



**Board of County Commissioners**

**Eva J. Henry - District #1**  
**Charles "Chaz" Tedesco - District #2**  
**Emma Pinter - District #3**  
**Steve O'Dorisio - District #4**  
**Lynn Baca - District #5**

**PUBLIC HEARING AGENDA**

NOTICE TO READERS: The Board of County Commissioners' meeting packets are prepared several days prior to the meeting. This information is reviewed and studied by the Board members to gain a basic understanding, thus eliminating lengthy discussions. Timely action and short discussion on agenda items does not reflect a lack of thought or analysis on the Board's part. An informational packet is available for public inspection in the Board's Office one day prior to the meeting.

**THIS AGENDA IS SUBJECT TO CHANGE**

**Tuesday**  
**June 29, 2021**  
**9:30 AM**

**1. ROLL CALL**

**2. PLEDGE OF ALLEGIANCE**

**3. MOTION TO APPROVE AGENDA**

**4. AWARDS AND PRESENTATIONS**

**5. PUBLIC COMMENT**

**A. Citizen Communication**

**A total of 30 minutes is allocated at this time for public comment and each speaker will be limited to 3 minutes. If there are additional requests from the public to address the Board, time will be allocated at the end of the meeting to complete public comment. The chair requests that there be no public comment on issues for which a prior public hearing has been held before this Board.**

**B. Elected Officials' Communication**

**6. CONSENT CALENDAR**

- A.** List of Expenditures Under the Dates of June 14-18, 2021
- B.** Minutes of the Commissioners' Proceedings from June 22, 2021
- C.** Resolution Approving Abatement Petitions and Authorizing the Refund of Taxes for Account Numbers R0180881, P0032902, R0129552, R0001648, R0102040, R0102087, R0197611, and R0084925  
(File approved by ELT)



- D.** Resolution Approving Right-of-Way Agreement between Adams County and David M. Hamai and Khristina L. Hamai, for Property Necessary for the Pecos Street Roadway and Drainage Improvements Project from West 52nd Avenue to West 58th Avenue  
(File approved by ELT)
- E.** Resolution Approving Right-of-Way Agreement between Adams County and Randolph V. Laurienti for Property Necessary for the York Street Roadway and Drainage Improvements Project from East 78th Avenue to East 88th Avenue  
(File approved by ELT)
- F.** Resolution Approving License Agreement for Parking and Vehicle Storage at 5135 East 74th Avenue  
(File approved by ELT)
- G.** Resolution Authorizing Fourth Supplemental Appropriations to the 2021 Adams County Government Budget  
(File approved by ELT)
- H.** Resolution Approving Intergovernmental Agreement between Adams County and the City of Westminster for Temporary Space at Western Services Center  
(File approved by ELT)

## **7. NEW BUSINESS**

### **A. COUNTY MANAGER**

- 1.** Resolution Approving an Agreement between Adams County and MaxSecure Systems, Inc. for an Anti-Ligature Inmate Bunk System  
(File approved by ELT)
- 2.** Resolution Approving an Agreement between Adams County and Work Options for Women for Culinary Training and Internship Program Services  
(File approved by ELT)
- 3.** Resolution Approving Amendment One to the Agreement between Adams County and City Service Valcon to Provide Fuel Services for the Colorado Air and Space Port  
(File approved by ELT)
- 4.** Resolution Approving an Agreement between Adams County and Ayres Associates, Inc., for Professional Engineering Services for the 70th Avenue: Pecos Street to Kidder Drive Project  
(File approved by ELT)
- 5.** Resolution Approving Amendment One to the Agreement between Adams County and JR Engineering for Professional Engineering Services of the Berkeley Gardens Neighborhood Improvements Project  
(File approved by ELT)
- 6.** Resolution Approving Amendment Two to the Agreement between Adams County and Drexel, Barrell & Company for the Professional Engineering and Land Survey Services for East 58th Avenue Improvements  
(File approved by ELT)
- 7.** Resolution Approving Amendment One to the Agreement between Adams County and Stantec Consulting Services, Inc., for Professional Engineering Services of the Steele Street Extension: East 86th Avenue to East 88th Avenue Project  
(File approved by ELT)



8. Resolution Approving Amendment One to the Agreement between Adams County and Hudick Excavating, Inc., dba HEI Civil, for the York Street Phase 1 Project from State Highway 244 to 78th Avenue  
(File approved by ELT)
9. Resolution Approving Amendment Two to the Agreement between Adams County and Summit Food Services LLC, for Inmate Food Services  
(File approved by ELT)
10. Resolution Approving Amendment Two to the Agreement between Adams County and Summit Food Services, LLC, for Inmate Laundry Services  
(File approved by ELT)

## **B. COUNTY ATTORNEY**

## **8. LAND USE HEARINGS**

### **A. Cases to be Heard**

1. RCU2021-00002 Maverik Rezone – 56th & Federal  
(File approved by ELT)
2. RCU2021-00003 Asphalt Specialties - 345 W. 62nd Avenue  
(File approved by ELT)
3. RCU2020-00011 StreetMedia 76th Avenue Billboard  
(File approved by ELT)

## **9. ADJOURNMENT**

**AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE**



**County of Adams**  
**Net Warrant by Fund Summary**

<b>Fund Number</b>	<b>Fund Description</b>	<b>Amount</b>
1	General Fund	2,205,157.64
4	Capital Facilities Fund	6,824.60
5	Golf Course Enterprise Fund	81,608.29
6	Equipment Service Fund	95,776.26
7	Stormwater Utility Fund	27,076.00
13	Road & Bridge Fund	1,557,653.69
19	Insurance Fund	409,070.44
25	Waste Management Fund	145,356.41
27	Open Space Projects Fund	13,670.85
30	Community Dev Block Grant Fund	74,369.87
31	Head Start Fund	13,417.40
34	Comm Services Blk Grant Fund	59,303.34
35	Workforce & Business Center	1,338.75
43	Colorado Air & Space Port	74,465.14
50	FLATROCK Facility Fund	2,712.08
		<u>4,767,800.76</u>



## Net Warrants by Fund Detail

**1****General Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007631	4936	ADAMS COUNTY ECONOMIC DEVELOP	6/16/2021	125,000.00
00007632	4936	ADAMS COUNTY ECONOMIC DEVELOP	6/16/2021	125,000.00
00007634	33605	AGILENT TECHNOLOGIES	6/16/2021	3,275.00
00007636	1006441	BKD LLP	6/16/2021	18,445.00
00007637	37193	CINA & CINA FORENSIC CONSULTIN	6/16/2021	540.00
00007639	1016895	G4S SECURE SOLUTIONS USA INC	6/16/2021	23,115.13
00007643	465183	PITNEY BOWES RESERVE ACCOUNT	6/16/2021	25,000.00
00007645	145355	SANITY SOLUTIONS INC	6/16/2021	38,633.04
00007649	1008782	ANGEL ARMOR LLC	6/17/2021	704.59
00007654	37193	CINA & CINA FORENSIC CONSULTIN	6/17/2021	21,800.00
00007657	1178755	JENET MICHAEL	6/17/2021	82.63
00007662	1178800	P8 D-C INDUSTRIAL LAST MILE LL	6/17/2021	911,667.46
00007671	671123	FOUND MY KEYS	6/18/2021	1,910.17
00007672	1016895	G4S SECURE SOLUTIONS USA INC	6/18/2021	20,926.85
00007673	1053561	SIEGEL THOMAS WEIL	6/18/2021	437.50
00760303	13884	ADAMS COUNTY SHERIFF	6/17/2021	3,496.80
00760304	91631	ADAMSON POLICE PRODUCTS	6/17/2021	608.25
00760306	888858	ALL RECYCLING INC	6/17/2021	606.60
00760307	12012	ALSCO AMERICAN INDUSTRIAL	6/17/2021	217.94
00760308	14661	AMERIGAS DENVER 1012	6/17/2021	1,524.27
00760309	221351	APEX SYSTEMS GROUP LLC	6/17/2021	140.00
00760310	1177368	ARELLANO STEPHEN JAMES	6/17/2021	19.00
00760312	993099	BAYAUD ENTERPRISES INC	6/17/2021	41,139.53
00760313	3020	BENNETT TOWN OF	6/17/2021	3,000.00
00760314	40942	BI INCORPORATED	6/17/2021	22,740.88
00760315	1044535	BONGO LOVE	6/17/2021	9,970.00
00760316	414438	BORENSTEIN AND ASSOCIATES	6/17/2021	19.00
00760326	5050	COLO DIST ATTORNEY COUNCIL	6/17/2021	3,375.00
00760327	5050	COLO DIST ATTORNEY COUNCIL	6/17/2021	3,270.30
00760329	2157	COLO OCCUPATIONAL MEDICINE PHY	6/17/2021	556.00
00760330	2157	COLO OCCUPATIONAL MEDICINE PHY	6/17/2021	260.00
00760331	203990	COLORADO STATE UNIVERSITY	6/17/2021	4,710.00
00760332	42984	CORECIVIC INC	6/17/2021	246,020.85
00760333	810159	CORHIO	6/17/2021	310.00
00760334	652416	DAVIDSON MELANY	6/17/2021	102.95
00760336	237568	DESIGN WORKSHOP	6/17/2021	72.50



## Net Warrants by Fund Detail

1General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00760338	101347	DHM DESIGNS	6/17/2021	16,065.85
00760340	34567	DILL JERRY	6/17/2021	90.00
00760342	13409	EASTERN DISPOSE ALL	6/17/2021	163.50
00760343	35867	ELDORADO ARTESIAN SPRINGS INC	6/17/2021	72.95
00760344	1178357	ENLIGHTENMENT TREE SERVICE LLC	6/17/2021	2,400.00
00760345	23893	ERGONOMIC SOLUTIONS LLC	6/17/2021	483.00
00760348	47723	FEDEX	6/17/2021	206.45
00760349	761168	FERRELLGAS L P	6/17/2021	240.40
00760350	541231	FINELINE GRAPHICS	6/17/2021	145.09
00760351	197938	FIRST CALL OF COLO	6/17/2021	5,850.00
00760353	339325	FLEXENTIAL PROFESSIONAL SERVIC	6/17/2021	5,550.03
00760355	993336	FOX PROPERTY MGMT	6/17/2021	66.00
00760356	426777	FRANCY LAW FIRM	6/17/2021	19.00
00760357	506511	FRANK J BALL	6/17/2021	19.00
00760358	12689	GALLS LLC	6/17/2021	20,940.79
00760359	783632	GAM ENTERPRISES INC	6/17/2021	4,194.84
00760360	1143321	GARCIA MARISOL	6/17/2021	500.00
00760361	1177369	GERMAIN DIANA	6/17/2021	19.00
00760362	808845	GRONQUIST, CHRISTOPHER L	6/17/2021	65.00
00760365	950439	GUTHRIE TRAVIS JAMES	6/17/2021	557.00
00760366	239498	HALL COUNTY ATTORNEY	6/17/2021	19.00
00760369	1177366	HENSON MARGARET	6/17/2021	66.00
00760370	8721	HILL & ROBBINS	6/17/2021	620.00
00760371	699829	HILL'S PET NUTRITION SALES INC	6/17/2021	1,160.84
00760372	10864	HILLYARD - DENVER	6/17/2021	205.60
00760373	358482	HOLST AND BOETTCHER	6/17/2021	19.00
00760374	79260	IDEXX DISTRIBUTION INC	6/17/2021	953.31
00760376	32276	INSIGHT PUBLIC SECTOR	6/17/2021	5,454.36
00760377	44965	INTERVENTION COMMUNITY CORRECT	6/17/2021	87,682.52
00760378	746356	J. BROWER PSYCHOLOGICAL SERVIC	6/17/2021	900.00
00760379	535598	JACHIMIAK PETERSON LLC	6/17/2021	5,879.39
00760381	1127930	JOSHUA B EPEL ESQ PLLC	6/17/2021	10,000.00
00760383	1020086	LABORATORY CORPORATION OF AMER	6/17/2021	11,877.81
00760384	192058	LADWIG MICHAEL V MD PC	6/17/2021	1,664.00
00760385	976517	LIFE RECOVERY CENTER	6/17/2021	6,475.00
00760388	62353	MAIER LORI C	6/17/2021	39.00



## Net Warrants by Fund Detail

1General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00760389	564619	MARK YOUNG CONSTRUCTION INC	6/17/2021	180,657.03
00760390	637831	MCCREARY RAPHAEL	6/17/2021	65.00
00760391	1039410	MECSTAT LABORATORIES	6/17/2021	195.00
00760392	1029185	MESSNER REEVES LLP	6/17/2021	19.00
00760393	484131	METRO COLLECTION SERVICE	6/17/2021	19.00
00760394	38974	MINUTEMAN PRESS-BRIGHTON	6/17/2021	8,028.82
00760395	13591	MWI ANIMAL HEALTH	6/17/2021	8,122.66
00760396	32509	NCS PEARSON INC	6/17/2021	175.50
00760397	570347	NELSON AND KENNARD	6/17/2021	19.00
00760399	16428	NICOLETTI-FLATER ASSOCIATES	6/17/2021	464.00
00760400	124449	NMS LABS	6/17/2021	21,060.00
00760401	13774	NORTH PECOS WATER & SANITATION	6/17/2021	41.46
00760402	13778	NORTH WASHINGTON ST WATER & SA	6/17/2021	2,130.11
00760403	219454	OFFICE OF RECOVERY SERVICES	6/17/2021	19.00
00760404	949999	OFFICESCAPES OF DENVER LLLP	6/17/2021	43,443.43
00760406	1026844	OTAK INC A COLORADO CORPORATIO	6/17/2021	4,683.50
00760407	473343	PALEO DNA	6/17/2021	378.00
00760408	43423	PERFORMANCE ENHANCEMENTS INC	6/17/2021	375.00
00760409	192059	POINT SPORTS/ERGOMED	6/17/2021	2,520.00
00760410	1177047	PRANGE, MICHAEL	6/17/2021	6,000.00
00760412	837076	PSYCHOLOGICAL DIMENSIONS	6/17/2021	5,850.00
00760414	23946	SAFEGUARD BUSINESS SYSTEMS	6/17/2021	567.09
00760417	574170	SCHULTZ PUBLIC AFFAIRS LLC	6/17/2021	5,416.67
00760420	13538	SHRED IT USA LLC	6/17/2021	239.15
00760421	1141990	SHUMS CODA ASSOCIATES	6/17/2021	2,000.00
00760423	10449	SIR SPEEDY	6/17/2021	51.00
00760424	51001	SOUTHLAND MEDICAL LLC	6/17/2021	1,453.84
00760425	928073	SQUEEGEE SQUAD	6/17/2021	1,991.36
00760427	233560	STEVEN LOUTH LAW OFFICES	6/17/2021	6.00
00760429	599714	SUMMIT FOOD SERVICE LLC	6/17/2021	33,127.31
00760430	102754	SUMMIT PATHOLOGY	6/17/2021	1,779.15
00760431	426037	SWIRE COCA-COLA USA	6/17/2021	183.36
00760435	1177367	THOMPSON JAMES	6/17/2021	19.00
00760436	22538	THOMSON REUTERS - WEST	6/17/2021	455.60
00760437	319978	TONSAGER DENNIS	6/17/2021	65.00
00760439	810316	TRELOAR TARA A	6/17/2021	65.00



## Net Warrants by Fund Detail

1General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00760440	666214	TYGRET DEBRA R	6/17/2021	135.00
00760443	51179	UNITED PARCEL SERVICE INC	6/17/2021	570.96
00760444	1007	UNITED POWER (UNION REA)	6/17/2021	61.92
00760445	1007	UNITED POWER (UNION REA)	6/17/2021	23.78
00760446	1007	UNITED POWER (UNION REA)	6/17/2021	44.53
00760447	300982	UNITED SITE SERVICES	6/17/2021	312.00
00760448	20730	UNITED STATES POSTAL SERVICE	6/17/2021	1,320.00
00760449	8076	VERIZON WIRELESS	6/17/2021	120.03
00760450	28566	VERIZON WIRELESS	6/17/2021	40.01
00760451	77845	VERTIQ SOFTWARE LLC	6/17/2021	7,225.00
00760452	1136702	VOS COMPANY LIMITED	6/17/2021	1,400.00
00760453	1177566	WALTERS REBECCA	6/17/2021	100.00
00760454	3550	WESTERN PAPER DISTRIBUTORS	6/17/2021	10,908.00
00760457	702804	WOLFE SANDRA KAY	6/17/2021	65.00
00760458	13822	XCEL ENERGY	6/17/2021	71.92
00760459	13822	XCEL ENERGY	6/17/2021	21.77
00760460	13822	XCEL ENERGY	6/17/2021	54.01
00760461	13822	XCEL ENERGY	6/17/2021	12.09
00760462	13822	XCEL ENERGY	6/17/2021	25.61
00760464	862704	COLORADO BUILDING AND CONSTRUC	6/17/2021	500.00
00760465	1179510	MILE HI VETERAN SERVICES	6/17/2021	600.00
00760466	1179522	RADO PREP	6/17/2021	500.00
<b>Fund Total</b>				<b>2,205,157.64</b>



County of Adams  
Net Warrants by Fund Detail

<u>4</u>		<u>Capital Facilities Fund</u>			
<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>	
00760405	949999	OFFICESCAPES OF DENVER LLLP	6/17/2021	1,728.60	
00760416	987225	SCHLISNER FLOORING	6/17/2021	5,096.00	
			<b>Fund Total</b>	<b>6,824.60</b>	



County of Adams  
Net Warrants by Fund Detail

<u>5</u>		<u>Golf Course Enterprise Fund</u>			
<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>	
00007663	6177	PROFESSIONAL RECREATION MGMT I	6/17/2021	25,277.56	
00007664	6177	PROFESSIONAL RECREATION MGMT I	6/17/2021	56,330.73	
			<b>Fund Total</b>	<b>81,608.29</b>	



## Net Warrants by Fund Detail

6Equipment Service Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00760300	23962	ACS MANAGEMENT LLC	6/17/2021	4,268.00
00760352	1042593	FLEX FLEET RENTAL LLC	6/17/2021	5,040.00
00760375	682207	INSIGHT AUTO GLASS LLC	6/17/2021	826.55
00760380	27626	JOHN ELWAY CHEVROLET	6/17/2021	39,365.00
00760415	16237	SAM HILL OIL INC	6/17/2021	15,583.20
00760422	28084	SILL TERHAR MOTORS INC	6/17/2021	26,063.00
00760434	790907	THE GOODYEAR TIRE AND RUBBER C	6/17/2021	1,508.41
00760455	350373	WEX BANK	6/17/2021	3,122.10
<b>Fund Total</b>				<b>95,776.26</b>



County of Adams  
Net Warrants by Fund Detail

7      Stormwater Utility Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007644	433702	QUANTUM WATER & ENVIRONMENT	6/16/2021	6,400.00
00007660	1023	MILE HIGH FLOOD DISTRICT	6/17/2021	15,000.00
00760368	381414	HAMPDEN PRESS INC	6/17/2021	5,676.00
<b>Fund Total</b>				<b>27,076.00</b>



## Net Warrants by Fund Detail

**13****Road & Bridge Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007635	100083	ALDERMAN BERNSTEIN LLC	6/16/2021	5,433.59
00007648	100083	ALDERMAN BERNSTEIN LLC	6/17/2021	3,193.25
00007650	89295	ARVADA CITY OF	6/17/2021	24,498.23
00007651	89296	AURORA CITY OF	6/17/2021	297,257.86
00007652	89297	BENNETT TOWN OF	6/17/2021	11,403.16
00007653	89298	BRIGHTON CITY OF	6/17/2021	178,538.81
00007655	89299	COMMERCE CITY CITY OF	6/17/2021	209,314.35
00007656	89300	FEDERAL HEIGHTS CITY OF	6/17/2021	30,679.79
00007661	89301	NORTHGLENN CITY OF	6/17/2021	98,249.27
00007667	89302	THORNTON CITY OF	6/17/2021	380,295.21
00007668	89304	WESTMINSTER CITY OF	6/17/2021	201,923.25
00760305	411865	ALFRED BENESCH & CO	6/17/2021	16,121.00
00760337	237568	DESIGN WORKSHOP	6/17/2021	3,594.50
00760341	128693	DREXEL BARRELL & CO	6/17/2021	56,343.00
00760367	1176513	HAMAI, KHRISTINA	6/17/2021	1,310.00
00760419	778644	SHORT ELLIOTT HENDRICKSON INC	6/17/2021	8,286.50
00760441	595135	ULTEIG ENGINEERS INC	6/17/2021	31,211.92
<b>Fund Total</b>				<b>1,557,653.69</b>



## Net Warrants by Fund Detail

19Insurance Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007647	37223	UNITED HEALTH CARE INSURANCE C	6/16/2021	356,011.25
00760317	726898	CA SHORT COMPANY	6/17/2021	5,608.50
00760328	17565	COLO FRAME & SUSPENSION	6/17/2021	24,027.40
00760346	346750	FACTORY MOTOR PARTS	6/17/2021	952.32
00760438	1177062	TRACEPOINT LLC	6/17/2021	22,470.97
<b>Fund Total</b>				<b>409,070.44</b>



## Net Warrants by Fund Detail

25Waste Management Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007640	1038368	IRON WOMAN CONSTRUCTION	6/16/2021	127,186.32
00007665	433702	QUANTUM WATER & ENVIRONMENT	6/17/2021	2,389.25
00007669	535096	B & B ENVIRONMENTAL SAFETY INC	6/18/2021	5,112.19
00760433	573198	TECHNO RESCUE LLC	6/17/2021	10,668.65
<b>Fund Total</b>				<b>145,356.41</b>



County of Adams  
Net Warrants by Fund Detail

<u>27</u>		<u>Open Space Projects Fund</u>			
<u>Warrant</u>		<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00760339		101347	DHM DESIGNS	6/17/2021	13,020.85
00760428		79543	SUC N UP INC	6/17/2021	650.00
				<b>Fund Total</b>	<b>13,670.85</b>



## Net Warrants by Fund Detail

30Community Dev Block Grant Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007642	866134	PG CONSTRUCTION SERVICES INC	6/16/2021	3,465.00
00007646	29064	TIERRA ROJO CORPORATION	6/16/2021	15,150.00
00007658	1163079	JIMMY JOHNS	6/17/2021	10,002.00
00007666	907138	ROOT POLICY RESEARCH INC	6/17/2021	2,587.50
00760335	1128771	DENVER BEVERAGE	6/17/2021	17,500.00
00760354	1139556	FLOODSTAGE ALE WORKS LLC	6/17/2021	8,734.00
00760456	1142791	WGM LAND DESIGN LTD	6/17/2021	16,931.37
<b>Fund Total</b>				<b>74,369.87</b>



## Net Warrants by Fund Detail

31Head Start Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007641	1142987	LASHEN JODY M	6/16/2021	975.46
00007659	1063172	MAIKER HOUSING PARTNERS	6/17/2021	10,684.86
00760318	37266	CENTURY LINK	6/17/2021	149.86
00760319	37266	CENTURY LINK	6/17/2021	208.49
00760320	37266	CENTURY LINK	6/17/2021	149.68
00760321	327914	CESCO LINGUISTIC SERVICE INC	6/17/2021	187.24
00760322	166025	CHILDRENS HOSPITAL	6/17/2021	787.50
00760323	327250	CINTAS CORPORATION NO 2	6/17/2021	168.92
00760325	5078	COLO DEPT OF HUMAN SERVICES	6/17/2021	35.00
00760432	13770	SYSCO DENVER	6/17/2021	70.39
<b>Fund Total</b>				<b>13,417.40</b>



## Net Warrants by Fund Detail

34Comm Services Blk Grant Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00760299	30283	ACCESS HOUSING	6/17/2021	3,700.25
00760302	258636	ADAMS COUNTY FOOD BANK	6/17/2021	8,259.72
00760347	8818069	FAMILY TREE INC	6/17/2021	1,565.44
00760363	44825	GROWING HOME INC	6/17/2021	4,856.00
00760398	689895	NEW LEGACY CHARTER	6/17/2021	9,187.95
00760411	189016	PROJECT ANGEL HEART	6/17/2021	23,848.79
00760418	58925	SERVICIOS DE LA RAZA INC	6/17/2021	7,885.19
<b>Fund Total</b>				<b>59,303.34</b>



## Net Warrants by Fund Detail

35Workforce & Business Center

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00760364	44825	GROWING HOME INC	6/17/2021	738.75
00760386	643316	LOCKHEED MARTIN SPACE SYSTEMS	6/17/2021	600.00
<b>Fund Total</b>				<b>1,338.75</b>



## Net Warrants by Fund Detail

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Colorado Air & Space Port

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<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007633	977209	ADT COMMERCIAL LLC	6/16/2021	260.00
00007638	709816	CITY SERVICEVALCON LLC	6/16/2021	29,491.62
00007670	709816	CITY SERVICEVALCON LLC	6/18/2021	29,850.54
00760311	80118	AT&T CORP	6/17/2021	113.22
00760324	852482	CLEARWAY ENERGY GROUP LLC	6/17/2021	2,994.43
00760382	358103	KIMLEY-HORN AND ASSOCIATES INC	6/17/2021	8,910.09
00760387	112383	LOTTMAN OIL COMPANY	6/17/2021	180.00
00760413	44131	ROGGEN FARMERS ELEVATOR ASSN	6/17/2021	42.00
00760442	80272	UNION PACIFIC RAILROAD COMPANY	6/17/2021	2,200.00
00760463	13822	XCEL ENERGY	6/17/2021	423.24
<b>Fund Total</b>				<hr/> <b>74,465.14</b>



County of Adams  
Net Warrants by Fund Detail

<u>50</u>		<u>FLATROCK Facility Fund</u>			
<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>	
00760301	73472	ACTION TARGET	6/17/2021	2,408.28	
00760426	928073	SQUEEGEE SQUAD	6/17/2021	303.80	
			<b>Fund Total</b>	<b>2,712.08</b>	



**County of Adams**  
**Net Warrants by Fund Detail**

**Grand Total      4,767,800.76**



County of Adams  
Vendor Payment Report

<u>2051</u>	<u>ANS - Admin &amp; Customer Care</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Animal Control/Shelter					
	WALTERS REBECCA	00001	997558	394003	6/14/2021	100.00
					Account Total	100.00
					Department Total	100.00



County of Adams  
Vendor Payment Report

<u>1011</u>	<u>Board of County Commissioners</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Special Events					
	COLORADO BUILDING AND CONSTRUC	00001	997932	394338	6/17/2021	500.00
	MILE HI VETERAN SERVICES	00001	997931	394338	6/17/2021	600.00
	RADO PREP	00001	997933	394338	6/17/2021	500.00
					Account Total	1,600.00
					Department Total	1,600.00



County of Adams  
Vendor Payment Report

<u>4</u>	<u>Capital Facilities Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	OFFICESCAPES OF DENVER LLLP	00004	997803	394296	6/17/2021	1,728.60
	SCHLISNER FLOORING	00004	997831	394301	6/17/2021	5,096.00
					Account Total	6,824.60
					Department Total	6,824.60



County of Adams  
Vendor Payment Report

<u>4302</u>	<u>CASP Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Rents & Leases					
	UNION PACIFIC RAILROAD COMPANY	00043	997634	394111	6/15/2021	2,200.00
					Account Total	2,200.00
	Telephone					
	AT&T CORP	00043	997627	394111	6/15/2021	98.14
					Account Total	98.14
					Department Total	2,298.14



County of Adams  
Vendor Payment Report

<u>4308</u>	<u>CASP ATCT</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	ADT COMMERCIAL LLC	00043	997635	394113	6/15/2021	260.00
					Account Total	260.00
	Telephone					
	AT&T CORP	00043	997627	394111	6/15/2021	7.54
					Account Total	7.54
					Department Total	267.54



County of Adams  
Vendor Payment Report

<u>4303</u>	<u>CASP FBO</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Airport Freight					
	LOTTMAN OIL COMPANY	00043	997633	394111	6/15/2021	5.00
					Account Total	5.00
	Oil					
	LOTTMAN OIL COMPANY	00043	997633	394111	6/15/2021	175.00
					Account Total	175.00
					Department Total	180.00



**County of Adams**  
**Vendor Payment Report**

<u>4304</u>	<u>CASP Operations/Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	CLEARWAY ENERGY GROUP LLC	00043	997629	394111	6/15/2021	1,181.72
	CLEARWAY ENERGY GROUP LLC	00043	997630	394111	6/15/2021	737.76
	CLEARWAY ENERGY GROUP LLC	00043	997631	394111	6/15/2021	540.24
	CLEARWAY ENERGY GROUP LLC	00043	997632	394111	6/15/2021	534.71
	XCEL ENERGY	00043	997686	394118	5/31/2021	1,029.39
	XCEL ENERGY	00043	997686	394118	5/31/2021	616.34-
	XCEL ENERGY	00043	997686	394118	5/31/2021	10.19
					Account Total	3,417.67
	Other Rents & Leases					
	ROGGEN FARMERS ELEVATOR ASSN	00043	997759	394202	6/16/2021	42.00
					Account Total	42.00
	Telephone					
	AT&T CORP	00043	997627	394111	6/15/2021	7.54
					Account Total	7.54
					Department Total	3,467.21



**County of Adams**  
**Vendor Payment Report**

<u>941018</u>	<u>CDBG 2018/2019</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Inst.-Pgm. Cst					
	DENVER BEVERAGE	00030	997538	393899	6/11/2021	17,500.00
	FLOODSTAGE ALE WORKS LLC	00030	997539	393901	6/11/2021	8,734.00
	JIMMY JOHNS	00030	997311	393500	6/8/2021	10,002.00
	PG CONSTRUCTION SERVICES INC	00030	997314	393503	6/8/2021	3,465.00
	TIERRA ROJO CORPORATION	00030	997313	393502	6/8/2021	15,150.00
					Account Total	54,851.00
					Department Total	54,851.00



**County of Adams**  
**Vendor Payment Report**

<u>1023</u>	<u>CLK Motor Vehicle</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Destruction of Records					
	SHRED IT USA LLC	00001	997738	394195	6/16/2021	132.00
	SHRED IT USA LLC	00001	997739	394195	6/16/2021	47.15
					Account Total	179.15
	Office Furniture & Equip					
	ERGONOMIC SOLUTIONS LLC	00001	997735	394195	6/16/2021	483.00
					Account Total	483.00
	Other Professional Serv					
	APEX SYSTEMS GROUP LLC	00001	997736	394195	6/16/2021	140.00
					Account Total	140.00
	Printing External					
	FINELINE GRAPHICS	00001	997737	394195	6/16/2021	145.09
					Account Total	145.09
					Department Total	947.24



County of Adams  
Vendor Payment Report

<u>97745</u>	<u>CO Responds Program</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Clnt Trng-Work Experience					
	GROWING HOME INC	00035	997559	393660	6/15/2021	738.75
					Account Total	738.75
					Department Total	738.75



County of Adams  
Vendor Payment Report

<u>43</u>	<u>Colorado Air &amp; Space Port</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	CITY SERVICEVALCON LLC	00043	997688	394167	6/16/2021	29,491.62
	CITY SERVICEVALCON LLC	00043	997942	394436	6/18/2021	29,850.54
	KIMLEY-HORN AND ASSOCIATES INC	00043	997667	394115	6/15/2021	8,910.09
					Account Total	68,252.25
					Department Total	68,252.25



County of Adams  
Vendor Payment Report

<u>30</u>	<u>Community Dev Block Grant Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	ROOT POLICY RESEARCH INC	00030	997763	394294	6/17/2021	2,587.50
	WGM LAND DESIGN LTD	00030	997828	394301	6/17/2021	17,822.50
					Account Total	20,410.00
	Retainages Payable					
	WGM LAND DESIGN LTD	00030	997828	394301	6/17/2021	891.13-
					Account Total	891.13-
					Department Total	19,518.87



County of Adams  
Vendor Payment Report

<u>9264</u>	<u>Community Recovery</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	FLEX FLEET RENTAL LLC	00001	997209	393204	6/3/2021	5,040.00
					Account Total	5,040.00
					Department Total	5,040.00



**County of Adams**  
**Vendor Payment Report**

<u>2031</u>	<u>County Coroner</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Medical Services					
	CINA & CINA FORENSIC CONSULTIN	00001	997707	394174	6/16/2021	21,800.00
					Account Total	21,800.00
	Operating Supplies					
	ELDORADO ARTESIAN SPRINGS INC	00001	997709	394176	6/16/2021	39.95
	ELDORADO ARTESIAN SPRINGS INC	00001	997710	394176	6/16/2021	11.00
	ELDORADO ARTESIAN SPRINGS INC	00001	997711	394176	6/16/2021	22.00
	SOUTHLAND MEDICAL LLC	00001	997720	394176	6/16/2021	1,453.84
					Account Total	1,526.79
	Other Professional Serv					
	COLO OCCUPATIONAL MEDICINE PHY	00001	997721	394176	6/16/2021	260.00
	FEDEX	00001	997722	394176	6/16/2021	131.69
	FIRST CALL OF COLO	00001	997712	394176	6/16/2021	5,850.00
	LABORATORY CORPORATION OF AMER	00001	997726	394176	6/16/2021	11,877.81
	MECSTAT LABORATORIES	00001	997716	394176	6/16/2021	195.00
	NMS LABS	00001	997725	394176	6/16/2021	21,060.00
	PALEO DNA	00001	997713	394176	6/16/2021	378.00
	SUMMIT PATHOLOGY	00001	997714	394176	6/16/2021	1,779.15
	THOMSON REUTERS - WEST	00001	997723	394176	6/16/2021	455.60
	UNITED PARCEL SERVICE INC	00001	997717	394176	6/16/2021	135.80
	UNITED PARCEL SERVICE INC	00001	997718	394176	6/16/2021	358.29
	UNITED PARCEL SERVICE INC	00001	997719	394176	6/16/2021	76.87
					Account Total	42,558.21
	Software and Licensing					
	VERTIQ SOFTWARE LLC	00001	997715	394176	6/16/2021	7,225.00
					Account Total	7,225.00
	Subscrip/Publications					
	CORHIO	00001	997724	394176	6/16/2021	310.00
					Account Total	310.00
					Department Total	73,420.00



County of Adams  
Vendor Payment Report

<u>1031</u>	<u>County Treasurer</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	SHRED IT USA LLC	00001	997531	393768	6/10/2021	60.00
					Account Total	60.00
	Printing External					
	SAFEGUARD BUSINESS SYSTEMS	00001	997532	393770	6/10/2021	567.09
					Account Total	567.09
					Department Total	627.09



**County of Adams**  
**Vendor Payment Report**

<u>951016</u>	<u>CSBG</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	ACCESS HOUSING	00034	997501	393498	6/10/2021	3,700.25
	ADAMS COUNTY FOOD BANK	00034	997308	393498	6/3/2021	8,259.72
	FAMILY TREE INC	00034	997500	393498	6/10/2021	1,565.44
	GROWING HOME INC	00034	997584	394093	6/15/2021	2,428.00
	GROWING HOME INC	00034	997586	394093	6/15/2021	2,428.00
	NEW LEGACY CHARTER	00034	997583	394093	6/15/2021	9,187.95
	PROJECT ANGEL HEART	00034	997309	393498	6/8/2021	18,309.34
	PROJECT ANGEL HEART	00034	997310	393498	6/8/2021	5,539.45
	SERVICIOS DE LA RAZA INC	00034	997502	393498	6/10/2021	7,885.19
					Account Total	59,303.34
					Department Total	59,303.34



**County of Adams**  
**Vendor Payment Report**

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<u>1051</u>	<u>District Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Court Reporting Transcripts					
	MAIER LORI C	00001	997012	393065	6/2/2021	39.00
					Account Total	39.00
	Other Professional Serv					
	CINA & CINA FORENSIC CONSULTIN	00001	997014	393067	6/2/2021	295.00
	CINA & CINA FORENSIC CONSULTIN	00001	997014	393067	6/2/2021	245.00
	GUTHRIE TRAVIS JAMES	00001	997009	393065	6/2/2021	557.00
					Account Total	1,097.00
					Department Total	1,136.00



County of Adams  
Vendor Payment Report

<u>7041</u>	<u>Economic Development Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	ADAMS COUNTY ECONOMIC DEVELOP	00001	997509	393762	6/10/2021	125,000.00
	ADAMS COUNTY ECONOMIC DEVELOP	00001	997510	393762	6/10/2021	125,000.00
					Account Total	250,000.00
					Department Total	250,000.00



**County of Adams**  
**Vendor Payment Report**

<u>6</u>	<u>Equipment Service Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	ACS MANAGEMENT LLC	00006	997880	394301	6/17/2021	4,268.00
	INSIGHT AUTO GLASS LLC	00006	997873	394301	6/17/2021	40.00
	INSIGHT AUTO GLASS LLC	00006	997874	394301	6/17/2021	163.00
	INSIGHT AUTO GLASS LLC	00006	997875	394301	6/17/2021	163.00
	INSIGHT AUTO GLASS LLC	00006	997876	394301	6/17/2021	163.00
	INSIGHT AUTO GLASS LLC	00006	997877	394301	6/17/2021	257.55
	INSIGHT AUTO GLASS LLC	00006	997878	394301	6/17/2021	40.00
	JOHN ELWAY CHEVROLET	00006	997871	394301	6/17/2021	39,365.00
	SAM HILL OIL INC	00006	997881	394301	6/17/2021	250.33
	SAM HILL OIL INC	00006	997882	394301	6/17/2021	15,332.87
	SILL TERHAR MOTORS INC	00006	997872	394301	6/17/2021	26,063.00
	THE GOODYEAR TIRE AND RUBBER C	00006	997776	394296	6/17/2021	335.82
	THE GOODYEAR TIRE AND RUBBER C	00006	997879	394301	6/17/2021	1,172.59
	WEX BANK	00006	997781	394296	6/17/2021	3,122.10
					Account Total	90,736.26
					Department Total	90,736.26



County of Adams  
Vendor Payment Report

9244	Extension- 4-H/Youth	Fund	Voucher	Batch No	GL Date	Amount
	Operating Supplies					
	COLORADO STATE UNIVERSITY	00001	997624	394107	6/15/2021	4,155.00
	COLORADO STATE UNIVERSITY	00001	997625	394107	6/15/2021	555.00
	DILL JERRY	00001	997626	394107	6/15/2021	90.00
					Account Total	4,800.00
					Department Total	4,800.00



County of Adams  
Vendor Payment Report

<u>1014</u>	<u>Finance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Postage & Freight					
	FEDEX	00001	997571	394087	6/15/2021	74.76
	UNITED STATES POSTAL SERVICE	00001	997556	394000	6/14/2021	1,320.00
					Account Total	1,394.76
					Department Total	1,394.76



County of Adams  
Vendor Payment Report

<u>50</u>	<u>FLATROCK Facility Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	SQUEEGEE SQUAD	00050	997655	394115	6/15/2021	303.80
					Account Total	303.80
					Department Total	303.80



**County of Adams**  
**Vendor Payment Report**

<u>1091</u>	<u>FO - Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Rental					
	BENNETT TOWN OF	00001	997554	393999	6/14/2021	3,000.00
					Account Total	3,000.00
	Gas & Electricity					
	AMERIGAS DENVER 1012	00001	997555	393999	6/14/2021	1,524.27
	FERRELLGAS L P	00001	997553	393999	6/14/2021	240.40
	UNITED POWER (UNION REA)	00001	997549	393999	6/14/2021	61.92
	UNITED POWER (UNION REA)	00001	997551	393999	6/14/2021	23.78
					Account Total	1,850.37
	Maintenance Contracts					
	VERIZON WIRELESS	00001	997758	394200	6/16/2021	120.03
					Account Total	120.03
	Printing External					
	SIR SPEEDY	00001	997756	394200	6/16/2021	51.00
					Account Total	51.00
	Water/Sewer/Sanitation					
	EASTERN DISPOSE ALL	00001	997753	394200	6/16/2021	72.50
					Account Total	72.50
					Department Total	5,093.90



County of Adams  
Vendor Payment Report

<u>2090</u>	<u>FO - Flatrock Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	ACTION TARGET	00050	997548	393999	6/14/2021	458.28
					Account Total	458.28
	Maintenance Contracts					
	ACTION TARGET	00050	997550	393999	6/14/2021	1,950.00
					Account Total	1,950.00
					Department Total	2,408.28



County of Adams  
Vendor Payment Report

<u>1077</u>	<u>FO - Government Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	SHUMS CODA ASSOCIATES	00001	997755	394200	6/16/2021	2,000.00
					Account Total	2,000.00
					Department Total	2,000.00



County of Adams  
Vendor Payment Report

<u>1019</u>	<u>FO - Mailroom &amp; Dock</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Postage & Freight					
	PITNEY BOWES RESERVE ACCOUNT	00001	997429	393647	6/9/2021	25,000.00
					Account Total	25,000.00
					Department Total	25,000.00



County of Adams  
Vendor Payment Report

<u>1111</u>	<u>FO - Parks Facilities</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	UNITED POWER (UNION REA)	00001	997552	393999	6/14/2021	44.53
					Account Total	44.53
					Department Total	44.53



County of Adams  
Vendor Payment Report

<u>1075</u>	<u>FO - Strasburg/Whittier</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	EASTERN DISPOSE ALL	00001	997754	394200	6/16/2021	91.00
					Account Total	91.00
					Department Total	91.00



County of Adams  
Vendor Payment Report

<u>1072</u>	<u>FO - West Services Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	ENLIGHTENMENT TREE SERVICE LLC	00001	997757	394200	6/16/2021	2,400.00
					Account Total	2,400.00
					Department Total	2,400.00



**County of Adams**  
**Vendor Payment Report**

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Collateral Deposits Payable					
	P8 D-C INDUSTRIAL LAST MILE LL	00001	997751	394198	6/16/2021	911,667.46
					Account Total	911,667.46
	Received not Vouchered Clrg					
	ADAMSON POLICE PRODUCTS	00001	997883	394301	6/17/2021	17.05
	ADAMSON POLICE PRODUCTS	00001	997884	394301	6/17/2021	131.25
	ADAMSON POLICE PRODUCTS	00001	997885	394301	6/17/2021	17.05
	ADAMSON POLICE PRODUCTS	00001	997886	394301	6/17/2021	200.00
	ADAMSON POLICE PRODUCTS	00001	997887	394301	6/17/2021	90.00
	ADAMSON POLICE PRODUCTS	00001	997888	394301	6/17/2021	134.95
	ADAMSON POLICE PRODUCTS	00001	997889	394301	6/17/2021	17.95
	ALSCO AMERICAN INDUSTRIAL	00001	997893	394301	6/17/2021	217.94
	ANGEL ARMOR LLC	00001	997761	394294	6/17/2021	704.59
	BAYAUD ENTERPRISES INC	00001	997662	394115	6/15/2021	41,139.53
	BI INCORPORATED	00001	997890	394301	6/17/2021	22,740.88
	BKD LLP	00001	997697	394167	6/16/2021	18,445.00
	BONGO LOVE	00001	997830	394301	6/17/2021	9,970.00
	COLO DIST ATTORNEY COUNCIL	00001	997638	394115	6/15/2021	3,270.30
	CORECIVIC INC	00001	997641	394115	6/15/2021	6,996.83
	CORECIVIC INC	00001	997641	394115	6/15/2021	48,301.05
	CORECIVIC INC	00001	997642	394115	6/15/2021	2,062.28
	CORECIVIC INC	00001	997643	394115	6/15/2021	61,604.62
	CORECIVIC INC	00001	997644	394115	6/15/2021	49,614.62
	CORECIVIC INC	00001	997645	394115	6/15/2021	6,047.25
	CORECIVIC INC	00001	997646	394115	6/15/2021	71,220.60
	CORECIVIC INC	00001	997647	394115	6/15/2021	173.60
	DESIGN WORKSHOP	00001	997822	394301	6/17/2021	72.50
	DHM DESIGNS	00001	997768	394296	6/17/2021	16,065.85
	FLEXENTIAL PROFESSIONAL SERVIC	00001	997671	394115	6/15/2021	3,700.02
	FLEXENTIAL PROFESSIONAL SERVIC	00001	997672	394115	6/15/2021	1,850.01
	FOUND MY KEYS	00001	997944	394436	6/18/2021	604.77
	FOUND MY KEYS	00001	997945	394436	6/18/2021	1,305.40
	G4S SECURE SOLUTIONS USA INC	00001	997946	394436	6/18/2021	4,154.16
	G4S SECURE SOLUTIONS USA INC	00001	997947	394436	6/18/2021	4,214.01
	G4S SECURE SOLUTIONS USA INC	00001	997948	394436	6/18/2021	4,236.42



**County of Adams**  
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<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	G4S SECURE SOLUTIONS USA INC	00001	997950	394436	6/18/2021	4,154.16
	G4S SECURE SOLUTIONS USA INC	00001	997952	394436	6/18/2021	4,168.10
	G4S SECURE SOLUTIONS USA INC	00001	997691	394167	6/16/2021	5,698.03
	G4S SECURE SOLUTIONS USA INC	00001	997692	394167	6/16/2021	5,739.30
	G4S SECURE SOLUTIONS USA INC	00001	997694	394167	6/16/2021	5,938.50
	G4S SECURE SOLUTIONS USA INC	00001	997695	394167	6/16/2021	5,739.30
	GALLS LLC	00001	997784	394296	6/17/2021	494.40
	GALLS LLC	00001	997785	394296	6/17/2021	178.80
	GALLS LLC	00001	997786	394296	6/17/2021	58.17
	GALLS LLC	00001	997787	394296	6/17/2021	174.51
	GALLS LLC	00001	997788	394296	6/17/2021	1,609.50
	GALLS LLC	00001	997789	394296	6/17/2021	114.98
	GALLS LLC	00001	997790	394296	6/17/2021	143.80
	GALLS LLC	00001	997791	394296	6/17/2021	389.60
	GALLS LLC	00001	997792	394296	6/17/2021	174.51
	GALLS LLC	00001	997793	394296	6/17/2021	137.82
	GALLS LLC	00001	997794	394296	6/17/2021	491.66
	GALLS LLC	00001	997795	394296	6/17/2021	800.80
	GALLS LLC	00001	997796	394296	6/17/2021	183.99
	GALLS LLC	00001	997797	394296	6/17/2021	139.97
	GALLS LLC	00001	997798	394296	6/17/2021	214.46
	GALLS LLC	00001	997799	394296	6/17/2021	1,609.50
	GALLS LLC	00001	997800	394296	6/17/2021	42.96
	GALLS LLC	00001	997801	394296	6/17/2021	229.12
	GALLS LLC	00001	997802	394296	6/17/2021	13,752.24
	GAM ENTERPRISES INC	00001	997656	394115	6/15/2021	400.00
	GAM ENTERPRISES INC	00001	997657	394115	6/15/2021	1,375.00
	GAM ENTERPRISES INC	00001	997658	394115	6/15/2021	162.00
	GAM ENTERPRISES INC	00001	997659	394115	6/15/2021	2,082.34
	GAM ENTERPRISES INC	00001	997660	394115	6/15/2021	175.50
	GARCIA MARISOL	00001	997833	394301	6/17/2021	500.00
	HILL & ROBBINS	00001	997764	394296	6/17/2021	560.00
	HILL & ROBBINS	00001	997764	394296	6/17/2021	60.00
	HILL'S PET NUTRITION SALES INC	00001	997834	394301	6/17/2021	210.44
	HILL'S PET NUTRITION SALES INC	00001	997823	394301	6/17/2021	688.40
	HILL'S PET NUTRITION SALES INC	00001	997823	394301	6/17/2021	262.00



**County of Adams**  
**Vendor Payment Report**

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	HILLYARD - DENVER	00001	997804	394296	6/17/2021	205.60
	IDEXX DISTRIBUTION INC	00001	997782	394296	6/17/2021	758.46
	IDEXX DISTRIBUTION INC	00001	997783	394296	6/17/2021	194.85
	INSIGHT PUBLIC SECTOR	00001	997832	394301	6/17/2021	5,454.36
	INTERVENTION COMMUNITY CORRECT	00001	997805	394296	6/17/2021	7,811.40
	INTERVENTION COMMUNITY CORRECT	00001	997806	394296	6/17/2021	59,778.20
	INTERVENTION COMMUNITY CORRECT	00001	997807	394296	6/17/2021	2,973.52
	INTERVENTION COMMUNITY CORRECT	00001	997808	394296	6/17/2021	8,345.04
	INTERVENTION COMMUNITY CORRECT	00001	997809	394296	6/17/2021	7,287.60
	INTERVENTION COMMUNITY CORRECT	00001	997810	394296	6/17/2021	1,486.76
	J. BROWER PSYCHOLOGICAL SERVIC	00001	997891	394301	6/17/2021	900.00
	JACHIMIAC PETERSON LLC	00001	997765	394296	6/17/2021	5,879.39
	JOSHUA B EPEL ESQ PLLC	00001	997687	394115	6/15/2021	10,000.00
	LIFE RECOVERY CENTER	00001	997664	394115	6/15/2021	380.00
	LIFE RECOVERY CENTER	00001	997665	394115	6/15/2021	95.00
	LIFE RECOVERY CENTER	00001	997666	394115	6/15/2021	1,140.00
	LIFE RECOVERY CENTER	00001	997898	394301	6/17/2021	2,660.00
	LIFE RECOVERY CENTER	00001	997899	394301	6/17/2021	190.00
	LIFE RECOVERY CENTER	00001	997900	394301	6/17/2021	2,010.00
	MARK YOUNG CONSTRUCTION INC	00001	997771	394296	6/17/2021	27,816.00
	MARK YOUNG CONSTRUCTION INC	00001	997771	394296	6/17/2021	162,349.30
	MWI ANIMAL HEALTH	00001	997674	394115	6/15/2021	369.25
	MWI ANIMAL HEALTH	00001	997675	394115	6/15/2021	147.70
	MWI ANIMAL HEALTH	00001	997676	394115	6/15/2021	433.90
	MWI ANIMAL HEALTH	00001	997677	394115	6/15/2021	6,237.50
	MWI ANIMAL HEALTH	00001	997678	394115	6/15/2021	32.48
	MWI ANIMAL HEALTH	00001	997679	394115	6/15/2021	376.99
	MWI ANIMAL HEALTH	00001	997680	394115	6/15/2021	11.11
	MWI ANIMAL HEALTH	00001	997681	394115	6/15/2021	66.40
	MWI ANIMAL HEALTH	00001	997682	394115	6/15/2021	447.33
	NCS PEARSON INC	00001	997892	394301	6/17/2021	175.50
	OFFICESCAPES OF DENVER LLLP	00001	997826	394301	6/17/2021	38,615.55
	OFFICESCAPES OF DENVER LLLP	00001	997827	394301	6/17/2021	4,827.88
	OTAK INC A COLORADO CORPORATIO	00001	997829	394301	6/17/2021	4,152.50
	OTAK INC A COLORADO CORPORATIO	00001	997772	394296	6/17/2021	531.00
	PERFORMANCE ENHANCEMENTS INC	00001	997670	394115	6/15/2021	375.00



## Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	SANITY SOLUTIONS INC	00001	997690	394167	6/16/2021	38,633.04
	SCHULTZ PUBLIC AFFAIRS LLC	00001	997813	394296	6/17/2021	5,416.67
	SIEGEL THOMAS WEIL	00001	997951	394436	6/18/2021	250.00
	SIEGEL THOMAS WEIL	00001	997951	394436	6/18/2021	187.50
	SQUEEGEE SQUAD	00001	997649	394115	6/15/2021	586.04
	SQUEEGEE SQUAD	00001	997650	394115	6/15/2021	214.62
	SQUEEGEE SQUAD	00001	997651	394115	6/15/2021	83.30
	SQUEEGEE SQUAD	00001	997652	394115	6/15/2021	274.40
	SQUEEGEE SQUAD	00001	997653	394115	6/15/2021	490.00
	SQUEEGEE SQUAD	00001	997654	394115	6/15/2021	343.00
	SUMMIT FOOD SERVICE LLC	00001	997894	394301	6/17/2021	3,696.04
	SUMMIT FOOD SERVICE LLC	00001	997895	394301	6/17/2021	22,472.73
	SWIRE COCA-COLA USA	00001	997825	394301	6/17/2021	183.36
	TYGRET DEBRA R	00001	997896	394301	6/17/2021	135.00
	UNITED SITE SERVICES	00001	997812	394296	6/17/2021	312.00
	VOS COMPANY LIMITED	00001	997811	394296	6/17/2021	1,400.00
	WESTERN PAPER DISTRIBUTORS	00001	997897	394301	6/17/2021	10,908.00
					Account Total	888,275.61
	Retainages Payable					
	MARK YOUNG CONSTRUCTION INC	00001	997771	394296	6/17/2021	1,390.80-
	MARK YOUNG CONSTRUCTION INC	00001	997771	394296	6/17/2021	8,117.47-
					Account Total	9,508.27-
					Department Total	1,790,434.80



**County of Adams**  
**Vendor Payment Report**

<u>5026</u>	<u>Golf Course- Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Contract Employment					
	PROFESSIONAL RECREATION MGMT I	00005	997706	394172	6/16/2021	27,461.14
	PROFESSIONAL RECREATION MGMT I	00005	997706	394172	6/16/2021	3,310.06
					Account Total	30,771.20
	Grounds Maintenance					
	PROFESSIONAL RECREATION MGMT I	00005	997704	394172	6/16/2021	815.77
					Account Total	815.77
	Repair & Maint Supplies					
	PROFESSIONAL RECREATION MGMT I	00005	997704	394172	6/16/2021	231.04
					Account Total	231.04
					Department Total	31,818.01



**County of Adams**  
**Vendor Payment Report**

<u>5021</u>	<u>Golf Course- Pro Shop</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Contract Employment					
	PROFESSIONAL RECREATION MGMT I	00005	997706	394172	6/16/2021	22,764.42
	PROFESSIONAL RECREATION MGMT I	00005	997706	394172	6/16/2021	2,795.11
					Account Total	25,559.53
	Golf Carts					
	PROFESSIONAL RECREATION MGMT I	00005	997704	394172	6/16/2021	3,488.96
					Account Total	3,488.96
	Golf Merchandise					
	PROFESSIONAL RECREATION MGMT I	00005	997704	394172	6/16/2021	1,758.99
	PROFESSIONAL RECREATION MGMT I	00005	997704	394172	6/16/2021	1,758.99
	PROFESSIONAL RECREATION MGMT I	00005	997704	394172	6/16/2021	1,723.79
	PROFESSIONAL RECREATION MGMT I	00005	997704	394172	6/16/2021	90.69
	PROFESSIONAL RECREATION MGMT I	00005	997704	394172	6/16/2021	1,658.99
	PROFESSIONAL RECREATION MGMT I	00005	997704	394172	6/16/2021	3,758.73
	PROFESSIONAL RECREATION MGMT I	00005	997704	394172	6/16/2021	599.96
	PROFESSIONAL RECREATION MGMT I	00005	997704	394172	6/16/2021	1,723.79
	PROFESSIONAL RECREATION MGMT I	00005	997704	394172	6/16/2021	9,337.85
					Account Total	18,893.80
	Janitorial Services					
	PROFESSIONAL RECREATION MGMT I	00005	997704	394172	6/16/2021	1,149.73
					Account Total	1,149.73
	Other Professional Serv					
	PROFESSIONAL RECREATION MGMT I	00005	997704	394172	6/16/2021	50.76
					Account Total	50.76
	Security Service					
	PROFESSIONAL RECREATION MGMT I	00005	997704	394172	6/16/2021	647.50
					Account Total	647.50
					Department Total	49,790.28



**County of Adams**  
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<u>31</u>	<u>Head Start Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	CESCO LINGUISTIC SERVICE INC	00031	997769	394296	6/17/2021	81.41
	CESCO LINGUISTIC SERVICE INC	00031	997770	394296	6/17/2021	105.83
	CHILDRENS HOSPITAL	00031	997648	394115	6/15/2021	787.50
	LASHEN JODY M	00031	997698	394167	6/16/2021	975.46
	SYSCO DENVER	00031	997640	394115	6/15/2021	70.39
					Account Total	2,020.59
					Department Total	2,020.59



**County of Adams**  
**Vendor Payment Report**

<u>935121</u>	<u>HHS Grant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Rental					
	MAIKER HOUSING PARTNERS	00031	997760	394207	6/16/2021	10,684.86
					Account Total	10,684.86
	Operating Supplies					
	CINTAS CORPORATION NO 2	00031	997544	393984	6/14/2021	168.92
					Account Total	168.92
	Other Professional Serv					
	COLO DEPT OF HUMAN SERVICES	00031	997546	393984	6/14/2021	35.00
					Account Total	35.00
	Telephone					
	CENTURY LINK	00031	997541	393984	6/14/2021	149.86
	CENTURY LINK	00031	997542	393984	6/14/2021	208.49
	CENTURY LINK	00031	997543	393984	6/14/2021	149.68
					Account Total	508.03
					Department Total	11,396.81



County of Adams  
Vendor Payment Report

<u>8613</u>	<u>Insurance - UHC EPO Medical</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Claims					
	UNITED HEALTH CARE INSURANCE C	00019	997534	393884	6/11/2021	356,011.25
					Account Total	356,011.25
					Department Total	356,011.25



**County of Adams**  
**Vendor Payment Report**

<u>19</u>	<u>Insurance Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	CA SHORT COMPANY	00019	997661	394115	6/15/2021	5,608.50
	COLO FRAME & SUSPENSION	00019	997774	394296	6/17/2021	3,754.98
	COLO FRAME & SUSPENSION	00019	997775	394296	6/17/2021	1,306.40
	COLO FRAME & SUSPENSION	00019	997683	394115	6/15/2021	9,556.87
	COLO FRAME & SUSPENSION	00019	997684	394115	6/15/2021	3,348.29
	COLO FRAME & SUSPENSION	00019	997685	394115	6/15/2021	6,060.86
	FACTORY MOTOR PARTS	00019	997777	394296	6/17/2021	338.63
	FACTORY MOTOR PARTS	00019	997778	394296	6/17/2021	262.75
	FACTORY MOTOR PARTS	00019	997779	394296	6/17/2021	30.63
	FACTORY MOTOR PARTS	00019	997780	394296	6/17/2021	320.31
					Account Total	30,588.22
					Department Total	30,588.22



County of Adams  
Vendor Payment Report

8611	Insurance- Property/Casualty	Fund	Voucher	Batch No	GL Date	Amount
	General Liab - Other than Prop					
	TRACEPOINT LLC	00019	997506	393759	6/10/2021	15,591.51
	TRACEPOINT LLC	00019	997507	393759	6/10/2021	2,149.65
	TRACEPOINT LLC	00019	997508	393759	6/10/2021	4,729.81
					Account Total	22,470.97
					Department Total	22,470.97



County of Adams  
Vendor Payment Report

<u>6107</u>	<u>Open Space Projects</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Infrastruc Rep & Maint					
	SUC N UP INC	00027	997407	393532	6/8/2021	650.00
					Account Total	650.00
					Department Total	650.00



County of Adams  
Vendor Payment Report

<u>27</u>	<u>Open Space Projects Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	DHM DESIGNS	00027	997669	394115	6/15/2021	13,020.85
					Account Total	13,020.85
					Department Total	13,020.85



County of Adams  
Vendor Payment Report

<u>2061</u>	<u>PKS - Weed &amp; Pest</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00001	997408	393532	6/8/2021	40.01
					Account Total	40.01
					Department Total	40.01



County of Adams  
Vendor Payment Report

<u>5010</u>	<u>PKS- Fair</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Queen Pageant Expense					
	DAVIDSON MELANY	00001	997406	393532	6/8/2021	102.95
					Account Total	102.95
					Department Total	102.95



**County of Adams**  
**Vendor Payment Report**

<u>5016</u>	<u>PKS- Trail Ranger Patrol</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	XCEL ENERGY	00001	997705	394162	6/16/2021	25.61
	XCEL ENERGY	00001	997693	394162	6/16/2021	71.92
	XCEL ENERGY	00001	997701	394162	6/16/2021	21.77
	XCEL ENERGY	00001	997702	394162	6/16/2021	54.01
	XCEL ENERGY	00001	997703	394162	6/16/2021	12.09
					Account Total	185.40
	Water/Sewer/Sanitation					
	NORTH PECOS WATER & SANITATION	00001	997540	393902	6/11/2021	41.46
	NORTH WASHINGTON ST WATER & SA	00001	997708	394162	6/16/2021	2,130.11
					Account Total	2,171.57
					Department Total	2,356.97



County of Adams  
Vendor Payment Report

1089	PLN- Boards & Commissions	Fund	Voucher	Batch No	GL Date	Amount
	Other Professional Serv					
	GRONQUIST, CHRISTOPHER L	00001	997246	393366	6/7/2021	65.00
	MCCREARY RAPHAEL	00001	997242	393366	6/7/2021	65.00
	TONSAGER DENNIS	00001	997245	393366	6/7/2021	65.00
	TRELOAR TARA A	00001	997244	393366	6/7/2021	65.00
	WOLFE SANDRA KAY	00001	997243	393366	6/7/2021	65.00
					Account Total	325.00
					Department Total	325.00



County of Adams  
Vendor Payment Report

<u>1082</u>	<u>PLN- Development Review</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Printing External					
	MINUTEMAN PRESS-BRIGHTON	00001	997349	393514	6/7/2021	8,028.82
					Account Total	8,028.82
					Department Total	8,028.82



**County of Adams**  
**Vendor Payment Report**

<u>3019</u>	<u>PW - Admin/Org</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Payments To Cities-Sales Taxes					
	ARVADA CITY OF	00013	997592	394090	6/15/2021	24,498.23
	AURORA CITY OF	00013	997593	394090	6/15/2021	297,257.86
	BENNETT TOWN OF	00013	997595	394090	6/15/2021	11,403.16
	BRIGHTON CITY OF	00013	997596	394090	6/15/2021	178,538.81
	COMMERCE CITY CITY OF	00013	997597	394090	6/15/2021	209,314.35
	FEDERAL HEIGHTS CITY OF	00013	997599	394090	6/15/2021	30,679.79
	NORTHGLENN CITY OF	00013	997600	394090	6/15/2021	98,249.27
	THORNTON CITY OF	00013	997602	394090	6/15/2021	380,295.21
	WESTMINSTER CITY OF	00013	997603	394090	6/15/2021	201,923.25
					Account Total	1,432,159.93
					Department Total	1,432,159.93



**County of Adams**  
**Vendor Payment Report**

<u>3056</u>	<u>PW - Capital Improvement Plan</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Land					
	ALDERMAN BERNSTEIN LLC	00013	997279	393480	6/8/2021	1,007.00
	ALDERMAN BERNSTEIN LLC	00013	997280	393480	6/8/2021	1,098.75
	ALDERMAN BERNSTEIN LLC	00013	997281	393480	6/8/2021	591.00
	ALDERMAN BERNSTEIN LLC	00013	997282	393480	6/8/2021	496.50
	ALDERMAN BERNSTEIN LLC	00013	995541	391067	5/6/2021	979.59
	ALDERMAN BERNSTEIN LLC	00013	995542	391067	5/6/2021	1,221.50
	ALDERMAN BERNSTEIN LLC	00013	995543	391067	5/6/2021	2,911.50
	ALDERMAN BERNSTEIN LLC	00013	995544	391067	5/6/2021	171.00
	ALDERMAN BERNSTEIN LLC	00013	995545	391067	5/6/2021	150.00
					Account Total	8,626.84
	Road & Streets					
	HAMAI, KHRISTINA	00013	997316	393505	6/8/2021	1,310.00
					Account Total	1,310.00
					Department Total	9,936.84



**County of Adams**  
**Vendor Payment Report**

<u>13</u>	<u>Road &amp; Bridge Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	ALFRED BENESCH & CO	00013	997663	394115	6/15/2021	16,121.00
	DESIGN WORKSHOP	00013	997668	394115	6/15/2021	3,594.50
	DREXEL BARRELL & CO	00013	997639	394115	6/15/2021	56,343.00
	SHORT ELLIOTT HENDRICKSON INC	00013	997824	394301	6/17/2021	8,286.50
	ULTEIG ENGINEERS INC	00013	997636	394115	6/15/2021	5,391.90
	ULTEIG ENGINEERS INC	00013	997637	394115	6/15/2021	21,469.82
	ULTEIG ENGINEERS INC	00013	997766	394296	6/17/2021	3,237.60
	ULTEIG ENGINEERS INC	00013	997767	394296	6/17/2021	1,112.60
					Account Total	115,556.92
					Department Total	115,556.92



County of Adams  
Vendor Payment Report

<u>2008</u>	<u>SHF - Training Academy</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Books					
	COLO DIST ATTORNEY COUNCIL	00001	997612	394098	6/15/2021	3,375.00
					Account Total	3,375.00
					Department Total	3,375.00



**County of Adams**  
**Vendor Payment Report**

<u>2011</u>	<u>SHF- Admin Services Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Contract Employment					
	NICOLETTI-FLATER ASSOCIATES	00001	997618	394098	6/15/2021	464.00
					Account Total	464.00
	Other Professional Serv					
	COLO OCCUPATIONAL MEDICINE PHY	00001	997622	394098	6/15/2021	556.00
	LADWIG MICHAEL V MD PC	00001	997616	394098	6/15/2021	1,408.00
	POINT SPORTS/ERGOMED	00001	997617	394098	6/15/2021	2,340.00
	PRANGE, MICHAEL	00001	997614	394098	6/15/2021	6,000.00
	PSYCHOLOGICAL DIMENSIONS	00001	997619	394098	6/15/2021	5,850.00
					Account Total	16,154.00
					Department Total	16,618.00



**County of Adams**  
**Vendor Payment Report**

<u>2015</u>	<u>SHF- Civil Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Sheriff's Fees					
	ARELLANO STEPHEN JAMES	00001	997513	393761	6/10/2021	19.00
	BORENSTEIN AND ASSOCIATES	00001	997516	393761	6/10/2021	19.00
	FOX PROPERTY MGMT	00001	997560	393761	6/10/2021	66.00
	FRANCY LAW FIRM	00001	997524	393761	6/10/2021	19.00
	FRANK J BALL	00001	997515	393761	6/10/2021	19.00
	GERMAIN DIANA	00001	997511	393761	6/10/2021	19.00
	HALL COUNTY ATTORNEY	00001	997526	393761	6/10/2021	19.00
	HENSON MARGARET	00001	997561	393761	6/10/2021	66.00
	HOLST AND BOETTCHER	00001	997522	393761	6/10/2021	19.00
	MESSNER REEVES LLP	00001	997525	393761	6/10/2021	19.00
	METRO COLLECTION SERVICE	00001	997529	393761	6/10/2021	19.00
	NELSON AND KENNARD	00001	997523	393761	6/10/2021	19.00
	OFFICE OF RECOVERY SERVICES	00001	997521	393761	6/10/2021	19.00
	STEVEN LOUTH LAW OFFICES	00001	997518	393761	6/10/2021	2.00
	STEVEN LOUTH LAW OFFICES	00001	997519	393761	6/10/2021	2.00
	STEVEN LOUTH LAW OFFICES	00001	997520	393761	6/10/2021	2.00
	THOMPSON JAMES	00001	997528	393761	6/10/2021	19.00
					Account Total	366.00
					Department Total	366.00



**County of Adams**  
**Vendor Payment Report**

<u>2016</u>	<u>SHF- Detective Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Machinery					
	AGILENT TECHNOLOGIES	00001	997606	394096	6/15/2021	3,275.00
					Account Total	3,275.00
	Other Professional Serv					
	ALL RECYCLING INC	00001	997620	394098	6/15/2021	397.80
	ALL RECYCLING INC	00001	997621	394098	6/15/2021	208.80
					Account Total	606.60
					Department Total	3,881.60



**County of Adams**  
**Vendor Payment Report**

<u>2071</u>	<u>SHF- Detention Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	SUMMIT FOOD SERVICE LLC	00001	997609	394098	6/15/2021	6,958.54
					Account Total	6,958.54
	Other Professional Serv					
	LADWIG MICHAEL V MD PC	00001	997616	394098	6/15/2021	256.00
	POINT SPORTS/ERGOMED	00001	997617	394098	6/15/2021	180.00
					Account Total	436.00
					Department Total	7,394.54



County of Adams  
Vendor Payment Report

<u>2018</u>	<u>SHF- Records/Warrants Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Extraditions					
	ADAMS COUNTY SHERIFF	00001	997623	394098	6/15/2021	3,496.80
					Account Total	3,496.80
					Department Total	3,496.80



County of Adams  
Vendor Payment Report

<u>3703</u>	<u>Stormwater Drainage Master</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	MILE HIGH FLOOD DISTRICT	00007	997260	393373	6/7/2021	15,000.00
					Account Total	15,000.00
					Department Total	15,000.00



County of Adams  
Vendor Payment Report

<u>7</u>	<u>Stormwater Utility Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	HAMPDEN PRESS INC	00007	997773	394296	6/17/2021	5,676.00
	QUANTUM WATER & ENVIRONMENT	00007	997700	394167	6/16/2021	6,400.00
					Account Total	12,076.00
					Department Total	12,076.00



County of Adams  
Vendor Payment Report

<u>9291</u>	<u>Veterans Service Office</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Special Events					
	JENET MICHAEL	00001	997699	394171	6/16/2021	82.63
					Account Total	82.63
					Department Total	82.63



**County of Adams**  
**Vendor Payment Report**

<u>25</u>	<u>Waste Management Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	B & B ENVIRONMENTAL SAFETY INC	00025	997943	394436	6/18/2021	5,112.19
	QUANTUM WATER & ENVIRONMENT	00025	997762	394294	6/17/2021	2,389.25
	TECHNO RESCUE LLC	00025	997926	394301	6/17/2021	10,668.65
					Account Total	18,170.09
	Retainages Payable					
	IRON WOMAN CONSTRUCTION	00025	997689	394167	6/16/2021	127,186.32
					Account Total	127,186.32
					Department Total	145,356.41



County of Adams  
Vendor Payment Report

<u>97500</u>	<u>WIOA YOUTH OLDER</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Apprenticeship					
	LOCKHEED MARTIN SPACE SYSTEMS	00035	997478	393660	6/9/2021	<u>600.00</u>
					Account Total	<u>600.00</u>
					Department Total	<u><u>600.00</u></u>



County of Adams  
Vendor Payment Report

Grand Total      4,767,800.76





## **Board of County Commissioners Minutes of Commissioners' Proceedings**

**Eva J. Henry - District #1  
Charles "Chaz" Tedesco - District #2  
Emma Pinter - District #3  
Steve O'Dorisio - District #4  
Lynn Baca - District #5**

**Tuesday  
June 22, 2021  
9:30 AM**

### **1. ROLL CALL**

**Present:** 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

### **2. PLEDGE OF ALLEGIANCE**

### **3. MOTION TO APPROVE AGENDA**

**A motion was made by Commissioner Pinter, seconded by Commissioner Tedesco, that this Agenda be approved. The motion carried by the following vote:**

**Aye:** 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

### **4. AWARDS AND PRESENTATIONS**

**A.** Recognition of Pride Month

### **5. PUBLIC COMMENT**

#### **A. Citizen Communication**

**A total of 30 minutes is allocated at this time for public comment and each speaker will be limited to 3 minutes. If there are additional requests from the public to address the Board, time will be allocated at the end of the meeting to complete public comment. The chair requests that there be no public comment on issues for which a prior public hearing has been held before this Board.**



## **B. Elected Officials' Communication**

### **6. CONSENT CALENDAR**

**A motion was made by Commissioner Tedesco, seconded by Commissioner O'Dorisio, that this Consent Calendar be approved. The motion carried by the following vote:**

**Aye:** 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

- A.** List of Expenditures Under the Dates of May 31-June 4, 2021
- B.** List of Expenditures Under the Dates of June 7-11, 2021
- C.** Minutes of the Commissioners' Proceedings from June 15, 2021
- D.** Resolution Approving Right-of-Way Agreement between Adams County and Hector Romero for Property Necessary for the York Street Roadway and Drainage Improvements Project from East 78th Avenue to East 88th Avenue  
(File approved by ELT)
- E.** Resolution Accepting Warranty Deed Conveying Property from Isaac Mares & The David J. Mares and Rose M. Mares Trust, to Adams County for Right-of-Way Purposes  
(File approved by ELT)
- F.** Resolution Accepting a Permanent Drainage Easement from BV 64 WA LLC to Adams County for Storm Water Drainage Purposes  
(File approved by ELT)
- G.** Resolution Accepting Quitclaim Deed from Kelly C. Goebel to Adams County for Right-of-Way Purposes  
(File approved by ELT)
- H.** Resolution Accepting Permanent Drainage Easement from McDonald Family LLLP to Adams County for Storm Water Drainage Purposes  
(File approved by ELT)
- I.** Resolution Accepting Permanent Drainage Easement from BG Building Corporation to Adams County for Storm Water Drainage Purposes  
(File approved by ELT)
- J.** Resolution Accepting Permanent Drainage Easement from McDonald Family LLLP to Adams County for Storm Water Drainage Purposes  
(File approved by ELT)



- K.** Resolution Approving Right-of-Way Agreement between Adams County and Marilyn S. Samora for Property Necessary for the Miscellaneous Concrete and ADA Ramps Project  
(File approved by ELT)
- L.** Resolution Accepting Warranty Deed from 6201 N. Broadway, LLC, to Adams County for Right-of-Way Purposes  
(File approved by ELT)
- M.** Resolution Approving Amendment 1 to Professional Service Agreement for Agricultural Services on the Maul-Frazier Open Space Property  
(File approved by ELT)
- N.** Resolution Approving Memorandum of Understanding between Adams County and the State of Colorado Department of Human Services Regarding the Colorado Works and the Colorado Child Care Assistance Programs  
(File approved by ELT)
- O.** Resolution Accepting Quitclaim Deed Conveying Property from Cecilio Avalos and Josefina Fernandez to Adams County for Road Right-of-Way  
(File approved by ELT)
- P.** Resolution Accepting Warranty Deed Conveying Property from Hector Ramirez and Brisa Villa to Adams County for Road Right-of-Way  
(File approved by ELT)
- Q.** Resolution Accepting Quitclaim Deed Conveying Property from Rosalia Martinez to Adams County for Road Right-of-Way  
(File approved by ELT)
- R.** Resolution Approving First Supplement to Intergovernmental Agreement Among the Board of County Commissioners of the County of Adams, the City of Aurora and the Aerotropolis Area Coordinating Metropolitan District Establishing the Aerotropolis Regional Transportation Authority and its Capital Plan  
(File approved by ELT)
- S.** Resolution Approving Agreement Regarding Funding of Major Drainageway Planning and Flood Hazard Area Delineation for Todd Creek and Tributaries  
(File approved by ELT)
- T.** Resolution Appointing David Walts to the Community Corrections Board as a Broomfield Representative  
(File approved by ELT)



- U. Resolution Appointing Terrance O'Neil to the Community Corrections Board as an Adams County Sheriff's Office Representative  
(File approved by ELT)

**7. NEW BUSINESS**

**A. COUNTY MANAGER**

1. Resolution Approving Amendment One to the Agreement between Adams County and Shiloh Home Inc., to Provide Family Team Meeting Services  
(File approved by ELT)  
**A motion was made by Commissioner Pinter, seconded by Commissioner Baca, that this New Business be approved. The motion carried by the following vote:**

**Aye:** 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

2. Resolution Approving Amendment One to the Agreement between Adams County and the Guadalupe Project to Provide Life Skills Services  
(File approved by ELT)  
**A motion was made by Commissioner Tedesco, seconded by Commissioner Pinter, that this New Business be approved. The motion carried by the following vote:**

**Aye:** 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

3. Resolution Approving Amendment One to the Agreement between Adams County and Shiloh Home Inc., to Provide Guaranteed Beds  
(File approved by ELT)  
**This item was continued**

4. Resolution Approving Amendment Two to an Agreement between Adams County and JCOR Mechanical, Inc., for Water Heater Replacement at the Detention Facility  
(File approved by ELT)  
**A motion was made by Commissioner Pinter, seconded by Commissioner Baca, that this New Business be approved. The motion carried by the following vote:**

**Aye:** 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca



5. Resolution Approving Amendment One to the Agreement between Adams County and Design Workshop for Comprehensive Master Plan Updates (File approved by ELT)

**A motion was made by Commissioner Baca, seconded by Commissioner Pinter, that this Resolution be approved. The motion carried by the following vote:**

**Aye:** 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

## **B. COUNTY ATTORNEY**

8. Motion to Adjourn into Executive Session Pursuant to C.R.S 24-6-402(4)(b) and (e) for the Purpose of Receiving Legal Advice and Instructing Negotiators Regarding Aguirre-Rodriguez

**A motion was made by Commissioner Tedesco, seconded by Commissioner O'Dorisio, that this Executive Session be approved. The motion carried by the following vote**

**Aye:** 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

## **9. LAND USE HEARINGS**

### **A. Cases to be Heard**

1. RCU2020-00040 Mustang Station-Kiser Water Storage (File approved by ELT)

**A motion was made by Commissioner Tedesco, seconded by Commissioner O'Dorisio, that this Land Use Hearing be approved. The motion carried by the following vote:**

**Aye:** 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

## **10. ADJOURNMENT**

**AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE**





## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> June 29, 2021
<b>SUBJECT:</b> Abatements
<b>FROM:</b> Meredith P. Van Horn, Assistant Adams County Attorney
<b>AGENCY/DEPARTMENT:</b> County Attorney
<b>HEARD AT STUDY SESSION ON:</b> N/A
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves the recommendations of the Assessor's Office for the attached abatement petitions.

