 124TH AVE HENDERSON CO 80640-9610

SERNA ANDREW J AND SERNA TRACI S OR CURRENT RESIDENT 12061 E 120TH AVE BRIGHTON CO 80601-7139 SHIPPY RONALD OR CURRENT RESIDENT 12301 PEORIA ST HENDERSON CO 80640-9650

SHIRABA LLC OR CURRENT RESIDENT 12331 PEORIA ST HENDERSON CO 80640-9650

SHIRABA LLC OR CURRENT RESIDENT 12153 MOLINE STREET HENDERSON CO 80640

SHURTLEFF JOSEPH W AND SHURTLEFF MINDY OR CURRENT RESIDENT 12221 BRIGHTON RD HENDERSON CO 80640

SHURTLEFF JOSEPH W AND SHURTLEFF MINDY OR CURRENT RESIDENT 12770 BRIGHTON RD BRIGHTON CO 80601

SIDHU GURPREET AND SIDHU MANDEEP OR CURRENT RESIDENT 8461 E 130TH CIR THORNTON CO 80602-9201

SINGH RASHPAL AND KAUR RAJWANT OR CURRENT RESIDENT 13767 E 120TH AVE BRIGHTON CO 80601-7141

SISNEROS JOE M AND NIKKI L OR CURRENT RESIDENT 12045 WHEELING ST HENDERSON CO 80640-8851

SPARROW DONAVON N AND BARRON BARBARA J OR CURRENT RESIDENT 10888 E 120TH AVE HENDERSON CO 80640-9736

STANTON SCOTT AND STANTON DEBBIE OR CURRENT RESIDENT 8451 E 130TH CIR THORNTON CO 80602-9201 STREMEL JOSEPH E AND STREMEL DONNA J OR CURRENT RESIDENT 12918 WABASH CT THORNTON CO 80602-8249

SUMMONS WAYNE L OR CURRENT RESIDENT 12985 XANTHIA COURT THORNTON CO 80602

SWEETMAN KEVIN W AND SWEETMAN JOLENE M OR CURRENT RESIDENT 11920 BRIGHTON RD HENDERSON CO 80640-9322

TAPPARO TED OR CURRENT RESIDENT 11980 E 124TH AVE HENDERSON CO 80640-9610

THOMPSON JAMES AND THOMPSON LING OR CURRENT RESIDENT 8745 E 127TH CT BRIGHTON CO 80602-8111

UPCHURCH DENISE MARIE/UPCHURCH MATTHEW RAY A ND UPCHURCH BRITTNEY FAYE/UPCHURCH BETHANY MARIE OR CURRENT RESIDENT 12270 BRIGHTON RD HENDERSON CO 80640-9750

UPCHURCH MATTHEW R AND UPCHURCH DENISE M OR CURRENT RESIDENT 12271 BRIGHTON RD HENDERSON CO 80640

VALDEZ JESSE R AND VALDEZ TERRY L OR CURRENT RESIDENT 12290 PEORIA ST HENDERSON CO 80640-9639

VAUGHN TODD L AND VAUGHN LAURA L OR CURRENT RESIDENT 11221 E 124TH AVE BRIGHTON CO 80601

WHITE BRENNON D SEELY AND MANDEVILLE SHELBY OR CURRENT RESIDENT 11880 E 124TH AVE HENDERSON CO 80640-9612 WHITE JEFFREY J AND WHITE JUDY A OR CURRENT RESIDENT 12290 BRIGHTON RD HENDERSON CO 80640-9750

WRIGHT CLAYTON T OR CURRENT RESIDENT 12398 OAKLAND ST HENDERSON CO 80640-9634

YANG CHONG WA AND HER KHOU OR CURRENT RESIDENT 11991 RACINE CT HENDERSON CO 80640-9100

ZIGAN FLORIAN B OR CURRENT RESIDENT 10801 E 124TH AVE BRIGHTON CO 80601-7114

ZIGAN STEVEN AND JONI OR CURRENT RESIDENT 10900 E 126TH AVE BRIGHTON CO 80601

CURRENT RESIDENT 18000 E 81ST AVE COMMERCE CITY CO 80022-9400

CURRENT RESIDENT 8100 TOWER RD COMMERCE CITY CO 80022-9405

CURRENT RESIDENT 8480 TOWER RD COMMERCE CITY CO 80022-9405

CURRENT RESIDENT 17010 E 88TH AVE COMMERCE CITY CO 80022-9407

CURRENT RESIDENT 10800 E 124TH AVE BRIGHTON CO 80601-7114 CURRENT RESIDENT 11288 E 124TH AVE BRIGHTON CO 80601-7114

CURRENT RESIDENT 11290 E 124TH AVE BRIGHTON CO 80601-7114

CURRENT RESIDENT 11970 POTOMAC ST BRIGHTON CO 80601-7128

CURRENT RESIDENT 13630 E 120TH AVE BRIGHTON CO 80601-7164

CURRENT RESIDENT 11485 E 124TH AVE BRIGHTON CO 80601-7173

CURRENT RESIDENT 13535 E 121ST PL BRIGHTON CO 80601-7179

CURRENT RESIDENT 12280 SABLE BLVD BRIGHTON CO 80601-7186

CURRENT RESIDENT 12840 BRIGHTON RD BRIGHTON CO 80601-7342

CURRENT RESIDENT 12735 BRIGHTON RD BRIGHTON CO 80601-7345

CURRENT RESIDENT 12600 BRIGHTON RD BRIGHTON CO 80601-7351 CURRENT RESIDENT 11100 E 126TH AVE BRIGHTON CO 80601-7402

CURRENT RESIDENT 8765 E 127TH CT BRIGHTON CO 80602-8111

CURRENT RESIDENT 13251 YOSEMITE ST THORNTON CO 80602-8118

CURRENT RESIDENT 12970 XANTHIA CT THORNTON CO 80602-8128

CURRENT RESIDENT 13300 RIVERDALE RD BRIGHTON CO 80602-8175

CURRENT RESIDENT 13751 RIVERDALE RD BRIGHTON CO 80602-8210

CURRENT RESIDENT 10365 E 136TH AVE BRIGHTON CO 80602-8218

CURRENT RESIDENT 8471 E 130TH CIR THORNTON CO 80602-9201

CURRENT RESIDENT 8550 E 130TH AVE THORNTON CO 80602-9202

CURRENT RESIDENT 12005 E 119TH AVE COMMERCE CITY CO 80640-7437 CURRENT RESIDENT 11880 PEORIA ST HENDERSON CO 80640-9120

CURRENT RESIDENT 10655 E 120TH CT COMMERCE CITY CO 80640-9141

CURRENT RESIDENT 12909 E 120TH AVE HENDERSON CO 80640-9146

CURRENT RESIDENT 12915 E 120TH AVE HENDERSON CO 80640-9146

CURRENT RESIDENT 12480 E 124TH AVE HENDERSON CO 80640-9412

CURRENT RESIDENT 11750 E 124TH AVE HENDERSON CO 80640-9602

CURRENT RESIDENT 11992 E 124TH AVE HENDERSON CO 80640-9610

CURRENT RESIDENT 11821 E 121ST AVE HENDERSON CO 80640-9617

CURRENT RESIDENT 11825 E 121ST AVE HENDERSON CO 80640-9617

CURRENT RESIDENT 11829 E 121ST AVE HENDERSON CO 80640-9617 CURRENT RESIDENT 12010 OAKLAND ST COMMERCE CITY CO 80640-9629

CURRENT RESIDENT 12100 OAKLAND ST COMMERCE CITY CO 80640-9631

CURRENT RESIDENT 12150 OAKLAND ST COMMERCE CITY CO 80640-9631

CURRENT RESIDENT 12180 OAKLAND ST COMMERCE CITY CO 80640-9631

CURRENT RESIDENT 12300 OAKLAND ST COMMERCE CITY CO 80640-9634

CURRENT RESIDENT 12235 OAKLAND ST COMMERCE CITY CO 80640-9635

CURRENT RESIDENT 12271 PEORIA ST HENDERSON CO 80640-9638

CURRENT RESIDENT 12220 PEORIA ST HENDERSON CO 80640-9639

CURRENT RESIDENT 11000 E 120TH AVE HENDERSON CO 80640-9732

CURRENT RESIDENT 10223 E 120TH AVE HENDERSON CO 80640-9745 CURRENT RESIDENT 12345 BRIGHTON RD HENDERSON CO 80640-9747

CURRENT RESIDENT 12389 BRIGHTON RD HENDERSON CO 80640-9747

CURRENT RESIDENT 12300 BRIGHTON RD HENDERSON CO 80640-9748

CURRENT RESIDENT 12330 BRIGHTON RD HENDERSON CO 80640-9748

CURRENT RESIDENT 12350 BRIGHTON RD HENDERSON CO 80640-9748

CURRENT RESIDENT 12251 BRIGHTON RD HENDERSON CO 80640-9749

CURRENT RESIDENT 12291 BRIGHTON RD HENDERSON CO 80640-9749

CURRENT RESIDENT 12200 BRIGHTON RD HENDERSON CO 80640-9750

CURRENT RESIDENT 12202 BRIGHTON RD HENDERSON CO 80640-9750

CURRENT RESIDENT 12230 BRIGHTON RD HENDERSON CO 80640-9750 CURRENT RESIDENT 12240 BRIGHTON RD HENDERSON CO 80640-9750

CURRENT RESIDENT 12260 BRIGHTON RD HENDERSON CO 80640-9750



#### Referral Listing Case Number PLN2019-00008 Second Creek Interceptor

| Agency  | Contact Information  |
|---|--|
| ADAMS ARAPAHOE SCHOOL DISTRICT 28J                                  | Joshua Hensley<br>15701 E 1ST AVE STE 206<br>AURORA CO 80011<br>303-365-7812<br>jdhensley@aurorak12.org  |
| Adams County Attorney's Office                                      | Christine Fitch<br>4430 S Adams County Pkwy<br>Brighton CO 80601<br>720-523-6352<br>CFitch@adcogov.org   |
| Adams County CEDD Development Services Engineer                     | Devt. Services Engineering<br>4430 S. Adams County Pkwy.<br>Brighton CO 80601<br>720-523-6800            |
| Adams County CEDD Right-of-Way                                      | Mark Alessi<br>4430 S. Adams County Pkwy.<br>Brighton CO 80601<br>720-523-6837<br>malessi@adcogov.org    |
| Adams County Community Safety & Wellbeing, Neighborhood<br>Services | Gail Moon<br>4430 S. Adams County Pkwy.<br>Brighton CO 80601<br>720-523-6856<br>gmoon@adcogov.org        |
| Adams County Development Services - Building                        | Justin Blair<br>4430 S Adams County Pkwy<br>Brighton CO 80601<br>720-523-6825<br>JBlair@adcogov.org      |
| Adams County Parks and Open Space Department                        | Aaron Clark<br>(303) 637-8005<br>aclark@adcogov.org  |
| Adams County Parks and Open Space Department                        | Marc Pedrucci<br>303-637-8014<br>mpedrucci@adcogov.org   |
| ADAMS COUNTY SCHOOL DISTRICT 14                                     | Leo Rodriguez<br>5291 E. 60th Avenue<br>COMMERCE CITY CO 80022<br>303.853.3217<br>Irodriguez@adams14.org |

| Agency                                      | Contact Information   |
|---|---|
| Adams County Sheriff's Office               | Rick Reigenborn<br>(303) 654-1850<br>rreigenborn@adcogov.org  |
| Adams County Sheriff's Office               | 303-655-3283<br>CommunityConnections@adcogov.org  |
| BRIGHTON FIRE DISTRICT                      | Whitney Even<br>500 South 4th Avenue<br>3rd Floor<br>BRIGHTON CO 80601<br>(303) 659-4101<br>planreviews@brightonfire.org      |
| BRIGHTON SCHOOL DISTRICT 27J                | Kerrie Monti<br>1850 EGBERT STREET<br>SUITE 140, BOX 6<br>BRIGHTON CO 80601<br>303-655-2984<br>kmonti@sd27j.net               |
| CDOT Colorado Department of Transportation  | Bradley Sheehan<br>2829 W. Howard Pl.<br>2nd Floor<br>Denver CO 80204<br>303.757.9891<br>bradley.sheehan@state.co.us          |
| Century Link, Inc                           | Brandyn Wiedreich<br>5325 Zuni St, Rm 728<br>Denver CO 80221<br>720-578-3724 720-245-0029<br>brandyn.wiedrich@centurylink.com |
| CITY OF AURORA - WATER AND SAN. DEPT.       | PETER BINNEY<br>15151 E ALAMEDA PKWY #3600<br>AURORA CO 80012<br>303-739-7370<br>pbinney@ci.aurora.co.us                      |
| CITY OF AURORA ATTN: PLANNING DEPARTMENT    | Porter Ingrum<br>15151 E ALAMEDA PKWY 2ND FLOOR<br>AURORA CO 80012<br>(303) 739-7227 303.739.7000<br>pingrum@auroragov.org    |
| CITY OF BRIGHTON - Planning                 | Jason Bradford<br>500 S 4th Ave<br>BRIGHTON CO 80601<br>303-655-2024<br>jbradford@brightonco.gov                              |
| CITY OF BRIGHTON - WATER & SANATATION DEPT. | ED BURKE<br>500 S. 4th Ave, 4th Floor<br>BRIGHTON CO 80601<br>303-655-2084<br>eburke@brightonco.gov                           |

| Agency                          | Contact Information   |
|---------------------------------|---|
| CITY OF THORNTON                | JASON O'SHEA<br>9500 CIVIC CENTER DR<br>THORNTON CO 80229<br>0  |
| CITY OF THORNTON                | Lori Hight<br>9500 CIVIC CENTER DRIVE<br>THORNTON CO 80229<br>303-538-7670<br>developmentsubmittals@cityofthornton.net. |
| CITY OF THORNTON                | JIM KAISER<br>12450 N WASHINGTON<br>THORNTON CO 80241<br>720-977-6266   |
| COLORADO DEPT OF TRANSPORTATION | Steve Loeffler<br>2000 S. Holly St.<br>Region 1<br>Denver CO 80222<br>303-757-9891<br>steven.loeffler@state.co.us       |
| COLORADO INTERNATION CENTER     | BJ MURATA<br>141 UNION BLVD., SUITE 150<br>LAKEWOOD CO 80228<br>303-987-0835  |
| COMCAST                         | JOE LOWE<br>8490 N UMITILLA ST<br>FEDERAL HEIGHTS CO 80260<br>303-603-5039<br>thomas_lowe@cable.comcast.com             |
| Commerce City Planning Division | Domenic Martinelli<br>7887 East 60th Avenue<br>COMMERCE CITY CO 80022<br>303-289-3693<br>dmartinelli@c3gov.com          |
| METRO WASTEWATER RECLAMATION    | CRAIG SIMMONDS<br>6450 YORK ST.<br>DENVER CO 80229<br>303-286-3338<br>CSIMMONDS@MWRD.DST.CO.US                          |
| NORTH METRO FIRE DISTRICT       | Steve Gosselin<br>101 Lamar Street<br>Broomfield CO 80020<br>(303) 452-9910<br>sgosselin@northmetrofire.org             |
| NS - Code Compliance            | Gail Moon<br>gmoon@adcogov.org<br>720.523.6833<br>gmoon@adcogov.org   |
| NS - Code Compliance            | Joaquin Flores<br>720.523.6207<br>jflores@adcogov.org   |

| Agency  | Contact Information  |
|---|--|
| REGIONAL TRANSPORTATION DIST.                 | Engineering RTD<br>1560 BROADWAY SUITE 700<br>DENVER CO 80202<br>303-299-2439<br>engineering@rtd-denver.com          |
| Riverdale Peaks Metro District                | Lisa Johnson<br>141 Union Blvd, Suite 150<br>Lakewood CO 80228<br>303-987-0835<br>ljohnson@sdmsi.com                 |
| SABLE ATURA FIRE DIST.                        | Kammy Tinney<br>26900 E. COLFAX AVE SPACE 52<br>AURORA CO 80018<br>303-364-7187<br>admin@sablesIturefire.org         |
| SOUTH ADAMS CO. FIRE DISTRICT                 | Randall Weigum<br>6050 Syracuse Street<br>COMMERCE CITY CO 80022<br>720-573-9790<br>rweigum@sacfd.org                |
| SOUTH ADAMS CO. FIRE DISTRICT                 | - Fire Prevention Division<br>6050 Syracuse Street<br>Commerce City CO 80022<br>303-288-0835<br>planreview@sacfd.org |
| South Adams County Water & San Dist           | Abel Moreno<br>10200 E 102nd Ave<br>Henderson CO 80022<br>720-206-0590<br>amoreno@sacwsd.org                         |
| THORNTON FIRE DEPARTMENT                      | Chad Mccollum<br>9500 Civic Center Drive<br>THORNTON CO 80229-4326<br>303-538-7602<br>firedept@cityofthornton.net    |
| TRI-COUNTY HEALTH DEPARTMENT                  | MONTE DEATRICH<br>4201 E. 72ND AVENUE SUITE D<br>COMMERCE CITY CO 80022<br>(303) 288-6816<br>mdeatrich@tchd.org      |
| TRI-COUNTY HEALTH DEPARTMENT                  | Sheila Lynch<br>6162 S WILLOW DR, SUITE 100<br>GREENWOOD VILLAGE CO 80111<br>720-200-1571<br>landuse@tchd.org        |
| Tri-County Health: Mail CHECK to Sheila Lynch | Tri-County Health<br>landuse@tchd.org  |

| Agency                 | Contact Information  |
|------------------------|--|
| UNION PACIFIC RAILROAD | Anna Dancer<br>1400 DOUGLAS ST STOP 1690<br>OMAHA NE 68179<br>402-544-2255<br>aldancer@up.com      |
| United Power           | <br>303-659-0551<br>platreferral@unitedpower.com   |
| Xcel Energy            | Donna George<br>1123 W 3rd Ave<br>DENVER CO 80223<br>303-571-3306<br>Donna.L.George@xcelenergy.com |
| Xcel Energy            | Donna George<br>1123 W 3rd Ave<br>DENVER CO 80223<br>303-571-3306<br>Donna.L.George@xcelenergy.com |

## **CERTIFICATE OF POSTING**



I, J. Gregory Barnes do hereby certify that I posted at the Adams County Regional Park on July 7, 2020 in accordance with the requirements of the Adams County Development Standards and Regulations.

J Lezozbo

J. Gregory Barnes

# PLN2019-00008 Second Creek Interceptor

August 11, 2020 Board of County Commissioners

Community and Economic Development Department Case Manager: Greg Barnes



## Request

- Intergovernmental Agreement (IGA) with Metro Wastewater Reclamation District for Areas and Activities of State Interest (AASI)
- Wastewater Conveyance Pipeline
  - 17 miles overall, spanning 3 Counties
  - 5 miles in unincorporated Adams County
  - 28 parcels

# Background

- Key infrastructure for MWRD's long-term planning for the Second Creek and Sand Creek basins.
  - Collects flows
  - Conveys by gravity
  - Destination: Northern Treatment Plant (Brighton)
- Pipe Construction
  - 24-60 inches in diameter
  - Construction width 120 feet wide
  - Road Crossings: Tower Road, East 96<sup>th</sup> Avenue, East 104<sup>th</sup> Avenue, I-76, East 120<sup>th</sup> Avenue, and US Hwy 85

# Intergovernmental Agreement

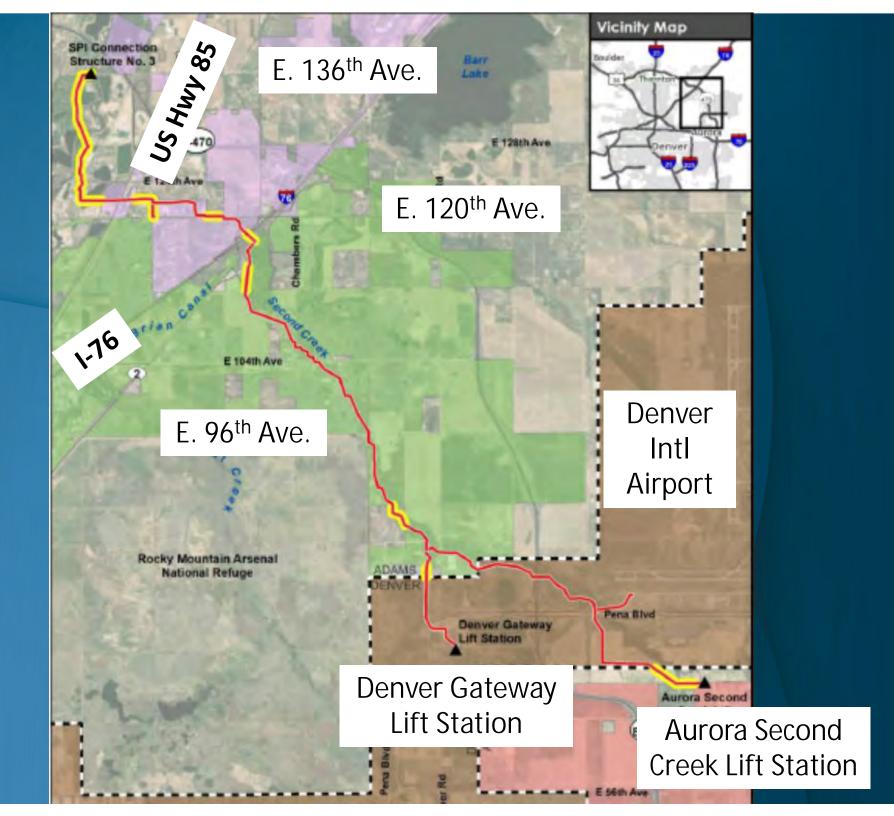
Section 6-16

- IGA in lieu of AASI approval
- Does not go before the Planning Commission
- Staff advertised a Planning Commission hearing
- Information/Public Comment
- No vote required

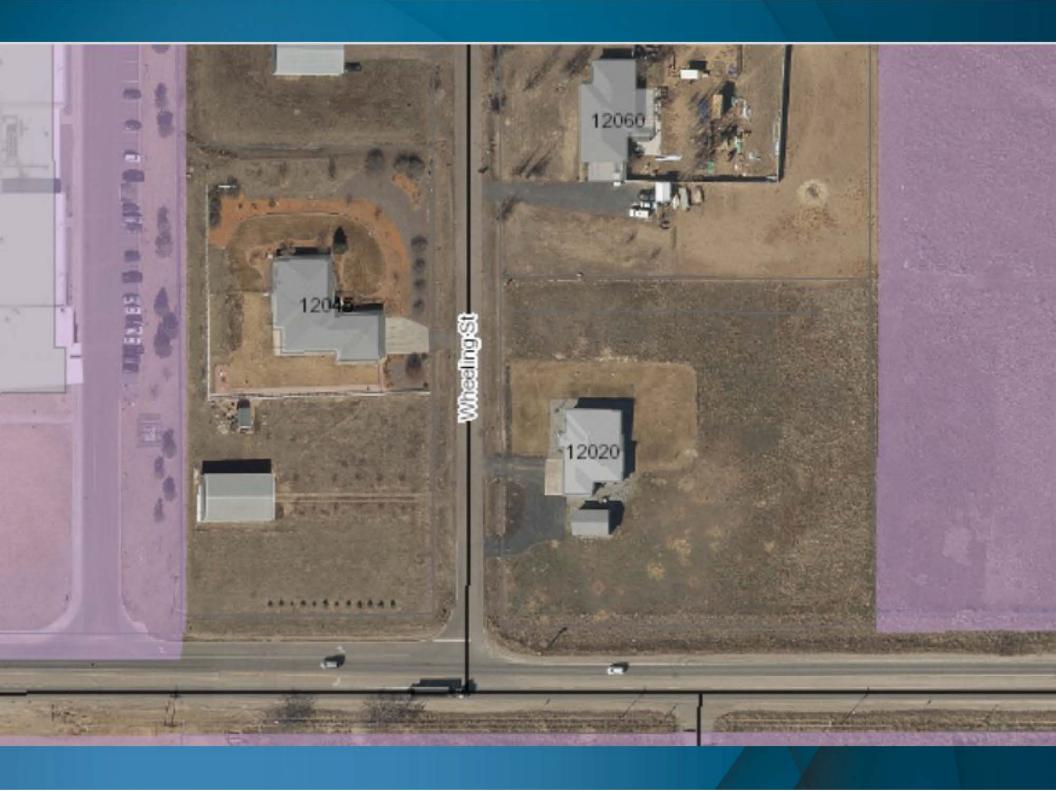
# Criteria for IGA/ AASI

Section 6-16

- Conform to the Comprehensive Plan
- Compatible with surrounding area
- Must not create a nuisance or negatively impact transportation
- Technically and financially feasible
- Must not significantly degrade the environment
- Include consideration for relevant regional water quality plans
- Must not negatively impact recreational or agricultural activities
- Must serve the needs of increasing population

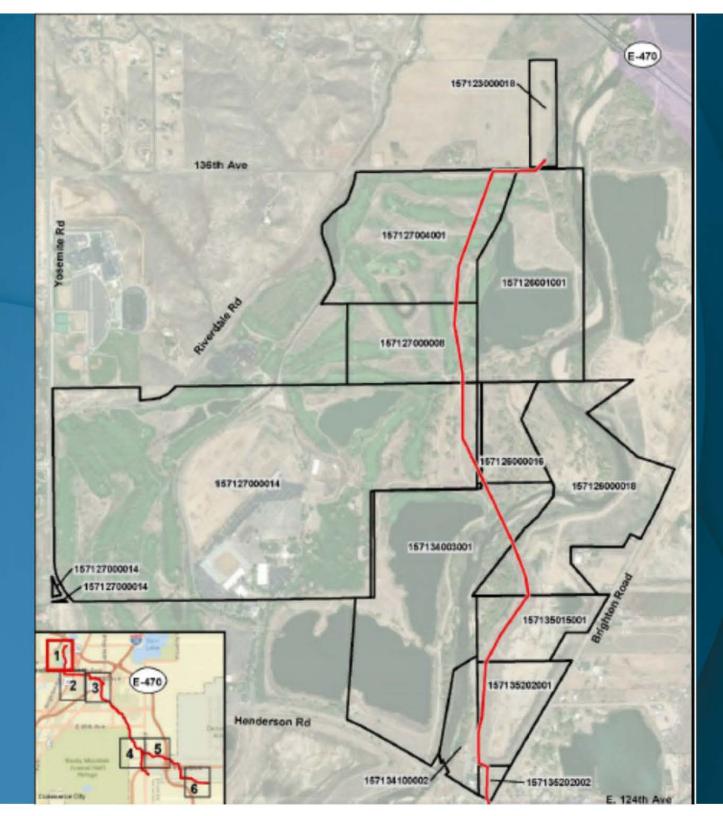


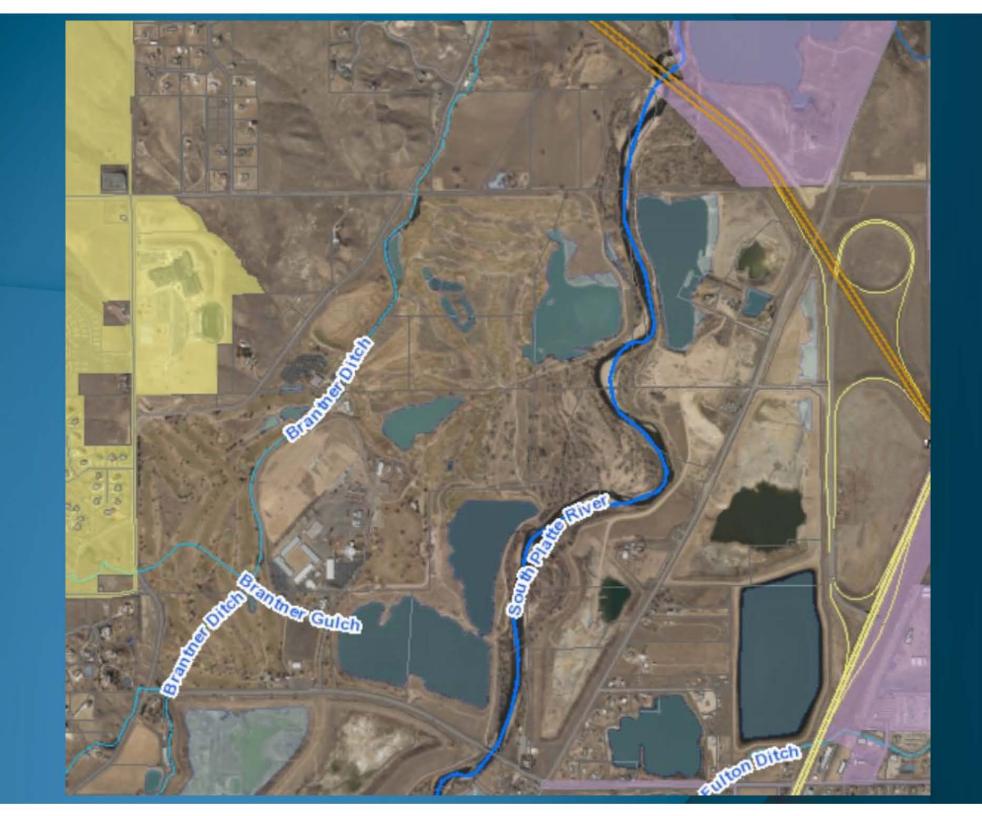












# Zoning & Comprehensive Plan

- Zone Districts Affected:
  - A-3, A-1, RE
  - Negotiations with private property owners
- Comprehensive Plan:
  - Encourages Urban Residential Growth
  - Riverdale Road Corridor Plan and the South Platte River Heritage Plan discourage widening of roadways

## **Referral Comments**

## • Concerns:

– Adams County Parks

## • Property Owners and Residents within 750 ft:

| Comments Received |
|-------------------|
| 4                 |
|                   |
|                   |
|                   |
|                   |

## Recommendation

## Staff Recommends Continuance of PLN2019-00008

- To allow for additional time for finalization of construction easement and lease agreement for the portion of the interceptor running through Riverdale Regional Park
- Recommended for the September 15, 2020 agenda



#### COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

#### CASE NO.: PRC2019-00020 CASE NAME: BRANNAN SAND & GRAVEL

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- 3.1 Applicant Written Explanation
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- 4.2 Colorado Department of Natural Resources, Division of Water Resources
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#### COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT STAFF REPORT

#### **Board of County Commissioners**

#### August 11, 2020

| Case No.: PRC2019-00020 | Case Name: Brannan Sand & Gravel   |
|-------------------------|--|
| Owner's Name:           | Pit 10, LLC  |
| Applicant's Name:       | Fred Marvel, Brannan Sand & Gravel   |
| Applicant's Address:    | 2500 E. Brannan Way, Denver, CO 80229  |
| Location of Requests:   | 2601 W. 60 <sup>th</sup> Avenue  |
| Nature of Requests:     | <ol> <li>Conditional use permit application to allow recycling operations in the Industrial-2 and Industrial-3 zone districts;</li> <li>Conditional use permit application to allow accessory outdoor storage exceeding ten acres in the Industrial-2 and Industrial-3 zone districts;</li> <li>Conditional use permit application to allow stacking of materials up to fifty (50) feet in height and above the height of any screen fencing.</li> </ol> |
| Zone Districts:         | Industrial-2, Industrial-3   |
| Comprehensive Plan:     | Activity Center  |
| Site Size:              | 23.6 acres   |
| Proposed Uses:          | Heavy Manufacturing or Processing  |
| Existing Use:           | (Unpermitted) Heavy Manufacturing or Processing  |
| Hearing Date(s):        | PC: July 9, 2020 / 6:00 p.m.   |
|                         | BOCC: August 11, 2020 /9:30 a.m.   |
| Report Date:            | July 10, 2020  |
| Case Manager:           | Greg Barnes  |
| PC Recommendation:      | DENIAL with 14 Findings-of-Fact  |

#### SUMMARY OF APPLICATION

#### **Background**

Brannan Sand & Gravel is requesting three conditional use permits for a recycling facility use with accessory outdoor storage exceeding ten acres and an outdoor material stacking of up to

fifty (50) feet. The 23.6-acre subject property is located at 2601 W. 60<sup>th</sup> Avenue. The site is within both the Industrial-2 (I-2) and Industrial-3 (I-3) zone districts.

The applicant has utilized this property without a permit for over 25 years for the processing, storage, and sale of recycled asphalt and concrete material. The material is stockpiled at the site and routed throughout the Denver metropolitan area for various construction projects. In October 1995, Adams County sent a notice of violation informing the property owner that the use was not allowed without a conditional use permit. Subsequently, no conditional use permit was issued, and the facility continued to operate out of compliance with county regulations.

In June 2012, the Board of County Commissioners approved a conditional use permit at 5880 Lipan Street for Brannan Sand & Gravel that allowed the outdoor storage of aggregate material exceeding 10 acres and up to 35 feet in height. As part of that approval, a condition was included to require the operations at the subject property of this request to cease and for the site to be vacated by June 2019. As of July 2020, the applicant has not ceased operations nor vacated the site.

In May 2017, an inspection of the site was conducted by Adams County, the Tri-County Health Department, and the Colorado Division of Public Health & Environment. The team found: that the facility was operating without proper permitting; that the site was used for outdoor storage that was not associated with the business; that the site was being used for a 30-foot tall pile of shingles which constituted an unpermitted disposal of solid waste and potentially may have included asbestos shingles; that the operation had resulted in an illicit discharge into the Clear Creek; and that the facility was storing and stockpiling materials on an adjoining property owned by Adams County.

Over the next few months, Brannan Sand & Gravel began to remedy specific violations discovered at the May 2017 inspection. A settlement agreement was reached in November 2017 between Brannan Sand & Gravel and Adams County. The agreement formalized a timeline for the site to come into compliance. Although the terms of the agreement were initially met by the applicant, a request for extension of deadlines was granted in February 2018. The final step for the applicant to fully comply with the terms of this agreement is approval of the subject conditional use permits. The agreement required that these approvals happen by June 2019. At that time, the County issued a notice of noncompliance to the applicant. The subject applications were received in December 2019.

#### **Site Characteristics and Environmental Considerations:**

The subject property has direct access to West 60<sup>th</sup> Avenue along its southern boundary and approximately 1,700 linear feet of frontage on the public roadway. The site is located approximately 800 feet to the northeast of the intersection of Federal Boulevard and W. 60<sup>th</sup> Avenue. Federal Boulevard has ramp access onto Interstate-76 just southwest of the site giving the site relatively easy access to the federal highway system.

The site consists of 23.6 acres, of which approximately 90% is designated with I-2 zoning and the remainder is designated with I-3 zoning, which is located on the western edge of the

property. Although there are existing stockpiles on the site that are 30-50 feet in height, the property does not appear to have significant natural terrain.

The site borders the Clear Creek to the north and west. The entire site is impacted by floodplain according to the Federal Emergency Management Agency (FEMA). Approximately 11 acres of the northern and western portions of the site is located within the floodway. This designation by FEMA means that the land area must be reserved to discharge the base flood without cumulatively increasing the water surface elevation more than a designated height. Reservation of the areas is necessary to ensure that there are no increases in upstream flood elevations. The remainder of the property on the southern and eastern portions of the site are within the 100-year floodplain. These areas have a 1% greater chance of flooding each year. Two lakes are located just to the northwest of the subject property.

For the aggregate material to be stored in the floodplain, a Floodplain Use Permit is required. Brannan Sand & Gravel has applied for this permit, which is currently under review by the Mile High Flood District (MHFD). MHFD is developing an updated flood map for this area of Clear Creek that is currently being reviewed by FEMA. The revisions to the flood map are based on modeling that show a wider floodway in the area, which includes the area where the proposed stockpiles are located. To obtain an approved Floodplain Use Permit, Brannan will be required to demonstrate that they can implement measures to mitigate the effects of the stockpiles in the floodplain.

| Northwest                | North                                     | Northeast           |
|--------------------------|---|---------------------|
| PUD / I-3                | PUD/I-2/I-3                               | I-3                 |
| Industrial / Clear Creek | Industrial / Clear Creek                  | Clear Creek         |
| West                     | Subject Property                          | East                |
| PUD / I-1/ I-3           | I-2/I-3                                   | I-3                 |
| Commercial / Industrial  | Recycling Facility (Out of<br>Compliance) | Lake / Right-of-Way |
| Southwest                | South                                     | Southeast           |
| I-3                      | I-2/I-3                                   | I-3                 |
| <b>RTD Rail Station</b>  | Vacant                                    | I-76 Right-of-Way   |

#### **Surrounding Zoning Designations and Existing Use Activity:**

#### **Compatibility with the Surrounding Land Uses:**

The existing land uses in the area consist mostly of industrial and vacant properties. In 2019, the Clear Creek at Federal Commuter Rail Station became operational and is an important gateway to Southwest Adams County; there are 300 parking spaces intended to serve those who use the Gold Line to access Union Station in Downtown Denver to the south or Wheat Ridge to the west. The introduction of the nearby commuter rail station has resulted in an increase in pedestrian traffic and is expected to serve as a catalyst for more transit-oriented development in the area. The applications for recycling facilities, outdoor storage, and stockpiles of material reaching up to 50 feet in height are incompatible with the surrounding area and particularly the highly trafficked commuter rail station. The request for stockpiles of up to 50 feet are likely to become

windswept and create hazards for pedestrians in the area, while also being clearly visible from the existing Federal Station.

#### **Future Land Use Designation/Goals of the Comp-Plan for the Area**

The future land use designation on the property is Activity Center. Per Chapter 5 of the County's Comprehensive Plan, the Activity Center future land use designated areas are intended to allow high-intensity residential, retail, and office development. The Activity Center designated areas are intended to increase employment and increase the tax base, while creating a mix of uses to create a pedestrian environment that is supportive of transit.

The subject property falls within the Southwest Area Plan, the Federal Boulevard Framework Plan, and the Clear Creek Valley Transit Oriented Development Plan. The vision for the Clear Creek at Federal Station is to create a new, vibrant, transit-oriented community amenity within walking distance of the transit station. New retail, employment, entertainment and living opportunities within the envisioned Village Center will serve the needs of the existing community and maintain the area as an employment center for Adams County. The area shall maintain and enhance existing commercial corridors and existing residential neighborhoods. Development in the area is to create new connections with surrounding residential and commercial areas and revitalize older commercial, industrial, or underutilized areas. Mixed-use development and sustainable practices will be encouraged in the Clear Creek at Federal Station. Open space and recreational opportunities will be an important part of the area's development. The activity center is expected to enhance the area's role as a gateway to Southwest Adams County. Planning guidelines for this Area Plan state that the County will discourage land use patterns in transit corridors and around transit stations that may preclude future transit-oriented development. The plan also specifically discourages land consumptive uses related to agriculture or heavy industry such as outdoor storage.

Based on the Adams County Comprehensive Plan's future land designation and the goals of the County's Clear Creek Valley Transit Oriented Development Plan, the subject application does not conform to the County's long-term goals for the region. In addition, the proposed applications may impede future development in the area for high-density mixed-use development with an abundance of open space and recreational options.

#### **Development Standards and Regulations Requirements:**

Per Section 3-07-01 of the Adams County Development Standards and Regulations, a conditional use permit is required for recycling facilities in the I-2 and I-3 zone districts. Section 4-10-02-04-09 requires conditional use permits for accessory outdoor storage in excess of ten acres in the I-2 and I-3 zone districts, and for the stacking of materials taller than the height of the required screen fencing. The three applications filed by the applicant are in accordance with these sections.

Chapter 4 of the County's Development Standards and Regulations sets forth specific performance standards to ensure that uses mitigate negative impacts to surrounding areas by requiring site plans that meet aesthetic and functionality requirements to ensure that the use of a property is not detrimental to or incompatible with the surrounding area.

Section 4-10-02-04-07 of the County's Development Standards and Regulations outlines specific performance standards for the recycling facilities use. These standards require an eight-foot-tall screen or security fence to enclose the outdoor storage. The standards require control plans to abate both nuisance and the traffic. The facility will also be required to maintain recordkeeping detailing amounts and types of material stockpiled at the site

Section 4-10-02-04-09 of the County's Development Standards and Regulations outlines specific performance standards for the outdoor storage use. These standards also require all outdoor storage to be enclosed by a screen fence not to exceed eight feet in height. All outdoor storage shall consist of nonhazardous materials as determined by the Colorado Department of Public Health and Environment. All outdoor storage shall be designed with adequate access areas and shall meet all requirements of the local fire district.

Parking requirements are discussed in Section 4-12 of the Adams County Development Standards. All access driveways and required parking spaces are required to be covered with asphalt or concrete. Loading zones are also discussed in these requirements and shall be designed to prevent queueing of traffic on to public roadways.

The site will be expected to conform to the Adams County Development Standards for landscaping. Per Section 4-16-07, a minimum of 10% of the overall site area (approximately 2.4 acres) shall be designated for landscaping. Of this required landscape area, at least 50% (1.2 acres) is to be located along public roadways. Therefore, the applicant shall be expected to provide a 30-foot-wide streetscape buffer along the portions of the property fronting W. 60<sup>th</sup> Avenue. An additional 1.2 acres of open landscaped area shall be spread throughout the site.

Per Section 4-13 of the Development Standards, the applicant shall conform to the County's Operational Standards. These regulations prevent nuisance to the surrounding properties. The proposed recycling facility and associated outdoor storage will be expected to conform to these regulations to mitigate lighting, vibration, noise, and dust.

The applicant has submitted a site plan and landscape plan that partially conforms to the performance standards for the use. Overall, the proposed development can be improved to better conform with these standards. Should the Board of County Commissioners indicate that the proposed uses are suitable for the property, staff will recommend a continuance of the request to allow staff more time to ensure compliance with the County's Development Standards and Regulations.

#### PLANNING COMMISSION UPDATE:

The Planning Commission (PC) considered this case on July 9, 2020 and voted (5-0) to recommend denial of the requests. The applicant's representative spoke at the meeting and provided additional information regarding the historical timeline of the facility. The PC expressed concerns regarding the applicant's history of noncompliance. Other noted concerns were related to the negative impact that the existing facilities may have on future development. The PC also noted that the proposed use could relocate to another site to be operational. There was no one from the public to speak in favor or in opposition to the request.

#### **Staff Recommendations:**

Based upon the application, the criteria for approval of a conditional use permit, and a recent site visit, staff recommends denial of the request with 14 findings-of-fact.

#### **Recommended Findings-of-Fact:**

- 1. The conditional use is not permitted in the applicable zone district.
- 2. The conditional use is inconsistent with the purposes of these standards and regulations.
- 3. The conditional use will not comply with the requirements of these standards and regulations, including but not limited to, all applicable performance standards.
- 4. The conditional use is incompatible with the surrounding area, not harmonious with the character of the neighborhood, detrimental to the immediate area, detrimental to the future development of the area, and detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
- 5. The conditional use permit has not addressed all off-site impacts.
- 6. The site is unsuitable for the proposed conditional use including adequate usable space, adequate access, and absence of environmental constraints.
- 7. The site plan for the proposed conditional use will not provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
- 8. The request for outdoor storage is incompatible with the Adams County Comprehensive Plan, does not comply with the minimum zoning requirements of the zone district in which the Conditional Use Permit is to be granted, and does not comply with all other applicable requirements of the Adams County Development Standards and Regulations.
- 9. Aesthetic concerns have not been taken into consideration during the site design and placement of the outdoor storage.
- 10. The request for a recycling facility is incompatible with the Adams County Comprehensive Plan, does not comply with the minimum zoning requirements of the zone district in which the Conditional Use Permit is to be granted, and does not comply with all other applicable requirements of the Adams County Zoning and Subdivision Regulations.
- 11. The applicant has not documented his ability to comply with the health standards and operating procedures as provided by the Colorado Department of Public Health and Environment, Tri-County Health Department, Fire District, and other relevant agencies.
- 12. The proposed facility will cause significant traffic congestion or traffic hazards.
- 13. The request is incompatible with the surrounding area.
- 14. The site will impact health and welfare of the community based upon specific recycling facility design and operating procedures.

| Notices Sent | Number of Responses |
|--------------|---------------------|
| 162          | 2                   |

#### **PUBLIC COMMENTS**

Property owners and residents within 1,500 feet of the site were notified of the subject request. As of writing this report, staff has received two responses regarding the application. ARMOS Investments expressed concern that the proposed use may have a negative impact on the use of

their property. They wished to remain updated on the proposed timeline of the use, if approved. In addition, staff received one comment from Dan Micek in support of the request.

#### **COUNTY AGENCY COMMENTS**

Upon receipt of these applications, staff identified concerns that the requested conditional use permits may not be compatible with the surrounding area. Future development surrounding the Clear Creek at Federal Station may be negatively affected by the proposed stockpile heights and outdoor storage. In addition, staff identified that additional landscaping and screening techniques may improve the application. Although compliance with the County's Development Standards is a criterion for approval, it was noted that full conformance with these standards would not remedy the existing concerns regarding compatibility and land use. Rather than ask the applicant to invest further in an application that will not receive a recommendation of approval, staff proposed scheduling the hearing with a recommendation of denial. Should the Planning Commission and Board of County Commissioners determine that the use may be compatible with surrounding area and will not be a detriment to future development, then staff will ask the Board for a continuance on this case to work with the applicant on engineering and landscaping design of the site.

#### **REFERRAL AGENCY COMMENTS**

During the referral process, the Tri-County Health Department identified concern with fugitive dust from the proposed facility. No other concerns were noted from those referral agencies that were notified.

#### **Responding with Concerns:**

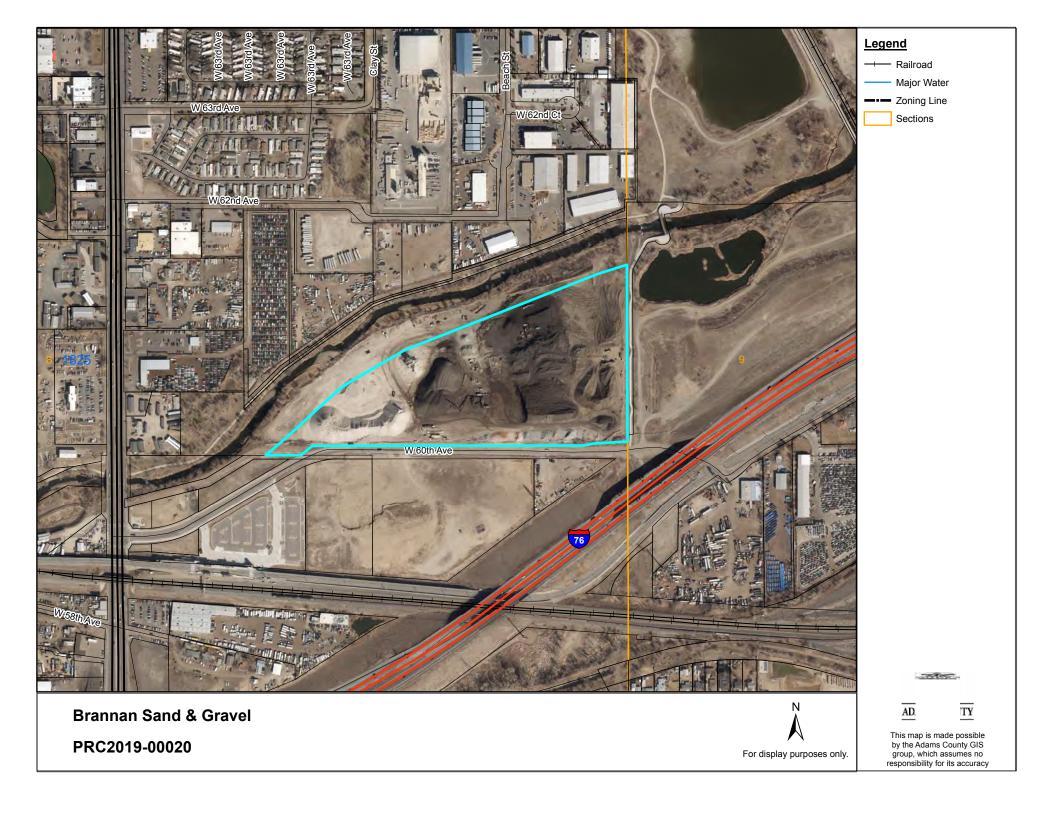
Tri-County Health Department

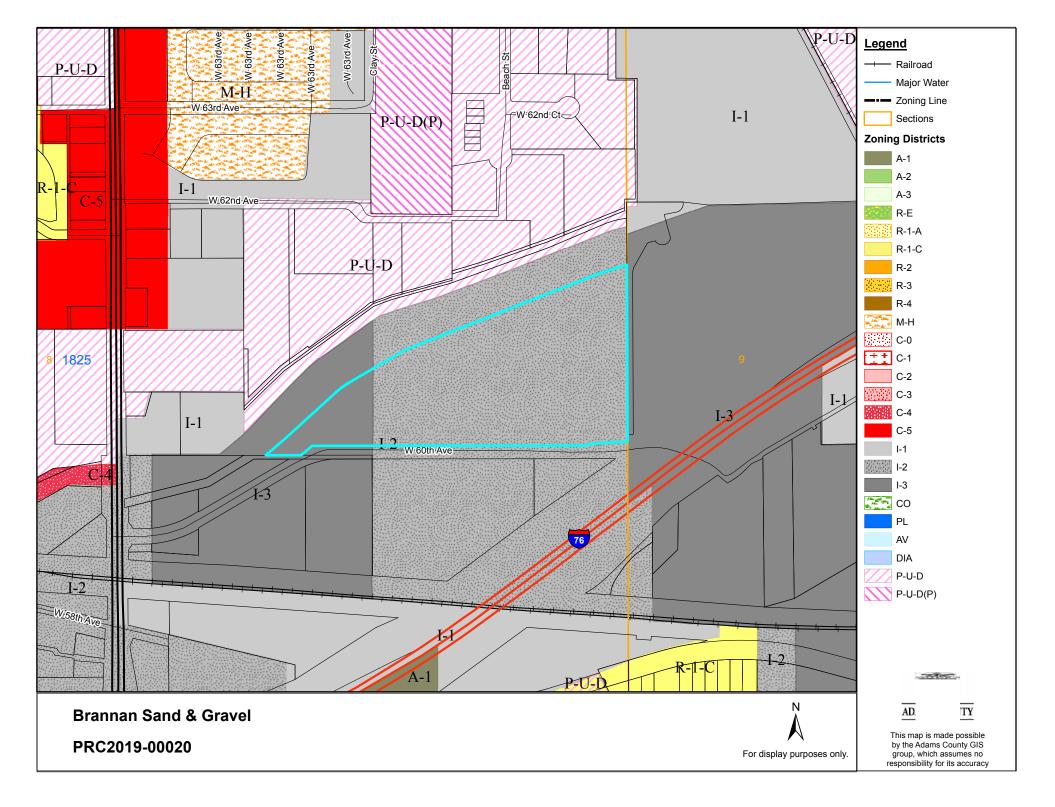
#### **Responding without Concerns:**

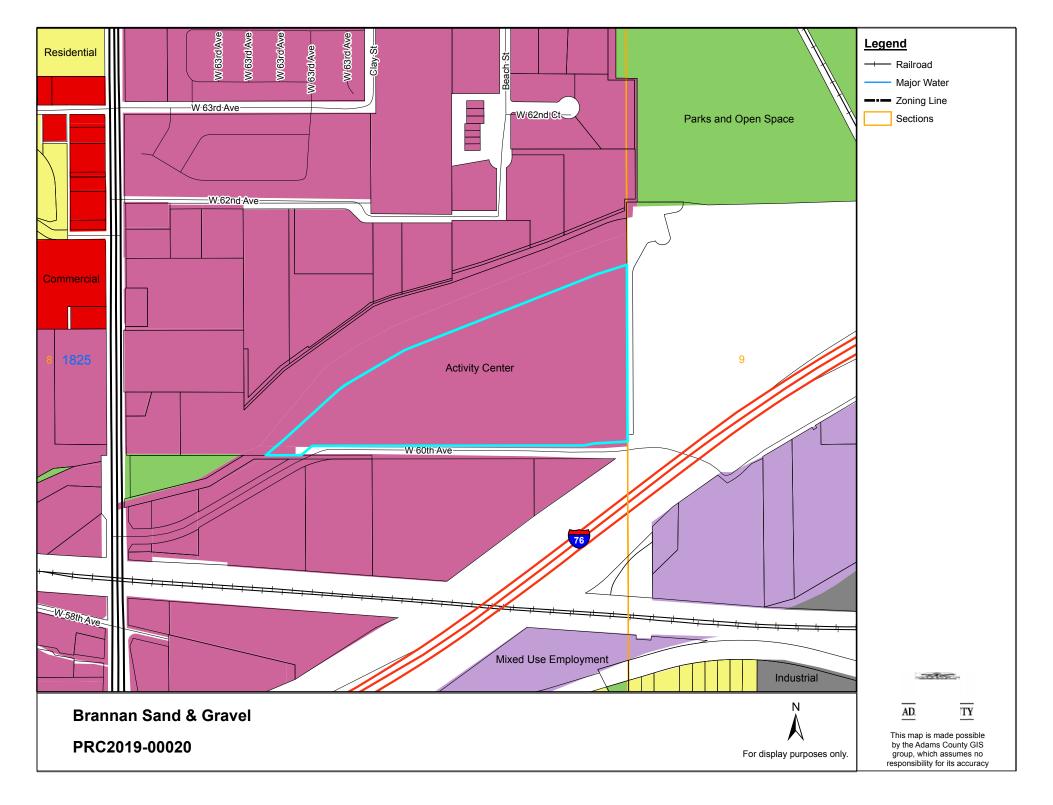
Colorado Department of Natural Resources, Division of Water Resources Colorado Department of Transportation City of Arvada Denver Water Adams County Fire Regional Transportation District Xcel Energy

#### Notified but not Responding / Considered a Favorable Response:

Adams County Sheriff Arvada Fire District Berkeley Neighborhood Group Berkeley Sanitation District Century Link City of Westminster Colorado Geologic Survey Colorado Division of Mining & Reclamation Safety Comcast Crestview Water & Sanitation Goat Hill Neighborhood Mapleton School District Metro Wastewater Reclamation Mobile Gardens North Lincoln Water & Sanitation District North Pecos Water & Sanitation District Northridge Estates at Gold Run HOA Pecos Logistics Park Metropolitan District Perl Mack Neighborhood Pomponio Terrace Metropolitan District The TOD Group Union Pacific Railroad **US** Postal Service US Environmental Protection Agency Westminster Fire District Westminster School District #50









26 April 2019

Adams County Economic and Community Development 4430 South Adams County Parkway Brighton, Colorado 80601

Re: Submittal of Land Use Application, Pit 10, 2601 West 60th Avenue

Dear Adams County officials:

On behalf of Pit 10, LLC, please find under this cover an application related to 2601 W. 60<sup>th</sup> Avenue in unincorporated Adams County.

The Applicant, as Brannan Sand and Gravel, has operated in this area of Adams County for many years, and on the specific subject property for no less than 20 years. The property at 2601 W. 60<sup>th</sup> Avenue is zoned for industrial use, in the I-2 zone district with a small piece of I-3 zoning at its western edge. Based on Pit 10's recent work with Adams county related to this land – including code enforcement communications and more recently a Conceptual Review Meeting in November 2018 – we agree that formal plan review will alleviate concerns about appropriate site improvements, the scope and timing of transition plans, and the application of County comprehensive plan aspirational goals for the general vicinity.

While the County staff and plans articulate a general desire to redevelop the area, and the Applicant has engaged with experts on this prospect, it is apparent that the regulatory status of 2601 West 60<sup>th</sup> Avenue as a jurisdictional floodplain is a substantial impediment to any change in the long-term economic use of this site. The site is currently undergoing floodplain analysis, both as part of a larger study of Clear Creek and on a site-specific basis. The immediate site-specific use of the property is under study by ICON Engineering and will be packaged as an Adams County floodplain use permit application as soon as available. The resolution of Clear Creek floodplain mapping is critical to effective long-term grading and drainage plans, as well as identification of riverbank stabilization and channelization opportunities in conjunction with Urban Drainage or other agencies.

The application process for the existing/proposed land use at 2601 West 60<sup>th</sup> Avenue is intended to define expectations for the immediate future of the site. It is not a redevelopment plan, nor does the Applicant intend to determine the appropriate future use of the property at this time. After careful deliberation, we believe that subdivision and other steps toward redevelopment are most appropriately addressed in a separate process. The current process is directed at assessing compliance with County industrial zoning standards and specifically reviewing operations that will enable and actively manage the transition to future land uses.

It is significant that the site has operated in more or less its present form for many years, with the involvement of Adams County officials along the way. That ongoing use informs our understanding of the terms and application of Adams County regulations, as noted in the attached narrative. But it is more importantly emblematic of Brannan's positive working relationship with the County, which we endeavor to continue. Based on Adams County direction, Brannan has invested nearly \$2 million in grading and material processing work in the last two years, and we have modified operations to reduce stockpile footprint and height. The process envisioned by the enclosed application will allow us to continue in this direction, making operations more compact and compliant with zoning plans.

Thank you in advance for the work of Adams County staff and the boards and commissions.