### **BACKGROUND:**

The Assessor's Office reviewed the attached abatement petitions concerning tax years 2018, 2019, and 2020 and has agreed to the abated values for the respective accounts. The findings and recommendations of the Assessor's Office are attached hereto for approval and adoption.

### **AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Adams County Assessor's Office

### **ATTACHED DOCUMENTS:**

Resolution  
Summary Findings and Recommendations of the Assessor's Office



**FISCAL IMPACT:**

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

**Fund:****Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			

New FTEs requested: ☐ YES ☐ NO

Future Amendment Needed: ☐ YES ☐ NO

**Additional Note:**



**RESOLUTION APPROVING ABATEMENT PETITIONS AND AUTHORIZING THE  
REFUND OF TAXES FOR ACCOUNT NUMBERS R0180881, P0032902, R0129552,  
R0001648, R0102040, R0102087, R0197611, and R0084925**

WHEREAS, pursuant to C.R.S. § 39-1-113, the Board of County Commissioners may approve abatement petitions concerning property tax assessment and may refund taxes associated therewith; and,

WHEREAS, the attached petitions for account numbers R0180881, P0032902, R0129552, R0001648, R0102040, R0102087, R0197611, and R0084925 have been processed, reviewed and approved by the Adams County Assessor's Office; and,

WHEREAS, information regarding the initial assessed value and the justification for reduction in assessed value and refund of taxes is included for each property in the documentation attached; and,

WHEREAS, it is the recommendation of the Assessor's Office that these petitions be approved, and refunds be issued by the Board of County Commissioners; and,

WHEREAS, for account numbers R0180881 and P0032902, approval by the Board of County Commissioners shall be forwarded as a recommendation to the Colorado Property Tax Administrator for review and approval as required by C.R.S. §§ 39-1-113(3) and 39-2-116.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the abatement petitions for account numbers R0129552, R0001648, R0102040, R0102087, R0197611, and R0084925 are hereby approved.

BE IT FURTHER RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the resolution approving the petitions for account numbers R0180881 and P0032902 be forwarded, for review, to the Colorado Property Tax Administrator to approve the abatement petitions for the Property.



ABATEMENT FOR TAX YEAR:		2020	
TODAYS DATE		05/06/21	
BUSINESS NAME:	MYCOTECHNOLOGY INC		
ACCOUNT NUMBER:	P0032902		
PARCEL NUMBER:			
	ACTUAL	ASSESSED	MILL
	VALUE	VALUE	LEVY
ORIGINAL VALUE	\$20,526,270	\$5,952,620	141.757
REVISED VALUE	\$11,953,038	\$3,466,380	141.757
ABATED VALUE	\$8,573,232	\$2,486,240	141.757
			TAX DOLLARS
			\$843,825.55
			\$491,383.63
			\$352,441.92

Provide your reason for the Abatement/Added in the space below:

Double assessment with P0038107.

CJG

ADDED ASSESSMENT FOR TAX YEAR:

BUSINESS NAME:			
ACCOUNT NUMBER:			
PARCEL NUMBER:			
	ACTUAL	ASSESSED	MILL
	VALUE	VALUE	LEVY
ORIGINAL VALUE		\$0	
REVISED VALUE		\$0	0
ADDED VALUE	\$0	\$0	0
			TAX DOLLARS
			\$0.00
			\$0.00
			\$0.00



## PETITION FOR ABATEMENT OR REFUND OF TAXES

County: Adams

Date Received \_\_\_\_\_  
(Use Assessor's or Commissioners' Date Stamp)

### Section I: Petitioner, please complete Section I only.

Date: 05/06/2020  
Month Day Year

Petitioner's Name: MYCOTECHNOLOGY INC C/O Patricia Golkowski

Petitioner's Mailing Address: 18250 E 40TH AVE STE 50

AURORA

CO

800115035

City or Town

State

Zip Code

SCHEDULE OR PARCEL NUMBER(S)  
P0032902

PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY  
18250 E 40TH AVE STE 50 Aurora, CO 80011

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for the property tax year 2020 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error, or overvaluation. Attach additional sheets if necessary.)

### Double assessment with lease company

Petitioner's estimate of value: \$ 11,953,038.00 ( 2020 )  
Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information, and belief, is true, correct, and complete.

Patricia Golkowski

Petitioner's Signature

Daytime Phone Number ( 720 ) 547-0056

Email pgolkowski@mycolq.com

By \_\_\_\_\_  
Agent's Signature\*

Daytime Phone Number ( \_\_\_\_\_ )

Printed Name: \_\_\_\_\_

Email \_\_\_\_\_

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

### Section II:

### Assessor's Recommendation (For Assessor's Use Only)

Tax Year \_\_\_\_\_

Actual

Assessed

Tax

Original \_\_\_\_\_

Corrected \_\_\_\_\_

Abate/Refund \_\_\_\_\_

☐ Assessor recommends approval as outlined above.

If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(i)(D), C.R.S.

Tax year: \_\_\_\_\_ Protest? ☐ No ☐ Yes (If a protest was filed, please attach a copy of the NOD.)

☐ Assessor recommends denial for the following reason(s):

\_\_\_\_\_  
Assessor's or Deputy Assessor's Signature



**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**

(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III: Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____
Corrected	_____	_____	_____
Abate/Refund	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_ Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_ Date \_\_\_\_\_

**Section IV: Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present--not present) and

Petitioner \_\_\_\_\_ (being present--not present), and WHEREAS, the said

Name

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED that the Board (agrees--does not agree) with the recommendation of the Assessor, and that the petition be (approved--approved in part--denied) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund
_____	_____	_____

Chairperson of the Board of County Commissioners' Signature

I, \_\_\_\_\_ County Clerk and Ex-Officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

Month Year

County Clerk's or Deputy County Clerk's Signature

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V: Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s):

Secretary's Signature \_\_\_\_\_ Property Tax Administrator's Signature \_\_\_\_\_ Date \_\_\_\_\_



Ken Musso  
Assessor



Assessor's Office  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

BOARD OF COUNTY COMMISSIONERS

STIPULATION (As to Tax Year(s) 2019 Actual Value(s))

1. The property subject to this Stipulation is:  
Schedule No. (S): R0180881 Parcel NO.(S) 0156915302012

2. The subject property is classified as a Commercial property.

3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2019:

Land	\$2,165,898
Improvements	\$2,942,103
Total	\$5,108,001

4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2019:

Land	\$2,165,898
Improvements	\$2,942,103
Total	\$5,108,001

Classification of property changed from 100% commercial to 55.0%.

5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2019.

DATED this: May 11, 2021

Bill Agent For Owner  
Petitioner's Representative

Sullivan Valuation Services Group LLC  
PO Box 664  
Evergreen CO 80437

Shannon

C. Wheeler

Assessor Representative

Adams County Assessor's Office

Digitally signed by Shannon C. Wheeler  
DN: cn=Shannon C. Wheeler,  
o=Adams County Government,  
ou=Assessor's Office,  
email=swheeler@adcogov.org, c=US  
Date: 2021.05.11 13:40:30 -0600



**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS (BOCC)**

Account No : R0180881

Parcel No : 0156915302012

Petition Year : 2019

Date Filed : August 14, 2020

Owner Entity : TRISIMO BRIGHTON II LLC

Owner Address : 1910 8TH AVE NE

Owner City : ABERDEEN

State : SD

Property Location : 2204 SOUTH MEDICAL CENTER DRIVE - BRIGHTON

TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT	
		Actual Value	Assessed Value	Actual Value	Assessed Value		
REAL	1332 N/A	LC:				A. Ratio COM	29.00%
		LR:				A. Ratio RES	7.15%
		IC:				Mill Levy	135.132
		IR:				Original Tax	\$200,174
TOTALS :		\$6,264,583	\$1,816,730	\$5,108,001	\$1,481,320		

**Petitioner's Statement:**

Property reportedly includes residential stays beyond 30 days - thus, a residential rate should be utilized.

**Assessor's Report:**

**Situation :**

Property operates as Candlewood Suites, an extended-stay classified hotel. Petitioner provided DR-100 State of Colorado Documents that illustrated sales against taxed sales as reported by the operator. Claims appear to be inconsistent with prior year.

**Action :**

Reviewed DR-100 documents, which supports claim as indicated above. Processed these figures and an adjustment appears warranted at this time. The claims appeared inconsistent with the prior year. As a result, negotiated a 45% Residential and a 55% Commercial allocation. 5-11/2021 - UPDATE - It was discovered that the value was erroneously amended by the assessor's office on 4/29/2020. As a result, the original abatement adjustment was incorrect. This was confirmed by the treasurer's original billing as well as a review of the 2019 NOV - Given the TRC was not completed, we simply amended paperwork and resubmitted for approval.

**Recommendation :**

Upon further review, a classification change appears warranted for the 2019 abatement period.

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		REVISED TAX WARRANT		
		Actual Value	Assessed Value	Actual Value	Assessed Value	Tax Refund		
REAL	1332 N/A	LC:	\$2,165,898	\$628,110	LC:	\$1,191,244	\$345,460	\$67,868.69
		LR:	\$0	\$0	LR:	\$974,654	\$69,690	
		IC:	\$2,942,103	\$853,210	IC:	\$1,618,156	\$469,270	Revised Tax
		IR:	\$0	\$0	IR:	\$1,323,946	\$94,660	
TOTALS :			\$5,108,001	\$1,481,320		\$5,108,001	\$979,080	\$132,305.04

Shannon Wheeler - Commercial Supervisor

May 11, 2021

Assessor Representative

Date



# PETITION FOR ABATEMENT OR REFUND OF TAXES

County: ADAMS

Date Received: \_\_\_\_\_  
(Use Assessor's or Commissioners' Date Stamp)

**Section I: Petitioner, please complete Section I only.**

Date: 8 10 2020  
Month Day Year

AUG 14 2020

Petitioner's Name: TRISIMO BRIGHTON II LLC

Petitioner's Mailing Address: Sullivan Valuation Services Group LLC - PO Box 664

OFFICE OF THE  
ADAMS COUNTY ASSESSOR

Evergreen Colorado 80437  
City or Town State Zip Code

SCHEDULE OR PARCEL NUMBER(S)  
R0180881

PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY  
2204 S Medical Center Dr. Brighton CO 80601

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for the property tax year 2019 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or, if necessary, whether due to erroneous valuation, irregularity in levying, clerical error, or overvaluation. Attach additional sheets if necessary.)

Petitioner's estimate of value:

\$ 5,108,001 (2019)  
Value Year

Classification Abatement Appeal

The petitioner's claim is to correct the property classification to mixed use; and to account for extended stays of greater than 30 days. Residential 54.43% and Commercial 45.57%.

See attached agency authorization

Petitioner's Signature

*[Signature]*

Daytime Phone Number ( )

Email See attached agency authorization

By Patrick Sullivan  
Agent's Signature

Daytime Phone Number (303) 273-0138

Printed Name: Patrick Sullivan, Authorized Agent

Email patrick@sullivantax.us

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

Section II: Assessor's Recommendation (For Assessor's Use Only)			
	Tax Year _____		
	Actual	Assessed	Tax
Original	_____	_____	_____
Corrected	_____	_____	_____
Abate/Refund	_____	_____	_____
<input type="checkbox"/> Assessor recommends approval as outlined above.			
If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(i)(D), C.R.S.			
Tax year: _____ Protest? <input type="checkbox"/> No <input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)			
<input type="checkbox"/> Assessor recommends denial for the following reason(s):			
_____ Assessor's or Deputy Assessor's Signature			



R 0180881

**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**

(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III: Written Mutual Agreement of Assessor and Petitioner**  
 (Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____
Corrected	_____	_____	_____
Abate/Refund	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_ Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_ Date \_\_\_\_\_

**Section IV: Decision of the County Commissioners**  
 (Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month      Day      Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (*being present--not present*) and

Petitioner \_\_\_\_\_ (*being present--not present*), and WHEREAS, the said

Name

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED that the Board (*agrees--does not agree*) with the recommendation of the Assessor, and that the petition be (*approved--approved in part--denied*) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------

\_\_\_\_\_  
Chairperson of the Board of County Commissioners' Signature

I, \_\_\_\_\_ County Clerk and Ex-Officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

Month      Year

\_\_\_\_\_  
County Clerk's or Deputy County Clerk's Signature

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V: Action of the Property Tax Administrator**  
 (For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s): \_\_\_\_\_

\_\_\_\_\_  
Secretary's Signature      Property Tax Administrator's Signature      Date



Ken Musso  
Assessor



Assessor's Office  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

## COUNTY BOARD OF EQUALIZATION

STIPULATION (As to Tax Year(s) 2020 Actual Value(s))

1. The property subject to this Stipulation is:  
Schedule No. (S): R0197611 Parcel NO.(S) 01825-05-1-17-013
2. The subject property is classified as a Residential property.
3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2020 :

Land	\$62,720
Improvements	\$398,029
Total	\$460,749
4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2020 :

Land	\$62,720
Improvements	\$0
Total	\$62,720
5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2020.

DATED this: May 24, 2021

Petitioner's Representative

Mark Walker

2755 W 69th Avenue

Denver, CO 80221

Eric I  
Norberg

Digitally signed by Eric I Norberg  
DN: cn=Eric I Norberg, o=adco, email=enorberg@adcogov.org, c=US  
Date: 2021.05.24 15:00:57 -06'00'

Assessor Representative

Adams County Assessor's Office



**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS**

Account No : R0197611

Parcel No : 01825-05-1-17-013

Petition Year : 2020

Date Filed : May 20, 2021

Owner Entity : Mark Walker

Owner Address : 2755 W 69th Avenue

Owner City : Denver

State : CO 80221

Property Location : POMPONIO TERRACE FLG 1 PLAT CORRECTION NO 1 BLK 1 LOT 3

Vacant land Assessment rate: 29.0%

TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT			
		Actual Value	Assessed Value	Actual Value	Assessed Value				
REAL	100	L:	\$65,983	\$4,718	L:	\$62,720	\$4,480	A. Ratio	7.15%
		I:	\$0	\$0	I:	\$398,029	\$28,460	Mill Levy	176.680
TOTALS :			\$65,983	\$4,718		\$460,749	\$32,940	Original Tax	\$5,819.84

**Petitioner's Statement :**

Valuation was erroneous

**Assessor's Report**

**Situation :**

The subject property was new construction, went under contract on 03/05/2020 and construction had not started as of that date. The certificate of occupancy was issued on 11/20/2020. Therefore the home was vacant land as of 01/01/2020.

**Action :**

The value for the property as of 01/01/2020 should be as vacant land of \$62,720 for the vacant residential lot. Due to this being a vacant lot the land value is assessed at 29%. As this is not a residential improved property.

**Recommendation :**

Upon further review, a reduction in value appears warranted.

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		REVISED TAX WARRANT	
		Actual Value	Assessed Value	Actual Value	Assessed Value	Tax Refund	
REAL	100	L:	\$62,720	\$4,480	L: \$62,720	\$18,190	\$2,606.03
		I:	\$398,029	\$28,460	I: \$0	\$0	Revised Tax
TOTALS :			\$460,749	\$32,940	\$62,720	\$18,190	\$3,213.81

*Eric I Norberg*

May 21, 2021

Eric I Norberg

Date

Residential Appraiser III, Adams County Assessor's Office

Colorado Licensed Appraiser AL01323002



# PETITION FOR ABATEMENT OR REFUND OF TAXES

County: \_\_\_\_\_

Date Received \_\_\_\_\_  
(Use Assessor's or Commissioners' Date Stamp)

MAY 20 2021

**Section I: Petitioner, please complete Section I only.**

Date: 05 / 16 / 2021  
Month Day Year

**OFFICE OF THE  
ADAMS COUNTY ASSESSOR**

Petitioner's Name: Mark Walker  
Petitioner's Mailing Address: 2755 W 69th Ave  
Denver CO 80221  
City or Town State Zip Code

SCHEDULE OR PARCEL NUMBER(S) 0182505117013 PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY 2755 W 69th Ave, Denver 80221

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for the property tax year 2020 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error, or overvaluation. Attach additional sheets if necessary.)

*Valuation was erroneous  
see Attachments #1-4 following*

Petitioner's estimate of value: \$65,983 2020  
Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information, and belief, is true, correct, and complete.

Mark E Walker  
Petitioner's Signature

Daytime Phone Number (303) 902-1441  
Email marwalke@msn.com

By \_\_\_\_\_  
Agent's Signature\*

Daytime Phone Number (\_\_\_\_\_) \_\_\_\_\_  
Email \_\_\_\_\_

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

Section II: Assessor's Recommendation (For Assessor's Use Only)			
	Actual	Assessed	Tax
Original	_____	_____	_____
Corrected	_____	_____	_____
Abate/Refund	_____	_____	_____
<input type="checkbox"/> Assessor recommends approval as outlined above.			
If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(i)(D), C.R.S.			
Tax year: _____ Protest? <input type="checkbox"/> No <input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)			
<input type="checkbox"/> Assessor recommends denial for the following reason(s):			
Assessor's or Deputy Assessor's Signature _____			



**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**  
(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III: Written Mutual Agreement of Assessor and Petitioner**  
(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____
Corrected	_____	_____	_____
Abate/Refund	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

_____ Petitioner's Signature	_____ Date
_____ Assessor's or Deputy Assessor's Signature	_____ Date

**Section IV: Decision of the County Commissioners**  
(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month      Day      Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present--not present) and  
Petitioner \_\_\_\_\_ (being present--not present), and WHEREAS, the said  
County Commissioners have carefully considered the within petition, and are fully advised in relation thereto,  
NOW BE IT RESOLVED that the Board (~~agrees--does not agree~~) with the recommendation of the Assessor,  
and that the petition be (~~approved--approved in part--denied~~) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------

\_\_\_\_\_  
Chairperson of the Board of County Commissioners' Signature

I, \_\_\_\_\_ County Clerk and Ex-Officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County  
this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_  
Month      Year

\_\_\_\_\_  
County Clerk's or Deputy County Clerk's Signature

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V: Action of the Property Tax Administrator**  
(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s):

_____ Secretary's Signature	_____ Property Tax Administrator's Signature	_____ Date
--------------------------------	---	---------------



ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS

Account No : R0084925 Parcel No : 01821-31-1-12-003  
Petition Year : 2020 Date Filed : March 11, 2021  
Owner Entity : Thum, Alfred O and Thum, Eveline  
Owner Address : 2239 Chambers Rd  
Owner City : Aurora State : CO

Property Location :

TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT		
		Actual Value	Assessed Value	Actual Value	Assessed Value			
REAL	100	L:	\$183,000	L:	\$183,000	\$53,070	A. Ratio	29.00%
		I:		I:		\$0	Mill Levy	118.007
TOTALS :			\$183,000		\$53,070		Original Tax	\$6,262.63

Petitioner's Statement :

The Petitioner Stated: The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

Assessor's Report

Situation :

The Petitioner Stated: The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

Action :

Re-classify as 0700.

Recommendation :

Upon further review, this parcel is contiguous with the main residential parcel and the abstract code will change to 0700 for the residential rate of 7.15%

ASSESSOR'S RECOMMENDED ADJUSTMENT

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		CHANGED TAX WARRANT	
		Actual Value	Assessed Value	Actual Value	Assessed Value		
REAL	700	L: \$183,000 I: \$0	\$53,070 \$0	L: \$183,000 I:	\$13,080	A. Ratio Mill Levy	7.15% 118.007
TOTALS :		\$183,000	\$53,070	\$183,000	\$13,080	Revised Tax	\$1,543.53
REVISED TAX		Tax Refund	\$4,719.10	Revised Tax	\$1,543.53		

Tax Exempt Portion  
0%

Pierre Lescans

Appraiser

Ad Valorem Appraiser

June 8, 2021

Date



Ken Musso  
Assessor



Assessor's Office  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

## ABATEMENT

STIPULATION (As to Tax Year(s)) 2020 Actual Value(s))

1. The property subject to this Stipulation is:  
Schedule No. (S): R0084925 Parcel NO.(S) 01821-31-1-12-003

2. The subject property is classified as a Residential property.

3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2020:

Land	\$183,000
Improvements	\$0
Total	\$183,000

4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2020:

Land	\$183,000
Improvements	\$0
Total	\$183,000

5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2020.

This parcel is contiguous with the main residential parcel and the abstract code will change to 0700 for the residential rate.

DATED this: June 8, 2021

Petitioner's Representative  
Eveline Thum  
EVELINE THUM

Pierre  
Lescano

Digitally signed by Pierre Lescano  
DN: cn=Pierre Lescano, o=Adams  
County, ou=Adams County Assessor's  
Office, email=plecano@adcogov.org,  
c=US  
Date: 2021.06.08 13:18:18 -0600

Assessor Representative  
Adams County Assessor's Office



County: Adams

Date Received 12-19-2020  
(Use Assessor's or Commissioners' Date)

**RECEIVED**

FEB 11 2021

ADAMS COUNTY ASSESSOR

**Section I: Petitioner, please complete Section I only.**

Date: 12-19-2020  
Month Day Year

Petitioner's Name: Thum Alfred O. and Thum Evelyn OFF  
Petitioner's Mailing Address: 2239 Chambers Rd. Aurora ADAMS CO  
Colorado 80011-3204  
City or Town State Zip Code

**SCHEDULE OR PARCEL NUMBER(S)**

R 0084925

PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY

2222 N. Granby Street  
Sub: Chambers View Resubd  
Block: 3 Lot: 6

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for property tax year(s) 2019 and 2020 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error or overvaluation. Attach additional sheets if necessary.)

Petitioner's estimate of value:  $\$2,230.02$  (2018) and  $\$6,251.32$  (2019)  $\frac{2020}{2020} = 6,262.64$   
 Value Year Value Year  
 Actual 65,000 Assessed 18,850 183,000/53,070 183,000/53,070

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information and belief, is true, correct, and complete.

Gyreline Trimm  
Petitioner's Signature

Daytime Phone Number: (303) 340-3919  
Email: N/A

By \_\_\_\_\_  
Agent's Signature\*

Daytime Phone Number ( ) \_\_\_\_\_

Printed Name: EVELINE-THUM

Email

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

### Section II:

### Assessor's Recommendation

**(For Assessor's Use Only)**

	Tax Year _____			Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____	_____	_____	_____
Corrected	=====	=====	=====	=====	=====	=====
Abate/Refund						

☐ Assessor recommends approval as outlined above.

If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer. § 39-10-114(f)(1)(i)(D), C.R.S.

Tax year: \_\_\_\_\_ Protest? ☐ No ☐ Yes (If a protest was filed, please attach a copy of the NOD.)

Tax year: \_\_\_\_\_ Protest? ☐ No ☐ Yes (If a protest was filed, please attach a copy of the NOD.)

☐ Assessor recommends denial for the following reason(s):

**Assessor's or Deputy Assessor's Signature**



**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III: Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____
Corrected	_____	_____	_____
Abate/Refund	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_

Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_

Date \_\_\_\_\_

**Section IV: Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present--not present) and

Petitioner \_\_\_\_\_ (being present--not present), and WHEREAS, the said County Commissioners have carefully considered the within petition, and are fully advised in relation thereto,

NOW BE IT RESOLVED that the Board (~~agrees--does not agree~~) with the recommendation of the Assessor, and that the petition be (~~approved--approved in part--denied~~) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------

Chairperson of the Board of County Commissioners' Signature \_\_\_\_\_

I, \_\_\_\_\_ County Clerk and Ex-Officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

Month

Year

County Clerk's or Deputy County Clerk's Signature \_\_\_\_\_

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V:****Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s):

Secretary's Signature \_\_\_\_\_

Property Tax Administrator's Signature \_\_\_\_\_

Date \_\_\_\_\_



Alfred and Eveline Thum  
2239 Chambers Rd.  
Aurora, Co. 80011-3204

**RECEIVED**

**DEC 10 2020**

**OFFICE OF THE  
ADAMS COUNTY ASSESSOR**

December 5, '20

Adams County Assessors Office  
4430 S. Adams Cty Parkway, Ste C 2100  
Brighton, Colo. 80601-8201

Re: R0084925 vacant land on 2222 N. Granby Street  
Sub: Chambers view Resubd - Block 3 Lot 6  
Access key 157344917543  
-----

Gentlemen,

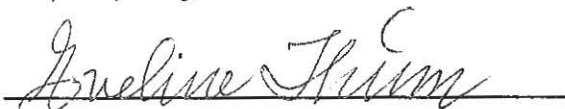
What was the reason to re-evaluate this property from 65,000 to 183,000?  
Last years tax bill was a shocker, to say the least. (\$6.25132)

Our zoning always was Residential/Agriculture and we treated it accordingly.  
Never received a zoning change. It is our back yard AND WAS KEPT AS SUCH.  
Always clean, mowed and never cluttered. A residential site in the  
neighborhood.

We understand that the Colorado Supreme Court issued guidance for property  
like ours.

Please advise if we fall into that catagory.

Respectfully,

  
Eveline Thum

cc: Lisa L. Culpepper, JD  
Adams County Treasurer, P.O. Box 869, Brighton, Co. 80601-0869



Alfred and Eveline Thum  
2239 Chambers Rd.  
Aurora, Co. 80011-3204

Ph: 303-340-3919

**RECEIVED**

**FEB 11 2021**

**OFFICE OF THE  
ADAMS COUNTY ASSESSOR**

February 5, 2021

Jacquelyn Headley  
Administrative Manager, Assessor's Office  
Adams County, Co.  
4430 S. Adams County Parkway, Suite C2100  
Brighton, Co. 80601

Dear Mrs. Headley,

Please refer back to my letter of Dec. 5, 2019, regarding the evaluation of property R0084925.

Attached is the Abatement form, showing the receipt date.

The two properties, N of me, look like heavy equipment and used car lots and not at all residential any more.  
When we purchased the land we were told the east side of Chambers was designed "light business", but not the west side.

We adhered to the code for 48 years and like the bucolic atmosphere.

I am awaiting your reply in hopes, that it was an oversight and will be corrected.

Sincerely,

*Eveline Thum*

Att. Abatement Form



Ken Musso  
Assessor



Assessor's Office  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

## ABATEMENT

STIPULATION (As to Tax Year(s) 2019 Actual Value(s))

1. The property subject to this Stipulation is:  
Schedule No. (S): R0084925 Parcel N0.(S) 01821-31-1-12-003

2. The subject property is classified as a Residential property.

3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2019:

Land	\$183,000
Improvements	\$0
Total	\$183,000

4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2019:

Land	\$183,000
Improvements	\$0
Total	\$183,000

5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2019.

This parcel is contiguous with the main residential parcel and the abstract code will change to 0700 for the residential rate.

DATED this: June 8, 2021

Petitioner's Representative

Eveline Thum  
EVELINE THUM

Pierre  
Lescano

Digitally signed by Pierre Lescano  
DN: cn=Pierre Lescano, o=Adams  
County, ou=Adams County Assessor's  
Office, email=plelscano@adcogov.org,  
c=US  
Date: 2021.06.08 13:18:18 -0500

Assessor Representative

Adams County Assessor's Office



ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS

Account No : R0084925 Parcel No : 01821-31-1-12-003  
Petition Year : 2019 Date Filed : March 11, 2021  
Owner Entity : Thum, Alfred O and Thum, Eveline  
Owner Address : 2239 Chambers Rd  
Owner City : Aurora State : CO

Property Location :

TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT		
		Actual Value	Assessed Value	Actual Value	Assessed Value			
REAL	100	L:	\$183,000	L:	\$183,000	\$53,070	A. Ratio	29.00%
		I:		I:		\$0	Mill Levy	117.794
TOTALS :			\$183,000		\$53,070		Original Tax	\$6,251.33

Petitioner's Statement :

The Petitioner Stated: The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

Assessor's Report

Situation :

The Petitioner Stated: The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

Action :

Re-classify as 0700.

Recommendation :

Upon further review, this parcel is contiguous with the main residential parcel and the abstract code will change to 0700 for the residential rate of 7.15%

ASSESSOR'S RECOMMENDED ADJUSTMENT

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		CHANGED TAX WARRANT	
		Actual Value	Assessed Value	Actual Value	Assessed Value		
REAL	700	L: \$183,000 I: \$0	\$53,070 \$0	L: \$183,000 I:	\$13,080	A. Ratio Mill Levy	7.15% 117.794
TOTALS :		\$183,000	\$53,070	\$183,000	\$13,080	Revised Tax	\$1,540.75
REVISED TAX		Tax Refund	\$4,710.58	Revised Tax	\$1,540.75		

Tax Exempt Portion  
0%

Pierre Lescans

Appraiser

Ad Valorem Appraiser

June 8, 2021

Date



## PETITION FOR ABATEMENT OR REFUND OF TAX

County: AdamsDate Received 12-19-2020  
(Use Assessor's or Commissioners' Date)**RECEIVED**

FEB 11 2021

**Section I: Petitioner, please complete Section I only.**Date: 12-19-2020  
Month Day YearPetitioner's Name: Thum Alfred O. and Thum Eveline  
Petitioner's Mailing Address: 2239 Chambers Rd. Aurora  
Colorado 80011-3204  
City or Town State Zip Code**SCHEDULE OR PARCEL NUMBER(S)**R 0084925**PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY**2222 N. Granby Street  
Sub: Chambers View Resubd  
Block: 3 Lot: 6Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for property tax year(s) 2019 and 2020 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error or overvaluation. Attach additional sheets if necessary.)Petitioner's estimate of value: \$2,230.02 (2018) and \$6,251.32 (2019) 2020 = 6,262.64  
Value Year Value Year  
Actual 65,000 Assessed 18,850 183,000/53,070 183,000/53,070

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information and belief, is true, correct, and complete.

Eveline Thum  
Petitioner's SignatureDaytime Phone Number: (303) 340-3919  
Email: N/ABy \_\_\_\_\_  
Agent's Signature\*

Daytime Phone Number ( )

Printed Name: EVELINE-THUM

Email \_\_\_\_\_

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

**Section II:****Assessor's Recommendation**

(For Assessor's Use Only)

	Tax Year _____			Tax Year _____		
	Actual	Assessed	Tax	Actual	Assessed	Tax
Original	_____	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____	_____

☐ Assessor recommends approval as outlined above.

If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer. § 39-10-114(1)(a)(i)(D), C.R.S.

Tax year: \_\_\_\_\_ Protest? ☐ No ☐ Yes (If a protest was filed, please attach a copy of the NOD.)Tax year: \_\_\_\_\_ Protest? ☐ No ☐ Yes (If a protest was filed, please attach a copy of the NOD.)☐ Assessor recommends denial for the following reason(s):

Assessor's or Deputy Assessor's Signature



**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III: Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____
Corrected	_____	_____	_____
Abate/Refund	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_

Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_

Date \_\_\_\_\_

**Section IV: Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_\_/\_\_\_\_\_/\_\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present--not present) and

Petitioner \_\_\_\_\_ (being present--not present), and WHEREAS, the said County Commissioners have carefully considered the within petition, and are fully advised in relation thereto,

NOW BE IT RESOLVED that the Board (~~agrees--does not agree~~) with the recommendation of the Assessor, and that the petition be (~~approved--approved in part--denied~~) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------

Chairperson of the Board of County Commissioners' Signature \_\_\_\_\_

I, \_\_\_\_\_ County Clerk and Ex-Officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

Month Year

County Clerk's or Deputy County Clerk's Signature \_\_\_\_\_

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V:****Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s):

Secretary's Signature \_\_\_\_\_

Property Tax Administrator's Signature \_\_\_\_\_

Date \_\_\_\_\_



Alfred and Eveline Thum  
2239 Chambers Rd.  
Aurora, Co. 80011-3204

**RECEIVED**

**DEC 10 2020**

**OFFICE OF THE  
ADAMS COUNTY ASSESSOR**

December 5, '20

Adams County Assessors Office  
4430 S. Adams Cty Parkway, Ste C 2100  
Brighton, Colo. 80601-8201

Re: R0084925 vacant land on 2222 N. Granby Street  
Sub: Chambers view Resubd - Block 3 Lot 6  
Access key 157344917543  
-----

Gentlemen,

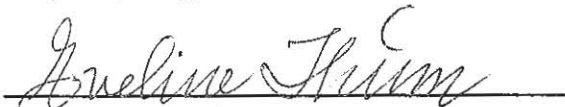
What was the reason to re-evaluate this property from 65,000 to 183,000?  
Last years tax bill was a shocker, to say the least. (\$6.25132)

Our zoning always was Residential/Agriculture and we treated it accordingly.  
Never received a zoning change. It is our back yard AND WAS KEPT AS SUCH.  
Always clean, mowed and never cluttered. A residential site in the  
neighborhood.

We understand that the Colorado Supreme Court issued guidance for property  
like ours.

Please advise if we fall into that catagory.

Respectfully,

  
Eveline Thum

cc: Lisa L. Culpepper, JD  
Adams County Treasurer, P.O. Box 869, Brighton, Co. 80601-0869



Alfred and Eveline Thum  
2239 Chambers Rd.  
Aurora, Co. 80011-3204

Ph: 303-340-3919

**RECEIVED**

**FEB 11 2021**

**OFFICE OF THE  
ADAMS COUNTY ASSESSOR**

February 5, 2021

Jacquelyn Headley  
Administrative Manager, Assessor's Office  
Adams County, Co.  
4430 S. Adams County Parkway, Suite C2100  
Brighton, Co. 80601

Dear Mrs. Headley,

Please refer back to my letter of Dec. 5, 2019, regarding the evaluation of property R0084925.

Attached is the Abatement form, showing the receipt date.

The two properties, N of me, look like heavy equipment and used car lots and not at all residential any more.  
When we purchased the land we were told the east side of Chambers was designed "light business", but not the west side.

We adhered to the code for 48 years and like the bucolic atmosphere.

I am awaiting your reply in hopes, that it was an oversight and will be corrected.

Sincerely,

*Eveline Thum*

Att. Abatement Form



Ken Musso  
Assessor



Assessor's Office  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

## ABATEMENT

STIPULATION (As to Tax Year(s)) 2020 Actual Value(s))

1. The property subject to this Stipulation is:  
Schedule No. (S): R0102087 Parcel NO.(S) 01825-06-4-08-022

2. The subject property is classified as a Residential property.

3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2020:

Land	\$107,000
Improvements	\$0
Total	\$107,000

4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2020:

Land	\$107,000
Improvements	\$0
Total	\$107,000

5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2020.

This parcel is contiguous with the main residential parcel and the abstract code will change to 0700 for the residential rate.

DATED this: June 7, 2021

Petitioner's Representative  
Rachel Jackson - Duff & Phelps

Pierre  
Lescano

Digitally signed by Pierre Lescano  
DN: cn=Pierre Lescano, o=Adams  
County, ou=Adams County Assessor's  
Office, email=plelscano@adcogov.org,  
c=US  
Date: 2021.06.07 11:58:33 -0600

Assessor Representative  
Adams County Assessor's Office



**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS**

Account No : R0102087 Parcel No : 1825-06-08-022  
 Petition Year : 2020 Date Filed : February 9, 2021  
 Owner Entity : Chacon, Esequiel  
 Owner Address : 6540 Osceola St  
 Owner City : Arvada State : CO  
 Property Location : 3933 W 65th Pl

TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT	
		Actual Value	Assessed Value	Actual Value	Assessed Value		
REAL	100	L: \$107,000 I:		L: \$107,000 I:	\$31,030 \$0	A. Ratio Mill Levy	29.00% 122.852
TOTALS :		\$107,000	\$31,030	\$107,000	\$31,030	Original Tax	\$3,812.10

**Tax Exempt Portion**  
0%

**Petitioner's Statement :**

The Petitioner Stated: The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

**Assessor's Report**

**Situation :**

The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

**Action :**

Re-classify to 0700.

**Recommendation :**

Upon further review, this parcel is contiguous with the main residential parcel and the abstract code will change to 0700 for the residential rate of 7.15%.

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		CHANGED TAX WARRANT	
		Actual Value	Assessed Value	Actual Value	Assessed Value		
REAL	700	L: \$107,000 I: \$0	\$23,200 \$0	L: \$107,000 I:	\$7,650	A. Ratio Mill Levy	7.15% 122.852
TOTALS :		\$107,000	\$23,200	\$107,000	\$7,650	Revised Tax	\$939.82
<b>REVISED TAX</b>		<b>Tax Refund</b>		<b>Revised Tax</b>			

*Pierre Lescano*

June 7, 2021

Appraiser

Date

Ad Valorem Appraiser



# PETITION FOR ABATEMENT OR REFUND OF TAXES

County: Adams

Date Received \_\_\_\_\_  
(Use Assessor's or Commissioners' Date Stamp)

## Section I: Petitioner, please complete Section I only.

Date: 1/20/21

Month Day Year

Petitioner's Name: CHACON ESEQUIEL C/O Duff and Phelps, LLC

Petitioner's Mailing Address: 1200 17th St. Suite 990

Denver

CO

80202

City or Town

State

Zip Code

SCHEDULE OR PARCEL NUMBER(S)  
182506408022

PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY  
SUB:FALBO ESTATES SECOND FILING RESUBD OF BLK:5 LOT:12

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for property tax year(s) 2019 and 2020 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error or overvaluation. Attach additional sheets if necessary.)

The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

Petitioner's estimate of value: \$ 107,000 (2019) and \$ 107,000 (2020)  
Value Year Value Year

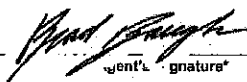
I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information and belief, is true, correct, and complete.

Petitioner's Signature

Daytime Phone Number ( )

Email

By



Agent's Signature

Daytime Phone Number (303) 749-9007

Email brad.baugh@duffandphelps.com

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

Section II: Assessor's Recommendation (For Assessor's Use Only)		
	Tax Year _____	Tax Year _____
	Actual Assessed Tax	Actual Assessed Tax
Original	_____	_____
Corrected	_____	_____
Abate/Refund	_____	_____
<input type="checkbox"/> Assessor recommends approval as outlined above.		
If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(i)(D), C.R.S.		
Tax year: _____	Protest? <input type="checkbox"/> No <input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)	
Tax year: _____	Protest? <input type="checkbox"/> No <input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)	
<input type="checkbox"/> Assessor recommends denial for the following reason(s):   		
Assessor's or Deputy Assessor's Signature _____		



**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**

(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III:****Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____			Tax Year _____		
	Actual	Assessed	Tax	Actual	Assessed	Tax
Original	_____	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_

Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_

Date \_\_\_\_\_

**Section IV:****Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present-not present) and

Name

Petitioner \_\_\_\_\_ (being present-not present), and WHEREAS, the said

Name

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED, that the Board (~~agrees--does not agree~~) with the recommendation of the Assessor and the petition be (~~approved--approved in part--denied~~) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund	Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------	------	----------------	--------------------

Chairperson of the Board of County Commissioners' Signature \_\_\_\_\_

I, \_\_\_\_\_ County Clerk and Ex-officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_

Month

Year

County Clerk's or Deputy County Clerk's Signature \_\_\_\_\_

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V:****Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this abatement petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s): \_\_\_\_\_

Secretary's Signature \_\_\_\_\_

Property Tax Administrator's Signature \_\_\_\_\_

Date \_\_\_\_\_



## Appointment of Agency for Property Tax Matters

Duff & Phelps, LLC is authorized to represent **CHACON ESEQUIEL** for the property known by parcel number(s) **R0102087** regarding the real property assessment matters in **Adams County, Colorado**. Any and all previous authorizations are hereby revoked. Duff & Phelps, LLC is authorized to act on our behalf in obtaining and providing information, negotiating, settling and assessing for all real property matters related to the property owned, possessed, or controlled by the undersigned at the above referenced parcel. This agent is delegated full authority to handle real property matters relative to assessments and to represent us, with the assistance of legal counsel, if necessary, in the appeal process. This authority is extended to the parcel number(s) **R0102087** and may be amended as necessary.

This appointment of agency remains in effect for tax year(s) **2018 -2020** or until revoked in writing by **CHACON ESEQUIEL** or Duff & Phelps, LLC.

All correspondence should be directed to the following:

NAME: Bruce Cartwright  
Duff & Phelps LLC  
ADDRESS: 1200 17<sup>th</sup> Street, Suite 990  
Denver, Colorado 80202  
303-749-9003  
SIGNED NAME: *Esequiel Chacon*  
PRINTED NAME: Esequiel CHACON  
TITLE (in Relationship to Owner Entities) \_\_\_\_\_  
DATE EFFECTIVE: 1/18/2021



**Ken Musso**  
Assessor



**Assessor's Office**  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

## ABATEMENT

STIPULATION (As to Tax Year(s)) 2019 Actual Value(s))

1. The property subject to this Stipulation is:  
Schedule No. (S): R0102087 Parcel NO.(S) 01825-06-4-08-022
2. The subject property is classified as a Residential property.
3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2019 :

Land	\$107,000
Improvements	\$0
Total	\$107,000
4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2019 :

Land	\$107,000
Improvements	\$0
Total	\$107,000
5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2019.

This parcel is contiguous with the main residential parcel and the abstract code will change to 0700 for the residential rate.

DATED this: June 4, 2021

Petitioner's Representative  
Rachel Jackson - Duff & Phelps

**Pierre  
Lescano**

Digitally signed by Pierre Lescano  
DN: cn=Pierre Lescano, o=Adams  
County, ou=Adams County Assessor's  
Office, email=plecano@adcogov.org,  
c=US  
Date: 2021.06.04 12:23:30 -0500

Assessor Representative  
Adams County Assessor's Office



**ASSESSOR'S RECOMMENDATION**  
**BOARD OF COUNTY COMMISSIONERS**

Parcel No : 1825-06-08-022

Date Filed : February 9, 2021

State : CO

**Tax Exempt Portion**

**Petitioner's Statement :**

The Petitioner Stated: The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

### Assessor's Report

**Situation :**

The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

**Action :**

Re-classify to 0700.

<b>Recommendation :</b>	
-------------------------	--

Upon further review, this parcel is contiguous with the main residential parcel and the abstract code will change to 0700 for the residential rate of 7.15%.

ASSESSOR'S RECOMMENDED ADJUSTMENT	
1	2

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June 4, 2021

Date \_\_\_\_\_

Ad Valorem Appraiser



# PETITION FOR ABATEMENT OR REFUND OF TAXES

County: Adams

Date Received \_\_\_\_\_  
(Use Assessor's or Commissioners' Date Stamp)

## Section I: Petitioner, please complete Section I only.

Date: 1/20/21  
Month Day Year

Petitioner's Name: CHACON ESEQUIEL C/O Duff and Phelps, LLC

Petitioner's Mailing Address: 1200 17th St. Suite 990

Denver CO 80202  
City or Town State Zip Code

SCHEDULE OR PARCEL NUMBER(S)  
182508408022

PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY  
SUB:FALBO ESTATES SECOND FILING RESUBD OF BLK:5 LOT:12

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for property tax year(s) 2019 and 2020 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error or overvaluation. Attach additional sheets if necessary.)

The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

Petitioner's estimate of value: \$ 107,000 (2019) and \$ 107,000 (2020)  
Value Year Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information and belief, is true, correct, and complete.

Petitioner's Signature \_\_\_\_\_ Daytime Phone Number ( ) \_\_\_\_\_  
By Brad Baugh \_\_\_\_\_ Email \_\_\_\_\_  
Agent's Signature\* \_\_\_\_\_ Daytime Phone Number (303) 749-9007  
Email brad.baugh@duffandphelps.com

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

Section II: Assessor's Recommendation (For Assessor's Use Only)		
	Tax Year _____	Tax Year _____
	Actual Assessed Tax	Actual Assessed Tax
Original	_____	_____
Corrected	_____	_____
Abate/Refund	_____	_____
<input type="checkbox"/> Assessor recommends approval as outlined above.		
If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(i)(D), C.R.S.		
Tax year: _____	Protest? <input type="checkbox"/> No <input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)	
Tax year: _____	Protest? <input type="checkbox"/> No <input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)	
<input type="checkbox"/> Assessor recommends denial for the following reason(s):   		
Assessor's or Deputy Assessor's Signature _____		



**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**

(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III:****Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____			Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_

Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_

Date \_\_\_\_\_

**Section IV:****Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present--not present) and

Name

Petitioner \_\_\_\_\_ (being present--not present), and WHEREAS, the said

Name

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED, that the Board (~~agrees--does not agree~~) with the recommendation of the Assessor and the petition be (~~approved--approved in part--denied~~) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund	Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------	------	----------------	--------------------

Chairperson of the Board of County Commissioners' Signature \_\_\_\_\_

I, \_\_\_\_\_ County Clerk and Ex-officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_  
Month Year

County Clerk's or Deputy County Clerk's Signature \_\_\_\_\_

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V:****Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this abatement petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s): \_\_\_\_\_

Secretary's Signature \_\_\_\_\_

Property Tax Administrator's Signature \_\_\_\_\_

Date \_\_\_\_\_



### Appointment of Agency for Property Tax Matters

Duff & Phelps, LLC is authorized to represent **CHACON ESEQUIEL** for the property known by parcel number(s) **R0102087** regarding the real property assessment matters in **Adams County, Colorado**. Any and all previous authorizations are hereby revoked. Duff & Phelps, LLC is authorized to act on our behalf in obtaining and providing information, negotiating, settling and assessing for all real property matters related to the property owned, possessed, or controlled by the undersigned at the above referenced parcel. This agent is delegated full authority to handle real property matters relative to assessments and to represent us, with the assistance of legal counsel, if necessary, in the appeal process. This authority is extended to the parcel number(s) **R0102087** and may be amended as necessary.

This appointment of agency remains in effect for tax year(s) **2018 -2020** or until revoked in writing by **CHACON ESEQUIEL** or Duff & Phelps, LLC.

All correspondence should be directed to the following:

NAME: Bruce Cartwright  
Duff & Phelps LLC  
ADDRESS: 1200 17<sup>th</sup> Street, Suite 990  
Denver, Colorado 80202  
303-749-9003  
SIGNED NAME: Esequiel Chacon  
PRINTED NAME: Esequiel Chacon  
TITLE (in Relationship to Owner Entities) \_\_\_\_\_  
DATE EFFECTIVE: 1/18/2021



Ken Musso  
Assessor



Assessor's Office  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

## ABATEMENT

STIPULATION (As to Tax Year(s)) 2020 Actual Value(s))

1. The property subject to this Stipulation is:  
Schedule No. (S): R0102040 Parcel NO.(S) 01825-06-4-05-002

2. The subject property is classified as a Residential property.

3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2020:

Land	\$139,000
Improvements	\$0
Total	\$139,000

4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2020:

Land	\$139,000
Improvements	\$0
Total	\$139,000

5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2020.

This parcel is contiguous with the main residential parcel and the abstract code will change to 0700 for the residential rate.

DATED this: June 3, 2021

Petitioner's Representative  
Rachel Jackson - Duff & Phelps

Pierre  
Lescano

Digitally signed by Pierre Lescano  
DN: cn=Pierre Lescano, o=Adams  
County, ou=Adams County Assessor's  
Office, email=piescano@adcogov.org,  
c=US  
Date: 2021.06.04 12:17:52 -0600

Assessor Representative  
Adams County Assessor's Office



**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS**

Account No : R0102040 Parcel No : 01825-06-4-05-002  
 Petition Year : 2020 Date Filed : December 29, 2020  
 Owner Entity : Mc Crillis Raymond L and Mc Crillis Beverly D  
 Owner Address : 6641 Raleigh Court  
 Owner City : Arvada State : CO  
 Property Location : 6631 Raleigh Court, North of West 66 Ave and Raleigh Ct

Property Location : 6051 Highland Court, North of West 60 Ave and Highland Ct						
TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	
REAL	100	L: \$139,000		L: \$139,000	\$40,310	A. Ratio 29.00%
		I: \$0		I: \$0	\$0	Mill Levy 122.852
TOTALS :		\$139,000	\$40,310	\$139,000	\$40,310	Original Tax \$4,952.16

**Tax Exempt Portion**  
0%

**Petitioner's Statement :**

The Petitioner Stated: The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

**Assessor's Report**

**Situation :**

The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

**Action :**

Re-classify to 0700.

**Recommendation :**

Upon further review, this parcel is contiguous with the main residential parcel and the abstract code will change to 0700 for the residential rate of 7.15%

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		CHANGED TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	
REAL	700	L: \$139,000	\$40,310	L: \$139,000	\$9,940	A. Ratio 7.15%
		I: \$0	\$0	I: \$0	\$0	Mill Levy 122.852
TOTALS :		\$139,000	\$40,310	\$139,000	\$9,940	Revised Tax \$1,221.15
REVISED TAX		Tax Refund	\$3,731.01	Revised Tax	\$1,221.15	

*Pierre Lescano*

June 3, 2021

Appraiser

Date

Ad Valorem Appraiser



# PETITION FOR ABATEMENT OR REFUND OF TAXES

County: Adams

Date Received \_\_\_\_\_  
(Use Assessor's or Commissioners' Date Stamp)

**RECEIVED**

**JAN 12 2021**

**Section I:** Petitioner, please complete Section I only.

Date: 1 4 2021  
Month Day Year

**OFFICE OF THE  
ADAMS COUNTY ASSESSOR**

Petitioner's Name: MC CRILLIS RAYMOND L AND MC CRILLIS BEVERLY D c/o Duff & Phelps

Petitioner's Mailing Address: 1200 17th St. Ste. 990

Denver CO 80202  
City or Town State Zip Code

SCHEDULE OR PARCEL NUMBER(S) PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY  
R0102040

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for the property tax year 2020 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error, or overvaluation. Attach additional sheets if necessary.)

The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

Petitioner's estimate of value: \$ 139,000 (2020)  
Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information, and belief, is true, correct, and complete.

Petitioner's Signature \_\_\_\_\_

Daytime Phone Number (\_\_\_\_\_) \_\_\_\_\_

Email \_\_\_\_\_

By Brad Baugh  
Agent

Daytime Phone Number (303) 749-9007

Printed Name: Brad Baugh

Email brad.baugh@duffandphelps.com

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

## Section II:

## Assessor's Recommendation (For Assessor's Use Only)

Tax Year \_\_\_\_\_

	Actual	Assessed	Tax
Original	_____	_____	_____
Corrected	_____	_____	_____
Abate/Refund	_____	_____	_____

☐ Assessor recommends approval as outlined above.

If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(i)(D), C.R.S.

Tax year: \_\_\_\_\_ Protest? ☐ No ☐ Yes (If a protest was filed, please attach a copy of the NOD.)

☐ Assessor recommends denial for the following reason(s):

Assessor's or Deputy Assessor's Signature \_\_\_\_\_



**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**

(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III: Written Mutual Agreement of Assessor and Petitioner**  
 (Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____
Corrected	_____	_____	_____
Abate/Refund	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_

Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_

Date \_\_\_\_\_

**Section IV: Decision of the County Commissioners**  
 (Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_\_/\_\_\_\_\_/\_\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (~~being present--not present~~) and

Petitioner \_\_\_\_\_ (~~being present--not present~~), and WHEREAS, the said County Commissioners have carefully considered the within petition, and are fully advised in relation thereto,

NOW BE IT RESOLVED that the Board (~~agrees--does not agree~~) with the recommendation of the Assessor, and that the petition be (~~approved--approved in part--denied~~) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------

Chairperson of the Board of County Commissioners' Signature \_\_\_\_\_

I, \_\_\_\_\_ County Clerk and Ex-Officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

Month Year

County Clerk's or Deputy County Clerk's Signature \_\_\_\_\_

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V: Action of the Property Tax Administrator**  
 (For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s): \_\_\_\_\_

Secretary's Signature \_\_\_\_\_

Property Tax Administrator's Signature \_\_\_\_\_

Date \_\_\_\_\_



### Appointment of Agency for Property Tax Matters

Duff & Phelps, LLC is authorized to represent **MC CRILLIS RAYMOND L AND MC CRILLIS BEVERLY D** for the property known by parcel number(s) **R0102040** regarding the real property assessment matters in **Adams County, Colorado**. Any and all previous authorizations are hereby revoked. Duff & Phelps, LLC is authorized to act on our behalf in obtaining and providing information, negotiating, settling and assessing for all real property matters related to the property owned, possessed, or controlled by the undersigned at the above referenced parcel. This agent is delegated full authority to handle real property matters relative to assessments and to represent us, with the assistance of legal counsel, if necessary, in the appeal process. This authority is extended to the parcel number(s) **R0102040** and may be amended as necessary.

This appointment of agency remains in effect for tax year(s) **2018 -2020** or until revoked in writing by **MC CRILLIS RAYMOND L AND MC CRILLIS BEVERLY D** or Duff & Phelps, LLC.

All correspondence should be directed to the following:

NAME: Bruce Cartwright

Duff & Phelps LLC

ADDRESS: 1200 17<sup>th</sup> Street, Suite 990

Denver, Colorado 80202

303-749-9003

SIGNED NAME:

PRINTED NAME:

Raymond L McCrillis & Beverly D McCrillis

TITLE (in Relationship to Owner Entities) Owner

DATE EFFECTIVE: Nov 28, 2020



## Adams County Residential Property Profile

As of 1/5/2021

Parcel Number: 0182506405002

<u>Owners Name and Address:</u>	<u>Property Address:</u>
MC CRILLIS RAYMOND L ANDMC CRILLIS BEVERLY D  6641 RALEIGH COURT ARVADA CO 80003	6631 RALEIGH CT CO

### Account Summary

#### Legal Description

SUB:LAKE SHORE BLK:2 LOT:29

#### Subdivision Plat

LAKE SHORE

#### Account Summary

Account Numbers	Date Added	Tax District	Mill Levy
R0102040	On or Before 01/01/1996	<u>495</u>	122.852

### Permits

#### Permit Cases

1958-017

### Sales Summary



Sale Date	Sale Price	Deed Type	Reception Number	Book	Page	Grantor	Grantee	Doc. Fee	Doc. Date
08/08/1990	\$10.00	DTH	B0958162	3699	726			\$0	08/08/1990
11/08/1995	\$0	DTH	C0122786	4625	424	KURLAND GENE W	KURLAND DEBORAH	\$0	11/08/1995
04/11/1997	\$10.00	PRD	C0270731	4981	868	KURLAND EUGENE W	DE COTEAU CANDY L/KURLAND JOAN	\$0	04/11/1997
04/11/1997	\$10.00	OTH	C0270730	4981	867			\$0	04/11/1997
06/30/1997	\$30,000.00	WD	C0295497	5044	547	KURLAND JOAN SUSAN/SEIFERT JUD	MC CRILLIS RAYMOND L AND	\$3	07/02/1997
12/10/2003	\$10.00	BS	C1250600			MC CRILLIS RAYMOND L AND	MC CRILLIS RAYMOND L AND	\$0	12/10/2003

Click [here](#) to go to Clerk / Recorder search page

## Valuation Summary

### Land Valuation Summary

Account Number	Land Type	Unit of Measure	Number of Units	Fire District	School District	Vacant/Improved	Actual Value	Assessed Value
R0102040	Residential	Acres	0.2400	ADAMS COUNTY FIRE PROTECTION DIST	Westminster Public Schools	V	\$139,000.00	\$40,310.00
<b>Land Subtotal:</b>							<b>\$139,000.00</b>	<b>\$40,310.00</b>

### Improvements Valuation Summary

Account Number	Actual Value	Assessed Value
R0102040	0	0
<b>Improvements Subtotal:</b>	<b>0</b>	<b>0</b>

<b>Total Property Value</b>	<b>\$139,000.00</b>	<b>\$40,310.00</b>
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## Building Summary

NO BUILDING RECORDS FOUND

## Tax Summary



Click [here](#) to go to Treasurer's search page

## Enterprise Zone Summary

### Property within Enterprise Zone

False
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## Precincts and Legislative Representatives Summary

### Precinct

007
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### Commissioner Representative

Commissioner District	Link to Representative
4	<a href="#">Click Here</a>

### State House Representative

House District	Link to Representative
32	<a href="#">Click Here</a>

### State Senate Representative

Senate District	Link to Representative
21	<a href="#">Click Here</a>

### US Congress Representative

Congressional District	Link to Representative
7	<a href="#">Click Here</a>

## Zoning Summary



**Zoning Summary**

<b>Zoning Authority</b>	<b>Zoning</b>
Adams County	R-1-A

**Note:** Data is updated daily. Above data was updated as of: 01/04/21

**Legal Disclaimer:** Although every reasonable effort has been made to ensure the accuracy of the public information data and graphic representations, Adams County cannot be responsible for consequences resulting from any omissions or errors contained herein. Adams County assumes no liability whatsoever associated with the use or misuse of this data



**Ken Musso**  
Assessor



**Assessor's Office**  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

### ABATEMENT

STIPULATION (As to Tax Year(s)) 2019 Actual Value(s))

1. The property subject to this Stipulation is:  
Schedule No. (S): R0102040 Parcel NO.(S) 01825-06-4-05-002
2. The subject property is classified as a Residential property.
3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2019 :

Land	\$139,000
Improvements	\$0
Total	\$139,000
4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2019 :

Land	\$139,000
Improvements	\$0
Total	\$139,000
5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2019.

This parcel is contiguous with the main residential parcel and the abstract code will change to 0700 for the residential rate.

DATED this: June 3, 2021



Petitioner's Representative  
Rachel Jackson - Duff & Phelps

**Pierre  
Lescano**

Digitally signed by Pierre Lescano  
DN: cn=Pierre Lescano, o=Adams  
County, ou=Adams County Assessor's  
Office, email=plascano@adcogov.org,  
c=US  
Date: 2021.06.04 12:15:04 -0800

Assessor Representative  
Adams County Assessor's Office



**ASSESSOR'S RECOMMENDATION**  
**BOARD OF COUNTY COMMISSIONERS**

Parcel No : 01825-06-4-05-002

Date Filed : December 29, 2020

Owner Address : 6641 Raleigh Court

State : CO

TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	
REAL	100	L: \$139,000	L: \$139,000	\$40,310	A. Ratio 29.00%	
		I: \$0	I: \$0	\$0	Mill Levy 122.420	
TOTALS :		\$139,000	\$40,310	\$139,000	\$40,310	Original Tax \$4,934.75

The Petitioner Stated: The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

<b>Situation :</b>
The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

Re-classify to 0700.

Upon further review, this parcel is contiguous with the main residential parcel and the abstract code will change to 0700 for the residential rate of 7.15%.

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		CHANGED TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	
REAL	700	L: \$139,000 I: \$0	\$40,310 \$0	L: \$139,000 I: \$9,940	\$9,940	A. Ratio 7.15% Mill Levy 122.420
TOTALS :		\$139,000	\$40,310	\$139,000	\$9,940	Revised Tax \$1,216.85
REVISED TAX		Tax Refund	\$3,717.90	Revised Tax	\$1,216.85	

June 3, 2021

Date \_\_\_\_\_

Ad Valorem Appraiser



# PETITION FOR ABATEMENT OR REFUND OF TAXES

DEC 29 2020

County: Adams

Date Received \_\_\_\_\_  
(Use Assessor's or Commissioners' Date Stamp)

OFFICE OF THE  
ADAMS COUNTY ASSESSOR

## Section I: Petitioner, please complete Section I only.

Date: December, 16th 2020

Month Day Year

Petitioner's Name: MC CRILLIS RAYMOND L AND MC CRILLIS BEVERLY D c/o Duff & Phelps

Petitioner's Mailing Address: 1200 17th St., Ste 990

Denver

CO

80202

City or Town

State

Zip Code

SCHEDULE OR PARCEL NUMBER(S)

PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY

R0102040

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for property tax year(s) 2018 and 2019 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error or overvaluation. Attach additional sheets if necessary.)

The subject property is under common ownership, contiguous and used in conjunction with the owner's residential account number. We believe this vacant property is eligible for a residential reclassification.

Petitioner's estimate of value: \$ \$90,000 (2018) and \$ \$139,000 (2019)  
Value Year Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information and belief, is true, correct, and complete.

Petitioner's Signature

Daytime Phone Number ( )

Email

By

*Rachel Jackson*

Agent's Signature

Daytime Phone Number 303 749-9089

Printed Name: Rachel Jackson

Email Rachel.jackson@duffandphelps.com

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

## Section II:

## Assessor's Recommendation

(For Assessor's Use Only)

	Tax Year _____			Tax Year _____		
	Actual	Assessed	Tax	Actual	Assessed	Tax
Original	_____	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____	_____

☐ Assessor recommends approval as outlined above.

If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(i)(D), C.R.S.

Tax year: \_\_\_\_\_ Protest? ☐ No ☐ Yes (If a protest was filed, please attach a copy of the NOD.)

Tax year: \_\_\_\_\_ Protest? ☐ No ☐ Yes (If a protest was filed, please attach a copy of the NOD.)

☐ Assessor recommends denial for the following reason(s):

Assessor's or Deputy Assessor's Signature



**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**

(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III:****Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of Adams County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____			Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_

Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_

Date \_\_\_\_\_

**Section IV:****Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present--not present) and

Petitioner \_\_\_\_\_ (being present--not present), and WHEREAS, the said

Name

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED, that the Board (~~agrees--does not agree~~) with the recommendation of the Assessor and the petition be (~~approved--approved in part--denied~~) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund	Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------	------	----------------	--------------------

Chairperson of the Board of County Commissioners' Signature \_\_\_\_\_

I, \_\_\_\_\_ County Clerk and Ex-officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_

Month Year

County Clerk's or Deputy County Clerk's Signature \_\_\_\_\_

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V:****Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this abatement petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s): \_\_\_\_\_

Secretary's Signature \_\_\_\_\_

Property Tax Administrator's Signature \_\_\_\_\_

Date \_\_\_\_\_



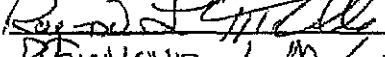
### Appointment of Agency for Property Tax Matters

Duff & Phelps, LLC is authorized to represent MC CRILLIS RAYMOND L AND MC CRILLIS BEVERLY D for the property known by parcel number(s) R0102040 regarding the real property assessment matters in Adams County, Colorado. Any and all previous authorizations are hereby revoked. Duff & Phelps, LLC is authorized to act on our behalf in obtaining and providing information, negotiating, settling and assessing for all real property matters related to the property owned, possessed, or controlled by the undersigned at the above referenced parcel. This agent is delegated full authority to handle real property matters relative to assessments and to represent us, with the assistance of legal counsel, if necessary, in the appeal process. This authority is extended to the parcel number(s) R0102040 and may be amended as necessary.

This appointment of agency remains in effect for tax year(s) 2018 -2020 or until revoked in writing by MC CRILLIS RAYMOND L AND MC CRILLIS BEVERLY D or Duff & Phelps, LLC.

All correspondence should be directed to the following:

NAME: Bruce Cartwright  
Duff & Phelps LLC  
ADDRESS: 1200 17<sup>th</sup> Street, Suite 990  
Denver, Colorado 80202  
303-749-9003

SIGNED NAME:  Raymond L. McCrillis  
PRINTED NAME: RAYMOND L. McCRILLIS & Beverly D. McCrillis  
TITLE (in Relationship to Owner Entities) Owner

DATE EFFECTIVE: NOV 28, 2020



**Ken Musso**  
Assessor



**Assessor's Office**  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

## ABATEMENT

STIPULATION (As to Tax Year(s)) 2018 Actual Value(s))

1. The property subject to this Stipulation is:  
Schedule No. (S): R0102040 Parcel NO.(S) 01825-06-4-05-002

2. The subject property is classified as a Residential property.

3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2018:

Land	\$90,000
Improvements	\$0
Total	\$90,000

4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2018:

Land	\$90,000
Improvements	\$0
Total	\$90,000

5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2018.

This parcel is contiguous with the main residential parcel and the abstract code will change to 0700 for the residential rate.