Sincerely, Fred Marvel, Manager

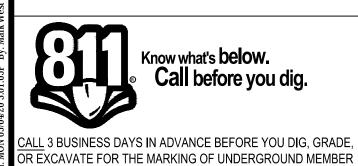
for Pit 10, LLC

2500 East Brannan Way | Denver | CO 80229 | 303.534.1231 Tel | 303.534.1236 Fax

# **CONDITIONAL USE PERMIT - PIT R**

### **GENERAL NOTES:**

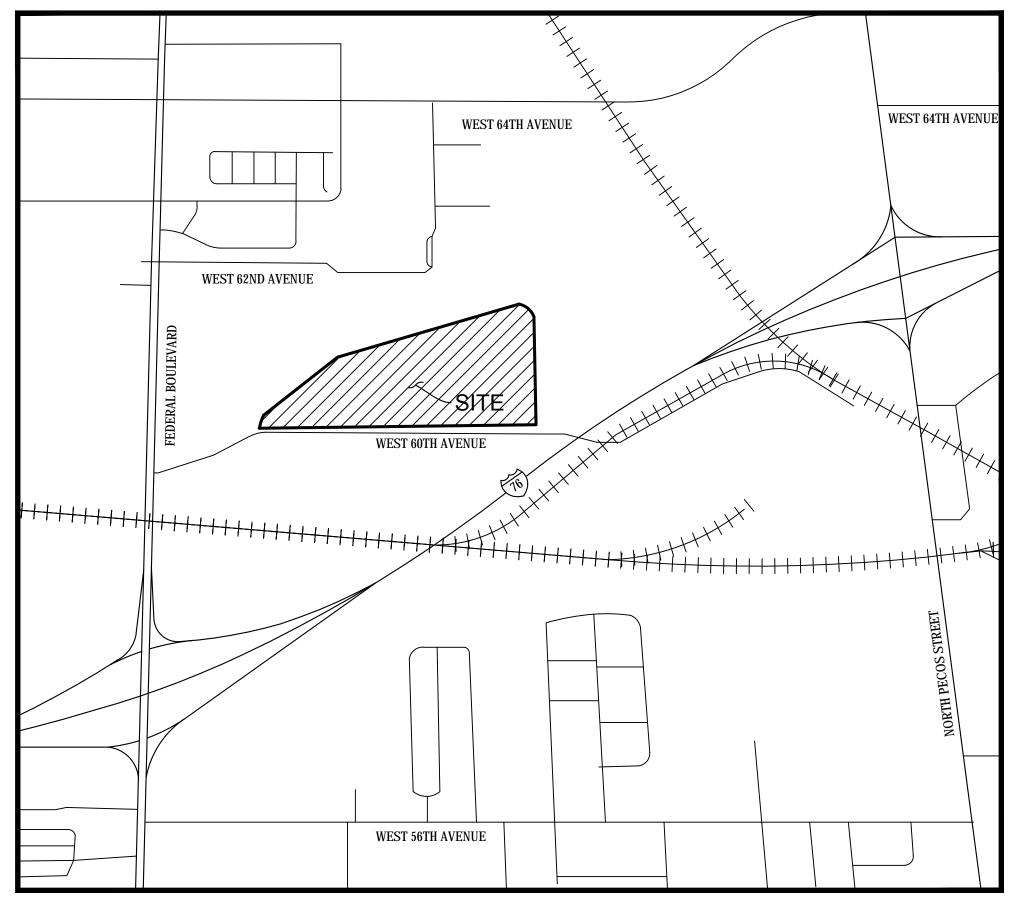
- 1. A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. TO SCHEDULE A PRE-CONSTRUCTION MEETING CONTACT THE ADAMS COUNTY CONSTRUCTION INSPECTOR SUPERVISOR AT 720-523-6965.
- 2. ALL CONCRETE CURB, GUTTER AND WALK MUST BE POURED MONOLITHICALLY USING 4,500 psi CONCRETE WITH FIBER MESH.
- 3. ALL MATERIAL SUBMITTALS MUST BE APPROVED, STAMPED AND SIGNED, BY THE ENGINEER OF RECORD AND, SUBMITTED TO THE ADAMS COUNTY CONSTRUCTION INSPECTOR FOR APPROVAL PRIOR TO
- CONSTRUCTION /INSTALLATION.
- 4. THE CONTRACTOR IS REQUIRED TO SUBMIT COPIES OF ALL CONCRETE AND ASPHALT TICKETS TO THE ADAMS COUNTY CONSTRUCTION INSPECTOR.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR ALL QUALITY CONTROL TESTING AND, IS REQUIRED TO SUBMIT ALL TEST RESULTS TO THE ADAMS COUNTY
- CONSTRUCTION INSPECTOR. 6. THE CONTRACTOR IS REQUIRED TO REMOVE A MINIMUM OF TWO (2) FEET OF EXISTING ASPHALT FOR ALL CURB AND GUTTER REPLACEMENT.
- 7. ALL UTILITY CUTS IN EXISTING STREETS ARE REQUIRED TO BE BACKFILLED WITH FLOWFILL AND, PATCHED WITH A MINIMUM OF 9-INCH ASPHALT PATCH.
- 8. A COPY OF THE GEOTECHNICAL REPORT SPECIFYING THE PAVEMENT THICKNESS DESIGN MUST BE SUBMITTED FOR REVIEW. 9. PERMITS WILL BE REQUIRED FOR THE INSTALLATION OF ALL UTILITIES. THE
- DEVELOPER/CONTRACTOR/ENGINEER, MUST SUPPLY THE LINEAL FOOTAGES AND THE NUMBER OF SERVICE CUTS REQUIRED FOR ALL UTILITIES.
- 10. PERMITS WILL BE REQUIRED FOR THE INSTALLATION OF ALL CONCRETE AND ASPHALT FACILITIES. PRIOR TO THE ISSUANCE OF THESE PERMITS, THE DEVELOPER/CONTRACTOR/ENGINEER, MUST SUPPLY THE SQUARE YARDAGE/SQUARE FOOTAGES OF ALL CONCRETE AND ASPHALT BEING INSTALLED.
- 11. THE SIA MUST BE COMPLETED WITH APPROPRIATE COLLATERAL, ALONG WITH THE PROPOSED PLAT. PRIOR TO THE ISSUANCE OF ANY ROW ACCESS/CONSTRUCTION PERMIT.
- 12. NO C.O.'S WILL BE ISSUED FOR ANY BUILDING CONSTRUCTION UNTIL ALL ROW IMPROVEMENTS HAVE BEEN COMPLETED AND HAVE BEEN GRANTED PRELIMINARY ACCEPTANCE.
- 13. UPON COMPLETION OF ALL CONSTRUCTION, A DRAINAGE CERTIFICATION LETTER, AND APPROPRIATE AS-BUILT CONSTRUCTION DRAWINGS AND INFORMATION WILL BE REQUIRED. THIS LETTER WILL BE STAMPED AND SIGNED BY THE ORIGINAL DESIGN ENGINEER.



UTILITIES.

**BRANNAN SAND AND GRAVEL** 2601 WEST 60TH AVENUE SITUATED IN THE NORTHEAST CORNER OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF ADAMS, STATE OF COLORADO

# PRIVATE IMPROVEMENT CONSTRUCTION PLANS



VICINITY MAP





| ISSUE I | DATE: 11-25-2019  | PROJECT #: 190915 |
|---------|-------------------|-------------------|
| DATE    | REVISION COMMENTS |                   |
|         |                   |                   |
|         |                   |                   |
|         |                   |                   |
|         |                   |                   |
|         |                   |                   |
|         |                   |                   |
|         |                   |                   |

#### **BENCHMARK:**

PER THE ADAMS COUNTY DATASHEET FOR WEST ADAMS COUNTY DENSIFICATION STATION NAME 95.0244, STATION NUMBER: 0244, A 3-1/4" ALUMINIUM DISK SET IN 6" PVC PIPE W/LOGO CAP, STAMPED "95.0244 1995 3S68W S17" LOCATED SOUTHWEST OF THE INTERSECTION WEST 56TH AVENUE AND ZUNI STREET. ELEVATION 5271.33 NAVD 1988 DATUM.

#### NOTE:

PUBLIC IMPROVEMENTS SHALL CONFORM TO ADAMS COUNTY STANDARDS AND SPECIFICATOINS AND LATEST EDITION OF COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

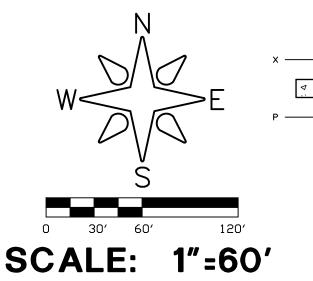
## LEGEND

| X STORM INLET         |             |
|-----------------------|-------------|
| X STORM SEWER W/MH    | STST        |
| X SANITARY SEWER W/MH | SS          |
| X WATER               | W           |
| X OVERHEAD ELECTRIC   | OE          |
| X UTILITY POLE        | Ø           |
| ROPERTY BOUNDARY      |             |
| PR SIDEWALK           | Δ           |
| X CONTOURS            | - 52215220- |
| R CONTOURS            | <u>5220</u> |
|                       |             |

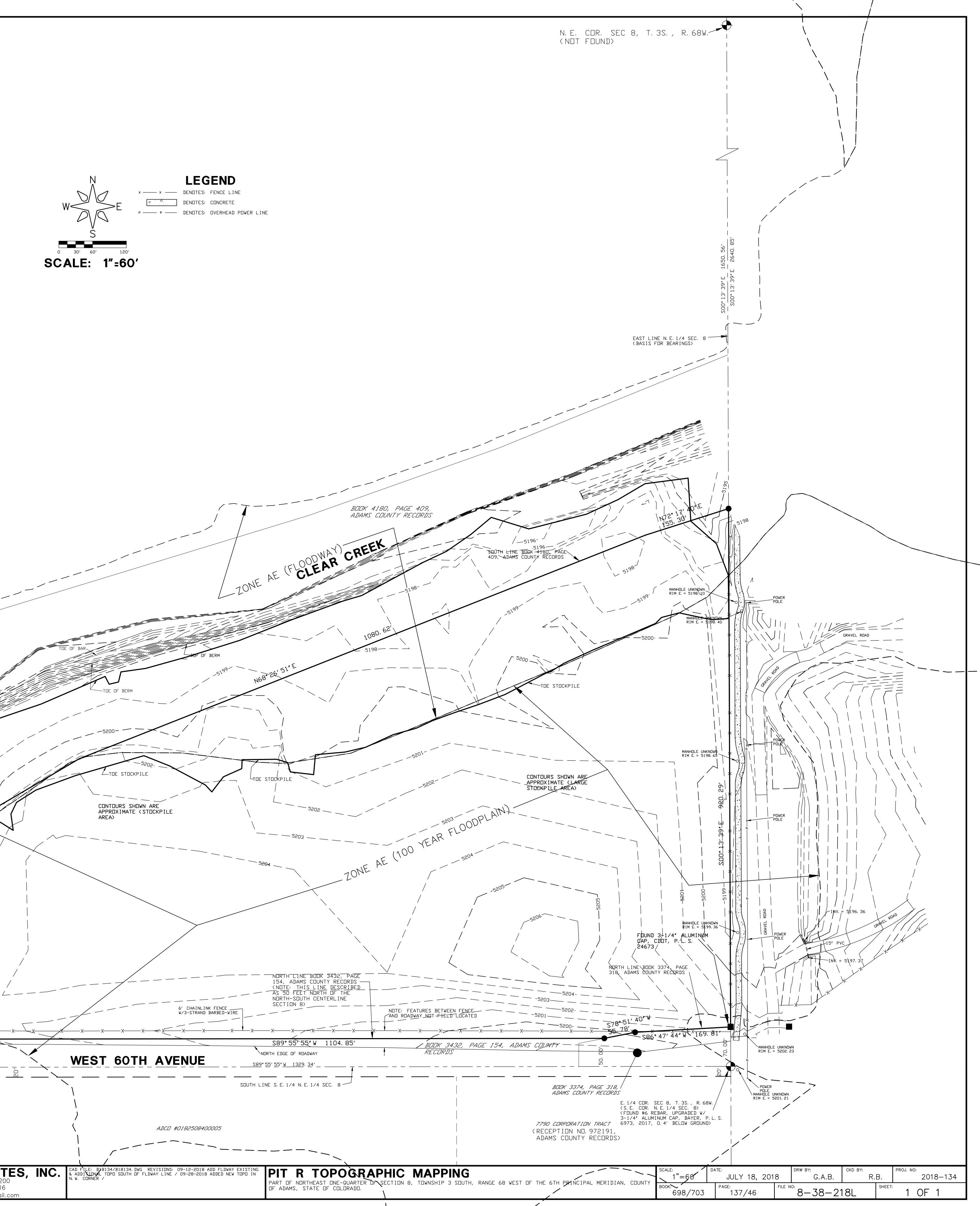
#### SHEET INDEX

- 1 COVER SHEET 2 EXISTING CONDITIONS SURVEY
- 3 SITE PLAN
- 4 DRAINAGE PLAN
- 5 EROSION CONTROL PLAN
- 6 PARKING PLAN

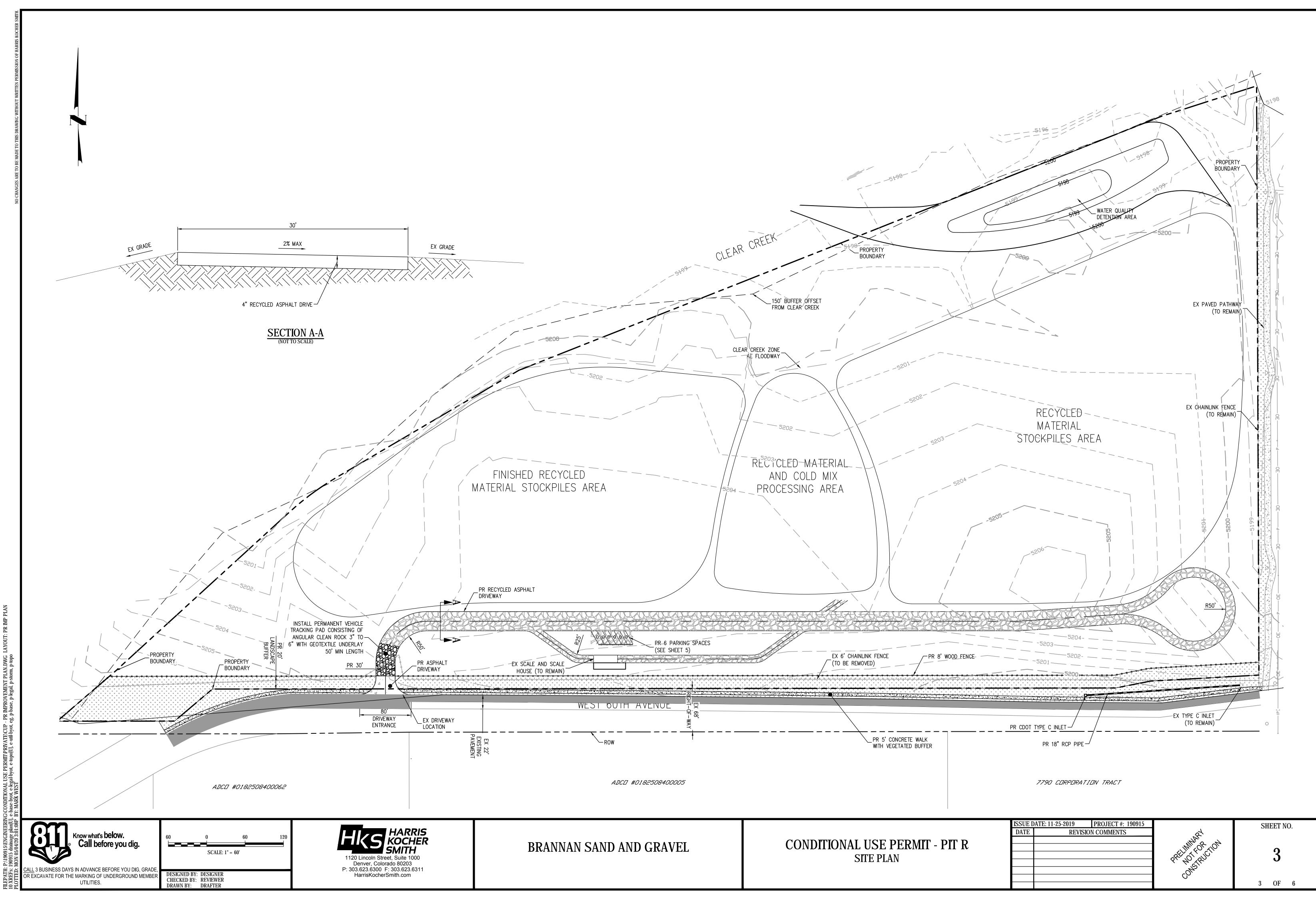
LEGAL DESCRIPTION: (FROM CLIENT) A PARCEL OP LAND LYING IN THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 8, THENCE SOUTH OO DEGREES 07 MINUTES 03 SECONDS EAST, 1650.60 FEET ALONG THE EAST LINE OF SAID SECTION 8 TO A POINT ON THE SOUTH LINE OF THAT PARCEL OF LAND AS DESCRIBED IN BOOK 4180, PAGE 409, ADAMS COUNTY RECORDS, SAID POINT BEING THE TRUE POINT OF BEGINNING; THENCE SOUTH OO DEGREES 07 MINUTES 03 SECONDS EAST ALONG THE EAST LINE OF SAID SECTION 8 920.29 FEET TO A POINT ON THE NORTH LINE OF THAT PARCEL OP LAND AS DESCRIBED IN BOOK 3374, PAGE 318, ADAMS COUNTY RECORDS, THENCE SOUTH 86 DEGREES 54 MINUTES 20 SECONDS WEST ALONG SAID NORTH LINE 169.81 FEET; THENCE SOUTH 78 DEGREES 58 MINUTES 16 SECONDS WEST ALONG SAID NORTH LINE 56.02 FEET TO THE NORTH LINE OF THAT PARCEL OF LAND AS DESCRIBED IN BOOK 3432, PAGE 154, ADAMS COUNTY RECORDS; THENCE NORTH 89 DEGREES 58 MINUTES 13 SECONDS WEST ALONG SAID NORTH, LINE 1411.70 FEET; THENCE SOUTH 49 DEGREES 53 MINUTES 18 SECONDS WEST ALONG THE NORTHWESTERLY LINE OF SAID PARCEL OF LAND DESCRIBED IN BOOK 3432, PAGE 154 A DISTANCE OF 77.56 FEET TO THE EAST-WEST CENTERLINE OF SAID SECTION 8; THENCE NORTH 89 DEGREES 58 MINUTES 13 SECONDS WEST ALONG SAID EAST-WEST CENTERLINE 183.64 FEET MORE OR LESS TO THE SOUTHERLY LINE OF THAT PARCEL OF LAND AS DESCRIBED IN BOOK 4180, PAGE 409, ADAMS COUNTY RECORDS: THENCE NORTHEASTERLY ALONG SAID SOUTHERLY LINE THE FOLLOWING SIX COURSES: 1. NORTH 49 DEGREES 25 MINUTES 25 SECONDS EAST, 122.50 FEET; 2. NORTH 47 DEGREES 42 MINUTES 36 SECONDS EAST, 356.79 FEET; 3. THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 433.51 FEET AND A CENTRAL ANGLE OF 11 DEGREES 59 MINUTES 07 SECONDS; 4. NORTH 59 DEGREES 41 MINUTES 43 SECONDS FAST, 331.34 FEET; 5. NORTH 68 DEGREES 33 MINUTES 27 SECONDS EAST, 1080.62 FEET; 6. NORTH 72 DEGREES 24 MINUTES 16 SECONDS EAST, 155.30 FEET TO THE TRUE POINT OF BEGINNING. NOTE: THE ABOVE LEGAL DESCRIPTION WAS PREPARED BY SELLARDS & GRIGGS, INC., JOB NO. 93-085-021, BASIS FOR BEARINGS: THE EAST LINE OF THE NORTHEAST ONE-QUARTER OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN. COUNTY OF ADAMS. STATE OF COLORADO. BEARS SOUTH 00°13'39" EAST (BY PUBLISHED COORDINATES), TAKEN FROM THE CDOT, RIGHT-OF-WAY PLANS PROJECT NO: STE C0120-019, ON FILE IN LAND SURVEY PLATS, BOOK 1, PAGE 4952, RECEPTION NO. 2017-187, ADAMS COUNTY RECORDS. THIS DRAWING IS IN STATE PLANE COORDINATES (GROUND) NAD83 CENTRAL ZONE THE COMBINED SCALE FACTOR IS: 0.999791991 (1/X=1.000208052). ALL BEARINGS SHOWN HEREON ARE RELATIVE (ROTATED) THERETO. MONUMENTS EXIST AS SHOWN HEREON. NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON. THE LINEAL UNITS USED AND SHOWN HEREON IS U. S. SURVEY FOOT. THE FENCE DIMENSION(S) INDICATE ON WHICH SIDE OF THE LINE THE FENCE IS ON. THE CLIENT REQUESTED THAT RIGHT-OF-WAY BE SHOWN. THE CLIENT WAS MADE AWARE THAT EASEMENTS WOULD NOT BE SHOWN EXCEPT WHERE DOCUMENTATION WAS PROVIDED TO THE SURVEYOR. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY R.W. BAYER & ASSOCIATES, INC. OF THE PROPERTY SHOWN AND DESCRIBED HEREON TO DETERMINE OWNERSHIP, MINERAL INTEREST OWNERSHIP, COMPATIBILITY OF THIS DESCRIPTION WITH THOSE OF ADJACENT TRACTS OF LAND OR RIGHTS-OF-WAY, DEDICATIONS, EASEMENTS OR ENCUMBRANCES OF RECORD AFFECTING THIS TRACT OF LAND. THIS MAP IS NOT INTENDED TO REPRESENT A BOUNDARY SURVEY OR LAND SURVEY PLAT. IT IS ONLY INTENDED TO DEPICT THE ATTACHED LEGAL DESCRIPTION. THIS PARCEL OF LAND LIES WITHIN ZONE AE (FLOODWAY AND AREAS INUNDATED BY THE 1% ANNUAL CHANCE FLOODPLAIN (100 YEAR FLOOD) AS DELINEATED IN THE F.E.M.A., FLOOD INSURANCE RATE MAP, MAP NUMBER 08001C0592H, MAP REVISED MARCH 05, 2007. THE FLOODWAY AND FLOODPLAIN LINES SHOWN HEREON ARE FROM THE CAD FILE PREPARED BY ICON ENGINEERING, INC., CAD FILE NAME BRANNON-FW-RESULTS.dwg. BENCHMARK: PER THE ADAMS COUNTY DATASHEET FOR WEST ADAMS COUNTY DENSIFICATION STATION NAME: 95.0244 STATION NUMBER: 0244, A 3-1/4" ALUMINUM DISK SET IN 6" PVC PIPE W/LOGO CAP, STAMPED "95.0244 1995 3S68W S17" LOCATED SOUTHWEST OF THE INTERSECTION WEST 56TH AVENUE AND ZUNI STREET. ELEVATION 5271.33 NAVD 1988 DATUM. CLEAR  $\Delta = 011^{\circ} 59' 07''$  R = 433/510'= 90/68' Ch=N52° 35′ 33″ E 90, 52′ ( D&M) BDDK 306.601 BOOK 3432, PAGE 154, ADAMS COUNTY \$89°56′40″W RECORDS 183, 57' <u>ר 1329, 25</u>י \_ FOUND 2-1/2 ALUMINUM CAP, P.L.S. 28285, O.2′ BELOW GROUND C-E 1/16 COR. SEC 8, T. 3S., R. 68W. (S.W. COR. S.E. 1/4 N.E. 1/4 SEC. 8) (FOUND 3-1/4″ ALUMINUM CAP, P.L.S. 13258) ADCII #0182508400062 **R.W. BAYER & ASSOC** 2090 EAST 104TH AVENUE, SU THORNTON, COLORADO 80233-(303) 452-4433 rwbsurveying@h

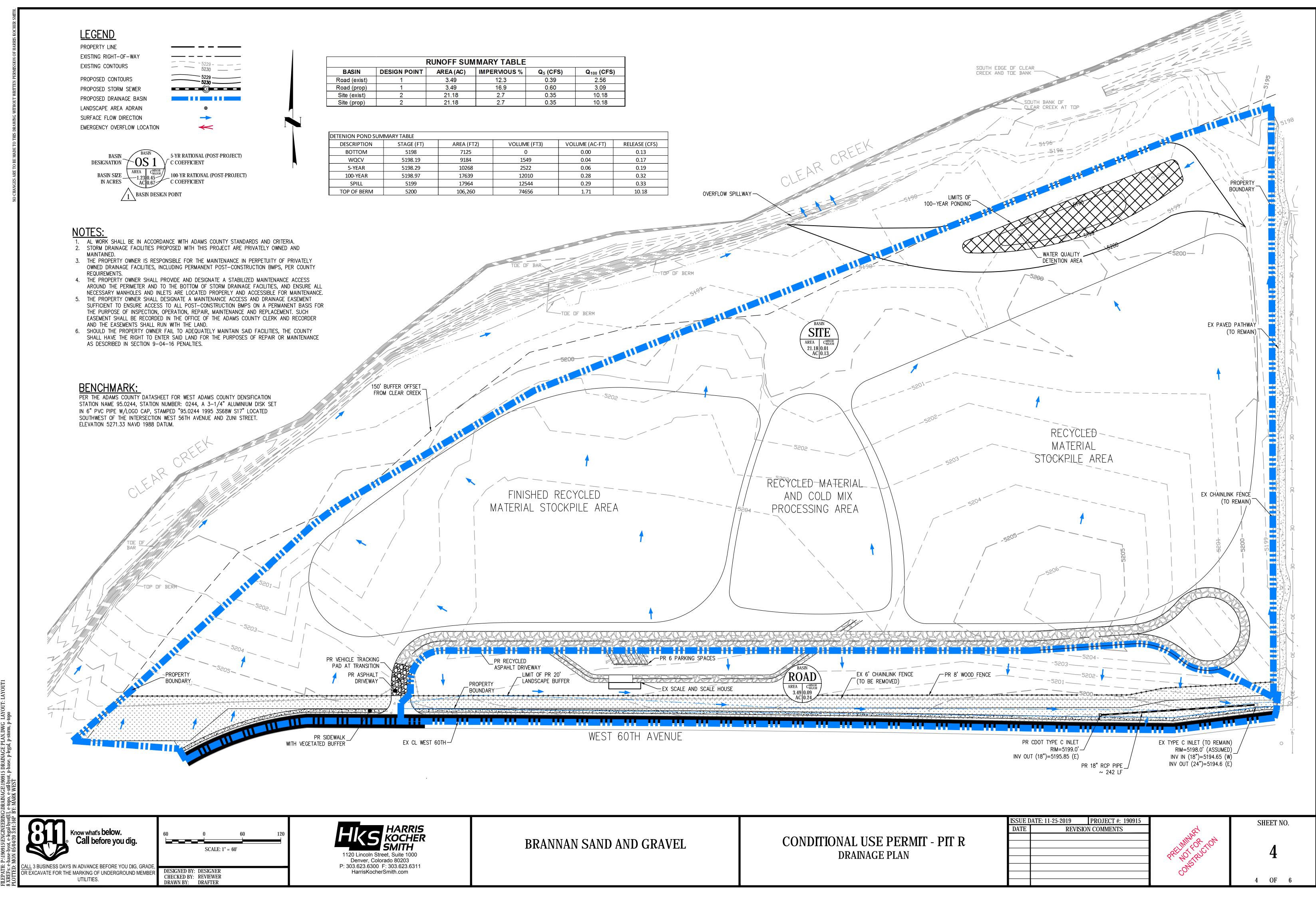


.5198 — — -TOE STOCKPILE CONTOURS SHOWN ARE APPROXIMATE (STOCKPILE AREA)



| IATES, INC.<br>TE 200<br>-4316<br>otmail.com | PIT R TOPOGRAPHIC<br>PART OF NORTHEAST ONE-QUARTER OF SECTION<br>OF ADAMS, STATE OF COLORADO. |
|--|---|

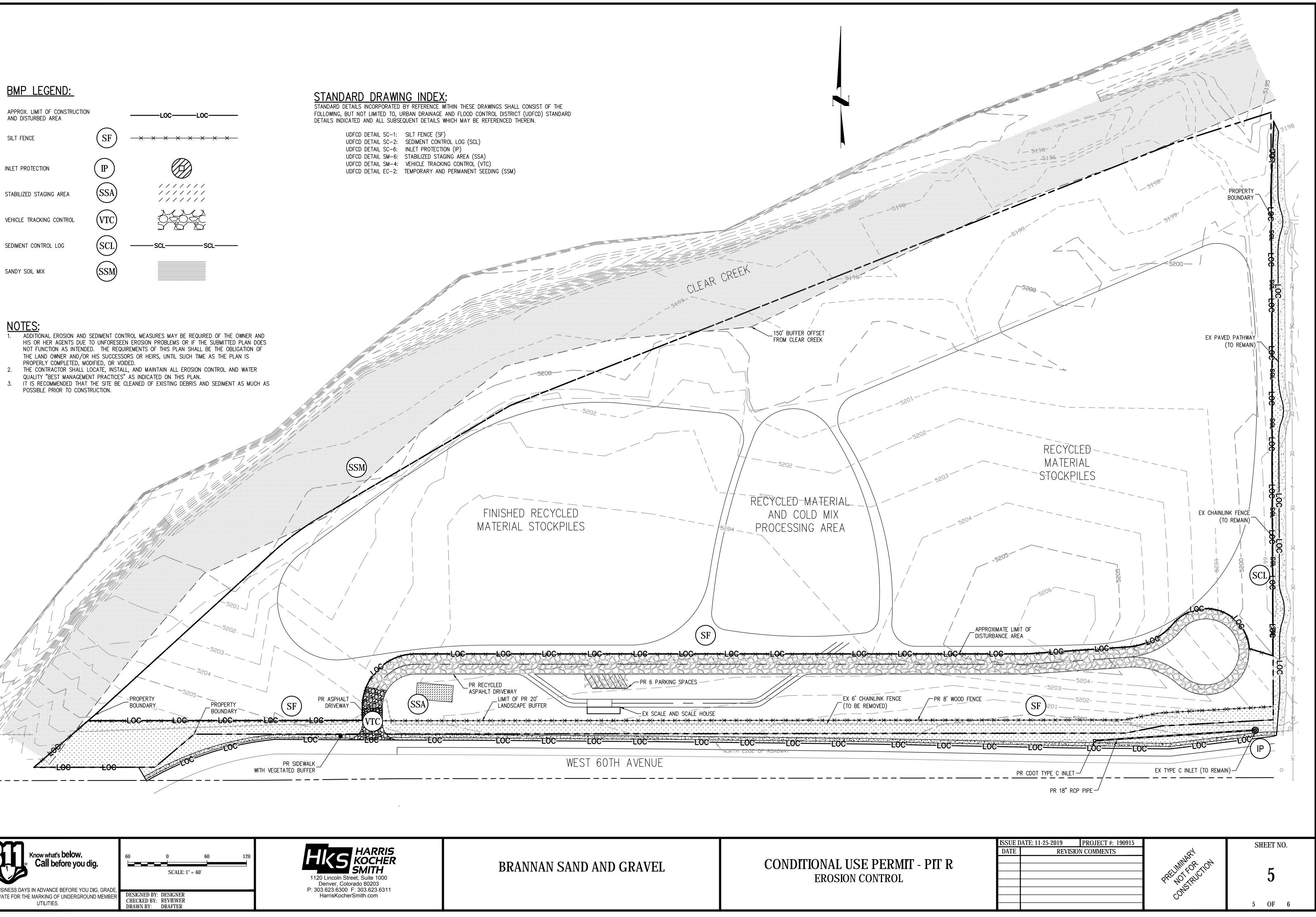




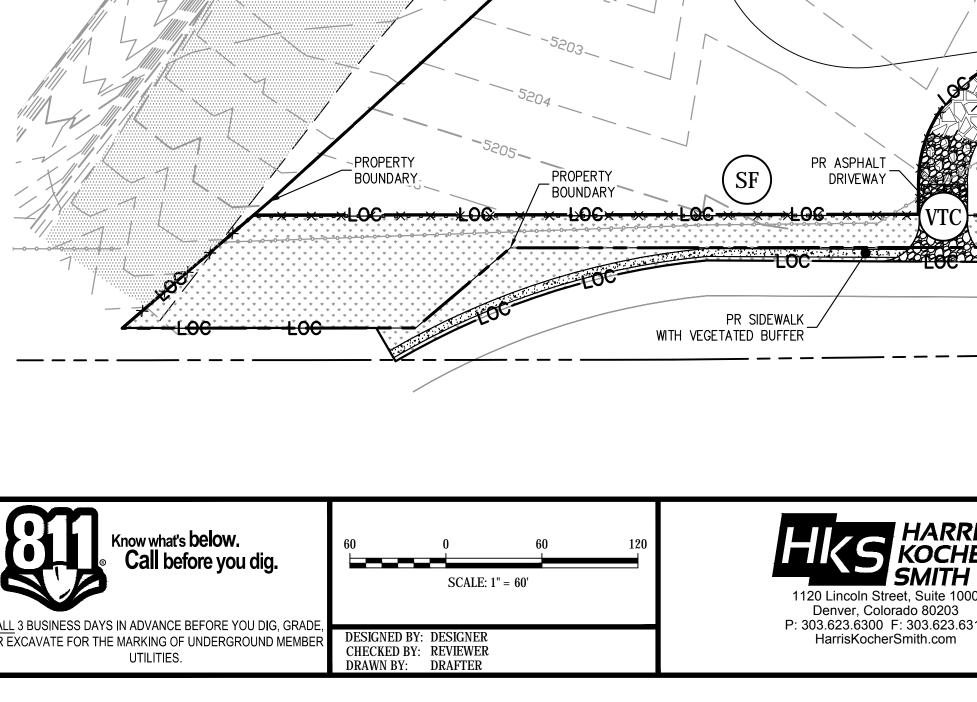
|                      | · · · · · · · · · · · · · · · · · · · |                  |                        |  |
|----------------------|---------------------------------------|------------------|------------------------|--|
| RUNOFF SUMMARY TABLE |                                       |                  |                        |  |
| AREA (AC)            | IMPERVIOUS %                          | <b>Q</b> ₅ (CFS) | Q <sub>100</sub> (CFS) |  |
| 3.49                 | 12.3                                  | 0.39             | 2.56                   |  |
| 3.49                 | 16.9                                  | 0.60             | 3.09                   |  |
| 21.18                | 2.7                                   | 0.35             | 10.18                  |  |
| 21.18                | 2.7                                   | 0.35             | 10.18                  |  |

| AREA (FT2) | VOLUME (FT3) | VOLUME (AC-FT) | RELEASE (CFS) |
|------------|--------------|----------------|---------------|
| 7125       | 0            | 0.00           | 0.13          |
| 9184       | 1549         | 0.04           | 0.17          |
| 10268      | 2522         | 0.06           | 0.19          |
| 17639      | 12010        | 0.28           | 0.32          |
| 17964      | 12544        | 0.29           | 0.33          |
| 106,260    | 74656        | 1.71           | 10.18         |

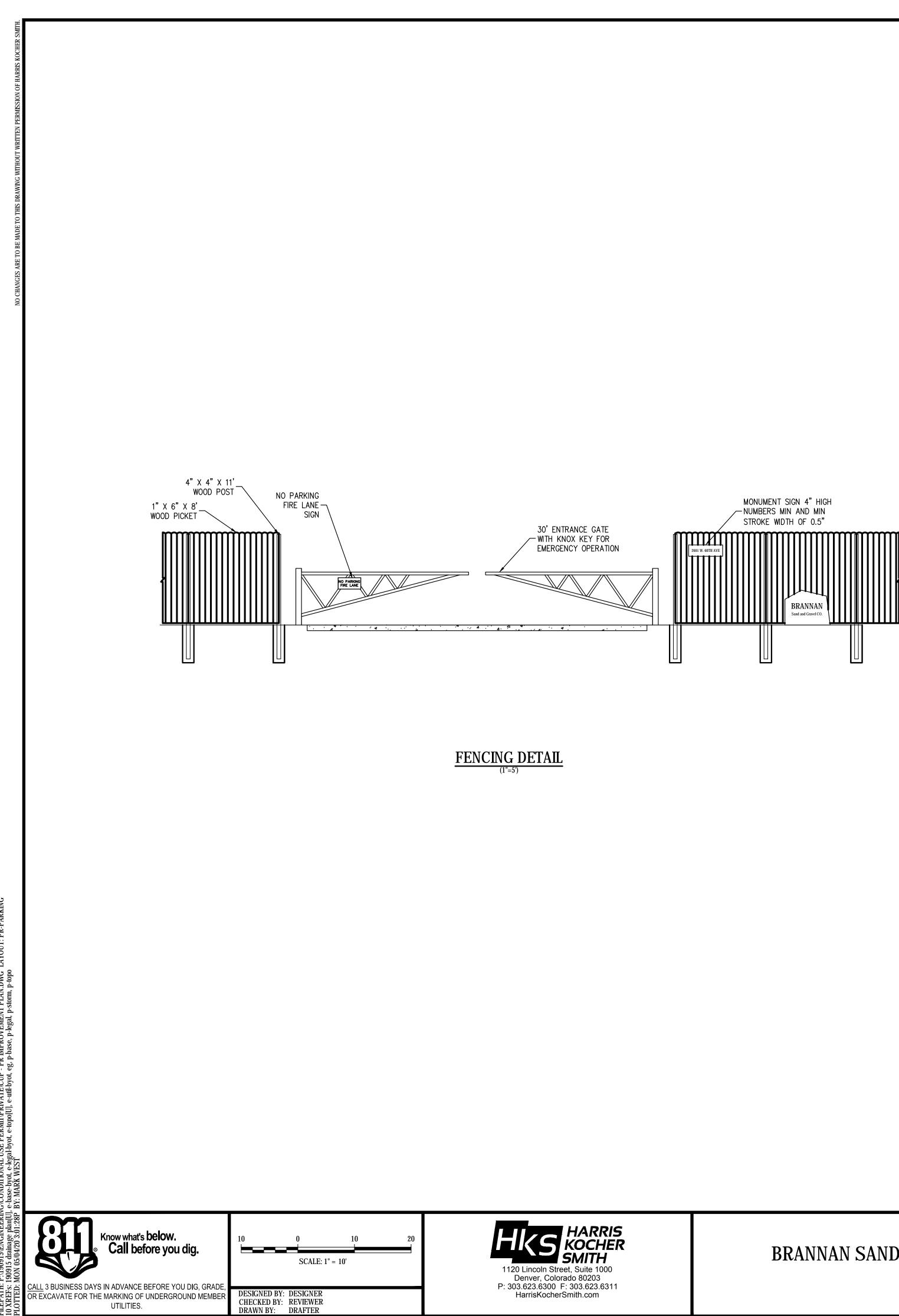
| <b>BRANNAN SAND AND GRAVEL</b> | CONDITIONAL USE PER<br>DRAINAGE PLAN |
|--------------------------------|--------------------------------------|



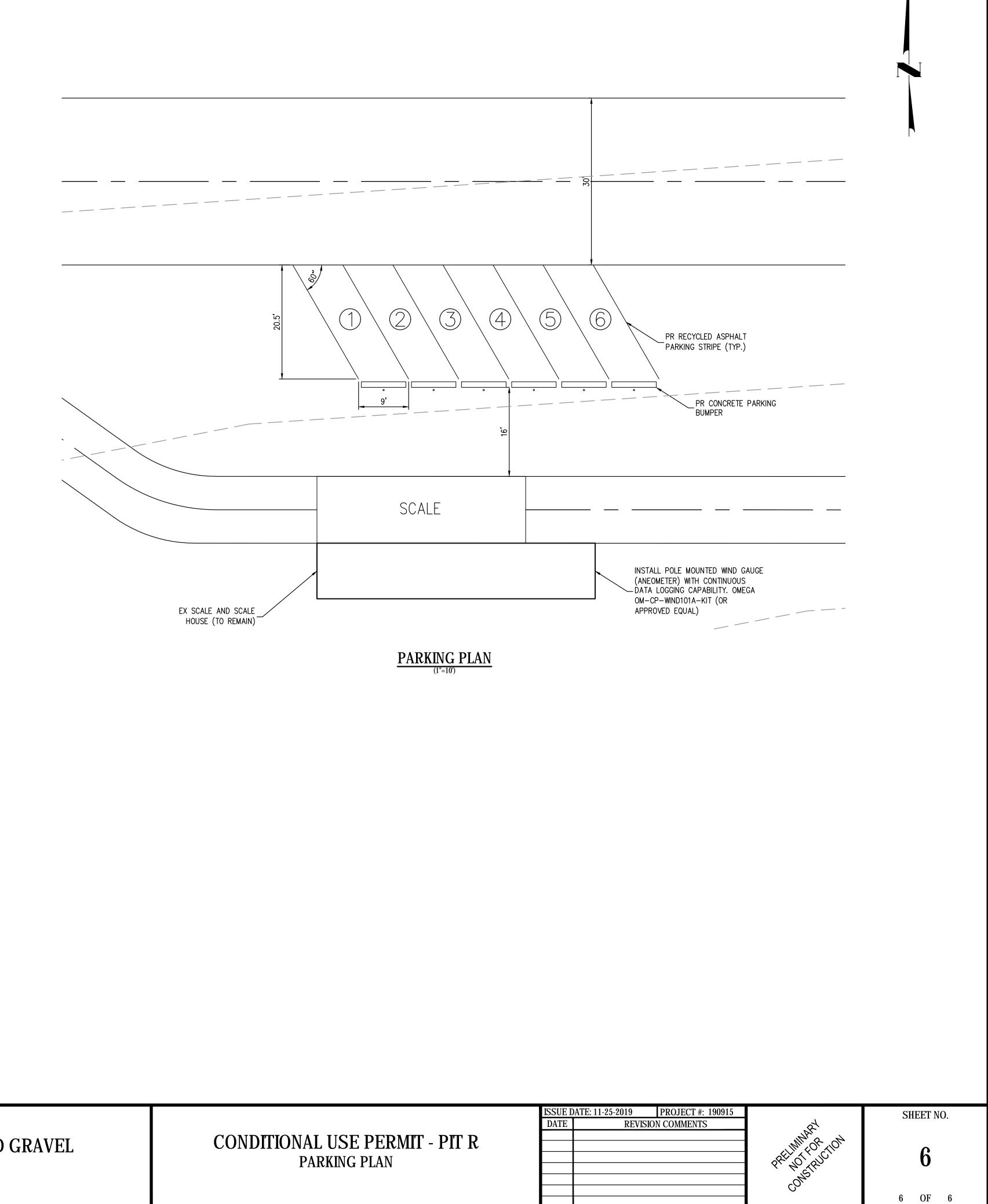




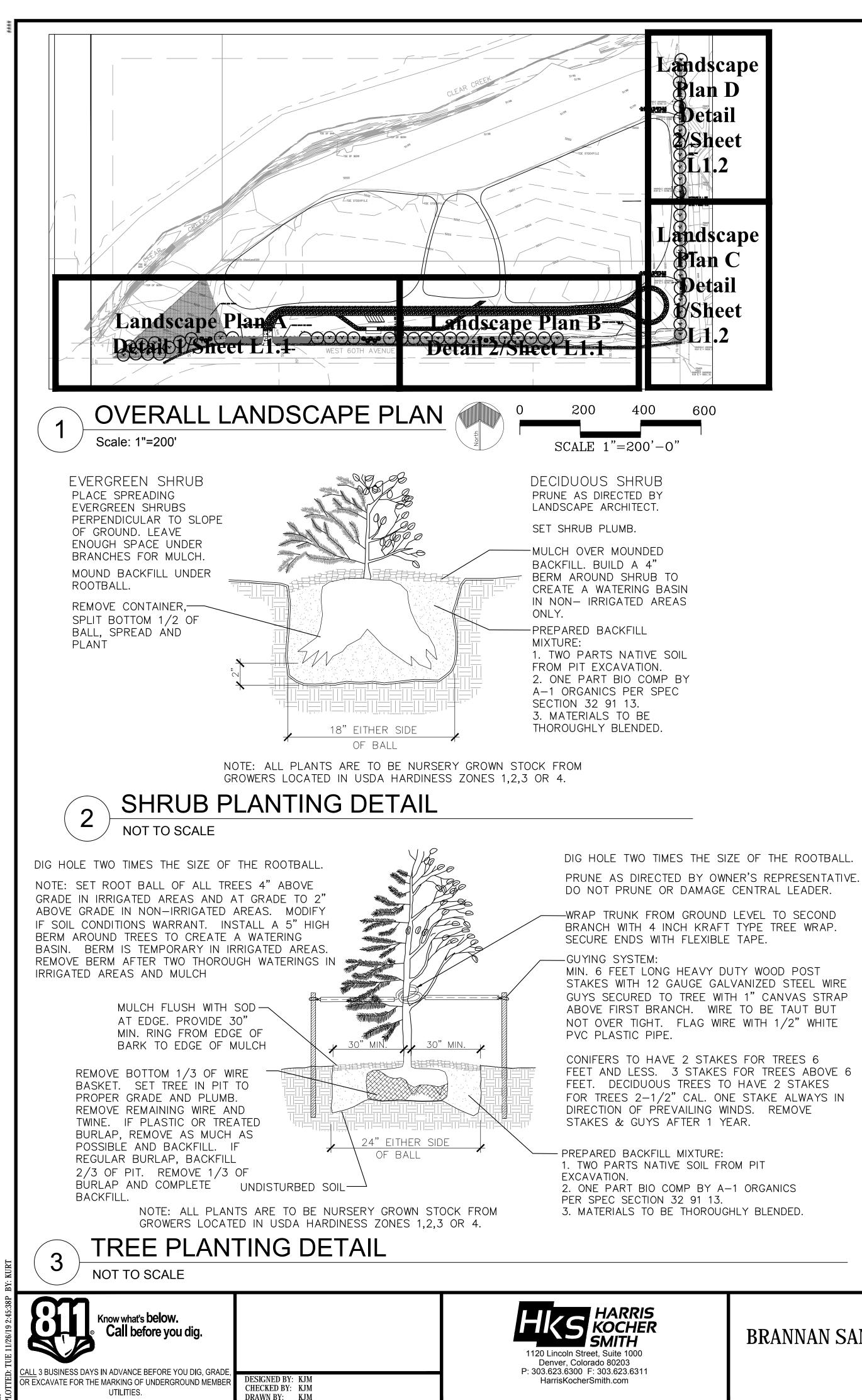




ERMITVPRIVATE/CUP - PR IMPROVEMENT PLAN.DWG e-topo[U], e-util-byot, eg, p-base, p-legal, p-storm, p-topo .UNDITIONAL USE PEI ase-byot, e-legal-byot, e : MARK WEST P:/190 19091 FILEPATH: 10 XREFs: PLOTTED:



**BRANNAN SAND AND GRAVEL** 



| +                | LEGEND<br>deciduous shade tree  |
|------------------|---|
| Mar Mar          | EVERGREEN TREE  |
| $\mathbf{\cdot}$ | ORNAMENTAL TREE   |
| $\bigcirc$       | DECIDUOUS SHRUB   |
|                  | 4"–24" BRANNAN SAND AND GRAVEL<br>NATURAL COLORED RIVER ROCK MULCH<br>OVER GEOTEXTILE FABRIC  |
|                  | LOW GROW NATIVE SEED MIX, ARKANSAS VALLEY<br>LOW GROW SEED MIX, AMEND SOIL FOR SEED WITH<br>3 CY OF A1 ORGANICS SOIL AMENDMENT PER 1,000<br>SF TILLED IN TO 9" DEPTH. APPLY SEED AT A<br>RATE OF 25 LBS PER ACRE. CONTRACTOR<br>RESPONSIBLE FOR PROVIDING WATER AS REQUIRED<br>UNTIL SEED IS ESTABLISHED. |

|   | PLAN   | T SCHEDULE   |            |
|---|--------|--|------------|
|   |        | Botanical Name   |            |
| _ | SYMBOL | COMMON NAME  | SIZE       |
| - |        | DECIDUOUS TREES:   |            |
|   | GL TR  | Gleditsia triacanthos inermis 'Shademaster'<br>SHADEMASTER HONEYLOCUST | 2 1/2" B&B |
|   | CE OC  | Celtis occidentalis<br>WESTERN HACKBERRY                               | 2 1/2"B&B  |
|   | QU RU  | Quercus rubra<br>RED OAK   | 2 1/2"B&B  |
|   | PO AN  | Populus angustifolia<br>NARROWLEAF COTTONWOOD                          | 2 1/2"B&B  |
|   |        | EVERGREEN TREES:   |            |
|   | JU MO  | Juniperus monosperma<br>ONE SEED JUNIPER                               | 6' B&B     |
|   |        | <u>ornamental trees</u>  |            |
|   | AC GR  | Acer grandidentatum<br>BIGTOOTH MAPLE                                  | 1 1/2"B&B  |
|   |        | <u>DECIDUOUS SHRUBS:</u>   |            |
|   | RH AR  | Rhus aromatica 'Grow Low'<br>GROW LOW FRAGRANT SUMAC                   | #5 Cont.   |
|   | PR PA  | Prunus besseyi 'Pawnee Buttes'<br>CREEPING WESTERN SAND CHERRY         | #5 Cont.   |
|   |        |  |            |

## SUMMARY OF ADAMS COUNTY LANDSCAPE REQUIREMENTS

4-16.07 REQUIRED LOT LANDSCAPING TOTAL LOT AREA: 1,019,598 S.F. MINIMUM LANDSCAPE AREA 10% OF THE LOT AREA: 101,959 S.F. LANDSCAPING PROVIDED: 102,110 S.F. 4-16.07.01 STREET FRONTAGE LANDSCAPING ALONG WEST 60TH AVENUE: 1900 L.F.

**BRANNAN SAND AND GRAVEL COMPANY, LLC** 

**PIT-R CONDITIONAL USE** LANDSCAPE NOTES, DETAILS A

## GENERAL NOTES:

- 1. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY IN, ON OR ABOUT THE PROJECT SITE. ANY DAMAGE TO ADJACENT PROPERTY OR UTILITIES, NOT DESIGNATED FOR REMOVAL, RELOCATION OR REPLACEMENT, SHALL BE REPAIRED AND/OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS OR LICENSES REQUIRED FOR THE PERFORMANCE OF THE WORK AS APPLICABLE TO THE PROJECT.
- 3. THE LANDSCAPE ARCHITECT AND/OR OWNER MAKE NO WARRANTY AS TO THE CORRECTNESS AND/OR COMPLETENESS OF THE EXISTING FEATURES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES INCLUDING WATER, SEWER, STORM DRAINS, GAS TRANSMISSION LINES, AND OTHER UTILITIES ABOVE AND BELOW THE SURFACE THAT MAY AFFECT THE PROJECT. SHOULD DISCREPANCY OR CONFLICT BE DISCOVERED THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY, AND SHALL NOT CONTINUE CONSTRUCTION UNTIL SAID CONFLICT CAN BE RESOLVED IN WRITING.
- 4. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION TO VERIFY DEPTH AND LOCATION OF ALL UTILITIES.
- 5. ANY CONSTRUCTION DEBRIS OR MUD-TRACKING IN THE PUBLIC RIGHT-OF-WAY RESULTING FROM THE WORK SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR. 6. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN AND OTHER DEVICES NECESSARY TO PROVIDE FOR THE PUBLIC SAFETY ON AND ABOUT THE SITE. THE CONTRACTOR SHALL FURNISH APPROPRIATE TRAFFIC CONTROL AND SAFETY
- MEASURES IN ACCORDANCE WITH AURORA PUBLIC SCHOOLS REQUIREMENTS. 7. CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT BOTH ON SITE AND ADJACENT PROPERTY. AREAS OUTSIDE THE LIMITS OF WORK AS SHOWN ON THE PLANS SHALL REMAIN UNDISTURBED. ANY ITEMS NOT INTENDED FOR DEMOLITION MUST BE PROTECTED. ANY DAMAGE WILL BE REPAIRED AT CONTRACTOR'S EXPENSE.
- 8. CONTRACTOR SHALL REMOVE ALL DEBRIS FROM DEMOLITION OPERATIONS ON A DAILY BASIS.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION SURVEYING. LAYOUT AND STAKING OF ALL IMPROVEMENTS SHALL BE APPROVED BY THE OWNER PRIOR TO INSTALLATION OF IMPROVEMENTS. DISCREPANCIES TO THE BASE INFORMATION SHALL BE BROUGHT TO THE PROJECT MANAGER'S ATTENTION FOR A DECISION PRIOR TO COMMENCING WITH THE WORK. NOTIFICATION OF REQUEST FOR FIELD REVIEW SHALL BE MADE A MINIMUM OF 24 HOURS IN ADVANCE.
- 10. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE PROJECT MANAGER IF ANY SIGNIFICANT INCONSISTENCIES BETWEEN THE EXISTING CONDITIONS AND THESE PLANS ARE DISCOVERED.
- 11. ALL CONSTRUCTION SHALL CONFORM WITH THE APPLICABLE STANDARDS AND SPECIFICATIONS OF ADAMS COUNTY.
- 12. THE APPLICANT AGREES TO MAINTAIN PLANTINGS AND OTHER PROPOSED LANDSCAPE IMPROVEMENTS SHOWN ON THIS PLAN WITHOUT REGARD TO LOCATION INSIDE OR OUTSIDE PUBLIC RIGHT-OF-WAY. TO THE EXTENT THAT PLANTINGS ULTIMATELY RESIDE IN THE PUBLIC RIGHT-OF-WAY, THE APPLICANT AGREES TO INCORPORATE MAINTENANCE INTO A DEVELOPMENT AGREEMENT OR OTHER APPROPRIATE INSTRUMENT AT ADAMS COUNTY'S DISCRETION.
- 13. THE APPLICANT AGREES TO ESTABLISH AND MAINTAIN VEGETATION THROUGH HAND-WATERING, DELIVERED BY THE APPLICANT'S WATER TRUCK.

TREES REQUIRED: 48, PROVIDED: 48 SHRUBS REQUIRED: 96 PROVIDED : 96 ALONG PUBLIC TRAIL TO EAST 921 L.F.