DATED this: June 3, 2021

Petitioner's Representative  
Rachel Jackson - Duff & Phelps

**Pierre  
Lescano**

Digitally signed by Pierre Lescano  
DN: cn=Pierre Lescano, o=Adams  
County, ou=Adams County Assessor's  
Office, email=pllescane@adcogov.org,  
c=US  
Date: 2021.06.04 12:13:59 -0600

Assessor Representative  
Adams County Assessor's Office



**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS**

Account No : R0102040 Parcel No : 01825-06-4-05-002  
 Petition Year : 2018 Date Filed : December 29, 2020  
 Owner Entity : Mc Crillis Raymond L and Mc Crillis Beverly D  
 Owner Address : 6641 Raleigh Court  
 Owner City : Arvada State : CO  
 Property Location : 6631 Raleigh Court, North of West 66 Ave and Raleigh Ct

TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	
REAL	100	L: \$90,000 I:		L: \$90,000 I:	\$26,100 \$0	A. Ratio 29.00% Mill Levy 123.832
TOTALS :		\$90,000	\$26,100	\$90,000	\$26,100	Original Tax \$3,232.02

**Tax Exempt Portion**  
0%

**Petitioner's Statement :**

The Petitioner Stated: The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

**Assessor's Report**

**Situation :**

The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

**Action :**

Re-classify to 0700.

**Recommendation :**

Upon further review, this parcel is contiguous with the main residential parcel and the abstract code will change to 0700 for the residential rate of 7.20%.

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		CHANGED TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	
REAL	700	L: \$90,000 I: \$0	\$26,100 \$0	L: \$90,000 I:	\$6,480 \$0	A. Ratio 7.20% Mill Levy 123.832
TOTALS :		\$90,000	\$26,100	\$90,000	\$6,480	Revised Tax \$802.43
<b>REVISED TAX</b>		<b>Tax Refund</b>	<b>\$2,429.59</b>	<b>Revised Tax</b>	<b>\$802.43</b>	

*Pierre Lescano*

June 3, 2021

Appraiser

Date

Ad Valorem Appraiser



# PETITION FOR ABATEMENT OR REFUND OF TAXES

DEC 29 2020

County: Adams

Date Received \_\_\_\_\_  
(Use Assessor's or Commissioners' Office)

**OFFICE OF THE  
ADAMS COUNTY ASSESSOR**

**Section I: Petitioner, please complete Section I only.**

Date: December, 16th 2020

Month Day Year

Petitioner's Name: MC CRILLIS RAYMOND L AND MC CRILLIS BEVERLY D c/o Duff & Phelps

Petitioner's Mailing Address: 1200 17th St, Ste 990

Denver

CO

80202

City or Town

State

Zip Code

**SCHEDULE OR PARCEL NUMBER(S)**  
R0102040

**PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY**

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for property tax year(s) 2018 and 2019 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error or overvaluation. Attach additional sheets if necessary.)

The subject property is under common ownership, contiguous and used in conjunction with the owner's residential account number. We believe this vacant property is eligible for a residential reclassification.

Petitioner's estimate of value: \$ \$90,000 (2018) and \$ \$139,000 (2019)  
Value Year Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information and belief, is true, correct, and complete.

Petitioner's Signature

Daytime Phone Number ( )

Email

By

Agent's Signature

Daytime Phone Number 303 749-9089

Printed Name: Rachel Jackson

Email Rachel.jackson@duffandphelps.com

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

Section II: Assessor's Recommendation (For Assessor's Use Only)						
	Tax Year _____			Tax Year _____		
	Actual	Assessed	Tax	Actual	Assessed	Tax
Original	_____	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____	_____
<input type="checkbox"/> Assessor recommends approval as outlined above.						
If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(i)(D), C.R.S.						
Tax year: _____	Protest?	<input type="checkbox"/> No	<input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)			
Tax year: _____	Protest?	<input type="checkbox"/> No	<input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)			
<input type="checkbox"/> Assessor recommends denial for the following reason(s):						
Assessor's or Deputy Assessor's Signature _____						



**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**

(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III:****Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of Adams County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____			Tax Year _____		
	Actual	Assessed	Tax	Actual	Assessed	Tax
Original	_____	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_

Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_

Date \_\_\_\_\_

**Section IV:****Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present--not present) and

Name

Petitioner \_\_\_\_\_ (being present--not present), and WHEREAS, the said

Name

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED, that the Board (~~agrees--does not agree~~) with the recommendation of the Assessor and the petition be (~~approved--approved in part--denied~~) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund	Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------	------	----------------	--------------------

Chairperson of the Board of County Commissioners' Signature \_\_\_\_\_

I, \_\_\_\_\_ County Clerk and Ex-officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

Month

Year

County Clerk's or Deputy County Clerk's Signature \_\_\_\_\_

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V:****Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this abatement petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s): \_\_\_\_\_

Secretary's Signature \_\_\_\_\_

Property Tax Administrator's Signature \_\_\_\_\_

Date \_\_\_\_\_



### Appointment of Agency for Property Tax Matters

Duff & Phelps, LLC is authorized to represent MC CRILLIS RAYMOND L AND MC CRILLIS BEVERLY D for the property known by parcel number(s) R0102040 regarding the real property assessment matters in Adams County, Colorado. Any and all previous authorizations are hereby revoked. Duff & Phelps, LLC is authorized to act on our behalf in obtaining and providing information, negotiating, settling and assessing for all real property matters related to the property owned, possessed, or controlled by the undersigned at the above referenced parcel. This agent is delegated full authority to handle real property matters relative to assessments and to represent us, with the assistance of legal counsel, if necessary, in the appeal process. This authority is extended to the parcel number(s) R0102040 and may be amended as necessary.

This appointment of agency remains in effect for tax year(s) 2018 -2020 or until revoked in writing by MC CRILLIS RAYMOND L AND MC CRILLIS BEVERLY D or Duff & Phelps, LLC.

All correspondence should be directed to the following:

NAME: Bruce Cartwright

Duff & Phelps LLC

ADDRESS: 1200 17<sup>th</sup> Street, Suite 990

Denver, Colorado 80202

303-749-9003

SIGNED NAME:  Raymond L. McCrillis

PRINTED NAME: RAYMOND L MC CRILLIS & Beverly D McCrillis

TITLE (in Relationship to Owner Entities) Owner

DATE EFFECTIVE: NOV 28, 2020



Ken Musso  
Assessor



Assessor's Office  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

## ABATEMENT

STIPULATION (As to Tax Year(s)) 2019 Actual Value(s))

1. The property subject to this Stipulation is:  
Schedule No. (S): R0001648 Parcel NO.(S) 01569-00-0-01-002

2. The subject property is classified as a Residential property.

3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2019 :

Land	\$158,000
Improvements	\$0
Total	\$158,000

4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2019 :

Land	\$158,000
Improvements	\$0
Total	\$158,000

5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2019.

This parcel is contiguous with the main residential parcel and the abstract code will change to 0700 for the residential rate.

DATED this: June 3, 2021

Petitioner's Representative  
Rachel Jackson - Duff & Phelps

Pierre  
Lescano

Digitally signed by Pierre Lescano  
DN: cn=Pierre Lescano, o=Adams  
County, ou=Adams County Assessor's  
Office, email=plecano@adcogov.org,  
c=US  
Date: 2021.06.03 15:08:31 -0600

Assessor Representative  
Adams County Assessor's Office



**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS**

Parcel No : 01569-00-0-01-002

Date Filed : December 29, 2020

Owner Address : 146522 Picadilly Rd

State : CO

Property Location : Just North of East 114th Ave and Picadilly Road

<b>Tax Exempt Portion</b>	<b>0%</b>
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The Petitioner Stated: The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

<b>Situation :</b>
The Petitioner Stated: The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

Re-classify as 0700.

Upon further review, this parcel is contiguous with the main residential parcel and the abstract code will change to 0700 for the residential rate of 7.15%.

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		CHANGED TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	
REAL	700	L: \$158,000	\$45,820	L: \$158,000	\$11,300	A. Ratio 7.15%
		I: \$0	\$0	I: \$0	\$0	Mill Levy 93.482
TOTALS :		\$158,000	\$45,820	\$158,000	\$11,300	Revised Tax \$1,056.35
REVISED TAX		Tax Refund	\$3,227.00	Revised Tax	\$1,056.35	

June 3, 2021

Date \_\_\_\_\_

Ad Valorem Appraiser



# PETITION FOR ABATEMENT OR REFUND OF TAXES

County: Adams

Date Received \_\_\_\_\_  
(Use Assessor's or Commissioners' Date Stamp)

## Section I: Petitioner, please complete Section I only.

DEC 29 2020

Date: 12/29/20

Month Day Year

Petitioner's Name: ELLIS RALPH J ANDELLIS JUDITH M G/O Duff and Phelps, LLC

Petitioner's Mailing Address: 1200 17th St. Suite 990

Denver

CO

80202

City or Town

State

Zip Code

### SCHEDULE OR PARCEL NUMBER(S)

0156900001002

R0001648

### PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY

SUB:ROCK TRACT LOT:2

ROCK TRACT

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for property tax year(s) 2018 and 2019 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error or overvaluation. Attach additional sheets if necessary.)

The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

Petitioner's estimate of value: \$ 110,000 2018 and \$ 158,000 2019  
Value Year Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information and belief, is true, correct, and complete.

Petitioner's Signature

By

*Brad Baugh*  
Agent's Signature

Daytime Phone Number ( )

Email

Daytime Phone Number (303) 749-9007

Email brad.baugh@duffandphelps.com

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

## Section II:

### Assessor's Recommendation

(For Assessor's Use Only)

	Tax Year _____			Tax Year _____		
	Actual	Assessed	Tax	Actual	Assessed	Tax
Original	_____	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____	_____

☐ Assessor recommends approval as outlined above.

If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(i)(D), C.R.S.

Tax year: \_\_\_\_\_ Protest? ☐ No ☐ Yes (If a protest was filed, please attach a copy of the NOD.)

Tax year: \_\_\_\_\_ Protest? ☐ No ☐ Yes (If a protest was filed, please attach a copy of the NOD.)

☐ Assessor recommends denial for the following reason(s):

Assessor's or Deputy Assessor's Signature



**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**

(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III:****Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____			Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_

Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_

Date \_\_\_\_\_

**Section IV:****Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present--not present) and

Name

Petitioner \_\_\_\_\_ (being present--not present), and WHEREAS, the said

Name

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED, that the Board (~~agrees--does not agree~~) with the recommendation of the Assessor and the petition be (~~approved--approved in part--denied~~) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund	Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------	------	----------------	--------------------

Chairperson of the Board of County Commissioners' Signature \_\_\_\_\_

I, \_\_\_\_\_ County Clerk and Ex-officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

Month

Year

County Clerk's or Deputy County Clerk's Signature \_\_\_\_\_

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V:****Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this abatement petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s):

Secretary's Signature \_\_\_\_\_

Property Tax Administrator's Signature \_\_\_\_\_

Date \_\_\_\_\_



### Appointment of Agency for Property Tax Matters

Duff & Phelps, LLC is authorized to represent **ELLIS RALPH J AND ELLIS JUDITH M** for the property known by parcel number(s) **R0001648** regarding the real property assessment matters in **Adams County, Colorado**. Any and all previous authorizations are hereby revoked. Duff & Phelps, LLC is authorized to act on our behalf in obtaining and providing information, negotiating, settling and assessing for all real property matters related to the property owned, possessed, or controlled by the undersigned at the above referenced parcel. This agent is delegated full authority to handle real property matters relative to assessments and to represent us, with the assistance of legal counsel, if necessary, in the appeal process. This authority is extended to the parcel number(s) **R0001648** and may be amended as necessary.

This appointment of agency remains in effect for tax year(s) **2018 -2020** or until revoked in writing by **ELLIS RALPH J AND ELLIS JUDITH M** or Duff & Phelps, LLC.

All correspondence should be directed to the following:

NAME: Bruce Cartwright  
Duff & Phelps LLC  
ADDRESS: 1200 17<sup>th</sup> Street, Suite 990  
Denver, Colorado 80202  
303-749-9003

SIGNED NAME: Judith M. Ellis  
PRINTED NAME: JUDITH M ELLIS  
TITLE (in Relationship to Owner Entities) CO-OWNER

DATE EFFECTIVE: WEDNESDAY, December 23, 2020



**Ken Musso**  
Assessor



**Assessor's Office**  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

## ABATEMENT

STIPULATION (As to Tax Year(s)) 2018 Actual Value(s))

1. The property subject to this Stipulation is:  
Schedule No. (S): R0001648 Parcel NO.(S) 01569-00-0-01-002

2. The subject property is classified as a Residential property.

3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2018:

Land	\$110,000
Improvements	\$0
Total	\$110,000

4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2018:

Land	\$110,000
Improvements	\$0
Total	\$110,000

5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2018.

This parcel is contiguous with the main residential parcel and the abstract code will change to 0700 for the residential rate.

DATED this: June 3, 2018

Petitioner's Representative  
Rachel Jackson - Duff & Phelps

**Pierre  
Lescano**

Digitally signed by Pierre Lescano  
DN: cn=Pierre Lescano, o=Adams  
County, ou=Adams County Assessor's  
Office, email=pllescana@adcogov.org,  
c=US  
Date: 2021.06.03 15:04:45 -0800

Assessor Representative  
Adams County Assessor's Office



**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS**

Account No : R0001648 Parcel No : 01569-00-0-01-002  
 Petition Year : 2018 Date Filed : December 29, 2020  
 Owner Entity : Ellis Ralph J and Ellis Judith M  
 Owner Address : 146522 Picadilly Rd  
 Owner City : Brighton State : CO  
 Property Location : Just North of East 114th Ave and Picadilly Road

TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	
REAL	100	L: \$110,000 I: \$0	\$31,900	L: \$110,000 I: \$0	\$31,900	A. Ratio 29.00% Mill Levy 93.777
<b>TOTALS :</b>		<b>\$110,000</b>	<b>\$31,900</b>	<b>\$110,000</b>	<b>\$31,900</b>	Original Tax <b>\$2,991.49</b>

**Tax Exempt Portion**  
0%

**Petitioner's Statement :**

The Petitioner Stated: The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

**Assessor's Report**

**Situation :**

The Petitioner Stated: The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

**Action :**

Re-classify as 0700.

**Recommendation :**

Upon further review, this parcel is contiguous with the main residential parcel and the abstract code will change to 0700 for the residential rate of 7.20%

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		CHANGED TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	
REAL	700	L: \$110,000 I: \$0	\$31,900	L: \$110,000 I: \$0	\$7,920	A. Ratio 7.20% Mill Levy 93.777
<b>TOTALS :</b>		<b>\$110,000</b>	<b>\$31,900</b>	<b>\$110,000</b>	<b>\$7,920</b>	Revised Tax <b>\$742.71</b>
<b>REVISED TAX</b>		<b>Tax Refund</b>		<b>Revised Tax</b>	<b>\$742.71</b>	

*Pierre Lescano*

June 3, 2021

Appraiser

Date

Ad Valorem Appraiser



# PETITION FOR ABATEMENT OR REFUND OF TAXES

County: Adams

Date Received \_\_\_\_\_  
(Use Assessor's or Commissioners' Date Stamp)

## Section I: Petitioner, please complete Section I only.

DEC 29 2020

Date: 12/29/20

Month Day Year

Petitioner's Name: ELLIS RALPH J ANDELLIS JUDITH M C/O Duff and Phelps, LLC

OFFICE OF THE  
ADAMS COUNTY ASSESSOR

Petitioner's Mailing Address: 1200 17th St. Suite 990

Denver

CO

80202

City or Town

State

Zip Code

SCHEDULE OR PARCEL NUMBER(S)  
0156900001002

PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY  
SUB:ROCK TRACT LOT:2

R0001648

ROCK TRACT

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for property tax year(s) 2018 and 2019 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error or overvaluation. Attach additional sheets if necessary.)

The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

Petitioner's estimate of value: \$ 110,000 (2018) and \$ 158,000 (2019)  
Value Year Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information and belief, is true, correct, and complete.

Petitioner's Signature

Daytime Phone Number ( )

Email

By

*[Signature]*  
Agent's Signature

Daytime Phone Number (303) 749-9007

Email brad.baugh@duffandphelps.com

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

## Section II:

## Assessor's Recommendation

(For Assessor's Use Only)

	Tax Year _____			Tax Year _____		
	Actual	Assessed	Tax	Actual	Assessed	Tax
Original	_____	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____	_____

☐ Assessor recommends approval as outlined above.

If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(i)(D), C.R.S.

Tax year: \_\_\_\_\_ Protest? ☐ No ☐ Yes (If a protest was filed, please attach a copy of the NOD.)

Tax year: \_\_\_\_\_ Protest? ☐ No ☐ Yes (If a protest was filed, please attach a copy of the NOD.)

☐ Assessor recommends denial for the following reason(s):

Assessor's or Deputy Assessor's Signature



**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**

(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III:****Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____			Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_

Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_

Date \_\_\_\_\_

**Section IV:****Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present--not present) and

Name

Petitioner \_\_\_\_\_ (being present--not present), and WHEREAS, the said

Name

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED, that the Board (~~agrees--does not agree~~) with the recommendation of the Assessor and the petition be (~~approved--approved in part--denied~~) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund	Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------	------	----------------	--------------------

Chairperson of the Board of County Commissioners' Signature \_\_\_\_\_

I, \_\_\_\_\_ County Clerk and Ex-officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_

Month Year

County Clerk's or Deputy County Clerk's Signature \_\_\_\_\_

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V:****Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this abatement petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s): \_\_\_\_\_

Secretary's Signature \_\_\_\_\_

Property Tax Administrator's Signature \_\_\_\_\_

Date \_\_\_\_\_



### Appointment of Agency for Property Tax Matters

Duff & Phelps, LLC is authorized to represent **ELLIS RALPH J AND ELLIS JUDITH M** for the property known by parcel number(s) **R0001648** regarding the real property assessment matters in **Adams County, Colorado**. Any and all previous authorizations are hereby revoked. Duff & Phelps, LLC is authorized to act on our behalf in obtaining and providing information, negotiating, settling and assessing for all real property matters related to the property owned, possessed, or controlled by the undersigned at the above referenced parcel. This agent is delegated full authority to handle real property matters relative to assessments and to represent us, with the assistance of legal counsel, if necessary, in the appeal process. This authority is extended to the parcel number(s) **R0001648** and may be amended as necessary.

This appointment of agency remains in effect for tax year(s) **2018-2020** or until revoked in writing by **ELLIS RALPH J AND ELLIS JUDITH M** or Duff & Phelps, LLC.

All correspondence should be directed to the following:

NAME: Bruce Cartwright  
Duff & Phelps LLC  
ADDRESS: 1200 17<sup>th</sup> Street, Suite 990  
Denver, Colorado 80202  
303-749-9003

SIGNED NAME: Judith M. Ellis  
PRINTED NAME: JUDITH M ELLIS  
TITLE (in Relationship to Owner Entities) CO-OWNER

DATE EFFECTIVE: WEDNESDAY, December 23, 2020



Ken Musso  
Assessor



Assessor's Office  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

**ABATEMENT**

**STIPULATION (As to Tax Year(s))** 2020 **Actual Value(s))**


1. The property subject to this Stipulation is:  
Schedule No. (S): R0129552 Parcel NO.(S) 01821-29-2-02-009
2. The subject property is classified as a Residential property.
3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2020 :

Land	\$49,200
Improvements	\$0
Total	\$49,200
4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2020 :

Land	\$49,200
Improvements	\$0
Total	\$49,200
5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2020.

This parcel is contiguous with the main residential parcel and the abstract code will change to 0700 for the residential rate.

DATED this: June 4, 2021

  
Petitioner's Representative

Pierre  
Lescano

Digitally signed by Pierre Lescano  
DN: cn=Pierre Lescano, o=Adams  
County, ou=Adams County Assessor's  
Office, email=plescano@adcogov.org,  
c=US  
Date: 2021.06.04 12:51:05 -0600

Assessor Representative  
Adams County Assessor's Office



**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS**

Account No : R0129552 Parcel No : 01821-29-2-02-009  
 Petition Year : 2020 Date Filed : March 22, 2021  
 Owner Entity : Gutierrez, Francisco Jr And Gutierrez, Anita  
 Owner Address : 3706 Jasper St  
 Owner City : Aurora State : CO  
 Property Location : 3695 N. Kalispell St, Aurora, CO

TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	
REAL	100	L: \$49,200 I: \$0		L: \$49,200 I: \$0	\$14,270	A. Ratio 29.00% Mill Levy 118.007
TOTALS :		\$49,200	\$14,270	\$49,200	\$14,270	Original Tax \$1,683.96

**Tax Exempt Portion**  
0%

**Petitioner's Statement :**

The Petitioner Stated: The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

**Assessor's Report**

**Situation :**

The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

**Action :**

Re-classify to 0700.

**Recommendation :**

Upon further review, this parcel is contiguous with the main residential parcel and the abstract code will change to 0700 for the residential rate of 7.15%

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		CHANGED TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	
REAL	700	L: \$49,200 I: \$0	\$49,010	L: \$49,200 I: \$0	\$3,520	A. Ratio 7.15% Mill Levy 118.007
TOTALS :		\$49,200	\$49,010	\$49,200	\$3,520	Revised Tax \$415.38
<b>REVISED TAX</b>		<b>Tax Refund</b>	\$1,268.58	<b>Revised Tax</b>	\$415.38	

*Pierre Lescano*

June 8, 2021

Appraiser

Date

Ad Valorem Appraiser



# PETITION FOR ABATEMENT OR REFUND OF TAXES

County: ADAMS

Date Received \_\_\_\_\_  
(Use Assessor's or Commissioners' Date Stamp)

**RECEIVED**

Section I: Petitioner, please complete Section I only.

MAR 19 2021

Date: 3 19 21  
Month Day Year

Petitioner's Name: Francesco Gutierrez  
Petitioner's Mailing Address: 3706 JASPER Street  
Aurora Co 80011  
City or Town State Zip Code

OFFICE OF THE  
ADAMS COUNTY ASSESSOR

SCHEDULE OR PARCEL NUMBER(S) PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY

0182129202009  
R0129552

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for the property tax year 2020 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error, or overvaluation. Attach additional sheets if necessary.)

Petitioner's estimate of value: UNKNOWN - 2020  
Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information, and belief, is true, correct, and complete.

Francesco Gutierrez  
Petitioner's Signature

Daytime Phone Number 303.888.0255  
Email Frankg2020@msn.com

By \_\_\_\_\_  
Agent's Signature\*

Daytime Phone Number ( ) \_\_\_\_\_

Printed Name: \_\_\_\_\_

Email \_\_\_\_\_

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

## Section II:

## Assessor's Recommendation

(For Assessor's Use Only)

	Actual	Assessed	Tax
Original	_____	_____	_____
Corrected	_____	_____	_____
Abate/Refund	_____	_____	_____

☐ Assessor recommends approval as outlined above.

If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(i)(D), C.R.S.

Tax year: \_\_\_\_\_ Protest? ☐ No ☐ Yes (If a protest was filed, please attach a copy of the NOD.)

☐ Assessor recommends denial for the following reason(s): \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_



**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**

(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III: Written Mutual Agreement of Assessor and Petitioner**  
(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____	Actual	Assessed	Tax
Original	_____	_____	_____	_____
Corrected	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_

Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_

Date \_\_\_\_\_

**Section IV: Decision of the County Commissioners**  
(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present--not present) and

Petitioner \_\_\_\_\_ (being present--not present), and WHEREAS, the said \_\_\_\_\_ Name

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED that the Board (~~agrees--does not agree~~) with the recommendation of the Assessor, and that the petition be (~~approved--approved in part--denied~~) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------

Chairperson of the Board of County Commissioners' Signature \_\_\_\_\_

I, \_\_\_\_\_ County Clerk and Ex-Officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_  
Month Year

County Clerk's or Deputy County Clerk's Signature \_\_\_\_\_

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V: Action of the Property Tax Administrator**  
(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s): \_\_\_\_\_

Secretary's Signature \_\_\_\_\_

Property Tax Administrator's Signature \_\_\_\_\_

Date \_\_\_\_\_



Ken Musso  
Assessor



Assessor's Office  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

### ABATEMENT

STIPULATION (As to Tax Year(s)) 2019 Actual Value(s))

1. The property subject to this Stipulation is:  
Schedule No. (S): R0129552 Parcel NO.(S) 01821-29-2-02-009

2. The subject property is classified as a Residential property.

3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2019 :

Land	\$49,200
Improvements	\$0
Total	\$49,200

4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2019 :

Land	\$49,200
Improvements	\$0
Total	\$49,200

5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2019.

This parcel is contiguous with the main residential parcel and the abstract code will change to 0700 for the residential rate.

DATED this: June 4, 2021

*Francisco Gutierrez Jr.* 6-7-21  
Petitioner's Representative

Pierre  
Lescano

Digitally signed by Pierre Lescano  
DN: cn=Pierre Lescano, o=Adams  
County, ou=Adams County Assessor's  
Office, email=plscano@adcogov.org,  
c=US  
Date: 2021.06.04 12:50:25 -0600

Assessor Representative  
Adams County Assessor's Office



**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS**

Account No : R0129552 Parcel No : 01821-29-2-02-009  
 Petition Year : 2019 Date Filed : March 22, 2021  
 Owner Entity : Guttierrez, Francisco Jr And Gutierrez, Anita  
 Owner Address : 3706 Jasper St  
 Owner City : Aurora State : CO  
 Property Location : 3695 N. Kalispell St, Aurora, CO

TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	
REAL	100	L: \$49,200 I: \$0		L: \$49,200 I: \$0	\$14,270	A. Ratio 29.00% Mill Levy 117.794
TOTALS :		\$49,200	\$14,270	\$49,200	\$14,270	Original Tax \$1,680.92

**Tax Exempt Portion**  
0%

**Petitioner's Statement :**

The Petitioner Stated: The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

**Assessor's Report**

**Situation :**

The subject property is under common ownership, contiguous and used in conjunction with the owner's residence.

**Action :**

Re-classify to 0700.

**Recommendation :**

Upon further review, this parcel is contiguous with the main residential parcel and the abstract code will change to 0700 for the residential rate of 7.15%

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		CHANGED TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	
REAL	700	L: \$49,200 I: \$0	\$49,010	L: \$49,200 I: \$0	\$3,520	A. Ratio 7.15% Mill Levy 117.794
TOTALS :		\$49,200	\$49,010	\$49,200	\$3,520	Revised Tax \$414.63
<b>REVISED TAX</b>		<b>Tax Refund</b>		<b>Revised Tax</b>		

*Pierre Lescano*

June 8, 2021

Appraiser

Date

Ad Valorem Appraiser



# PETITION FOR ABATEMENT OR REFUND OF TAXES

County: ADAMS

Date Received \_\_\_\_\_  
(Use Assessor's or Commissioner's Date Stamp)

**RECEIVED**

**Section I:** Petitioner, please complete Section I only.

MAR 19 2021

Date: 3 19 21  
Month Day Year

Petitioner's Name: Francesca Gutierrez  
Petitioner's Mailing Address: 3706 JASPER Street  
Aurora Co 80011  
City or Town State Zip Code

OFFICE OF THE  
ADAMS COUNTY ASSESSOR

SCHEDULE OR PARCEL NUMBER(S) 0182129202009  
R0129552  
PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY \_\_\_\_\_

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for the property tax year 2020 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error, or overvaluation. Attach additional sheets if necessary.)

Petitioner's estimate of value: \$ UNKNOWN - 2020  
Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information, and belief, is true, correct, and complete.

Francesca Gutierrez  
Petitioner's Signature

Daytime Phone Number 303.888.0255  
Email frankg2020@msn.com

By \_\_\_\_\_  
Agent's Signature

Daytime Phone Number ( ) \_\_\_\_\_

Printed Name: \_\_\_\_\_

Email \_\_\_\_\_

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

Section II:		Assessor's Recommendation (For Assessor's Use Only)	
	Actual	Assessed	Tax
Original	_____	_____	_____
Corrected	_____	_____	_____
Abate/Refund	_____	_____	_____
<input type="checkbox"/> Assessor recommends approval as outlined above.			
If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(i)(D), C.R.S.			
Tax year: _____ Protest? <input type="checkbox"/> No <input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)			
<input type="checkbox"/> Assessor recommends denial for the following reason(s): _____			
_____ Assessor's or Deputy Assessor's Signature			



**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**

(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III: Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____		
	Actual	Assessed	Tax
Original	_____	_____	_____
Corrected	_____	_____	_____
Abate/Refund	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_

Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_

Date \_\_\_\_\_

**Section IV:****Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present--not present) and

Petitioner \_\_\_\_\_ (being present--not present), and WHEREAS, the said

Name

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED that the Board (agrees--does not agree) with the recommendation of the Assessor, and that the petition be (approved--approved in part--denied) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------

Chairperson of the Board of County Commissioners' Signature \_\_\_\_\_

I, \_\_\_\_\_ County Clerk and Ex-Officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

Month

Year

County Clerk's or Deputy County Clerk's Signature \_\_\_\_\_

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V:****Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s): \_\_\_\_\_

Secretary's Signature \_\_\_\_\_

Property Tax Administrator's Signature \_\_\_\_\_

Date \_\_\_\_\_





## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> June 29, 2021
<b>SUBJECT:</b> Resolution approving right-of-way agreement between Adams County and David M. Hamai and Khristina L. Hamai, for property necessary for the Pecos Street Roadway and Drainage Improvements Project from West 52 <sup>nd</sup> Avenue to West 58 <sup>th</sup> Avenue
<b>FROM:</b> Brian Staley, P.E., PTOE, RSP, Director of Public Works
<b>AGENCY/DEPARTMENT:</b> Public Works
<b>HEARD AT STUDY SESSION ON:</b> N/A
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves the right-of-way agreement for acquisition of property interests needed for the Pecos Street Improvements Project.

### **BACKGROUND:**

Adams County is in the process of acquiring property interests along the Pecos Street corridor from West 52<sup>nd</sup> Avenue to West 58<sup>th</sup> Avenue for the Pecos Street Roadway Improvement Project. The intention of this Project is to identify and improve the overall roadway and drainage of Pecos Street. Attached is a copy of the right-of-way agreement between Adams County and David M. Hamai and Khristina L. Hamai, for acquisition of property interests in the amount of \$58,670.00. The attached resolution allows the County to acquire ownership of the property interests needed for the use of the public and provide the necessary documents to close on the property.

### **AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

### **ATTACHED DOCUMENTS:**

Draft resolution  
Right-of-way agreement



**FISCAL IMPACT:**

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

**Fund: 13****Cost Center: 3056**

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:	9135	30562101	\$15,000,000
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			<b>\$15,000,000</b>

**New FTEs requested:** ☐ YES ☒ NO

**Future Amendment Needed:** ☐ YES ☒ NO

**Additional Note:**



BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING RIGHT-OF-WAY AGREEMENT  
BETWEEN ADAMS COUNTY AND DAVID M. HAMAI AND KHRISTINA L. HAMAI,  
FOR PROPERTY NECESSARY FOR THE PECOS STREET ROADWAY AND DRAINAGE  
IMPROVEMENTS PROJECT FROM WEST 52<sup>ND</sup> AVENUE TO  
WEST 58<sup>TH</sup> AVENUE

WHEREAS, Adams County is in the process of acquiring right-of-way and easements along Pecos Street corridor from West 52<sup>nd</sup> Avenue to West 58<sup>th</sup> Avenue for the Pecos Street Roadway and Drainage Improvements Project (“Project”); and,

WHEREAS, the intention of this Project is to identify and improve the overall roadway and drainage (“Improvements”); and,

WHEREAS, this right-of-way acquisition is for properties with addresses of 5545 Pecos Street located in the Northwest Quarter of Section 16, Township 3 South, Range 68 West of the 6<sup>th</sup> Principal Meridian, County of Adams, State of Colorado, and owned by David M. Hamai and Khristina L. Hamai (“Parcel RW-25”); and,

WHEREAS, Adams County requires ownership of Parcel RW-25 for construction of the Improvements; and,

WHEREAS, David M. Hamai and Khristina L. Hamai, are willing to sell Parcel RW-25 to Adams County under the terms and conditions of the attached Right-of-Way Agreement.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the attached Right-of-Way Agreement between Adams County and David M. Hamai and Khristina L. Hamai, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is approved.

BE IT FURTHER RESOLVED that the Chair of the Board of County Commissioners is hereby authorized to execute said Right-of-Way Agreement on behalf of Adams County.



## Right-of-Way Agreement

This Agreement is made and entered into by and between **David M. Hamai and Khristina L. Hamai, as joint tenants**, whose address is **5545 Pecos Street, Denver, CO 80221** ("Owner"), and the County of Adams, State of Colorado, a body politic, who address is 4430 South Adams County Parkway, Brighton, Colorado, 80601 ("County") for the conveyance of rights-of-way on property located at address of property being conveyed hereinafter (the "Property") for the Pecos Street Improvements Project (the "Project"). The legal description and conveyance documents for the interests on said Property are set forth in Exhibit A attached hereto and incorporated herein by this reference.

The compensation agreed to by the Owner and the County for the acquisition of the Property interests described herein is **FIFTY-EIGHT THOUSAND SIX HUNDRED SEVENTY AND 00/100 (\$58,670.00)**, including the performance of the terms of this Agreement, the sufficiency of which is hereby acknowledged. This consideration has been agreed upon and between the parties as the total just compensation due to the Owner and the consideration shall be given and accepted in full satisfaction of this Agreement.

In consideration of the above premises and the mutual promise and covenants below, the Owner and the County agree to the following:

1. The Owner hereby warrants that the Owner is the sole Owner of the Property, that the Owner owns the Property in fee simple subject only to matters of record and that the Owner has the power to enter into this Agreement.
2. The Owner agrees to execute and deliver to the County the attached conveyance documents on the property upon tender by the County of a warrant (check) for the compensation agreed upon as soon as possible following the execution of this agreement.
3. The Owner hereby irrevocably grants to the County possession and use of the property interests on the Property upon execution of this Agreement by the Owner and the County. This grant of possession shall remain in effect with respect to the Property until such time as the County obtains from the Owner the attached conveyance documents.
4. The Owner agrees to pay all 2020 taxes due in 2021 prior to tender by the County.
5. The County through its contractor shall assure that reasonable access shall be maintained to the Owner's property at all times for ingress and egress. If necessary, any full closure of access shall be coordinated between the contractor and the Owner and/or its agent.
6. The Owner has entered into this Agreement acknowledging that the County has the power of eminent domain and required the Property for a public purpose.



7. If the Owner fails to consummate this agreement for any reason, except the County's default, the County may at its option, enforce this agreement by bringing an action against the Owner for specific performance.
8. This Agreement contains all agreements, understandings and promises between the Owner and the County, relating to the Project and shall be deemed a contract binding upon the Owner and County and extending to the successors, heirs and assigns.
9. The Owner shall be responsible for reporting proceeds of the sale to taxing authorities, including the submittal of Form 1099-S with the Internal Revenue Service, if applicable.
10. This Agreement has been entered into in the State of Colorado and shall be governed according to the laws thereof.

**Owner:**

By: \_\_\_\_\_

David M. Hamai

**Owner:**

By: \_\_\_\_\_

Khristina L. Hamai

Date: \_\_\_\_\_

06/02/2021

Date: \_\_\_\_\_

06/02/2021

Approved:

BOARD OF COUNTY COMMISSIONERS-COUNTY OF ADAMS, STATE OF COLORADO

\_\_\_\_\_  
Chair

\_\_\_\_\_  
Date

Approved as to Form:

\_\_\_\_\_  
County Attorney





## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> June 29, 2021
<b>SUBJECT:</b> Resolution approving right-of-way agreement between Adams County and Randolph V. Laurienti for property necessary for the York Street Roadway and Drainage Improvements Project from East 78 <sup>th</sup> Avenue to East 88 <sup>th</sup> Avenue
<b>FROM:</b> Brian Staley, P.E., PTOE, Director of Public Works
<b>AGENCY/DEPARTMENT:</b> Public Works
<b>HEARD AT STUDY SESSION ON:</b> N/A
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves the right-of-way agreement for acquisition of property interests needed for the York Street Improvements Project.

### **BACKGROUND:**

Adams County is in the process of acquiring property interests along the York Street corridor from East 78<sup>th</sup> Avenue to East 88<sup>th</sup> Avenue for the York Street Roadway Improvement Project. The intention of this Project is to identify and improve the overall roadway and drainage of York Street. Attached is a copy of the right-of-way agreement between Adams County and Randolph V. Laurienti, for acquisition of property interests in the amount of \$16,140.00. The attached resolution allows the County to acquire ownership of the property interests needed for the use of the public and provide the necessary documents to close on the property.

### **AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

### **ATTACHED DOCUMENTS:**

Draft resolution  
Right-of-way agreement



**FISCAL IMPACT:**

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

**Fund: 13****Cost Center: 3056**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:	9135	30562101	\$15,000,000
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			<b>\$15,000,000</b>

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

**Additional Note:**



BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING RIGHT-OF-WAY AGREEMENT  
BETWEEN ADAMS COUNTY AND RANDOLPH V. LAURIENTI  
FOR PROPERTY NECESSARY FOR THE YORK STREET ROADWAY AND DRAINAGE  
IMPROVEMENTS PROJECT FROM EAST 78<sup>TH</sup> AVENUE TO  
EAST 88<sup>TH</sup> AVENUE

WHEREAS, Adams County is in the process of acquiring right-of-way and easements along York Street corridor from East 78<sup>th</sup> Avenue to East 88<sup>th</sup> Avenue for the York Street Roadway and Drainage Improvements Project (“Project”); and,

WHEREAS, the intention of this Project is to identify and improve the overall roadway and drainage (“Improvements”); and,

WHEREAS, this right-of-way acquisition is a portion of 8181 Welby Road located in the Southwest Quarter of Section 25, Township 2 South, Range 68 West of the 6<sup>th</sup> Principal Meridian, County of Adams, State of Colorado, and owned by Randolph V. Laurienti (“Parcel RW-217”); and,

WHEREAS, Adams County requires ownership of Parcel RW-217 for construction of the Improvements; and,

WHEREAS, Randolph V. Laurienti is willing to sell Parcel RW-217 to Adams County under the terms and conditions of the attached Right-of-Way Agreement.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the attached Right-of-Way Agreement between Adams County and Randolph V. Laurienti, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is approved.

BE IT FURTHER RESOLVED that the Chair of the Board of County Commissioners is hereby authorized to execute said Right-of-Way Agreement on behalf of Adams County.



## Right-of-Way Agreement

This Agreement is made and entered into by and between **Randolph V. Laurienti** whose address is **8181 Welby Road, Denver, Colorado 80229** ("Owner"), and the County of Adams, State of Colorado, a body politic, who address is 4430 South Adams County Parkway, Brighton, Colorado, 80601 ("County") for the conveyance of rights-of-way on property located at address of property being conveyed hereinafter (the "Property") for the York Street Improvements Project – East 78th Avenue to East 88th Avenue (the "Project"). The legal description and conveyance documents for the interests on said Property are set forth in Exhibit A attached hereto and incorporated herein by this reference.

The compensation agreed to by the Owner and the County for the acquisition of the Property interests described herein is **SIXTEEN THOUSAND, ONE HUNDRED FORTY AND NO/100 DOLLARS (\$16,140.00)**, including the performance of the terms of this Agreement, the sufficiency of which is hereby acknowledged. The parties further agree that the consideration shall consist of \$10,100.00 for the conveyance of road right-of-way and \$6,040.00 for 138 square feet of gravel driveway, 27 deciduous bushes, 1 evergreen tree, sprinkler, and sprinkler control valve. This consideration has been agreed upon and between the parties as the total just compensation due to the Owner and the consideration shall be given and accepted in full satisfaction of this Agreement.

In consideration of the above premises and the mutual promise and covenants below, the Owner and the County agree to the following:

1. The Owner hereby warrants that the Owner is the sole Owner of the Property, that the Owner owns the Property in fee simple subject only to matters of record and that the Owner has the power to enter into this Agreement.
2. The Owner agrees to execute and deliver to the County the attached conveyance documents on the property upon tender by the County of a warrant (check) for the compensation agreed upon as soon as possible following the execution of this agreement.
3. The Owner hereby irrevocably grants to the County possession and use of the property interests on the Property upon execution of this Agreement by the Owner and the County. This grant of possession shall remain in effect with respect to the Property until such time as the County obtains from the Owner the attached conveyance documents.
4. The Owner agrees to pay all 2020 taxes due in 2021 prior to tender by the County.
5. The County through its contractor shall assure that reasonable access shall be maintained to the Owner's property at all times for ingress and egress. If necessary, any full closure of access shall be coordinated between the contractor and the Owner and/or its agent.



6. The County will remove approximately 138 square feet of gravel driveway, 27 medium deciduous bushes, 1 evergreen tree, sprinkler, and sprinkler control valve. But the County has agreed to reimburse the owner the expense of the lost gravel driveway, deciduous bushes, evergreen tree, sprinkler, and sprinkler control valve for system and made a part of this Agreement.
7. The Owner has entered into this Agreement acknowledging that the County has the power of eminent domain and required the Property for a public purpose.
8. If the Owner fails to consummate this agreement for any reason, except the County's default, the County may at its option, enforce this agreement by bringing an action against the Owner for specific performance.
9. This Agreement contains all agreements, understandings and promises between the Owner and the County, relating to the Project and shall be deemed a contract binding upon the Owner and County and extending to the successors, heirs and assigns.
10. The Owner shall be responsible for reporting proceeds of the sale to taxing authorities, including the submittal of Form 1099-S with the Internal Revenue Service, if applicable.
11. This Agreement has been entered into in the State of Colorado and shall be governed according to the laws thereof.

**Owner:**

By: Randolph V. Laurienti  
Randolph V. Laurienti

Date: June 15, 2021

Approved:

BOARD OF COUNTY COMMISSIONERS-COUNTY OF ADAMS, STATE OF COLORADO

\_\_\_\_\_  
Chair

\_\_\_\_\_  
Date



Approved as to Form:

---

County Attorney



**EXHIBIT "A"**  
**RIGHT-OF-WAY NUMBER: RW-217**  
**PROJECT NUMBER: IMP-3056-1603**  
**SECTION 25, TOWNSHIP 2 SOUTH, RANGE 68 WEST**  
**SIXTH PRINCIPAL MERIDIAN**  
**ADAMS COUNTY**

**DESCRIPTION**

A tract or parcel of land No. RW-217 of Adams County Project Number IMP-3056-1603, containing 1,119 square feet, more or less, being a portion of those parcels of land described in Warranty Deeds Recorded August 20, 1954, at Reception No. 427431, December 18, 1954, at Reception No. 435976, and April 10, 1979, at Reception No. 191862, of the records of the Adams County Clerk and Records Office, situated in the Southwest Quarter of Section 25 Township 2 South, Range 68 West of the 6<sup>th</sup> Principal Meridian, County of Adams, State of Colorado, being more particularly described as follows:

**COMMENCING** at the Southwest corner of Section 25 whence the West Line of the Southwest quarter of Section 25 bears N00°04'09"E a distance of 2628.81 feet;

Thence N20°51'27"E a distance of 1086.06 feet to the Southeast corner of said parcels and the **POINT OF BEGINNING PARCEL RW-217;**

Thence N56°25'40"W along the southerly boundary of said parcel, a distance of 8.54 feet;

Thence N33°47'02"E, a distance of 134.98 feet to a point on the northerly boundary of said parcel;

Thence S56°29'51"E along the northerly boundary of said parcel, a distance of 8.05 feet to a point on the easterly boundary of said parcel;

Thence S33°34'34"W along the easterly boundary of said parcel, a distance of 134.99 feet to the **POINT OF BEGINNING PARCEL RW-217.**

**Containing 1,119 sq. ft. +/-**

I, Jerry R. Johnson, Colorado Professional Surveyor in the State of Colorado, do hereby certify that this easement description and the field survey on the ground upon which it is based were performed by me or under my direct supervision.

---

Jerry R. Johnson, PLS 29417

Date:

For and on Behalf of

Petroleum Field Services, LLC

d.b.a. Ascent Geomatics Solutions





W 1/4 COR. SEC. 25  
3-1/4" ALUMINUM CAP  
MARKED "PLS 20155 1990"

SW 1/4, SW 1/4  
SEC 25  
T2S, R68W 6TH P.M.

OWNER:  
LAURENTI VICTOR AND LAURENTI  
AGATHA A  
8181 WELBY RD  
DENVER, CO 80229

**RW-217**  
1,119 SQ FT +/-

S56°29'51"E 8.05'

N00°04'09"E 2628.81  
(BASIS OF BEARINGS)  
W. LINE SW 1/4 SEC. 25

N56°25'40"W 8.54'

P.O.B.  
RW-217

WELBY RD

N33°47'02"E 134.98'  
S33°34'34"W 134.99'

N20°51'27"E  
1086.06'



JERRY R JOHNSON  
DATE:  
PROJ: IMP-3056-1603  
FOR AND ON BEHALF OF  
PETROLEUM FIELD SERVICES, LLC  
d.b.a. ASCENT GEOMATICS SOLUTIONS

30.00' W.C. SW COR. SEC. 25  
3-1/4" ALUMINUM CAP  
MARKED "30.00' W.C. JR ENG  
LS 25369 2000"

N89°26'42"E  
30.00'

SW COR. SEC. 25  
(CALCULATED POSITION)  
P.O.C. RW-217

NOTE: THIS IS NOT A MONUMENTED SURVEY.  
IT IS INTENDED ONLY TO BE A GRAPHIC  
DEPICTION OF THE ATTACHED DESCRIPTION.



ADAMS COUNTY  
COLORADO



Ascent Geomatics Solutions  
8620 Wolff Court  
Westminster, CO 80031  
(303) 928-7128



RockSol  
Consulting Group, Inc.

12076 Grant Street  
Thornton, CO 80241  
Ph: (303) 962-9300  
Fax: (303) 962-9350

EXHIBIT "B"  
YORK ST - 78TH AVE TO 88TH AVE

RW-217  
LAURENTI VICTOR AND  
LAURENTI AGATHA A

File Name: RCG\_B180001-RW-217

Project No. IMP-3056-1603

Print Date: 01-20-2020

Sheet: 2 of 2





## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> June 29, 2021
<b>SUBJECT:</b> Fleet Project - Parking Agreement
<b>FROM:</b> Nicci Beauprez, Project Manager of Land & Assets
<b>AGENCY/DEPARTMENT:</b> Facilities & Fleet Management
<b>HEARD AT STUDY SESSION ON:</b> n/a
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners Approves License Agreement for Parking and Vehicle Storage at 5135 East 74 <sup>th</sup> Avenue.

### **BACKGROUND:**

Adams County (County) is in progress for renovation and improvements to its Fleet and Public Works building in Commerce City. As a result of the project and return to work accommodations, parking is needed. SHOCO Oil, Inc wishes to lease to County and County wishes to lease from SHOCO according to the terms and conditions of the attached agreement.

### **AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Facilities & Fleet Management, County Attorney's Office

### **ATTACHED DOCUMENTS:**

Resolution  
License Agreement



**FISCAL IMPACT:**

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

**Fund:** 00004**Cost Center:** 3165

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			<u>0</u>

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:	9055	31651801	19,067,970
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			<u>19,067,970</u>

**New FTEs requested:** ☐ YES ☒ NO

**Future Amendment Needed:** ☐ YES ☒ NO

**Additional Note:**

\$1,000 per month until we vacate.



BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING LICENSE AGREEMENT FOR  
PARKING AND VEHICLE STORAGE AT 5135 EAST 74<sup>TH</sup> AVENUE

Resolution 21-

WHEREAS, Adams County (County) is in the process of renovating a nearby property at 4955 E 74<sup>th</sup> Avenue in Commerce City; and,

WHEREAS, County wishes to license Shoco Oil, Inc (SHOCO) property at 5135 East 74<sup>th</sup> Avenue according to the terms and conditions of the attached License Agreement for one year starting July 2021 through July 2022 with the option to extend the agreement through July 2023 for \$1,000 per month; and,

NOW THEREFORE BE IT RESOLVED, by the Board of County Commissioners of the County of Adams, State of Colorado, that the License Agreement for Parking and Vehicle Storage at 5135 East 74<sup>th</sup> Avenue, a copy of which is attached hereto, be and hereby is approved.

BE IT FURTHER RESOLVED that the Chair is authorized to execute said License Agreement for Parking and Vehicle Storage at 5135 East 74<sup>th</sup> Avenue on behalf of Adams County.



LICENSE AGREEMENT FOR PARKING AND VEHICLE STORAGE AT 5135 East  
74<sup>th</sup> Avenue

THIS LICENSE AGREEMENT (the "Agreement") is made as of \_\_\_\_\_, 2021 ("Effective Date"), by and between the Adams County Board of County Commissioners, located at 4430 S. Adams County Parkway, Brighton, CO 80601 ("Licensee"), and Shoco Oil Inc., a Colorado corporation, located at P.O. Box 867, Brighton, CO 80601 ("Licensor").

RECITALS

A. Licensor is the owner of property located at 5135 E 74<sup>th</sup> Avenue, Commerce City, Colorado, consisting of both a commercial establishment and some vacant land (the "Property").

B. Licensee is in the process of renovating a nearby building and wishes to use a portion of the Property as depicted in Exhibit A (the "Premises") to park and store Licensee's vehicles and it's contractor's vehicles during the renovation pursuant to the terms and conditions of this Agreement.

C. Licensor is willing to grant permission for said vehicle parking and storage on the Premises pursuant to the terms and conditions set forth herein provided that Licensee's use of the Premises does not unduly interfere with Licensor's commercial use of the Property.

AGREEMENT

NOW, THEREFORE, in consideration of the sum of the promises set forth in this Agreement, the receipt and sufficiency of which is hereby stipulated, Licensor hereby grants Licensee a non-exclusive revocable license to use the portions of the Premises as set forth in this Agreement:

1. Use.

(a) Licensee shall have the exclusive right to park and store various vehicles on the Premises, including, but not limited to, cars, trucks, trailers, tractor trailers, and various construction vehicles. Licensee shall not exceed a maximum of one hundred sixty (160) of said vehicles at any given time. Licensee shall conduct the entry and exit of its vehicles on the Property in a manner that least disturbs the traffic flow in and out of the Property and that does not materially interfere with Licensor's commercial operations on the Property, including the ability of Licensor's suppliers, contractors, patrons, and other visitors to enter, exit, and access Licensor's commercial operations.

(b) Licensee shall remove all trash caused by its use of the Premises. Licensee shall not bring any hazardous substances onto the Premises. Licensee shall be



solely responsible for installing such minimally invasive signs as it needs to control access to its vehicles.

2. Term. The term of Licensee's rights under this Agreement shall commence on the Effective Date hereof and shall terminate one year thereafter (the "Expiration Date"), unless terminated earlier as provided herein. In the event Licensee's renovation is not completed by the Expiration Date, Licensee may, upon written notice to Licensor, extend this Agreement for an additional one-year term upon the same terms and conditions stated in this Agreement. Either party may terminate this Agreement at any time and for any reason upon 90 days' prior written notice to the other.

3. Rent. Rent shall be one thousand dollars per month, with the first, pro-rated month's payment payable upon the Effective Date. Rent for each following month shall be payable by the first day of each month.

4. Maintenance and Operation of the Premises.

(a) Licensee shall be responsible for all costs associated with vehicle storage on the Premises.

(b) Licensee, at its sole expense, shall obtain all necessary governmental permits for its operations.

5. Damage to Property. Licensor shall not be responsible for the security of the vehicles or for any theft or vandalism that occurs to the vehicles unless caused by Licensor, its employees or agents. The keeping or storing of all property of Licensee on the Premises shall be at the sole risk of Licensee, and Licensee shall be solely responsible for maintaining insurance for its personal property and for the acts of its employees while on the Premises. Licensee is a governmental entity and shall maintain insurance in compliance with the Colorado Governmental Immunity Act at all times that this Agreement is effective. Licensee shall be responsible for repairing any damage to the Premises or Property caused by its use of the Premises pursuant to this Agreement, including repairing any fence or asphalt damage caused by Licensee's use of the Premises or Property. Licensee shall not, however, be liable to the extent such damages are caused by the gross negligence or willful misconduct of Licensor, or for consequential damages.

6. Liability. Licensee shall be responsible for all liability, loss, damages, costs, or expenses incurred by Licensor where the injuries are caused by the actions or omissions of Licensee, Licensee's agents, servants, contractors, or employees, or of any other person entering onto the licensed premises under express or implied invitation of Licensee pursuant to this Agreement. Licensee shall not, however, be liable to the extent such damages are caused by the gross negligence or willful misconduct of Licensor, or for consequential damages.



7. Surrender and Notice. Upon the expiration or other termination of the term, Licensee shall quit and surrender to Licensor the licensed premises in good order and condition, and Licensee shall remove all of its vehicles and property/equipment and restore the licensed premises to its original condition, normal wear and tear excepted.

8. Attorneys' Fees. In the event of any action filed in relation to this Agreement, each party shall pay its own reasonable attorneys' fees and other disbursements.

9. Entire Agreement. This Agreement constitutes the entire agreement of the parties hereto with respect to Licensee's use of the Premises and shall supersede all prior offers, negotiations, and agreements.

10. Notices. All notices and other communications required or permitted under this Agreement shall be in writing and shall be given by United States first class mail, postage prepaid, registered or certified, return receipt requested, or by hand delivery (including by means of a professional messenger service) to the address noted below:

For Licensee:

Facilities & Fleet Management  
Attn: Nicci Beauprez, Project Manager—Land & Assets  
4430 S. Adams County Parkway, Suite C1700  
Brighton, CO 80601  
Phone: 720-523-6060

County Attorney's Office  
4430 S. Adams County Parkway  
Brighton, CO 80601

For Licensor:

Shoco Oil Inc.  
P. O. Box 867  
Brighton, CO 80601

Any such notice or other communication shall be deemed to be effective when actually received or refused. Either party may by similar notice given change the address to which future notices or other communications shall be sent.

11. Transfer and Assignment. Licensee shall have no right to sublet, assign or transfer this Agreement, or rights arising under this Agreement. Any assignment or sublease in violation of this section shall be void.



12. As Is; No Licensor Representations. Licensee acknowledges and agrees that it accepts the licensed premises in its "as is" condition and Licensee has not relied upon any statements, representations, agreements, or warranties by Licensor, its agents or employees, except such as are expressed herein, and that no amendment or modification of this Agreement shall be valid or binding unless expressed in writing and executed by the parties hereto.

13. No Recordation. This Agreement shall not be recorded. Any recordation by Licensee of this Agreement or any memorandum of this Agreement shall constitute an automatic and non-curable default under this Agreement.

14. Governing Law. This Agreement will be governed by the internal laws of the State of Colorado, without reference to its conflict of laws provisions. Venue for any dispute shall be in Adams County, Colorado.

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed the day and year first written above.

LICENSEE:

Adams County Board of County  
Commissioners

By: \_\_\_\_\_  
Chair  
Date: \_\_\_\_\_

LICENSOR:

Shoco Oil Inc.

By: Rebecca Johnson  
Name: Rebecca J Johnson Vice President  
Date: 6-1-21

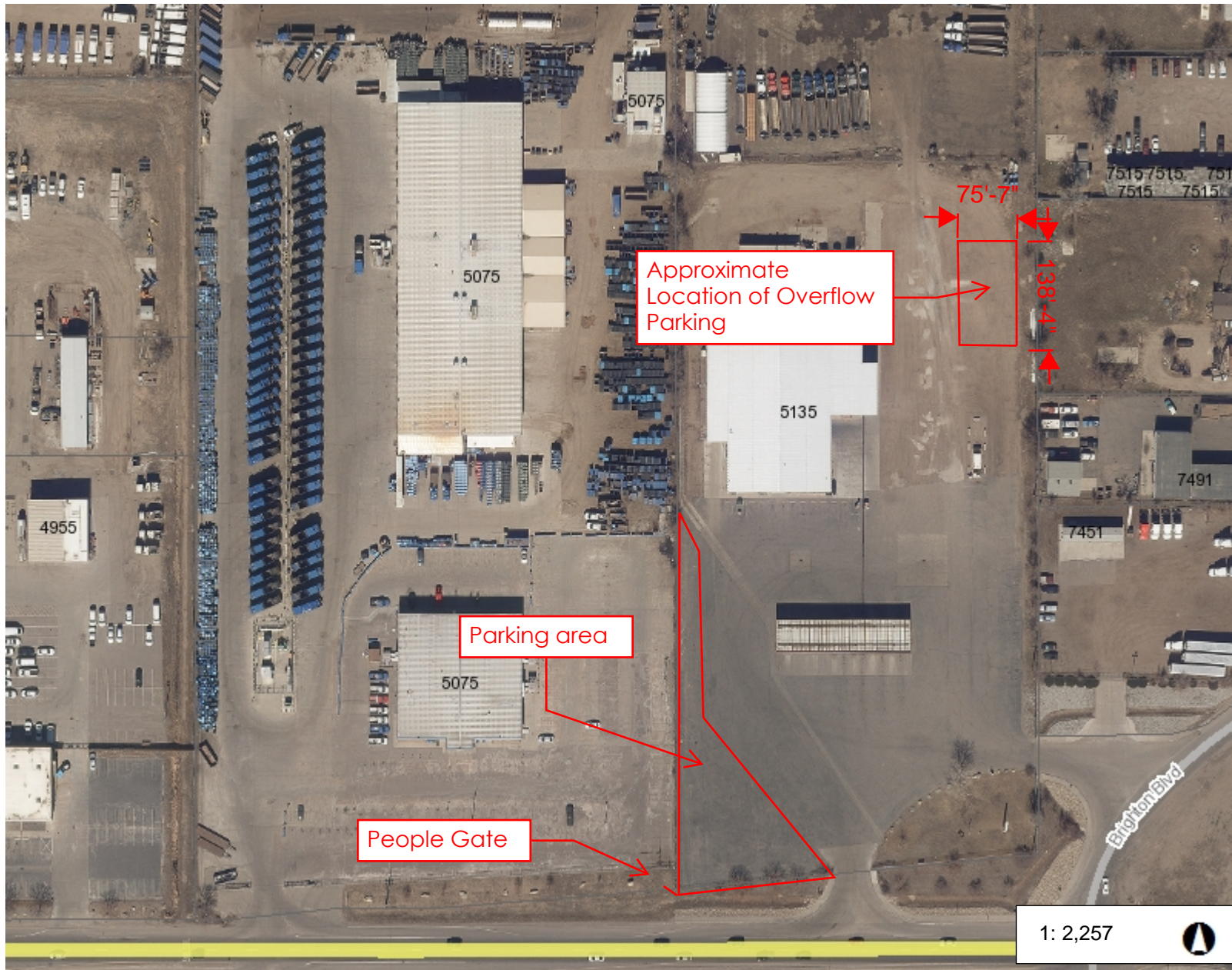
Approved to Form

\_\_\_\_\_  
County Attorney's Office





## Exhibit A - Adams County Map



### Legend

- Lake
- Lake
- River
- County Parks and Open Space
- Highways
- Highways (2,000 - 3,000)
- Interstate
- Highway
- Tollway
- Streets
- Streets (2,000 -10,000)
- Streets
- Ramp
- Address
- Parcels
- County Boundary

376.2 0 188.08 376.2 Feet

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION

### Notes





## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> June 29, 2021
<b>SUBJECT:</b> Fourth Amendment to the 2021 Adams County Budget
<b>FROM:</b> Marc Osborne, Deputy Budget Director
<b>AGENCY/DEPARTMENT:</b> Budget & Finance Department
<b>HEARD AT STUDY SESSION ON:</b> June 15, 2021
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners Approves the Fourth Amendment to the 2021 Adams County Budget.

### **BACKGROUND:**

The Annual Budget is a financial plan and is adopted prior to the start of the fiscal year. Budget Amendments are periodically required to properly incorporate items into the Annual Budget as they arise during the course of the fiscal year. See attached summary for more information regarding items included in this particular amendment.

### **AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

County Manager's Office and Budget and Finance Departments

### **ATTACHED DOCUMENTS:**

Resolution Authorizing Fourth Supplemental Appropriations to the 2021 Adams County Government Budget.

Exhibit A – Summary of items included in the Fourth Amendment to 2021 Budget.



**FISCAL IMPACT:**

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

**Fund:****Cost Center:**

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			

**New FTEs requested:** ☐ **YES** ☐ **NO**

**Future Amendment Needed:** ☐ **YES** ☐ **NO**

**Additional Note:**

Fiscal impact is summarized at the fund level. Given the length, the summary is attached for full disclosure of fiscal impact.



BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION AUTHORIZING FOURTH SUPPLEMENTAL APPROPRIATIONS TO THE  
2021 ADAMS COUNTY GOVERNMENT BUDGET

Resolution 2021 -

WHEREAS, the 2021 Adams County Government Budget requires supplemental appropriations of funds to satisfy requests as listed on the attached Exhibit A; and,

WHEREAS, the Budget & Finance Department has determined the availability of unappropriated fund balances; and,

WHEREAS, there are additional revenues and other financing sources that were not assured at the time of the adoption of the 2021 Adams County Government Budget; and,

WHEREAS, the following departmental budgets listed by fund on the attached Exhibit A will be increased or decreased by the amounts so noted; and,

WHEREAS, the revenues to support the budget increases are listed by amount from respective sources.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Fourth Supplemental Appropriations to the 2021 Adams County Government budget is hereby authorized.

BE IT FURTHER RESOLVED that the Budget & Finance Department is authorized to make the above stated budget adjustments to the 2021 Adams County Government Budget.



## Exhibit A - Amendments

Fourth Amendment to the 2021 Budget  
Resolution No. TBD  
For Adoption on June 29, 2021  
Study Session: June 15, 2021



**Purpose of Resolution:**

A resolution to amend the 2021 Budget. Summary information by Fund and Department is listed below. Additional detailed information is attached for consideration and review.

Fund	Department	Expenditure Amount	Revenue Amount	Use of Fund Balance	FTE
GENERAL FUND	Admin/Org	\$54,721,938	\$54,721,938	\$0	-
Total Appropriation		\$54,721,938	\$54,721,938	\$0	0.00

Fund Summary	Expenditure Amount	Revenue Amount	Use of Fund Balance	FTE
GENERAL FUND	\$54,721,938	\$54,721,938	\$0	0.00
Total Appropriation	\$54,721,938	\$54,721,938	\$0	0.00





## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> June 29, 2021
<b>SUBJECT:</b> Temporary Voting Center at Western Services Center
<b>FROM:</b> Mike Holub, Director
<b>AGENCY/DEPARTMENT:</b> Facilities & Fleet Management
<b>HEARD AT STUDY SESSION ON:</b> n/a
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners Approves Intergovernmental Agreement with the City of Westminster for Temporary Space at Western Services Center.

**BACKGROUND:**

Adams County (County) owns 12200 North Pecos Street in Westminster Colorado known as its Western Services Center (WSC). The City of Westminster (City) is in the process of conducting a municipal recall election and wishes to temporarily use vacant space in WSC according to the terms and conditions of the attached Intergovernmental Agreement (IGA) through July 21, 2021.

**AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Facilities & Fleet Management, County Attorney's Office

**ATTACHED DOCUMENTS:**

Resolution

Intergovernmental Agreement



**FISCAL IMPACT:**

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

**Fund:****Cost Center:**

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			<u>0</u>

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			<u>0</u>

**New FTEs requested:** ☐ YES ☒ NO

**Future Amendment Needed:** ☐ YES ☒ NO

**Additional Note:**



BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING INTERGOVERNMENTAL AGREEMENT  
BETWEEN ADAMS COUNTY AND THE CITY OF WESTMINSTER  
FOR TEMPORARY SPACE AT WESTERN SERVICES CENTER

Resolution 21-

WHEREAS, Adams County (County) owns 12200 North Pecos Street in Westminster Colorado known as its Western Services Center (WSC); and,

WHEREAS, The City of Westminster (City) is in the process of conducting a municipal recall election and wishes to temporarily use vacant space in WSC according to the terms and conditions of the attached Intergovernmental Agreement (IGA); and,

WHEREAS, County is willing to allow City temporary use of its vacant space on the 1<sup>st</sup> floor in the WSC through July 21, 2021 according to the terms and conditions of the attached Intergovernmental Agreement.

NOW THEREFORE BE IT RESOLVED, by the Board of County Commissioners of the County of Adams, State of Colorado, that the Intergovernmental agreement with the City of Westminster for Temporary Space at Western Services Center, a copy of which is attached hereto, be and hereby is approved.

BE IT FURTHER RESOLVED that the Chair is authorized to execute said Intergovernmental agreement with the City of Westminster for Temporary Space at Western Services Center on behalf of Adams County.



**ADAMS COUNTY, COLORADO  
INTERGOVERNMENTAL AGREEMENT WITH THE CITY OF WESTMINSTER FOR  
TEMPORARY SPACE  
AT WESTERN SERVICES CENTER**

THIS INTERGOVERNMENTAL AGREEMENT FOR TEMPORARY SPACE AT ADAMS COUNTY'S WESTERN SERVICES CENTER ("IGA") is made this \_\_\_\_ day of \_\_\_\_\_, 2021, between the Adams County Board of County Commissioners, located at 4430 S. Adams County Parkway, Suite C5000A, Brighton, CO 80601, hereinafter referred to as "County," and the City of Westminster, located at 4800 West 92<sup>nd</sup> Avenue, Westminster, CO 80031, hereinafter referred to as "City."

**RECITALS**

WHEREAS, City is in the process of conducting a municipal recall election; and,

WHEREAS, City wishes to temporarily use vacant space in County's Western Services Center as a vote center; and,

WHEREAS, County is willing to allow City to temporarily use the vacant space in its Western Services Center upon the terms and conditions of this IGA.

NOW, THEREFORE, for adequate consideration the receipt and sufficiency of which is acknowledged by the parties, the parties agree as follows:

1. PREMISES.

The premises to be used by City is a portion of the first floor of the County's Western Services Center located at 12200 N. Pecos Street in Westminster, as depicted in Exhibit 1, attached hereto and incorporated herein ("Premises"). The Premises shall be secured by reasonable and appropriate lock and key provided by County at all entry points.

2. USE OF PREMISES

City shall use the Premises for vote center purposes during its July 2021 special recall election, including set up and break down before and after the election. City shall be responsible for the conduct of any of its employees, agents, guests, or invitees using or occupying the Premises, as well as the employees, agents, guests, or invitees of other agencies using or occupying the Premises in furtherance of City's election.

City shall not, without County's prior written consent, use the Premises for any purposes substantially different from those stated above. City shall conduct City's business and, to the best of City's ability, control City's agents, employees, licensees, guests, and invitees in such a manner as will not create any nuisance or unreasonably interfere with, disturb, or annoy other persons in their use and operation of the Western Services Center. City shall at all times maintain the



Premises in a usable and sanitary condition, and comply with all laws, ordinances, orders, rules, and regulations pertaining to the use or occupancy of the Premises that have been adopted by any governmental authority having jurisdiction of the Premises, including any building use guidelines established by County and provided to City. City shall comply with all covenants and restrictions of record relating to the Premises, building, or land on which they are constructed as disclosed by County to City.

3. TERM

This IGA shall commence on July 11, 2021 and terminate on July 21, 2021. Operating hours shall be the normal business hours of the Western Services Center. Upon the request of City, the Adams County Director of Facilities and Fleet Management shall have sole discretion whether to expand normal operating hours.

4. RENT AND SECURITY DEPOSIT

- a) No security deposit or rent is being charged as part of this IGA.
- b) City shall be solely responsible for all costs related to the election, including costs of set up and break down. City shall be solely responsible for supplying and maintaining any equipment needed to conduct its business.

5. COUNTY'S OWNERSHIP

County warrants and represents itself to be the owner of the Premises in the form and manner as stated herein, and during the term of this IGA covenants and agrees to warrant and defend City in the quiet, peaceable enjoyment and possession of the Premises.

6. SERVICES BY COUNTY

County shall provide the following services to the Premises during the term of this IGA:

- a) County shall supply all utilities, including water, sewer, gas, and electricity.
- b) County shall be responsible for interior building maintenance. City shall have access to restrooms, which will be maintained and cleaned by County.
- c) County shall provide City and City's employees, agents, licensees, and invitees the use of parking spots designated in the parking areas associated with County's Premises.
- d) County shall be responsible for maintaining all interior lighting fixtures to the Premises, including the service, repair or replacement of all tubes, bulbs, equipment, parts, and accessories.



- e) County shall be responsible for the repair and replacement of all plate glass, windows, and doors on the Premises.
- f) County shall be responsible for the service, repair and/or replacement of all equipment, parts, and accessories for the heating, ventilation, and air conditioning ("HVAC") units or systems serving the Premises. Heat and refrigerated air conditioning shall be provided in season and forced air ventilation shall be provided throughout the year, sufficient to keep the premises comfortable for City and City's employees, agents, guests and invitees during normal business hours, or as otherwise allowed by the Adams County Director of Facilities and Fleet Management. "Normal business hours" means 7:00 a.m. to 5:00 p.m., Monday through Friday, except County holidays.
- g) County will provide phone service, phone lines, and phones.
- i) City is responsible for providing its own computers, election machines and equipment, copiers, and office supplies or other supplies needed to conduct its business. County is responsible for providing voice software maintenance, ISP circuit service, and Internet hardware and accessibility.
- j) County will provide and support public Wifi access to the internet. Wifi will cover all areas occupied by the City and provide a minimum of 40Mbps download and upload speeds.

7. CONDITION OF PREMISES

City shall be deemed, by occupying the Premises, to have accepted in every respect the condition of the Premises. County makes no warranties or representations about the habitability of the Premises or its fitness for a particular purpose. City accepts the Premises in its "as is" condition.

8. MAINTENANCE, REPAIRS, AND ALTERATIONS

Unless herein specified to the contrary, County shall maintain the Premises in good repair and condition during the term of this IGA, except in the event of damage arising from the negligence or intentional misconduct of City or City's employees, agents, licensees, guests, or invitees. City shall be solely responsible for repair costs caused by the negligence or intentional misconduct of City's employees, agents, licensees, guests, or invitees. County shall make all repairs to the Premises. City shall keep the Premises in good condition and shall neither commit nor allow any waste or damage to the Premises by failing to take action within City's control. City shall not tamper with or attempt to repair exterior window glass, heating, ventilating, or air conditioning equipment, or other structural, electrical, or mechanical components of the building. City shall not make any alterations to the Premises without County's prior written consent. City shall not allow any encumbrance or lien to be placed against the Premises and shall be solely responsible for all costs incurred by County, including attorney fees, to remove said encumbrance or lien.



9. INTERRUPTION OF SERVICES

County will try to make sure that all essential services to the Premises are in working order during the term of this IGA. However, County cannot guarantee that all essential services will be in working order at any given time. In the event there is an interruption in essential services, either party may terminate this IGA.

10. SIGNS

Directional and other signs identifying City's election space, whether interior or exterior, shall be provided by City, and installation shall be coordinated with County.