- TREES REQUIRED: 23, PROVIDED: 23
- SHRUBS REQUIRED: 46, PROVIDED: 46

# PRELIMINARY FOR ILLUSTRATIVE PURPOSES ONLY

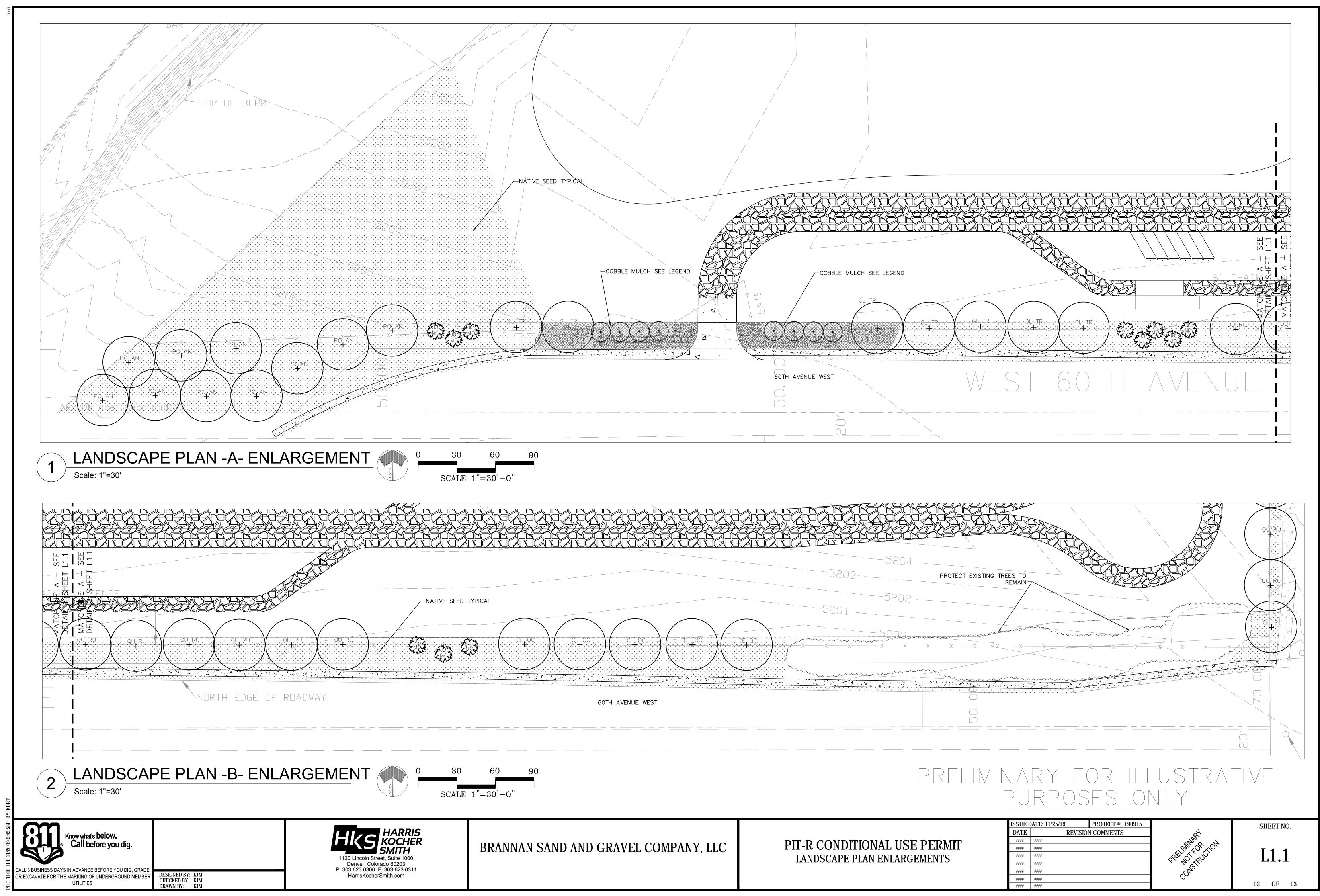
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| SUE D | ATE: 11/25/19 |          | PROJECT #: 190915 |
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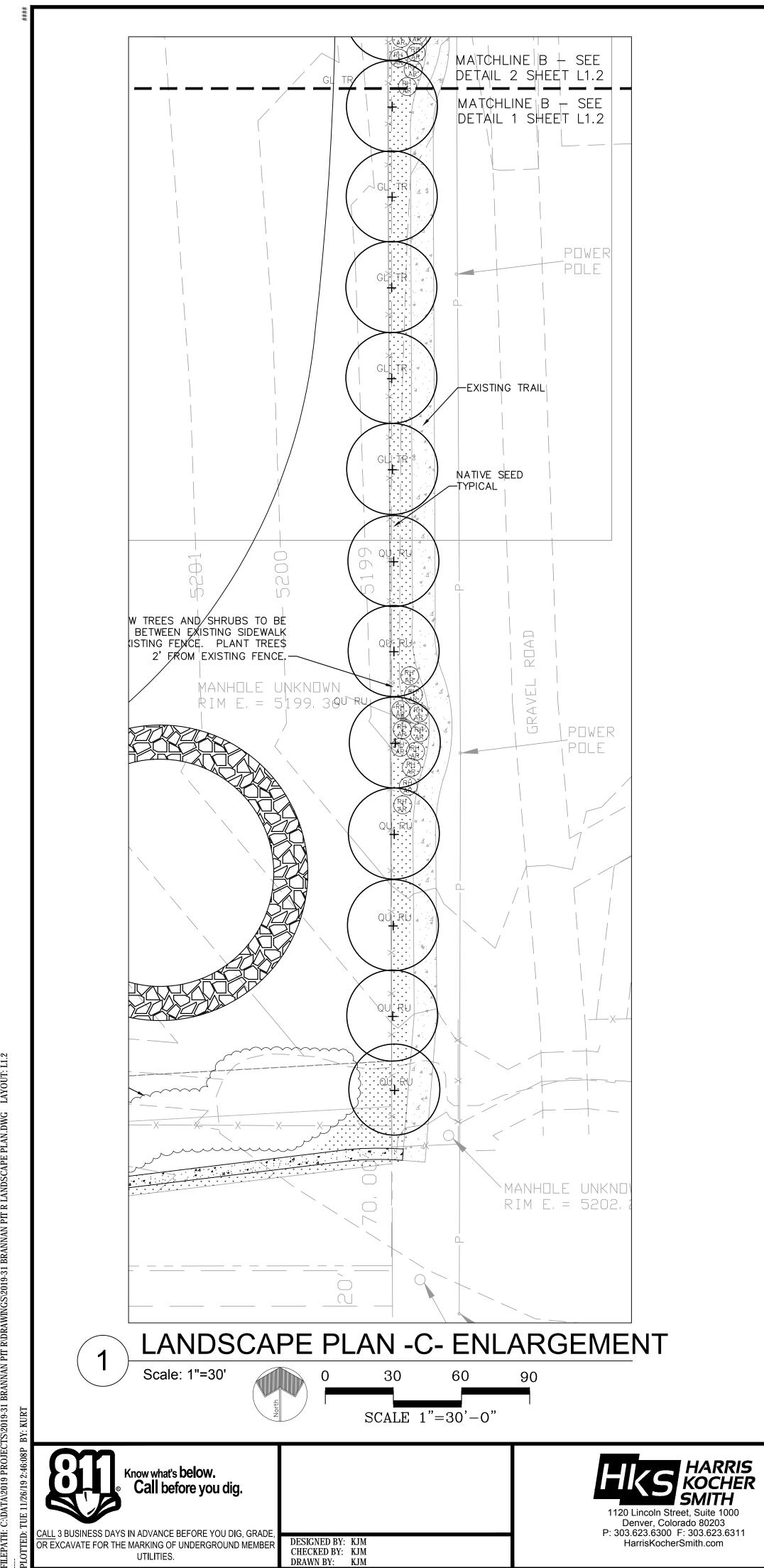


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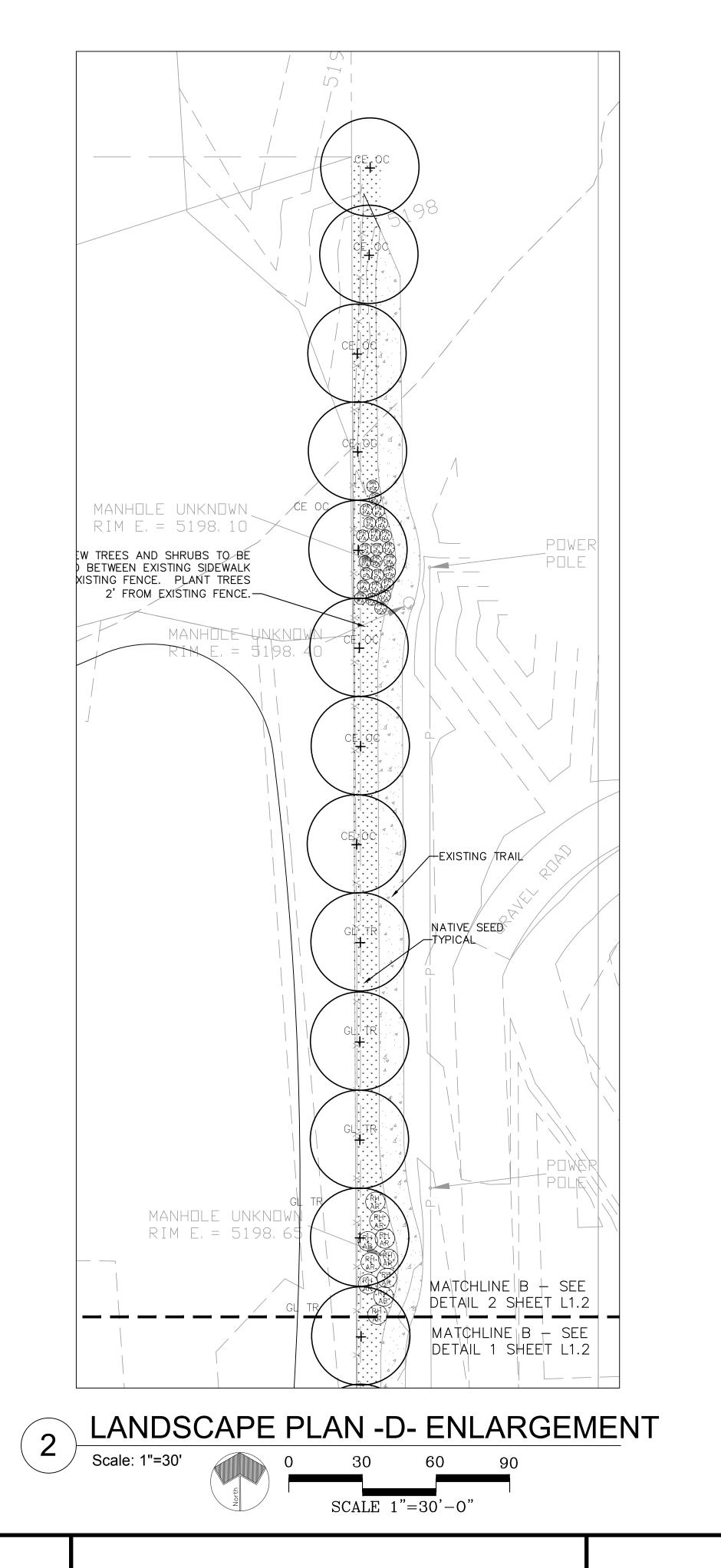


ATH: C:\DATA\2019 PROJECTS\2019-31 BRANNAN PIT R\DRAWINGS\2019-31 BRANNAN PIT R LANDSCAPE PLAN.DWG LAY





**PIT-R CONDITIONAL USE PE** LANDSCAPE PLAN ENLARGEMEN



# PRELIMINARY FOR ILLUSTRATIVE PURPOSES ONLY

|       | ISSUE D | ATE: 11/25/19 | PROJECT #: 190915 |               | SHEET NO.  |
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Community & Economic Development Department

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000 Brighton, CO 80601-8204 РНОВЕ 720.523.6800 FAX 720.523.6998

#### **Development Review Team Comments**

Date: 6/8/2020 Project Number: PRC2019-00020 Project Name: Brannan Sand & Gravel (Pit R)

Commenting Division: Planner Review 2nd Review

Name of Reviewer: Greg Barnes

Date: 06/08/2020

Email: gjbarnes@adcogov.org

#### Complete

PLN01: Landscape plans were submitted with the original application, but no landscape plan was submitted with the resubmittal package. Even with the addition of landscaping, it is unlikely that this use will be appropriate for the area, based on Criterion #4 regarding compatibility. The best path forward may be scheduling the case for public hearing.

Commenting Division: Development Engineering Review 2nd Review

Name of Reviewer: Greg Labrie

Date: 05/22/2020

Email: glabrie@adcogov.org

#### Complete

ENG1: The applicant will be required to complete and submit the Adams County construction permit application (INF) along with the supporting engineering documents for the proposed site improvements and right-of-way improvements. The construction permit must be reviewed and approved by Development Engineering before construction can begin.

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry DISTRICT 1 Charles "Chaz" Tedesco DISTRICT 2 Emma Pinter

Steve O'Dorisio

Mary Hodge DISTRICT 5

DISTRICT 3 Page 1 of 5

### **Commenting Division:** Environmental Analyst Review 2nd Review

Name of Reviewer: Katie Keefe

Date: 05/21/2020

#### Email:

#### Complete

The following are a list of potential conditions, if approved:

The applicant shall install a wind gauge, such as an anemometer, in the vicinity of crushing operations to monitor wind speeds and shall cease dust generating activities when wind speeds exceed a sustained 25 mph or gusts exceed 35 mph. Records of operation shutdown due to high winds shall be maintained and made available to Adams County upon request.

Fugitive dust control measures as prescribed within the facility's Air Pollutant Emission Notice permit as issued by CDPHE, must be in place and functioning at all times. There must be no off-property transport of visible emissions nor shall visible dust emissions exceed 20% opacity.

The applicant shall install sediment control BMPs along the site access and use a sweeper as frequently as necessary to prevent tracking and offsite transport of mud and dirt from the facility onto the public right of way.

The applicant has agreed as a condition of the permit to conduct semi-annual noise monitoring and airborne dust monitoring while crushing and recycling operations are active. Noise and air monitoring results shall be provided to the Director of Community and Economic Development within seven days of receiving monitoring results.

Aboveground petroleum storage tanks used for equipment fueling must be placed within secondary containment and meet applicable fire code requirements.

If fuel will be stored on this site:

• All fuel storage at this site shall be provided with secondary containment, which complies with State of Colorado Oil Inspection Section Regulations; and

• Fueling areas shall be separated from the rest of the site's surface area, and protected from storm water; and

• Applicant shall make available for review by the County its Spill Prevention, Control, and Countermeasures Plan.

All fluid spills such as hydraulic and oil from maintenance of equipment, shall be removed and disposed of at a facility permitted for such disposal.

**Planner Comments** 

Case Manager: Greg Barnes

PLN01: There are three applications being submitted: Conditional use permit to allow recycling operations in the I-2 and I-3 zone districts, conditional use permit to allow accessory outdoor storage in the I-2 and I-3 zone districts, and conditional use permit to allow stacking of material over the height of fencing.

PLNO2: The subject property is located within a future land use designation as "Activity Center". This designation is intended for a future land use that will accommodate a very high intensity office, residential, and commercial uses. These areas shall provide allowances for pedestrian and bicycle transportation that will promote transit uses. The proposal of recycling operations and outdoor storage is inconsistent with the County's Comprehensive Plan.

PLN03: The area is nearby a commuter rail station and the proposal may have substantial impacts on the future development of the surrounding area. Recycling operations may create off-site impacts that may also be detrimental to the surrounding neighborhood and its future development.

PLN04: Although staff may be unlikely to support this use, the chances for approval by the Board of County Commissioners will be increased if off-site impacts are strongly mitigated. We can brainstorm at the upcoming RCC on how the application can be enhanced.

PLN05: Please provide an elevation drawing of the proposed 8' wood fence.

PLN06: At the upcoming RCC, there should be further discussion of vehicle tracking onto public roadways and overall truck traffic volumes.

PLN07: It is recommended that staff and the applicant continue to assess a reduction of the proposed height of materials.

PRC2019-00020; Brannan Sand & Gravel Pit R

**Request:** CUP's for recycling operations, outdoor storage, and over fence height stacking of material. **Address:** 2601 W 60<sup>th</sup> Avenue

CLU/FLU: I-2/ Activity Center

Plans:

SW Area Framework Plan

- Policy 14.1 Promote Clean Industrial Uses; Encourage development and redevelopment of a range of industrial uses in the Southwest Area, with particular emphasis on new clean and/ or light industrial uses.

Balanced Housing Plan- N/A

Clear Creek Valley TOD Plan (see attached maps)

Goal – Clear Creek at Federal Station

The vision for the Clear Creek at Federal Station is to create a new, vibrant, transit-oriented community amenity within walking distance of the transit station. New retail, employment, entertainment and living opportunities within the new Village Center will serve the needs of the existing community and maintain the area as an employment center for Adams County.

Station Area Goals:

Maintain and enhance existing commercial corridors

Create new connections with surrounding residential and commercial areas Revitalize older commercial and industrial areas

Encourage mixed use development

Promote sustainable development

Enhance area's role as a gateway to Southwest Adams County

Maintain and enhance existing residential neighborhoods

Improve open space and recreational opportunities

Revitalize vacant and underutilized land

#### TOD and Rail Station Area Planning Guidelines

- Policy: Ensure that development patterns are compatible with both the established character of the county and the new framework provided in Station Area Plans.
  - S4. The County will discourage land use patterns in transit corridors and around transit stations that may preclude future Transit Oriented Development.
- Policy: Development intensity and density should be significantly higher in Station Areas to provide a base for a variety of housing, employment, local services and amenities that promote transit usage, encourage pedestrian activity and support a vibrant station area community.
  - #7 Discourage low-intensity, land consumptive uses related to agriculture or heavy industry such as outdoor storage or construction staging.

#### Federal Blvd Framework Plan

- 8. Corridor Planning should address potential Federal Boulevard blight conditions and recommend improvements in visual character. The addition of pedestrian-oriented improvement to the Right-of-Way is critical in providing better accommodations for non-motorized corridor transportation. Additionally, streetscape planting should be incorporated throughout the corridor with a focus on shade trees along the east and west sides of the roadway due to the utility limitations of the center medians.
- 10. Corridor planning should address potential methods to land assembly for redevelopment, protection of residential neighborhoods from commercial land use and traffic encroachment, and methods to interconnect the local street grid.

#### Imagine Adams Comp Plan

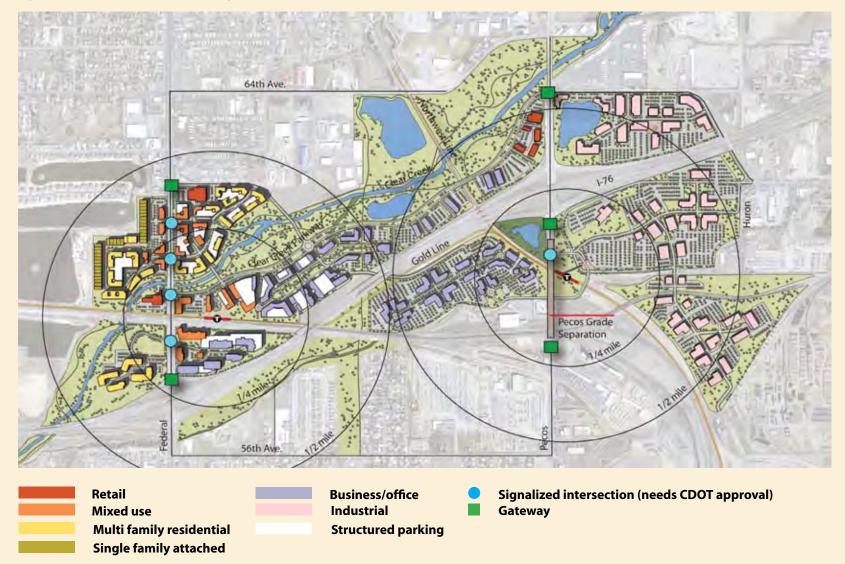
Activity Center- This land use category is characterized by its high intensity, mixed-use character, and high quality. The primary uses will be offices, hotels, retail, high-density residential and clean, indoor manufacturing and warehousing. Activity Centers are designated for areas that will have excellent transportation access and visibility, particularly along the FasTracks corridors. Development in Activity Centers must contain a sufficient intensity and mix of uses to create a pedestrian environment and support transit service. These centers may be especially suitable for providing a variety of housing or should be planned with due consideration of accessibility between residences and places of employment.

#### Making Connections

- Triangle of Opportunity. Opportunities include transit-oriented development, trail-oriented development, mixed-use development.
- 4.1 Sidewalk Program 2. Missing Sidewalk links

#### **DEVELOPMENT VIABILITY**

**Option 1 - Clear Creek Parkway** 





#### **Option 1 - Clear Creek Parkway**

#### Approach

An approach was used that integrated the two station areas as one unified place by completing the connection of 60th Avenue from Federal Boulevard under I-76 to Pecos Street and the Pecos Junction Station. This collector road creates a new east-west connection and provides access to the Clear Creek amenity to neighborhoods and businesses south of I-76 and the rail lines. The plan is based on a future scenario of the densification that is possible after the arrival of commuter rail and opportunities for retail and residential development become a reality in the market. It has a 12-20 year planning horizon.

#### **Overview of Option 1 - Clear Creek Parkway**

Option 1 - Clear Creek Parkway is based on building a parkway north of I-76 that connects Federal Boulevard to Pecos Street along the Clear Creek amenity. The parkway expands the open space associated with the amenity and also serves to mitigate the floodplain issues in the area and enables development to occur between I-76 and and the parkway. A collector road is also proposed from 62nd Avenue and Federal Boulevard east to the Pecos Station creating a second connection between the two station areas.

#### Parking

In the short term, surface parking will prevail at both stations. However, as the market allows and densification occurs, mixed-use structured parking with wrapped retail on the street level is recommended. The plan shows a future vision of structured parking around the Federal Station area. Future public parking will not be paid for by RTD or Adams County. In the Gold Line EIS, RTD has bugeted for surface parking through 2030.

#### Circulation

Both vehicular and pedestrian circulation was a primary consideration in the plan. Access east and west has been increased, and a greatly expanded network of sidewalks and trails is integral to the concept. Pedestrian priority streets will dominate in the Village Center area and all roads in the station areas will provide for bike and pedestrian circulation.

#### Gateways

Four gateways are noted on the plan. Whether they announce the station areas or the name of a business park, gateways become familiar landmarks that contribute to a greater sense of place and unite the various elements of the plan. Specific gateway design and area branding will need to be developed as part of an overall station identity program.



Gateway as a small median



Gateway as an overhead sign

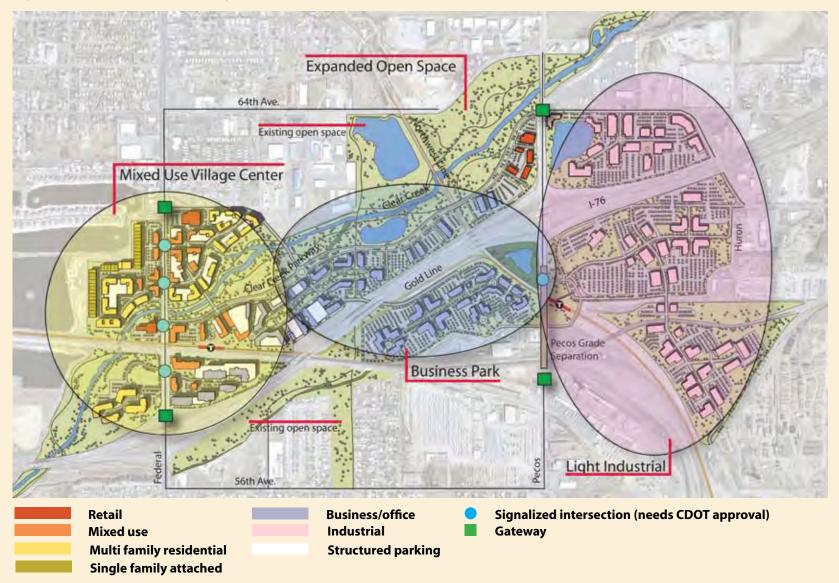


Gateway as a corner monument



#### **DEVELOPMENT VIABILITY**

#### **Option 1 - Clear Creek Parkway**





#### **Greg Barnes**

| From:        | Gordon Stevens   |
|--------------|--|
| Sent:        | Thursday, December 26, 2019 10:01 AM   |
| То:          | Greg Barnes  |
| Cc:          | David Rausch; Juliana J. Archuleta; Russell Nelson; Monica Lovato-Ramirez; John Dyer |
| Subject:     | RE: For Review: Brannan Sand & Gravel Pit R (PRC2019-00020)                          |
| Attachments: | DOCS-#6018167-v1-SUBMITTAL_BRANNAN_SAND_AND_GRAVELPIT_R2601_W                        |
|              | 60TH_AVEGREG_BARNES_REQUEST_FOR_COMMENT.PDF  |

Good Morning Mr. Barnes,

Good Morning Greg,

Thank you for the opportunity to review this submittal. The Adams County Dept. of Public Works, Infrastructure Management, Construction Inspection Division offers the following comments:

- 1.) Roadway Construction will be required along this frontage of this property. The roadway must be constructed to it's ultimate width along this property frontage.
- 2.) Construction plans must be submitted to and approved by the Community and Economic Development Department prior to beginning this construction.
- 3.) Although the Platting has been completed for this site, an SIA will be required along with the appropriate collateral prior to the issuance of the Conditional Use Permit.
- 4.) This SIA and the submitted collateral must be approved by the Board of County Commissioners prior to beginning construction.
- 5.) A construction Permit must be issued prior to the work commencing.
- 6.) The roadway along this property frontage has been substantially deteriorating along this property frontage for several years, partially due to the traffic related to this site. These construction plans must reflect the repair of this roadway in it's entirety along this property frontage.
- 7.) There are several drainage related issues along the property frontage of this site. These drainage issues must also be addressed as part of the aforementioned construction plans.
- 8.) It does not appear as though the on-site drainage issues have been addressed with this site.
- 9.) No building Permit will be issued for any lot until all of the Public Improvements have been completed and have received Preliminary Acceptance from the Adams County Department of Public Works.
- 10.) A Pre-Construction Meeting will be held with the Construction Staff of the Dept. of Public Works, prior to construction beginning.

These plans will need to be resubmitted when they are complete.

Again, thank you for this opportunity to review this submittal.



#### **Gordon Stevens**

Construction Inspection Supervisor, Department of Public Works Infrastructure Management Division ADAMS COUNTY, COLORADO 4430 So, Adams County Parkway, 1st Floor, Suite W2000B

#### Juliana Archuleta

To: Subject: Greg Barnes FW: For Review: Brannan Sand & Gravel Pit R (PRC2019-00020) - Stormwater

I would like to add a few request as this is a site with historic issues: Adams County Stormwater Division recommends the following:

- 1) Water quality must be provided to these operations due to the proximity to Clear Creek and the pollutants onsite (recycling concrete, oils from shingles, trash, vehicle leaks, etc)
- 2) A drainage report needs to be submitted showing water quality design for approval. Include assessment of soil compaction and stock piles material impacts on impervious areas and coefficients. Include drainage impacts of the proposed site driveway. Provide analysis for the existing berm installed around the property to avoid outfall to Clear creek. Provide berm height, material, and alignment, capacity and construction details. Review levee designations and regulations regarding the berm. Perform an inspection of the berm, provide pictures and video. Survey the berm by a professional surveyor to ensure the existing berm matches the design. Provide engineering calculations showing that the containment berm is adequate for containing all rain events and allowing them to infiltrate into the ground within 72 hours according to CRS 37-92-602(8). List applicable permits that will be triggered.
- 3) If, as a result of the drainage report, a storm outlet (pipe or channel) needs to be installed at this property, then contact CDPHE's Stormwater Industrial Permit and submit permit application. Provide copies of the permit and all supporting information (SWMP, sampling plan, etc).
- 4) Provide documentation showing Brannan has the authorization to work, store materials or stockpile on Adams County parcel # 0182508100038 located between Brannan and Clear Creek. If there is no written agreement, please relocate the berm or any other containment structure within Brannan property line. Re-store Adams County property: grade, amend soil, mulch and seed until 70% vegetation cover is established and survey and staked down the property limits. Refer to image below.
- 5) Establish a 150ft vegetation buffer zone from the top of clear Creek's slope. Provide site plan showing buffer zone. Revegetated buffer zone as needed with native seed mix according to soil type.
- 6) Provide access easement to the county to inspect the creek. Contact ROW-Marissa H.
- 7) Install a vehicle tracking pad following UDFCD details, angular clean rock 3 to 6", geotextile underneath at the access that transitions from the recycled asphalt driveway and dirt. The millings do not remove sediment from tires, a tracking pad is still needed. Call for inspection. No recycling concrete allowed. This product is not allowed because the fines have high pH and impact water quality.
- 8) Provide "Sweeping Plan" specifying sweeping frequency. No kick broom equipment, vacuum sweeper is required. Sweeping logs must be filed. Waste disposal of sweepings needs to be specified. If disposal is on-site, provide location and BMPs to prevent run-on, run-off and infiltration of pollutants into the ground.
- 9) Inspect impacts to Clear Creek's slope regularly. Remove all trash, repair all erosion, mulch and seed all bare soil areas following UDFCD details and seed mix. Document conditions with pictures and keep logs. Provide inspection results and repairs of the first inspection.
- 10) Contact David Rausch regarding drainage easement needs along the front side of the property, and Drainage issues in that area.



December 30, 2019

Greg Barnes, Planner III Adams County Community & Economic Development Department Transmission via email: <u>gjbarnes@adcogov.org</u>

Re: Brannan Sand & Gravel Pit Case no. PRC2019-00020 Part of NW ¼ Section 8, T 35, R 68W, 6<sup>th</sup> P.M. Water Division 1, Water District 2

Dear Mr. Barnes:

We have received your December 17, 2019 submittal concerning the above referenced conditional use permit applications for recycling operations, accessory outdoor storage, and stacking of material uses on a 23.57-acre parcel located in the NW ¼ of Section 8, T 3S, R 68W, 6<sup>th</sup> P.M. According to the submitted information, the parcel is located in the Industrial-2 and Industrial-3 zone districts.

This referral does not appear to qualify as a "subdivision" as defined in Section 30-28-101(10)(a), C.R.S. Therefore, pursuant to the State Engineer's March 4, 2005 and March 11, 2011 memorandums to county planning directors, this office will only perform a cursory review of the referral information and provide informal comments. The comments do not address the adequacy of the water supply plan for this project or the ability of the water supply plan to satisfy any County regulations or requirements. In addition, the comments provided herein cannot be used to guarantee a viable water supply plan or infrastructure, the issuance of a well permit, or physical availability of water.

There are no permitted wells on the property. Estimated water demand, proposed uses, and proposed water supply source were not provided. A letter dated April 3, 2019 stated that the North Washington Street Water & Sanitation District ("District") is currently servicing this property, and that permits for additional uses such as industrial must first be obtained, subject to limitations set forth by the District. This office has no objections to this proposal.

If you or the applicant have any questions, please contact Wenli Dickinson at 303-866-3581 x8206 or at <u>wenli.dickinson@state.co.us</u>.

Sincerely,

Joanna Williams, P.E. Water Resources Engineer

Ec: Subdivision file 26898



#### **Greg Barnes**

| From:    | Rob Smetana <rsmetana@arvada.org></rsmetana@arvada.org>     |
|----------|---|
| Sent:    | Wednesday, December 18, 2019 3:17 PM                        |
| То:      | Greg Barnes   |
| Subject: | Re: For Review: Brannan Sand & Gravel Pit R (PRC2019-00020) |

Please be cautious: This email was sent from outside Adams County

Greg,

Arvada has no concerns regarding this project. It is outside of our Comprehensive Plan and urban growth boundary areas.

Thanks for sending this for our review.

Rob Smetana, AICP Manager of City Planning and Development 720.898.7440 rsmetana@arvada.org



On Tue, Dec 17, 2019 at 1:05 PM Greg Barnes <<u>GJBarnes@adcogov.org</u>> wrote:

The Adams County Planning Commission is requesting comments on the following applications: **Conditional use permit applications to allow the following uses in the Industrial-2 and Industrial-3 zone districts: 1) recycling operations, 2) accessory outdoor storage; 3) stacking of material over the height of fencing.** This request is located at 2601 West 60th Avenue. The Assessor's Parcel Number is 0182508100041.

Applicant Information: Brannan, Fred Marvel, 2500 E. Brannan Way, Denver, CO 80229

Please forward any written comments on this application to the Community and Economic Development Department at 4430 S. Adams County Parkway, Suite W2000A Brighton, CO

80601-8216, or call (720) 523-6800 by January 7, 2020 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to <u>GJBarnes@adcogov.org</u>.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you upon request. The full text of the proposed request and additional information can be obtained by contacting this office or by accessing the Adams County web site at <a href="https://www.adcogov.org/planning/currentcases">www.adcogov.org/planning/currentcases</a>, sometimes it may take a few business days for case material to get posted to our website.

Thank you for your review of this case.



#### **Greg Barnes**

Planner III, Community and Economic Development Dept.

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

#### **Greg Barnes**

| From:    | Inter Governmental Plan Review <intergovernmentalplanreview@denverwater.org></intergovernmentalplanreview@denverwater.org> |
|----------|--|
| Sent:    | Friday, December 20, 2019 8:29 AM  |
| То:      | Greg Barnes  |
| Subject: | RE: For Review: Brannan Sand & Gravel Pit R (PRC2019-00020)  |

Please be cautious: This email was sent from outside Adams County

Good Morning Greg,

Denver Water has no comments on this submittal. Please let me know if you have any questions or concerns.

Thank you,

Kela Naso | Engineering Specialist Denver Water | t: 303-628-6302 | e: kela.naso@denverwater.org denverwater.org | denverwaterTAP.org



From: Greg Barnes <GJBarnes@adcogov.org>
Sent: Tuesday, December 17, 2019 1:06 PM
To: Greg Barnes <GJBarnes@adcogov.org>
Subject: For Review: Brannan Sand & Gravel Pit R (PRC2019-00020)

The Adams County Planning Commission is requesting comments on the following applications: **Conditional** use permit applications to allow the following uses in the Industrial-2 and Industrial-3 zone districts: 1) recycling operations, 2) accessory outdoor storage; 3) stacking of material over the height of fencing. This request is located at 2601 West 60th Avenue. The Assessor's Parcel Number is 0182508100041.

Applicant Information: Brannan, Fred Marvel, 2500 E. Brannan Way, Denver, CO 80229

Please forward any written comments on this application to the Community and Economic Development Department at 4430 S. Adams County Parkway, Suite W2000A Brighton, CO 80601-8216, or call (720) 523-6800 by January 7, 2020 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to <u>GJBarnes@adcogov.org</u>.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you upon request. The full text of the proposed request and additional information can be obtained by contacting this office or by accessing the Adams County web site at <a href="https://www.adcogov.org/planning/currentcases">www.adcogov.org/planning/currentcases</a>, sometimes it may take a few business days for case material to get posted to our website.

Thank you for your review of this case.



ADAMS COUNTY FIRE RESCUE

FIRE PREVENTION BUREAU

7980 Elmwood Lane Denver, CO 80221 P: (303) 539-6862 E: fireprevention@acfpd.org

| Project:<br>Address:<br>Occupancy Type: | Brannan Sand & Gravel<br>2601 West 60 <sup>th</sup> Avenue<br>Outdoor recycling,<br>storage, and stacking | Project Type:<br>Date:<br>Reviewed By: | ADCO Conditional Use Permit<br>12/23/19<br>Whitney Even |
|---|---|--|---|
| Construction Type:                      | storage, and stacking<br>TBD  | Certification #:                       | 166304410   |

The plans submitted to the Adams County Planning Division have been sent to use for review and comments. At this time, the Fire District has the following comments and/or requirements:

#### General:

- The 2018 International Fire Code is the current fire code adopted within the city and all development must be in compliance with its requirements. The 2018 IFC can be accessed online for free by going to <u>https://codes.iccsafe.org/public/document/IFC2018</u>. Amendments to this code can be located by going to <u>http://www.adcogov.org/sites/default/files/Ordinance%20No.%204\_1.pdf</u>.
- 2. Nothing in this review is intended to approve any aspect of these plans or this project that does not strictly comply with all applicable codes and standards. Any changes that are made to the plans will require additional review and comment by the Fire District.
- 3. Site and building design and construction shall be in accordance with the provisions of the 2018 International Fire Code (IFC) as adopted by Adams County. All construction shall be in accordance with IFC Chapter 33, *Fire Safety During Construction and Demolition*.

#### Access Requirements:

- Temporary access roads are prohibited unless specifically approved by the Fire District. Fire apparatus access must be designed and maintained to support the imposed loads of fire apparatus (i.e. 85,000 lbs), and must have a surface that provides all-weather driving capabilities.
- 2. Any temporary construction or permanent security gates shall be a minimum of 24 feet and a no parking fire lane sign shall be posted on the gate. The gates shall also have a Knox key switch installed for emergency operation if automatic. For information on how to order this, please go to <a href="https://www.acfpd.org/plan-submittals.html">https://www.acfpd.org/plan-submittals.html</a>.
- 3. If the gas meter is accessible to vehicle impact bollards are required to protect it.
- 4. New and existing buildings or sites shall have approved address numbers, building numbers, or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Numbers shall be a minimum of 4 inches high with a minimum stroke width of 0.5 inch. Please be aware that the size of the number may need to be larger than 4 inches is not clearly visible from the street or road.

#### Fire Protection Water Supply and Hydrants:

- 5. Please provide information and plans showing the closest fire hydrants to the site.
- 6. Unobstructed access to fire hydrants shall be maintained at all times. Fire department personnel shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants. A 3-foot (radius) clear space shall be maintained around the circumference of fire hydrants. Within that 6-foot diameter circle and within a 6-foot-wide path leading to the 4.5-inch outlet of a hydrant, vegetation shall be no higher than 4 inches above grade. The unobstructed vertical clearance within that 6-foot circle and 6-foot approach path shall not be less than 7 feet, unless otherwise approved by the Fire District.

#### **Other Requirements:**

- ⇒ Please be aware that permits for any building structures and gates will be required by the Fire Prevention Bureau. Please call us for information on how to apply.
- ⇒ We always welcome and encourage meetings to discuss fire code requirements. Please call us at any point in the process if you would like to schedule one.

Any disagreements to these plan review comments may be addressed by contacting the Adams County Fire District offices. Further unresolved disagreements may be appealed to the Adams County Fire Board of Appeals as stated in Ordinance 4 of the amendments to the 2018 International Fire Code.

#### **Greg Barnes**

| From:    | Woodruff, Clayton <clayton.woodruff@rtd-denver.com></clayton.woodruff@rtd-denver.com> |
|----------|---|
| Sent:    | Friday, January 03, 2020 2:27 PM  |
| То:      | Greg Barnes   |
| Subject: | RE - Brannan Sand & Gravel Pit - (PRC2019-00020)                                      |

Please be cautious: This email was sent from outside Adams County

Greg,

The RTD has no comments regarding this project.



#### C. Scott Woodruff

**Engineer III** Regional Transportation District 1560 Broadway, Suite 700, FAS-73 | Denver, CO 80202

o 303.299.2943 | m 303-720-2025 clayton.woodruff@rtd-denver.com



January 3, 2020

Greg Barnes Adams County Community and Economic Development 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601

RE: Brannan Sand and Gravel (Pit 10), PRC2019-00020 TCHD Case No. 6065

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the Conditional Use Permit for recycling operations, accessory outdoor storage, and stacking of materials of the height of the fencing located at 2601 W. 60<sup>th</sup> Avenue. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has the following comments.

#### Historic Landfill within Adams County Overlay District

In accordance with Section 3-35-03 of Chapter 3-Zone District Regulation, Flammable Gas Overlay (FGO), the subject property will need to comply with all applicable sections of the Adams County Flammable Gas Overlay (FGO). Flammable gas from decomposing organic matter in landfills may travel up to 1,000 feet from the source. At this time, construction is not proposed. At such time that construction is planned within 1,000 feet of Landfill Nos. AD-028, Ad-145, AD-008, AD-027, AD-004, AD-003, AD-234, AD-030, and AD-160, we recommend the following:

- 1. A flammable gas investigation should be conducted to determine if flammable gas (methane) is present in the subsurface soils at the property. The plan for the investigation should be submitted to TCHD for review and approval.
- TCHD will review the results of the investigation. If the investigation indicates that methane is not present at or above 20% of the lower explosive limit for methane (1% by volume in air) in the soils, no further action is required.
- In lieu of the investigation, an active flammable gas control system shall be designed and constructed to protect buildings and subsurface access to utilities, i.e. vaults, manholes, etc. from flammable gas. Health and safety practices shall be followed during construction to protect site workers.

Brannan Sand and Gravel (Pit 10) January 3, 2020 Page 2 of 2

Questions regarding this may be directed to Sheila Lynch at (720) 200-1571 or <u>slynch@tchd.org</u>.

#### **Construction and Demolition Recycling Facility**

Recycling of industrial materials has the potential to cause odors, ground water contamination, and nuisance conditions. The Hazardous Materials and Waste Management Division of Colorado Department of Public Health and Environment (CDPHE) regulates recycling facilities. This facility must meet the requirements of Section 8 of 6CCR 1007-2, Part 1. More information can be found at <a href="https://www.colorado.gov/pacific/cdphe/recycling">https://www.colorado.gov/pacific/cdphe/recycling</a>.

#### Fugitive Dust – Permanent uses

Exposure to air pollution is associated with a number of health problems including asthma, lung cancer, and heart disease. The Colorado Department of Public Health and Environment Air Pollution Control Division (APCD) regulates air emissions, including fugitive dust. Control measures may be necessary to minimize the amount of fugitive emissions from site activities including haul roads, stockpiles, and erosion. The applicant shall contact the APCD, at (303) 692-3100 for more information. Additional information is available at <a href="https://www.colorado.gov/pacific/cdphe/categories/services-and-information/environment/air-quality/business-and-industry">https://www.colorado.gov/pacific/cdphe/categories/services-and-industry</a> .

#### **Vector Control - Storage**

Rodents such as mice and rats carry diseases which can be spread to humans through contact with rodents, rodent feces, urine, or saliva, or through rodent bites. Items stored on the floor, tightly packed, and rarely moved provide potential harborage for rodents. Due to the variety of items to be potentially stored at this site, TCHD recommends that the applicant create a plan for regular pest control. Information on rodent control can be found at <a href="http://www.tchd.org/400/Rodent-Control">http://www.tchd.org/400/Rodent-Control</a>

Please feel free to contact me at 720-200-1575 or <u>kboyer@tchd.org</u> if you have any questions about TCHD's comments.

Sincerely,

KBg\_\_\_\_

Kathy Boyer, REHS Land Use and Built Environment Specialist III

cc: Sheila Lynch, Monte Deatrich, Lisa Oliveto, Warren Brown, TCHD



Right of Way & Permits 1123 West 3<sup>rd</sup> Avenue Denver, Colorado 80223 Telephone: **303.571.3306** Facsimile: 303. 571.3284 donna.l.george@xcelenergy.com

January 3, 2020

Adams County Community and Economic Development Department 4430 South Adams County Parkway, 3<sup>rd</sup> Floor, Suite W3000 Brighton, CO 80601

Attn: Greg Barnes

#### Re: Brannan Sand and Gravel Pit 10, Case # PRC2019-00020

Public Service Company of Colorado's Right of Way & Permits Referral Desk has reviewed the conditional use documentation for **Brannan Sand and Gravel Pit 10** and has **no apparent conflict**.

Donna George Right of Way and Permits Public Service Company of Colorado dba Xcel Energy Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com

#### ARMOS Investments 4770 Biscayne Blvd, Ste 730 Miami, FL 33136

Community and Economic Development Department Adams County 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 via email: GJBarnes@adcogov.org

RE: PRC2019-00020 Brannan Sand & Gravel (Pit 10)

To Whom It May Concern:

On behalf of 2300 W 60 LLC and 2400 W60 LLC, owners of the properties located at 2300 through 2860 West 60<sup>th</sup> Avenue, thank you for the opportunity to comment on Project Number PRC2019-00020 and the proposed conditional use permit.

We understand the physical, environmental, regulatory, and market constraints complicating redevelopment of the subject property in a manner more consistent with Adams County long range plans for the area. We also understand that it is likely in both the applicant's and the County's interest for the site to remain economically viable during the interim period while area and regional studies are being completed and a site-specific plan for redevelopment is submitted and approved.

However, as the owners' of the property immediately across the street from the subject property, we feel strongly that if the County approves the proposed conditional use (or any other conditional use) the timeline and terms for achieving a viable plan for redevelopment and the terms for a clear end to the conditional use(s) should be well understood and documented as part of the County's approval.

Since the application itself makes no reference to either a process or a timeline, we respectfully request to be kept informed of the application process, including receiving a copy of the staff report, notice of hearing dates, etc.

Sincerely,

2300W60, LLC, a Florida limited liability company

By: Clear Creek Station Development, LLLP, a Florida limited liability limited partnership Its: Sole Member

By: CCSD LLC, a Colorado limited liability company Its: General Partner By: Alexanter Mas Print Name: D. Title: Manager

#### **Greg Barnes**

| From:    | Dan Micek <danmicek54@comcast.net></danmicek54@comcast.net> |
|----------|---|
| Sent:    | Tuesday, December 17, 2019 1:39 PM                          |
| То:      | Greg Barnes   |
| Subject: | PRC2019-00020 Brannan Sand and Gravel                       |

Please be cautious: This email was sent from outside Adams County

Greg

I have received and reviewed the application from Brannan Sand and Gravel.

I believe that this proposal is in line with the comprehensive plan of Adams County.

The land along Clear Creek and I-76 have been set for industrial zoning.

This company has made it clear that they fully intend to follow county regulation and I see no issue with them using this land for their purpose.

The future plans for this area are far reaching, and because of the general condition of the area, probably unattainable. Since I do not live in the immediate area, I would be curious how the local residents feel about this project and the future plans of this location.

Dan Micek Citizen Adams County Colorado

Sent from Mail for Windows 10

Community & Economic Development Department Development Services Division

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000B Brighton, CO 80601-8218 PHONE 720.523.6800 FAX 720.523.6967

## **Request for Comments**

Case Name:Brannan Sand & Gravel (Pit 10)Project Number:PRC2019-00020

December 17, 2019

The Adams County Planning Commission is requesting comments on the following applications: Conditional use permit applications to allow the following uses in the Industrial-2 and Industrial-3 zone districts: 1) recycling operations, 2) accessory outdoor storage; 3) stacking of material over the height of fencing. This request is located at 2601 West 60th Avenue. The Assessor's Parcel Number is 0182508100041.

Applicant Information: Brannan

Fred Marvel 2500 E. Brannan Way Denver, CO 80229

Please forward any written comments on this application to the Community and Economic Development Department at 4430 S. Adams County Parkway, Suite W2000A Brighton, CO 80601-8216, or call (720) 523-6800 by January 6, 2020 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you upon request. The full text of the proposed request and additional information can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Greg Barnes Planner III

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry DISTRICT 1 Charles "Chaz" Tedesco DISTRICT 2

Emma Pinter DISTRICT 3 Steve O'Dorisio

Mary Hodge DISTRICT 5 Community & Economic Development Department Development Services Division

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000B Brighton, CO 80601-8218 PHONE 720.523.6800 FAX 720.523.6967

#### **Public Hearing Notification**

Case Name: Case Number: Planning Commission Hearing Date: Board of County Commissioners Hearing Date: Brannan Sand & Gravel PRC2019-00020 July 9, 2020 at 6:00 p.m. July 28, 2020 at 9:30 a.m.

June 17, 2020

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following request: Conditional use permit applications to allow the following uses in the Industrial-2 and Industrial-3 zone districts: 1) recycling operations, 2) accessory outdoor storage; 3) stacking of material over the height of fencing. The Assessor's Parcel Number is 0182508100041. The site is located at 2601 W. 60<sup>th</sup> Avenue. The applicant is: Fred Marvel, Brannan, Brannan Sand & Gravel, 2500 E Brannan Way, Denver, CO 80229

The Planning Commission meeting will be held virtually using the Zoom video conferencing software and members of the public will be able to submit comments prior to the start of the public hearing that will then be entered into the record. For instructions on how to access the public hearing via telephone or internet, or to submit comment, please visit <a href="http://www.adcogov.org/planning-commission">http://www.adcogov.org/planning-commission</a> for up to date information.

The Board of County Commissioners meeting is broadcast live on the Adams County YouTube channel and members of the public will be able to submit comments prior to the start of the public hearing that will then be entered into the record. The eComment period opens when the agenda is published and closes at 4:30 p.m. the Monday prior to the noticed meeting. For instructions on how to access the public hearing and submit comments, please visit <u>http://www.adcogov.org/bocc</u> for up to date information.

These will be public hearings and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. The full text of the proposed request and additional colored maps can be obtained by accessing the Adams County Community and Economic Development Department website at <a href="https://www.adcogov.org/planning/currentcases">www.adcogov.org/planning/currentcases</a>.

Thank you for your review of this case.

Greg Barnes, Planner III gjbarnes@adcogov.org, 720-523-6853

Eva J. Henry DISTRICT 1 Charles "Chaz" Tedesco DISTRICT 2

BOARD OF COUNTY COMMISSIONERS

Emma Pinter DISTRICT 3 Steve O'Dorisio

Mary Hodge DISTRICT 5

#### **PUBLICATION REQUEST**

Case Name: PRC2019-00020 Case Number: Brannan Sand & Gravel

Planning Commission Hearing Date: July 9, 2020 at 6:00 p.m. Board of County Commissioners Hearing Date: July 28, 2020 at 9:30 a.m.

**Case Manager:** Greg Barnes, <u>gjbarnes@adcogov.org</u>, 720-523-6853 **Applicant:** Fred Marvel, Brannan, Brannan Sand & Gravel, 2500 E Brannan Way, Denver, CO 80229

**Request:** Conditional use permit applications to allow the following uses in the Industrial-2 and Industrial-3 zone districts: 1) recycling operations, 2) accessory outdoor storage; 3) stacking of material over the height of fencing.

Parcel Number: 0182508100041 Address of the Request: 2601 W. 60<sup>th</sup> Avenue Legal Description: A PARCEL OP LAND LYING IN THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 8, THENCE SOUTH OO DEGREES 07 MINUTES 03 SECONDS EAST, 1650.60 FEET ALONG THE EAST LINE OF SAID SECTION 8 TO A POINT ON THE SOUTH LINE OF THAT PARCEL OF LAND AS DESCRIBED IN BOOK 4180, PAGE 409, ADAMS COUNTY RECORDS, SAID POINT BEING THE TRUE POINT OF BEGINNING; THENCE SOUTH 00 DEGREES 07 MINUTES 03 SECONDS EAST ALONG THE EAST LINE OF SAID SECTION 8 920.29 FEET TO A POINT ON THE NORTH LINE OF THAT PARCEL OP LAND AS DESCRIBED IN BOOK 3374, PAGE 318, ADAMS COUNTY RECORDS, THENCE SOUTH 86 DEGREES 54 MINUTES 20 SECONDS WEST ALONG SAID NORTH LINE 169.81 FEET; THENCE SOUTH 78 DEGREES 58 MINUTES 16 SECONDS WEST ALONG SAID NORTH LINE 56.02 FEET TO THE NORTH LINE OF THAT PARCEL OF LAND AS DESCRIBED IN BOOK 3432, PAGE 154, ADAMS COUNTY RECORDS; THENCE NORTH 89 DEGREES 58 MINUTES 13 SECONDS WEST ALONG SAID NORTH, LINE 1411.70 FEET; THENCE SOUTH 49 DEGREES 53 MINUTES 18 SECONDS WEST ALONG THE NORTHWESTERLY LINE OF SAID PARCEL OF LAND DESCRIBED IN BOOK 3432, PAGE 154 A DISTANCE OF 77.56 FEET TO THE EAST-WEST CENTERLINE OF SAID SECTION 8; THENCE NORTH 89 DEGREES 58 MINUTES 13 SECONDS WEST ALONG SAID EAST-WEST CENTERLINE 183.64 FEET MORE OR LESS TO THE SOUTHERLY LINE OF THAT PARCEL OF LAND AS DESCRIBED IN BOOK 4180, PAGE 409, ADAMS COUNTY RECORDS; THENCE NORTHEASTERLY ALONG SAID SOUTHERLY LINE THE FOLLOWING SIX COURSES: 1. NORTH 49 DEGREES 25 MINUTES 25 SECONDS EAST, 122.50 FEET; 2. NORTH 47 DEGREES 42 MINUTES 36 SECONDS EAST, 356.79 FEET; 3. THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 433.51 FEET AND A CENTRAL ANGLE OF 11 DEGREES 59 MINUTES 07 SECONDS; 4. NORTH 59 DEGREES 41 MINUTES 43 SECONDS FAST, 331.34 FEET; 5. NORTH 68 DEGREES 33 MINUTES 27 SECONDS EAST, 1080.62 FEET; 6. NORTH 72 DEGREES 24 MINUTES 16 SECONDS EAST, 155.30 FEET TO THE TRUE POINT OF BEGINNING.

#### Virtual Meeting and Public Comment Information:

These meetings will be held virtually. Please visit <u>http://www.adcogov.org/planning-commission</u> and <u>http://www.adcogov.org/bocc</u> for up to date information on accessing the public hearings and

submitting comment prior to the hearings. The full text of the proposed request and additional colored maps can be obtained by accessing the Adams County Community and Economic Development Department website at <a href="http://www.adcogov.org/planning/currentcases">www.adcogov.org/planning/currentcases</a>.

Adams County Attorney's Office Attn: Christine Fitch 4430 S Adams County Pkwy Brighton CO 80601

Adams County CEDD Addressing Attn: Mark Alessi PLN

Adams County CEDD Development Services Engineer Attn: Devt. Services Engineering 4430 S. Adams County Pkwy. Brighton CO 80601

Adams County CEDD Right-of-Way Attn: Mark Alessi 4430 S. Adams County Pkwy. Brighton CO 80601

Adams County Community & Economic Development Departm Attn: Gina Maldonado 4430 S. Adams County Pkwy Brighton CO 80601

Adams County Community Safety & Wellbeing, Neighborhood Attn: Gail Moon 4430 S. Adams County Pkwy. Brighton CO 80601

Adams County Construction Inspection Attn: Gordon .Stevens 4430 S. Adams County Pkwy Brighton CO 80601

Adams County Development Services - Building Attn: Justin Blair 4430 S Adams County Pkwy Brighton CO 80601

Adams County Fire Protection District Attn: Jerry Means 8055 N. WASHINGTON ST. DENVER CO 80229

Adams County Fire Rescue Attn: Whitney Even 7980 Elmwood Lane Denver CO 80221 Adams County Parks and Open Space Department Attn: Marc Pedrucci

Adams County Parks and Open Space Department Attn: Aaron Clark

Adams County Sheriff's Office Attn: Rick Reigenborn

Adams County Sheriff's Office Attn: - -

Adams County Treasurer Attn: Lisa Culpepper 4430 S. Adams County Pkwy. Brighton CO 80601

Arvada Fire Department Attn: Steven Parker 7903 Alison Way Arvada CO 80005

BERKELEY NEIGHBORHOOD ASSOC. Attn: GLORIA RUDDEN 4420 W 52ND PL. DENVER CO 80212

BERKELEY WATER Attn: Paul Peloquin 4455 W 58TH AVE UNIT A Arvada CO 80002

BERKELEY WATER & SAN DISTRICT Attn: SHARON WHITEHAIR 4455 W 58TH AVE UNIT A ARVADA CO 80002

CDOT Colorado Department of Transportation Attn: Bradley Sheehan 2829 W. Howard PI. 2nd Floor Denver CO 80204 Century Link, Inc Attn: Brandyn Wiedreich 5325 Zuni St, Rm 728 Denver CO 80221

City of Arvada Attn: Rob Smetana 8101 Ralston Rd. Arvada CO 80002

City of Arvada Utilities Attn: Sharon Israel 8101 Ralston Rd. Arvada CO 80002

CITY OF WESTMINSTER Attn: Rita McConnell 4800 W 92ND AVE. WESTMINSTER CO 80031

CITY OF WESTMINSTER Attn: Andy Walsh 4800 W 92nd Avenue WESTMINSTER CO 80031

COLO DIV OF WATER RESOURCES Attn: Joanna Williams OFFICE OF STATE ENGINEER 1313 SHERMAN ST., ROOM 818 DENVER CO 80203

COLO DIV OF WATER RESOURCES Attn: Joanna Williams OFFICE OF STATE ENGINEER 1313 SHERMAN ST., ROOM 818 DENVER CO 80203

COLORADO DEPT OF TRANSPORTATION Attn: Steve Loeffler 2000 S. Holly St. Region 1 Denver CO 80222

COLORADO DIVISION OF WILDLIFE Attn: Matt Martinez 6060 BROADWAY DENVER CO 80216-1000

COLORADO DIVISION OF WILDLIFE Attn: Serena Rocksund 6060 BROADWAY DENVER CO 80216 COLORADO GEOLOGICAL SURVEY Attn: Jill Carlson 1500 Illinois Street Golden CO 80401

Colorado Geological Survey: CGS\_LUR@mines.edu Attn: Jill Carlson Mail CHECK to Jill Carlson

COMCAST Attn: JOE LOWE 8490 N UMITILLA ST FEDERAL HEIGHTS CO 80260

Crestview Water & Sanitation Attn: Patrick Stock 7145 Mariposa St PO Box 21299 Denver CO 80221-0299

Division of Mining and Reclamation Safety Attn: Jared Ebert Colorado Department of Natural Resources 1313 Sherman St., #215 Denver CO 80203

GOAT HILL Attn: SHARON WHITEHAIR 2901 W 63RD AVE SP:0047 DENVER CO 80221

MAPLETON SCHOOL DISTRICT #1 Attn: CHARLOTTE CIANCIO 591 E. 80TH AVE DENVER CO 80229

METRO WASTEWATER RECLAMATION Attn: CRAIG SIMMONDS 6450 YORK ST. DENVER CO 80229

MOBILE GARDENS Attn: VERA MARIE JONES 6250 FEDERAL #29 DENVER CO 80221

North Lincoln Water and Sanitation District Attn: JORGE HINOJOS 1560 Broadway Suite 1400 Denver CO 80202 North Lincoln Water and Sanitation District Attn: - -

North Pecos Water & Sanitation District Attn: Russell Traska 6900 Pecos St Denver CO 80221

NORTHRIDGE ESTATES AT GOLD RUN HOA Attn: SHANE LUSSIER 14901 E Hampden Ave Suite 320 AURORA CO 80014

NS - Code Compliance Attn: Kerry Gress kgress@adcogovorg

Pecos Park Logistics Park Metro District Attn: M Mitchell 4221 Brighton Blvd Denver CO 802163719

PERL MACK NEIGHBORHOOD GROUP Attn: DAN MICEK - PRESIDENT 7294 NAVAJO ST. DENVER CO 80221

Pomponio Terrace Metropolitan District Attn: Zachary White 2154 E. Commons Avenue, #2000 Centennial CO 80122

REGIONAL TRANSPORTATION DIST. Attn: Engineering RTD 1560 BROADWAY SUITE 700 DENVER CO 80202

The TOD Group Attn: THE TOD GROUP 1431 Euterpe Street New Orleans LA 70130

TRI-COUNTY HEALTH DEPARTMENT Attn: Sheila Lynch 6162 S WILLOW DR, SUITE 100 GREENWOOD VILLAGE CO 80111 TRI-COUNTY HEALTH DEPARTMENT Attn: MONTE DEATRICH 4201 E. 72ND AVENUE SUITE D COMMERCE CITY CO 80022

Tri-County Health: Mail CHECK to Sheila Lynch Attn: Tri-County Health landuse@tchd.org

UNION PACIFIC RAILROAD Attn: Anna Dancer 1400 DOUGLAS ST STOP 1690 OMAHA NE 68179

United States Postal Service Attn: Arlene Vickrey

United States Postal Service Attn: Jason Eddleman

US EPA Attn: Stan Christensen 1595 Wynkoop Street DENVER CO 80202

WESTMINSTER FIRE DEPT. Attn: CAPTAIN DOUG HALL 9110 YATES ST. WESTMINSTER CO 80031

WESTMINSTER SCHOOL DISTRICT #50 Attn: Jackie Peterson 7002 Raleigh Street WESTMINSTER CO 80030

Xcel Energy Attn: Donna George 1123 W 3rd Ave DENVER CO 80223

Xcel Energy Attn: Donna George 1123 W 3rd Ave DENVER CO 80223 2300W60 LLC C/O CCSD-COLORADO LLC 4770 BISCAYNE BLVD STE 700 MIAMI FL 33137-3244

2400W60 LLC C/O CCSD- COLORADO LLC 4770 BISCAYNE BLVD STE 710 MIAMI FL 33137-3244

5999 PECOS LLC UND 92.1875% AND ACJW LLC UND 7.8125% INT 4880 PEARL ST BOULDER CO 80301-2454

6232 BEACH LLC PO BOX 1719 ARVADA CO 80001-1719

67TH STREET ACQUISITIONS LLC 500 W 67TH STREET LOVELAND CO 80538

ADAMS COUNTY 4430 SOUTH ADAMS COUNTY PKWY BRIGHTON CO 80601-8204

ADAMS COUNTY 4430 S ADAMS COUNTY PKWY BRIGHTON CO 80601

ALOHA BEACH DEVELOPMENT CORP 3556 W 62ND AVENUE DENVER CO 80221

APODACA FAMILY REALTY TRUST THE 2241 W 59TH PLACE DENVER CO 80221

ATR HOLDINGS LLC 13490 IVY ST THORNTON CO 80602-9223 BEACH62 LLC 3535 LARIMER ST DENVER CO 80205-2421

BERKELEY POINTE LLC 2405 W 56TH AVE DENVER CO 80221-1809

BOARD OF COUNTY COMMISSIONERS OF ADAMS COUNTY 4430 SOUTH ADAMS COUNTY PKWY BRIGHTON CO 80601-8204

CARRASCO MARIA P 2360 W 58TH AVE DENVER CO 80221

CC W64TH AVE LLC 4007 BRYANT ST DENVER CO 80211-2117

CHERFEIN JOINT VENTURE LLC 3535 LARIMER ST DENVER CO 80205-2421

CIROCKI VIOLA M TRUST THE UND 64.4% AND CIROCKI FAMILY TRUST THE UND 35.6% INT 8610 HOLMAN CIRCLE ARVADA CO 80005-5957

COUNTY OF ADAMS 4430 S ADAMS COUNTY PKWY FL 5 BRIGHTON CO 80601-8222

COUNTY OF ADAMS THE 4430 S ADAMS COUNTY PKWY BRIGHTON CO 80601-8222

COUNTY OF ADAMS THE 4430 SOUTH ADAMS COUNTY PKWY BRIGHTON CO 80601-8204 CST METRO LLC 1 VALERO WAY SAN ANTONIO TX 78249-1616