11. ENTRY BY COUNTY

- a) County, its agent, employees, and contractors may enter the Premises at any time if escorted by a representative of the City and during normal business hours, which shall be defined as from 7:00 a.m. to 5:00 p.m., Monday through Friday, with County holidays excepted, and after having given twenty-four hours' telephonic, electronic, or written notice to City of County's intent to do so. In the event County requires entry into City's secured areas, County shall notify City in advance and arrange a mutually convenient time so that County can be accompanied by City or City's designee. In an emergency situation, which shall be defined as any situation in which the immediate safety of the any person or the Premises is in danger, County may enter the Premises without prior notice to City.

12. INSURANCE

City is a governmental entity and shall maintain insurance complying with the Colorado Governmental Immunity Act at all times during the term of this IGA. City shall be responsible, at its sole cost and expense, for obtaining fire and casualty insurance covering its equipment and all other personal property located on the Premises. City shall be responsible for any damage or injury caused by its employees, contractors, agents, invitees, and licensees while on the Premises, including the parking lot.

13. GOVERNMENTAL IMMUNITY ACT

The parties are governmental entities subject to the Colorado Governmental Immunity Act. Notwithstanding any other provision of this IGA to the contrary, no term or condition of the IGA shall be construed or interpreted as a waiver of any provision of the Colorado Governmental Immunity Act, C.R.S. §24-10-101 *et seq.*, as now or hereafter amended.

14. IGA ASSIGNMENT

City shall not assign or encumber this IGA and shall not sublet the Premises.



15. END OF TERM OR SURRENDER OF PREMISES

Upon expiration or earlier termination of this IGA or any portion of the Premises, City will promptly quit and surrender the Premises broom-clean, in good order and repair, ordinary wear and tear excepted. Prior to surrendering possession of the Premises, City shall remove all of City's property and equipment, and restore the Premises to its original condition at the time of commencement of this IGA, excepting normal wear and tear. City's obligations under this section of the IGA shall survive the expiration or other termination of the IGA.

16. JURISDICTION AND VENUE

The laws of the state of Colorado shall govern as to the interpretation, validity, and effect of this IGA. The parties agree that jurisdiction and venue for any disputes arising under this Agreement shall be in Adams County, Colorado.

17. INTEGRATION OF UNDERSTANDING

This IGA, and the attachments hereto, contain the entire understanding of the parties, and neither it, nor the rights and obligations hereunder, may be changed, modified, or waived except by an instrument in writing that is signed by the parties hereto.

18. SEVERABILITY

If any provision of this IGA is determined to be unenforceable or invalid for any reason, the remainder of this IGA shall remain in effect, unless otherwise terminated in accordance with the terms contained herein.

19. NOTICE

Any notice required or permitted by this IGA may be delivered in person or sent by registered or certified mail, return receipt requested, to the party at the address as thereafter provided, and if sent by mail it shall be effective when posted in the U.S. Mail Depository with sufficient postage attached thereto:

County:	City:
Director of Facilities and Fleet Management 4430 S. Adams County Parkway Brighton, CO 80601 Phone: 720-523-6003  And a copy to:	City Clerk Office - Michelle Parker 4800 West 92 <sup>nd</sup> Avenue Westminster, CO 80031 303-658-2437  And a copy to: tmccabe@cityofwestminster.us



Adams County Attorney's Office 4430 S. Adams County Parkway Suite C5000B Brighton, CO 80601	
Notice of change of address shall be treated as any other notice.	

20. FORCE MAJEURE

Neither party shall be liable for any delay or failure to perform its obligations hereunder to the extent that such delay or failure is caused by a force or event beyond the control of such party including, without limitation, war, pandemic, embargoes, strikes, governmental restrictions, riots, fires, floods, earthquakes, acts of terrorism, insurrection, targeted criminality, or other acts of God.

21. COMPLIANCE WITH LAWS; NO HAZARDOUS USE OF PREMISES

During the term of this IGA, the parties agree to strictly adhere to all applicable federal, state, and local laws, statutes, rules, and regulations, including all licensing and permit requirements. City shall not keep anything on the Premises that is a dangerous, flammable or explosive substance, or that might increase the danger of fire or any other hazard, including environmental hazards. There shall be no waste disposal or dumping on the Premises, including the disposal or storage of construction materials.

22. MISCELLANEOUS

County does not give up any rights by failing to enforce any terms of this IGA. Paragraph headings are inserted for the convenience of reference only. Nothing expressed or implied in this IGA is intended or shall be construed to confer upon or to give to any person other than the parties any right, remedy, or claim under or by reason of this IGA. All covenants, terms, conditions, and provisions in this IGA shall be for the sole and exclusive benefit of City and County.



IN WITNESS WHEREOF, the parties hereto have caused their names to be affixed hereto.

BOARD OF COUNTY COMMISSIONERS  
ADAMS COUNTY, COLORADO

\_\_\_\_\_  
Chair

\_\_\_\_\_  
Date

ATTEST:  
JOSH ZYGIELBAUM  
CLERK AND RECORDER

APPROVED AS TO FORM:

\_\_\_\_\_  
Adams County Attorney's Office

\_\_\_\_\_  
Deputy Clerk

CITY OF WESTMINSTER

*Michelle Parker*  
\_\_\_\_\_  
City Clerk





**Certificate Of Completion**

Envelope Id: F829962F07134D74B4B2808594B712B3

Status: Completed

Subject: Please DocuSign: (CAO REDLINE) IGA Temporary Election Space Western Services Center.DOCX

DocuSignDocumentType: Contract

CobbleStoneNumber: 123

DateOfContract: 5/27//2021

Source Envelope:

Document Pages: 7

Signatures: 1

Envelope Originator:

Certificate Pages: 2

Initials: 0

City of Westminster

AutoNav: Enabled

Stamps: 1

4800 West 92nd Avenue

Enveloped Stamping: Enabled

Westminster, CO 80031

Time Zone: (UTC-07:00) Mountain Time (US &amp; Canada)

westminsterdocuSign@cityofwestminster.us

IP Address: 198.243.1.248

**Record Tracking**

Status: Original

Holder: City of Westminster

Location: DocuSign

5/27/2021 3:55:41 PM

westminsterdocuSign@cityofwestminster.us

**Signer Events****Signature****Timestamp**

Michelle Parker

mparker@cityofwestminster.us

City Clerk

City of Westminster

Security Level: Email, Account Authentication (None)



Sent: 5/27/2021 3:55:41 PM

Viewed: 6/1/2021 10:53:33 AM

Signed: 6/1/2021 10:53:42 AM

Signature Adoption: Uploaded Signature Image

Using IP Address: 198.243.1.248

**Electronic Record and Signature Disclosure:**

Not Offered via DocuSign

**In Person Signer Events****Signature****Timestamp****Editor Delivery Events****Status****Timestamp****Agent Delivery Events****Status****Timestamp****Intermediary Delivery Events****Status****Timestamp****Certified Delivery Events****Status****Timestamp****Carbon Copy Events****Status****Timestamp**

Traves McCabe

tmccabe@cityofwestminster.us

Information Records Administrator

City of Westminster

Security Level: Email, Account Authentication (None)

**COPIED**

Sent: 5/27/2021 3:55:41 PM

Viewed: 5/27/2021 3:55:41 PM

Signed: 5/27/2021 3:55:41 PM

**Electronic Record and Signature Disclosure:**

Not Offered via DocuSign

Mike Holub

MHolub@adcogov.org

Security Level: Email, Account Authentication (None)

**COPIED**

Sent: 6/1/2021 10:53:43 AM

Viewed: 6/2/2021 9:47:59 AM



Carbon Copy Events	Status	Timestamp
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Electronic Record and Signature Disclosure:  
Not Offered via DocuSign

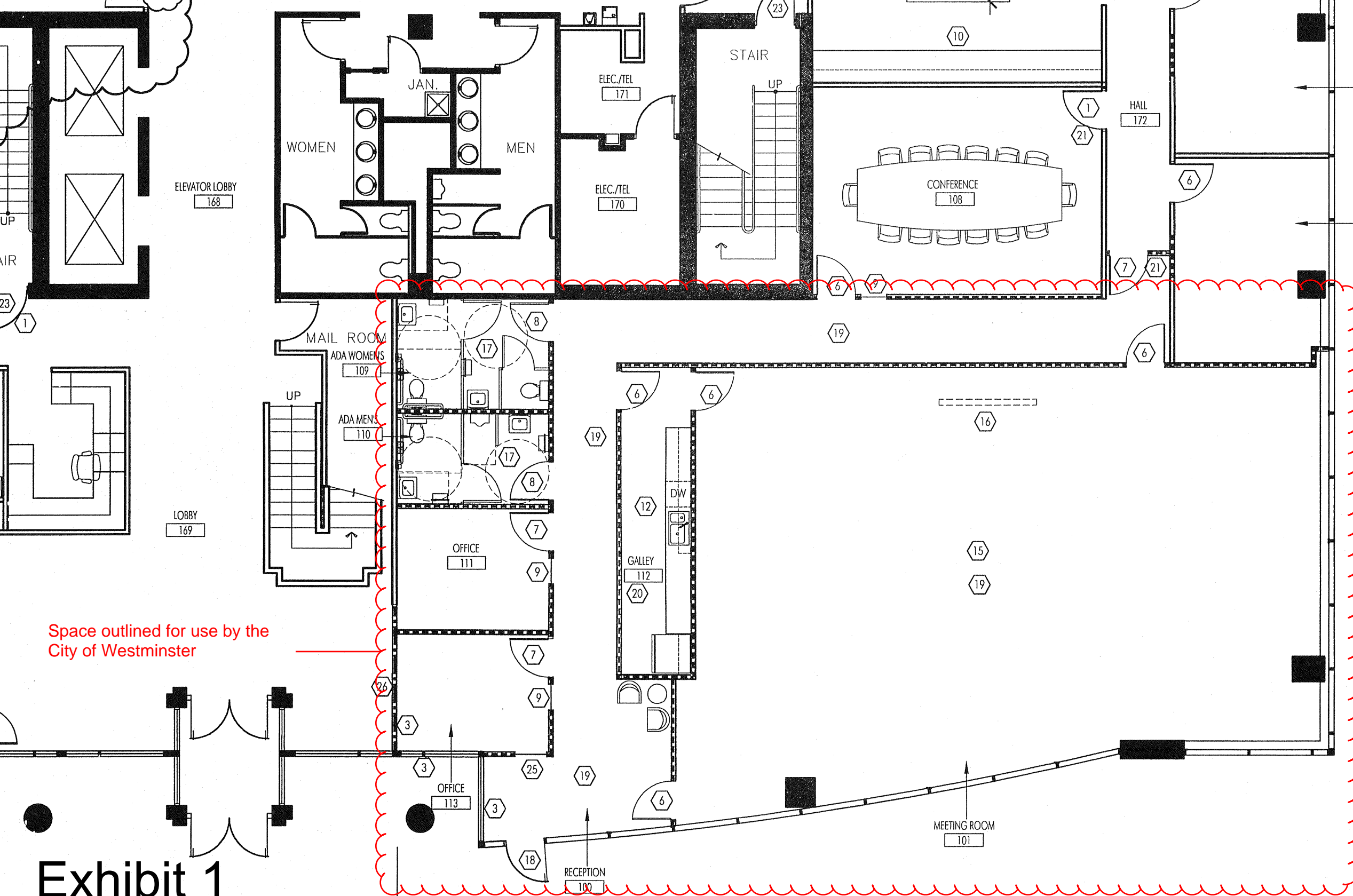
Witness Events	Signature	Timestamp
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Notary Events	Signature	Timestamp
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Envelope Summary Events	Status	Timestamps
Envelope Sent	Hashed/Encrypted	5/27/2021 3:55:41 PM
Certified Delivered	Security Checked	6/1/2021 10:53:33 AM
Signing Complete	Security Checked	6/1/2021 10:53:42 AM
Completed	Security Checked	6/1/2021 10:53:43 AM

Payment Events	Status	Timestamps
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Space outlined for use by the  
City of Westminster

Exhibit 1





## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> June 29, 2021
<b>SUBJECT:</b> Anti-Ligature Inmate Bunk System
<b>FROM:</b> Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement and Contracts Manager
<b>AGENCY/DEPARTMENT:</b> Facilities and Fleet Management Department, Sheriff's Office
<b>HEARD AT STUDY SESSION ON:</b> N/A
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves an Agreement with MaxSecure Systems, Inc., for an anti-ligature inmate bunk system at the Adams County Detention Facility.

### **BACKGROUND:**

The Adams County Facilities and Fleet Management Department has budgeted \$3,180,571.00, for an anti-ligature inmate bunk system at the Adams County Detention Facility. An assessment of the Detention Facility was performed in 2019 and found that anti-ligature measures was the highest concern. The new suicide-resistant bunk system will alleviate tie-off ligature locations within the inmate cells.

Clark County, Washington awarded a cooperative contract to MaxSecure Systems, Inc., in 2019, for the anti-ligature inmate bunk system. Since installing the new composite bunk system in the Clark County Jail, there has been no successful inmate suicides. By utilizing the cooperative contract, the County can streamline the procurement process and receive competitive pricing. The contract award includes cooperative language, the use of these agreements adheres to the Adams County Purchasing Policy, Appendix E – Cooperative, Single, and Sole Source Purchases.

The recommendation is to approve an Agreement with MaxSecure Systems, Inc., for the anti-ligature inmate bunk system, in the not to exceed amount of \$3,180,571.00.

### **AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Facilities and Fleet Management Department  
Sheriff's Office



**ATTACHED DOCUMENTS:**

Resolution

**FISCAL IMPACT:**

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

<b>Fund: 1</b>			
<b>Cost Center: 2071</b>			
	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			
	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Operating Expenditure:	9055	20711807	\$3,180,571
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			\$3,180,571

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☐ NO

**Additional Note:**



BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AN AGREEMENT BETWEEN ADAMS COUNTY AND  
MAXSECURE SYSTEMS, INC., FOR AN ANTI-LIGATURE INMATE BUNK SYSTEM

WHEREAS, the Facilities and Fleet Management Department budgeted for an anti-ligature inmate bunk system within the inmate cells at the Adams County Detention Facility; and,

WHEREAS, Clark County, Washington awarded a cooperative agreement to MaxSecure Systems, Inc., in 2019 for the anti-ligature inmate bunk system which included cooperative language. The use of cooperative agreements adheres to the Adams County Purchasing Policy, Appendix E-Cooperative, Single and Sole Source Purchases; and,

WHEREAS, MaxSecure Systems, Inc., agrees to provide an anti-ligature inmate bunk system in the not to exceed amount of \$3,180,571.00.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Agreement between Adams County and MaxSecure Systems, Inc., for an anti-ligature inmate bunk system is hereby approved.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign the Agreement with MaxSecure Systems, Inc., on behalf of Adams County, after negotiation and approval as to form is completed by the County Attorney's Office.





## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> June 29, 2021
<b>SUBJECT:</b> Culinary Services
<b>FROM:</b> Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement and Contracts Manager
<b>AGENCY/DEPARTMENT:</b> Adams County Human Services Department Workforce and Business Center, Temporary Assistance for Needy Families (TANF)
<b>HEARD AT STUDY SESSION ON:</b> N/A
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves an Agreement with Work Options for Women to provide Culinary Training and Internship Program Services.

### **BACKGROUND:**

Work Options for Women CORE (Culinary Objectives for Reaching Employment) Training Program is a 6–8-week culinary job training program. Training involves moving through 6 stations and learning the skills listed on the station checklist. Students receive individualized training and then practice the new skills throughout the week. Each week students moves to the next station gaining new skills and practicing the previous skills. Skills include technical culinary skills, soft interpersonal skills and job readiness skills. The combination of technical and soft skills supports the student's ability to get and keep a job. During the program students also work with an Employment Specialist to identify barriers to employment and work to reduce or resolve the barriers. Students complete the program through employment. Twelve months of follow-up services are included in the program. This program will support and staff the café located within the Adams County Human Services Building.

The Workforce Business Center Department receives federal TANF block grant funds through the State to assist with the goals of the Workforce and Business Center TANF program. The grant awarded will provide eighty-five percent (85%) funding with Adams County responsible for the remaining fifteen percent (15%).

The recommendation is to approve a Sole Source Agreement with Work Options for Women to provide Culinary Training and Internship Program Services in the not to exceed amount of \$300,000.00.

### **AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Human Services Department Workforce and Business Center (TANF)



**ATTACHED DOCUMENTS:**

Resolution

**FISCAL IMPACT:**

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

<b>Fund: 15</b>			
<b>Cost Center: 99915, Various</b>			
	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Revenue:	99915.5755		\$50,239,790
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			<u>\$50,239,790</u>
	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Operating Expenditure:	Various.7645		\$6,078,100
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			<u>\$6,078,100</u>

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☐ NO

**Additional Note:**

These expenditures are based on 2020 budget approval.



BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AN AGREEMENT BETWEEN ADAMS COUNTY AND  
WORK OPTIONS FOR WOMEN FOR CULINARY TRAINING AND INTERNSHIP  
PROGRAM SERVICES

WHEREAS, the Human Services Department, Temporary Assistance for Needy Families (TANF) would like to engage with Work Options for Women to provide Culinary Training and Internship Program Services for the Human Services Department, Temporary Assistance for Needy Families; and,

WHEREAS, Work Options for Women agrees to provide Culinary Training and Internship Program Services for a total not to exceed Agreement amount of \$300,000.00; and,

WHEREAS, Work Options for Women is funded 85/15 under the Federal Temporary Assistance for Needy Families block grant funds, 85% is paid by the State of Colorado with a 15% County match required.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Agreement between Adams County and Work Options for Women for Culinary Training and Internship Program Services is hereby approved.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign the Agreement with Work Options for Women after negotiation and approval as to form is completed by the County Attorney's Office.





## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> June 29, 2021
<b>SUBJECT:</b> Fuel Services Extension
<b>FROM:</b> Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement and Contracts Manager
<b>AGENCY/DEPARTMENT:</b> Colorado Air and Space Port
<b>HEARD AT STUDY SESSION ON:</b> N/A
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves Amendment One with City Service Valcon to provide Fuel Services for the Colorado Air and Space Port.

### **BACKGROUND:**

Colorado Air and Space Port (CASP) is the County's General Aviation Airport. All aircraft that use the airport are privately owned and operated. CASP provides and maintains runways and airport facilities, storage for aircraft, shuttle bus service to area hotels and to Denver International Airport. City Service Valcon is the fuel provider that provides marketing efforts, up-to-date training to the line service personnel, fuel quality training, customer service training, signage, lease or purchase opportunities for fuel trucks, uniform support, POS credit card processing, annual inspections, quality assurance assistance, technical support, and parts support as services to CASP. The provider is paid the market price at the time of delivery and resale. Estimated aviation fuel costs for both Jet A fuel and Avgas (100LL) are included within the CASP expenditure budget along with the revenue estimates.

A formal Request for Proposal for the supply and delivery of Aviation Fuel (Jet A) and Avgas (100LL) was posted on Bidnet in March of 2018. The Board of County Commissioners approved a three year Agreement with two optional one-year extensions to City Service Valcon. The Agreement breaks down as follows:

Original Agreement Year 1	Approved 5/2018	\$1,187,159.00
Original Agreement Year 2	Approved 5/2018	\$1,429,395.50
Original Agreement Year 3	Approved 5/2018	\$1,621,305.50
Amendment One-Time Extension		\$1,300,000.00
Total Agreement Amount:		\$5,537,860.00



The recommendation is to approve Amendment One with City Service Valcon to extend the current agreement in the amount of \$1,300,000.00 for a total agreement amount of \$5,537,860.00. This includes the fuel purchased for resale to CASP Tenants and Transient aircraft. Expense amounts indicated are offset by fuel sales revenue.

**AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Colorado Air and Space Port.

**ATTACHED DOCUMENTS:**

Resolution

**FISCAL IMPACT:**

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

<b>Fund: 00043</b>			
<b>Cost Center: 4303</b>			
	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			
	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Operating Expenditure:	7442		\$1,084,107
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			<b>\$1,084,107</b>

**New FTEs requested:** ☐ YES ☒ NO

**Future Amendment Needed:** ☐ YES ☐ NO

**Additional Note:**

Contract purchases will include both 2021 & 2022 fiscal years.



BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMENDMENT ONE TO THE AGREEMENT BETWEEN ADAMS  
COUNTY AND CITY SERVICE VALCON TO PROVIDE FUEL SERVICES FOR THE COLORADO  
AIR AND SPACE PORT

WHEREAS, City Service Valcon was awarded an Agreement in May of 2018, to provide Fuel Services for the Adams County Colorado Air and Space Port; and,

WHEREAS, City Service Valcon agrees to extend the current Agreement for one additional year in the amount of \$1,300,000.00, for a total not to exceed agreement amount of \$5,537,860.00.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment One to the Agreement between Adams County and City Service Valcon to provide Fuel Services is hereby approved.

BE IT FURTHER RESOLVED that the Chair is hereby authorized to sign Amendment One to the Agreement with City Service Valcon on behalf of Adams County, after negotiation and approval as to form is completed by the County Attorney's Office.





## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> June 29, 2021
<b>SUBJECT:</b> Professional Engineering Services- 70 <sup>th</sup> Avenue: Pecos Street to Kidder Drive
<b>FROM:</b> Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement & Contracts Manager
<b>AGENCY/DEPARTMENT:</b> Public Works Department
<b>HEARD AT STUDY SESSION ON:</b> N/A
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves an Agreement with Ayres Associates, Inc., to provide Professional Engineering Services for the 70 <sup>th</sup> Avenue, Pecos Street to Kidder Drive project.

### **BACKGROUND:**

This 70<sup>th</sup> Avenue, Pecos Street to Kidder Drive Project is a multimodal transportation improvements project. The overall objective of this project is to improve roadway safety and multimodal facilities. This project will also design and build an innovative and sustainable corridor with environmental and economic considerations, improve the drainage system, and make better living environment to serve community growth and economic development along West 70<sup>th</sup> Avenue Project from Pecos Street to Broadway Street. The project length is approximately 0.95 center lane miles.

A formal Request for Proposal (RFP) for Professional Engineering Services was posted on BidNet and proposals were received on March 18, 2021. Three responses were received and evaluated on the following criteria:

- Project Team, Experience, Qualification and Past Performance
- Team Ability to Meet Required Needs and Technical Capability
- Work Plan – Project Understanding, Management, Innovative, Sustainable Concept, and Critical Issues and Solutions
- Project Fees

After a thorough evaluation, it was deemed that Ayres Associates, Inc., was the most responsive and responsible proposer that will provide the best value to the County.



The recommendation is to award an Agreement for Professional Engineering Services for the 70<sup>th</sup> Avenue, Pecos Street to Kidder Drive to Ayres Associates, Inc., in the not to exceed amount of \$1,285,535.00.

**AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Public Works Department

**ATTACHED DOCUMENTS:**

Resolution

**FISCAL IMPACT:**

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

<b>Fund:</b> 13
<b>Cost Center:</b> 3056

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:	9135	30562101	\$15,000,000
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			<b>\$15,000,000</b>

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

**Additional Note:**



BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AN AGREEMENT  
BETWEEN ADAMS COUNTY AND  
AYRES ASSOCIATES, INC., FOR PROFESSIONAL ENGINEERING SERVICES FOR THE  
70<sup>TH</sup> AVENUE: PECOS STREET TO KIDDER DRIVE PROJECT

WHEREAS, on March 18, 2021, Ayres Associates, Inc., submitted a proposal to provide Professional Engineering Services for the 70<sup>th</sup> Avenue, Pecos Street to Kidder Drive Project; and,

WHEREAS, after thorough evaluation it was deemed that Ayres Associates, Inc., was the most responsive and responsible proposer; and,

WHEREAS, Ayres Associates, Inc., agrees to provide Professional Design Services for the 70<sup>th</sup> Avenue, Pecos Street to Kidder Drive Project in the not to exceed amount of \$1,285,535.00.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Agreement between Adams County and Ayres Associates, Inc., to provide Professional Engineering Services for the 70<sup>th</sup> Avenue, Pecos Street to Kidder Drive Project is hereby approved.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign the Agreement with Ayres Associates, Inc., on behalf of Adams County, after negotiation and approval as to form is completed by the County Attorney's Office.





## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> June 29, 2021
<b>SUBJECT:</b> Berkeley Gardens Neighborhood Improvements Project
<b>FROM:</b> Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement & Contracts Manager
<b>AGENCY/DEPARTMENT:</b> Public Works Department
<b>HEARD AT STUDY SESSION ON:</b> N/A
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves Amendment One to the Agreement with JR Engineering for the Berkeley Gardens Neighborhood Improvements Project.

### **BACKGROUND:**

The overall objective of the Berkeley Gardens Neighborhood Improvements project is to improve roadway safety, mobility, pedestrian access facilities and improve the drainage system within the neighborhood.

The project is currently under design. Additional design support services are being requested to assist in designing a pedestrian path/ramp, connecting the eastern end of West 53<sup>rd</sup> Avenue to Federal Boulevard. The new path/ramp will meet the American with Disabilities Act requirements. In addition, a water quality pond that is outside of the project limits will need to be designed to capture and treat the runoff from the project site. The design will include the additional Subsurface Utility Engineering Quality Level A to accurately identify conflict points between the proposed storm sewer culverts and utilities.

A formal request for proposal for Professional Engineering Services was posted on Bidnet and the Board of County Commissioners awarded an Agreement to JR Engineering on July 28, 2020.

The Agreement breaks down as follows:

Original Agreement	Approved on 7/28/2020	\$683,233.00
Amendment #1 / Change Order #1		\$310,625.40



Total Agreement Amount		\$993,858.40
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The recommendation is that Amendment One for additional Professional Engineering Services be approved in the amount of \$310,625.40.00 for a total not to exceed agreement amount of \$993,858.40. The anticipated contract finish date is December 31, 2022.

**AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Adams County Public Works Department  
Adams County Purchasing Department

**ATTACHED DOCUMENTS:**

Resolution

**FISCAL IMPACT:**

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

<b>Fund:</b> 13
<b>Cost Center:</b> 3056

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:	9135	30562001	15,000,000
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			<b>15,000,000</b>

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO



BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMENDMENT ONE TO THE AGREEMENT BETWEEN  
ADAMS COUNTY AND JR ENGINEERING FOR PROFESSIONAL ENGINEERING  
SERVICES OF THE BERKELEY GARDENS NEIGHBORHOOD IMPROVEMENTS  
PROJECT

WHEREAS, on July 28, 2020, the Board of County Commissioners approved an Agreement with JR Engineering to provide Professional Engineering Services for the Berkeley Gardens Neighborhood Improvements project; and,

WHEREAS, JR Engineering agrees to amend the current Agreement to extend the term of the Agreement through December 31, 2022, and provide additional Professional Engineering Services for the Berkeley Gardens Neighborhood Improvements project in the amount of \$310,625.40 for a new total not to exceed agreement amount of \$993,858.40.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment One to the Agreement between Adams County and JR Engineering for Professional Engineering Services for the Berkeley Gardens Neighborhood Improvements project is hereby approved.

BE IT FURTHER RESOLVED, by the Chair of the Board of County Commissioners is hereby authorized to sign Amendment One to the Agreement with JR Engineering on behalf of Adams County, after negotiation and approval as to form is completed by the County Attorney's Office.





## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> June 29, 2021
<b>SUBJECT:</b> Amendment Two to the East 58 <sup>th</sup> Avenue Improvements between Washington Street and York Street
<b>FROM:</b> Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement & Contracts Manager
<b>AGENCY/DEPARTMENT:</b> Public Works Department
<b>HEARD AT STUDY SESSION ON:</b> 5/4/2021
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves the Amendment Two to the East 58 <sup>th</sup> Avenue Improvements between Washington Street and York Street Agreement with Drexel, Barrell & Company.

### **BACKGROUND:**

The East 58<sup>th</sup> Avenue, Washington Street to York Street, project goal is to design East 58<sup>th</sup> Avenue as a Minor Arterial roadway. The County's standard for a Minor Arterial roadway is a right-of-way that is 120' wide. The right-of-way for East 58<sup>th</sup> Avenue is senior to Adams County, meaning that East 58<sup>th</sup> Avenue was dedicated to Arapahoe County several years prior to the founding of Adams County in 1902. At the time, East 58<sup>th</sup> Avenue was not envisioned to be a Minor Arterial roadway and only 60' of right-of-way was dedicated to Arapahoe County. It is understandable that the widening area now needed for a Minor Arterial is being occupied by uses such as structures, parking, accesses and other private uses. It is the impact to these uses that can result in property damages which conflict with the project objectives of capacity and safety. To reduce, eliminate or mitigate these damages (primarily monetary damages) requires effort not contemplated in the original scope of work. To settle on a solution acceptable to the property owner and the County requires the design engineer to "dig deeper" into the County's Standards to find an amicable solution to each problem. Drexel, Barrell & Company's assistance is necessary to reduce the monetary damages that would otherwise be assessed against the project. In one instance alone, a property owner is claiming \$15,000,000 in damages. Through the efforts of the design engineer modifications to the design are anticipated to reduce the cost of this property acquisition to under \$500,000. Impacts to each property are unique and require separate meetings, evaluations, and negotiations specific to that property. The more impact to a property, the more discussions, evaluations, and negotiations are needed before the best solution for that property is determined. Alterations to a



design, resulting from property owner negotiations, are difficult to predict at the commencement of a design. To compound on these difficulties, this project has had internal and external challenges such as personnel changes, regulation changes (Subsurface Utility Engineering) and world health constraints. The negotiations, compromises, investigations, discussions, revisions, and presentations are value added to the project. Meaning that changes made during design will reduce the cost of damages resulting in a significant savings to the project.

**Summary of Change Order:**

Drexel, Barrell & Company has provided an updated scope of work to complete the design of this project so that construction can commence yet this year. The requested scope work totaling \$451,800 is summarized as follows:

1. Street Light Design - \$18,000
2. Utility Coordination - \$52,000
3. Property Owner Negotiation Revisions - \$179,000
4. Construction Support Services - \$78,200
5. Concrete Pavement / Contingency - \$35,000
6. Cost to design Metro Wastewater Reclamation District waterline relocation – \$89,600  
(These costs will be reimbursed by the district through an agreement.)

The Board of County Commissioners awarded an Agreement for Professional Engineering Services for East 58<sup>th</sup> Avenue Improvements between Washington Street and York Street to Drexel, Barrell & Company on May 10, 2016.

A breakdown of the agreement is as follows:

Original Agreement	Approved 5/10/16	\$336,318.00
Amendment #1 – Extend Term	Approved 7/11/17	\$0
Change Order #1	Approved 12/4/18	\$90,500.00
Proposed Amendment #2		\$451,800.00
Total Agreement		\$878,618.00

The recommendation is that Amendment Two be approved for additional Professional Engineering Services in the amount of \$451,800.00 for a total not to exceed Agreement amount of \$878,618.00. The anticipated contract completion date is December 31, 2023.

**AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Adams County Public Works Department

**ATTACHED DOCUMENTS:**

Resolution



**FISCAL IMPACT:**

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

**Fund: 13****Cost Center: 3056**

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:	3056	30562101	15000000
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			15,000,000

**New FTEs requested:** ☐ YES ☒ NO

**Future Amendment Needed:** ☐ YES ☒ NO

**Additional Note:**



BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMENDMENT TWO TO THE AGREEMENT BETWEEN ADAMS  
COUNTY AND DREXEL, BARRELL & COMPANY FOR PROFESSIONAL ENGINEERING AND  
LAND SURVEY SERVICES FOR EAST 58th AVENUE IMPROVEMENTS

WHEREAS, on May 10, 2016, the Board of County Commissioners awarded an Agreement to Drexel, Barrell & Company to provide Professional Engineering and Land Surveying Services for the East 58<sup>th</sup> Avenue Improvements between Washington Street and York Street.; and,

WHEREAS, Drexel, Barrell & Company agrees to amend the current Agreement to provide additional Professional Engineering and Land Surveying Services for the East 58<sup>th</sup> Avenue Improvements between Washington Street and York Street in the amount of \$451,800.00, for a new total not to exceed Agreement amount of \$878,618.00.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment Two to the Agreement between Adams County and Drexel, Barrell & Company for Professional Engineering and Land Surveying Services, for East 58<sup>th</sup> Avenue Improvements is hereby approved.

BE IT FURTHER RESOLVED that the Chair is hereby authorized to sign Amendment Two to the Agreement with Drexel, Barrell & Company on behalf of Adams County, after negotiation and approval as to form is completed by the County Attorney's Office.





## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> June 29, 2021
<b>SUBJECT:</b> Steele Street Extension - E. 86th Avenue to E. 88th Avenue Professional Engineering Design Services
<b>FROM:</b> Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement & Contracts Manager
<b>AGENCY/DEPARTMENT:</b> Public Works Department
<b>HEARD AT STUDY SESSION ON:</b> 5/4/2021
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves the Amendment One to the Steele Street Extension: E. 86th Avenue to E. 88th Avenue Professional Engineering Design Services Agreement with Stantec Consulting Services, Inc.

### **BACKGROUND:**

The current design engineering work for the extension of Steele Street from E. 86th Avenue to E. 88th Avenue includes road, pedestrian, stormwater improvements and traffic signal modifications at the intersections of Steele Street and E.88th Avenue (Project). The Project objective is the construction of Steele Street from E. 86th Avenue to E. 88th Avenue with the intersections aligned with the Welby Road Extension north of E. 88th Avenue and Steele Street south of E. 86th Avenue.

A formal request for proposal was posted on Bidnet on May 6, 2019, and an Agreement was approved to Stantec Consulting Services, Inc., to provide Professional Engineering Design Services for this Project.

The requested Amendment accommodates changes to the original scope of work, including changes to approved designs, addressing the added coordination effort attributed to COVID-19 and including construction support services. The design changes will provide a better solution for the area by accommodating major storm flows.

The Agreement breaks down as follows:

Original Agreement Amount:	Approved on 8/13/2019	\$565,257.00
Amendment Request Total:		\$ 98,115.00
New Agreement Total with Amendment Requests		\$663,372.00



It is recommended that Amendment One be approved in the amount of \$98,115.00 for a total not to exceed Agreement amount of \$663,372.00. The anticipated contract finish date is December 31, 2023.

**AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Adams County Public Works Department

**ATTACHED DOCUMENTS:**

Resolution



**FISCAL IMPACT:**

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

**Fund: 13****Cost Center: 3056**

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:	3056	30562101	15000000
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			15000000

**New FTEs requested:** ☐ YES ☒ NO

**Future Amendment Needed:** ☐ YES ☒ NO

**Additional Note:**



BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMENDMENT ONE TO THE AGREEMENT BETWEEN  
ADAMS COUNTY AND STANTEC CONSULTING SERVICES, INC., FOR  
PROFESSIONAL ENGINEERING SERVICES OF THE STEELE STREET EXTENSION:  
EAST 86<sup>TH</sup> AVENUE TO EAST 88<sup>TH</sup> AVENUE PROJECT

WHEREAS, Stantec Consulting Services Inc., and Adams County entered into an Agreement on September 3, 2019, to provide professional engineering services for the Steele Street Extension of East 86<sup>th</sup> Avenue to East 88<sup>th</sup> Avenue; and,

WHEREAS, Stantec Consulting Services Inc., agrees to provide additional Professional Engineering Services in the amount of \$98,115.00 for the Steele Street Extension of East 86<sup>th</sup> Avenue to East 88<sup>th</sup> Avenue project for a total not to exceed Agreement amount of \$663,372.00.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment One to the Agreement between Adams County and Stantec Consulting Services Inc., for additional Professional Engineering Services for the Steele Street Extension of East 86<sup>th</sup> Avenue to East 88<sup>th</sup> Avenue is hereby approved.

BE IT FURTHER RESOLVED, by the Chair of the Board of County Commissioners is hereby authorized to sign Amendment One to the Agreement between Adams County and Stantec Consulting Services Inc., on behalf of Adams County, after negotiation and approval as to form is completed by the County Attorney's Office.





## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> June 29, 2021
<b>SUBJECT</b> York Street Phase I, State Highway 224 to East 78th Avenue Improvements Project
<b>FROM:</b> Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement & Contracts Manager
<b>AGENCY/DEPARTMENT:</b> Public Works Department
<b>HEARD AT STUDY SESSION ON:</b> N/A
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves Amendment One to the Agreement with Hudick Excavating, Inc., dba HEI Civil, for Construction Services for the York Street Phase I, State Highway 224 to East 78th Avenue Improvements Project.

### **BACKGROUND:**

The objective of the York Street Phase I project is to improve roadway safety, capacity, mobility, pedestrian access facilities and the drainage system on York Street between State Highway 224 and East 78<sup>th</sup> Avenue. This will include a new pedestrian and drainage underpass below SH 224 that will connect the Welby community to the Clear Creek trail.

An Agreement between LYK Welby, LLC, the Developers of the Welby Business Park Phase II Development located at 76<sup>th</sup> Avenue and York Street and Adams County was recently completed. This Agreement allows for the connection the Welby Business Park Phase II Development to the proposed storm sewer system currently being constructed with the York Street Phase I project. Costs associated with this work will be reimbursed to Adams County by the LYK Welby, LLC.

An Agreement was approved by the Board of County Commissioners on June 23, 2020 to Hudick Excavating, Inc., dba HEI Civil for Construction Services for York Street Phase I, State Highway 224 to East 78th Avenue Improvements Project.

The Agreement breaks down as follows:



Original Agreement	Approved 6/23/2020	\$10,473,874.00
Amendment One		\$42,479.71
Total Agreement		\$10,516,353.71

The recommendation is that Amendment One for the additional Construction Services be approved in the amount of \$42,479.71 for a total not to exceed Agreement amount of \$10,516,353.71. The anticipated contract finish date is January 4<sup>th</sup>, 2022.

**AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Adams County Public Works Department

**ATTACHED DOCUMENTS:**

Resolution



**FISCAL IMPACT:**

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

**Fund: 13****Cost Center: 3056**

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:	9135	30562101	15000000
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			<u>\$15,000,000</u>

**New FTEs requested:** ☐ YES ☒ NO

**Future Amendment Needed:** ☐ YES ☒ NO

**Additional Note:**



BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMENDMENT ONE TO THE AGREEMENT BETWEEN ADAMS  
COUNTY AND HUDICK EXCAVATING, INC., DBA HEI CIVIL, FOR THE YORK STREET PHASE I  
PROJECT FROM STATE HIGHWAY 244 TO 78<sup>TH</sup> AVENUE

WHEREAS, Hudick Excavating, Inc., dba HEI Civil, was awarded an Agreement on June 23, 2020, to provide Construction Services for the York Street Phase I Project; and,

WHEREAS, the County and Hudick Excavating, Inc., dba HEI Civil, mutually agree to amend the Agreement to add additional Construction Services and extend the completion date for the York Street Phase I Project; and,

WHEREAS, Hudick Excavating, Inc., dba HEI Civil, agrees to provide these additional services in the amount of \$42,479.71, for a total not to exceed Agreement amount of \$10,516,353.71.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment One to the Agreement between Adams County and Hudick Excavating, Inc., dba HEI Civil., to provide additional Construction Services for the York Street Phase I Project From State Highway 244 To 78<sup>th</sup> Avenue is hereby approved.

BE IT FURTHER RESOLVED that the Chair is hereby authorized to sign Amendment One to the Agreement with Hudick Excavating, Inc., dba HEI Civil., on behalf of Adams County, after negotiation and approval as to form is completed by the County Attorney's Office.





## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> June 29, 2021
<b>SUBJECT:</b> Inmate Food Services
<b>FROM:</b> Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement & Contracts Manager
<b>AGENCY/DEPARTMENT:</b> Sheriff's Office
<b>HEARD AT STUDY SESSION ON:</b> N/a
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves Amendment Two to the Agreement with Summit Food Service, LLC for Inmate Food Services at the Adams County Detention Facility.

### **BACKGROUND:**

The Sheriff's Office currently has an Agreement with Summit Food Service, LLC to provide Inmate Food Services at the Adams County Detention Facility.

A Request for Proposal was posted on BidNet for Inmate Food Services. Summit Food Services was awarded an agreement by the Board of County Commissioners on November 13, 2018.

Original Agreement	Approved on 1/20/2019	\$1,465,515.15
Amendment One	Approved on 2/18/2020	\$1,512,370.20
Amendment Two		\$1,045,603.25
Total Agreement Amount:		\$4,023,488.60

The Sheriff's Office recommends extending the current agreement term with Summit Food Service, LLC, through September 30, 2021 for the approximate amount of \$1,046,603.25 at a rate of \$1.2945 per inmate meal based upon the average daily population of 1100 inmates.

### **AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Adams County Sheriff's Office



**ATTACHED DOCUMENTS:**

Resolution

**FISCAL IMPACT:**

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

**Fund:** 0001**2071**

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Operating Expenditure:	8325		\$1,046,603.25
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			<u>\$1,046,603.25</u>

**New FTEs requested:** ☐ YES ☒ NO

**Future Amendment Needed:** ☐ YES ☐ NO

**Additional Note:**



BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMENDMENT TWO TO THE AGREEMENT BETWEEN  
ADAMS COUNTY AND SUMMIT FOOD SERVICES, LLC  
FOR INMATE FOOD SERVICES

WHEREAS, on January 29, 2019, Adams County entered into an Agreement with Summit Food Services, LLC, to provide Inmate Food Services at the Adams County Detention Facility; and,

WHEREAS, Summit Food Services, LLC, agrees to provide Inmate Food Services at the Adams County Detention Facility through September 30, 2021, in the not to exceed amount of \$1,046,603.25.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment Two to the Agreement between Adams County and Summit Food Service, LLC, for Inmate Food Services is hereby approved.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign Amendment Two with Summit Food Services, LLC, on behalf of Adams County, after negotiation and approval as to form is completed by the County Attorney's Office.





## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> June 29, 2021
<b>SUBJECT:</b> Inmate Laundry Services
<b>FROM:</b> Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement & Contracts Manager
<b>AGENCY/DEPARTMENT:</b> Sheriff's Office
<b>HEARD AT STUDY SESSION ON:</b> N/a
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves Amendment Two to the Agreement with Summit Food Service, LLC for Inmate Laundry Services at the Adams County Detention Facility.

### **BACKGROUND:**

The Sheriff's Office currently has an Agreement with Summit Food Service, LLC to provide Inmate Laundry Services at the Adams County Detention Facility.

A Request for Proposal was posted on BidNet for Inmate Laundry Services. Summit Food Services was awarded an Agreement by the Board of County Commissioners on November 13, 2018.

Original Agreement	Approved on 1/29/2019	\$295,022.20
Amendment One	Approved on 2/18/2020	\$304,457.45
Amendment Two		\$204,361.85
Total Agreement Amount:		\$803,841.50

The Sheriff's Office recommends extending the current agreement term with Summit Food Service, LLC, through September 30, 2021 at a rate of \$.7583 per inmate per day based upon the average daily population of 1100 inmates for the approximate amount of \$204,361.85.

### **AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Adams County Sheriff's Office



**ATTACHED DOCUMENTS:**

Resolution

**FISCAL IMPACT:**

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

**Fund:** 0001**2071.8425**

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Operating Expenditure:	8425		\$204,361.85
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			\$204,361.85

**New FTEs requested:** ☐ YES ☒ NO

**Future Amendment Needed:** ☐ YES ☐ NO

**Additional Note:**



BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMENDMENT TWO TO THE AGREEMENT  
BETWEEN ADAMS COUNTY AND SUMMIT FOOD SERVICES, LLC, FOR INMATE  
LAUNDRY SERVICES

WHEREAS, on January 29, 2019, Adams County entered into an Agreement with Summit Food Services, LLC, to provide Inmate Laundry Services at the Adams County Detention Facility; and,

WHEREAS, Summit Food Service, LLC, agrees to provide Inmate Laundry Services at the Adams County Detention Facility through September 30, 2021, in the amount of \$204,361.85 for a total not to exceed contract amount of \$803,841.50.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that an Amendment Two between Adams County and Summit Food Service, LLC, for Inmate Laundry Services; is hereby approved.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign Amendment Two with Summit Food Service, LLC, on behalf of Adams County, after negotiation and approval as to form is completed by the County Attorney's Office.





**COMMUNITY AND ECONOMIC DEVELOPMENT  
DEPARTMENT**

**CASE NO.: RCU2021-00002**

**CASE NAME: Maverik Rezone – 56th & Federal**

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COMMUNITY AND ECONOMIC DEVELOPMENT  
DEPARTMENT  
STAFF REPORT

Board of County Commissioners

June 29, 2021

Case Number:	<b>RCU2021-00002</b>
Case Name:	<b>Maverik Rezone – 56th &amp; Federal</b>
Property Owner's Name:	56 <sup>th</sup> and Federal, LLC
Applicant's Name:	Maverik, Inc.
Applicant's Address:	185 S. State St. Floor 800, Salt Lake City, UT 84111
Location of Request:	2922 W. 56th Ave., Denver, CO 80221
Parcel Number:	0182517103051
Nature of Requests:	Zoning Map Amendment (Rezone) from Residential-2 to Commercial-5
Current Zone District:	Residential-2 (R-2)
Proposed Zone District:	Commercial-5 (C-5)
Future Land Use:	Urban Residential
Site Area:	0.689 acres (30,0001 sq. ft.)
Existing Use:	Vacant
Proposed Use:	Automobile Service Station
Hearing Date(s):	<b>PC: June 10, 2021 / 6:00 pm</b> <b>BoCC: June 29, 2021 / 9:30 am</b>
Report Date:	June 3, 2021
Case Manager:	Alan Sielaff
Staff Recommendation:	<b>APPROVAL with 4 findings-of-fact and 3 notes</b>



## **SUMMARY OF APPLICATIONS**

### **Background:**

The applicant, Maverik, Inc., is requesting a Zoning Map Amendment (rezone) of approximately 0.689 acres from Residential-2 (R-2) to Commercial-5 (C-5) to facilitate development of a new Maverik fuel station with convenience store. The majority of the service station will be located on the existing 2.09-acre C-5 parcel to the west of this site at 5580 Federal Blvd. and will include a convenience store and fuel pumps with a canopy structure. The approximately 30,000 sq. ft. area immediately to the east that the applicant is requesting to rezone will include an additional fuel pump canopy for diesel fuel and will provide access to W. 56<sup>th</sup> Ave. at a location further east from the intersection of W. 56<sup>th</sup> Ave. and Federal Blvd. than would otherwise be possible. Both properties are part of the Re-Subdivision of Westmoorland, a subdivision originally recorded in the 1920s consisting of 100 ft. wide lots. In preparation of this development, the applicant has completed two separate administrative requests to vacate and adjust internal lot lines of the underlying subdivision in order to ensure structures would not cross lot lines and to limit the rezone request. The result of one of those requests created Lot 9A of the Re-Subdivision of Westmoorland, which will be recorded ahead of the rezoning. This Lot 9A is an approximate 100 ft. by 300 ft. parcel and is the extent of the subject rezoning proposal, see Exhibit 3.3.

### **Site Characteristics:**

The site of the rezone request is vacant, with a mixture of wood and chain-link fencing in disrepair along the street and includes some existing trees. The site has one street frontage on W. 56<sup>th</sup> Avenue to the north with a newly constructed 5 ft. attached sidewalk. The area slopes downward towards Federal Blvd. to the west and towards Clear Creek to the north beyond Interstate-76 (I-76). The existing C-5 zoned property to the west contains the vacant Circus Cinemas retail building and previously housed a number of mobile home units, which have since been removed from the site. The remainder of the property at 2922 W. 56<sup>th</sup> Avenue is vacant and will remain in the R-2 zone district to the east and south of the subject rezoning site. Approximately 100 ft. to the east of the new Lot 9A are several single-family dwellings fronting W. 56<sup>th</sup> Avenue until Clay Street. Across W. 56<sup>th</sup> Avenue to the north is an approximately 20-acre Agriculture-1 (A-1) zoned property with a single dwelling. Just beyond this property is the southern boundary of the Interstate-76 on-ramp, about 600 ft. from this site at its closest point.

### **Development Standards and Regulations (DSR) Requirements:**

#### **Zoning Map Amendment (Rezoning):**

Section 2-02-15 of the DSR outlines the process and criteria for a Zoning Map Amendment, or rezoning request. A rezoning must be found to be consistent with the Adams County Comprehensive Plan, consistent with the purposes of and comply with the development standards and regulations, and be compatible with the surrounding area. The proposed zone district for this site is C-5. Section 3-23-01 of the DSR states the purpose of the C-5 district is to serve as a general retail and service district designed to provide the broadest scope of services and products for both the general and traveling public in an interstate and regional context. In certain situations, it may be appropriate through a conditional use permit to allow a mix of uses in this zone district – allowing both residential and commercial uses within one building.



The dimensional requirements of the C-5 district do not include a minimum lot size but do include a minimum lot width of 100 ft. which the site will meet. Other dimensional standards include a 25 ft. front setback, 15 ft. exterior side setback and either a 5 ft. internal side setback, or 0 ft. internal side setback with fire-rated structures, and a 15 ft. rear setback. The maximum height in the C-5 district is 35 ft. These standards have been applied to a review of a conceptual site plan.

The request to rezone Lot 9A of the Re-Subdivision of Westmoorland is found to be in conformance to the dimensional requirements for the proposed C-5 zone district. Full standards and allowed land uses are outlined in Section 3-23 of the DSR. Full site development review to include parking, landscaping, and use-specific development standards will be required as part of a site Change-in-Use building permit prior to site development.

**Future Land Use Designation/Comprehensive Plan:**

The future land use designation on the site, as well as the surrounding Federal Blvd. corridor, is Urban Residential. Chapter 5 of the Adams County Comprehensive Plan describes the purpose of Urban Residential as areas designated for single and multiple family housing, typically at urban densities of one dwelling per acre or greater. These areas are intended to provide for development of residential neighborhoods with a variety of housing types with adequate urban services and transportation facilities. Urban residential areas may include supporting neighborhood commercial uses designed to serve the needs of nearby residents. This designation supports the inclusion of neighborhood serving retail and services, which the specific proposal for an automobile service station with convenience store will provide both to nearby residents of the neighborhood and the wider travelling public.

The site is also within a number of subarea plans, including the Federal Blvd. Framework Plan, Southwest Area Framework Plan, and the Clear Creek Valley TOD Plan. These plans collectively foresee redevelopment opportunities along major County corridors such as Federal Blvd. that balance providing a greater quality of life to existing residents and improving the aesthetic conditions along major urban corridors while leveraging the opportunities afforded by major transportation and transit infrastructure in the area. This site of the rezoning will effectively become a part of the Federal Blvd. corridor and be one of the first redevelopment projects in the immediate vicinity. The site is only approximately 1,000 ft. from I-76 to the north, and 2,000 ft. to the Federal Station commuter rail stop on the RTD Gold Line to the north.

**Surrounding Zoning Designations and Existing Use Activity:**

<b>Northwest C-5 Vacant</b>	<b>North A-1 Vacant</b>	<b>Northeast A-1 Single-Family Dwelling</b>
<b>West C-5 Retail Store (vacant)</b>	<b>Subject Property R-2 Vacant</b>	<b>East R-2 Single-Family Dwelling</b>
<b>Southwest C-5 Motel / Mobile Homes</b>	<b>South R-2 Vacant</b>	<b>Southeast R-2 Vacant</b>



### **Compatibility with the Surrounding Area:**

The surrounding properties contain a mix of single-family residential and vacant land to the north, east, and south, as well as various commercial and manufactured home residential uses to the west along Federal Blvd. Many of the structures on these sites date to the 1950s and earlier. While the specific use of an automobile service station will be unique to the immediate vicinity, the auto-oriented nature of the Federal corridor and proximity to I-76 make the location a logical fit for such a use. Indeed, several other automobile service stations can be found along Federal to the north and south of the site, while the entirety of the corridor is currently zoned C-5 in the area with additional manufactured home zoning to the west, industrial zoning to the north of I-76, and an industrial future land use designation north of W. 56<sup>th</sup> Avenue.

Staff has reviewed preliminary traffic and drainage studies on the proposed rezoning and has no outstanding concerns at this time. Full study will be required during engineering review of the specific development proposal. Any required public improvements will be determined at that time.

### **Planning Commission Update:**

The Planning Commission (PC) considered the application for a zoning map amendment on June 10, 2021 and voted (4-2) to recommend approval of the request. The PC made 4 findings-of-fact and 3 notes to the applicant. Commissioners asked staff and the applicant a few questions to clarify staff review and better understand the applicant's vision for the site. The applicant responded to questions about the eastern fuel canopy to confirm it was intended for commercial vehicles and semi-trucks, and also discussed a question regarding the industry's vision on electric charging stations. The Commission also discussed whether the request to rezone to C-5 is consistent with the future land use designation of Urban Residential and the Comprehensive Plan in general. Staff explained that Urban Residential designation includes neighborhood serving retail and services as compatible uses, and the site's limited size and proximity to additional C-5 zoning along the Federal corridor ensured larger regional commercial uses would not be able to locate on the site. Additionally, subarea plans adopted as part of the Comprehensive Plan lend support for redevelopment and increasing services and amenities along the Federal corridor. No members of the public spoke at the hearing.

### **Staff Recommendation:**

Based upon the application, the criteria for approval, and a recent site visit, staff recommends approval of this request for a Zoning Map Amendment with **4 findings-of-fact and 3 notes:**

### **Recommended Findings-of-Fact:**

#### **Zoning Map Amendment (see Section 2-02-15-06-02):**

1. The Zoning Map amendment is consistent with the Adams County Comprehensive Plan.
2. The Zoning Map amendment is consistent with the purposes of these standards and regulations.
3. The Zoning Map amendment will comply with the requirements of these standards and regulations.
4. The Zoning Map amendment is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental



to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.

**Recommended Notes to the Applicant:**

1. The applicant shall comply with all building, zoning, fire, engineering, and health codes and regulations during the development of the subject site.
2. At the time of building permit, the applicant must provide copies of all required notifications submitted to OPS including notifications for new UST systems and a copy of its Air Pollutant Emission Notice (APEN) submitted to CDPHE that indicates estimated annual fuel throughput and calculated estimated emission levels for gasoline and diesel fuel dispensing facilities for by the Environmental Program Manager.
3. A food service plan review is required by Tri-County Health Department for all new and remodeled retail food establishments prior to the start of construction.

**PUBLIC COMMENTS**

<b>Notifications Sent</b>	<b>Comments Received</b>
395	4

All property owners and residents within 750 feet of the subject property were notified of the request. As of writing this report, staff has received four (4) public comments on this case during the project referral period. Two (2) of the comments are in support, and two comments stated support for redevelopment of the site, but not necessarily support for the specific end user. Among the concerns is the prevalence of existing fuel stations along the Federal Blvd. corridor and the potential lost opportunity for a use that could potentially better serve the surrounding community. Also stated was concern about drawing additional traffic into the neighborhood from I-76, further support for fossil fuels, and an opportunity to better leverage the proximity to the RTD Gold Line Federal Station.

**COUNTY AGENCY COMMENTS**

Adams County Development Services staff and other County offices and departments reviewed the request and have no outstanding concerns with the proposed applications. Specific remaining requirements will be addressed at the time of building permit.

**REFERRAL AGENCY COMMENTS**

**Responding with Comment or Concern:**

Colorado Department of Transportation (CDOT)  
Colorado Department of Public Health and Environment (CDPHE)  
Denver Water  
Tri County Health Department (TCHD)  
Xcel Energy

**Responding without Concerns:**

Adams County Fire Protection District

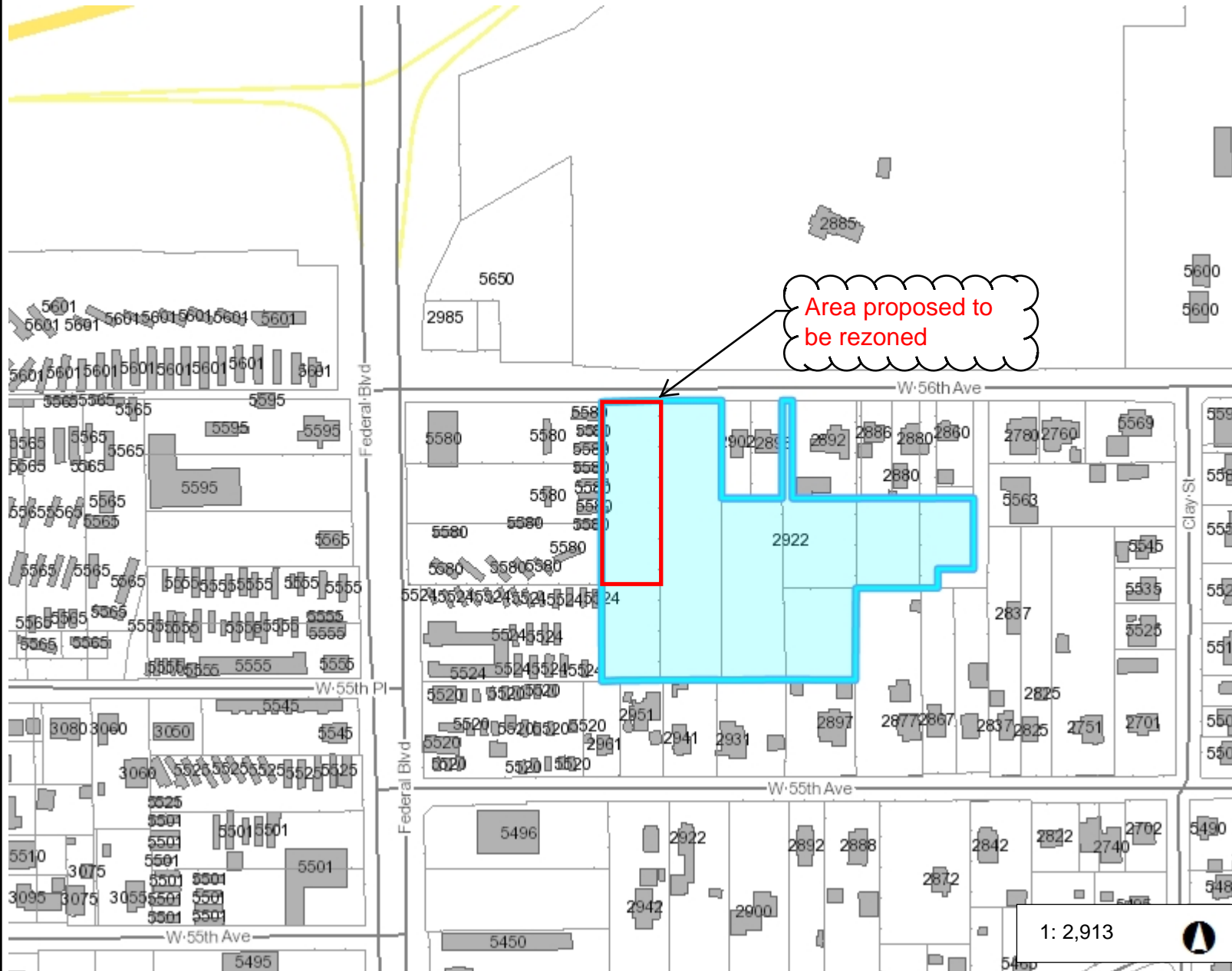


Adams County Sheriff's Office  
City of Westminster  
Commerce City  
Regional Transportation District

**Notified but not Responding / Considered a Favorable Response:**

Berkeley Neighborhood Association  
Berkeley Water and Sanitation District  
Century Link  
City of Arvada  
Colorado Division of Wildlife  
Comcast  
Fisher Ditch Company  
Goat Hill Neighborhood Association  
Metro Wastewater Reclamation District  
Mobile Gardens Neighborhood Association  
Northridge Estates at Gold Run Homeowners Association  
Union Pacific Railroad  
Westminster School District #50





Legend

- Address
- Highways
  - Interstate
  - Highway
  - Tollway
- Streets
  - Streets
  - Ramp
- Parcel Linework
  - <all other values>
  - 4
- Building
- Small Lakes
- Major Lakes
- Rivers
  - Canal
  - Ditch
  - Primary Creek
  - River
  - Secondary Creek
  - Stream
- Parcels
- County Boundary

1: 2,913



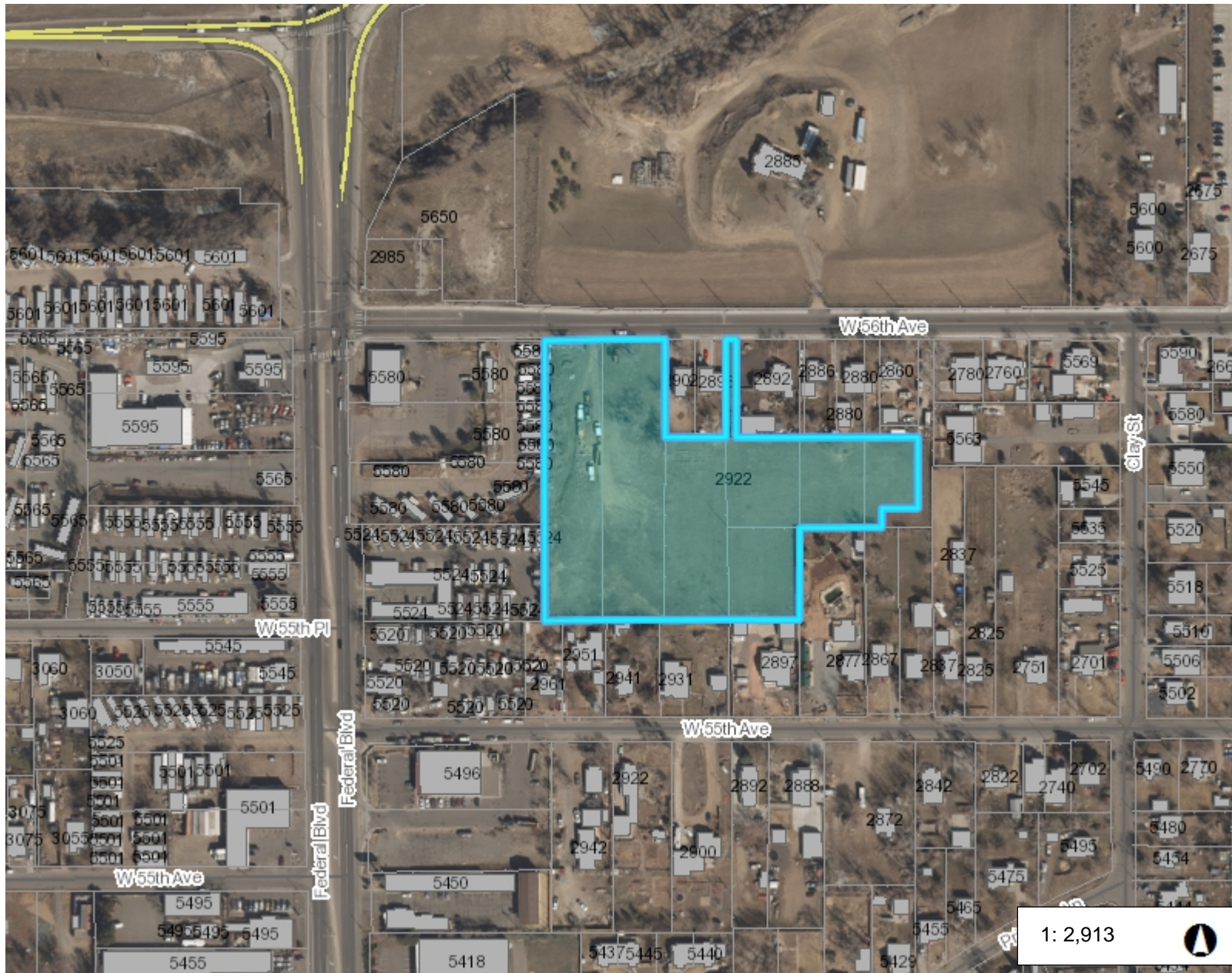
0.1 0 0.05 0.1 Miles

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

Address: 2922 W. 56th Avenue





Legend

Address

Highways

Interstate

Highway

Tollway

Streets

Streets

Ramp

Parcel Linework

<all other values>

4

Building

Parcels

1: 2,913



0.1 0 0.05 0.1 Miles

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION

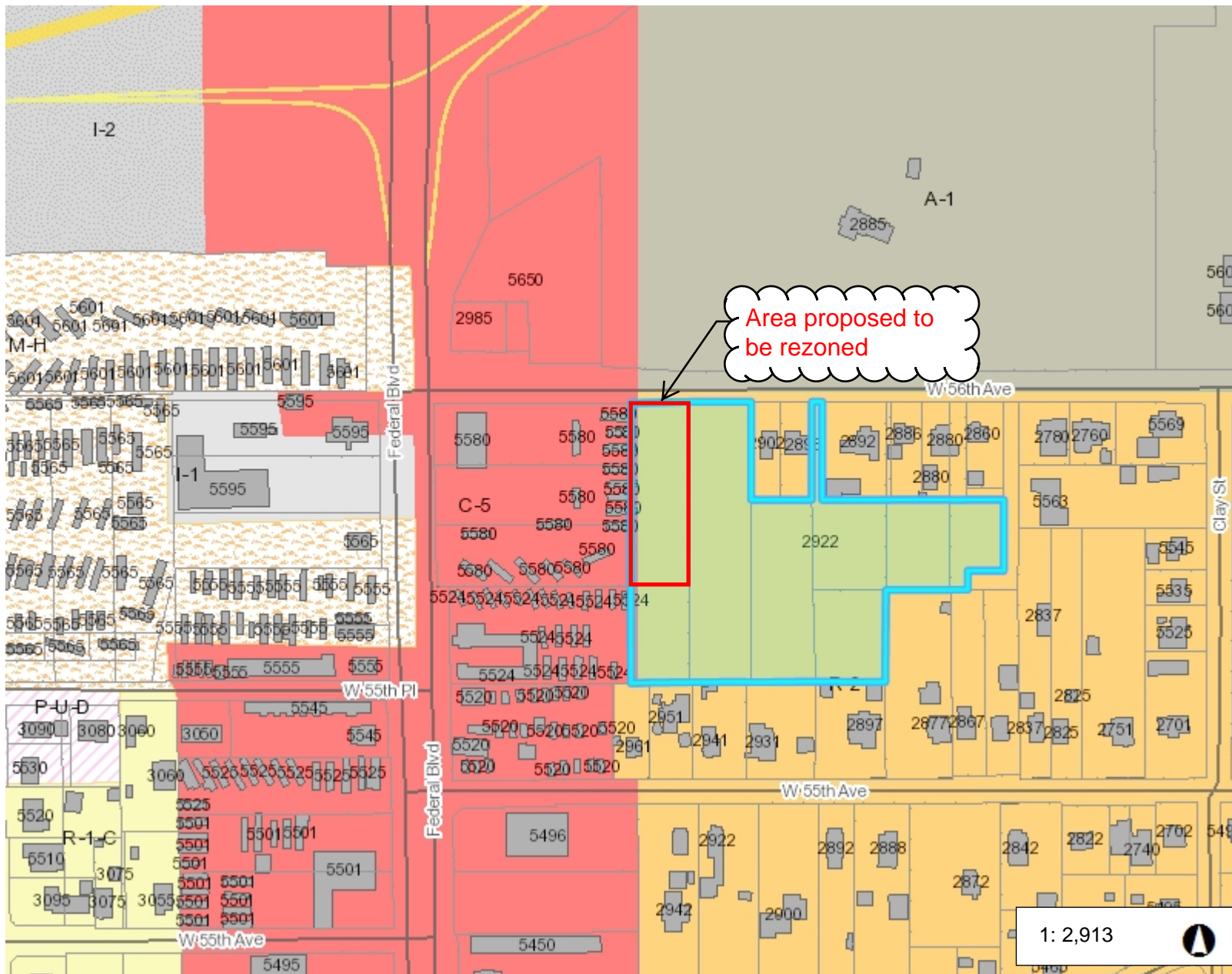
Notes

Address: 2922 W. 56th Avenue





# RCU2021-00002 Zoning Map



## Legend

- Address
- Highways
  - Interstate
  - Highway
  - Tollway
- Streets
  - Streets
  - Ramp
- Parcel Linework
  - <all other values>
  - 4
- Building
- Parcels
- Zoning
  - A-1
  - A-2
  - A-3
  - Conditions
  - TOD
  - R-E
  - R-1-A
  - R-1-C
  - R-2
  - R-3
  - R-4
  - M-H
  - C-0
  - C-1
  - C-2
  - C-3

0.1 0 0.05 0.1 Miles

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION

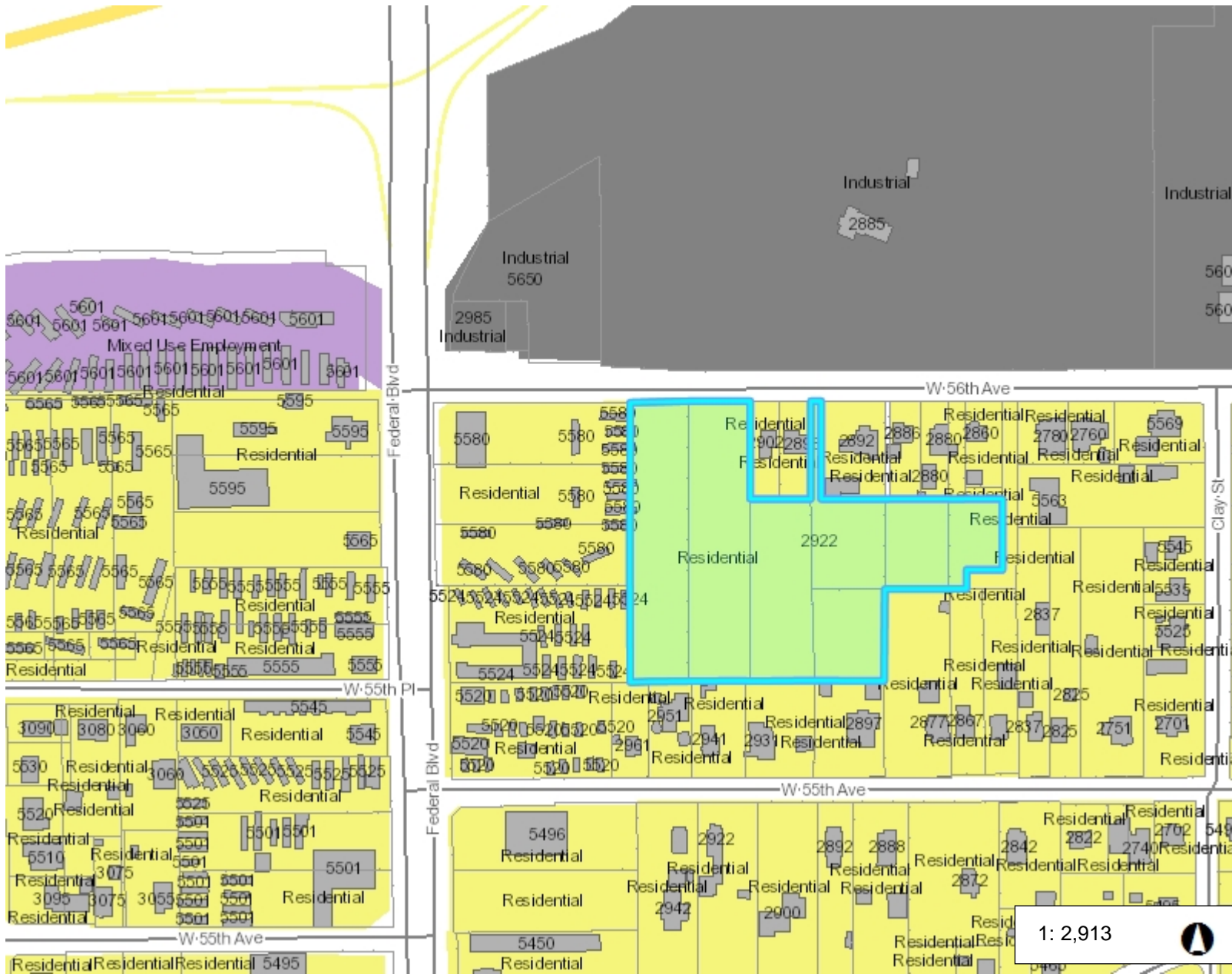
## Notes

Address: 2922 W. 56th Avenue  
Existing Zoning: Residential-2 (R-2)  
Proposed Zoning: Commercial-2 (C-2)





# RCU2021-00002 Future Land Use Map



## Legend

### Address

### Highways

- Interstate
- Highway
- Tollway

### Streets

- Streets
- Ramp

### Parcel Linework

- <all other values>
- 4

### Building

### Parcels

### Comprehensive Plan

- Urban Residential
- Estate Residential
- Local District Mixed Use
- Mixed Use Neighborhood
- Activity Center
- Mixed Use Employment
- Commercial
- Industrial
- Agriculture
- DIA Reserve
- Parks and Open Space
- Public
- Municipal Area

0.1 0 0.05 0.1 Miles

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION

## Notes

Address: 2922 W. 56th Avenue  
Site: Urban Residential





185 SOUTH STATE STREET  
SUITE 800  
SALT LAKE CITY, UT 84111  
801-936-5557 | MAVERIK.COM

## COVER LETTER

Adams County Representatives:

Maverik Inc. would like to thank Adams County, the Board of County Commissioners, and all planning and zoning officials and city staff for the consideration of this Maverik Inc application. Additionally, we would like to thank staff in advance for the work required to complete a new store and development within the county on behalf of our organization. This cover letter is the preliminary project narrative for a proposed project located on Federal Boulevard and 56<sup>th</sup> Ave.

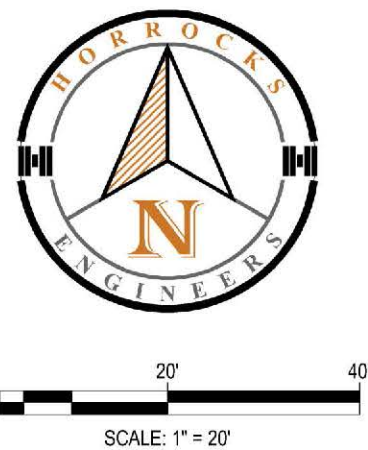
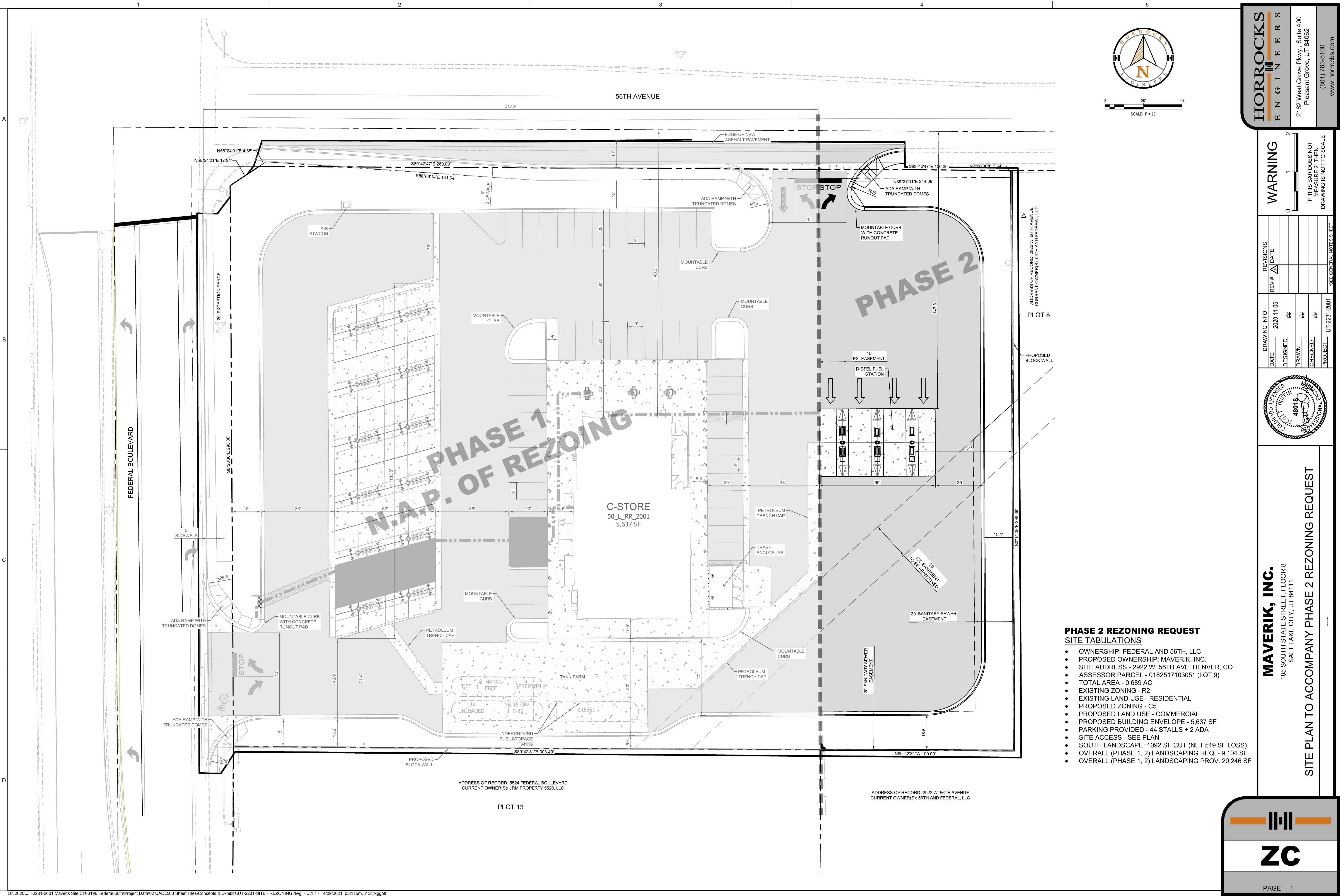
The purpose of this cover letter is to provide a detailed description of the Maverik project pertaining to the above-mentioned applications located at the SE corner of the intersection with the cross streets of Federal Boulevard and 56<sup>th</sup> Ave.

Maverik Inc. with the approval of the application would build a retail convenient store and fuel station with retails sales and an in-store grill. The store would operate 24 hours a day 7 days a week as retail store/convenience store and fuel station. The store will boast various Maverik amenities which include but are not limited to; made to order food, a hot grill, fountain drinks, varieties of convenience food items a beer cave and other typical convenient store items. Additionally, the Maverik store will include tabaco products and beer sales for off-site consumption. Maverik is aware of and agrees to comply with Colorado State regulations for these sales of these and all other items within the store. Additionally, Maverik installs all fuel tanks and dispensers including our underground storage tanks with tanks and equipment that meet or exceed all federal and state environmental regulations. Maverik provides a very noticeable and upscale convenient store brand that we consider to be the best convenient store experience in the industry with our typical Western US-Scenic design. Maverik has a noticeable and valuable proprietary brand as "Adventures First Stop" with an upscale retail brand. The site will include appropriate ADA parking stalls as required by code and ADA standards, various fuel dispensers allowing for auto and commercial fueling positions in a very safe and controlled environment. The Maverik site is planned to include an enclosed dumpster and appropriate landscaping per Adam County requirements. The proposed store will be approx. 6000 SF with two entrances with interior and exterior seating areas with picnic tables for outdoor eating. Finally, the site is proposed with three access points some of which could be shared access with adjacent commercial parcels. This cover letter represents the information on the site known today and any changes to the site due to the city process or Maverik's discretion would be approved as required during the approval and land use permitting process with this application.

Thank you,

Maverik Inc.  
Shay Bertola  
801-936-5557 or 801-683-3491  
[www.maverik.com](http://www.maverik.com)





- PHASE 2 REZONING REQUEST**  
**SITE TABULATIONS**
- OWNERSHIP: FEDERAL AND 56TH, LLC
  - PROPOSED OWNERSHIP: MAVERIK, INC.
  - SITE ADDRESS - 2922 W. 56TH AVE. DENVER, CO
  - ASSESSOR PARCEL - 0182517103051 (LOT 9)
  - TOTAL AREA - 0.689 AC
  - EXISTING ZONING - R2
  - EXISTING LAND USE - RESIDENTIAL
  - PROPOSED ZONING - C5
  - PROPOSED LAND USE - COMMERCIAL
  - PROPOSED BUILDING ENVELOPE - 5,637 SF
  - PARKING PROVIDED - 44 STALLS + 2 ADA
  - SITE ACCESS - SEE PLAN
  - SOUTH LANDSCAPE: 1092 SF CUT (NET 519 SF LOSS)
  - OVERALL (PHASE 1, 2) LANDSCAPING REQ. - 9,104 SF
  - OVERALL (PHASE 1, 2) LANDSCAPING PROV. 20,246 SF

**HORROCKS ENGINEERS**  
2162 West Grove Pkwy, Suite 400  
Pleasant Grove, UT 84062  
(801) 763-5100  
www.horrock.com

DRAWING INFO		REVISIONS	
DATE	2020 11-05	REV #	DATE
DESIGNED	#		
DRAWN	#		
CHECKED	#		
PROJECT	UT-2231-2001		

**WARNING**  
IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

**MAVERIK, INC.**  
185 SOUTH STATE STREET, FLOOR 8  
SALT LAKE CITY, UT 84111

**SITE PLAN TO ACCOMPANY PHASE 2 REZONING REQUEST**

**ZC**

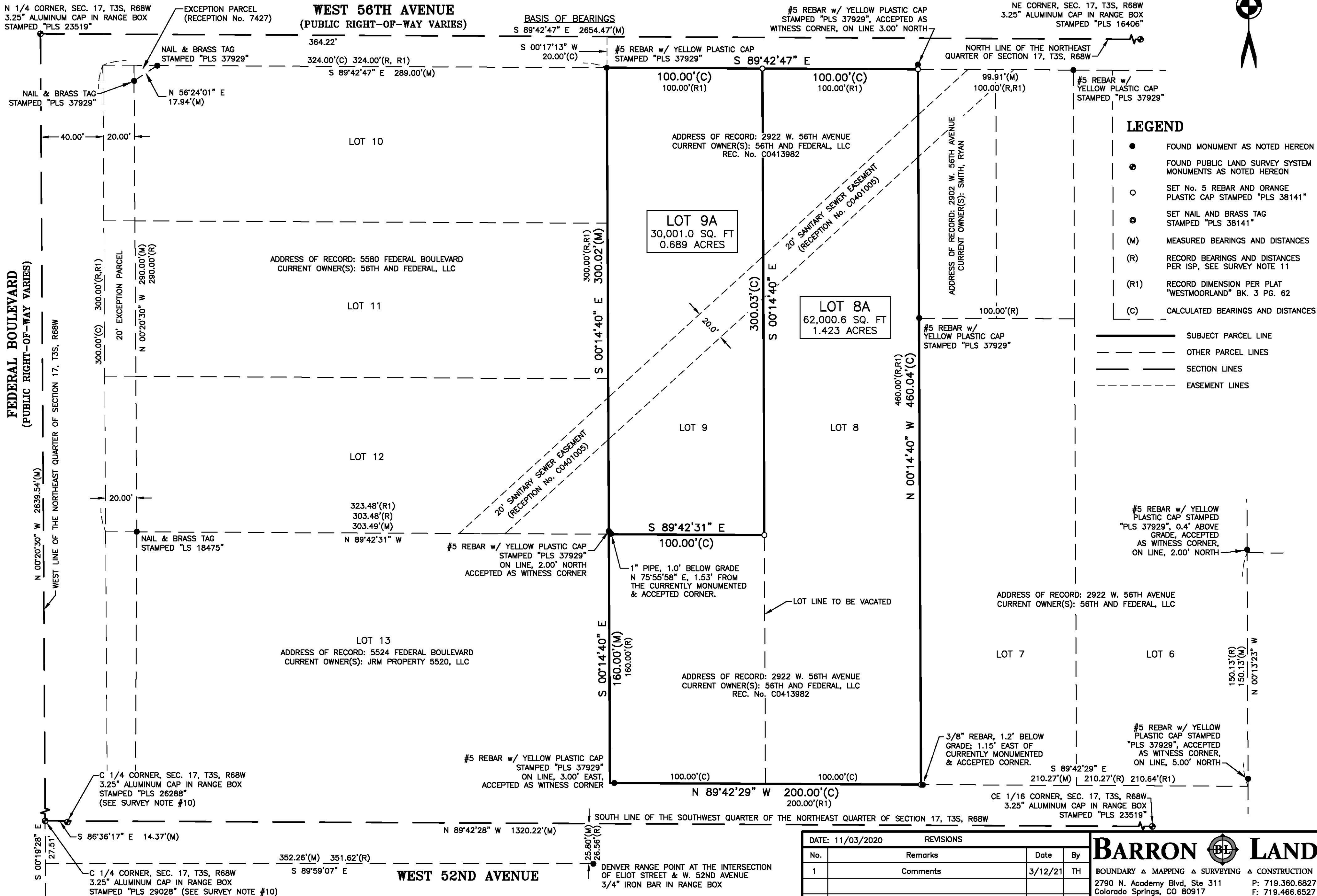
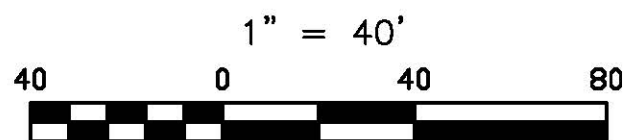
PAGE 1



# RE-SUBDIVISION OF WESTMOORLAND PLAT CORRECTION No. 2

CASE No. PLT2021-00003

A LOT LINE ADJUSTMENT IN THE NORTHWEST QUARTER OF THE  
NORTHEAST QUARTER OF SECTION 17, TOWNSHIP 3 SOUTH, RANGE  
68 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO



- LEGEND**
- FOUND MONUMENT AS NOTED HEREON
  - FOUND PUBLIC LAND SURVEY SYSTEM MONUMENTS AS NOTED HEREON
  - SET No. 5 REBAR AND ORANGE PLASTIC CAP STAMPED "PLS 38141"
  - SET NAIL AND BRASS TAG STAMPED "PLS 38141"
  - (M) MEASURED BEARINGS AND DISTANCES
  - (R) RECORD BEARINGS AND DISTANCES PER ISP, SEE SURVEY NOTE 11
  - (R1) RECORD DIMENSION PER PLAT "WESTMOORLAND" BK. 3 PG. 62
  - (C) CALCULATED BEARINGS AND DISTANCES

- SUBJECT PARCEL LINE
- - - OTHER PARCEL LINES
- SECTION LINES
- - - EASEMENT LINES

DATE: 11/03/2020		REVISIONS	
No.	Remarks	Date	By
1	Comments	3/12/21	TH

**BARRON LAND**

BOUNDARY Δ MAPPING Δ SURVEYING Δ CONSTRUCTION

2790 N. Academy Blvd, Ste 311 P: 719.360.6827  
Colorado Springs, CO 80917 F: 719.466.6527  
www.BARRONLAND.com

PROJECT No.: 19-084 PC-2 SHEET 2 OF 2





### Development Review Team Comments

**Date: April 5, 2021**

**Project Number: RCU2021-00002**

**Project Name: Maverik Rezone – 56<sup>th</sup> & Federal**

Due to the ongoing COVID-19 pandemic, all land use applications and resubmittals are to be delivered electronically to [epermitcenter@adcogov.org](mailto:epermitcenter@adcogov.org). For additional information on department operations, please visit <http://www.adcogov.org/CED>.

Please note where “Section” or “DSR” is referenced, please refer to the appropriate section of the Adams County Development Standards and Regulations. These can be viewed online here: <http://www.adcogov.org/development-standards-regulations>.

Land Use and Development Applications can be accessed here: <http://www.adcogov.org/current-planning-application-packets>



**Commenting Division:** Planning Review  
**Name of Reviewer:** Alan Sielaff, Planner II  
**Email:** [ASielaff@adcogov.org](mailto:ASielaff@adcogov.org) / 720-523-6817  
**Review Status:** Resubmittal Required

PLN01: Request – Rezone Lot 9A of the Re-Subdivision of Westmoorland Plat Correction No. 2, case PLT2021-00003, from Residential-2 (R-2) to Commercial-2 (C-2). Lot 9A will be 30,001 sq. ft., or 0.689 acres.

PLN02: Existing site information:

1. Location: 2922 W. 56th Ave.
2. Parcel number: 0182517103051 (existing)
3. Subdivision: S 150 FT OF LOTS 4 5 & 6 W 25 FT OF THE N 160 FT OF LOT 6 ALL LOTS 8 & 9 LOT 7 EXC N 160 FT THEREOF N 150 FT OF LOT 19 EXC E 20 FT OF LOT 4 AND S 20 FT OF E 85 FT OF LOT 4 RESUBD WESTMOORLAND (existing)
  - a. PLT2021-00003 was approved 4/2/21 to adjust lot line between Lot 8 & 9 of the Resubdivision of Westmoorland. Request will rezone new Lot 9A from R-2 to C-2.
4. Size: 4.2189 acres (full tax parcel size according to County Assessor's Office records)
5. Existing Zoning: R-2 (Residential-2)
6. Future Land Use: Urban Residential
7. Existing use: vacant (according to County Assessor's Office records). Site includes encroachments from mobile homes on parcel to the west (also part of applicant's proposal).

PLN03: Application checklist items review

1. **Please update the application document itself (page 5), and include a reference in the written narrative the proposed zone district for the rezoning.** The only location in the application materials that specified this was the last page site plan.
2. **Written narrative should be updated to remove references to City Council and mayor.** The County is governed by the Board of County Commissioners.
3. Neighborhood meeting summary – **Please provide copy of neighborhood meeting invitation** as well as the provided summary letter.
4. Proof of water service has been provided through bill from Denver Water, **however no proof of sewer service has been provided, please include in next submittal.** This should come from the Berkeley Water and Sanitation District which provides sewer service, while Denver Water has assumed the district's water service.
5. Provided mineral estate notice is signed and notarized, but does not include information at top of form indicating who is providing the information and which option is checked (indicating whether any mineral estates holders have an interest in the property or not). **Please complete and resubmit this form.** If no mineral estate holders are known (either determined through a search of available public documents or confirmed through the title report), please check the second option. The other two forms are not necessary if no mineral holders exist and no mineral operations are present.



PLN04: Zoning Review, C-2 district (see Section 3-20)

1. Purpose statement: The purpose of the Commercial-2 District is to provide a retail and service district designed to provide most retail shopping and personal services for persons residing in nearby residential areas.
2. Land use: Convenience stores with fueling stations where vehicles are serviced with minor repairs, oil changes, etc.
  - a. Proposed use is allowed by-right in this zone district.
3. Minimum lot width: 75 ft.
  - a. Lot 9A of the Re-Subdivision of Westmoorland will be 100 ft. Site meets standards
4. Setbacks: Review based on conceptual plan submitted with Rezone application. **Final site plan is not approved until building permit is applied for.**
  - a. Front (north) – 25 ft. Additional Section Line setback (from centerline of W. 56<sup>th</sup> Ave.) also requires 100 ft. from section line. Waivers can be approved by the Director of Public Works. Please submit request in writing at time of building permit.
  - b. Side (east and west) – 15 ft. one side, 5 ft. other, 0 ft. with fireproofed structure.
  - c. Rear – 15 ft.
  - d. Convenience store and fuel pump canopies meet the above setbacks.
5. Height: 35 ft. maximum.
  - a. Detail not provided, 1 story structures anticipated to meet standards.
6. Maximum floor area: 10,000 SF per commercial use.
  - a. Proposed convenience store is 5,637 SF
7. **Hours of operation: 7 a.m. to 12 p.m. abutting residential zoned or used property, see Section 3-20-07-06.**
  - a. Unfortunately this was not identified when originally discussing appropriate zone districts for rezoning. While the convenience store is located on a C-5 zoned lot which does not have operating hour restrictions, If the pumps on this lot are intended for 24-hour operation, the site must be rezoned to C-4 or C-5. While this is less desirable as a buffer to the adjacent residential, we will support either as the service being proposed serves both neighborhood residents and the travelling public, and the site is adjacent to existing C-5 and in close proximity to Interstate-76.
  - b. Additional public notice and request for comments will need to occur if request is amended to rezone to C-4 or C-5 due to the increase in commercial activity possible. Staff will prep notices and complete mailing once resubmittal is received. Notice period of at least 21 days is required, consistent with resubmittal review time.
8. Comprehensive Plan designation: Urban Residential
  - a. Urban residential areas are designated for single and multiple family housing, typically at urban densities of one dwelling per acre or greater. These areas are intended to provide for development of residential neighborhoods with a variety of housing types, with adequate urban services and transportation facilities. Urban residential areas may include supporting neighborhood commercial uses designed to serve the needs of nearby residents.
  - b. **Use is considered a supporting neighborhood commercial use and supports rezoning to either C-4 or C-5.**



- i. Purpose statement of the C-4 district: The purpose of the Commercial-4 District is to serve as a general retail and service district designed to provide services and products for both the general and traveling public in a regional context.
  - ii. Purpose statement of the C-5 district: The purpose of the Commercial-5 District is to serve as a general retail and service district designed to provide the broadest scope of services and products for both the general and traveling public in an interstate and regional context. In certain situations, it may be appropriate through a conditional use permit to allow a mix of uses in this zone district – allowing both residential and commercial uses within one building.
- 9. Additional general standards for commercial uses are found in Section 4-09 including architectural compatibility and screening standards. Operational standards for all uses are included in Section 4-14 relating to noise, odor, light, and other potential nuisance impacts to surrounding properties. **Please review and confirm use will meet all Operational Standards.**
- 10. Sign Standards are found in Section 4-15. A separate building permit for all building and free-standing signs will be required.
- 11. Additional Site Design standards are found in Section 4-21.
- 12. Site fencing will require a separate building permit.
- 13. Traffic Impact Fees will be required for new development according to Section 5-06. Current fee schedule is available online here:  
[http://www.adcogov.org/sites/default/files/2020\\_ImpactFeeTable.pdf](http://www.adcogov.org/sites/default/files/2020_ImpactFeeTable.pdf)

PLN05: Use-Specific Performance Standards, Automobile Service Stations (see Section 4-09-02-04).

**Review based on conceptual plan submitted with Rezone application. Final site plan is not approved until building permit is applied for.**

- 1. Access: All service stations shall front collector or arterial roads or highways unless the sites are part of a shopping center.
  - a. East parcel will have internal connection with parcel access Federal Blvd.
- 2. Pump Setbacks Pump islands shall be located a minimum of fifty (50) feet from residentially zoned or used property lines and a minimum of forty (40) feet from other exterior property lines. Pump island canopies may project to within thirty (30) feet of property lines. Islands shall not interfere with any sight distance triangles in accordance with these standards and regulations.
  - a. Review
    - i. East canopy: Canopy 40 ft. from east property line, 51 ft. from pump islands. Proposal meets standards. Canopy and pump islands are further distance from north and south property lines, but within this distance from the internal west property line. As an internal property line, not external, use-specific standard is not applied here. Underlying zoning will allow up to a 0 ft. setback with fire-proof structures if 15 ft. setback on other side.
    - ii. West fueling pumps shown as 71 ft. to south property line (40 ft. for the canopy), 53 ft. to west property line (Federal), and at least 38 ft. from north property line (56th Ave. – distance shown to edge of internal pavement). South property is currently occupied by mobile homes and is a residential use so heightened setbacks apply. Canopy and islands appear to meet all standards.



- iii. **Final distances will need to be confirmed for all pumps and canopies upon building permit review.**
  - iv. Final location of north property line may be impacted by any required right-of-way dedication as determined by final engineering review.
- 3. Underground Storage Tank (UST) Setbacks: UST vent pipes must be located a minimum of fifty (50) feet from residentially zoned or used property lines and a minimum of forty (40) feet from other exterior property lines.
  - a. Review: Applicant has previously indicated all UST vent piping will occur as part of the fuel canopy structures and not at the location of the storage tanks. **Vent pipe location will need to be included in building permit submittal to confirm.**
- 4. Screening: Service stations shall be separated from abutting residential properties by a six (6) foot high masonry wall and a Bufferyard as required in Section 4-17-06.
  - a. **This will need to be included in a landscape plan submitted with building permit review.**
- 5. Landscaping: In addition to all other required landscaping, boundary landscaping is required for a minimum depth of ten (10) feet along all property lines abutting roads, except for the area required for road openings. Permanent irrigation facilities shall be provided for all landscaped areas.
  - a. **Please be aware of overall site landscaping requirement of 10% of site landscaping, provided with compliant street frontage and landscape bufferyards to adjacent properties along exterior property lines of site.** See Section 4-17-06 and 07.
  - b. Review:
    - i. **South property line: Only 6 ft. 7 in. shown at narrowest location. At least 15 ft. required for a Bufferyard C due to adjacency to existing residential use.**
    - ii. East property line: 15 ft. provided to residential zone to east.
    - iii. **West and North: 15 ft. or more provided along street frontage. Will need to verify any required ROW dedication.** 10 ft. is required as well as street frontage trees and shrubs as determined by 5 available options in Section 4-17-07-01.
- 6. Indoor Activities: The changing of engine oil and filters; the lubrication of motor vehicle chassis; the cleaning of component parts; brake adjustment and replacement; mechanical or hand washing and detailing; front-end alignment; the sale or installation of batteries and minor automotive accessories; the sale mounting and repair of tires; the testing, adjustment and replacement of parts, the servicing of air conditioners; the servicing of air pollution control devices; the sale of soft drinks, candy, ice and similar items.
  - a. Auto repair and servicing component is not proposed.
- 7. Outdoor Activities: The dispensing of motor fuel, oil, air, and water from pump islands; any testing or servicing of automobiles which necessitates a running engine; tire display; trash areas enclosed by walls; public telephones in a well-lighted location, visible from the road; the sale of soft drinks, candy, ice and similar items via vending machines.
- 8. Painting and Body Work Prohibited: Painting or other body work shall be prohibited at all service stations unless approved by Conditional Use Permit.
  - a. These uses are not proposed.
- 9. Storage: All products and merchandise shall be stored indoors except for vending machines and tire display.



10. Garbage Storage: Garbage area screening shall consist of a six (6) foot high minimum screen fence made of wood or masonry material. Fencing materials should be cleaned and maintained must be clean and maintained at all times to present an orderly appearance. No garbage storage area shall be located within twenty (20) feet of a public sidewalk.
  - a. Trash enclosure is shown on east side of convenience store, over 20 ft. from adjacent right-of-way. **Detail of enclosure fence will need to be included with building permit application.**
11. Restrooms: Two restrooms shall be provided to the general public during all hours of operation. All restrooms with exterior entrances shall be located to the side or the rear of the building.

PLN06: Parking standards, Section 4-13. **Review based on conceptual plan submitted with Rezone application. Final site plan is not approved until building permit is applied for.**

1. Required parking to be based on use "Service establishments and retail - Dealing frequently with public..." 1 space for each 200 sq. ft. of gross floor area required.
2. Proposed 5,637 SF convenience store requires 29 spaces. 44 spaces provided. Depending on needs of other requirements such as landscaping and setbacks, some parking may be removed and the use will remain in conformance.
3. **Please review additional standards in this section regarding parking lot layout, access, stall size, lighting, and landscaping is included.**

PLN07: Zoning Map Amendment (Rezone) approval criteria, 2-02-15-06-02 ZONING MAP AMENDMENTS (REZONING) provided for reference. **Staff review finds approval criteria are met or will be met with resubmittal comments addressed.**

The Planning Commission, in making their recommendation, and the Board of County Commissioners, in approving a Zoning Map amendment, shall find:

1. The Zoning Map amendment is consistent with the Adams County Comprehensive Plan.
2. The Zoning Map amendment is consistent with the purposes of these standards and regulations.
3. The Zoning Map amendment will comply with the requirements of these standards and regulations.
4. The Zoning Map amendment is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.

**Commenting Division:** External Agency (EA) Referral Review  
**Review Status:** Ongoing

EA1: The following external agencies responded with a separate comment letter or email which will be provided in the following pages: Adams County Fire Rescue (ACFR), City of Commerce City, City of Westminster, Colorado Department of Health and Environment (CDPHE), Denver Water (DW), Regional Transportation District (RTD), Tri-County Health Department (TCHD), and Xcel Energy.



EA2: Referral agency comments generally are described in the staff report and may be recommended conditions or notes of approval for the applicant to adhere to if the development application is approved. If additional referral agency comments are received following this letter staff will forward to the applicant to respond in next submittal.

**Commenting Division: Public Comment**  
**Review Status: Ongoing**

PC1: As of the date of this comment letter, 2 public comments have been received, both in support (1 written, 1 verbal – called to discuss with case manager). Public comment will continue to be accepted moving forward and all comments will be included in appendices to the staff report provided to the Planning Commission and Board of County Commissioners once public hearings are scheduled. It is recommended to provide a response to individual public comments or evidence of direct outreach if any public comment is received.





## **Development Review Team Comments**

**Date:** 4/5/2021

**Project Number:** RCU2021-00002

**Project Name:** Maverik Rezone - 56th & Federal

---

**Commenting Division:** Adams County Fire Review

**Name of Reviewer:**

**Date:** 04/05/2021

**Email:**

**Complete**

Good morning Alan,

At this time, the Fire District has no questions or concerns for the Maverick Rezone. As the development project moves along, we will provide more information and comments.

Thank you!  
Carla Gutierrez  
Adams County Fire Rescue  
7980 Elmwood Lane  
Denver, CO 80221  
O: 303-539-6862

---

**Commenting Division:** Planner Review

**Name of Reviewer:** Alan Sielaff

**Date:** 04/02/2021

**Email:** asielaff@adcogov.org

**Resubmittal Required**

Separate comment letter to be provided



---

**Commenting Division:** Development Engineering Review

**Name of Reviewer:** Eden Steele

**Date:** 04/01/2021

**Email:** esteele@adcogov.org

**Resubmittal Required**

ENG1: How many diesel fueling positions are proposed and were those positions included in the 24 total cited in the March 4, 2021 Trip Generation Analysis? The submitted site plan appears to show 24 vehicle fueling positions in Phase 1 alone.

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**Commenting Division:** Tri-County Review

**Name of Reviewer:** Alan Sielaff

**Date:** 04/01/2021

**Email:**

**Comment**

Separate comment letter provided. No objection to Rezone.

---

**Commenting Division:** CDPHE Review

**Name of Reviewer:**

**Date:** 04/01/2021

**Email:**

**Comment**

Separate comment letter provided - standard response. No objection to Rezone.

---

**Commenting Division:** Xcel Energy Review

**Name of Reviewer:**

**Date:** 04/01/2021

**Email:**

**Comment**

Separate letter provided - no objection to Rezone.



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**Commenting Division:** Environmental Analyst Review

**Name of Reviewer:** Katie Keefe

**Date:** 03/25/2021

**Email:** kkeefe@adcogov.org

**Resubmittal Required**

ENV1. Pump islands shall be located a minimum of fifty (50) feet from residentially zoned or used property lines and a minimum of forty (40) feet from other exterior property lines. Pump island canopies may project to within thirty (30) feet of property lines. Islands shall not interfere with any sight distance triangles in accordance with these standards and regulations.

ENV2. Underground Storage Tank (UST) Setbacks: UST vent pipes must be located a minimum of fifty (50) feet from residentially zoned or used property lines and a minimum of forty (40) feet from other exterior property lines.

ENV3. The applicant must provide copies of all required notifications submitted to OPS including notifications for new UST systems.

General questions can be forwarded to the Division of OPS Technical Assistance line at 303-318-8547.

Tank installation questions would be referred to Bill Hickman at 303-318-8505 or bill.hickman@state.co.us.

ENV4. The applicant must provide a copy of its Air Pollutant Emission Notice submitted to CDPHE that indicates estimated annual fuel throughput and calculated estimated emission levels for gasoline and diesel fuel dispensing facilities.

ENV5. Please provide a site plan demonstrating the location of UST vent pipes, emergency shut-off equipment, and spill response equipment.

---

**Commenting Division:** ROW Review

**Name of Reviewer:** David Dittmer

**Date:** 03/23/2021

**Email:** ddittmer@adcogov.org

**Complete**

ROW1: Pursuant to traffic study additional dedication of ROW along 56th Ave may be required.

ROW2: Federal is controlled by CDOT and depending on comments received, additional ROW dedication may be required.

ROW3: Pending engineering review additional storm water drainage easements will be dedicated by separate instrument





### Development Review Team Comments

**Date: April 30, 2021**

**Project Number: RCU2021-00002**

**Project Name: Maverik Rezone – 56<sup>th</sup> & Federal**

Due to the ongoing COVID-19 pandemic, all land use applications and resubmittals are to be delivered electronically to [epermitcenter@adcogov.org](mailto:epermitcenter@adcogov.org). For additional information on department operations, please visit <http://www.adcogov.org/CED>.

Please note where “Section” or “DSR” is referenced, please refer to the appropriate section of the Adams County Development Standards and Regulations. These can be viewed online here: <http://www.adcogov.org/development-standards-regulations>.

Land Use and Development Applications can be accessed here: <http://www.adcogov.org/current-planning-application-packets>



**Commenting Division:** Planning Review  
**Name of Reviewer:** Alan Sielaff, Planner II  
**Email:** [ASielaff@adcogov.org](mailto:ASielaff@adcogov.org) / 720-523-6817  
**Review Status:** Complete

PLN01: Request – Rezone Lot 9A of the Re-Subdivision of Westmoorland Plat Correction No. 2, case PLT2021-00003, from Residential-2 (R-2) to Commercial-5 (C-5). Lot 9A will be 30,001 sq. ft., or 0.689 acres.

PLN02: Zoning Review, C-5 district (see Section 3-23)

1. Purpose statement: The purpose of the Commercial-5 District is to serve as a general retail and service district designed to provide the broadest scope of services and products for both the general and traveling public in an interstate and regional context. In certain situations, it may be appropriate through a conditional use permit to allow a mix of uses in this zone district – allowing both residential and commercial uses within one building.
2. Land use: Convenience stores with fueling stations where vehicles are serviced with minor repairs, oil changes, etc.
  - a. Proposed use is allowed by-right in this zone district.
3. Minimum lot width: 100 ft.
  - a. Lot 9A of the Re-Subdivision of Westmoorland will be 100 ft. Site meets standards
4. Setbacks: Review based on conceptual plan submitted with Rezone application. **Final site plan is not approved until building permit is applied for.**
  - a. Front (north) – 25 ft. Additional Section Line setback (from centerline of W. 56<sup>th</sup> Ave.) also requires 100 ft. from section line. Waivers can be approved by the Director of Public Works. Please submit request in writing at time of building permit.
  - b. Side (east and west) – 15 ft. one side, 5 ft. other, 0 ft. with fireproofed structure.
  - c. Rear – 15 ft.
  - d. Convenience store and fuel pump canopies meet the above setbacks.
5. Height: 35 ft. maximum.
  - a. Detail not provided, 1 story structures anticipated to meet standards.
6. Maximum floor area: None.
  - a. Proposed convenience store is 5,637 SF
7. Hours of operation: No limitations.
8. Comprehensive Plan designation: Urban Residential
  - a. Urban residential areas are designated for single and multiple family housing, typically at urban densities of one dwelling per acre or greater. These areas are intended to provide for development of residential neighborhoods with a variety of housing types, with adequate urban services and transportation facilities. Urban residential areas may include supporting neighborhood commercial uses designed to serve the needs of nearby residents.
  - b. Use is considered a supporting neighborhood commercial use and supports rezoning to either C-4 or C-5.
9. Additional general standards for commercial uses are found in Section 4-09 including architectural compatibility and screening standards. Operational standards for all uses are



included in Section 4-14 relating to noise, odor, light, and other potential nuisance impacts to surrounding properties. **Please review and confirm use will meet all Operational Standards.**

10. Sign Standards are found in Section 4-15. A separate building permit for all building and free-standing signs will be required.
11. Additional Site Design standards are found in Section 4-21.
12. Site fencing will require a separate building permit.
13. Traffic Impact Fees will be required for new development according to Section 5-06. Current fee schedule is available online here:  
[http://www.adcogov.org/sites/default/files/2020\\_ImpactFeeTable.pdf](http://www.adcogov.org/sites/default/files/2020_ImpactFeeTable.pdf)

PLN03: Zoning Map Amendment (Rezone) approval criteria, 2-02-15-06-02 ZONING MAP AMENDMENTS (REZONING) provided for reference. **Staff review finds approval criteria are met or will be met with resubmittal comments addressed.**

The Planning Commission, in making their recommendation, and the Board of County Commissioners, in approving a Zoning Map amendment, shall find:

1. The Zoning Map amendment is consistent with the Adams County Comprehensive Plan.
2. The Zoning Map amendment is consistent with the purposes of these standards and regulations.
3. The Zoning Map amendment will comply with the requirements of these standards and regulations.
4. The Zoning Map amendment is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.

**Commenting Division:** External Agency (EA) Referral Review  
**Review Status:** Ongoing

EA1: The following external agencies responded with a separate comment letter or email which will be provided in the following pages: Adams County Sheriff's Office (ASCO), City of Westminster, Colorado Department of Health and Environment (CDPHE), Colorado Department of Transportation (CDOT), and Regional Transportation District (RTD).

EA2: Referral agency comments are generally described in the staff report and may be recommended conditions or notes of approval for the applicant to adhere to if the development application is approved. If additional referral agency comments are received following this letter staff will forward to the applicant to respond in next submittal.

**Commenting Division:** Public Comment  
**Review Status:** Ongoing

PC1: As of the date of this comment letter, 2 additional public comments in opposition have been received. The original submittal received 2 public comments in support (1 written, 1 verbal – called to



discuss with case manager). Public comment will continue to be accepted moving forward and all comments will be included in appendices to the staff report provided to the Planning Commission and Board of County Commissioners once public hearings are scheduled. It is recommended to provide a response to individual public comments or evidence of direct outreach as appropriate.



Community & Economic  
Development Department  
www.adcogov.org



4430 South Adams County Parkway  
1st Floor, Suite W2000B  
Brighton, CO 80601-8218  
PHONE 720.523.6880  
FAX 720.523.6967  
EMAIL: epermitcenter@adcogov.org

## **Development Review Team Comments**

**Date:** 4/30/2021

**Project Number:** RCU2021-00002

**Project Name:** Maverik Rezone - 56th & Federal

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**Commenting Division:** Development Engineering Review 2nd Review

**Name of Reviewer:** Eden Steele

**Date:** 04/28/2021

**Email:**

**Complete**

---

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry  
DISTRICT 1

Charles "Chaz" Tedesco  
DISTRICT 2

Emma Pinter  
DISTRICT 3

Steve O'Dorisio  
DISTRICT 4

Lynn Baca  
DISTRICT 5



---

**Commenting Division:** CDOT Review 2nd Review

**Name of Reviewer:**

**Date:** 04/28/2021

**Email:**

**Comment**

Alan,

I have reviewed the amended request to rezone from R-2 to C-5 on property located at 5580 Federal Blvd. for a Maverik fuel station and convenience and have no objections.

We are continuing to work with the developers for this redevelopment on the required access permitting.

Thank you for the opportunity to review this referral.

Steve Loeffler

Permits Unit- Region 1

P 303.757.9891 | F 303.757.9053

2829 W. Howard Pl. 2nd Floor, Denver, CO 80204

steven.loeffler@state.co.us | www.codot.gov | www.cotrip.org

---

**Commenting Division:** Planner Review 2nd Review

**Name of Reviewer:** Alan Sielaff

**Date:** 04/28/2021

**Email:**

**Complete**

No outstanding Planning comments. Separate review letter to be provided.

---

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry  
DISTRICT 1

Charles "Chaz" Tedesco  
DISTRICT 2

Emma Pinter  
DISTRICT 3

Steve O'Dorisio  
DISTRICT 4

Lynn Baca  
DISTRICT 5



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**Commenting Division:** ROW Review 2nd Review

**Name of Reviewer:** David Dittmer

**Date:** 04/22/2021

**Email:**

**Resubmittal Required**

ROW1: Provided title commitment with hyperlinks to document recording information

ROW2: Title Commitment provided dated 7/22/2019. Needs to be updated to within 30 days of application. Please provide updated title commitment.

ROW3: Pursuant to engineering review, dedication of drainage easements may need to be completed. Dedication Application Packets are available on line through Onestop.

ROW4: W. 56th Ave is classified as a collector per the 2012 Adams County Final Transportation Plan. As such it should have a 40' half right of way width. It currently appears to be only 25' from center line of W. 56th Ave to property line. Confirm necessary dedication through a licensed Colorado Surveyor, and have required Exhibits drafted. An additional dedication of 15' will be required for W. 56th Ave. This dedication application packet is available on line through Onestop.

ROW5: Pending response from CDOT for traffic and access off Federal Blvd., additional ROW may need to be dedicated.

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**Commenting Division:** Application Intake 2nd Review

**Name of Reviewer:** Rayleen Swarts

**Date:** 04/09/2021

**Email:**

**Complete**

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**Commenting Division:** Neighborhood Services Review

**Name of Reviewer:** Gail Moon

**Date:** 04/05/2021

**Email:** gmoon@adcogov.org

**Comment**

Code Compliance Officer Kerry Gress has a question/comment about trash collection. I don't see any place for dumpsters, so will the tenants be responsible for their own trash containers and removal? Will they be required to store them in the garage?

---

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry  
DISTRICT 1

Charles "Chaz" Tedesco  
DISTRICT 2

Emma Pinter  
DISTRICT 3

Steve O'Dorisio  
DISTRICT 4

Lynn Baca  
DISTRICT 5





## **Development Review Team Comments**

**Date:** 6/2/2021

**Project Number:** RCU2021-00002

**Project Name:** Maverik Rezone - 56th & Federal

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**Commenting Division:** Plan Coordination 3rd Review

**Name of Reviewer:** Alan Sielaff

**Date:** 05/13/2021

**Email:**

**Pending Public Hearing**

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**Commenting Division:** ROW Review 3rd Review

**Name of Reviewer:** David Dittmer

**Date:** 05/11/2021

**Email:**

**Complete**



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**Commenting Division:** ROW Review 3rd Review

**Name of Reviewer:** David Dittmer

**Date:** 05/04/2021

**Email:**

**Under Review**

---

**Commenting Division:** Application Intake 3rd Review

**Name of Reviewer:** Alan Sielaff

**Date:** 04/30/2021

**Email:**

**Complete**

---

**Commenting Division:** Plan Coordination 2nd Review

**Name of Reviewer:** Alan Sielaff

**Date:** 04/30/2021

**Email:**

**Resubmittal Required**

---

**Commenting Division:** Environmental Analyst Review 2nd Review

**Name of Reviewer:** Katie Keefe

**Date:** 04/30/2021

**Email:**

**Complete**

ENV1. At the time of building permit the applicant must provide copies of all required notifications submitted to OPS including notifications for new UST systems.

ENV2. At the time of building permit, the applicant must provide a copy of its Air Pollutant Emission Notice submitted to CDPHE that indicates estimated annual fuel throughput and calculated estimated emission levels for gasoline and diesel fuel dispensing facilities.

---

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry  
DISTRICT 1

Charles "Chaz" Tedesco  
DISTRICT 2

Emma Pinter  
DISTRICT 3

Steve O'Dorisio  
DISTRICT 4

Lynn Baca  
DISTRICT 5



**From:** [Carla Gutierrez](#)  
**To:** [Alan Sielaff](#)  
**Subject:** Re: Updated Request for Comments: RCU2021-00002 - Maverik Rezone - 56th & Federal  
**Date:** Tuesday, May 4, 2021 11:31:57 AM

---

Please be cautious: This email was sent from outside Adams County

Good morning Alan,

At this time, the Fire District has no questions or concerns for the Maverick Rezone. As the development project moves along, we will provide more information and comments.

Thank you!

*Carla Gutierrez*

Adams County Fire Rescue  
7980 Elmwood Lane  
Denver, CO 80221  
O: 303-539-6862

---

**From:** Alan Sielaff <ASielaff@adcogov.org>  
**Date:** Wednesday, April 14, 2021 at 4:12 PM  
**To:** Alan Sielaff <ASielaff@adcogov.org>  
**Subject:** Updated Request for Comments: RCU2021-00002 - Maverik Rezone - 56th & Federal

Hello,

I am sending a new Request for Comments on this case because the applicant has amended the request to Rezone to C-5 rather than C-2 due to an hours of operation limitation included in the C-2 district. The proposed gas station is to operate 24/7 which is not allowed in the C-2 zone. Additional comment responses have also been provided with the resubmittal posted online here: [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases). If you did not originally have comments and that remains the case, no need to respond. But please provide review and comment to me if you did comment before or have any new concerns by **May 5, 2021**.

Thank you,

<https://www.adcogov.org/> style='position:absolute;margin-left:0;margin-top:80.3pt;width:67.15pt;height:82.05pt;z-index:251661312;visibility:visible;mso-wrap-style:square;mso-width-percent:0;mso-height-percent:0;mso-wrap-distance-left:9pt;mso-wrap-distance-top:0;mso-wrap-distance-right:9pt;mso-wrap-distance-bottom:0;mso-position-horizontal:left;mso-position-horizontal-relative:text;mso-position-vertical:absolute;mso-position-vertical-relative:text;mso-width-percent:0;mso-height-percent:0;mso-width-relative:page;mso-height-relative:page' o:button="t"> **Alan Sielaff, AICP**  
Planner II, Community & Economic Development Department  
**ADAMS COUNTY, COLORADO**

4430 S. Adams County Parkway, 1<sup>st</sup> Floor, Suite W2000A  
Brighton, CO 80601



**From:** [Rick Reigenborn](#)  
**To:** [Alan Sielaff](#)  
**Subject:** Re: Updated Request for Comments: RCU2021-00002 - Maverik Rezone - 56th & Federal  
**Date:** Thursday, April 22, 2021 9:30:37 AM

---

The Sheriff's office has no position in this request.

Sheriff Rick Reigenborn

Sent from a mobile device and could contain spelling or grammatical errors due to auto correct.

---

**From:** Alan Sielaff <ASielaff@adcogov.org>  
**Sent:** Wednesday, April 14, 2021 4:12:08 PM  
**To:** Alan Sielaff <ASielaff@adcogov.org>  
**Subject:** Updated Request for Comments: RCU2021-00002 - Maverik Rezone - 56th & Federal

Hello,

I am sending a new Request for Comments on this case because the applicant has amended the request to Rezone to C-5 rather than C-2 due to an hours of operation limitation included in the C-2 district. The proposed gas station is to operate 24/7 which is not allowed in the C-2 zone. Additional comment responses have also been provided with the resubmittal posted online here: [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases). If you did not originally have comments and that remains the case, no need to respond. But please provide review and comment to me if you did comment before or have any new concerns by **May 5, 2021**.

Thank you,



**Alan Sielaff, AICP**

Planner II, Community & Economic Development Department  
ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1<sup>st</sup> Floor, Suite W2000A

Brighton, CO 80601

P: 720.523.6817 | Department: 720.523.6800

[asielaff@adcogov.org](mailto:asielaff@adcogov.org) | [www.adcogov.org](http://www.adcogov.org)

*Department operating are hours Tuesday through Friday, 7 a.m. to 5:30 p.m. [more information is available on our website](#). [Access Adams Online](#) to take care of many services remotely, and find other [department schedules and information here](#).*

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**From:** Alan Sielaff  
**Sent:** Monday, March 15, 2021 9:41 AM  
**To:** Alan Sielaff <ASielaff@adcogov.org>  
**Subject:** Request for Comments: RCU2021-00002 - Maverik Rezone - 56th & Federal

Greetings,



**From:** [Localreferral - CDPHE, CDPHE](#)  
**To:** [Alan Sielaff](#)  
**Subject:** Re: Updated Request for Comments: RCU2021-00002 - Maverik Rezone - 56th & Federal  
**Date:** Wednesday, April 14, 2021 4:12:55 PM

---

Please be cautious: This email was sent from outside Adams County

Thank you for contacting the Colorado Department of Public Health and Environment (CDPHE). CDPHE's general comments are available [here](#). We will continue to review this referral to determine whether additional comments are necessary. If additional comments are necessary, we will submit them by the referral deadline.

--



[cdphe\\_localreferral@state.co.us](mailto:cdphe_localreferral@state.co.us) | [colorado.gov/cdphe](https://colorado.gov/cdphe)



Thank you for contacting the Colorado Department of Public Health and Environment (CDPHE). Please note that the following requirements and recommendations apply to many but not all projects referred by local governments. Also, they are not intended to be an exhaustive list and it is ultimately the responsibility of the applicant to comply with all applicable rules and regulations. CDPHE's failure to respond to a referral should not be construed as a favorable response.

### **Hazardous and Solid Waste**

The applicant must comply with all applicable hazardous and solid waste rules and regulations.

Hazardous waste regulations are available here:

<https://www.colorado.gov/pacific/cdphe/hwregs>.

Solid waste regulations are available here:

<https://www.colorado.gov/pacific/cdphe/swregs>.

Applicable requirements may include, but are not limited to, properly characterizing all wastes generated from this project and ensuring they are properly managed and disposed of in accordance with Colorado's solid and hazardous waste regulations.

If this proposed project processes, reclaims, sorts, or recycles recyclable materials generated from industrial operations (including, but not limited to construction and demolition debris and other recyclable materials), then it must register as an industrial recycling facility in accordance with Section 8 of the Colorado Solid Waste Regulations. The industrial recycling registration form is available here:

<https://www.colorado.gov/pacific/cdphe/sw-recycling-forms-apps>.

If you have any questions regarding hazardous and/or solid waste, please contact CDPHE's Hazardous Materials and Waste Management Division (HMWMD) by emailing [comments.hmwmd@state.co.us](mailto:comments.hmwmd@state.co.us) or calling 303-692-3320.

### **Water Quality**

The applicant must comply with all applicable water quality rules and regulations.

The Water Quality Control Division (WQCD) administers regulatory programs that are generally designed to help protect both Colorado's natural water bodies (the clean water program) and built drinking water systems. Applicants must comply with all applicable water quality rules and regulations relating to both clean water and drinking water. All water quality regulations are available here:

<https://cdphe.colorado.gov/water-quality-control-commission-regulations>.





## Clean Water Requirements

Applicable clean water requirements may include, but are not limited to, obtaining a stormwater discharge permit if construction activities disturb one acre or more of land or if they are part of a larger common plan of development that will disturb one or more acres of land. In determining the area of construction disturbance, WQCD looks at the entire plan, including disturbances associated with utilities, pipelines or roads constructed to serve the facility.

Please use the Colorado Environmental Online Services (CEOS) to apply for new construction stormwater discharge permits, modify or terminate existing permits and change permit contacts.

For CEOS support please see the following WQCD website:

<https://cdphe.colorado.gov/cor400000-stormwater-discharge>

or contact:

Email: [cdphe\\_ceos\\_support@state.co.us](mailto:cdphe_ceos_support@state.co.us) or [cdphe\\_wqcd\\_permits@state.co.us](mailto:cdphe_wqcd_permits@state.co.us)

CEOS Phone: 303-691-7919

Permits Phone: 303-692-3517

## Drinking Water Requirements

Some projects may also need to address drinking water regulations if the proposed project meets the definition of a “Public Water System” per the Colorado Primary Drinking Water Regulations (Regulation 11):

*A Public Water System means a system for the provision to the public of water for human consumption through pipes or other constructed conveyances, if such system has at least fifteen service connections or regularly serves an average of at least 25 individuals daily at least 60 days per year. A public water system is either a community water system or a non-community water system. Such term does not include any special irrigation district. Such term includes:*

*(a) Any collection, treatment, storage, and distribution facilities under control of the supplier of such system and used primarily in connection with such system.*

*(b) Any collection or pretreatment storage facilities not under such control, which are used primarily in connection with such system.*

If applicable, the project would need to meet all applicable requirements of Regulation 11 including, but not limited to, design review and approval; technical, managerial and financial review and approval; having a certified operator; and routine monitoring and reporting. If it is determined that your facility meets the definition of a public water system please submit a drinking water inventory update form to the department. For questions regarding drinking water regulation applicability or other assistance and resources, visit these websites:





<https://cdphe.colorado.gov/drinking-water>

<https://cdphe.colorado.gov/dwtrain>

If you have any other questions regarding either clean or drinking water quality, please contact CDPHE's WQCD by emailing [cdphe.commentswqcd@state.co.us](mailto:cdphe.commentswqcd@state.co.us) or calling 303-692-3500.

### **Air Quality**

The applicant must comply with all relevant state and federal air quality rules and regulations. Air quality regulations are available here:

<https://www.colorado.gov/pacific/cdphe/aqcc-regs>.

### **Air Pollutant Emissions Notices (APENs) and Permits**

Applicable requirements may include, but are not limited to, reporting emissions to the Air Pollution Control Division (APCD) by completing an APEN. An APEN is a two in one form for reporting air emissions and obtaining an air permit, if a permit will be required. While only businesses that exceed the Air Quality Control Commission (AQCC) reporting thresholds are required to report their emissions, all businesses - regardless of emission amount - must always comply with applicable AQCC regulations.

In general, an APEN is required when uncontrolled actual emissions for an emission point or group of emission points exceed the following defined emission thresholds:

Table 1 APEN Thresholds		
Pollutant Category	UNCONTROLLED ACTUAL EMISSIONS	
	Attainment Area	Non-attainment Area
Criteria Pollutant	2 tons per year	1 ton per year
Lead	100 pounds per year	100 pounds per year
Non-Criteria Pollutant	250 pounds per year	250 pounds per year

Uncontrolled actual emissions do not take into account any pollution control equipment that may exist. A map of the Denver Metropolitan Ozone Non-attainment area can be found on the following website: [http://www.colorado.gov/airquality/ss\\_map\\_wm.aspx](http://www.colorado.gov/airquality/ss_map_wm.aspx).

In addition to these reporting thresholds, a Land Development APEN (Form APCD-223) may be required for land development. Under Colorado air quality regulations, land development refers to all land clearing activities, including but not limited to land preparation such as excavating or grading, for residential, commercial or industrial development. Land development activities release fugitive dust, a pollutant regulated by APCD. Small land development activities are not subject to the same reporting and permitting requirements as large land activities. Specifically, land development activities





that are less than 25 contiguous acres and less than 6 months in duration do not need to report air emissions to APCD.

It is important to note that even if a permit is not required, fugitive dust control measures included the Land Development APEN Form APCD-223 must be followed at the site. Fugitive dust control techniques commonly included in the plan are included in the table below.

Control Options for Unpaved Roadways	
Watering	Use of chemical stabilizer
Paving	Controlling vehicle speed
Graveling	
Control Options for Mud and Dirt Carry-Out Onto Paved Surfaces	
Gravel entry ways	Washing vehicle wheels
Covering the load	Not overfilling trucks
Control Options for Disturbed Areas	
Watering	Application of a chemical stabilizer
Revegetation	Controlling vehicle speed
Compaction	Furrowing the soil
Wind Breaks	Minimizing the areas of disturbance
	Synthetic or Natural Cover for Slopes

Additional information on APENs and air permits can be found on the following website: <https://www.colorado.gov/pacific/cdphe/air/do-you-need-an-apen>. This site explains the process to obtain APENs and air quality permits, as well as information on calculating emissions, exemptions, and additional requirements. You may also view AQCC Regulation Number 3 at <https://www.colorado.gov/pacific/cdphe/aqcc-regs> for the complete regulatory language.

If you have any questions regarding Colorado's APEN or air permitting requirements or are unsure whether your business operations emit air pollutants, please call the Small Business Assistance Program (SBAP) at 303- 692-3175 or 303-692-3148.

### Asbestos and Lead-Based Paint

In Colorado there are regulations regarding the appropriate removal and handling of asbestos and lead-based paint as part of a demolition, renovation, or remodeling project. These regulations are presented in AQCC Number 8 (asbestos) and Number 19 (lead-based paint) which can be found on the following website: <https://www.colorado.gov/cdphe/aqcc-regs>.

These regulations may require the use of, or inspection by, companies or individuals that are certified to inspect or remove these hazards **prior to renovation or demolition**. APCD must also be notified of abatement or demolition activities prior to beginning any work in the case of asbestos. For additional guidance on these regulations and lists of certified companies and individuals please visit the following website for asbestos:

<https://www.colorado.gov/cdphe/categories/services-and-information/environment/asbesto>





[s](#) and the following website for lead-based paint:

<https://www.colorado.gov/pacific/cdphe/categories/services-and-information/lead>.

If you have any questions about Colorado's asbestos and lead-based paint regulations or are unsure whether you are subject to them please call the Indoor Environment Program at 303-692-3100.

If you have more general questions about air quality, please contact CDPHE's APCD by emailing [cdphe.commentsapcd@state.co.us](mailto:cdphe.commentsapcd@state.co.us) or calling 303-692-3100.

### **Health Equity and Environmental Justice**

CDPHE notes that certain projects have potential to impact vulnerable minority and low-income communities. It is our strong recommendation that your organization consider the potential for disproportionate environmental and health impacts on specific communities within the project scope and if so, take action to mitigate and minimize those impacts. This includes interfacing directly with the communities in the project area to better understand community perspectives on the project and receive feedback on how it may impact them during development and construction as well as after completion. We have included some general resources for your reference.

Additional Resources:

[CDPHE's Health Equity Resources](#)

[CDPHE's Checking Assumptions to Advance Equity](#)

[EPA's Environmental Justice and NEPA Resources](#)





**From:** [Loeffler - CDOT, Steven](#)  
**To:** [Alan Sielaff](#)  
**Cc:** [Bradley Sheehan - CDOT](#); [David Dixon - CDOT](#)  
**Subject:** Re: Updated Request for Comments: RCU2021-00002 - Maverik Rezone - 56th & Federal  
**Date:** Wednesday, April 21, 2021 9:15:54 AM

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Please be cautious: This email was sent from outside Adams County

Alan,

I have reviewed the amended request to rezone from R-2 to C-5 on property located at 5580 Federal Blvd. for a Maverik fuel station and convenience and have no objections.

We are continuing to work with the developers for this redevelopment on the required access permitting.

Thank you for the opportunity to review this referral.

**Steve Loeffler**  
Permits Unit- Region 1



P 303.757.9891 | F 303.757.9053  
2829 W. Howard Pl. 2nd Floor, Denver, CO 80204  
[steven.loeffler@state.co.us](mailto:steven.loeffler@state.co.us) | [www.codot.gov](http://www.codot.gov) | [www.cotrip.org](http://www.cotrip.org)

On Wed, Apr 14, 2021 at 4:12 PM Alan Sielaff <[ASielaff@adcogov.org](mailto:ASielaff@adcogov.org)> wrote:

Hello,

I am sending a new Request for Comments on this case because the applicant has amended the request to Rezone to C-5 rather than C-2 due to an hours of operation limitation included in the C-2 district. The proposed gas station is to operate 24/7 which is not allowed in the C-2 zone. Additional comment responses have also been provided with the resubmittal posted online here:

[www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases). If you did not originally have comments and that remains the case, no need to respond. But please provide review and comment to me if you did comment before or have any new concerns by **May 5, 2021**.

Thank you,



**From:** [McConnell, John](#)  
**To:** [Alan Sielaff](#)  
**Cc:** [Planning; Spurgin, Andrew](#)  
**Subject:** RE: Updated Request for Comments: RCU2021-00002 - Maverik Rezone - 56th & Federal  
**Date:** Thursday, April 15, 2021 9:54:05 AM

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Please be cautious: This email was sent from outside Adams County

Hello Alan,

Thanks for sharing this referral with us. The Community Development Department has no additional comments to provide on this rezoning.

Best regards,  
John

**John McConnell, AICP** | Principal Planner  
City of Westminster Community Development  
V: 303.658.2474



4800 West 92<sup>nd</sup> Avenue, Westminster, CO 80031  
Monday – Thursday, 7am to 6pm (Closed Friday)

Visit [eTRAKit](#) online to apply for projects and permits,  
submit plans, make payments and schedule inspections

PLEASE NOTE: City Hall remains closed to the public as the City of Westminster continues to support efforts to lessen the spread of COVID-19 (coronavirus). No reopening date has been established at this time. City Hall Staff members are available to serve you in a remote capacity and will interact with you via email during the closure. Thank you for your understanding and patience. We look forward to serving you.

---

**From:** Planning  
**Sent:** Wednesday, April 14, 2021 4:22 PM  
**To:** McConnell, John <jmcconne@CityofWestminster.us>; Spurgin, Andrew <aspurgin@CityofWestminster.us>  
**Subject:** FW: Updated Request for Comments: RCU2021-00002 - Maverik Rezone - 56th & Federal

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**From:** Alan Sielaff <[ASielaff@adcogov.org](mailto:ASielaff@adcogov.org)>  
**Sent:** Wednesday, April 14, 2021 4:12 PM  
**To:** Alan Sielaff <[ASielaff@adcogov.org](mailto:ASielaff@adcogov.org)>  
**Subject:** Updated Request for Comments: RCU2021-00002 - Maverik Rezone - 56th & Federal

Hello,



**From:** [McConnell, John](#)  
**To:** [Alan Sielaff](#)  
**Cc:** [Spurgin, Andrew](#)  
**Subject:** RE: Request for Comments: RCU2021-00002 - Maverik Rezone - 56th & Federal  
**Date:** Wednesday, March 17, 2021 8:11:32 AM

---

Please be cautious: This email was sent from outside Adams County

Hi Alan,

Thanks for sharing this referral with us. This looks like a great opportunity for redevelopment on this site. It appears that is redevelopment will remove an adult business and a billboard in the process. We definitely think this will be good for the area and support the application. Other than this, the Community Development Department has no other comments or concerns.

Best regards,  
John

**John McConnell, AICP** | Principal Planner  
City of Westminster Community Development  
V: 303.658.2474



4800 West 92<sup>nd</sup> Avenue, Westminster, CO 80031  
Monday – Thursday, 7am to 6pm (Closed Friday)

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# MEMO

COMMUNITY DEVELOPMENT  
DEPARTMENT

**To:** Alan Sielaff, Planner II  
**From:** Omar Yusuf, City Planner  
**Subject:** RCU2021-00002  
**Date:** May 4, 2021

---

To the Adams County Board of Commissioners,

Thank you for allowing Commerce City to comment on the Rezone for the location at 2922 W. 56<sup>th</sup> Avenue that may have an impact on our jurisdiction. The city has no comments on the proposed application.

If you have any questions, please contact me at [oyusuf@c3gov.com](mailto:oyusuf@c3gov.com) or (303) 227-7187





**From:** [Naso, Kela A.](#)  
**To:** [Alan Sielaff](#)  
**Subject:** RE: Request for Comments: RCU2021-00002 - Maverik Rezone - 56th & Federal  
**Date:** Monday, March 22, 2021 8:53:49 AM  
**Attachments:** [image002.png](#)

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Please be cautious: This email was sent from outside Adams County

Good Morning Alan,

Denver Water doesn't have comments regarding this rezone. If the owner/ developer needs to have water services add to the redevelopment they should reach out to our sales administration team at [watersales@denverwater.org](mailto:watersales@denverwater.org), I am also available to answer any questions.

Thank you,

**Kela Naso** | Engineering Specialist  
**Denver Water** | t: 303-628-6302 | c: 720-517-4486  
[denverwater.org](http://denverwater.org) | [denverwaterTAP.org](http://denverwaterTAP.org)



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**From:** Alan Sielaff <[ASielaff@adcogov.org](mailto:ASielaff@adcogov.org)>  
**Sent:** Monday, March 15, 2021 9:41 AM  
**To:** Alan Sielaff <[ASielaff@adcogov.org](mailto:ASielaff@adcogov.org)>  
**Subject:** Request for Comments: RCU2021-00002 - Maverik Rezone - 56th & Federal

Greetings,

The Adams County Planning Commission is requesting comments on the following application: **Zoning Map Amendment (Rezone) of approximately 0.689 acres from Residential-2 to Commercial-2 to facilitate development of a new Maverik fuel station with convenience store at 5580 Federal Blvd.** Request is in conjunction with a Lot Line Adjustment between Lots 8 and 9 of the Resubdivision of Westmoorland Plat Correction No. 2 currently under review. This request is located at 2922 W. 56th Avenue. The Assessor's Parcel Number is 0182517103051.

Applicant Information: MAVERIK, INC.  
185 S. STATE STREET FLOOR 800  
SALT LAKE CITY, UT 84111

Please forward any written comments on this application to me at to [ASielaff@adcogov.org](mailto:ASielaff@adcogov.org) by **April 5, 2021**, in order that your comments may be taken into consideration in the review of this case. The full text of the proposed request can be obtained by contacting this office or by accessing the Adams County web site at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases).

Thank you for your review of this case.

**Alan Sielaff, AICP**  
Planner II, Community & Economic Development Department



**From:** [Clayton Woodruff](#)  
**To:** [Alan Sielaff](#)  
**Subject:** RE: Updated Request for Comments: RCU2021-00002 - Maverik Rezone - 56th & Federal  
**Date:** Thursday, April 22, 2021 8:52:14 AM

---

Please be cautious: This email was sent from outside Adams County

Alan,

The RTD has no comment on this project.

Thanks,



**C. Scott Woodruff**  
**Engineer III**

Regional Transportation District  
1560 Broadway, Suite 700, FAS-73 | Denver, CO 80202

o 303.299.2943 | m 303-720-2025  
[clayton.woodruff@rtd-denver.com](mailto:clayton.woodruff@rtd-denver.com)

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**From:** Alan Sielaff <ASielaff@adcogov.org>  
**Sent:** Wednesday, April 14, 2021 4:12 PM  
**To:** Alan Sielaff <ASielaff@adcogov.org>  
**Subject:** Updated Request for Comments: RCU2021-00002 - Maverik Rezone - 56th & Federal

Hello,

I am sending a new Request for Comments on this case because the applicant has amended the request to Rezone to C-5 rather than C-2 due to an hours of operation limitation included in the C-2 district. The proposed gas station is to operate 24/7 which is not allowed in the C-2 zone. Additional comment responses have also been provided with the resubmittal posted online here: [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases). If you did not originally have comments and that remains the case, no need to respond. But please provide review and comment to me if you did comment before or have any new concerns by **May 5, 2021**.

Thank you,

**Alan Sielaff, AICP**

Planner II, Community & Economic Development Department  
ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1<sup>st</sup> Floor, Suite W2000A

Brighton, CO 80601

P: 720.523.6817 | Department: 720.523.6800

[asielaff@adcogov.org](mailto:asielaff@adcogov.org) | [www.adcogov.org](http://www.adcogov.org)

Department operating are hours Tuesday through Friday, 7 a.m. to 5:30 p.m. [more information is available on our](#)





May 5, 2021

Alan Sielaff  
Adams County Community and Economic Development  
4430 South Adams County Parkway, Suite W2000A  
Brighton, CO 80601

RE: Maverik Rezone, RCU2021-00002  
TCHD Case No. 6830

Dear Mr. Sielaff,

Thank you for the opportunity to review and comment on Rezoning of 0.689 acres from Residential-2 to Commercial-5 to facilitate the development of a fueling station and convenience store located at 5580 Federal Boulevard. Tri-County Health Department (TCHD) staff previously reviewed the application for Rezoning of the property from Residential-2 to Commercial-2 and responded in a letter dated March 17, 2021 with the following comments. TCHD has no further comments.

### **Food Service Plan Review**

TCHD reviews plans for new and remodeled retail food establishments to reduce the risk of food borne illnesses. Plans for all new and remodeled retail food establishments must be reviewed by TCHD for compliance with Colorado Food Code and approved by the Department before the start of construction. The applicant shall submit plans for the proposed food establishment to our Administration Office at 6162 S Willow Drive, Suite 100, Greenwood Village, along with the Plan Review Specification Packet found at <http://www.tchd.org/DocumentCenter/View/2094>. More information can be found at <http://www.tchd.org/246/Restaurants-Grocery>. We recommend a review of the plans by TCHD be completed before the County issues a building permit for the construction.

The applicant may call TCHD's Plan Review Hotline, at our Administrative Office at (303) 846-6230, regarding requirements for, and scheduling a plan review. Instructions for opening a retail food establishment can be found on line at TCHD's web site at <http://www.tchd.org/DocumentCenter/View/315>.

### **Underground Storage Tanks**

Leaking underground storage tanks have the potential to contaminate the soil and groundwater around the tank. The underground fuel storage tanks and piping shall comply with the regulations of the Environmental Protection Agency (EPA) and the Oil Inspections Section of the Colorado Department of Labor and Employment's Division of Oil and Public Safety. Compliance with these regulations will reduce the likelihood of a tank or piping leak and release of fuel, and provide for detection if a leak occurs. The Oil Inspections Section (OIS) can be reached at (303) 318-8547, or information can be



Maverik Rezone  
May 5, 2021  
Page 2 of 2

obtained from the web site <https://www.colorado.gov/ops>.

Although regulations reduce the possibility of a leak, some potential exists for fuel released from a leaking underground tank or piping to contaminate nearby wells. TCHD recommends that the applicant contact the Colorado Department of Natural Resources determine if there are any permitted wells within 500 feet of the facility location. This investigation should determine the location, depth and any other available information on those wells.

Please feel free to contact me at 720-200-1585 or [aheinrich@tchd.org](mailto:aheinrich@tchd.org) if you have any questions.

Please feel free to contact me at 720-200-1575 or [kboyer@tchd.org](mailto:kboyer@tchd.org) if you have any questions about TCHD's comments.