DEEDS BETH A 8800 GROVE ST WESTMINSTER CO 80031-3329

DENNIS PROPERTIES LLC 8175 W CLIFTON AVE LITTLETON CO 80128-5587

DENVER TRANSIT ORIENTED DEVELOPMENT FUND LLC 1431 EUTERPE ST NEW ORLEANS LA 70130-4405

DISNER PATRICK HENRY AND DISNER KATHLEEN I 250 CARRICO ST PAGOSA SPRINGS CO 81147

EGLI JAMES E 6231 BEACH STREET UNIT C DENVER CO 80221

ELMS BLESSING LLC 14580 W 56TH PL ARVADA CO 80002-1154

ELMS BLESSING LLC C/O FRED J ELMS, MANAGING MEMBER 14580 W 56TH PLACE ARVADA CO 80002

FED57 LLC 3535 LARIMER ST DENVER CO 80205-2421

FED58 LLC 3535 LARIMER ST DENVER CO 80205-2421 FED60 LLC 3535 LARIMER ST DENVER CO 80205-2421

FED61 LLC 3535 LARIMER ST DENVER CO 80205-2421

FED62 LLC 3535 LARIMER ST DENVER CO 80205-2421

GRAEME JOHNSTON LLC PO BOX 3717 DILLON CO 80435-3717

GWE L P 6320 BEACH STREET DENVER CO 80221

HEPP MICHAEL J 13937 LEXINGTON PL WESTMINSTER CO 80023-9386

HOLDCROFT EDWARD 8343 ADAMS WAY DENVER CO 80221-3905

HOWARD GREGORY A TRUST THE AND HOWARD KAREN R TRUST THE 10789 BRYANT COURT WESTMINSTER CO 80234

JUNG CHUL W 6231 FEDERAL BLVD DENVER CO 80221-2005

JUNG CHUL WOO 6231 N FEDERAL BLVD DENVER CO 80221 KING LYNETTA ARCHER 412 CHALET DR BLACK HAWK CO 80422-8722

MARTIN MARIETTA MATERIALS INC C/O BADEN TAX MANAGEMENT FORT WAYNE IN 46898-8040

MATHIAS ERIC J AND MATHIAS KARLA A 6271 BEACH ST UNIT B DENVER CO 80221-2072

MINER JOHN PO BOX 577 CASTLE ROCK CO 80104-0577

MOBILE GARDENS LLC 31200 NORTHWESTERN HWY FARMINGTON HILLS MI 48334-5900

NORTHRIDGE ESTATES AT GOLD RUN HOMEOWNERS ASSOCIATION 2305 CANYON BLVD SUITE 200 BOULDER CO 80302

PATRICK DEWEY R AND PATRICK RHONDA A 9520 S FIELD WAY LITTLETON CO 80127

PECOS LOGISTICS PARK LLLP 4221 BRIGHTON BLVD DENVER CO 80216-3719

PIONEER MHP LLC 86% INT AND WAYSIDE COLORADO LLC 14% INT 49 SW FLAGLER AVE STE 201 STUART FL 34994-2148

PIT 10 LLC 2500 E BRANNAN WY DENVER CO 80229 PULL-N-SAVE AUTO PARTS LLC 5846 CROSSINGS BLVD ANTIOCH TN 37013-3129

PULL-N-SAVE AUTO PARTS LLC 1550 N MEADOWCREST BLVD CRYSTAL RIVER FL 34429-5756

QUIKRETE COMPANIES INC THE C/O KAREN KULP 3490 PIEDMONT RD STE 1300 ATLANTA GA 30305-4811

QUIKRETE COMPANIES INC THE C/O KAREN KULP 5 CONCOURSE PKWY STE 1900 ATLANTA GA 30328-6111

RBR PROPERTIES LLC 6202 BEACH ST DENVER CO 80221-2033

REEFER WARE LLC 3535 LARIMER ST DENVER CO 80205-2421

REGIONAL TRANSPORTATION DISTRICT 1600 BLAKE ST DENVER CO 80202-1399

RHINER GERALD 5015 W 69TH AVE WESTMINSTER CO 80030-5711

ROHRER BROTHERS LLC PO BOX 61035 DENVER CO 80206-1035

SHOTCRETE YARD LLC 8250 S ALBION ST CENTENNIAL CO 80122-3909 SILVER HOLDINGS LLC 2150 W 60TH AVE APT S DENVER CO 80221-6623

STATE HIGHWAY DEPT 2000 S HOLLY ST DENVER CO 80222-4818

STEP 13 INC 2029 LARIMER ST DENVER CO 80205-2014

UNION PACIFIC RAILROAD PROPERTY TAX DEPARTMENT 1400 DOUGLAS STOP 1640 OMAHA NE 68179-1640

UNION PACIFIC RAILROAD COMPANY C/O PROPERTY TAX DEPARTMENT 1400 DOUGLAS STOP 1690 OMAHA NE 68179-1640

VALDEZ RICHARD T AND VALDEZ BARBARA G 2341 W 58TH AVE DENVER CO 80221-1827

WEST SPANISH CONGREGATION OF JEHOVAH S WITNESSES/ C/O MANUEL MENDEZ 2675 W 56TH AVE DENVER CO 80221-1811

6141 FEDERAL BLVD LLC OR CURRENT RESIDENT 6141 FEDERAL BLVD DENVER CO 80221

AABAK ED OR CURRENT RESIDENT 5781 CLAY STREET DENVER CO 80221

APODACA GIL S OR CURRENT RESIDENT 2241 W 59TH PL DENVER CO 80221-6614 ARROYOS EDUARDO OR CURRENT RESIDENT 2661 W 58TH AVE DENVER CO 80221-1854

AVILA LYDIA AND OLIVAS-AVILA KAILEEN LIZETTE AND OLIVAS-AVILA BYANKA YAZMIN OR CURRENT RESIDENT 2681 W 58TH AVE DENVER CO 80221-1854

CANO IMELDA AND CANO DELORES OR CURRENT RESIDENT 2381 W 59TH PL DENVER CO 80221-1834

CARDOZA JOSE LIUS GUERECA OR CURRENT RESIDENT 2270 W 59TH PL DENVER CO 80221-6615

CHAVEZ ALEJANDRO BARRAZA OR CURRENT RESIDENT 2551 W 58TH AVENUE DENVER CO 80221

CHOICE IV INVESTMENTS LLP OR CURRENT RESIDENT 2080 W 60TH AVE DENVER CO 80221-6631

CLARK JAMES ROBERT FAMILY TRUST THE OR CURRENT RESIDENT 2300 W 59TH PL DENVER CO 80221-1835

COWAN DAVID E AND COWAN GAIL LEONE OR CURRENT RESIDENT 2291 W 59TH PL DENVER CO 80221-6614

CROWLEY DAVID P AND CROWLEY LORRAINE K OR CURRENT RESIDENT 2450 W 63RD CT DENVER CO 80221-2031

DECKER JOHN L AND DECKER DIANNA L OR CURRENT RESIDENT 2341 W 59TH PL DENVER CO 80221-1834 DIETZ ERIC OR CURRENT RESIDENT 2230 W 59TH PL DENVER CO 80221-6613

EGLI JAMES E OR CURRENT RESIDENT 6231 BEACH STREET UNIT C DENVER CO 80221

GLOECKLER AARON AND GLOECKLER KELLY OR CURRENT RESIDENT 6271 BEACH ST UNIT F DENVER CO 80221-2072

HERNANDEZ JOEL DIAZ OR CURRENT RESIDENT 6271 BEACH ST UNIT D DENVER CO 80221-2072

HERNANDEZ JOHN A AND HERNANDEZ GERALDINE OR CURRENT RESIDENT 2641 W 58TH AVE DENVER CO 80221-1854

L NOTHHAFT AND SON INC OR CURRENT RESIDENT 2520 W 62ND CT DENVER CO 80221-2030

MALLORY SEAN OR CURRENT RESIDENT 2250 W 59TH PL DENVER CO 80221-6615

MARTINEZ ALBERT V JR OR CURRENT RESIDENT 2271 W 59TH PL DENVER CO 80221-6614

MATHIAS AND MELTON LLC OR CURRENT RESIDENT 6271 BEACH STREET C DENVER CO 80221

MATHIAS ERIC J AND MATHIAS KARLA A OR CURRENT RESIDENT 6271 BEACH ST UNIT B DENVER CO 80221-2072 MONDRAGON AUGUSTINE ROBERT AND MONDRAGON DORIS F OR CURRENT RESIDENT 2531 W 58TH AVE DENVER CO 80221

RBR PROPERTIES LLC OR CURRENT RESIDENT 6202 BEACH ST DENVER CO 80221-2033

RWF ENTERPRISES LLC OR CURRENT RESIDENT 2510 W 63RD CT DENVER CO 80221-2031

SANCHEZ LOYA CARMEN AND RODRIGUEZ RAFAEL J OR CURRENT RESIDENT 2391 W 59TH PL DENVER CO 80221-1834

SILVER HOLDINGS LLC OR CURRENT RESIDENT 2150 W 60TH AVE DENVER CO 80221-6623

SUFI IMRAN OR CURRENT RESIDENT 2591 W 58TH AVE DENVER CO 80221-1854

TRAN TRUNG Q AND TRAN THY N OR CURRENT RESIDENT 2621 W 58TH AVE DENVER CO 80221

VALDEZ RICHARD T AND VALDEZ BARBARA G OR CURRENT RESIDENT 2341 W 58TH AVE DENVER CO 80221-1827

VAZQUEZ JOSE LUIS AND VAZQUEZ MARIA R OR CURRENT RESIDENT 2571 W 58TH AVE DENVER CO 80221-1854

VIGIL JUAN E II OR CURRENT RESIDENT 2301 W 59TH PL DENVER CO 80221-1834 WEST SPANISH CONGREGATION OF JEHOVAH S WITNESSES/ C/O MANUEL MENDEZ OR CURRENT RESIDENT 2675 W 56TH AVE DENVER CO 80221-1811

YOUNG JAMES FRANK AND YOUNG STEVEN DAVID OR CURRENT RESIDENT 2290 W 59TH PL DENVER CO 80221-6615

CURRENT RESIDENT 5855 FEDERAL BLVD DENVER CO 80221-1805

CURRENT RESIDENT 5800 FEDERAL BLVD DENVER CO 80221-1806

CURRENT RESIDENT 2685 W 56TH AVE DENVER CO 80221-1811

CURRENT RESIDENT 5901 FEDERAL BLVD DENVER CO 80221-1813

CURRENT RESIDENT 2860 W 60TH AVE DENVER CO 80221-1818

CURRENT RESIDENT 2400 W 60TH AVE DENVER CO 80221-1825

CURRENT RESIDENT 5900 FEDERAL BLVD UNIT A DENVER CO 80221-1872

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CURRENT RESIDENT 3060 W 58TH AVE DENVER CO 80221-1905

CURRENT RESIDENT 2901 W 63RD AVE LOT 32A DENVER CO 80221-2000

CURRENT RESIDENT 2901 W 63RD AVE LOT 33A DENVER CO 80221-2000

CURRENT RESIDENT 2901 W 63RD AVE LOT 34A DENVER CO 80221-2000

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CURRENT RESIDENT 2901 W 63RD AVE LOT 37A DENVER CO 80221-2000

CURRENT RESIDENT 2901 W 63RD AVE LOT 38A DENVER CO 80221-2000

CURRENT RESIDENT 6000 FEDERAL BLVD DENVER CO 80221-2002 CURRENT RESIDENT 6199 FEDERAL BLVD DENVER CO 80221-2003

CURRENT RESIDENT 6100 FEDERAL BLVD DENVER CO 80221-2004

CURRENT RESIDENT 6201 FEDERAL BLVD DENVER CO 80221-2005

CURRENT RESIDENT 6231 FEDERAL BLVD DENVER CO 80221-2005

CURRENT RESIDENT 6250 FEDERAL BLVD LOT 1 DENVER CO 80221-2009

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CURRENT RESIDENT 6140 FEDERAL BLVD DENVER CO 80221-2014

CURRENT RESIDENT 6150 FEDERAL BLVD DENVER CO 80221-2014

CURRENT RESIDENT 6160 FEDERAL BLVD DENVER CO 80221-2014

CURRENT RESIDENT 6190 FEDERAL BLVD DENVER CO 80221-2014

CURRENT RESIDENT 2901 W 63RD AVE OFC OFC DENVER CO 80221-2016

CURRENT RESIDENT 6001 FEDERAL BLVD BLDG B DENVER CO 80221-2022 CURRENT RESIDENT 2901 W 63RD AVE LOT 31A DENVER CO 80221-2024

CURRENT RESIDENT 2901 W 63RD AVE LOT 31B DENVER CO 80221-2024

CURRENT RESIDENT 2901 W 63RD AVE LOT 31C DENVER CO 80221-2024

CURRENT RESIDENT 2901 W 63RD AVE LOT 31D DENVER CO 80221-2024

CURRENT RESIDENT 2901 W 63RD AVE LOT 31E DENVER CO 80221-2024

CURRENT RESIDENT 2901 W 63RD AVE LOT 31F DENVER CO 80221-2024

CURRENT RESIDENT 2901 W 63RD AVE LOT 31G DENVER CO 80221-2024

CURRENT RESIDENT 2901 W 63RD AVE LOT 88 DENVER CO 80221-2026

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CURRENT RESIDENT 2901 W 63RD AVE LOT 97 DENVER CO 80221-2026

CURRENT RESIDENT 2901 W 63RD AVE LOT 98 DENVER CO 80221-2026

CURRENT RESIDENT 2430 W 62ND CT DENVER CO 80221-2030

CURRENT RESIDENT 6331 BEACH ST DENVER CO 80221-2032 CURRENT RESIDENT 6351 BEACH ST DENVER CO 80221-2032

CURRENT RESIDENT 6232 BEACH ST DENVER CO 80221-2033

CURRENT RESIDENT 2880 W 62ND AVE DENVER CO 80221-2046

CURRENT RESIDENT 2890 W 62ND AVE DENVER CO 80221-2046

CURRENT RESIDENT 2901 W 63RD AVE LOT 1 DENVER CO 80221-2063

CURRENT RESIDENT 2901 W 63RD AVE LOT 10 DENVER CO 80221-2063

CURRENT RESIDENT 2901 W 63RD AVE LOT 12 DENVER CO 80221-2063

CURRENT RESIDENT 2901 W 63RD AVE LOT 14 DENVER CO 80221-2063

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CURRENT RESIDENT 2901 W 63RD AVE LOT 84 DENVER CO 80221-2066

CURRENT RESIDENT 2901 W 63RD AVE LOT 85 DENVER CO 80221-2066

CURRENT RESIDENT 2901 W 63RD AVE LOT 86 DENVER CO 80221-2066 CURRENT RESIDENT 2901 W 63RD AVE LOT 87 DENVER CO 80221-2066

CURRENT RESIDENT 2901 W 63RD AVE LOT 11 DENVER CO 80221-2067

CURRENT RESIDENT 6271 BEACH ST UNIT A DENVER CO 80221-2072

CURRENT RESIDENT 6271 BEACH ST UNIT E DENVER CO 80221-2072

CURRENT RESIDENT 6271 BEACH ST UNIT G DENVER CO 80221-2072

CURRENT RESIDENT 6231 BEACH ST UNIT A DENVER CO 80221-2073

CURRENT RESIDENT 6231 BEACH ST UNIT B DENVER CO 80221-2073

CURRENT RESIDENT 6231 BEACH ST UNIT D DENVER CO 80221-2073

CURRENT RESIDENT 2400 W 64TH AVE DENVER CO 80221-2325

CURRENT RESIDENT 2660 W 64TH AVE DENVER CO 80221-2330 CURRENT RESIDENT 2600 W 62ND AVE DENVER CO 80221-2466

CURRENT RESIDENT 2211 W 59TH PL DENVER CO 80221-6614

CURRENT RESIDENT 2231 W 59TH PL DENVER CO 80221-6614

CURRENT RESIDENT 2200 W 60TH AVE UNIT A DENVER CO 80221-6621

CURRENT RESIDENT 2200 W 60TH AVE UNIT B DENVER CO 80221-6621

CURRENT RESIDENT 2200 W 60TH AVE UNIT C DENVER CO 80221-6621

CURRENT RESIDENT 2200 W 60TH AVE UNIT D DENVER CO 80221-6621

CURRENT RESIDENT 2200 W 60TH AVE UNIT E DENVER CO 80221-6621

CURRENT RESIDENT 2200 W 60TH AVE UNIT F DENVER CO 80221-6621

CURRENT RESIDENT 2180 W 60TH AVE DENVER CO 80221-6623 CURRENT RESIDENT 2000 W 60TH AVE DENVER CO 80221-6631

CURRENT RESIDENT 5929 PECOS ST DENVER CO 80221-6646

#### **CERTIFICATE OF POSTING**



I, J. Gregory Barnes do hereby certify that I posted the property at 2601 W. 60<sup>th</sup> Avenue on June 23, 2020, in accordance with the requirements of the Adams County Development Standards and Regulations.

Begozb

J. Gregory Barnes

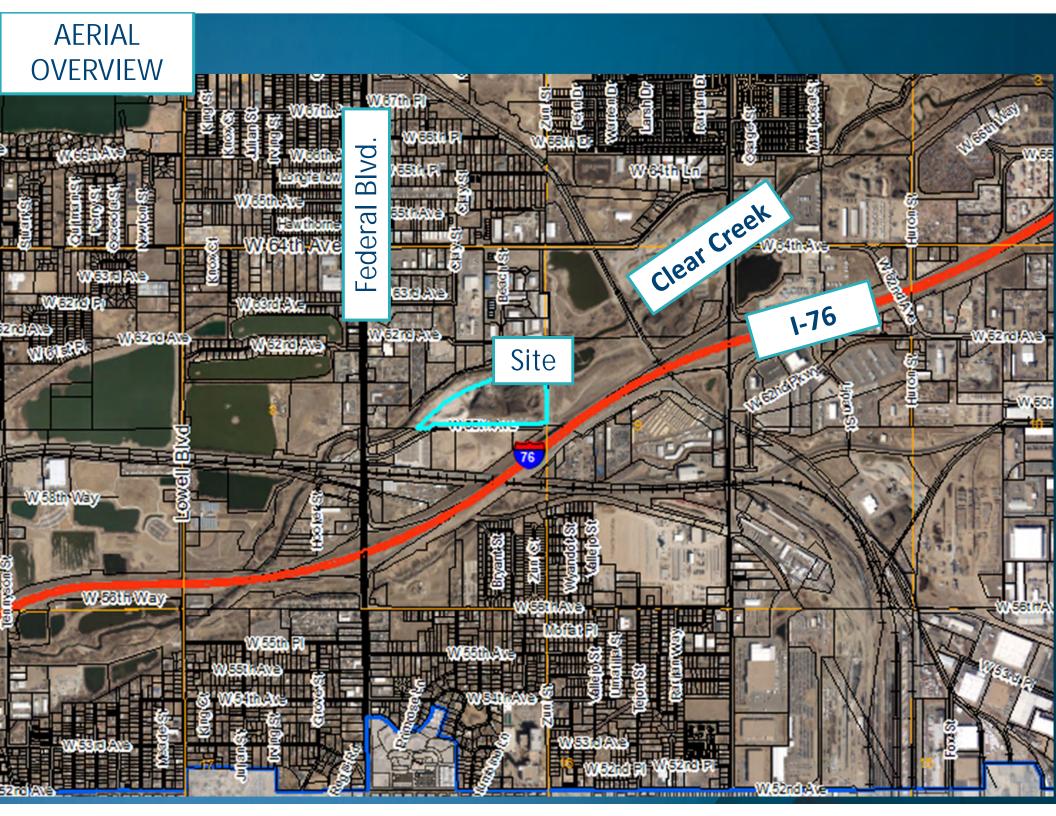
#### Brannan Sand & Gravel PRC2019-00020

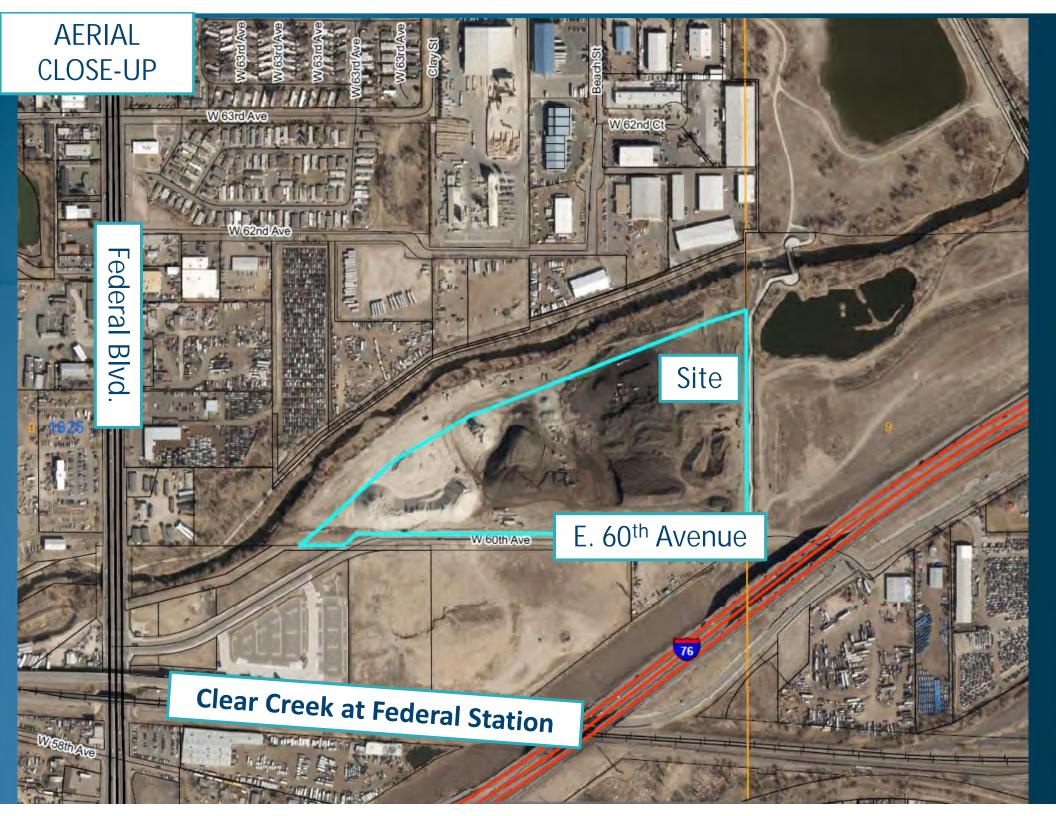
2601 W. 60<sup>th</sup> Avenue

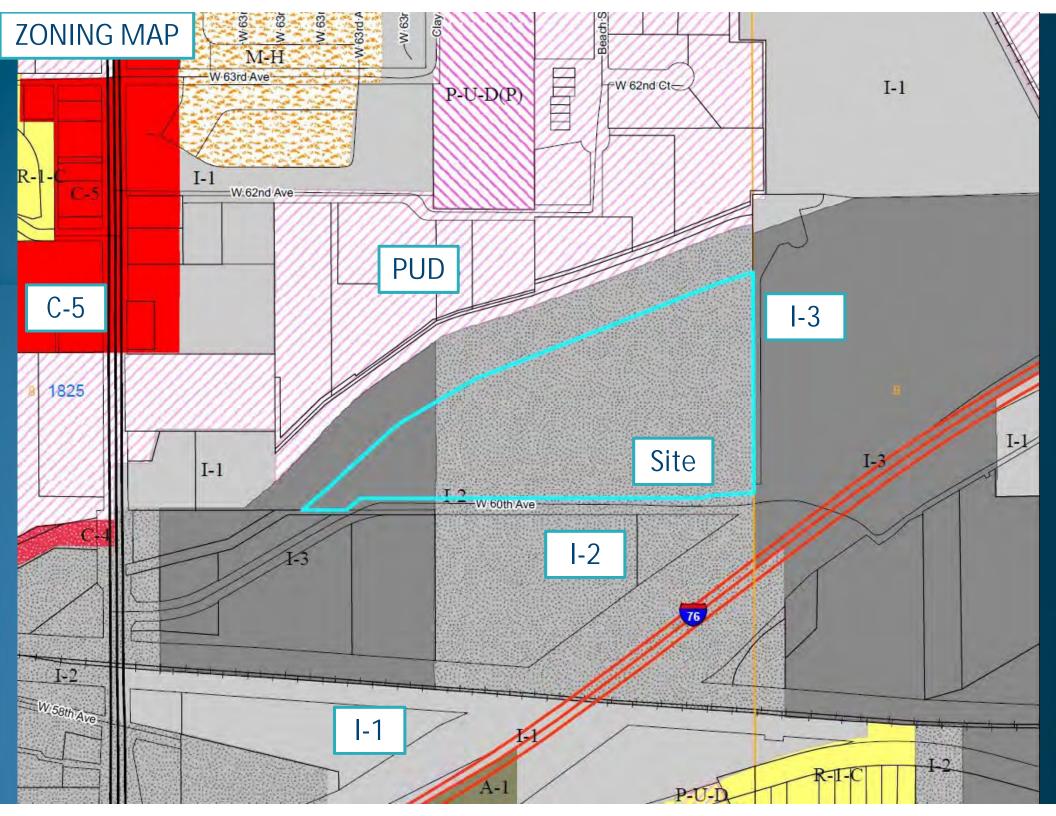
August 11, 2020 Board of County Commissioners Public Hearing Community and Economic Development Department Case Manager: Greg Barnes

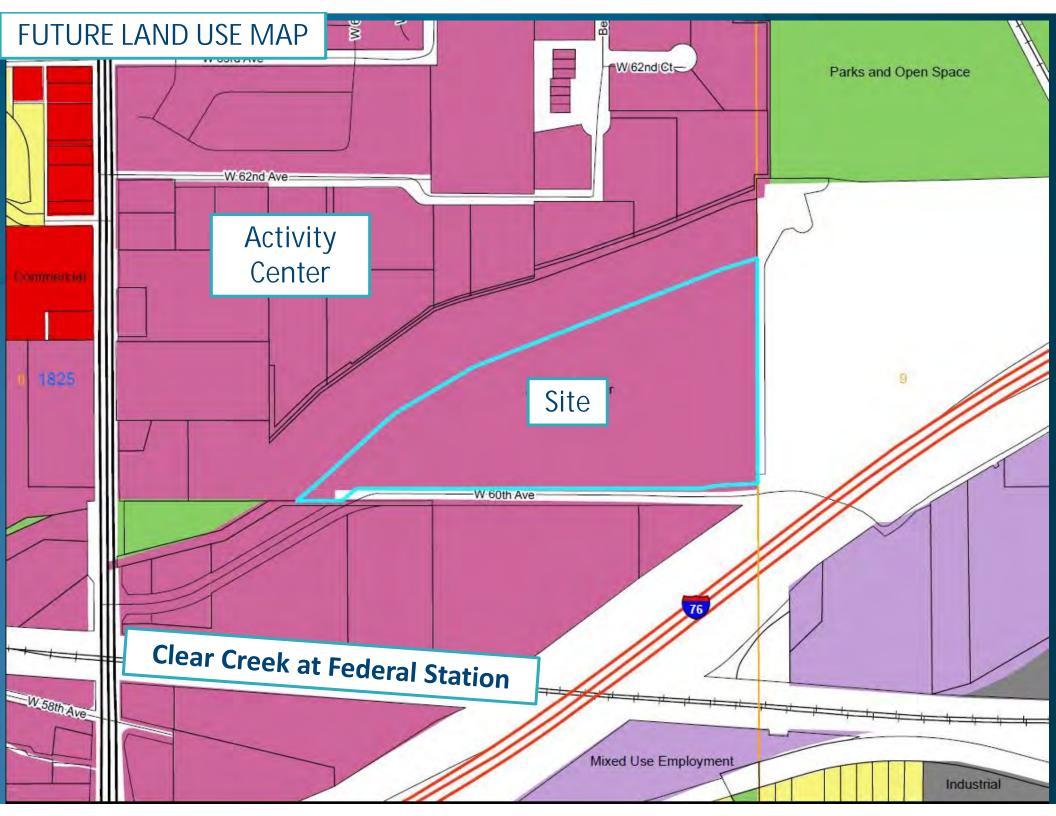
### Requests

- 1. Conditional use permit application to allow recycling operations in the Industrial-2 and Industrial-3 zone districts;
- 2. Conditional use permit application to allow accessory outdoor storage in excess of ten acres in the Industrial-2 and Industrial-3 zone districts;
- 3. Conditional use permit application to allow stacking of materials up to fifty (50) feet in height and above the height of any screen fencing.









#### Activity Center

- High-Intensity, Mixed-Use Development
  - Office
  - Hotel
  - High-Density Residential
  - Retail/Restaurant
- Excellent Transportation Access
- High Visibility
- Development in Activity
- Centers must contain a sufficient intensity and mix of uses to create a pedestrian environment and support transit service.
- These centers may be especially suitable for providing a variety of housing or should be planned with due consideration of accessibility between residences and places of employment.

# Background

- Use: processing and storage of recycled asphalt material including stockpiling and transport.
- No permits were ever obtained
- October 1995, notice of violation issued by Adams County
  - No permit was obtained

## Background

- June 2012, the applicant was granted a conditional use permit at <u>5880 Lipan</u> <u>Street</u> for similar use.
  - Condition to require the operations at 2601 W. 60<sup>th</sup> Avenue to cease and for the site to be vacated by June 2019.
  - July 2020, the applicant has not ceased operations nor vacated the site.
- In May 2017, an inspection of the site was conducted by Adams County, TCHD, and CDPHE.
  - Facility was operating without proper permitting;
  - Outdoor storage that was not associated with the business;
  - 30-foot tall pile of shingles unpermitted disposal of solid waste and potentially may have included asbestos shingles;
  - Illicit discharge into the Clear Creek;
  - Storage and stockpiling on an adjoining property owned by Adams County.

## Background

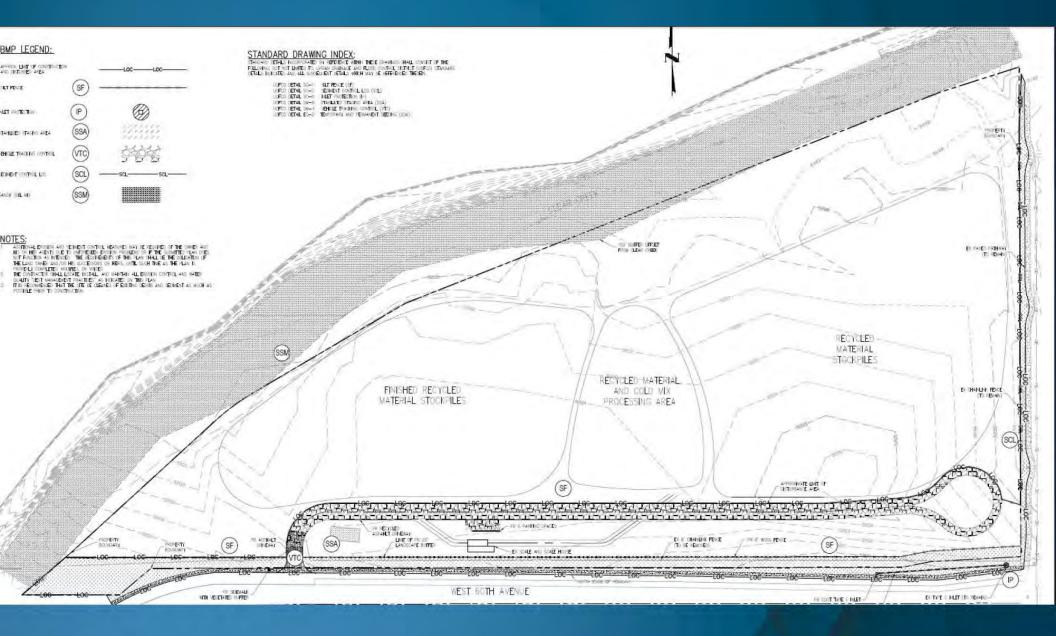
- Post-Inspection
  - Shingles removed
  - Material shifted off adjoining property
- November 2017, Settlement agreement was reached between Brannan Sand & Gravel and Adams County.
  - Timeline for the site to come into compliance
  - Initial compliance for several months
  - February 2018, Extension of deadlines granted
  - June 2019, Full compliance was to be met
  - December 2019, Subject applications filed
  - July 2020, the applicant has not ceased operations nor vacated the site.

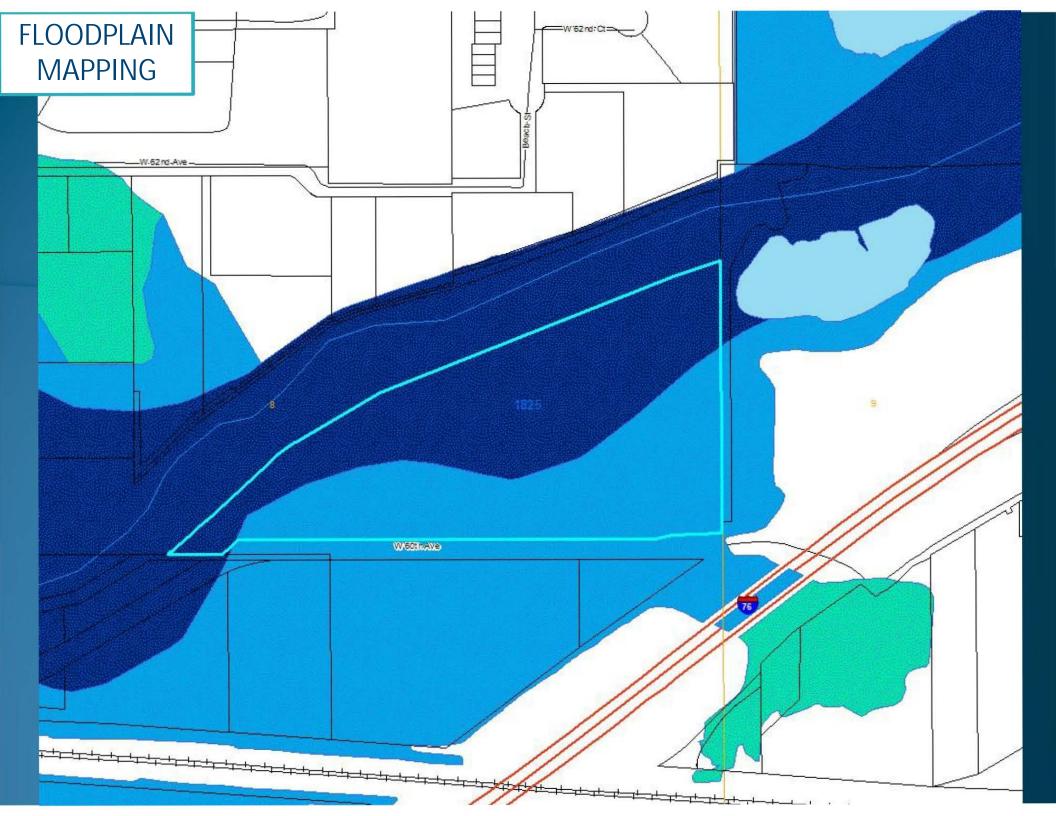
#### Criteria for Conditional Use

Section 2-02-09-06

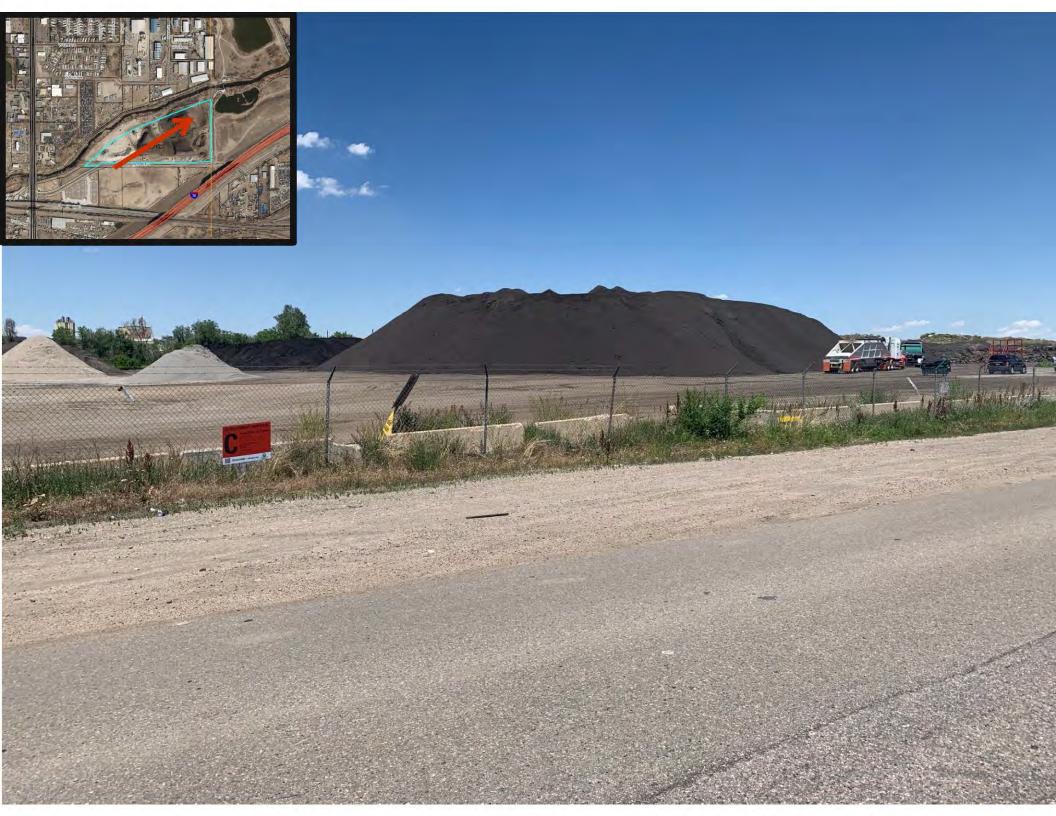
- 1. Permitted in zone district
- 2. Consistent with purpose of regulations
- 3. Comply with performance standards
- 4. Harmonious & compatible
- 5. Addressed all off-site impacts
- 6. Site suitable for use
- 7. Site plan adequate for use
- 8. Adequate services

#### SITE PLAN



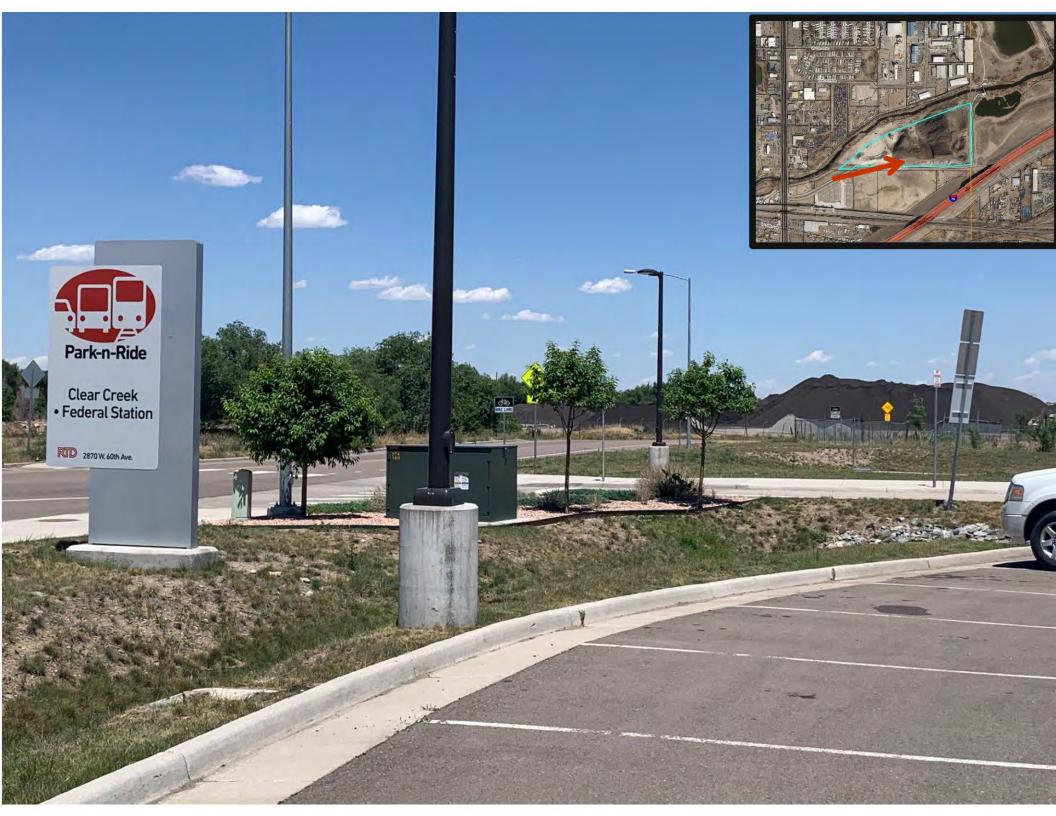












## Adams County Comprehensive Planning

### Southwest Area Plan

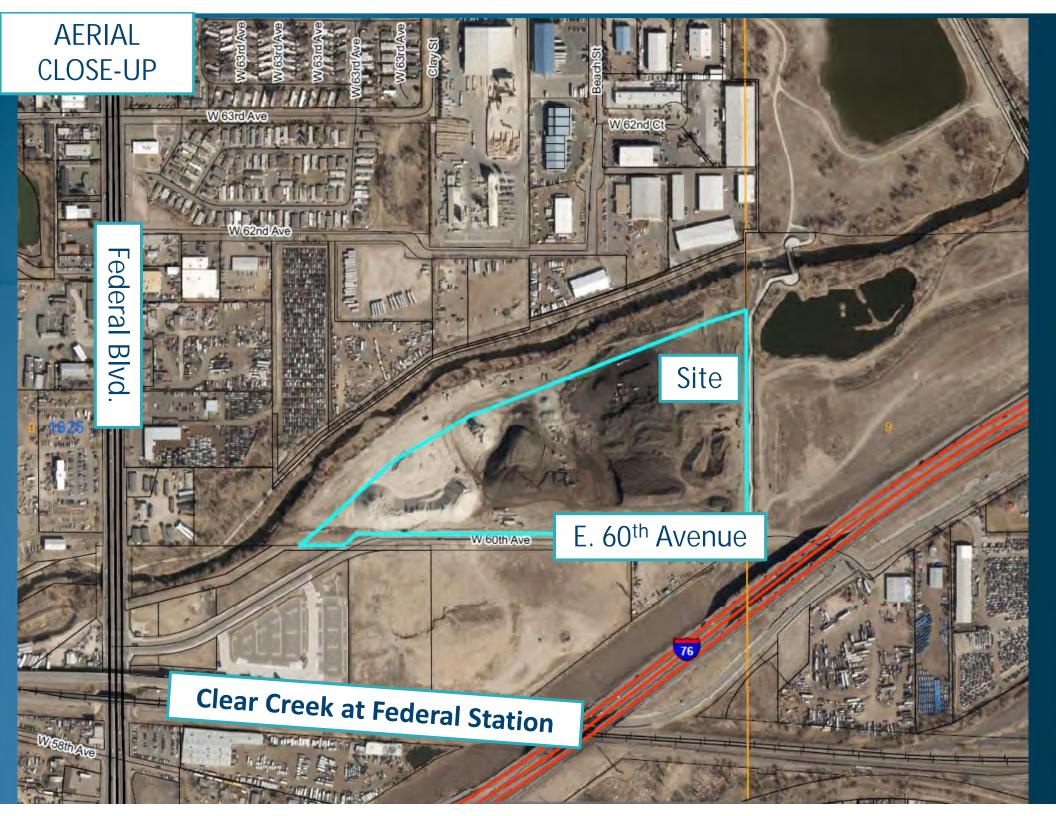
- Policy 14.1 Promote Clean Industrial Uses;
- Encourage development and redevelopment of a range of industrial uses in the Southwest Area, with emphasis on new clean and/ or light industrial uses

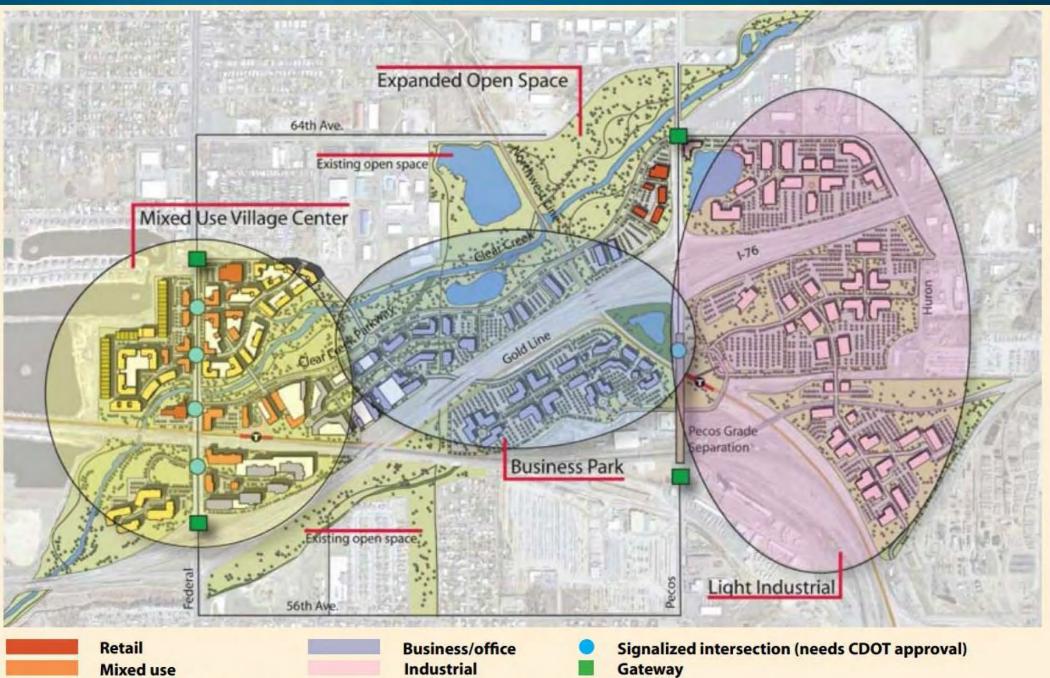
### • Federal Boulevard Framework Plan

- Corridor Planning should address potential Federal Boulevard blight conditions and recommend improvements in visual character. The addition of pedestrianoriented improvement to the right-of-way is critical in providing better accommodations for non-motorized corridor transportation. Additionally, streetscape planting should be incorporated throughout the corridor with a focus on shade trees along the east and west sides of the roadway due to the utility limitations of the center medians.
- Corridor planning should address potential methods to land assembly for redevelopment, protection of residential neighborhoods from commercial land use and traffic encroachment, and methods to interconnect the local street grid.
- Clear Creek Valley Transit Oriented Development Plan

### Clear Creek Valley Transit Oriented Development Plan, 2009

- Creation of a transit-oriented community
- Pedestrian-oriented to the transit station
- New retail, employment, entertainment and residential opportunities
- Current site designated for Village Center, Business Park, Open Space
- Mixed-use development with sustainable practices
- Open space and recreational opportunities
- Gateway to Southwest Adams County
- Discourages land use patterns in transit corridors and around transit stations that may preclude future Transit Oriented Development
- Discourages land consumptive uses related to heavy industry such as outdoor storage.





**Mixed use Multi family residential Single family attached** 

Industrial Structured parking



Active street level retail



Interactive corners

### **Design Standards**

#### **Purpose of the Design Standards**

The purpose of the Design Standards is to set high quality requirements for design of all projects in the Village Center. Development that is designed to these standards will protect the real estate values in the station area and in the neighborhoods in the vicinity. The standards provide a level playing field for developers which will assure a high standard of design on the part of all participants, and raise the bar for design in the immediate area.

#### **Design Standards for the Village Center**

#### Sustainability

*Intent*: To achieve sustainable design in developing and building each site promoting integrated design practices that sustain the project economically, environmentally and culturally.

*Principles*: At a minimum, sustainability within the Village Center shall be measured by the LEED rating system, established by the USGBC. Review and approval of buildings in this area shall be contingent upon the applicant showing progress in obtaining the LEED Certified credits. Affordable housing will be considered as an integral part of planning.

#### **Pedestrian Connectivity**

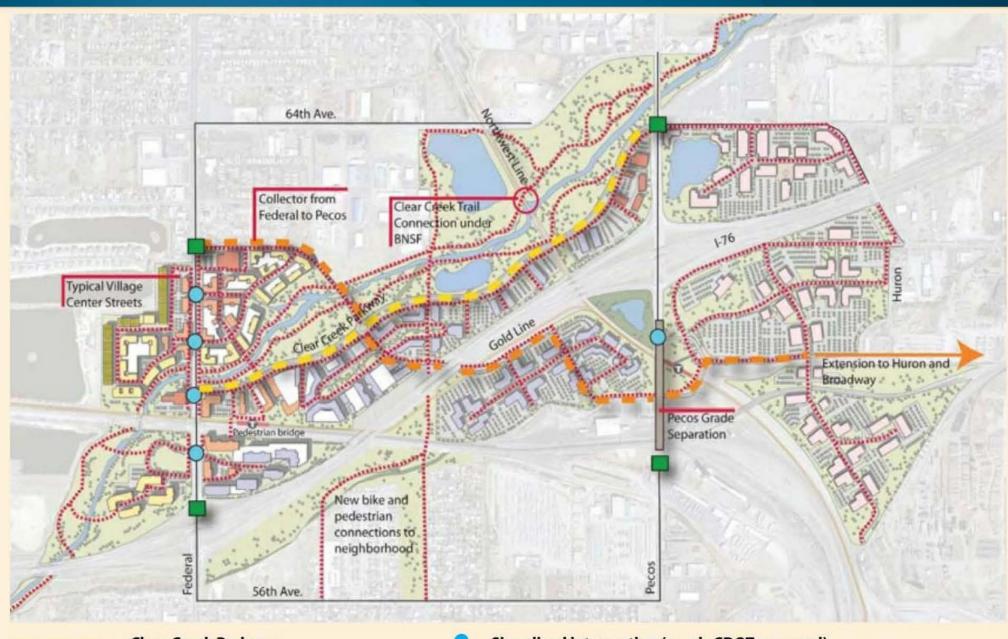
Intent: To connect transit, commercial and housing destinations with convenient, safe and easy to understand pedestrian circulation.

*Principles*: Walkways, bridges and pedestrian crossings shall constitute a network that interconnects all transit, commercial and residential buildings. Hidden areas and blind corners shall be avoided in favor of open, visible gathering places and unobstructed paths with clear visual connections to destinations beyond. Pedestrian walkways should avoid doubling back or acute changes in the travel path, and should have good visual connection with the surroundings at all times. Active uses should be located along the pedestrian paths.

#### **Ground Floor Activity**

Intent: To create a compelling and active pedestrian environment with interesting, accessible activities at the street level.

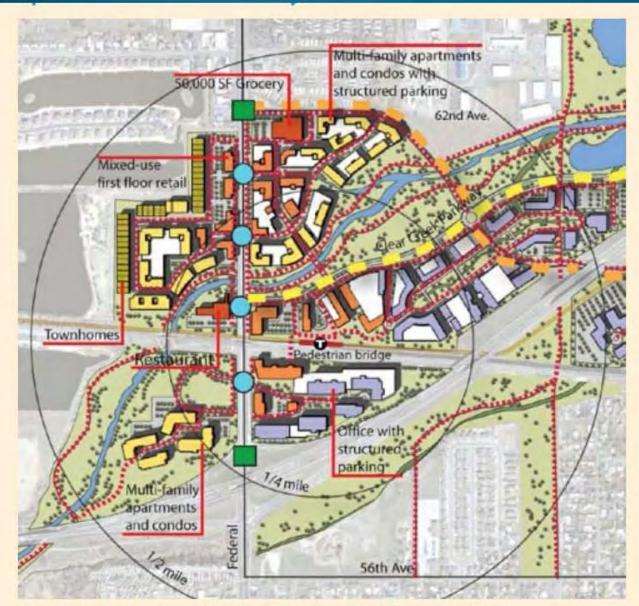
*Principles*: Ground floor uses shall consist of active commercial uses, restaurants and entertainment venues in areas that will be frequented by pedestrians. The active space shall be organized in a logical pedestrian flow, without isolating retail activities from public spaces and streets.



Clear Creek Parkway Collector Road from Federal to Pecos Pedestrian and bike circulation



Signalized intersection (needs CDOT approval) Gateway



**Clear Creek at Federal Station - Mixed-Use Village Center** 

### **CLEAR CREEK AT FEDERAL STATION**

The vision for the Clear Creek at Federal Station is to create a new vibrant community amenity within walking distance of the transit station. New retail, employment, entertainment and living opportunities within the Village Center will serve the needs of the exisiting community, and maintain the area as an employment center for Adams County.

Parking - 7,230 (Includes station parking at 600 spaces)

Multi-family Residential units - 1,993

Retail - 467,000 SF Potential jobs - 467 (1/1,000 SF)

Business/office - 398,000 SF Potential jobs - 1,326 (1/300 SF)

Open Space - 66 acres

Progam based on hypothetical assumptions of maximum buildout. Not based on current zoning or entitlements.



Retail Mixed use Multi family residential Single family attached Business/office Structured parking Signalized intersection (needs CDOT approval) Gateway

## Comments on Case

### Referral agency comments:

- Colorado Division of Water Resources (No concerns)
- Colorado Department of Transportation (No concerns)
- City of Arvada (No Concerns)
- Denver Water (No concerns)
- Adams County Fire (No concerns)
- Regional Transportation District (No comments)
- Tri-County Health Dept. (Concerns fugitive dust, historic landfill)
- Xcel Energy (No concerns)

### Public comments:

Property owners and residents within 1,500 feet

| Notifications Sent | Comments Received |
|--------------------|-------------------|
| 162                | 2                 |

# Summary

The determination by staff is that the request is inconsistent with the criteria for approval:

- The conditional use is incompatible with the surrounding area
- The conditional use is not harmonious with the character of the neighborhood
- The conditional use is detrimental future development of the area
- The conditional use , and detrimental to the health, safety, or welfare of the inhabitants of the area and the County
- The request cannot address all off-site impacts
- Character of the neighborhood is changing
- History of noncompliance with County standards

# PLANNING COMMISSION UPDATE

Public Hearing: July 9, 2020 No public comments provided at hearing

PC Questions/Concerns:

- Long-Range Plans
- Off-Site Impacts
- History of Noncompliance

Voted 5-0 for Denial

## Recommendation

Denial of Conditional Use Permit (PRC2019-00020) based on:

– 14 Findings-of-Fact

## Additional Staff Review Possible

If considering approval of the use:

- Improved Landscape Plan
- Reduced Stacking Heights
- Higher-Quality Fencing
- Improved Environmental Controls
- Limited Duration

## Alternative Recommendation

Continuance of the case to September 22, 2020 agenda

Allows more time for staff and the applicant to collaborate on an improved site plan to better mitigate off-site impacts of the use.

# Findings-of-Fact

- 1. The conditional use is not permitted in the applicable zone district.
- 2. The conditional use is inconsistent with the purposes of these standards and regulations.
- 3. The conditional use will not comply with the requirements of these standards and regulations, including but not limited to, all applicable performance standards.
- 4. The conditional use is incompatible with the surrounding area, not harmonious with the character of the neighborhood, detrimental to the immediate area, detrimental to the future development of the area, and detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
- 5. The conditional use permit has not addressed all off-site impacts.
- 6. The site is unsuitable for the proposed conditional use including adequate usable space, adequate access, and absence of environmental constraints.
- 7. The site plan for the proposed conditional use will not provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.

# Findings-of-Fact

- 8. The request for outdoor storage is incompatible with the Adams County Comprehensive Plan, does not comply with the minimum zoning requirements of the zone district in which the Conditional Use Permit is to be granted, and does not comply with all other applicable requirements of the Adams County Development Standards and Regulations.
- 9. Aesthetic concerns have not been taken into consideration during the site design and placement of the outdoor storage.
- 10. The request for a recycling facility is incompatible with the Adams County Comprehensive Plan, does not comply with the minimum zoning requirements of the zone district in which the Conditional Use Permit is to be granted, and does not comply with all other applicable requirements of the Adams County Zoning and Subdivision Regulations.
- 11. The applicant has not documented his ability to comply with the health standards and operating procedures as provided by the Colorado Department of Public Health and Environment, Tri-County Health Department, Fire District, and other relevant agencies.
- 12. The proposed facility will cause significant traffic congestion or traffic hazards.
- 13. The request is incompatible with the surrounding area.
- 14. The site will impact health and welfare of the community based upon specific recycling facility design and operating procedures.