Sincerely,

A handwritten signature in cursive script, appearing to read 'K Boyer', followed by a horizontal line.

Kathy Boyer, REHS  
Land Use and Built Environment Specialist III

cc: Sheila Lynch, Monte Deatrich, TCHD





March 17, 2021

Alan Sielaff  
Adams County Community and Economic Development  
4430 South Adams County Parkway, Suite W2000A  
Brighton, CO 80601

RE: Maverik Rezone, RCU2021-00002  
TCHD Case No. 6830

Dear Mr. Sielaff,

Thank you for the opportunity to review and comment on the Rezoning of 0.689 acres from Residential-2 to Commerical-2 to facilitate the development of a fueling station and convenience store located at 5580 Federal Boulevard. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has the following comments.

### **Food Service Plan Review**

TCHD reviews plans for new and remodeled retail food establishments to reduce the risk of food borne illnesses. Plans for all new and remodeled retail food establishments must be reviewed by TCHD for compliance with Colorado Food Code and approved by the Department before the start of construction. The applicant shall submit plans for the proposed food establishment to our Administration Office at 6162 S Willow Drive, Suite 100, Greenwood Village, along with the Plan Review Specification Packet found at <http://www.tchd.org/DocumentCenter/View/2094>. More information can be found at <http://www.tchd.org/246/Restaurants-Grocery>. We recommend a review of the plans by TCHD be completed before the County issues a building permit for the construction.

The applicant may call TCHD's Plan Review Hotline, at our Administrative Office at (303) 846-6230, regarding requirements for, and scheduling a plan review. Instructions for opening a retail food establishment can be found on line at TCHD's web site at <http://www.tchd.org/DocumentCenter/View/315>.

### **Underground Storage Tanks**

Leaking underground storage tanks have the potential to contaminate the soil and groundwater around the tank. The underground fuel storage tanks and piping shall comply with the regulations of the Environmental Protection Agency (EPA) and the Oil Inspections Section of the Colorado Department of Labor and Employment's Division of Oil and Public Safety. Compliance with these regulations will reduce the likelihood of a tank or piping leak and release of fuel, and provide for detection if a leak occurs. The Oil Inspections Section (OIS) can be reached at (303) 318-8547, or information can be



Maverik Rezoning

March 17, 2021

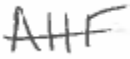
Page 2 of 2

obtained from the web site <https://www.colorado.gov/ops>.

Although regulations reduce the possibility of a leak, some potential exists for fuel released from a leaking underground tank or piping to contaminate nearby wells. TCHD recommends that the applicant contact the Colorado Department of Natural Resources determine if there are any permitted wells within 500 feet of the facility location. This investigation should determine the location, depth and any other available information on those wells.

Please feel free to contact me at 720-200-1585 or [aheinrich@tchd.org](mailto:aheinrich@tchd.org) if you have any questions.

Sincerely,

A handwritten signature in dark ink, appearing to read 'AHF', is positioned above the printed name.

Annemarie Heinrich Fortune, MPH/MURP  
Land Use and Built Environment Specialist

cc: Sheila Lynch, Monte Deatrich, TCHD





**Right of Way & Permits**

1123 West 3<sup>rd</sup> Avenue  
Denver, Colorado 80223  
Telephone: **303.571.3306**  
Facsimile: 303. 571.3284  
donna.l.george@xcelenergy.com

May 5, 2021

Adams County Community and Economic Development Department  
4430 South Adams County Parkway, 3<sup>rd</sup> Floor, Suite W3000  
Brighton, CO 80601

Attn: Alan Sielaff

**Re: Maverik Rezone - 56th & Federal Rezone, Case # RCU2021-00002**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the request for the **Maverik Rezone - 56th & Federal Rezone**. Please be advised that Public Service Company has existing overhead electric distribution facilities within the areas indicated in this proposed rezone. Public Service Company has no objection to this proposed rezone, contingent upon PSCo's ability to maintain all existing rights and this amendment should not hinder our ability for future expansion, including all present and any future accommodations for natural gas transmission and electric transmission related facilities.

As the project progresses, the property owner/developer/contractor must complete the application process for any new natural gas or electric service, or modification to existing facilities via [xcelenergy.com/InstallAndConnect](https://www.xcelenergy.com/InstallAndConnect). It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details.

Additional easements may need to be acquired by separate document for new facilities (i.e. transformer) – be sure to contact the Designer and request that they connect with a Right-of-Way and Permits Agent in this event.

As a safety precaution, PSCo would like to remind the developer to call the Utility Notification Center by dialing 811 for utility locates prior to construction.

Donna George  
Right of Way and Permits  
Public Service Company of Colorado dba Xcel Energy  
Office: 303-571-3306 – Email: [donna.l.george@xcelenergy.com](mailto:donna.l.george@xcelenergy.com)



**From:** [Jeffrey Mary Chapman](#)  
**To:** [Alan Sielaff](#)  
**Subject:** Maverik Rezone RCU2021-00002  
**Date:** Thursday, March 18, 2021 4:06:56 PM

---

Please be cautious: This email was sent from outside Adams County

To whom it may concern,

My husband and I are in support of the rezoning from residential-2 to commercial-2 to develop a fuel station and convenience store at 5580 Federal Blvd.

We look forward to having the existing building torn down and replaced with a reputable business.

Thank you!

Jeff and Mary



**From:** [Klaus Holzapfel](#)  
**To:** [Alan Sielaff](#)  
**Subject:** Re: Comments re Maverik Rezone - 56th and Federal  
**Date:** Friday, April 23, 2021 6:46:30 AM

---

Please be cautious: This email was sent from outside Adams County

Hi Alan,  
I never heard back from you regarding my email.

It seems that it's not been added to the public record.

Is there anything else I need to do in order to be heard?

I spoke with a few more neighbors and we all agree that another gas station would really be rather redundant. It's just not the right choice.

Thanks,  
Klaus Holzapfel

On Tue, Mar 30, 2021 at 9:34 AM Klaus Holzapfel <[REDACTED]> wrote:

Hi Alan,

I own the property on 2900 W 55th Avenue and received your package re the re-development of 5580 Federal Blvd. I live in Boulder but have strong ties to the Berkeley Heights and Goat Hill areas.

I am a big supporter of conscious and thoughtful upgrades to the area. The trailer park being replaced is something most neighbors should welcome since there was too much disorder around it.

There are currently 9 gas stations between I70 and I36 on Federal Blvd. Do we need a 10th one when we are actually trying to use less gas going forward?

The guys from Maverik certainly have done their math but from a planning viewpoint this doesn't make too much sense to me.

This brings up the question what kind of retail establishments we should be aiming for a post-covid world as we are prepping for the battle to reduce our carbon emissions.

I'm currently getting ready to build 11 zero-emission townhomes at 6590 Lowell Blvd. I've learned a lot about building electrification. Somewhere along the dead corridor on Federal we should have a center with a focus on building electrification: education, showing and selling the products (ductless heating system, heat-pump water heaters, etc.). That's future oriented and could set the tone for others to follow suit.

I would also love to see a Trader Joe's in the area.

We have the entire TOD zone at 60th and Federal and not much has happened there yet.

I think Federal could also work really well for restaurants preparing food for takeout. Commuters could pick up their food instead of having it brought via Uber Eats.



Imagine a center with various restaurants and a centralized pickup/delivery/drive through.

Federal Blvd could also work for a child care center where people drop off their offspring on the way to work.

I'm sure we both agree that the area does not live up to its potential. There is only so much a planner can do.

But maybe you can see my point that a gas station and store offering junk food is not really propelling us forward.

Kind regards,

Klaus Holzapfel  
4597 Sunnyside Pl, Boulder, CO 80301





**From:** [Shirley Whiteside](#)  
**To:** [Alan Sielaff](#)  
**Subject:** zoning change 56th-Federal  
**Date:** Sunday, April 18, 2021 3:24:42 PM  
**Attachments:** [maverik.pdf](#)

---

Please be cautious: This email was sent from outside Adams County

Attached please find my comment on the Maverik 56th/Federal zoning change request from A-2 to C-5 attached as a PDF. If that's not satisfactory I can cut and paste it into an email. I would like to be informed about further developments on this project.

Thank you!

--

Shirley Whiteside 2922 W 55th Ave Denver, CO 80221 [REDACTED]



Shirley Whiteside  
2922 West 55<sup>th</sup> Ave  
Denver, CO 80221

April 18, 2021

Adams County Board of Commissioners  
Community and Economic Development Department  
4430 S. Adams County Parkway  
Brighton, CO 80601

Attn: Adam Sielaff, Planner II, [ASielaff@adcogov.org](mailto:ASielaff@adcogov.org)  
Re. Maverik Rezone, 56<sup>th</sup> and Federal, Case Number RCU2021-00002

To Whom It May Concern:

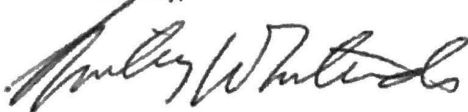
I reside a block from the Maverik rezone and did not comment on the first notice simply because it looked like a done-deal, but I also do not enthusiastically support it. I'm sure I'm not alone in the neighborhood in celebrating the departure of the Circus Cinemas formerly on that corner. The days of Unincorporated Adams County being a repository of businesses other neighborhoods don't want may be over.

CDOT data station at 56<sup>th</sup>/Federal in 2019 already counts 30,000 cars a day that pass this spot on Federal. I am skeptical about adding an incentive for more cars to exit I-76 to get gas here at 56<sup>th</sup>/Federal. I would hope that new businesses would be places that truly serve the neighborhood. Our neighborhood is already served by five gas stations within a mile of 5600 Federal, all with "CONVENIENCE STORES" (Conoco and Phillips at 49<sup>th</sup> Avenue by I-70, Sinclair at 50<sup>th</sup> Avenue, Valero at 61<sup>st</sup> just north of I-76, and Phillips 7-11 at 64<sup>th</sup>/Federal). It occurs to me that Adams County Planning is myopic in increasing the density of places selling fossil fuel, at a time when there is a concerted national effort to reduce the effects of human-caused climate change and increase options for cleaner ways to power vehicles. And there goes another underground storage spot for toxic materials that hopefully won't be needed in the near future, and another franchise that can't be sold or reasonably adapted to other use.

I'm also concerned that this location lies just outside the half-mile "Transit Oriented Development"—a great thing to plan for with the RTD G-line at 60<sup>th</sup>/Federal. My understanding of TOD is that development in those areas focus on businesses that promote "living, working, shopping", and again, our neighborhood is awash in opportunities for gas, soft drinks, beer, marijuana, tobacco and fast food. It would be refreshing if Adams Planning were considering the opportunity to improve this area and its own tax base for all the housing that is being filled in along the beautiful Clear Creek corridor.

I researched the Maverik Company, and I'm sure they're really nice people and will do their best to fulfill their obligations at 56<sup>th</sup>/Federal site, but I question the integrity of Adams County in missing an opportunity to court businesses that might serve the community more fully.

Sincerely,



Shirley Whiteside



**From:** [Alan Sielaff](#)  
**To:** [Alan Sielaff](#)  
**Subject:** RCU2021-00002 comment  
**Date:** Friday, March 26, 2021 1:48:49 PM

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Via Teams Chat on 3/25/21:

[Yesterday 9:53 AM] Kevin Mills

Hey, just received a call of support for your RCU2021-00002 case. The gentleman's name was Ray Worley in case that matters, but thought I'd let you know!

[Yesterday 10:01 AM] Alan Sielaff

Ah ok thank you! Did he state anything specific or want me to call him back?

[Yesterday 10:02 AM] Kevin Mills

Nope, other than I think he previously worked at Maverik in the past, but otherwise nothing but saying he's in support and has no issues

**Alan Sielaff**

Planner II, Development Services  
*Community & Economic Development Dept.*  
P: 720.523.6817 | [asielaff@adcogov.org](mailto:asielaff@adcogov.org)





### Development Review Team Comments

**Date: April 5, 2021**

**Project Number: RCU2021-00002**

**Project Name: Maverik Rezone – 56<sup>th</sup> & Federal**

Due to the ongoing COVID-19 pandemic, all land use applications and resubmittals are to be delivered electronically to [epermitcenter@adcogov.org](mailto:epermitcenter@adcogov.org). For additional information on department operations, please visit <http://www.adcogov.org/CED>.

Please note where “Section” or “DSR” is referenced, please refer to the appropriate section of the Adams County Development Standards and Regulations. These can be viewed online here: <http://www.adcogov.org/development-standards-regulations>.

Land Use and Development Applications can be accessed here: <http://www.adcogov.org/current-planning-application-packets>

**April 9, 2021**

**Alan** - all items have been addressed (attached) relating to the rezoning request and we acknowledge items pertaining to the upcoming building permit application have been forwarded to Maverik, their architect and MEP accordingly.

If you have any questions, comments or concerns I'm available to discuss.

**Russell**








**Commenting Division:** Planning Review  
**Name of Reviewer:** Alan Sielaff, Planner II  
**Email:** [ASielaff@adcogov.org](mailto:ASielaff@adcogov.org) / 720-523-6817  
**Review Status:** Resubmittal Required

PLN01: Request – Rezone Lot 9A of the Re-Subdivision of Westmoorland Plat Correction No. 2, case PLT2021-00003, from Residential-2 (R-2) to Commercial-2 (C-2). Lot 9A will be 30,001 sq. ft., or 0.689 acres.

PLN02: Existing site information:

1. Location: 2922 W. 56th Ave.
2. Parcel number: 0182517103051 (existing)
3. Subdivision: S 150 FT OF LOTS 4 5 & 6 W 25 FT OF THE N 160 FT OF LOT 6 ALL LOTS 8 & 9 LOT 7 EXC N 160 FT THEREOF N 150 FT OF LOT 19 EXC E 20 FT OF LOT 4 AND S 20 FT OF E 85 FT OF LOT 4 RESUBD WESTMOORLAND (existing)
  - a. PLT2021-00003 was approved 4/2/21 to adjust lot line between Lot 8 & 9 of the Resubdivision of Westmoorland. Request will rezone new Lot 9A from R-2 to C-2.
4. Size: 4.2189 acres (full tax parcel size according to County Assessor's Office records)
5. Existing Zoning: R-2 (Residential-2)
6. Future Land Use: Urban Residential
7. Existing use: vacant (according to County Assessor's Office records). Site includes encroachments from mobile homes on parcel to the west (also part of applicant's proposal).

PLN03: Application checklist items review

-  **Please update the application document itself (page 5), and include a reference in the written narrative the proposed zone district for the rezoning.** The only location in the application materials that specified this was the last page site plan. **Horrocks - REVISED**
-  **Written narrative should be updated to remove references to City Council and mayor.** The County is governed by the Board of County Commissioners. **Maverik - REVISED**
-  **Neighborhood meeting summary – Please provide copy of neighborhood meeting invitation as well as the provided summary letter.** **Maverik - REVISED**
-  **Proof of water service has been provided through bill from Denver Water, however no proof of sewer service has been provided, please include in next submittal.** This should come from the Berkeley Water and Sanitation District which provides sewer service, while Denver Water has assumed the district's water service. **Horrocks - ADDED BERKELEY WILL SERVE LETTER**
-  **Provided mineral estate notice is signed and notarized, but does not include information at top of form indicating who is providing the information and which option is checked (indicating whether any mineral estates holders have an interest in the property or not). Please complete and resubmit this form.** If no mineral estate holders are known (either determined through a search of available public documents or confirmed through the title report), please check the second option. The other two forms are not necessary if no mineral holders exist and no mineral operations are present. **M. Hernandez/Maverik/Horrocks - UPDATED**



PLN04: Zoning Review, C-2 district (see Section 3-20)

1. Purpose statement: The purpose of the Commercial-2 District is to provide a retail and service district designed to provide most retail shopping and personal services for persons residing in nearby residential areas.
2. Land use: Convenience stores with fueling stations where vehicles are serviced with minor repairs, oil changes, etc.
  - a. Proposed use is allowed by-right in this zone district.
3. Minimum lot width: 75 ft.
  - a. Lot 9A of the Re-Subdivision of Westmoorland will be 100 ft. Site meets standards

**X** Setbacks: Review based on conceptual plan submitted with Rezone application. **Final site plan is not approved until building permit is applied for.**

**Horrocks -  
ADDED DIMENSION  
SEE PLAN**

- X** Front (north) – 25 ft. Additional Section Line setback (from centerline of W. 56<sup>th</sup> Ave.) also requires 100 ft. from section line. Waivers can be approved by the Director of Public Works. Please submit request in writing at time of building permit.
  - b. Side (east and west) – 15 ft. one side, 5 ft. other, 0 ft. with fireproofed structure.
  - c. Rear – 15 ft.
  - d. Convenience store and fuel pump canopies meet the above setbacks.
5. Height: 35 ft. maximum.
    - a. Detail not provided, 1 story structures anticipated to meet standards.
  6. Maximum floor area: 10,000 SF per commercial use.
    - a. Proposed convenience store is 5,637 SF

**X** **Hours of operation: 7 a.m. to 12 p.m. abutting residential zoned or used property, see Section 3-20-07-06. Maverik/Horrocks - PLEASE AMEDED THE REZONING REQUEST TO C-5**

- a. Unfortunately this was not identified when originally discussing appropriate zone districts for rezoning. While the convenience store is located on a C-5 zoned lot which does not have operating hour restrictions, If the pumps on this lot are intended for 24-hour operation, the site must be rezoned to C-4 or **C-5**. While this is less desirable as a buffer to the adjacent residential, we will support either as the service being proposed serves both neighborhood residents and the travelling public, and the site is adjacent to existing C-5 and in close proximity to Interstate-76.

**Maverik - CONCUR**

- X** Additional public notice and request for comments will need to occur if request is amended to rezone to C-4 or **C-5** due to the increase in commercial activity possible. Staff will prep notices and complete mailing once resubmittal is received. Notice period of at least 21 days is required, consistent with resubmittal review time.

8. Comprehensive Plan designation: Urban Residential
  - a. Urban residential areas are designated for single and multiple family housing, typically at urban densities of one dwelling per acre or greater. These areas are intended to provide for development of residential neighborhoods with a variety of housing types, with adequate urban services and transportation facilities. Urban residential areas may include supporting neighborhood commercial uses designed to serve the needs of nearby residents.
  - b. **Use is considered a supporting neighborhood commercial use and supports rezoning to either C-4 or **C-5**.**



**Maverik/Horrocks -  
AMEDED REZONING  
REQUEST TO C-5**

- i. Purpose statement of the C-4 district: The purpose of the Commercial-4 District is to serve as a general retail and service district designed to provide services and products for both the general and traveling public in a regional context.
- X** Purpose statement of the **C-5** district: The purpose of the Commercial-5 District is to serve as a general retail and service district designed to provide the broadest scope of services and products for both the general and traveling public in an interstate and regional context. In certain situations, it may be appropriate through a conditional use permit to allow a mix of uses in this zone district – allowing both residential and commercial uses within one building.
- 9. Additional general standards for commercial uses are found in Section 4-09 including architectural compatibility and screening standards. Operational standards for all uses are included in Section 4-14 relating to noise, odor, light, and other potential nuisance impacts to surrounding properties. **Please review and confirm use will meet all Operational Standards.**
- 10. Sign Standards are found in Section 4-15. A separate building permit for all building and free-standing signs will be required.
- 11. Additional Site Design standards are found in Section 4-21.
- 12. Site fencing will require a separate building permit.
- 13. Traffic Impact Fees will be required for new development according to Section 5-06. Current fee schedule is available online here:  
[http://www.adcogov.org/sites/default/files/2020\\_ImpactFeeTable.pdf](http://www.adcogov.org/sites/default/files/2020_ImpactFeeTable.pdf)

PLN05: Use-Specific Performance Standards, Automobile Service Stations (see Section 4-09-02-04).

**Review based on conceptual plan submitted with Rezone application. Final site plan is not approved until building permit is applied for.**



- 1. Access: All service stations shall front collector or arterial roads or highways unless the sites are part of a shopping center.

  - a. East parcel will have internal connection with parcel access Federal Blvd.
- 2. Pump Setbacks Pump islands shall be located a minimum of fifty (50) feet from residentially zoned or used property lines and a minimum of forty (40) feet from other exterior property lines. Pump island canopies may project to within thirty (30) feet of property lines. Islands shall not interfere with any sight distance triangles in accordance with these standards and regulations.

  - a. Review

    - i. East canopy: Canopy 40 ft. from east property line, 51 ft. from pump islands. Proposal meets standards. Canopy and pump islands are further distance from north and south property lines, but within this distance from the internal west property line. As an internal property line, not external, use-specific standard is not applied here. Underlying zoning will allow up to a 0 ft. setback with fire-proof structures if 15 ft. setback on other side.
    - ii. West fueling pumps shown as 71 ft. to south property line (40 ft. for the canopy), 53 ft. to west property line (Federal), and at least 38 ft. from north property line (56th Ave. – distance shown to edge of internal pavement). South property is currently occupied by mobile homes and is a residential use so heightened setbacks apply. **Canopy and islands appear to meet all standards.**



- iii. **Final distances will need to be confirmed for all pumps and canopies upon building permit review.**
  - iv. Final location of north property line may be impacted by any required right-of-way dedication as determined by final engineering review.
- 3. Underground Storage Tank (UST) Setbacks: UST vent pipes must be located a minimum of fifty (50) feet from residentially zoned or used property lines and a minimum of forty (40) feet from other exterior property lines.
  - a. Review: Applicant has previously indicated all UST vent piping will occur as part of the fuel canopy structures and not at the location of the storage tanks. **Vent pipe location will need to be included in building permit submittal to confirm.**
- 4. Screening: Service stations shall be separated from abutting residential properties by a six (6) foot high masonry wall and a Bufferyard as required in Section 4-17-06.
  - a. **This will need to be included in a landscape plan submitted with building permit review.**
- 5. Landscaping: In addition to all other required landscaping, boundary landscaping is required for a minimum depth of ten (10) feet along all property lines abutting roads, except for the area required for road openings. Permanent irrigation facilities shall be provided for all landscaped areas.
  - a. **Please be aware of overall site landscaping requirement of 10% of site landscaping, provided with compliant street frontage and landscape bufferyards to adjacent properties along exterior property lines of site.** See Section 4-17-06 and 07.
-  Review:
  -  **South property line: Only 6 ft. 7 in. shown at narrowest location. At least 15 ft. required for a Bufferyard C due to adjacency to existing residential use.**
  - ii. East property line: 15 ft. provided to residential zone to east.
  - iii. **West and North: 15 ft. or more provided along street frontage. Will need to verify any required ROW dedication.** 10 ft. is required as well as street frontage trees and shrubs as determined by 5 available options in Section 4-17-07-01.
- 6. Indoor Activities: The changing of engine oil and filters; the lubrication of motor vehicle chassis; the cleaning of component parts; brake adjustment and replacement; mechanical or hand washing and detailing; front-end alignment; the sale or installation of batteries and minor automotive accessories; the sale mounting and repair of tires; the testing, adjustment and replacement of parts, the servicing of air conditioners; the servicing of air pollution control devices; the sale of soft drinks, candy, ice and similar items.
  - a. Auto repair and servicing component is not proposed.
- 7. Outdoor Activities: The dispensing of motor fuel, oil, air, and water from pump islands; any testing or servicing of automobiles which necessitates a running engine; tire display; trash areas enclosed by walls; public telephones in a well-lighted location, visible from the road; the sale of soft drinks, candy, ice and similar items via vending machines.
- 8. Painting and Body Work Prohibited: Painting or other body work shall be prohibited at all service stations unless approved by Conditional Use Permit.
  - a. These uses are not proposed.
- 9. Storage: All products and merchandise shall be stored indoors except for vending machines and tire display.

**Maverik/Horrocks - TO BE  
ADDRESSED WITH  
BUILDING PERMIT SUB.**



10. Garbage Storage: Garbage area screening shall consist of a six (6) foot high minimum screen fence made of wood or masonry material. Fencing materials should be cleaned and maintained must be clean and maintained at all times to present an orderly appearance. No garbage storage area shall be located within twenty (20) feet of a public sidewalk.
  - a. Trash enclosure is shown on east side of convenience store, over 20 ft. from adjacent right-of-way. **Detail of enclosure fence will need to be included with building permit application.**
11. Restrooms: Two restrooms shall be provided to the general public during all hours of operation. All restrooms with exterior entrances shall be located to the side or the rear of the building.

PLN06: Parking standards, Section 4-13. **Review based on conceptual plan submitted with Rezone application. Final site plan is not approved until building permit is applied for.**

1. Required parking to be based on use "Service establishments and retail - Dealing frequently with public..." 1 space for each 200 sq. ft. of gross floor area required.
2. Proposed 5,637 SF convenience store requires 29 spaces. 44 spaces provided. Depending on needs of other requirements such as landscaping and setbacks, some parking may be removed and the use will remain in conformance.
3. **Please review additional standards in this section regarding parking lot layout, access, stall size, lighting, and landscaping is included.**

PLN07: Zoning Map Amendment (Rezone) approval criteria, 2-02-15-06-02 ZONING MAP AMENDMENTS (REZONING) provided for reference. **Staff review finds approval criteria are met or will be met with resubmittal comments addressed.**

The Planning Commission, in making their recommendation, and the Board of County Commissioners, in approving a Zoning Map amendment, shall find:

1. The Zoning Map amendment is consistent with the Adams County Comprehensive Plan.
2. The Zoning Map amendment is consistent with the purposes of these standards and regulations.
3. The Zoning Map amendment will comply with the requirements of these standards and regulations.
4. The Zoning Map amendment is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.

**Commenting Division:** External Agency (EA) Referral Review  
**Review Status:** Ongoing

EA1: The following external agencies responded with a separate comment letter or email which will be provided in the following pages: Adams County Fire Rescue (ACFR), City of Commerce City, City of Westminster, Colorado Department of Health and Environment (CDPHE), Denver Water (DW), Regional Transportation District (RTD), Tri-County Health Department (TCHD), and Xcel Energy.



EA2: Referral agency comments generally are described in the staff report and may be recommended conditions or notes of approval for the applicant to adhere to if the development application is approved. If additional referral agency comments are received following this letter staff will forward to the applicant to respond in next submittal.

**Commenting Division: Public Comment**  
**Review Status: Ongoing**

PC1: As of the date of this comment letter, 2 public comments have been received, both in support (1 written, 1 verbal – called to discuss with case manager). Public comment will continue to be accepted moving forward and all comments will be included in appendices to the staff report provided to the Planning Commission and Board of County Commissioners once public hearings are scheduled. It is recommended to provide a response to individual public comments or evidence of direct outreach if any public comment is received.





## **Development Review Team Comments**

**Date:** 4/5/2021

**Project Number:** RCU2021-00002

**Project Name:** Maverik Rezone - 56th & Federal

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**Commenting Division:** Adams County Fire Review

**Name of Reviewer:**

**Date:** 04/05/2021

**Email:**

**Complete**

Good morning Alan,

At this time, the Fire District has no questions or concerns for the Maverick Rezone. As the development project moves along, we will provide more information and comments.

Thank you!  
Carla Gutierrez  
Adams County Fire Rescue  
7980 Elmwood Lane  
Denver, CO 80221  
O: 303-539-6862

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**Commenting Division:** Planner Review

**Name of Reviewer:** Alan Sielaff

**Date:** 04/02/2021

**Email:** asielaff@adcogov.org

**Resubmittal Required**

Separate comment letter to be provided



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**Commenting Division:** Development Engineering Review

**Name of Reviewer:** Eden Steele

**Date:** 04/01/2021

**Email:** esteele@adcogov.org

**Resubmittal Required**

**ENG1:** How many diesel fueling positions are proposed and were those positions included in the 24 total cited in the March 4, 2021 Trip Generation Analysis? The submitted site plan appears to show 24 vehicle fueling positions in Phase 1 alone. **Horrocks - UPDATED FOR A TOTAL OF 30 POSITIONS AS DETAILED IN THE TRIP GEN LETTER AND TIS.**

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**Commenting Division:** Tri-County Review

**Name of Reviewer:** Alan Sielaff

**Date:** 04/01/2021

**Email:**

**Comment**

Separate comment letter provided. No objection to Rezone.

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**Commenting Division:** CDPHE Review

**Name of Reviewer:**

**Date:** 04/01/2021

**Email:**

**Comment**

Separate comment letter provided - standard response. No objection to Rezone.

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**Commenting Division:** Xcel Energy Review

**Name of Reviewer:**

**Date:** 04/01/2021

**Email:**

**Comment**

Separate letter provided - no objection to Rezone.



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**Commenting Division:** Environmental Analyst Review

**Name of Reviewer:** Katie Keefe

**Date:** 03/25/2021

**Email:** kkeefe@adcogov.org

**Resubmittal Required** **Maverik - ITEMS ARE IN PROCESS ANF TO BE SUBMITTED WITH BUILDING PERMIT.**

**ENV1.** Pump islands shall be located a minimum of fifty (50) feet from residentially zoned or used property lines and a minimum of forty (40) feet from other exterior property lines. Pump island canopies may project to within thirty (30) feet of property lines. Islands shall not interfere with any sight distance triangles in accordance with these standards and regulations.

**ENV2.** Underground Storage Tank (UST) Setbacks: UST vent pipes must be located a minimum of fifty (50) feet from residentially zoned or used property lines and a minimum of forty (40) feet from other exterior property lines.

**ENV3.** The applicant must provide copies of all required notifications submitted to OPS including notifications for new UST systems.

General questions can be forwarded to the Division of OPS Technical Assistance line at 303-318-8547.

Tank installation questions would be referred to Bill Hickman at 303-318-8505 or bill.hickman@state.co.us.

**ENV4.** The applicant must provide a copy of its Air Pollutant Emission Notice submitted to CDPHE that indicates estimated annual fuel throughput and calculated estimated emission levels for gasoline and diesel fuel dispensing facilities.

**ENV5.** Please provide a site plan demonstrating the location of UST vent pipes, emergency shut-off equipment, and spill response equipment.

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**Commenting Division:** ROW Review

**Name of Reviewer:** David Dittmer

**Date:** 03/23/2021

**Email:** ddittmer@adcogov.org

**Complete**

ROW1: Pursuant to traffic study additional dedication of ROW along 56th Ave may be required.

ROW2: Federal is controlled by CDOT and depending on comments received, additional ROW dedication may be required.

ROW3: Pending engineering review additional storm water drainage easements will be dedicated by separate instrument





185 SOUTH STATE STREET  
SUITE 800  
SALT LAKE CITY, UT 84111  
801-936-5557 | MAVERIK.COM

Attention Neighbors:

Maverik Inc. will hold a neighborhood meeting at 6:00 pm the night of Feb 11<sup>th</sup>, 2021 via tele-conference and online WebEx meeting regarding the rezoning application of the property located at 2922 W. 56<sup>th</sup> Denver Colorado.

The neighborhood meeting is regarding the rezone and development of the property located at the SE intersection of Federal Blvd and 56<sup>th</sup> Ave. which includes parcels located at and adjacent to 2922 W. 56<sup>th</sup> Denver Colorado. (see attached map and site plan.) The proposal includes a rezoning application from R-2 to C-2 and the associated development application at this location.

Maverik Inc. will hold the neighborhood meeting online where all neighbors can access the meeting via the dial-in number given below. This meeting is held online due to Covid-19 related protocol which is coordinated and approved by Adams County Colorado.

Purpose:	Neighborhood meeting
When:	Thursday Feb 11 <sup>th</sup> , 2021 at 6:00 pm.
Where/How to Dial in:	Call in Number 415-655-0001 Access Code 177 108 1178

If you would like an online WebEx invite, please e-mail [shay.bertola@maverik.com](mailto:shay.bertola@maverik.com)

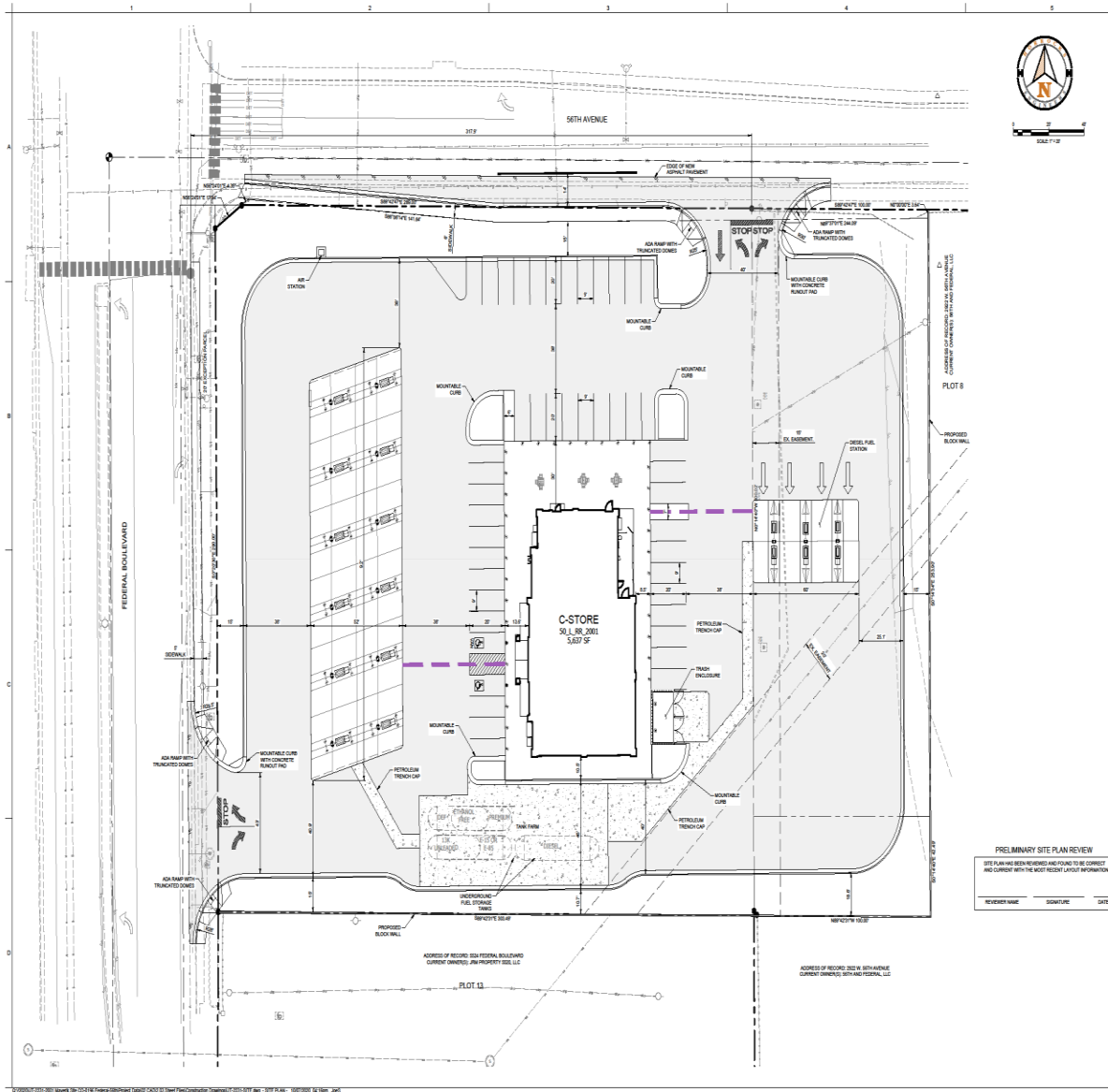
Thank you,

Maverik Inc.  
801-683-3491  
[www.maverik.com](http://www.maverik.com)





185 SOUTH STATE STREET  
SUITE 800  
SALT LAKE CITY, UT 84111  
801-936-5557 | MAVERIK.COM



PRELIMINARY SITE PLAN REVIEW  
SITE PLAN HAS BEEN REVIEWED AND FOUND TO BE CORRECT  
AND CURRENT WITH THE MOST RECENT LATEST INFORMATION.  
REVIEWER NAME: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**HORROCKS ENGINEERS**  
2103 West Grove Pkwy. Suite 400  
Provo, UT 84601  
(801) 793-5100  
www.horrocksa.com

DRAWING INFO		DATE	REVISED	BY	DATE
DESIGNED	XX	12/21/2011			
CHECKED	XX				
APPROVED	XX				

**PRELIMINARY**  
**NOT FOR**  
**CONSTRUCTION**

**MAVERIK FEDERAL BOULEVARD STORE**  
56TH AVENUE AND FEDERAL BOULEVARD  
SALT LAKE CITY, UT 84111  
**PRELIMINARY SITE PLAN**  
GENERAL INFORMATION

**C.0.1**  
PAGE 01





185 SOUTH STATE STREET  
SUITE 800  
SALT LAKE CITY, UT 84111  
801-936-5557 | MAVERIK.COM

Adams County Staff:

Maverik Inc. Rezone Neighborhood Meeting Summary and Attendee list

Dear Adams County Staff,

Maverik Inc. held a neighborhood meeting regarding the rezoning of the parcels associated with the rezone from Residential to Commercial on the back portion of the parcels located at the SE corner of Federal Blvd. and 56<sup>th</sup> Denver Colorado. application at 6:00 pm MST on 2/11/2021, via telephone conference and WebEx meeting. The appropriate meeting notices were sent out to per the neighborhood list given to Maverik Inc. by Adams Count. This is a summary of the meeting and the associated attendees.

Time add Date: 6:00 pm 2/11/2021.

Shay Bertola attended and directed the meeting on behalf of Maverik Inc.

Attendees:	Cathlene Gette	Mark Hernandez
	Jonell Blain	Rosemary Lombardi
	Judy Kang	Bill Stolar
	Sandy Stolar	Sharlene McCure
	Russ Skuse	Shay Bertola

Question and Items addressed.

1. Will neighboring business still be functioning? (Answer Yes)
2. Is the property further East to be developed? (Yes, not a part of this application.)
3. What is the general time frame to complete the rezone and development? (3 months to 1 year)
4. What disruption will construction have on the neighborhood. (Construction during allowed construction hours per Adams County regulations, and proper traffic control when work is done in public ROW.)
5. How soon can you be done and have a store open? (Store opening could be as soon as late 2021 or early 2022 depending on permits.)

Maverik Inc presents this as a roll call and summary of the neighborhood meeting for this application.

Shay Bertola  
Maverik Inc.  
801-683-3491





## Request for Comments

Case Name: Maverik Rezone - 56th & Federal  
Case Number: RCU2021-00002

April 14, 2021

The Adams County Planning Commission is requesting comments on the following application: **Zoning Map Amendment (Rezone) of approximately 0.689 acres from Residential-2 to Commercial-5 to facilitate development of a new Maverik fuel station with convenience store at 5580 Federal Blvd. This is an updated request from the original application to Rezone to Commercial-2.** Request is in conjunction with a Lot Line Adjustment between Lots 8 and 9 of the Resubdivision of Westmoordland Plat Correction No. 2 currently under review. This request is located at 2922 W. 56th Avenue. The Assessor's Parcel Number is 0182517103051.

Applicant Information: MAVERIK, INC.  
185 S. STATE STREET FLOOR 800  
SALT LAKE CITY, UT 84111

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6800 by 05/07/2021 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to [ASielaff@adcogov.org](mailto:ASielaff@adcogov.org).

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you upon request. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases).

Thank you for your review of this case.

Alan Sielaff  
Planner II

BOARD OF COUNTY COMMISSIONERS

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DISTRICT 2

Emma Pinter  
DISTRICT 3

Steve O'Dorisio  
DISTRICT 4

Lynn Baca  
DISTRICT 5





## Request for Comments

Case Name: Maverik Rezone - 56th & Federal  
Case Number: RCU2021-00002

March 16, 2021

The Adams County Planning Commission is requesting comments on the following application: **Zoning Map Amendment (Rezone) of approximately 0.689 acres from Residential-2 to Commercial-2 to facilitate development of a new Maverik fuel station with convenience store at 5580 Federal Blvd.** Request is in conjunction with a Lot Line Adjustment between Lots 8 and 9 of the Resubdivision of Westmoordland Plat Correction No. 2 currently under review. This request is located at 2922 W. 56th Avenue. The Assessor's Parcel Number is 0182517103051.

Applicant Information: MAVERIK, INC.  
185 S. STATE STREET FLOOR 800  
SALT LAKE CITY, UT 84111

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6800 by 04/05/2021 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to [ASielaff@adcogov.org](mailto:ASielaff@adcogov.org).

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you upon request. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases).

Thank you for your review of this case.

Alan Sielaff  
Planner II

BOARD OF COUNTY COMMISSIONERS

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Charles "Chaz" Tedesco  
DISTRICT 2

Emma Pinter  
DISTRICT 3

Steve O'Dorisio  
DISTRICT 4

Lynn Baca  
DISTRICT 5





## Public Hearing Notification

Case Name:	Maverik Rezone – 56th & Federal
Case Number:	RCU2021-00002
Planning Commission Hearing Date:	06/10/2021 at 6:00 p.m.
Board of County Commissioners Hearing Date:	06/29/2021 at 9:30 a.m.

May 18, 2021

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following request: **Zoning Map Amendment (Rezone) of approximately 0.689 acres from Residential-2 to Commercial-5 to facilitate development of a new Maverik fuel station with convenience store at 5580 Federal Blvd.** This request is located at 2922 W. 56th Avenue. The Assessor's Parcel Number is 0182517103051.

Applicant Information: MAVERIK, INC.  
185 S. STATE STREET FLOOR 800  
SALT LAKE CITY, UT 84111

Planning Commission public hearing will be held virtually. Board of County Commissioners public hearing will be held in the Hearing Room of the Adams County Government Center, 4430 South Adams County Parkway, Brighton, CO – 1st Floor and will be able to be accessed virtually. Please visit <http://www.adcogov.org/planning-commission> and <http://www.adcogov.org/bocc> for up to date information on accessing the public hearings and submitting comment prior to the hearings.

These will be public hearings and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. The full text of the proposed request and additional colored maps can be obtained by accessing the Adams County Community and Economic Development Department website at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases). If you require any special accommodations, please contact the Adams County Department of Community and Economic Development (CEDD) at [cedd-pod@adcogov.org](mailto:cedd-pod@adcogov.org), or 720-523-6800 at least one hour prior to the meeting date.

Thank you for your review of this case.

Alan Sielaff, Planner II  
[asielaff@adcogov.org](mailto:asielaff@adcogov.org)  
720-523-6817

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry  
DISTRICT 1

Charles "Chaz" Tedesco  
DISTRICT 2

Emma Pinter  
DISTRICT 3

Steve O'Dorisio  
DISTRICT 4

Lynn Baca  
DISTRICT 5



## PUBLICATION REQUEST

**Case Name:** Maverik Rezone – 56th & Federal

**Case Number:** RCU2021-00002

**Planning Commission Hearing Date:** June 10, 2021 at 6:00 p.m.

**Board of County Commissioners Hearing Date:** June 29, 2021 at 9:30 a.m.

**Case Manager:** Alan Sielaff, [asielaff@adcogov.org](mailto:asielaff@adcogov.org), 720-523-6817

**Request:** Zoning Map Amendment (Rezone) of approximately 0.689 acres from Residential-2 to Commercial-5 to facilitate development of a new Maverik fuel station with convenience store at 5580 Federal Blvd.

**Parcel Number:** 0182517103051

**Address of the Request:** 2922 W. 56th Avenue

**Applicant:** MAVERIK, INC. 185 S. STATE STREET FLOOR 800 SALT LAKE CITY, UT 84111

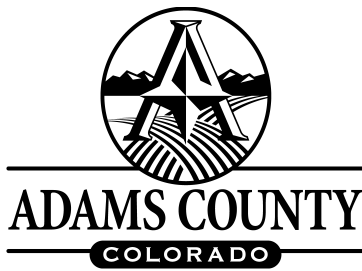
**Legal Description:** That portion of Lot 9 of the Re-Subdivision of Westmoorland, Book 3 at Page 62, Records of Adams County, Colorado, in the Northeast Quarter of Section 17, Township 3 South, Range 68 West of the 6<sup>th</sup> Principal Meridian, County of Adams, State of Colorado, being more particularly described as follows: Bearings are based upon the North line of the Northeast Quarter of Section 17, Township 3 South, Range 68 West of the 6<sup>th</sup> P.M, monumented at the east end with a 3.25" aluminum cap in a range box stamped "PLS 16406", and monumented at the west end with 3.25" aluminum cap in a range box stamped "PLS 23519", and is assumed to bear South 89°42'47" East, a field measured distance of 2654.47 feet; Beginning at the Northwest Corner of said Lot 9: thence South 89°42'47" East upon the North line of said Lot 9 a distance of 100.00 feet to the northeast corner thereof; thence South 00°14'40" East upon the East line of Said Lot 9 a distance of 300.03 feet; thence North 89°42'31" West distance of 100.00 feet to the West line of said Lot 9; thence North 00°14'40" West upon the West line of said Lot 9 a distance of 300.02 feet to the Point of Beginning. The total area of said Lot 9A is 30,001.0 square feet or 0.689 acres, more or less.

**Virtual Meeting and Public Comment Information:** Planning Commission public hearing will be held virtually. Board of County Commissioners public hearing will be held in the Hearing Room of the Adams County Government Center, 4430 South Adams County Parkway, Brighton, CO – 1st Floor and will be able to be accessed virtually. Please visit <http://www.adcogov.org/planning-commission> and <http://www.adcogov.org/bocc> for up to date information on accessing the public hearings and submitting comment prior to the hearings.

These will be public hearings and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. The full text of the proposed request and additional colored maps can be obtained by accessing the Adams County Community and Economic Development Department website at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases).

If you require any special accommodations, please contact the Adams County Department of Community and Economic Development at (CEDD) at [cedd-pod@adcogov.org](mailto:cedd-pod@adcogov.org), or 720-523-6800 at least one hour prior to the meeting date.





Referral Listing  
Case Number RCU2021-00002  
Maverik Rezone - 56th & Federal

Agency	Contact Information
Adams County Attorney's Office	Christine Fitch 4430 S Adams County Pkwy Brighton CO 80601 720-523-6352 CFitch@adcogov.org
Adams County CEDD Development Services Engineer	Devt. Services Engineering 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6800
Adams County CEDD Environmental Services Division	Katie Keefe 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6986 kkeefe@adcogov.org
Adams County CEDD Right-of-Way	David Dittmer 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6837 ddittmer@adcogov.org
Adams County Community & Economic Development Department	Gina Maldonado 4430 S. Adams County Pkwy Brighton CO 80601 720-523-6823 gmaldonado@adcogov.org
Adams County Community Safety & Wellbeing	Gail Moon Neighborhood Services 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6856 gmoon@adcogov.org
Adams County Development Services - Building	Justin Blair 4430 S Adams County Pkwy Brighton CO 80601 720-523-6825 JBlair@adcogov.org
Adams County Fire Protection District	Whitney Even 7980 Elmwood Lane Denver CO 80221 303-539-6802 weven@acfpd.org



Agency	Contact Information
Adams County Fire Protection District	Carla Gutierrez 7980 Elmwood Ln. Denver CO 80221 303-539-6862 cgutierrez@acfpd.org
Adams County Parks and Open Space Department	Marc Pedrucci 303-637-8014 mpedrucci@adcogov.org
Adams County Parks and Open Space Department	Byron Fanning 303-637-8000 bfanning@adcogov.org
Adams County Parks and Open Space Department	Aaron Clark (303) 637-8005 aclark@adcogov.org
Adams County Sheriff's Office	Rick Reigenborn (303) 654-1850 rreigenborn@adcogov.org
Adams County Sheriff's Office	- - 303-655-3283 CommunityConnections@adcogov.org
Arvada Fire Department	Steven Parker 7903 Alison Way Arvada CO 80005 303-424-3012 steven.parker@arvadafire.com
BERKELEY NEIGHBORHOOD ASSOC.	GLORIA RUDDEN 4420 W 52ND PL. DENVER CO 80212 (303) 433-7653 seminoegrandma@gmail.com (303) 477-9669
BERKELEY WATER	Paul Peloquin 4455 W 58TH AVE UNIT A Arvada CO 80002 (303) 477-1914 paul.peloquin@denverwater.org
BERKELEY WATER & SAN DISTRICT	SHARON WHITEHAIR 4455 W 58TH AVE UNIT A ARVADA CO 80002 (303) 477-1914 berkeleywater@gmail.com
CDOT Colorado Department of Transportation	Bradley Sheehan 2829 W. Howard Pl. 2nd Floor Denver CO 80204 303.757.9891 bradley.sheehan@state.co.us



Agency	Contact Information
CDPHE	<p>Sean Hackett  4300 S Cherry Creek Dr  Denver CO 80246  303.692.3662 303.691.7702  cdphe_localreferral@state.co.us</p>
CDPHE - WATER QUALITY PROTECTION SECT	<p>Patrick Pfaltzgraff  4300 CHERRY CREEK DRIVE SOUTH  WQCD-B2  DENVER CO 80246-1530  303-692-3509  cdphe_localreferral@state.co.us</p>
CDPHE SOLID WASTE UNIT	<p>Andy Todd  4300 CHERRY CREEK DR SOUTH  HMWMD-CP-B2  DENVER CO 80246-1530  303.691.4049  cdphe_localreferral@state.co.us</p>
Century Link, Inc	<p>Brandyn Wiedreich  5325 Zuni St, Rm 728  Denver CO 80221  720-578-3724 720-245-0029</p>
City of Arvada	<p>Rob Smetana  8101 Ralston Rd.  Arvada CO 80002  (720)898-7444  rsmetana@arvada.org</p>
City of Arvada Utilities	<p>Sharon Israel  8101 Ralston Rd.  Arvada CO 80002  720-898-7760  sisrael@arvada.org</p>
CITY OF WESTMINSTER	<p>Andy Walsh  4800 W 92nd Avenue  WESTMINSTER CO 80031  303-658-2563  awalsh@cityofwestminster.us</p>
CITY OF WESTMINSTER	<p>Rita McConnell  4800 W 92ND AVE.  WESTMINSTER CO 80031  303-658-2093  planning@cityofwestminster.us</p>
COLORADO DEPARTMENT OF TRANSPORT.	<p>Steve Loeffler  2000 South Holly Street, Room 228  Denver CO 80222  303-757-9891  steven.loeffler@state.co.us</p>



Agency	Contact Information
COLORADO DEPT OF TRANSPORTATION	Steve Loeffler 2000 S. Holly St. Region 1 Denver CO 80222 303-757-9891 steven.loeffler@state.co.us
COLORADO DIVISION OF WILDLIFE	Serena Rocksund 6060 BROADWAY DENVER CO 80216 3039471798 serena.rocksund@state.co.us
Colorado Division of Wildlife	Hannah Posey 6060 Broadway St. Denver CO 80216-1000 303-947-1798 hannah.posey@state.co.us
COMCAST	JOE LOWE 8490 N UMATILLA ST FEDERAL HEIGHTS CO 80260 303-603-5039
Commerce City Planning Division	Omar Yusuf 7887 East 60th Avenue COMMERCE CITY CO 80022 303-289-3693 oyusuf@c3gov.com
FISHER DITCH COMPANY	RUTH & GENE BRIENZA 2030 E. 68TH AVENUE DENVER CO 80229 (303) 289-1734 gb173@outdrs.net
GOAT HILL	SHARON WHITEHAIR 2901 W 63RD AVE SP:0047 DENVER CO 80221 720 480-2831 sharonwhitehair@gmail.com
METRO WASTEWATER RECLAMATION	CRAIG SIMMONDS 6450 YORK ST. DENVER CO 80229 303-286-3338 CSIMMONDS@MWRD.DST.CO.US
MOBILE GARDENS	VERA MARIE JONES 6250 FEDERAL #29 DENVER CO 80221 303-429-5856
NORTHRIDGE ESTATES AT GOLD RUN HOA	SHANE LUSSIER 14901 E Hampden Ave Suite 320 AURORA CO 80014 303-693-2118 shane@cchoapros.com



Agency	Contact Information
NS - Code Compliance	Joaquin Flores 720.523.6207 jflores@adcogov.org
REGIONAL TRANSPORTATION DIST.	Engineering RTD 1560 BROADWAY SUITE 700 DENVER CO 80202 303-299-2439 engineering@rtd-denver.com
TRI-COUNTY HEALTH DEPARTMENT	Sheila Lynch 6162 S WILLOW DR, SUITE 100 GREENWOOD VILLAGE CO 80111 720-200-1571 landuse@tchd.org
TRI-COUNTY HEALTH DEPARTMENT	MONTE DEATRICH 4201 E. 72ND AVENUE SUITE D COMMERCE CITY CO 80022 (303) 288-6816 mdeatrich@tchd.org
Tri-County Health: Mail CHECK to Sheila Lynch	Tri-County Health landuse@tchd.org .
UNION PACIFIC RAILROAD	Anna Dancer 1400 DOUGLAS ST STOP 1690 OMAHA NE 68179 402-544-2255 aldancer@up.com
WESTMINSTER FIRE DEPT.	CAPTAIN DOUG HALL 9110 YATES ST. WESTMINSTER CO 80031 303-430-2400 x4542 dhall@ci.westminster.co.us
WESTMINSTER SCHOOL DISTRICT #50	Jackie Peterson 7002 Raleigh Street WESTMINSTER CO 80030 720-542-5100 jpeterson@adams50.org
Xcel Energy	Donna George 1123 W 3rd Ave DENVER CO 80223 303-571-3306 Donna.L.George@xcelenergy.com



1401 HARLAN PROPERTY LLC  
720 N POST OAK RD STE 500  
HOUSTON TX 77024-3928

FAIRBAIRN LUKE AND  
CANIZARES PAULINA RODRIGUEZ  
3465 SAULSBURY CT  
WHEAT RIDGE CO 80033-6375

5280 CLAY LLC  
4320 DECATUR ST  
DENVER CO 80211-1722

FED5418 LLC  
3535 LARIMER ST  
DENVER CO 80205-2421

56TH AND FEDERAL LLC  
1566 GILPIN STREET  
DENVER CO 80218

FELDSTEIN ENTERPRISES LP  
PO BOX 2079  
FOLSOM CA 95763-2079

BLAIR KEVIN R  
129 W ELLSWORTH AVE  
DENVER CO 80223-1623

GRABER DIANE M  
8746 W OTTAWA AVE  
LITTLETON CO 80128-4009

BROCK GRACE COSMI  
5256 GROVE ST  
DENVER CO 80221-6513

GREBB WEST 1 LLC  
5595 FEDERAL BLVD  
DENVER CO 80221-6574

CHALMERS RICHARD C  
5490 CLAY STREET  
DENVER CO 80221

HOCH ROBIN E AND  
HOCH THOMAS E JR  
4543 VRAIN ST  
DENVER CO 80212-2530

CHERFEIN JOINT VENTURE LLC  
3535 LARIMER ST  
DENVER CO 80205-2421

HOLZAPFEL KLAUS J  
4597 SUNNYSIDE PL  
BOULDER CO 80301-1755

CROWFOOT KAREN MARIE  
7106 MAPLE STREET  
LONGMONT CO 80504

JRM PROPERTY 5520 FEDERAL LLC  
5910 S UNIVERSITY BLVD STE C-18  
GREENWOOD VILLAGE CO 80121-2879

EL PRINCIPITO PROPERTIES LLC  
3656 FEDERAL BLVD  
DENVER CO 80211-2804

KELLOW LEILA H  
C/O KRISTIN CANALE  
8100 RALSTON RD SUITE 130  
ARVADA CO 80002

ELM RIDGE MOBILE HOME PARK INC  
5601 FEDERAL BLVD  
DENVER CO 80221-1821

KOEHLER THOMAS H  
21436 INDIAN SPRINGS ROAD  
CONIFER CO 80433



LOMBARDI ROSEMARY  
6866 DUDLEY CIR  
ARVADA CO 80004-1761

STATE HIGHWAY DEPT  
2000 S HOLLY ST  
DENVER CO 80222-4818

MC KELVEY-GARCIA ANN AND  
GARCIA JESSE R  
366 BELL LN  
NORTHGLENN CO 80260-6017

STONEBRAKER CORPORATION  
26986 CR 18  
KEENESBURG CO 80643

MLC PROPERTIES INC  
14831 BRIGHTON RD  
BRIGHTON CO 80601-7309

TTL DENVER - 56TH AND FEDERAL LLC  
1566 N GILPIN ST  
DENVER CO 80218-1631

MURRAY ROSE LEE  
115 S YUKON ST  
LAKEWOOD CO 80226-1533

VARELA GENEVIEVE G  
5433 SHOSHONE ST  
DENVER CO 80221-1722

PARK ADVISORS INC  
9800 SHELARD PKWY STE 104  
MINNEAPOLIS MN 55441-6451

VCR ENTERPRISE LLC  
7881 ALLISON WAY APT 302  
ARVADA CO 80005-4442

PEREZ JIMMY J AND  
PEREZ KATHRYN  
7865 S JACKSON CIR  
CENTENNIAL CO 80122-3520

WEST SPANISH CONGREGATION OF JEHOVAH S  
WITNESSES/ C/O MANUEL MENDEZ  
2675 W 56TH AVE  
DENVER CO 80221-1811

PRIMROSE LN LLC  
PO BOX 368  
EASTLAKE CO 80614-0368

WORLEY RAY LEE  
691 CORONADO DR  
SEDALIA CO 80135-8360

ROCKY TOP INVESTMENT GROUP LLC  
6326 WYANDOT ST  
DENVER CO 80211

WROCK LLC  
5545 FEDERAL BLVD  
DENVER CO 80221-6541

ROTHSCHILD EDWARD R AND  
ROTHSCHILD ROBIN L  
14358 W 88TH PL  
ARVADA CO 80005-1275

ZIEGLER JONATHAN W  
21875 COUNTY ROAD 4  
HUDSON CO 80642-8711

SALAZAR PAUL J  
C/O RONALD E SALAZAR  
947 SALEM ST  
AURORA CO 80011-6343

ALFORD NANCY A  
OR CURRENT RESIDENT  
2751 W 55TH AVE  
DENVER CO 80221-1615



ALKASS SANA  
OR CURRENT RESIDENT  
5440 ELM CT  
DENVER CO 80221-1629

CHALMERS RICHARD C  
OR CURRENT RESIDENT  
5490 CLAY ST  
DENVER CO 80221-1636

ARAGON ALBERT A AND  
ARAGON DIANE C  
OR CURRENT RESIDENT  
5600 CLAY ST  
DENVER CO 80221-1840

CHAPMAN JEFFREY A AND  
CHAPMAN MARY M  
OR CURRENT RESIDENT  
5470 PRIMROSE LN  
DENVER CO 80221-1653

BACA CAROLYN S  
OR CURRENT RESIDENT  
2897 W 55TH AVE  
DENVER CO 80221-1615

DE CRESCENTIS ANTHONY J  
OR CURRENT RESIDENT  
2885 W 56TH AVE  
DENVER CO 80221

BEATTY BENJAMIN  
OR CURRENT RESIDENT  
5400 PRIMROSE LN  
DENVER CO 80221-1653

DUMEYER BEVERLEY J  
OR CURRENT RESIDENT  
5518 CLAY STREET  
DENVER CO 80221

BENNETT STEPHEN M  
OR CURRENT RESIDENT  
5431 COLUMBINE RD  
DENVER CO 80221-1298

ELM RIDGE MOBILE HOME PARK INC  
OR CURRENT RESIDENT  
5601 FEDERAL BLVD  
DENVER CO 80221-1821

BENSON JONATHAN  
OR CURRENT RESIDENT  
2877 W 55TH AVE  
DENVER CO 80221-1615

ESCALERA JUAN M AND  
ESCALERA MARGARITA  
OR CURRENT RESIDENT  
2701 W 55TH AVE  
DENVER CO 80221

BOKHOVEN MARK AND  
BOKHOVEN CHELSEY  
OR CURRENT RESIDENT  
5415 PRIMROSE LN  
DENVER CO 80221-1652

ESTRADA JOSE D GONZALES  
OR CURRENT RESIDENT  
5450 PRIMROSE LN  
DENVER CO 80221-1653

BREES KURT  
BREES VICTORIA L  
OR CURRENT RESIDENT  
2842 W 55TH AVE  
DENVER CO 80221-1616

EYTH JEFF S  
OR CURRENT RESIDENT  
2610 W 56TH AVE  
DENVER CO 80221-1800

BUCKMASTER MARK AND  
MUKHERJI ANANDITA  
OR CURRENT RESIDENT  
5425 PRIMROSE LN  
DENVER CO 80221-1652

GARCIA ALBERT  
OR CURRENT RESIDENT  
5475 BRYANT ST  
DENVER CO 80221-1627

CARDENAS NATHAN  
OR CURRENT RESIDENT  
5621 CLAY ST  
DENVER CO 80221-1844

GARCIA GOMEZ BLANCA  
OR CURRENT RESIDENT  
2886 W 56TH AVE  
DENVER CO 80221-1838



GARCIA ISAAC E AND MARIA R  
OR CURRENT RESIDENT  
2750 W 55TH AVE  
DENVER CO 80221

JACKSON LARRY T  
OR CURRENT RESIDENT  
2735 W 56TH AVENUE  
DENVER CO 80221

GARRETT DWAYNE D TRUST UA THE  
OR CURRENT RESIDENT  
2600 W 56TH AVE  
DENVER CO 80221-1800

JD PARTNERS LLC  
OR CURRENT RESIDENT  
5424 ELM CT  
DENVER CO 80221-1629

GATES JACQUELYN MICHELLE  
OR CURRENT RESIDENT  
2780 W 56TH AVE  
DENVER CO 80221-1816

JUAREZ-VERA BERNARDA  
OR CURRENT RESIDENT  
2665 W 55TH AVE  
DENVER CO 80221-1613

GETTE JAMES W AND  
GETTE KATHRYN R  
OR CURRENT RESIDENT  
5580 CLAY ST  
DENVER CO 80221-1635

JUAREZ-VERA CARLOS  
OR CURRENT RESIDENT  
5506 CLAY STREET  
DENVER CO 80221

GREBB WEST 1 LLC  
OR CURRENT RESIDENT  
5595 FEDERAL BLVD  
DENVER CO 80221-6574

KEIM CRYSTAL  
OR CURRENT RESIDENT  
5455 PRIMROSE LN  
DENVER CO 80221-1652

HAHN DAREN J AND  
THATCHER JANE  
OR CURRENT RESIDENT  
2822 W 55TH AVE  
WESTMINSTER CO 80221-1616

KELLY YOLANDA LUCAS  
OR CURRENT RESIDENT  
3050 W 55TH PL  
DENVER CO 80221-6526

HARTVIGSON-MCINTYRE MEGHAN E AND  
MCINTYRE KELLEN P  
OR CURRENT RESIDENT  
5502 CLAY ST  
DENVER CO 80221-1635

LAMSON BETHANY AND  
CLODFELTER GWENDOLYN  
OR CURRENT RESIDENT  
5590 CLAY ST  
DENVER CO 80221-1635

HERMOSA VETERINARY  
CLINIC P C  
OR CURRENT RESIDENT  
5495 FEDERAL BLVD  
DENVER CO 80221-6539

LECHUGA LAURA  
OR CURRENT RESIDENT  
2898 W 56TH AVE  
DENVER CO 80221-1838

HOFF KEVIN L AND HOFF CYNTHIA M  
OR CURRENT RESIDENT  
5454 CLAY STREET  
DENVER CO 80221

LOPEZ BARBARA AND  
LOPEZ LAURA AND LOPEZ ELADIO JR  
OR CURRENT RESIDENT  
2888 W 55TH AVE  
DENVER CO 80221-1616

HULEN CARL M AND  
HULEN FRANCES B  
OR CURRENT RESIDENT  
2740 W 55TH AVE  
DENVER CO 80221-1616

MADRID MARIA  
OR CURRENT RESIDENT  
2942 W 55TH AVE  
DENVER CO 80221



MADRID MIGUEL  
OR CURRENT RESIDENT  
5569 CLAY ST  
DENVER CO 80221-1634

ORONIA ELIA  
OR CURRENT RESIDENT  
2892 W 55TH AVE  
DENVER CO 80221-1616

MANJAEKANG INC  
OR CURRENT RESIDENT  
5450 FEDERAL BLVD  
DENVER CO 80221-6540

PLUMLEY BYRON L JR AND  
WHITESIDE SHIRLEY S  
OR CURRENT RESIDENT  
2922 W 55TH AVE  
DENVER CO 80221-1620

MANZANARES CINDY UND 1/3RD INT AND  
FREITAS DOROTHY UND 2/3RD INT  
OR CURRENT RESIDENT  
2931 W 55TH AVE  
DENVER CO 80221-1619

QUINTANA KATHLEEN  
OR CURRENT RESIDENT  
5437 ELM CT  
DENVER CO 80221-1629

MARTINEZ DEREKA  
OR CURRENT RESIDENT  
5430 PRIMROSE LN  
DENVER CO 80221-1653

RANDALL ZACHARY W AND  
RANDALL RACHEL D  
OR CURRENT RESIDENT  
5475 PRIMROSE LN  
DENVER CO 80221-1652

MATOS MARIA R AND  
MATOS ALDO M  
OR CURRENT RESIDENT  
5495 BRYANT ST  
DENVER CO 80221-1627

RIVAS RAMIRO AND  
RIVAS BRAYAN  
OR CURRENT RESIDENT  
2837 W 55TH AVE  
DENVER CO 80221-1615

MC CUNE CHARLENE L  
OR CURRENT RESIDENT  
5444 CLAY ST  
DENVER CO 80221-1636

RODRIGUEZ JUAN JESUS  
OR CURRENT RESIDENT  
5416 ELM CT  
DENVER CO 80221-1629

MCKINNEY CHADWICK  
OR CURRENT RESIDENT  
2825 W 55TH AVE  
DENVER CO 80221-1615

SEBASTIAN OSCAR A AND  
OCHOA LORENA M  
OR CURRENT RESIDENT  
5525 CLAY ST  
DENVER CO 80221-1634

MENDIOLA JESUS  
OR CURRENT RESIDENT  
2892 W 56TH AVE  
DENVER CO 80221-1838

SILVA-DIMATE LUZ M  
OR CURRENT RESIDENT  
5421 ELM CT  
DENVER CO 80221-1629

MICHEL MAGDALENA AND  
MICHEL ISABELLA  
OR CURRENT RESIDENT  
2760 W 56TH AVE  
DENVER CO 80221-1816

SLATER SAMANTHA LEIGH  
OR CURRENT RESIDENT  
5510 CLAY ST  
DENVER CO 80221-1635

MILLER PRESTON B AND  
MILLER JILLIAN G  
OR CURRENT RESIDENT  
5535 CLAY ST  
DENVER CO 80221-1634

SMITH RYAN  
OR CURRENT RESIDENT  
2902 W 56TH AVE  
DENVER CO 80221-1820



TANNER PAMELA K  
OR CURRENT RESIDENT  
2601 W 55TH AVE  
DENVER CO 80221-1613

YANG SOPHIA  
OR CURRENT RESIDENT  
5411 ELM CT  
WESTMINSTER CO 80221-1629

VARGAS DANIEL ENRIQUE ORDONEZ  
OR CURRENT RESIDENT  
5432 ELM CT  
DENVER CO 80221-1629

CURRENT RESIDENT  
2851 W 54TH AVE  
DENVER CO 80221-1607

WEST SPANISH CONGREGATION OF JEHOVAH S  
WITNESSES/ C/O MANUEL MENDEZ  
OR CURRENT RESIDENT  
2675 W 56TH AVE  
DENVER CO 80221-1811

CURRENT RESIDENT  
2702 W 55TH AVE  
DENVER CO 80221-1616

WHITE SHARON L  
OR CURRENT RESIDENT  
5425 CLAY ST  
DENVER CO 80221-1637

CURRENT RESIDENT  
2770 W 55TH AVE  
DENVER CO 80221-1616

WIESE WILLIAM GLEN  
OR CURRENT RESIDENT  
2660 W 56TH AVE  
DENVER CO 80221-1800

CURRENT RESIDENT  
2872 W 55TH AVE  
DENVER CO 80221-1616

WILLIAMS MARK D AND  
THOMPSON RACHEL L  
OR CURRENT RESIDENT  
2571 W 55TH AVE  
DENVER CO 80221-1611

CURRENT RESIDENT  
2941 W 55TH AVE  
DENVER CO 80221-1619

WIMP WILLIAM  
OR CURRENT RESIDENT  
2961 W 55TH AVE  
DENVER CO 80221-1619

CURRENT RESIDENT  
2951 W 55TH AVE  
DENVER CO 80221-1619

WORLEY DAROLD  
OR CURRENT RESIDENT  
5550 CLAY ST  
DENVER CO 80221-1635

CURRENT RESIDENT  
2900 W 55TH AVE  
DENVER CO 80221-1620

WORMER ALEXANDER M  
OR CURRENT RESIDENT  
5429 ELM CT  
DENVER CO 80221-1629

CURRENT RESIDENT  
5485 BRYANT ST  
DENVER CO 80221-1627

WROCK LLC  
OR CURRENT RESIDENT  
5545 FEDERAL BLVD  
DENVER CO 80221-6541

CURRENT RESIDENT  
5445 ELM CT  
THORNTON CO 80221-1629



CURRENT RESIDENT  
5448 ELM CT  
THORNTON CO 80221-1629

CURRENT RESIDENT  
2685 W 56TH AVE  
DENVER CO 80221-1811

CURRENT RESIDENT  
5545 CLAY ST  
WESTMINSTER CO 80221-1634

CURRENT RESIDENT  
2590 W 56TH AVE  
DENVER CO 80221-1812

CURRENT RESIDENT  
5563 CLAY ST  
WESTMINSTER CO 80221-1634

CURRENT RESIDENT  
2860 W 56TH AVE  
DENVER CO 80221-1838

CURRENT RESIDENT  
5520 CLAY ST  
WESTMINSTER CO 80221-1635

CURRENT RESIDENT  
2880 W 56TH AVE  
DENVER CO 80221-1838

CURRENT RESIDENT  
5480 CLAY ST  
WESTMINSTER CO 80221-1636

CURRENT RESIDENT  
5601 FEDERAL BLVD APT 1  
DENVER CO 80221-1845

CURRENT RESIDENT  
5435 CLAY ST  
WESTMINSTER CO 80221-1637

CURRENT RESIDENT  
5601 FEDERAL BLVD APT 2  
DENVER CO 80221-1845

CURRENT RESIDENT  
5429 PRIMROSE LN  
DENVER CO 80221-1652

CURRENT RESIDENT  
5601 FEDERAL BLVD APT 3  
DENVER CO 80221-1845

CURRENT RESIDENT  
5465 PRIMROSE LN  
DENVER CO 80221-1652

CURRENT RESIDENT  
5601 FEDERAL BLVD APT 4  
DENVER CO 80221-1845

CURRENT RESIDENT  
5495 PRIMROSE LN  
DENVER CO 80221-1652

CURRENT RESIDENT  
5601 FEDERAL BLVD APT 5  
DENVER CO 80221-1845

CURRENT RESIDENT  
5650 FEDERAL BLVD  
DENVER CO 80221-1802

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 1A  
DENVER CO 80221-1845



CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 1B  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 8A  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 2A  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 9A  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 2B  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 10B  
DENVER CO 80221-1846

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 3A  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 11B  
DENVER CO 80221-1846

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 3B  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 12B  
DENVER CO 80221-1846

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 4A  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 13B  
DENVER CO 80221-1846

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 4B  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 14B  
DENVER CO 80221-1846

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 5A  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 5B  
DENVER CO 80221-1846

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 6A  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 6B  
DENVER CO 80221-1846

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 7A  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 7B  
DENVER CO 80221-1846



CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 8B  
DENVER CO 80221-1846

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 18A  
DENVER CO 80221-1847

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 9B  
DENVER CO 80221-1846

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 19A  
DENVER CO 80221-1847

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 10A  
DENVER CO 80221-1847

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 20A  
DENVER CO 80221-1848

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 11A  
DENVER CO 80221-1847

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 21A  
DENVER CO 80221-1848

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 12A  
DENVER CO 80221-1847

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 15B  
DENVER CO 80221-1849

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 13A  
DENVER CO 80221-1847

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 16B  
DENVER CO 80221-1849

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 14A  
DENVER CO 80221-1847

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 17B  
DENVER CO 80221-1849

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 15A  
DENVER CO 80221-1847

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 18B  
DENVER CO 80221-1849

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 16A  
DENVER CO 80221-1847

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 19B  
DENVER CO 80221-1849

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 17A  
DENVER CO 80221-1847

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 20B  
DENVER CO 80221-1849



CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 21B  
DENVER CO 80221-1849

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 31B  
DENVER CO 80221-1850

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 22B  
DENVER CO 80221-1849

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 32B  
DENVER CO 80221-1850

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 23B  
DENVER CO 80221-1849

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 33B  
DENVER CO 80221-1850

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 24B  
DENVER CO 80221-1849

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 34B  
DENVER CO 80221-1850

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 25B  
DENVER CO 80221-1850

CURRENT RESIDENT  
3060 W 55TH PL  
DENVER CO 80221-6526

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 26B  
DENVER CO 80221-1850

CURRENT RESIDENT  
5401 FEDERAL BLVD  
DENVER CO 80221-6539

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 27B  
DENVER CO 80221-1850

CURRENT RESIDENT  
5400 FEDERAL BLVD  
DENVER CO 80221-6540

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 28B  
DENVER CO 80221-1850

CURRENT RESIDENT  
5418 FEDERAL BLVD  
DENVER CO 80221-6540

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 29B  
DENVER CO 80221-1850

CURRENT RESIDENT  
5496 FEDERAL BLVD  
DENVER CO 80221-6540

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 30B  
DENVER CO 80221-1850

CURRENT RESIDENT  
5501 FEDERAL BLVD  
DENVER CO 80221-6541



CURRENT RESIDENT  
5520 FEDERAL BLVD  
DENVER CO 80221-6542

CURRENT RESIDENT  
5580 FEDERAL BLVD LOT 1  
DENVER CO 80221-6576

CURRENT RESIDENT  
5524 FEDERAL BLVD  
DENVER CO 80221-6542

CURRENT RESIDENT  
5580 FEDERAL BLVD LOT 10  
DENVER CO 80221-6576

CURRENT RESIDENT  
5595 FEDERAL BLVD STE A  
DENVER CO 80221-6574

CURRENT RESIDENT  
5580 FEDERAL BLVD LOT 11  
DENVER CO 80221-6576

CURRENT RESIDENT  
5595 FEDERAL BLVD STE B  
DENVER CO 80221-6574

CURRENT RESIDENT  
5580 FEDERAL BLVD LOT 12  
DENVER CO 80221-6576

CURRENT RESIDENT  
5595 FEDERAL BLVD STE C  
DENVER CO 80221-6574

CURRENT RESIDENT  
5580 FEDERAL BLVD LOT 13  
DENVER CO 80221-6576

CURRENT RESIDENT  
5595 FEDERAL BLVD STE D  
DENVER CO 80221-6574

CURRENT RESIDENT  
5580 FEDERAL BLVD LOT 14  
DENVER CO 80221-6576

CURRENT RESIDENT  
5595 FEDERAL BLVD STE E  
DENVER CO 80221-6574

CURRENT RESIDENT  
5580 FEDERAL BLVD LOT 15  
DENVER CO 80221-6576

CURRENT RESIDENT  
5595 FEDERAL BLVD STE F  
DENVER CO 80221-6574

CURRENT RESIDENT  
5580 FEDERAL BLVD LOT 16  
DENVER CO 80221-6576

CURRENT RESIDENT  
5595 FEDERAL BLVD STE G  
DENVER CO 80221-6574

CURRENT RESIDENT  
5580 FEDERAL BLVD LOT 17  
DENVER CO 80221-6576

CURRENT RESIDENT  
5595 FEDERAL BLVD STE H  
DENVER CO 80221-6574

CURRENT RESIDENT  
5580 FEDERAL BLVD LOT 19  
DENVER CO 80221-6576



CURRENT RESIDENT  
5580 FEDERAL BLVD LOT 22  
DENVER CO 80221-6576

CURRENT RESIDENT  
5525 FEDERAL BLVD LOT 22  
DENVER CO 80221-6584

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5580 FEDERAL BLVD LOT 23  
DENVER CO 80221-6576

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5525 FEDERAL BLVD LOT 23  
DENVER CO 80221-6584

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5580 FEDERAL BLVD LOT 24  
DENVER CO 80221-6576

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5525 FEDERAL BLVD LOT 24  
DENVER CO 80221-6584

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5580 FEDERAL BLVD LOT 3  
DENVER CO 80221-6576

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5525 FEDERAL BLVD LOT 25  
DENVER CO 80221-6584

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5580 FEDERAL BLVD LOT 5  
DENVER CO 80221-6576

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5525 FEDERAL BLVD LOT 26  
DENVER CO 80221-6584

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5580 FEDERAL BLVD LOT 6  
DENVER CO 80221-6576

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5525 FEDERAL BLVD LOT 27  
DENVER CO 80221-6584

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5580 FEDERAL BLVD LOT 7  
DENVER CO 80221-6576

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5525 FEDERAL BLVD LOT 28  
DENVER CO 80221-6584

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5580 FEDERAL BLVD LOT 8  
DENVER CO 80221-6576

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5525 FEDERAL BLVD LOT 29  
DENVER CO 80221-6584

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5580 FEDERAL BLVD LOT 9  
DENVER CO 80221-6576

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5525 FEDERAL BLVD LOT 30  
DENVER CO 80221-6584

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5525 FEDERAL BLVD LOT 21  
DENVER CO 80221-6584

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5525 FEDERAL BLVD LOT 31  
DENVER CO 80221-6585



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5525 FEDERAL BLVD LOT 32  
DENVER CO 80221-6585

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5555 FEDERAL BLVD LOT 16  
DENVER CO 80221-6599

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5525 FEDERAL BLVD LOT 33  
DENVER CO 80221-6585

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5555 FEDERAL BLVD LOT 17  
DENVER CO 80221-6599

CURRENT RESIDENT  
5525 FEDERAL BLVD LOT 34  
DENVER CO 80221-6585

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 18  
DENVER CO 80221-6599

CURRENT RESIDENT  
5580 FEDERAL BLVD FRNT FRNT  
DENVER CO 80221-6597

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 19  
DENVER CO 80221-6599

CURRENT RESIDENT  
5555 FEDERAL BLVD OFC OFC  
DENVER CO 80221-6598

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 2  
DENVER CO 80221-6599

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5555 FEDERAL BLVD LOT 10  
DENVER CO 80221-6599

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5555 FEDERAL BLVD LOT 20  
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5555 FEDERAL BLVD LOT 25  
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5555 FEDERAL BLVD LOT 3A  
DENVER CO 80221-6599

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5555 FEDERAL BLVD LOT 26  
DENVER CO 80221-6599

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5555 FEDERAL BLVD LOT 3B  
DENVER CO 80221-6599

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5555 FEDERAL BLVD LOT 27  
DENVER CO 80221-6599

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DENVER CO 80221-6599

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DENVER CO 80221-6599

CURRENT RESIDENT  
5565 FEDERAL BLVD LOT 1  
DENVER CO 80221-8802

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 34  
DENVER CO 80221-6599

CURRENT RESIDENT  
5565 FEDERAL BLVD LOT 10  
DENVER CO 80221-8802



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5565 FEDERAL BLVD LOT 11  
DENVER CO 80221-8802

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5565 FEDERAL BLVD LOT 9  
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5565 FEDERAL BLVD LOT 31  
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5565 FEDERAL BLVD LOT 37  
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5565 FEDERAL BLVD LOT 34  
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5565 FEDERAL BLVD LOT 38  
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5565 FEDERAL BLVD LOT 35  
DENVER CO 80221-8802

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5565 FEDERAL BLVD LOT 39  
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5565 FEDERAL BLVD LOT 36  
DENVER CO 80221-8802

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5565 FEDERAL BLVD LOT 40  
DENVER CO 80221-8803

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5565 FEDERAL BLVD LOT 4  
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5565 FEDERAL BLVD LOT 41  
DENVER CO 80221-8803

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5565 FEDERAL BLVD LOT 5  
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5565 FEDERAL BLVD LOT 42  
DENVER CO 80221-8803

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5565 FEDERAL BLVD LOT 6  
DENVER CO 80221-8802

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5565 FEDERAL BLVD LOT 43  
DENVER CO 80221-8803

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5565 FEDERAL BLVD LOT 7  
DENVER CO 80221-8802

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5565 FEDERAL BLVD LOT 44  
DENVER CO 80221-8803

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5565 FEDERAL BLVD LOT 8  
DENVER CO 80221-8802

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5565 FEDERAL BLVD LOT 45  
DENVER CO 80221-8803



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5565 FEDERAL BLVD LOT 46  
DENVER CO 80221-8803

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5565 FEDERAL BLVD LOT 57  
DENVER CO 80221-8803

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5565 FEDERAL BLVD LOT 47  
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5565 FEDERAL BLVD LOT 58  
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5565 FEDERAL BLVD LOT 49  
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5565 FEDERAL BLVD LOT 59  
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5565 FEDERAL BLVD LOT 60  
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5565 FEDERAL BLVD LOT 51  
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5565 FEDERAL BLVD LOT 61  
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5565 FEDERAL BLVD LOT 52  
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5565 FEDERAL BLVD LOT 62  
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5565 FEDERAL BLVD LOT 53  
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5565 FEDERAL BLVD LOT 63  
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5565 FEDERAL BLVD LOT 54  
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5565 FEDERAL BLVD LOT 64  
DENVER CO 80221-8803

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5565 FEDERAL BLVD LOT 55  
DENVER CO 80221-8803

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5565 FEDERAL BLVD LOT 65  
DENVER CO 80221-8803

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5565 FEDERAL BLVD LOT 56  
DENVER CO 80221-8803

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5565 FEDERAL BLVD LOT 66  
DENVER CO 80221-8803



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5565 FEDERAL BLVD LOT 68  
DENVER CO 80221-8803

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5565 FEDERAL BLVD LOT 77  
DENVER CO 80221-8804

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5565 FEDERAL BLVD LOT 69  
DENVER CO 80221-8803

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5565 FEDERAL BLVD LOT 78  
DENVER CO 80221-8804

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5565 FEDERAL BLVD LOT 70  
DENVER CO 80221-8803

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5565 FEDERAL BLVD LOT 79  
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5565 FEDERAL BLVD LOT 71  
DENVER CO 80221-8803

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5565 FEDERAL BLVD LOT 80  
DENVER CO 80221-8804

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5565 FEDERAL BLVD LOT 72  
DENVER CO 80221-8803

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5565 FEDERAL BLVD LOT 81  
DENVER CO 80221-8804

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5565 FEDERAL BLVD LOT 100  
DENVER CO 80221-8804

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5565 FEDERAL BLVD LOT 82  
DENVER CO 80221-8804

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5565 FEDERAL BLVD LOT 73  
DENVER CO 80221-8804

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5565 FEDERAL BLVD LOT 83  
DENVER CO 80221-8804

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5565 FEDERAL BLVD LOT 74  
DENVER CO 80221-8804

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5565 FEDERAL BLVD LOT 84  
DENVER CO 80221-8804

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5565 FEDERAL BLVD LOT 75  
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5565 FEDERAL BLVD LOT 85  
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5565 FEDERAL BLVD LOT 76  
DENVER CO 80221-8804

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5565 FEDERAL BLVD LOT 86  
DENVER CO 80221-8804



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5565 FEDERAL BLVD LOT 87  
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5565 FEDERAL BLVD LOT 98  
DENVER CO 80221-8804

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5565 FEDERAL BLVD LOT 88  
DENVER CO 80221-8804

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5565 FEDERAL BLVD LOT 99  
DENVER CO 80221-8804

CURRENT RESIDENT  
5565 FEDERAL BLVD LOT 89  
DENVER CO 80221-8804

CURRENT RESIDENT  
5565 FEDERAL BLVD LOT 108  
DENVER CO 80221-8805

CURRENT RESIDENT  
5565 FEDERAL BLVD LOT 90  
DENVER CO 80221-8804

CURRENT RESIDENT  
5565 FEDERAL BLVD LOT 109  
DENVER CO 80221-8805

CURRENT RESIDENT  
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DENVER CO 80221-8804

CURRENT RESIDENT  
5565 FEDERAL BLVD LOT 110  
DENVER CO 80221-8805

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DENVER CO 80221-8804

CURRENT RESIDENT  
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DENVER CO 80221-8805

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5565 FEDERAL BLVD LOT 93  
DENVER CO 80221-8804

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5565 FEDERAL BLVD LOT 112  
DENVER CO 80221-8805

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DENVER CO 80221-8804

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DENVER CO 80221-8804

CURRENT RESIDENT  
5565 FEDERAL BLVD LOT 115  
DENVER CO 80221-8805



CURRENT RESIDENT  
5565 FEDERAL BLVD LOT 116  
DENVER CO 80221-8805

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 9  
DENVER CO 80221-8810

CURRENT RESIDENT  
5565 FEDERAL BLVD LOT 117  
DENVER CO 80221-8805

CURRENT RESIDENT  
5455 FEDERAL BLVD STE A  
DENVER CO 80221-8812

CURRENT RESIDENT  
5565 FEDERAL BLVD LOT 118  
DENVER CO 80221-8805

CURRENT RESIDENT  
5455 FEDERAL BLVD STE B  
DENVER CO 80221-8812

CURRENT RESIDENT  
5565 FEDERAL BLVD LOT 119  
DENVER CO 80221-8805

CURRENT RESIDENT  
5455 FEDERAL BLVD STE C  
DENVER CO 80221-8812

CURRENT RESIDENT  
5565 FEDERAL BLVD LOT 120  
DENVER CO 80221-8805

CURRENT RESIDENT  
5455 FEDERAL BLVD STE D  
DENVER CO 80221-8812

CURRENT RESIDENT  
5565 FEDERAL BLVD LOT 121  
DENVER CO 80221-8805

CURRENT RESIDENT  
5565 FEDERAL BLVD LOT 122  
DENVER CO 80221-8805

CURRENT RESIDENT  
5565 FEDERAL BLVD LOT 123  
DENVER CO 80221-8805

CURRENT RESIDENT  
5565 FEDERAL BLVD LOT 124  
DENVER CO 80221-8805

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 1  
DENVER CO 80221-8810



# CERTIFICATE OF POSTING



I, Alan Sielaff, do hereby certify that I had the property posted at

2922 W. 56th Avenue, Denver, CO 80221

on May 25, 2021

in accordance with the requirements of the Adams County Development Standards  
and Regulations

---

Alan Sielaff, Planner II



# **Maverik Rezone – 56<sup>th</sup> & Federal**

**RCU2021-00002  
2922 W. 56<sup>th</sup> Avenue**

June 29, 2021

Board of County Commissioners Public Hearing

Community and Economic Development Department

Case Manager: Alan Sielaff





# Request

- Zoning Map Amendment (Rezone)
- Current Zone: Residential-2
- Proposed Zone: Commercial-5

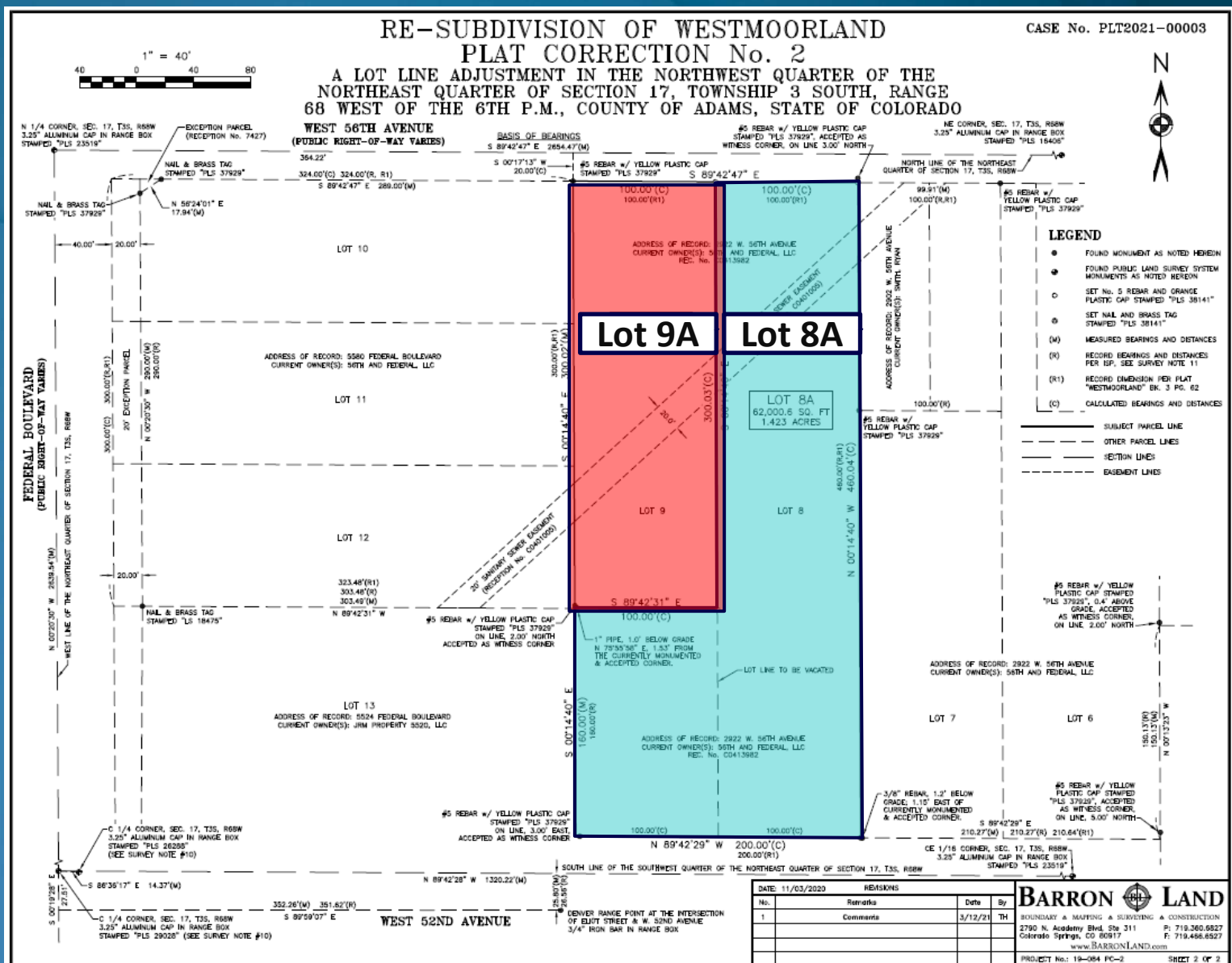


# Background

- Site Area: ~ 30,000 sq. ft.
- Development of an automobile service station with convenience store
- Majority of use to be located on adjacent C-5 zoned site to the west (5580 Federal Blvd.)
- Rezoning area consistent with Lot 9A of the underlying subdivision, which has recently reconfigured internal lot lines.

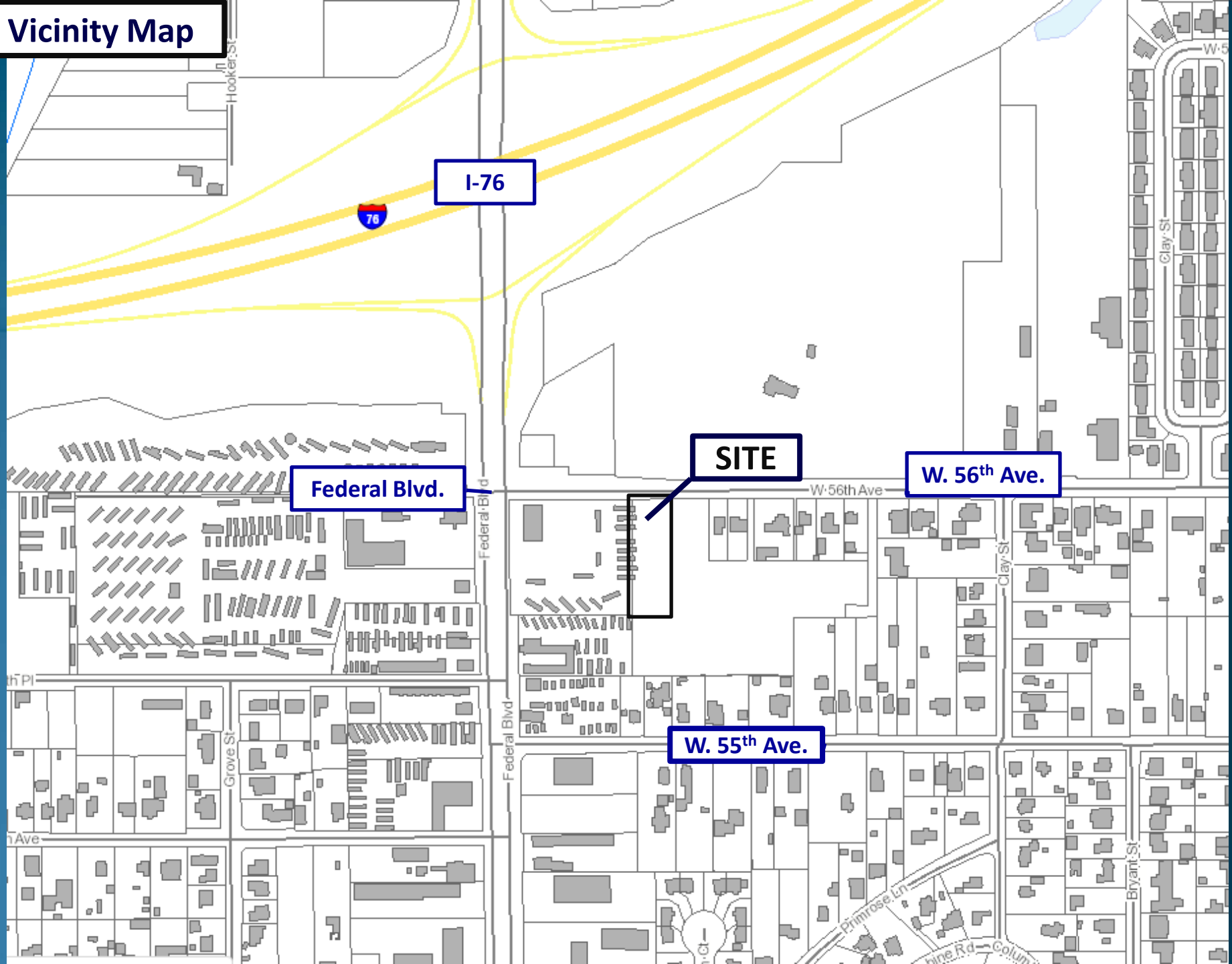


# Background





# Vicinity Map





# Aerial Map



**SITE**

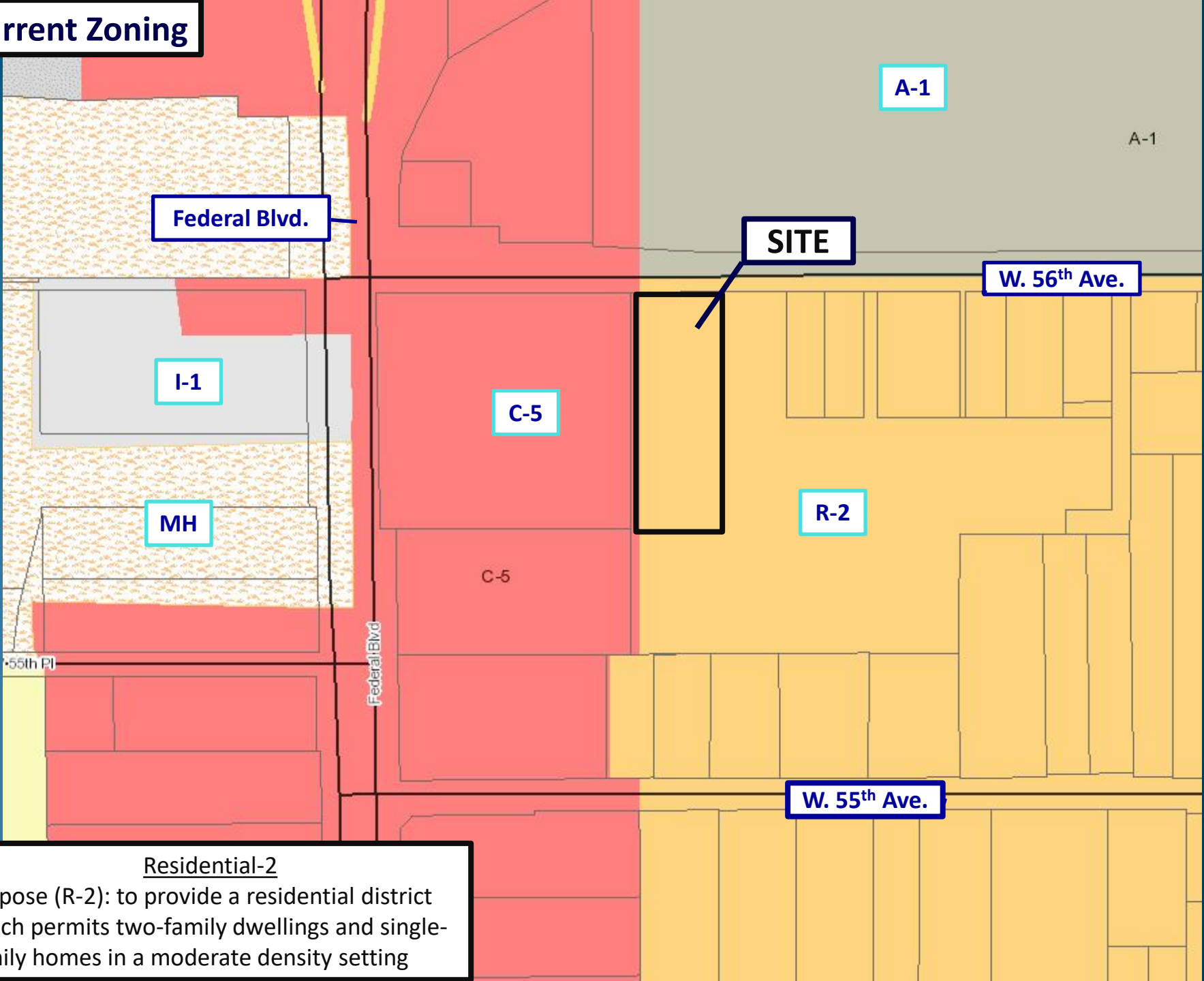
**W. 56<sup>th</sup> Ave.**

**Federal Blvd.**

**W. 55<sup>th</sup> Ave.**



Current Zoning

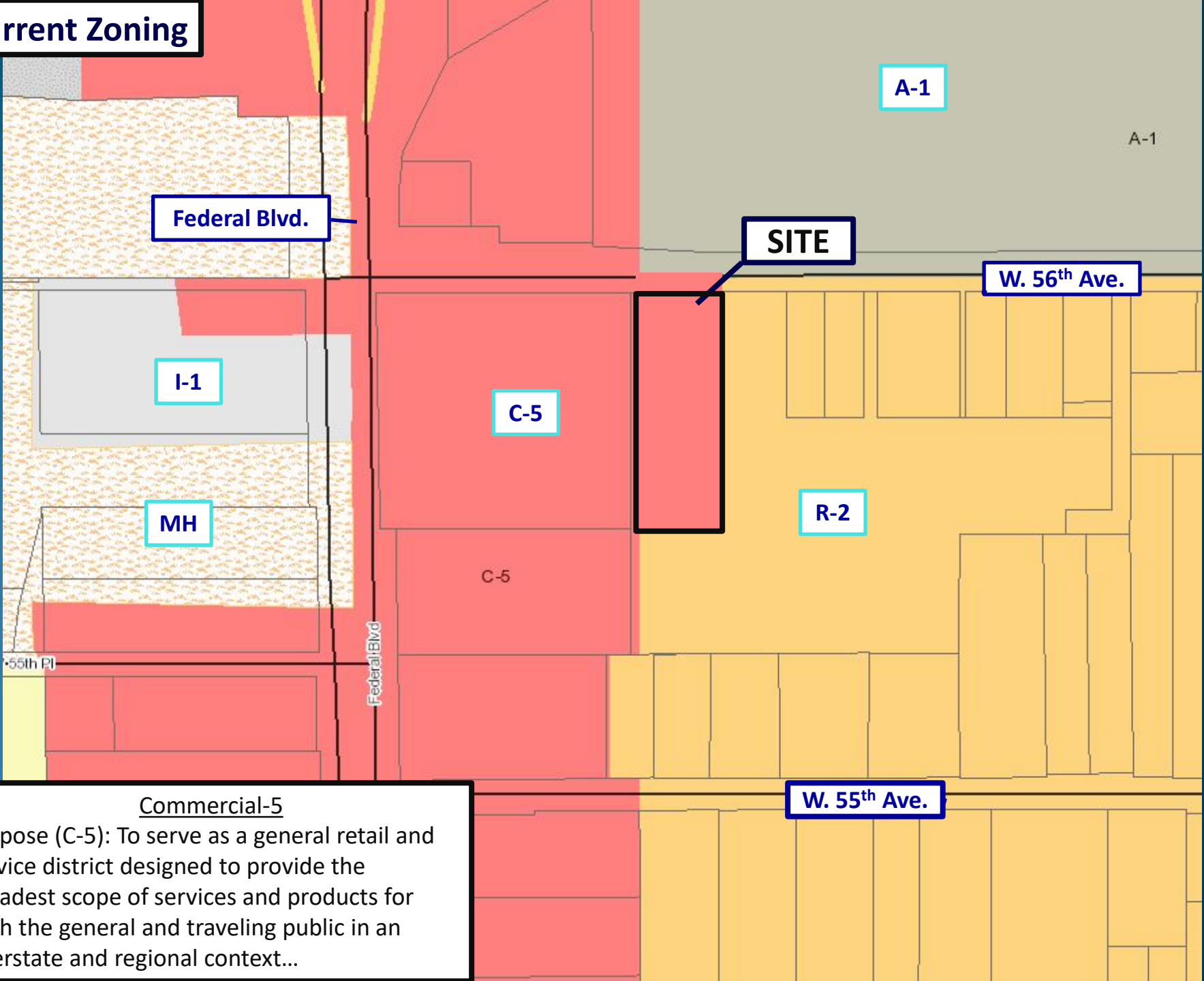


Residential-2

Purpose (R-2): to provide a residential district which permits two-family dwellings and single-family homes in a moderate density setting



Current Zoning



Commercial-5

Purpose (C-5): To serve as a general retail and service district designed to provide the broadest scope of services and products for both the general and traveling public in an interstate and regional context...



## Future Land Use

Mixed  
Use

Industrial

SITE

W. 56<sup>th</sup> Ave.

Federal Blvd.

Urban  
Residential

### Urban Residential

Urban residential areas are designated for single and multiple family housing, typically at urban densities of one dwelling per acre or greater.

...Urban residential areas may include supporting neighborhood commercial uses designed to serve the needs of nearby residents.

W. 55<sup>th</sup> Ave.



















# Criteria for Zoning Map Amendment

Section 2-02-15-06-02

1. Consistent with Comprehensive Plan
2. Consistent with Purpose of Development Standards
3. Complies with Development Standards
4. Harmonious and Compatible to Surrounding Area



[illegible]

## Lot 9A

## canopy

**store**

## canopy

**TABLE 2. MISSING REVENUE  
BY TAXPAYER STATUS**

- [illegible]



# Commercial-5 (C-5) Zone Standards

- Purpose: To serve as a general retail and service district designed to provide the broadest scope of services and products for both the general and traveling public in an interstate and regional context...

Dimensional Standards	C-5
Minimum Lot Size	N/A
Minimum Lot Width	100 ft.
Front Setback	25 ft.
Side Setback	15 ft. / 5 ft., 0 ft. (fireproof)
Rear Setback	15 ft.
Maximum Height	35 ft.
Maximum Floor Area	N/A
Hours of Operation	N/A



# Referral Comments

Notifications Sent*	Comments Received
395	4

\*Property owners and occupants within 750 ft.

## Public Comment:

- Four (4) comments; two (2) in support, two (2) with comment
- Support for redevelopment of site
- Concern with specific use, greater opportunity for corridor

## Referral Agency Comment:

- Comment:
  - CDPHE, CDOT, DW, TCHD, Xcel
- Responding without concerns:
  - ACFR, ACSO, City of Westminster, Commerce City, RTD,
- Additional referrals provided no response



# Planning Commission Update

- The Planning Commission considered this case on June 10, 2021 and voted (4-2) to recommend approval of the request.
- No members of the public spoke.
- Planning Commission asked staff and the applicant questions regarding the types of vehicles to be served, whether electric charging is on the horizon in the industry overall, and whether the request was consistent with the Comprehensive Plan.



# Staff Recommendation

RCU2021-00002: Maverik Rezone – 56th & Federal

Staff recommends **approval** of the proposed Zoning Map Amendment (RCU2021-00002) with 4 findings-of-fact and 3 notes.



# Recommended Findings-of-Fact

## Zoning Map Amendment (see Section 2-02-15-06-02):

1. The Zoning Map amendment is consistent with the Adams County Comprehensive Plan.
2. The Zoning Map amendment is consistent with the purposes of these standards and regulations.
3. The Zoning Map amendment will comply with the requirements of these standards and regulations
4. The Zoning Map amendment is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.



# Recommended Notes to the Applicant

1. The applicant shall comply with all building, zoning, fire, engineering, and health codes and regulations during the development of the subject site.
2. At the time of building permit, the applicant must provide copies of all required notifications submitted to OPS including notifications for new UST systems and a copy of its Air Pollutant Emission Notice (APEN) submitted to CDPHE that indicates estimated annual fuel throughput and calculated estimated emission levels for gasoline and diesel fuel dispensing facilities for by the Environmental Program Manager.
3. A food service plan review is required by Tri-County Health Department for all new and remodeled retail food establishments prior to the start of construction.









**COMMUNITY AND ECONOMIC DEVELOPMENT  
DEPARTMENT**

**CASE NO.: RCU2021-00003**  
**CASE NAME: Asphalt Specialties - 345 W. 62nd Avenue**

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- 2.3 Zoning Map
- 2.4 Future Land Use Map

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- 3.2 Site Plan
- 3.3 Operations Plan and Supplemental Information

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- 4.2 Adams County Fire Rescue
- 4.3 Colorado Department of Public Health and Environment
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- 4.6 Regional Transportation District
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- 5.1 Neighborhood Meeting Summary
- 5.2 Request for Comments
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- 5.4 Newspaper Publication
- 5.5 Referral Agency Labels
- 5.6 Property Owner and Resident Labels
- 5.7 Certificate of Posting





COMMUNITY AND ECONOMIC DEVELOPMENT  
DEPARTMENT  
STAFF REPORT

Board of County Commissioners

June 29, 2021

Case Number:	<b>RCU2021-00003</b>
Case Name:	<b>Asphalt Specialties - 345 W. 62nd Avenue</b>
Property Owner's Name:	Hunt Brothers Properties, Inc.
Applicant's Name:	Asphalt Specialties Co., Inc.
Applicant's Address:	10100 Dallas Street, Henderson, CO 80640
Location of Request:	345 W. 62nd Avenue, Denver, CO 80216
Parcel Number:	0182510200013
Nature of Requests:	Conditional use permit for the following requests: 1) Conduct aggregate recycling operations 2) Stacking of aggregate material up to 25 feet in height
Zone District:	Industrial-3 (I-3)
Future Land Use:	Industrial
Site Area:	9.977 acres
Existing Use:	Asphalt Production
Proposed Use:	Asphalt Production and Recycling
Hearing Date(s):	<b>PC: June 10, 2021 / 6:00 pm</b> <b>BoCC: June 29, 2021 / 9:30 am</b>
Report Date:	June 3, 2021
Case Manager:	Alan Sielaff
Staff Recommendation:	<b>APPROVAL with 19 findings-of-fact, 6 conditions precedent, 6 conditions, and 2 notes</b>



## SUMMARY OF APPLICATIONS

### **Background:**

The applicant, Asphalt Specialties Co., is requesting a conditional use permit in order to add aggregate recycling operations to support the existing asphalt production plant at 345 W. 62<sup>nd</sup> Avenue, and also to store the aggregate materials at a height of up to 25 ft. in the Industrial-3 (I-3) zone district. The applicant has recently moved to this site from a nearby location at 6555 Huron Street. In late 2020 the applicant met with staff to discuss the full scope of their operation and it was communicated that while the primary use as an asphalt production facility is allowed by-right in the I-3 zone district, specific elements of the intended operation require conditional approval. The applicant applied for a Change-in-Use permit and was approved in early 2021 in order to construct the production element of the facility in time for the 2021 construction season, and now seeks conditional approval in order to accommodate the full scope of their intended operation.

The applicant has included in their application and supporting materials the following summarized information related to the scope of their operations, please see the applicant's written narrative and comment responses for full detail. The applicant explains that asphalt is the most recycled material by volume in North America and will benefit the County and surrounding region by reducing pollution and costs of disposing asphalt. The asphalt plant is generally in operation for 9-10 months each year. In addition to raw materials, the operation brings in aggregate asphalt to be recycled and requires the outdoor storage of the pre- and post-recycled materials on-site, as well as additional materials (crusher fines, sand, and new aggregate materials) included in asphalt production. Recycling and production operations are proposed to take place in two separate areas of the site, with the production facility utilizing asphalt batch plant equipment in the south and southeast portion of the site at a maximum height of 75 ft., and the recycling operation located to the northwest of the site utilizing equipment at a maximum of 25 ft. The various material stockpiles are proposed to be located in the north half of the site at a requested maximum height of 25 ft. The site also contains a 32,000 sq. ft. concrete building that the applicant does not intend to use at this time.

The applicant has proposed to install street frontage and site landscaping, 8 ft. screen fencing, and maintain internal emergency access approved by the Fire District. The site is also currently under review for site drainage improvements and stormwater management to ensure all off-site impacts are addressed. Additionally, the applicant has worked diligently with County staff in relation to a planned capital improvement project (CIP) for W. 62<sup>nd</sup> Avenue to ensure required landscaping and operational impacts are coordinated with the County improvements to the adjacent road. The County has requested a dedication of the front 40 ft. of the site, totaling 26,400 sq. ft. in order to complete the standard right-of-way width for W. 62<sup>nd</sup> Avenue.

### **Site Characteristics:**

The subject property is just under 10 acres and is located approximately 700 ft. west of the intersection of Broadway and W. 62<sup>nd</sup> Avenue, and approximately three-quarters of a mile east of Pecos Street. The site is just over 300 ft. from Interstate-76 (I-76) right-of-way at its closest point from the northwest corner of the property, and a little over 1,500 ft. west of Interstate-25 (I-25) right-of-way. The area is generally flat, with some elevation increase to the east on W. 62<sup>nd</sup> Avenue and elevation decrease to the north and northwest of the site towards Clear Creek on the north side



of I-76. There is some currently unmaintained landscaping and vegetation on the western portion of the site in front of the vacant concrete warehouse building that the applicant will be restoring or revegetating as part of the Change-in-Use building permit approval.

**Development Standards and Regulations (DSR) Requirements:**

The site is located in the Industrial-3 (I-3) zone district. Section 3-26-01 of the County's Development Standards and Regulations (DSR) states that the purpose of the I-3 district is to provide a heavy industrial district designed to accommodate most industrial enterprises. Asphalt and concrete production is a permitted use-by-right in the I-3 zone, the only zone district it is permitted without a Conditional Use Permit (CUP). However, staff determined that the aggregate recycling component of the use qualified as a Recycling Facility, which requires the CUP. Recycled asphalt is classified as a recyclable material, as the definition states "recyclable materials include metal, glass, cloth, paper, plastic, or any other material which presently has a commercial use or value as a commodity, raw material, or feedstock and is intentionally separated from a waste stream for reprocessing or remanufacture" (Section 11-02-495). Further, a Recycling Facility is defined in Section 11-02-496 as "operators and owners claiming exclusion from Certificate of Designation Regulations by operating facilities, or sites receiving solid waste materials, for the purpose of processing, reclaiming, or recycling solid waste materials. The exclusion requires submittal of a design and operations plan to the Community and Economic Development Department, which will be reviewed in accordance with the recyclable materials criteria". Section 4-11-02-04-07 includes use-specific performance standards for Recycling Facilities, including traffic control, recordkeeping, and a required performance bond. The application materials and comment response have addressed or affirmed operations will be conducted in accordance with these requirements.

The second request is to allow stacking of aggregate materials above the height of the fence up to 25 ft. in height. While outdoor storage in excess of 100% of the building area is allowed by-right in the I-3 zone as long as the site is under 10 acres and the outdoor storage is less than 80% of the site, it is required to not exceed the height of the fence unless specifically approved by the Board of County Commissioners (Section 4-11-02-04-09(2.)). There are no additional specific standards for review of a request for over-height stacking, so the request has been reviewed in accordance with the general industrial performance standards for heavy industrial uses and outdoor storage. The applicant has demonstrated adherence to these standards through the application materials and site plan or affirmed adherence to operational standards as part of the provided operations plan, nuisance control plan, and comment responses.

Landscaping standards were reviewed in accordance with Section 4-17 of the DSR, with a landscape plan originally approved as part of the Change-in-Use review for the asphalt production facility, and slightly amended with this CUP in order to account for a requested 40 ft. dedication along the W. 62<sup>nd</sup> Avenue right-of-way in conjunction with the County's planned CIP project in the area. The result will provide nearly 13% total landscape area for the site, exceeding the 10% minimum. Street frontage landscaping will be provided in accordance with Option 3 in Section 4-17-07-01 and will provide a 10 ft. landscape depth into the site and two trees and five shrubs per 40 ft. of street frontage. Additional landscaping will be included between the new front property line and the new W. 62<sup>nd</sup> Avenue curb and sidewalk as part of the planned street improvements. As all surrounding properties are also industrial uses, no bufferyard landscaping is required.



However, additional grass seed is provided along some of the edges of the site, as well as vegetation landscaping provided around the existing warehouse building and within the internal parking area serving as additional landscape screening between the street front and the production facility.

Parking standards were reviewed in accordance with Section 4-13 of the DSR and accommodated the mixture of uses for the existing warehouse building, storage yard, and processing uses. The existing paved parking area will remain surrounding the warehouse building, with additional parking provided adjacent to the production facility and recycling facility proposed on a gravel ground cover surface.

Operational standards of Section 4-14 of the DSR were provided to applicant in order to address the required nuisance control plan. The applicant has affirmed that dust control measures will be employed and a photometric plan for lighting impacts has been provided showing minimal lighting impacts at the property lines. Additional review and oversight measures have been provided with department and referral agency comments, as the applicant has coordinated with the County's Environmental Programs Manager, the Colorado Department of Public Health and Environment (CDPHE), Tri-County Health Department (TCHD), and Adams County Fire Rescue (ACFR). An approved Air Pollution Emission Notice (A.P.E.N.) and Emissions Permit Application has been provided as part of the application materials and the operation has provided requested documentation regarding potential safety impacts within the Flammable Gas Overlay, as the site is situated near several former landfill sites and upon a former fly ash disposal site. Additionally, the applicant has accounted for vehicle tracking onto public roads and stated that mitigation will be provided at transitions from paved to unpaved areas with street sweeping provided, as necessary. Several conditions of approval are recommended to mitigate potential off-site impacts.

Section 2-02-09 of the DSR outlines the process and criteria for obtaining a conditional use permit for a use. Among the approval criteria, conditional uses must demonstrate that the request is compatible with the surrounding area, not detrimental to the immediate area, all off-site impacts have been addressed, and that the site plan will provide the most convenient and functional use of the lot. Further, additional use-specific approval criteria are required for both Recycling Facilities and Outdoor Storage in Section 2-02-09-07. Among the additional criteria, the Recycling Facility must be found to serve a need and that it will provide a benefit to Adams County, that the request is compatible with the Comprehensive Plan, that the request has documented the ability to comply with health and operating standards provided by CDPHE, TCHD, and the Fire District, that the facility will not cause significant traffic congestion or hazards, and that the site is accessible to County residents and potential users. The additional Outdoor Storage criteria include that there is a need for the use, compatibility with the Comprehensive Plan, that the outdoor storage is subordinate to the principal use, and that aesthetic concerns have been taken into consideration during site design and placement.

**Future Land Use Designation/Comprehensive Plan:**

The future land use designation on the property is Industrial. Chapter 5 of the Adams County Comprehensive Plan describes the purpose of Industrial areas as those intended to provide a setting for a wide range of employment uses, including manufacturing, warehouses, distribution, and other



industries. These areas may also include limited supporting uses such as retail and outdoor storage. Key considerations at the edges of industrial areas include limiting or buffering noise, vehicle, appearance, and other impacts of industrial uses on nearby nonresidential uses. This designation supports the proposed asphalt production, recycling, and outdoor storage operation and is consistent with the Comprehensive Plan.

**Surrounding Zoning Designations and Existing Use Activity:**

<b>Northwest I-3 Outdoor storage</b>	<b>North I-3 Service garage, warehouse, office</b>	<b>Northeast I-3 Vehicle parking, outdoor storage</b>
<b>West I-3 Service garage, warehouse</b>	<b>Subject Property I-3 Asphalt production, warehouse</b>	<b>East I-3 Light commercial utility, outdoor storage</b>
<b>Southwest I-3 Sand and gravel processing</b>	<b>South I-3 Warehouse and storage</b>	<b>Southeast I-3 Utility office / service garage</b>

**Compatibility with the Surrounding Area:**

The surrounding area is nearly entirely industrial in nature, with a mixture of outdoor and indoor industrial uses. Adjacent properties are all I-3 zoning, with additional I-2 and limited I-1 and commercial zoning in the greater area. Surrounding properties range in size with most being at least 2 acres in size (the minimum size in the I-3 zone) with some larger than 10 acres in the greater area. The applicant has cited the existence of five other concrete, asphalt, and aggregate stockpiling operations within one mile in addition to other trucking operations. Staff has reviewed a traffic analysis determining the proposed operation is not an increase in impact to the surrounding road network, and a referral to the Colorado Department of Transportation (CDOT) resulted in no additional concerns. Further, the applicant conducted a neighborhood meeting with surrounding property owners and businesses prior to application and through the referral process and comment period staff has received no comments on the requests. The proposed use is found to be compatible with the area and not detrimental to public health and safety. Approval of these requests will be consistent with the character of development activities and uses in the area.

**Planning Commission Update:**

The Planning Commission (PC) considered the application for a conditional use permit on June 10, 2021 and voted (6-0) to recommend approval of the request. The PC made 19 findings-of-fact, 6 conditions precedent, 6 conditions, and 2 notes to the applicant. Commissioners asked staff and the applicant questions regarding specifics of the use and operational impacts. The applicant provided additional detail, including some specific detail about stormwater management on the site, potential plans for future use of the vacant warehouse building on site, and how current recycling operations are also conducted at another location in Weld County and how this site would reduce regional transportation impacts. No members of the public spoke at the hearing.



**Staff Recommendation:**

Based upon the application, the criteria for approval, and a recent site visit, staff recommends approval of this conditional use request with **19 findings-of-fact, 6 conditions precedent, 6 conditions and 2 notes:**

**Recommended Findings-of-Fact:**

Conditional Use Permit (see Section 2-02-09-06):

The Planning Commission, in making their recommendation, and the Board of County Commissioners, in approving a conditional use permit, shall find:

1. The conditional use is permitted in the applicable zone district.
2. The conditional use is consistent with the purposes of these standards and regulations.
3. The conditional use will comply with the requirements of these standards and regulations including, but not limited to, all applicable performance standards.
4. The conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. In making this determination, the Planning Commission and the Board of County Commissioners shall find, at a minimum, that the conditional use will not result in excessive traffic generation, noise, vibration, dust, glare, heat, smoke, fumes, gas, odors, or inappropriate hours of operation.
5. The conditional use permit has addressed all off-site impacts.
6. The site is suitable for the conditional use including adequate usable space, adequate access, and absence of environmental constraints.
7. The site plan for the proposed conditional use will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
8. Sewer, water, storm water drainage, fire protection, police protection, and roads are to be available and adequate to serve the needs of the conditional use as designed and proposed.

2-02-09-07-05 Outdoor Storage and Accessory Outdoor Storage

9. There is a need for the outdoor storage operation for the benefit of Adams County.
10. The request is compatible with the Adams County Comprehensive Plan, complies with the minimum zoning requirements of the zone district in which the Conditional Use Permit is to be granted, and complies with all other applicable requirements of the Adams County Development Standards and Regulations.
11. The proposed outdoor storage is clearly subordinate to a principal use of the property.
12. Aesthetic concerns have been taken into consideration during the site design and placement of the outdoor storage.

2-02-09-07-06 Solid Waste Recycling Facilities

13. There is a need for the facility, and it will provide a benefit to Adams County.
14. The request is compatible with the Adams County Comprehensive Plan, complies with the minimum zoning requirements of the zone district in which the Conditional Use Permit is to be granted, and complies with all other applicable requirements of the Adams County Zoning and Subdivision Regulations.



15. The applicant has documented his ability to comply with the health standards and operating procedures as provided by the Colorado Department of Public Health and Environment, Tri-County Health Department, Fire District, and other relevant agencies.
16. The proposed facility will not cause significant traffic congestion or traffic hazards.
17. The request is compatible with the surrounding area.
18. The site is accessible to Adams County residents and other potential users.
19. The site will not adversely impact health and welfare of the community based upon specific design and operating procedures.

**Recommended Conditions Precedent:**

1. The applicant shall obtain final approval for required site engineering improvements as part of case # EGR2020-00038.
2. Dedication of 40 ft. of right-of-way is requested along the south portion of this site in order to complete the W. 62<sup>nd</sup> Avenue standard right-of-way width. Dedication application packets have been provided to the applicant.
3. A building permit for any foundation or tie-down of the recycling equipment, or electrical connections may be required. Applicant shall obtain a permit if required or provide written confirmation from the Building Safety Division if no additional permits are required.
4. Required site landscaping shall be installed and inspected in accordance with the approved landscape plan.
5. The applicant shall provide a Performance Bond in the amount of \$37, 625 to remove stockpiled aggregate materials should the site be abandoned or any corrective actions be required by the County in order to protect the health, safety, and general welfare which result from failure of the operator to follow any regulations, standards, or conditions of approval.
6. The applicant shall receive a "Notice to Proceed" from the Department of Community and Economic Development. Written proof that all of the Conditions Precedent have been satisfied shall be required prior to receiving this notice.

**Recommended Conditions of Approval:**

1. The Conditional Use Permit shall expire on June 29, 2026 (five years).
2. The operator shall maintain records showing amounts of stockpiled materials both processed and unprocessed. In addition, records containing customer lists and showing amounts of recycled material shipped off-site shall be maintained.
3. The operator shall inspect exterior roads for tracking of debris at least twice per day. Debris, including waste material consisting of concrete, asphalt, soil, and rock that is brought to the facility along public rights-of-way within one-half (1/2) mile of the facility shall be removed by the close of each business day.
4. Wind monitoring equipment shall be installed and maintained at all times. The facility shall cease operations during periods of high winds. High winds shall be defined as sustained winds equal to or greater than 25 mph or gusts of 35 mph.
5. Records of high wind shutdowns shall be maintained and kept available on-site for review for one-year.
6. The operator shall adhere to the operations plan as provided with the permit application and must maintain records of all unacceptable materials removed from incoming loads and transported off-site for proper disposal/recycling.



**Recommended Notes to the Applicant:**

1. The applicant shall comply with all building, zoning, fire, engineering, and health codes and regulations during the development and operation of the subject site.
2. Any increase in the requested aggregate stockpile height of 25 ft. will require a major amendment to the conditional use permit.

**PUBLIC COMMENTS**

Notifications Sent	Comments Received
103	0

All property owners and residents within 1,000 ft. of the subject property were notified of the request. As of writing this report, staff has not received any public comments on this case. The applicant held a neighborhood meeting prior to initial application and in the provided summary stated three members of the public representing neighboring businesses attended the meeting to learn about the project and that no concerns or objections were raised during the course of the meeting.

**COUNTY AGENCY COMMENTS**

Adams County Development Services staff and other County offices and departments have reviewed the request and have no outstanding concerns with the proposed application. Specific remaining requirements have been included as recommend conditions precedent, conditions, or notes to the applicant.

**REFERRAL AGENCY COMMENTS**

**Responding with Comment or Concern:**

Colorado Department of Public Health and Environment (CDPHE)  
Tri-County Health Department (TCHD)  
Xcel Energy

**Responding without Concerns:**

Adams County Fire Protection District  
City of Westminster  
Colorado Department of Transportation  
Regional Transportation District

**Notified but not Responding / Considered a Favorable Response:**

Adams County Sheriff's Office  
Berkeley Neighborhood Association  
Century Link  
City of Arvada  
City of Federal Heights  
City of Thornton



Colorado Division of Wildlife  
Comcast  
Commerce City  
Goat Hill Neighborhood Association  
Mapleton School District  
Metro Wastewater Reclamation District  
Mobile Gardens Neighborhood Association  
North Pecos Water and Sanitation District  
Northridge Estates at Gold Run Homeowners Association  
Pecos Park Logistics Park Metro District  
Perl Mack Neighborhood Group  
Pomponio Terrace Metropolitan District  
The TOD Group  
Union Pacific Railroad  
Welby Citizen Group





Legend

Highways

- Interstate
- Highway
- Tollway

Streets

- Streets
- Ramp

- Building
- Parcels

1: 7,004



0.2 0 0.11 0.2 Miles

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

Site: 345 W. 62nd Ave.





## Legend

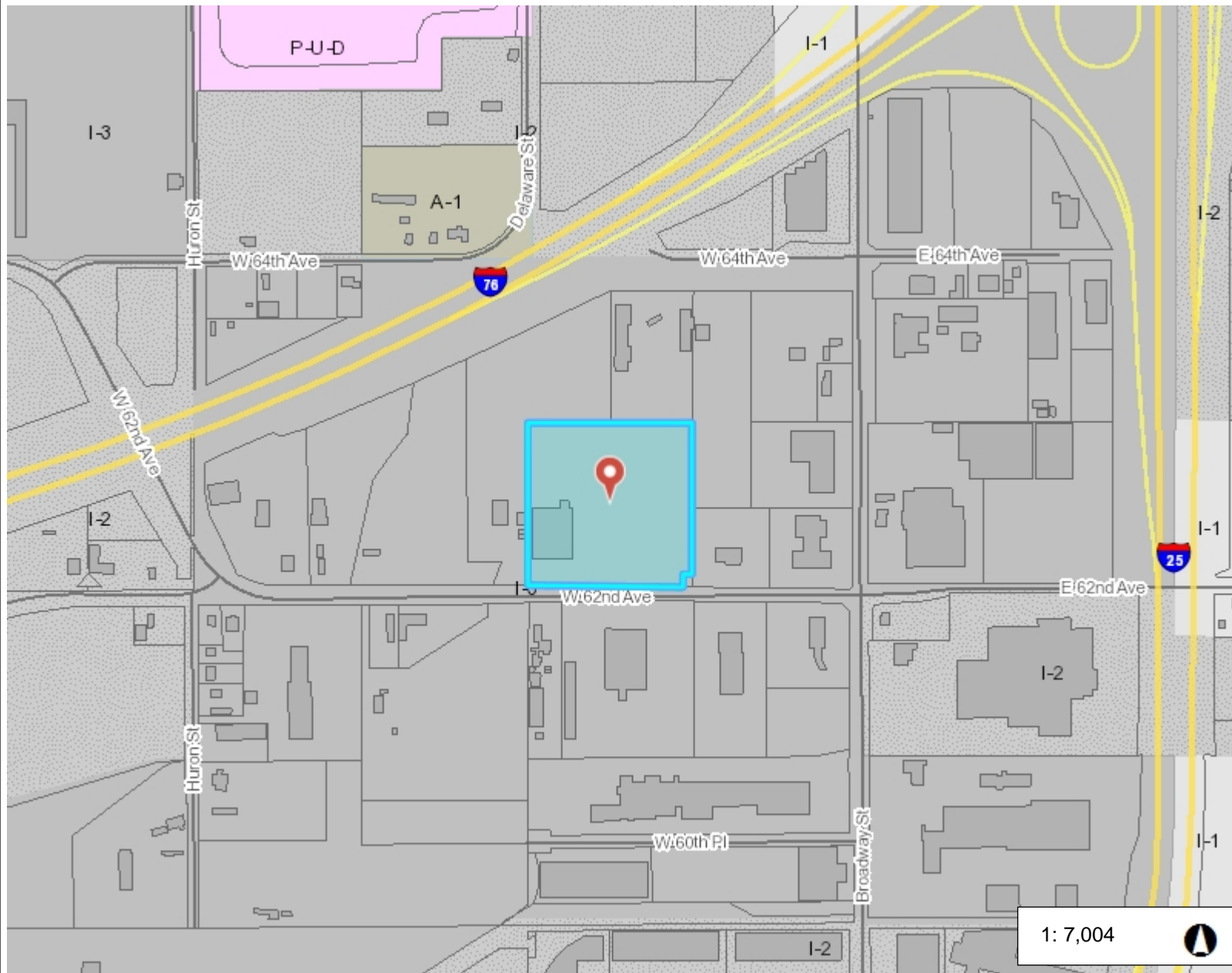
- Address
- Highways
  - Interstate
  - Highway
  - Tollway
- Streets
  - Streets
  - Ramp
- Building
- Parcels

0.1 0 0.06 0.1 Miles

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes





## Legend

- Highways**
  - Interstate
  - Highway
  - Tollway
- Streets**
  - Streets
  - Ramp
- Building**
- Parcels**
- Zoning**
  - Municipality
  - A-1
  - A-2
  - A-3
  - AV
  - C-0
  - C-1
  - C-2
  - C-3
  - C-4
  - C-5
  - CO
  - DIA
  - I-1
  - I-2
  - I-3
  - M-H
  - P-U-D
  - P-U-D(P)
  - PL

1: 7,004



0.2 0 0.11 0.2 Miles

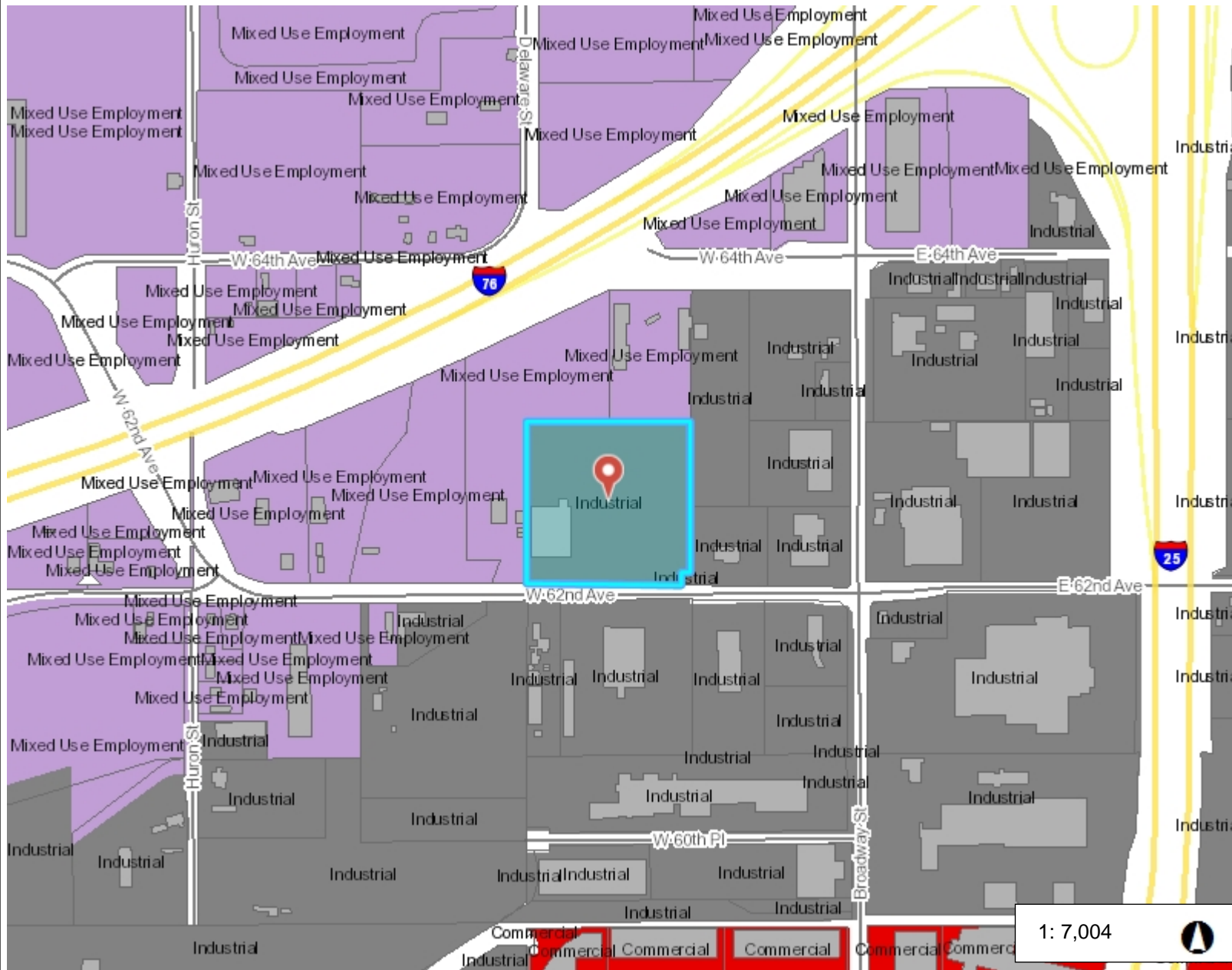
This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION

## Notes

Site: Industrial-3 (I-3)



# RCU2021-00003 Future Land Use Map



## Legend

### Highways

- Interstate
- Highway
- Tollway

### Streets

- Streets
- Ramp

### Building

### Parcels

### Comprehensive Plan

- Urban Residential
- Estate Residential
- Local District Mixed Use
- Mixed Use Neighborhood
- Activity Center
- Mixed Use Employment
- Commercial
- Industrial
- Agriculture
- DIA Reserve
- Parks and Open Space
- Public
- Municipal Area

1: 7,004



0.2 0 0.11 0.2 Miles

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION

## Notes

Site: Industrial



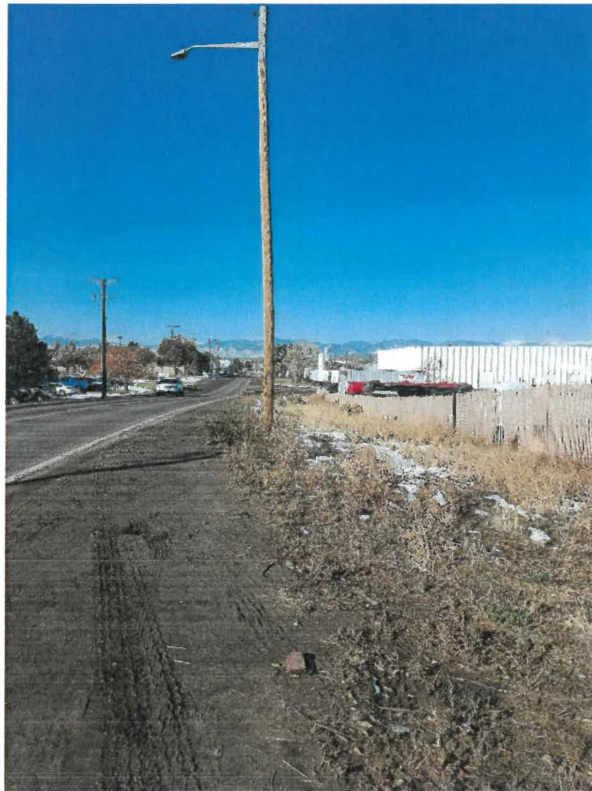
**Asphalt Specialties Co., Inc.  
345 W 62<sup>nd</sup> Ave**

**Narrative Description for  
Conditional Use Permit Application**

**Aggregate Recycling Operations**

**Stacking of Aggregate Material Above Fence Height**

**February 18, 2021**



Looking West along W 62<sup>nd</sup> Ave. Site is to the right

**Related Building, Engineering and Planning cases:**

**PRE2020-00067 Conceptual Review was held on Friday, November 20, 2020 from 10:30 am – 11:15 am**

**BDP20-3678 issued January 20, 2021 for the construction of plant foundation and electrical work**

**BDP21-0227 Building Permit applied for perimeter fence. Currently under County review**

**EGR2020-00038 Engineering Review. Currently under County review.**

Steve Ward  
Land Development Manager  
Asphalt Specialties Co., Inc.  
303-594-1433



**Asphalt Specialties Co., Inc.  
345 W 62<sup>nd</sup> Ave**

**Conditional Use Permit Application**

**Aggregate Recycling Operations**

**Stacking of Aggregate Material Above Fence Height**

**Index of Supporting Documents**

**Condition Use Permit Transmittal Form**

**Written Explanation of The Project with Site photographs from W 62<sup>nd</sup> Ave**

**Site Plan Graphic Showing Aggregate Stockpiles and Recycling Operations**

**Proof of Ownership -- General Warranty Deed**

**Will Serve letter from North Pecos Water and Sanitation District for Water and Sewer**

**Letter from Xcel Energy indicating availability of electric and natural gas service to the site**

**Legal Description**

**Certificate of Taxes Paid**

**Certificate of Notice to Mineral Estate Owners**

**Owner Authorization**

**Traffic Letters**

**Letter from DB Enterprise, LLC, Dave Ruble, Traffic Engineer, Dated November 9, 2020**

**Refined Letter from DB Enterprise, LLC, Dated November 19, 2020**

**Email exchange between DB Enterprise, LLC and Steven Loeffler with CDOT**

**Neighborhood Meeting Summary**



**Asphalt Specialties Co., Inc.**

**345 W 62nd Ave**

**Narrative Description for Conditional Use Permit Application**

**Aggregate Recycling Operations**

**Stacking of Aggregate Material Above Fence Height**

Unincorporated Adams County

Approximately 10.00 acre site, including an existing 32,000 industrial building

Zoned I-3

The site at 345 W 62<sup>nd</sup> Ave was purchased in October 2020 by Hunt Brothers Properties, Inc., an entity affiliated with Asphalt Specialties Co., Inc. According to the Assessor's Office, the parcel was legally created in 1959.

Asphalt Specialties has received a building permit to construct the foundation and related infrastructure for an asphalt plant on the site. The plant is the same one recently relocated from the site that is approximately ½ mile north and west at 6555 Huron St. The plant was relocated as previous site is being redeveloped for a commercial user. Activities at 6555 Huron St included aggregate recycling operations.

The site is zoned I-3. Under this zoning, asphalt plants are a Permitted Use. Conditional Use Permits are required for aggregate recycling operations and stacking of aggregate material above the height of the perimeter fence.

**Related Building, Engineering and Planning cases:**

**PRE2020-00067 Conceptual Review was held on Friday, November 20, 2020 from 10:30 am – 11:15 am;**  
**BDP20-3678 issued January 20, 2021 for the construction of plant foundation and electrical work;**  
**BDP21-0227 Building Permit applied for perimeter fence. Currently under County review;**  
**EGR2020-00038 Engineering Review. Currently under County review.**

**Relocating Asphalt Plant**

For approximately 9-10 months each year, Asphalt Specialties will operate an asphalt plant on the site. The plant has been relocated from its previous location approximately ½ mile north and west at 6555 Huron St.

**Traffic Letters**

A Traffic Letter from DB Enterprise, LLC , the traffic engineer retained for this project, dated November 9, 2020, a refined letter from DB Enterprise, LLC dated November 20, 2020, and an email exchange between DB Enterprise, LLC and Steven Loeffler with CDOT are included with this request.

The traffic engineer concludes that "[t]he proposed Asphalt specialties batch plant will not result in an increase in the daily traffic over what the site currently generates. The proposed batch plant will not result in an increase in the AM and PM peak-hour traffic generation over what the site currently generates.



Note that when our traffic engineer analyzed traffic both from the site and its prior users, as well as traffic generated from the 6555 Huron site, the traffic counts from 6555 Huron included vehicle traffic associated with our recycling operations at that site.

### **Conditional Use Permit Request**

This request is for two conditional uses on the site. One to conduct aggregate recycling operations and the second to permit the stacking of aggregate material above the height of the perimeter fence.

Recycling operations were previously conducted at the 6555 Huron St site. The traffic letter included with the building permit application and this CUP application includes traffic generated at the previous site, including traffic from aggregate recycling.

Concrete and asphalt are two of the most commonly recycled materials in North America.

### **Neighborhood Meeting**

A neighborhood meeting was held on February 16, 2021 at 5:00 pm. Three representatives from two businesses along W 62<sup>nd</sup> Ave in the vicinity of the site participated. A summary of their questions and comments is included with this CUP application.

### **Surrounding Properties**

The site is located in an industrial area of unincorporated Adams County. Other concrete and asphalt operations currently exist in this area, where other trucking operations are also common. The majority of surrounding properties are zoned I-3.

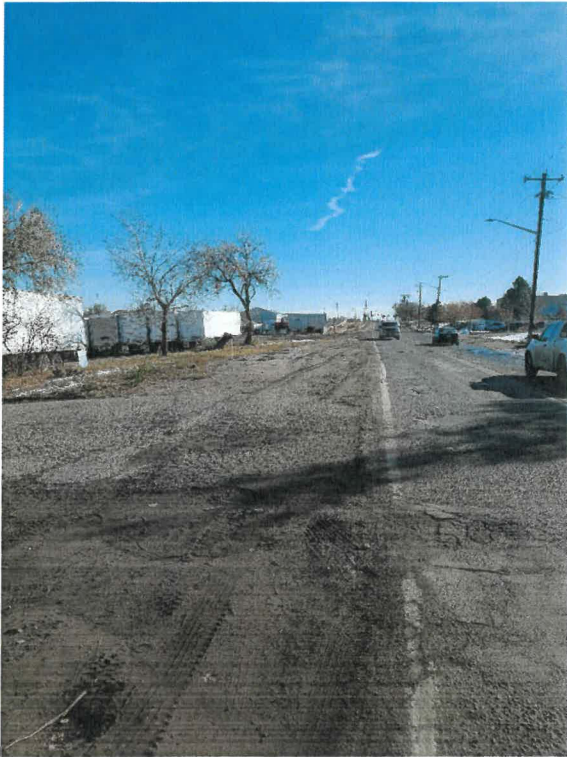
There are no residential properties in the area.

### **Utility Services**

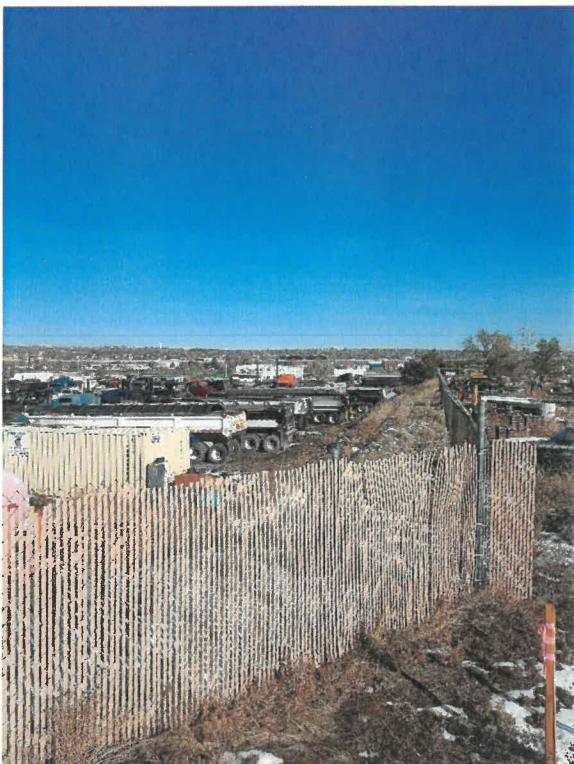
The site is served by the North Pecos Water and Sanitation District. NPWSD provides both water and sewer to the area. A Will Serve letter is included in this package.

Xcel Energy provides electric and gas service to the area and a Will Serve letter is included in this package. The company has indicated that gas and electric service is available to the site at required volumes given Xcel's natural gas infrastructure in the area.



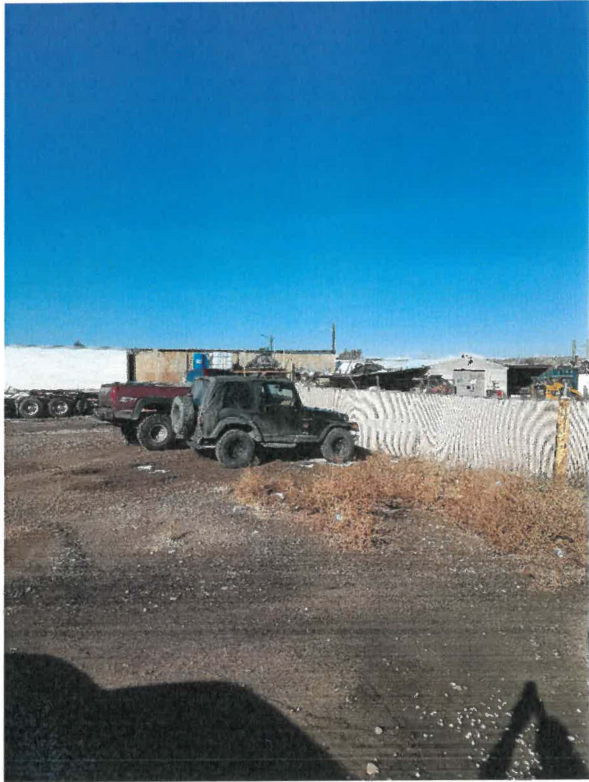


Looking East along W 62<sup>nd</sup> Ave. The site is to the left.



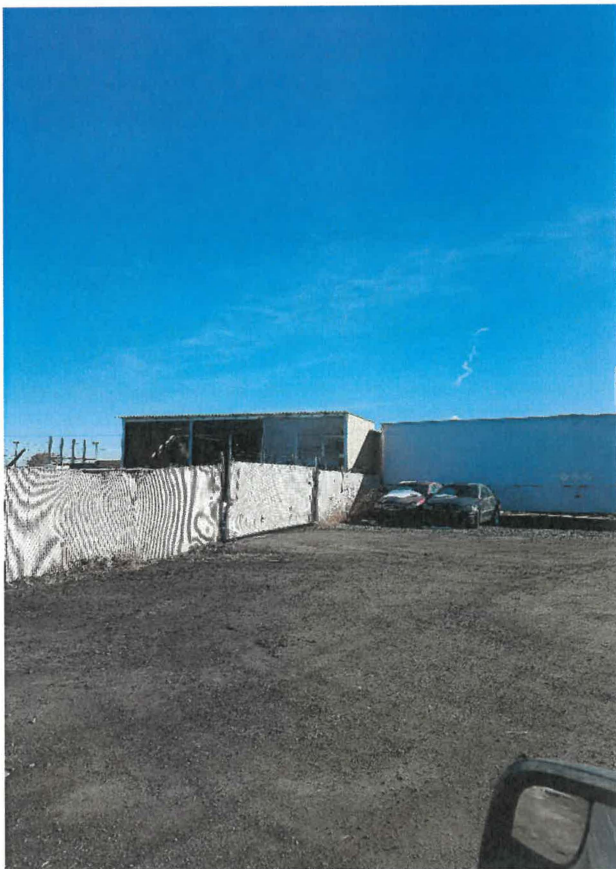
Looking North from W 62<sup>nd</sup> Ave along the Eastern boundary of the site. The parcel had previously been used extensively by various trucking companies for many years under the prior ownership.





View of the Northern portion of the site.

The prior owner leased yards to various trucking, concrete and asphalt companies. Numerous structures, concrete and asphalt pads, and other impervious areas were added. These will be removed by Asphalt Specialties, decreasing the net amount of impervious area on the site.



Another view of the Northern area of the site showing structures that have been added over the years under previous ownership. These structures and corresponding impervious concrete and asphalt ground coverings will be removed by Asphalt Specialties.



SETBACK DATA TABLE	
PROPERTY LINE	BUILDING SETBACK
FRONT	25.00'
REAR	25.00'
SIDE*	15.00' ONE SIDE, 5.00' OTHER SIDE

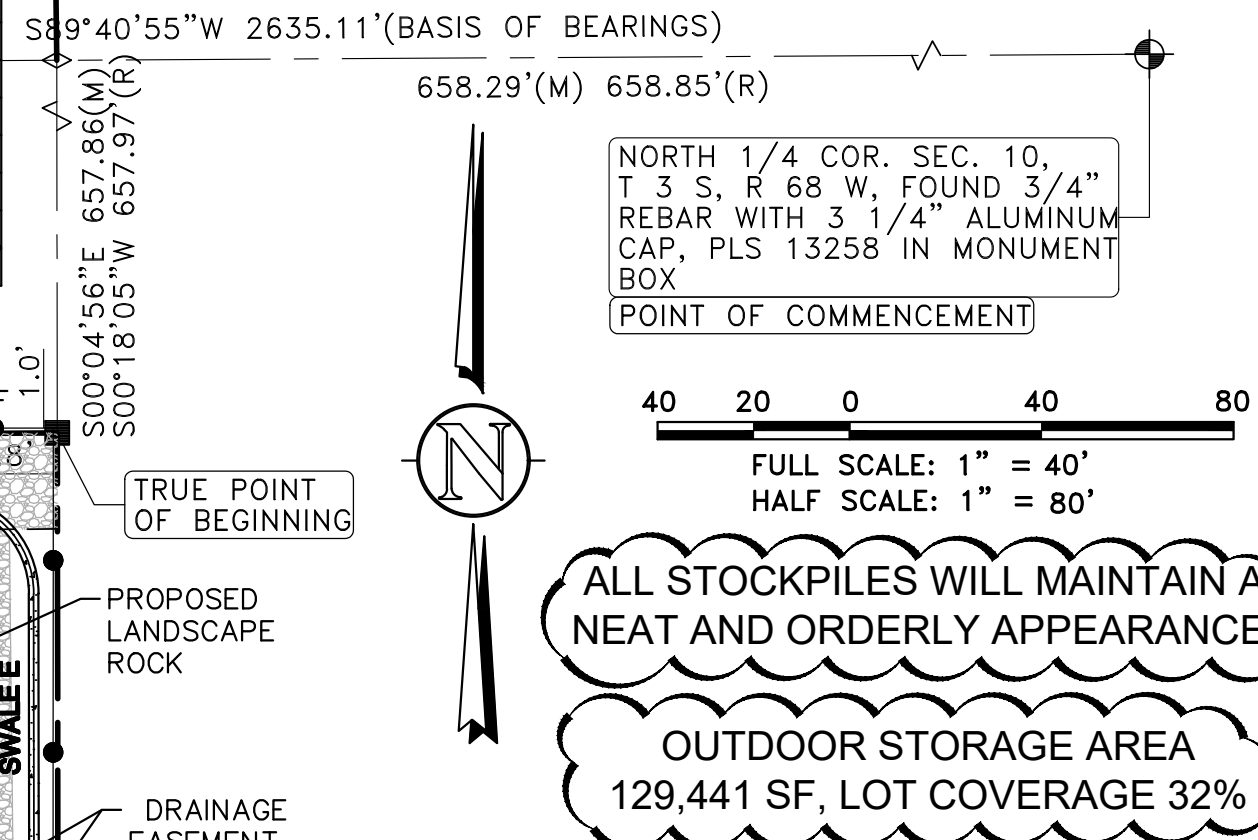
\*0 FEET MAYBE APPROVED FOR FIREPROOF STRUCTURES.

LANDSCAPE TABLE (IN ROW)			
LSWR	8,369 SF	1.93%	
LSR	13,992 SF	3.23%	
<b>TOTAL LANDSCAPE CURRENTLY IN ROW</b>	<b>22,261 SF</b>	<b>5.14%</b>	

NW COR. SEC. 10, T 3 S, R 68 W, FOUND 3/4" REBAR WITH 3 1/4" ALUMINUM CAP, PLS 23881 IN MONUMENT BOX

ALL OUTDOOR STORAGE SHALL CONSIST OF NON-HAZARDOUS MATERIALS.

LANDSCAPE TABLE (ON-SITE)		
LSW	3,615 SF	0.89%
LSE	9,673 SF	2.37%
LC	8,023 SF	1.97%
<b>TOTAL FRONTAGE LANDSCAPE</b>	<b>21,311 SF</b>	<b>5.22%</b>
LW	3,986 SF	0.98%
LE	2,346 SF	0.58%
LN	25,174 SF	6.17%
<b>REMAINING ON-SITE LANDSCAPE</b>	<b>31,588 SF</b>	<b>7.72%</b>
<b>TOTAL ON-SITE LANDSCAPE</b>	<b>52,899 SF</b>	<b>12.97%</b>



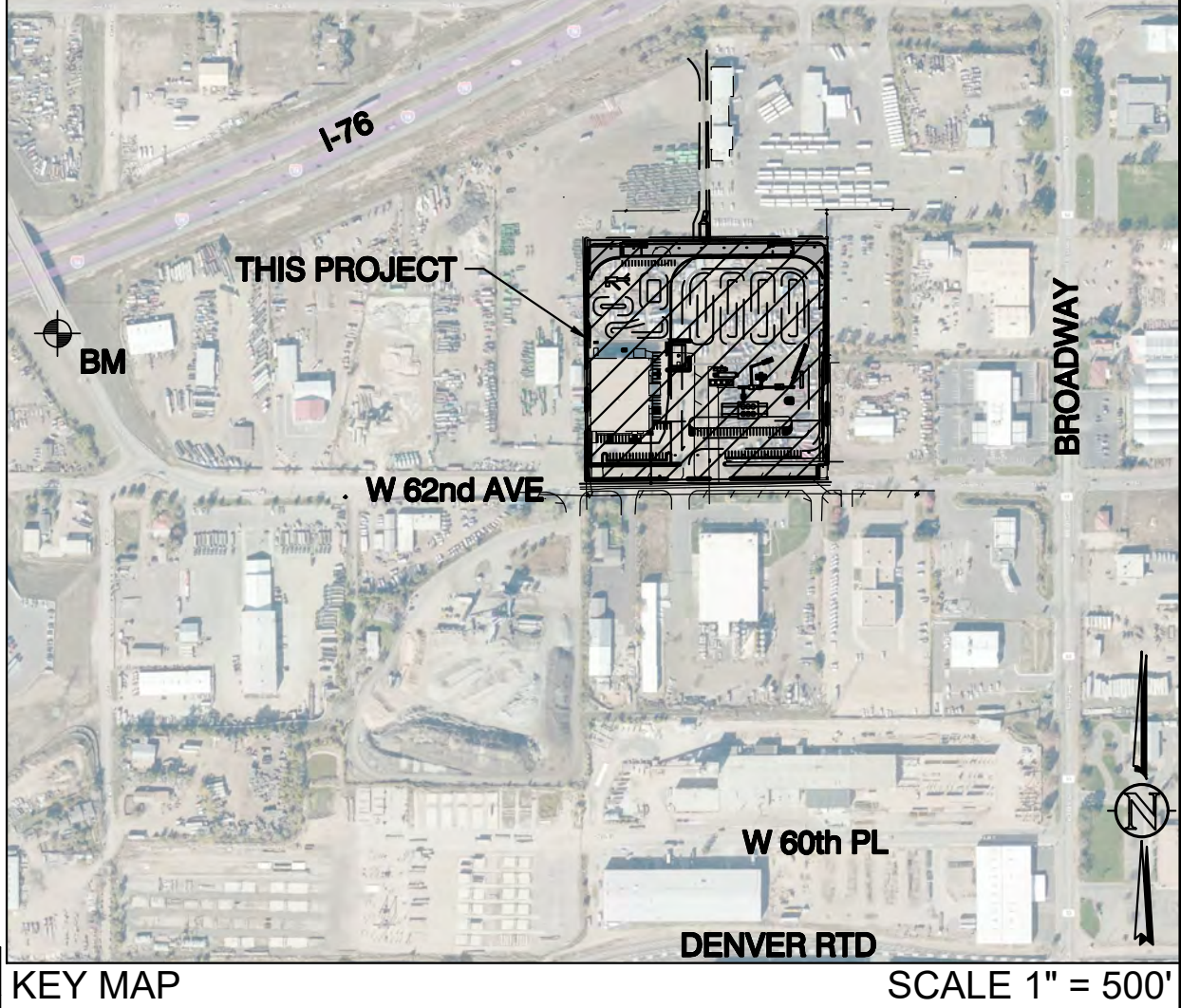
LOT DATA TABLE				
DESCRIPTION	AREA	AREA (ac)	EXISTING %	PROPOSED %
LOT	407,881 SF	9.36	100 %	100 %
EXISTING BUILDINGS	36,203 SF	0.83	8.88 %	
EX BUILDINGS TO BE REMOVED	3,120 SF	0.07	0.76 %	
PROPOSED BUILDINGS	157 SF	0.00		0.04 %
<b>TOTAL BUILDINGS</b>	<b>33,240 SF</b>	<b>0.76</b>		<b>8.15 %</b>
EXISTING CONCRETE	11,521 SF	0.26	2.82 %	
EX CONCRETE TO BE REMOVED	5,465 SF	0.13	1.34 %	
PROPOSED CONCRETE	17,967 SF	0.41		4.40 %
<b>TOTAL CONCRETE</b>	<b>24,023 SF</b>	<b>0.55</b>		<b>5.89 %</b>
EXISTING ASPHALT	72,126 SF	1.66	17.68 %	
EX ASPHALT TO BE REMOVED	36,492 SF	0.84	8.95 %	
PROPOSED ASPHALT	86,199 SF	1.98		21.13 %
<b>TOTAL ASPHALT</b>	<b>121,833 SF</b>	<b>2.80</b>		<b>29.87 %</b>
EXISTING GRAVEL	274,618 SF	6.30	67.33 %	
EX GRAVEL TBR/REGRADED	260,017 SF	5.97	63.75 %	
PROPOSED GRAVEL	161,285 SF	3.70		39.54 %
<b>TOTAL GRAVEL</b>	<b>175,886 SF</b>	<b>4.04</b>		<b>43.12 %</b>
EXISTING LANDSCAPE AREA	38,954 SF	0.89	9.55 %	
PROPOSED LANDSCAPE AREA	52,899 SF	1.21		12.97 %

PARKING DATA TABLE			
REQUIRED PARKING			
ASPHALT PLANT	1/1,000 SF (39,330 SF)		40
WAREHOUSE	1/1,000 SF (32,068 SF)		33
STORAGE YARD	1/10,000 SF (129,441 SF)		13
REQUIRED HANDICAP PARKING	1 PER 25 SPACES		4
<b>TOTAL REQUIRED</b>			<b>90</b>
PROVIDED PARKING			
ASPHALT PLANT			50
WAREHOUSE			38
STORAGE YARD			15
PROVIDED HANDICAP PARKING			4
<b>TOTAL PROVIDED STALLS</b>			<b>107</b>

ON-SITE ACCESS EASEMENT FOR DRAINAGE FACILITY ACCESS & EMERGENCY SERVICES ACCESS

SEE SHT 5D FOR PAVEMENT DESIGN

PARKING BLOCK DETAIL  
SCALE: 1" = 5'



**NOTES**

THIS PLAN IS INTENDED AS THE SITE PLAN FOR ASPHALT SPECIALTIES.

ALL IMPROVEMENTS ARE PROPOSED UNLESS NOTED AS EXISTING.

IT IS THE OWNER AND/OR THE CONTRACTOR'S RESPONSIBILITY TO ATTAIN ALL APPROPRIATE PERMITS AND REVIEW APPROVALS FROM THE STATE OF COLORADO AND ADAMS COUNTY RESPECTIVELY.

SEE COVER SHEET FOR BASIS OF BEARING & BENCHMARK.

ANY REFERENCE TO EASEMENTS, SURVEY POINTS, OR EXISTING UTILITIES AND FEATURES ARE BASED SOLELY FROM SURVEY INFORMATION PROVIDED BY AMERICAN WEST LAND SURVEYING CO. ON ALTA/NSPS LAND TITLE SURVEY, DATED SEPTEMBER 16, 2020.

NOT ALL UNCC UTILITY LOCATES HAVE BEEN PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES ARE LOCATED AND SURVEY PROVIDED TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION DRAWING RELEASE.

FOR SOURCES OF POTENTIAL POLLUTION  
SEE SHEET 17 - DEVELOPED DRAINAGE.

SYMBOL LEGEND	
41 45 DEG BEND	THRUST BLOCK TB
41 22.5 DEG BEND	GATE VALVE GV
41 RESTRAINED PLUG	CURB STOP
41 RESTRAINED TEE	PIPE CROSSING
41 WATER METER	MANHOLE
41 RESTRAINED CROSS	MANHOLE W/ FLOW DIRECTION
41 FIRE HYDRANT	ROOF DRAIN
41 RESTRAINED VALVE	EX LIGHTPOLE
OH - OVERHEAD DOOR	EX ELECTRIC POLE
LZ - LOADING ZONE	WM - WATER METER
LD - LOADING DOCK	GM - GAS METER
TE - TRASH ENCLOSURE	SR - SNOW REMOVAL
DS - DOWNSPOUT	
EXISTING LANDSCAPE	PROPOSED LANDSCAPE
EXISTING CONC	PROPOSED CONC
EXISTING ASPHALT	PROPOSED ASPHALT
RIPRAP	PROP LANDSCAPE ROCK

LINETYPE LEGEND	
LOT / PROPERTY / SECTION LINE	
RIGHT OF WAY LINE	
EASEMENT	
SETBACK	
TO BE ABANDONED LOT LINE	
EXISTING BUILDING, CURB	
EDGE OF ASPHALT or GRAVEL RD	
EX 8" CHAINLINK FENCE	
PROP 8" SCREENED CHAINLINK FENCE	
POND WQ W/S	
SWALE	
EXISTING OVERHEAD ELEC	
EXISTING ELECTRICAL LINE	
EXISTING STORM LINE	
EXISTING SANITARY LINE	
EXISTING WATER LINE	
EXISTING GAS LINE	
EXISTING FIBER OPTIC LINE	
EXISTING TELEPHONE LINE	
PROPOSED SANITARY LINE	
PROPOSED SANITARY SERVICE	
PROPOSED STORM LINE	
PROPOSED WATER LINE	
PROPOSED WATER SERVICE	
PROPOSED GAS LINE	
PROPOSED ELECTRIC LINE	
PROPOSED TELEPHONE LINE	

**Western Engineering Consultants, Inc LLC**  
127 S. DENVER AVENUE  
FORT LUTON, CO 80621  
www.westerneci.com  
email@westerneci.com  
(720) 685-9951  
FAX (720) 294-1330

**ASPHALT SPECIALTIES COMPANY, INC.**  
10100 DALLAS STREET  
HENDERSON, CO 80640  
MOBILE (303)594-1433

**ADAMS COUNTY, COLORADO**

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DESIGNED BY: CFC  
DRAWN BY: CFC  
CHECKED BY: CFC

PROJECT NO. 01-0326.002.00  
DOC CON # 0005-SITE  
SHEET 5 OF 38



**RECYCLING OPERATIONS PLAN  
FOR  
ASCI 62<sup>ND</sup> AVE. ASPHALT PLANT  
345 W. 62<sup>ND</sup> AVE.  
DENVER, ADAMS COUNTY, COLORADO**

Prepared by:

**ASPHALT SPECIALTIES CO., INC**  
10100 DALLAS STREET  
HENDERSON, COLORADO 80640  
303-289-8555 • Fax 303-289-7707



April 2021



## 1.0 INTRODUCTION

This recycling operations plan describes the materials screening procedures to prevent unauthorized non-recyclable materials from import to the Asphalt Specialties Co., Inc. (ASCI) 62<sup>nd</sup> Ave. Asphalt Plant located at 345 W. 62<sup>nd</sup> Ave. Denver, Adams County, Colorado (Site). All aggregate materials are sourced from ASCI's local sand and gravel mines. The vast majority of reclaimed asphalt pavement (RAP) comes directly from ASCI's own metro area milling projects or from specific large volume contracts with local area entities (e.g., City of Denver); however, clean recyclable materials sourced from other local companies will be accepted.

## 2.0 RECYCLABLE MATERIALS ACCEPTED

The Site will **ONLY** accept clean RAP material (i.e., broken asphalt and millings) that can be re-used in the asphalt production process and hardened tear out concrete. The Site will not accept soils of any kind or mixed loads consisting of asphalt/concrete with soils present.

### 2.1 PROHIBITED MATERIALS

Unauthorized or prohibited materials include, but are not limited to, the following items:

- Asphalt or concrete embedded with items such as steel (e.g., rebar) or any other foreign objects.
- Soils.
- Hazardous materials or chemicals of any kind including biological, chemical, and radiological wastes.
- Materials that appear to be contaminated or potentially impacted by contaminants.
- Organic materials (e.g., sod, tree branches, etc.).
- Liquids of any type.
- Solid wastes of any kind including asbestos-containing material (ACM), aerosol cans, batteries, building materials, computers, drums, gas cylinders, lead based paint (LBP) chips, mercury containing items, metals (other than rebar in concrete), plastics, PVC pipes, wood, or general refuse of any kind.

Any dumping of unauthorized loads **MUST** be retrieved and taken off-site by the offending company. Unloading of unauthorized materials may result in loss of dumping privileges.

## 3.0 SITE OPERATIONS

### 3.1 ON-SITE FIELD SCREENING

The purpose of field screening loads is to verify exactly what is being delivered and ensure it meets all criteria for acceptance. Field screening is a vital part of the acceptance process and the primary



method to identify unauthorized materials **PRIOR** to placement at the Site. All loads delivered to the Facility will undergo a two (2) phase screening process:

**Initial Screening:** The ASCI scale house operator inspects each load of material for evidence of unauthorized materials. Should evidence of unauthorized materials be observed, trucks are directed to turn around and will not be allowed to dump material.

**Secondary Screening:** After loads pass the initial scale house inspection, ASCI personnel located in the operational area observe trucks unloading to verify material is unloaded in the correct location and provide a second screening evaluation on the load to confirm no unauthorized materials are present.

If materials attempting to be delivered to the Site do not meet acceptance criteria, the driver will be immediately turned away and will not be allowed to unload.

### **3.2 PROCEDURAL SEQUENCE FOR RECEIPT OF MATERIALS**

The following is the sequential list of procedures when accepting asphalt and concrete at the Site.

- 1) Upon arrival, ASCI trucks/customers inform the scale house about the type of material they have and the job name/location where the material was generated.
- 2) The scale house operator inspects each load of material for evidence of unauthorized materials. Should evidence of unauthorized materials be observed, trucks are directed to turn around and will not be allowed to dump material.
- 3) Upon approval to unload material, the customer receives directions from the scale house operator where to unload their truck. Truck route directional, warning, and speed limit signs are clearly posted throughout the Site for safety reasons.
- 4) ASCI personnel located in the operational unloading area observe trucks unloading to verify material is unloaded in the correct location and provide a second evaluation on the load to confirm no unauthorized materials are present.

### **3.3 PROCEDURAL SEQUENCE FOR PROCESSING AND STOCKPILING OF AGGREGATE MATERIAL**

The recycling operations, which include crushing, screening, and sorting of hardened concrete and asphalt, is normally active throughout most of the year with production only slowing down or ceasing during periods of inclement weather in the winter months. The following is a list of procedures for processing and stockpiling of aggregate material:

- 1) Material from unprocessed stockpiles is loaded into the on-site crusher by and excavator to break, remove, and crush existing concrete or asphalt into a material with a specified size and quality.



- 2) The crushed material is then transported to the screen where it undergoes a sifting process to capture and sort the rubble into different sizes.
- 3) Screened material is then transported to associated finished stockpiles by on-site loader.



## ASCI Nuisance Control Plan

- Fugitive dust should be confined on the property. Owner to utilize onsite staff to operate water truck as necessary to control dust. Uses on the property should comply with the Colorado Air Quality Commissions air quality regulations.
- An approved Air Pollution Emission Notice (A.P.E.N.) and Emissions Permit Application has been received from the Air Pollution Control Division, Colorado Department of Public Health and Environment. A.P.E.N. Permit No. 20AD0764.
- Waste materials shall be handled, stored, and disposed in a manner that controls fugitive dust, fugitive particulate emissions, blowing debris, and other potential nuisance conditions.
- All liquid and solid wastes (as defined in the solid wastes disposal sites and facilities act, 30-20-100.5, C.R.S.) shall be stored and removed for final disposal in a manner that protects against surface and groundwater contamination.
- The facility shall be constructed and operated to ensure that contamination of soil and groundwater does not occur. Any contaminated soils on the facility shall be removed, treated or disposed of in accordance with all applicable rules and regulations. All spills will be reported to local, state and federal agencies in accordance with all state and federal regulations.
- Secondary containment shall be constructed around the proposed release agent application pad to provide containment for the release agent. Secondary containment shall be sufficiently impervious to contain any spilled or released material. Secondary containment devices shall be inspected at regular intervals and maintained in good condition. All secondary containment will comply the provisions of the state underground and above ground storage tank regulations.
- The access to the site shall be maintained to mitigate any impacts to the public road, including damages and/or off-site tracking.
- The facility shall adhere to the maximum permissible noise levels allowed in the industrial zone as delineated in 25-12-103 C.R.S.
- Sources of light shall be shielded so that light rays will not shine directly onto adjacent properties where such would cause a nuisance or interfere with the use on the adjacent properties. Neither the direct, nor reflected, light from any light source may create a traffic hazard to operators of motor vehicles on public or private streets. No colored lights may be used which may be confused with, or construed as, traffic control devices.
- The property owner or operator shall be responsible for controlling noxious weeds on the site.



ZONING: I-3  
USE: AUTOMOTIVE  
REPAIR AND STORAGE

ZONING: I-3  
USE: PARKING LOT

ZONING: I-3  
USE: PARKING LOT

ZONING: I-3  
USE: ASPHALT PLANT

ZONING: I-3  
USE: STORAGE

## LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- CANOPY TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASS
- MULCH
- SEED
- GRAVEL
- STEEL EDGER
- FENCE
- SIGN
- BICYCLE RACK

## FRONTAGE

REQUIREMENT: OPTION 3 - 10 FOOT DEPTH

DEPTH	REQUIREMENT	PROVIDED
539'	10'	10.6'

REQUIREMENT: 2 TREE AND 5 SHRUBS PER EVERY 40 LINEAR FEET

LF	REQUIREMENT		PROVIDED	
	TREES	SHRUBS	TREES	SHRUBS
TOTAL 539'	27	68	27	143

## PARKING

REQUIREMENT: 1 TREE PER EVERY 10 SPACES

SPACES	REQUIREMENT		PROVIDED	
	TREES	TREES	TREES	TREES
108	11		17	

REQUIREMENT: 18 SF / ST ALL OF LANDSCAPED AREA

SPACES	REQUIREMENT	PROVIDED
108	1,944 SF	4,631 SF

## BUFFER YARD

NA: INDUSTRIAL USE ADJACENT TO INDUSTRIAL USE

## PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	ROOT	CALIPER/H.T.
EXR	9	EXISTING TREE	EXISTING TREE	EX	
EXT	2	EXISTING TREE	EXISTING TREE	EXISTING	
CANOPY TREE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	CALIPER/H.T.
CO	7	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2" CAL
GI	2	GLEDITSIA TRIACANTHOS 'IMPERIAL'	IMPERIAL HONEYLOCUST	B & B	2" CAL
QR	9	QUERCUS ROBUR	ENGLISH OAK	B & B	2" CAL
EVERGREEN TREE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	CALIPER/H.T.
PH	9	PINUS HELDREICHII	BOSNIAN PINE	B & B	6' HT
PN	11	PINUS NIGRA	AUSTRIAN BLACK PINE	B & B	6' HT
ORNAMENTAL TREE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	CALIPER/H.T.
CP	6	CRATAEGUS PHAENOPYRUM	WASHINGTON HAWTHORN	B & B	2" CAL
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
DKS	31	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT'	BLUE MIST SPIREA	5 GAL	
FA	25	FORSYTHIA X 'ARNOLD'S DWARF'	ARNOLD'S DWARF FORSYTHIA	5 GAL	
RG	23	RHUS TRILOBATA 'GRO LOW'	SKUNKBUSH SUMAC	5 GAL	
SV	52	SYRINGA VULGARIS	COMMON LILAC	5 GAL	
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
EK	38	EUONYMUS KIAUTSCHOVICUS 'MANHATTAN'	MANHATTAN EUONYMUS	5 GAL	
JH	44	JUNIPERUS HORIZONTALIS 'HUGHES'	HUGHES JUNIPER	5 GAL	
JS	59	JUNIPERUS SABINA 'SIERRA SPREADER'	SIERRA SPREADER JUNIPER	5 GAL	
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
FRG	138	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL	

## SEED MIX

WESTERN WHEAT GRASS (ARRIBA, BARTON, ROSANA)	2.50 LBS PLS / ACRE
BLUE GRAMA (HACHITAL, LOVINGTON)	1.50 LBS PLS / ACRE
SIDEOTS GRAMA (VAUGHN, BUTTE, NINER, EL RENO, HASKELL)	2.25 LBS PLS / ACRE
SMOOTH BROME (LINCOLN, MANCHAR)	2.00 LBS PLS / ACRE
SAND DROPSEED	0.25 LBS PLS / ACRE
PERENNIAL RYEGRASS (CALIBRA OR GARIBALDI TETRAPLOID)	0.75 LBS PLS / ACRE
SLENDER WHEATGRASS (PRYOR, REVENUE OR SAN LUIS)	2.50 LBS PLS / ACRE
ALKALIGRASS (FULTS II, SALT ON SEA)	1.25 LBS PLS / ACRE
SWITCHGRASS (NEBRASKA 28, BLACKWELL)	1.00 LBS PLS / ACRE
TOTAL 14.00 PLS / ACRE	

## 1 LANDSCAPE PLAN

SCALE: 1"=40'

0 20 40 80 NORTH

pcsgroup inc. www.pcsgroupinc.com  
p.o. box 18287  
dallas, tx 75218  
1.303.531.4905 1.303.531.4908

creating spaces  
people

DESIGN  
INITIAL RELEASE  
DATE  
10/07/21  
REV  
1

ASPHALT SPECIALTIES  
COMPANY, INC.  
CONTACT: GREG GERAS  
10100 DALLAS STREET  
HENDERSON, CO 80640  
MOBILE (303)498-9888

LANDSCAPE PLAN  
ASPHALT SPECIALTIES  
COMPANY, INC.  
ADAMS COUNTY, COLORADO

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CALL UNCC  
THREE WORKING DAYS  
BEFORE YOU DIG  
1-800-922-1987  
www.uncc.org  
UTILITY NOTIFICATION  
CENTER OF COLORADO

FOR REVIEW

ONLY VALID FOR CONSTRUCTION  
IF SEAL & ORIGINAL SIGNATURE  
ARE ON EACH SHEET

INITIAL PLAN

RELEASE: 04/07/21

DESIGNED BY: CR

DRAWN BY: CR

CHECKED BY: KLM

PROJECT NO.

01-0326.002.00

DOC CON #

SHEET

36 OF 38



LANDSCAPE NOTES

- SITE PREP
- LANDSCAPE CONTRACTOR TO REFERENCE CIVIL ENGINEERING DRAWINGS REGARDING DRAINAGE AND EROSION CONTROL NOTES, DETAILS AND PROCEDURES.
  - ALL WORK SHALL CONFORM TO LOCAL COUNTY CODES. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE LANDSCAPE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
  - ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR USE OF MAINTENANCE EQUIPMENT ENTRY.
  - SEE CIVIL ENGINEER'S DRAWINGS FOR GRADING AND DRAINAGE, EROSION CONTROL, PAVING AND SLEEVES, UTILITIES, AND OTHER ENGINEERED DETAILS.
  - CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
  - A PRE-CONSTRUCTION MEETING IS REQUIRED BETWEEN THE LANDSCAPE CONTRACTOR, PROPERTY OWNER AND LANDSCAPE ARCHITECTURE PERSONNEL BEFORE START OF CONSTRUCTION.
  - CONTRACTOR SHALL MINIMIZE ALL DISTURBANCE TO NON-IMPACTED AREAS.
  - SITE MUST BE CLEAN AND FREE OF ALL CONSTRUCTION DEBRIS BEFORE FINAL ACCEPTANCE.
  - CONTRACTOR IS RESPONSIBLE FOR SETUP OF BARRICADES, WARNING SIGNAGE, OR OTHER PROTECTIVE DEVICES IF ANY EXCAVATIONS ARE LEFT EXPOSED AFTER ON-SITE WORK HOURS.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE ALL NECESSARY PERMITS FOR CONSTRUCTION WORK WITHIN THE LOCAL COUNTY.
  - CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING OR NEW SITE IMPROVEMENTS DISTURBED OR DAMAGED DUE TO THEIR OPERATIONS. DAMAGED MATERIALS SHALL BE REPLACED/REPAIRED TO ITS PRIOR CONDITION.
  - LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OR LANDSCAPE PLANTING. CONTRACTOR SHALL HAND DIG ALL PLANTING PITS ADJACENT TO UTILITIES. IF UTILITIES ARE DAMAGED, REPAIRS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE.
  - PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED & AMENDED.
  - SOIL AMENDMENTS-A MINIMUM 4 CUBIC YARDS PER 1,000 SF OF A CLASS I OR II COMPOST SHALL BE DISTRIBUTED ACROSS THE SOIL SURFACE OF ALL LANDSCAPE AREAS IN A UNIFORM 1 1/2" (6 CUBIC YARDS = 2 INCH LAYER) AND INCORPORATED INTO THE TOP 8 INCHES OF SOIL WITH A ROTOTILLER CAPABLE OF TILLING TO 8 INCHES IN DEPTH. SHRUB BEDS SHALL BE AMENDED THROUGHOUT THE ENTIRE BED PRIOR TO PLANTING, NOT JUST THE PLANTING HOLE.
- TURF, PLANT & GROUND COVER MATERIAL

- ANY SUBSTITUTION OR ALTERATION OF PLANT OR LANDSCAPE MATERIALS IN LOCATION, SPECIES, TYPE, ETC. SHALL BE ALLOWED ONLY WITH APPROVAL OF THE LANDSCAPE ARCHITECT, OWNER OR OWNERS REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY TO BE CONSISTENT WITH APPROVED PLANS.
  - ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH THE NATIVE SEED MIX SPECIFIED ON THE PLANS.
  - ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN SPECIFICATIONS FOR NUMBER ONE GRADE.
  - ALL TREES IN TURF AND SEED AREAS TO RECEIVE MAX. 6" DIA. MULCH RING WITH 4" DEPTH. OF SPECIFIED WOOD MULCH. NO STEEL EDGING IS REQUIRED AROUND TREE RING EDGES WITHIN TURF AREAS.
  - PROPOSED TREE LOCATIONS SHALL HAVE A MINIMUM SEPARATION OF 4' BETWEEN WATER OR SEWER SERVICE LINES AND A MINIMUM SEPARATION OF 10' BETWEEN WATER OR SEWER MAIN LINES. PROPOSED TREE LOCATIONS SHALL HAVE A MINIMUM SEPARATION OF 10' BETWEEN GAS LINES.
  - TREE WRAP TO BE APPLIED IN LATE FALL AFTER INSTALLATION, AND REMOVED THE FOLLOWING SPRING. REMOVE ANY STRING OR WIRE AROUND TREE TRUNKS AT TIME OF INSTALLATION.
  - CONTRACTOR SHALL REPORT ANY DISCREPANCY FOUND IN THE FIELD VERSUS THE LANDSCAPE DRAWINGS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, OWNER'S REPRESENTATIVE, AND/OR THE COUNTY PRIOR TO ANY CONSTRUCTION OR DEMOLITION ACTIVITY. FAILURE TO MAKE SUCH CONFLICTS KNOWN WILL RESULT IN THE CONTRACTOR'S LIABILITY TO RELOCATE AND REPAIR.
  - MAINTAIN A MINIMUM THREE FOOT CLEARANCE AROUND FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS OR OTHER FIRE SERVICE EQUIPMENT. NO TREES OR SHRUBS WILL BE ALLOWED WITHIN THIS AREA.
  - NO PLANT MATERIAL SHALL BE PLANTED WITHIN 10' OF ANY EXISTING OR PROPOSED ELECTRICAL SWITCHGEARS, TRANSFORMERS OR OTHER ELECTRICAL UTILITY EQUIPMENT. PLANT MATERIAL MAY BE FIELD ADJUSTED TO PROVIDE THE 10' CLEAR SPACE AND ACCESSIBILITY REQUIRED BY THE UTILITY'S OWNER/OPERATOR. PROPOSED PLANT SPECIES MAY BE SUBJECT TO CHANGE PENDING COMMERCIAL AVAILABILITY AT TIME OF CONSTRUCTION. ALL SPECIES SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. OVERALL PLANT QUANTITIES & SIZES SHALL REMAIN AS INDICATED ON THE PLANT SCHEDULE. CONTRACTOR SHALL VERIFY THAT ANY SUBSTITUTED PLANT SPECIES ARE ACCEPTABLE TO THE LOCAL MUNICIPALITY OR GOVERNING JURISDICTIONS.
  - NO PLANT MATERIAL SHALL BE PLANTED WITHIN THE SIGHT DISTANCE TRIANGLES, UNLESS APPROVED BY WELD COUNTY.
  - GRAVEL SHALL BE 2" RIVER ROCK OR APPROVED EQUAL.
- PLANTING BEDS

- ALL PROPOSED PLANTING BEDS SHALL CONTAIN THE SPECIFIED MULCH AND INCLUDE MIRAFI WEED BARRIER FABRIC OR EQUAL SECURED WITH PINS. OVERLAP FABRIC MIN. 24" AT EDGES.
- ALL PLANTING BEDS SHALL RECEIVED ROCK MULCH. ROCK MULCH SHALL BE 1 1/2" - 3" RIVER ROCK.
- WOOD MULCH SHALL BE 'GORILLA HAIR' OR EQUAL SHREDDED CEDAR MULCH, 4" DEPTH.
- EDGING BETWEEN TURF AND PLANTING BEDS SHALL BE RYERSON 12-GAUGE, GREEN COLOR, PERFORATED STEEL EDGING OR EQUIVALENT. ANY ALTERNATE EDGING MUST BE A ROLLED-TOP, PERFORATED, CORROSION RESISTANT STEEL PRODUCT. NO EDGING IS REQUIRED AGAINST HARDSCAPE/WALK AREAS OR AT TREE RING EDGES. EDGING SHALL BE INSTALLED TO AVOID IMPEDING DRAINAGE. RE: DETAILS FOR INSTALLATION IN LOW DRAINAGE AREAS.
- FOR TREES NOT IN PLANTING BEDS, ALLOW A 6'-0" DIAMETER BED (TREE RING) WITHOUT SOD AROUND ROOT COLLAR. APPLY SPECIFIED WOOD MULCH & DEPTH AROUND COLLAR FOLLOWING SOD INSTALLATION. NO FABRIC OR EDGER IS NECESSARY WITHIN TREE RINGS IN NATIVE AREAS. TREES IN PLANTING BEDS SHALL NOT HAVE WEED BARRIER INSTALLED WITHIN 6' OF THEIR TRUNKS.
- ALL SHRUBS IN SEEDED AREAS ARE TO BE GROUPED INTO BEDS AND RECEIVE 4" DEPTH OF MULCH SPECIFIED IN THE DRAWINGS. NO EDGER OR WEED CONTROL FABRIC IS REQUIRED. BED SHALL EXTEND TO DRIP ZONES OF PLANT MATERIAL.

IRRIGATION

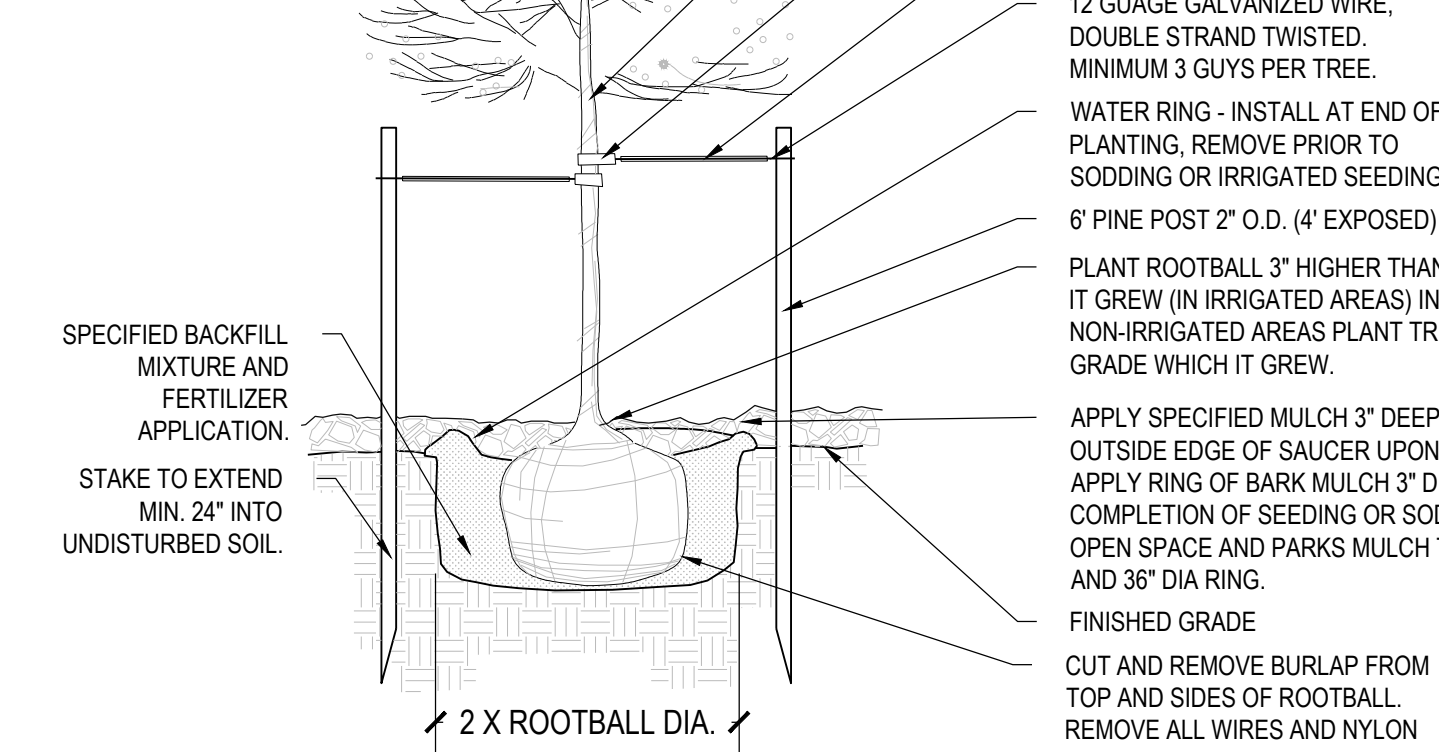
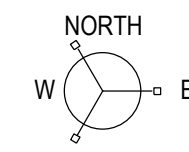
- ALL TURF SOD AREAS TO BE SPRAY IRRIGATED. ALL SHRUB BEDS TO BE DRIP IRRIGATED. THIS SYSTEM IS AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
  - NO SPRINKLER AS PART OF THE IRRIGATION SYSTEM SHOULD DISCHARGE WITHIN 3 FEET OF THE FOUNDATION.
- WARRANTY & MAINTENANCE

- CONTRACTOR IS TO MAINTAIN ALL PLANTINGS AND ASSOCIATED IRRIGATION SYSTEM INSTALLED UNDER THIS CONTRACT UNTIL FINAL ACCEPTANCE AND TURNOVER TO OWNER. THIS MAINTENANCE SHALL INCLUDE PROPER WATERING OF ALL PLANTS, AND MOWING OF TURF/SEED AREAS IF NECESSARY.
- SITE MUST BE CLEAN AND FREE OF ALL CONSTRUCTION DEBRIS BEFORE FINAL ACCEPTANCE.
- ALL PLANT MATERIAL WILL BE COVERED BY A ONE (1) CALENDAR YEAR WARRANTY. THE CONTRACTOR SHALL REPLACE DEAD, UNHEALTHY, OR OTHERWISE UNSATISFACTORY MATERIAL THROUGHOUT THIS PERIOD. THE WARRANTY SHALL BEGIN UPON FINAL ACCEPTANCE OF THE JOB.
- LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER OR ASSIGNS OR OWNERS ASSOCIATION. TREES AND SHRUBS MUST HAVE A 100% ONGOING SURVIVAL RATE. ANY DEAD OR DAMAGED PLANT MATERIAL (AS DETERMINED BY THE OWNER) SHALL BE REPLACED. NON-LIVING GROUND COVERS, SUCH AS ROCK OR MULCH, MUST BE 100% INTACT AFTER ONE YEAR AND 100% INTACT THEREAFTER.
- LANDSCAPE AREAS WITHIN THE PROPERTY AND WITHIN THE ADJACENT RIGHT OF WAY SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- ALL DEAD OR DISEASED PLANT MATERIAL SHALL BE REPLACED WITHIN THE SAME GROWING SEASON, OR NEXT GROWING SEASON AT A MINIMUM. NO SUBSTITUTIONS OF PLANT MATERIAL IS PERMITTED WITHOUT APPROVAL BY WELD COUNTY IN WRITING.

NOTES:

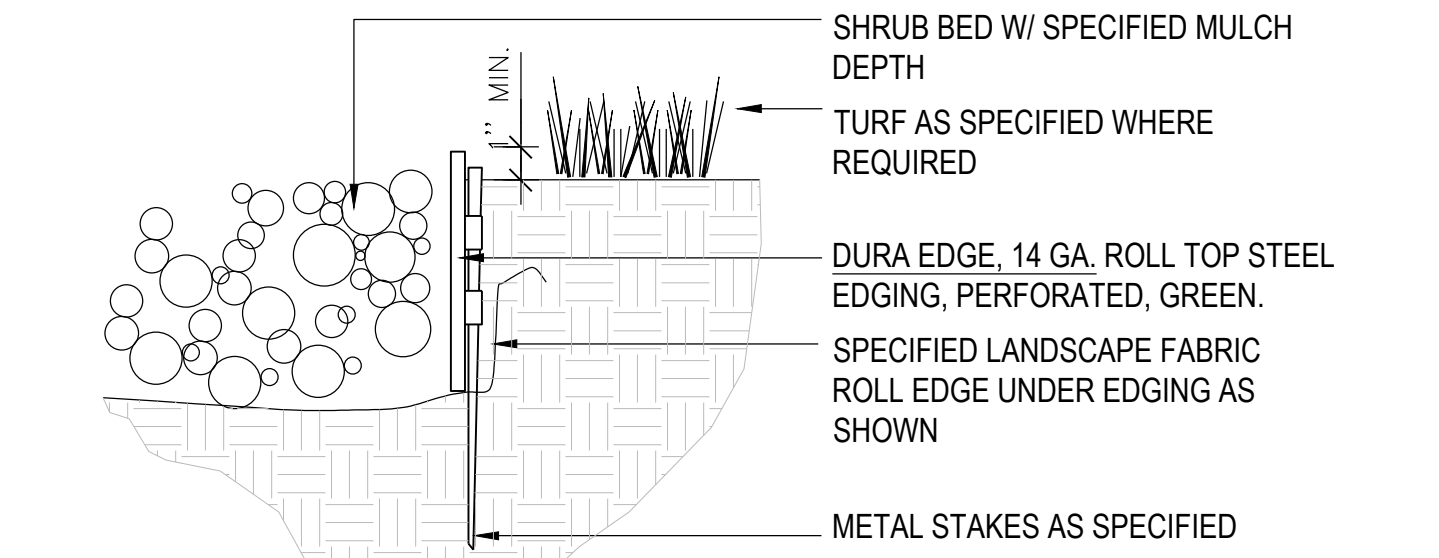
- ANY BROKEN OR CRUMBLING ROOTBALLS WILL BE REJECTED.
- REMOVING THE CONTAINERS WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS.
- STREET TREES ARE TO BE LIMBED UP TO 8". PRUNING SHALL OCCUR IN THE APPROPRIATE MANNER AT THE NURSERY. SUBSTANTIAL PRUNING WILL NOT BE ALLOWED ON-SITE.

SPACE GUY ASSEMBLES EQUALLY AROUND TREE, AS PER DIAGRAM FOR WIND STABILITY AGAINST PREVAILING WIND.



1 DEDIDUOUS TREE PLANTING

Scale: NTS

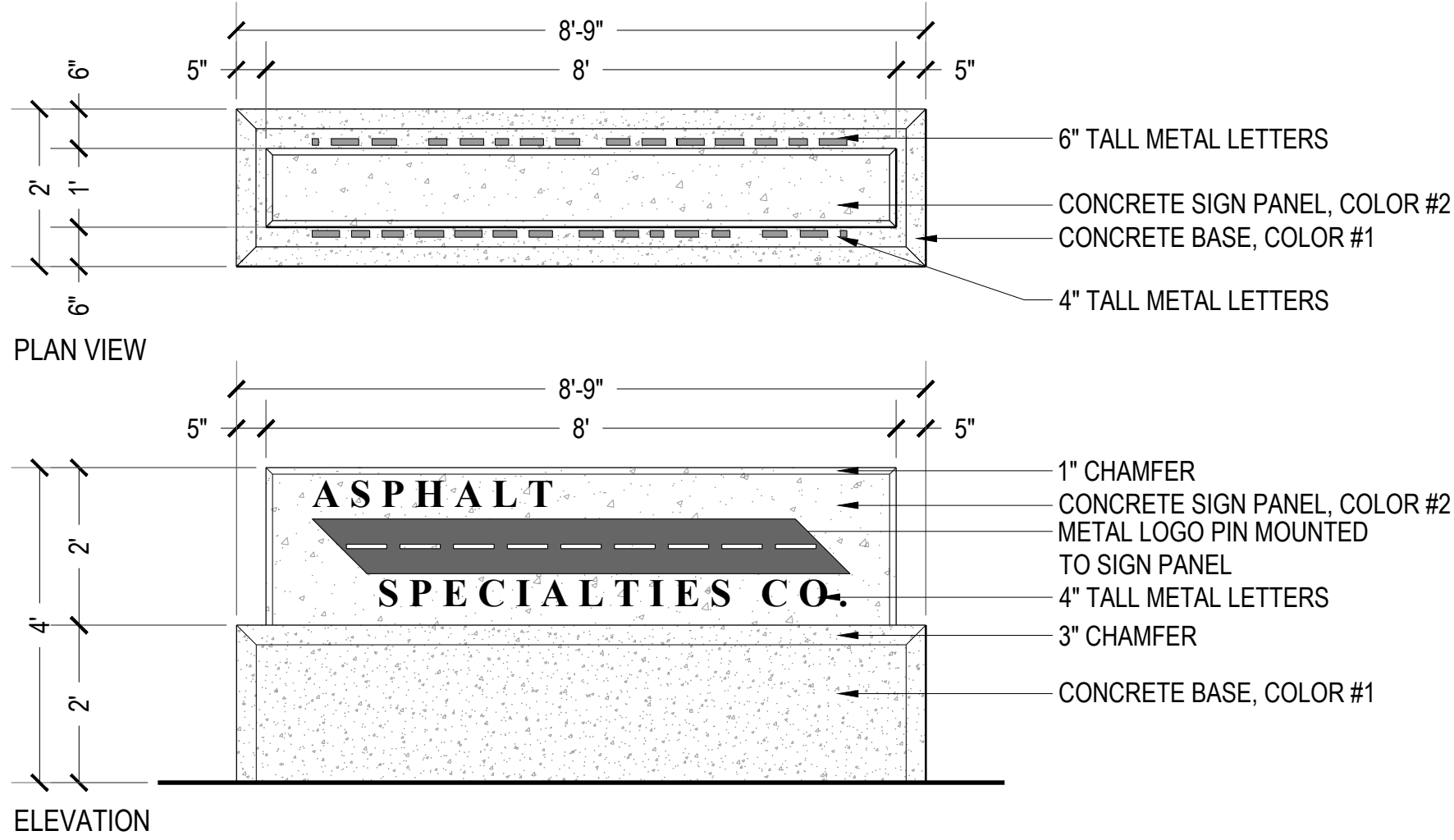


NOTES:

- SET ALL EDGING 1" ABOVE FINISH GRADE AS SHOWN.
- EDGING SHALL ABUT ALL CONCRETE CURBS AND WALKS PERPENDICULAR, AND FLUSH W/ GRADES OF CONCRETE.
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- FOR PRODUCT ORDERING, DIVIDE NUMBER OF FEET NEEDED BY 9.33 TO OBTAIN THE NUMBER OF 10' PIECES NEEDED.

4 STEEL EDGER - PERFORATED

Scale: NTS



8 MONUMENT SIGN

Scale: NTS



BIKE RACK BY MADRAX  
"U" BIKE RACK  
MODEL: U190-S-PC  
POWDER COAT COLOR: BLACK  
MOUNTING: SURFACE  
INSTALL PER MANUFACTURER'S SPECS.  
OR APPROVED EQUAL.

CONTACT: CHURCHICH RECREATION, LLC  
PHONE: 800.729.7529  
WWW.CHURCHICHRECREATION.NET

5 BIKE RACK

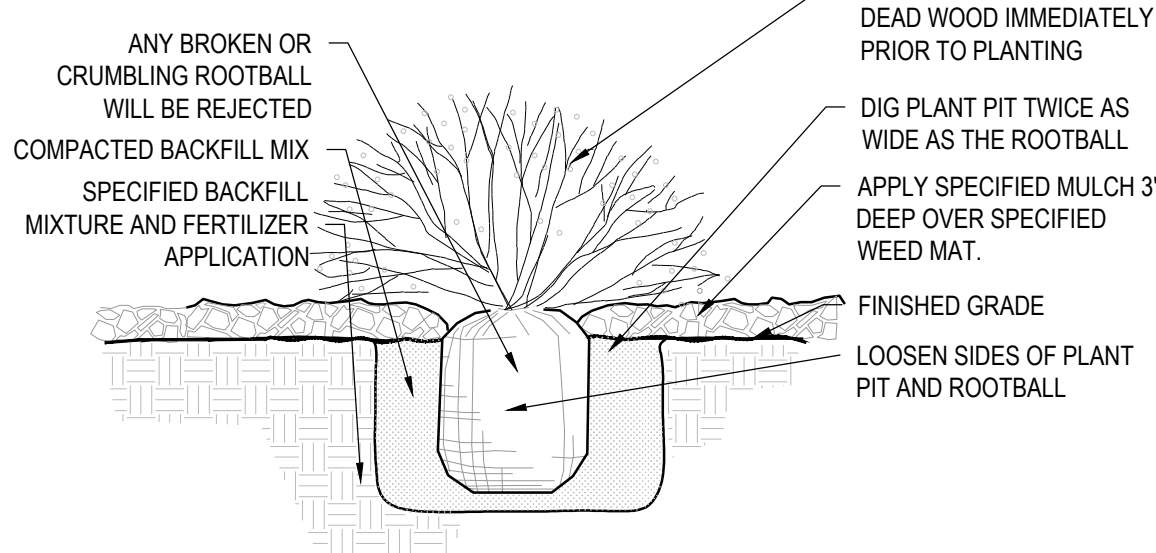
Scale: NTS

NOTES:

- SIGN DETAIL IS CONCEPTUAL IN NATURE AND FOR REFERENCE OF DESIGN INTENT ONLY. FINAL DESIGN TO BE SUBMITTED AT TIME OF SIGN PERMIT.
- CONCRETE COLOR #1 SHALL BE DAVIS COLOR DARK GRAY (CARBOT) \*8084.
- CONCRETE COLOR #2 SHALL BE STANDARD GRAY.
- METAL LETTERS SHALL BE REVERSE PLAN CHANNEL WITH HALO ILLUMINATION.
- METAL TO BE POWDER COATED COLOR BLACK.
- SIGN CONTRACTOR AND/OR GENERAL CONTRACTOR TO SUBMIT SHOP DRAWINGS TO OWNER'S REP. FOR REVIEW AND APPROVAL. SHOP DRAWINGS TO INCLUDE STRUCTURAL ENGINEERING FOR WALLS AND FOOTINGS.

NOTES:

- ANY BROKEN OR CRUMBLING ROOTBALLS WILL BE REJECTED. REMOVING THE CONTAINERS WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS
- HOLD GRADE 1" BELOW EDGE OF WALK OR CURB.
- ALL JUNIPER PLANTS SHOULD BE PLANTED SO TOP OF ROOT MASS OCCURS AT FINISH GRADE OF MULCH LAYER
- SHRUBS PLANTED WITHIN THE DRAIN STRIP OR SCREE AREAS SHALL HAVE A 12" DIAMETER RING OF MULCH AT THE BASE OF EACH SHRUB
- PLANT ALL SHRUBS AND ANDD MULCH RING PRIOR TO PLACING ROCK



3 SHRUB PLANTING

Scale: NTS

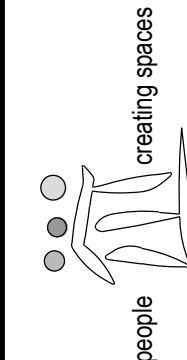


FENCE SHALL BE CHAIN LINK  
WITH VINYL SLATS  
HEIGHT: 8 FEET  
STYLE: PRIVACY  
SLATS COLOR: TBD

6 FENCE

Scale: NTS

pct group inc. www.pctgroupco.com  
p.o. box 18287  
denver, co 80218  
1.303.531.4905 1.303.531.4908



ASPHALT SPECIALTIES COMPANY, INC.  
CONTACT: GREG GERAS  
10100 DALLAS STREET  
HENDERSON, CO 80640  
MOBILE (303)498-9888

NOTES AND DETAILS  
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ADAMS COUNTY, COLORADO

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INITIAL PLAN  
RELEASE: 04/07/21  
DESIGNED BY: CR  
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CHECKED BY: KLM  
PROJECT NO.  
01-0326.002.00  
DOC CON #

SHEET  
37 OF 38





### Development Review Team Comments

**Date: March 25, 2021**

**Project Number: RCU2021-00003**

**Project Name: Asphalt Specialties – 345 W. 62<sup>nd</sup> Ave.**

Due to the ongoing COVID-19 pandemic, all land use applications and resubmittals are to be delivered electronically to [epermitcenter@adcogov.org](mailto:epermitcenter@adcogov.org). For additional information on department operations, please visit <http://www.adcogov.org/CED>.

Please note where “Section” or “DSR” is referenced, please refer to the appropriate section of the Adams County Development Standards and Regulations. These can be viewed online here: <http://www.adcogov.org/development-standards-regulations>.

Land Use and Development Applications can be accessed here: <http://www.adcogov.org/current-planning-application-packets>



**Commenting Division:** Planning Review  
**Name of Reviewer:** Alan Sielaff, Planner II  
**Email:** [ASielaff@adcogov.org](mailto:ASielaff@adcogov.org) / 720-523-6817  
**Review Status:** Resubmittal Required

PLN01: Conditional Use Request summary:

1. Aggregate recycling operations
2. Stacking of aggregate materials above height of fence

PLN02: Existing site information:

1. Location: 345 W. 62nd Ave., parcel # 0182510200013
2. Subdivision: None – legal lot; created prior to County subdivision standards
  - a. Parcel created in 1959 when Western Paving Construction Company did a parcel spilt and sold the S 40 ft of the E 25 ft to Public Service Company of Colorado. The deed in Bk 756 Pg 549 is for that sale, on 1/23/1959.
3. Size: 9.977 acres (according to County Assessor's Office records)
4. Existing Zoning: Industrial-3 (I-3)
5. Future Land Use: Industrial
6. Existing use: Distribution warehouse (according to County Assessor's Office records), asphalt batch plant (Change-in-Use permit approved under BDP20-3678).

PLN03: Site Landscaping - Landscape plan approved under BDP20-3678 included 15% site landscaping and required street frontage landscaping along W. 62nd Ave. **No specific landscape plan or revisions have been included with this conditional use application.**

1. Please provide copy of revised Landscape Plan with next submittal subject to the following comments below.
2. Additional right-of-way dedication will be required as part of this conditional use request as determined by development engineering and right-of-way (ROW) review, estimated at 40 ft. from the adjacent section line. Please update the landscape plan to reflect the new ROW line, and update landscape coverage calculations and street frontage landscaping options (see Section 4-17-07-01).
3. It appears this will bring the site close to the 10% total site landscaping requirement. If this standard, or any of the 5 available street frontage landscaping options are not met, please provide justification and proposed alternatives that provide landscaping above specific requirements in exchange for support for any identified deficiency. Landscape relief may be granted as part of a site specific conditional use request, and it is recommended to provide response in your resubmittal to the 3 hardship statements included in the Administrative Relief – Landscaping application previously provided and available online here:  
<http://epermits.adcogov.org/submittal-checklists>

PLN04: Parking – no use specific standards in code applied to batch plant, recycling facility, or outdoor storage. **Please provide estimate of maximum employees and public on-site and provide a parking calculation based on the following comparable parking requirements** (see Section 4-13-04-03) based on the proposed site operations:



1. "Manufacturing, processing, assembly, distribution, bottling works, machine shop, metal, wood-working, plumbing, electrical, printing shop, roofing shop". 1 space per 1,000 sq. ft. of floor area. Applicable to asphalt plant and recycling facility operations, and any indoor warehouse area.
2. "Contractor's yards, building" 1 space per 10,000 sq. ft. of yard materials/storage area. Applicable to outdoor storage area.
3. "Offices" 1 space per 300 sq. ft. of gross floor area. Possibly applicable to existing warehouse facility and any planned office utilization.
4. "Laboratories, research" 1 space per 1,000 sq. ft. of floor and area facilities. Possibly applicable to existing warehouse facility and any planned laboratory utilization.

PLN05: Site Plan and Elevations – **Please provide detail of height of the Recycling equipment**, similar to detail provided for batch plant (listed as 75 ft. max. height).

PLN06: Neighborhood meeting summary – **Please provide copy of neighborhood meeting invitation** as well as the provided summary letter.

PLN07: Conditional Use Review – Stacking of aggregate materials above height of fence

1. Details of outdoor storage provided in application: 4 piles of aggregate stockpile, 1 pile of asphalt to be recycled, 1 pile following recycling, 8 ft. screen fence proposed for exterior of site.
2. **Please confirm adherence to the following** as described in Industrial performance standards for Heavy Industrial uses: 4-11-02-04-09 OUTDOOR STORAGE IN EXCESS OF 100% OF THE BUILDING AREA, #3: All outdoor storage shall consist of non-hazardous materials as determined by the Colorado Department of Public Health and Environment.
3. Staff anticipates support of the request for outdoor storage of materials up to a height of 25 ft. subject to storage piles maintaining a neat and orderly appearance, documentation of no off-site impacts related to dust or debris, and affirmation that all materials are non-hazardous.

PLN08: Conditional Use Review – Aggregate recycling operations

1. As determined during conceptual review of through case PRE2020-00067 and change-in-use review through building permit BDP20-3678, recycling operations require a conditional use permit subject to the requirements of a Recycling Facility, see definitions in Section 11-02-493 (Recyclable Materials) and 11-02-494 (Recycling Facility). The recycling facility use requires adherence to standards in Section 4-11-02-04-07 and approval in Section 2-02-09-06 for all conditional uses, and additional approval criteria in Section 2-02-09-07-03 for recycling facilities. These criteria are included for applicant review and confirmation below.
2. **Please provide additional operational narrative details to address the following requirements** of the Industrial use performance standards: 4-11-02-04-07 RECYCLING FACILITIES.
  1. Fencing: An eight (8) foot solid screen fence or security fence, with additional screening material, as approved by the Director of Community and Economic Development, shall enclose all outside storage.
    - a. Review/guidance: 8 ft. screen fence will be provided and has been applied for under BDP21-0227. Please provide fence detail with this conditional use permit application and more clearly identify location/extent on site plan.
  2. Traffic Control Plan: Provisions of the traffic control plan shall be followed.



- a. Review/guidance: Please provide detail about all vehicular operations associated with use. This may include information included in the traffic letter, but should also include detail about type, size, and number of vehicles (cars/trucks/trailers, etc.) visiting the site throughout the day, storage of vehicles overnight, time and frequency of material delivery, and any other considerations for on-site operations that may impact adjacent traffic patterns.
3. Nuisance Control Plan: Provisions of the nuisance control plan shall be followed.
  - a. Review/guidance: Please provide detail addressing how operations will adhere to operational standards included in Section 4-14 related to lighting, vibration, noise, dust and debris, electromagnetic and electrical interference, humidity-heat-glare-smoke-radiation, and odor impacts. Please review specific operational limitations included in Section 4-14 and reference in response.
4. Appearance: All sites shall maintain a clean, neat, and orderly appearance. Stock-piles of materials may only be placed as specified in the design and operation plan.
  - a. Review/guidance: Please acknowledge and affirm.
5. Recordkeeping: All operators shall maintain records showing amounts of stockpiled materials both processed and unprocessed that are consistent with the amounts allowed in the Permit. In addition, records containing customer lists and records showing amounts of recycled material shipped off site shall be maintained.
  - a. Review/guidance: Please acknowledge and affirm; and provide preliminary detail about volume and specifications of aggregate materials to be stored and processed on-site. An ongoing recordkeeping plan will be included as a recommended condition of approval for ongoing reporting for the duration of any conditional use approval.
6. Performance Bond: Prior to commencing operations, and thereafter during the active life of the facility, and for one (1) year after closure, the operator shall post and maintain a performance bond or other approved financial instrument with Adams County. The amount of said bond shall be the amount necessary to remove materials from recycling facilities for disposal at an appropriate disposal facility. The amount of the bond shall be calculated to include removal, tipping fees, and transportation costs. Should any corrective actions be required by the County in order to protect the health, safety, and general welfare which result from failure of the operator to follow any regulations, standards, or conditions of approval, the performance bond shall be forfeited in an amount sufficient to defray the expense of said actions, including staff time expended by Adams County involved in such corrective actions.
  - a. Review/guidance: Please acknowledge and affirm; and provide an estimate of removal costs associated with the anticipated volume of on-site aggregate storage.
7. Removal of Trash from Right-of-Way: Operators shall remove trash, or other waste material, of the type, which is brought to the facility, along public rights-of-way within one-half (1/2) mile of the facility.
  - a. Review/guidance: Please acknowledge and affirm; and provide detail of efforts/techniques to be employed to prevent tracking of aggregate materials onto roadways.



PLN09: Use-Specific Approval Criteria – Recycling Facility, Section 2-02-09-07-06 CRITERIA FOR APPROVAL. **Please review and acknowledge the following approval criteria, and at minimum provide a response to #'s 1's 6, and 7:**

1. There is a need for the facility, and it will provide a benefit to Adams County.
2. The request is compatible with the Adams County Comprehensive Plan, complies with the minimum zoning requirements of the zone district in which the Conditional Use Permit is to be granted, and complies with all other applicable requirements of the Adams County Zoning and Subdivision Regulations.
3. The applicant has documented the ability to comply with the health standards and operating procedures as provided by the Colorado Department of Public Health and Environment, Tri-County Health Department, Fire District, and other relevant agencies.
4. The proposed facility will not cause significant traffic congestion or traffic hazards.
5. The request is compatible with the surrounding area.
6. The site is accessible to Adams County residents and other potential users.
7. The site will not adversely impact health and welfare of the community based upon specific design and operating procedures.

PLN10: Conditional Use Permit Approval Criteria review, Section 2-02-09-06 CRITERIA FOR APPROVAL. **Please review and acknowledge the following approval criteria subject to both conditional use requests (recycling facility and overheight stacking):**

1. The conditional use is permitted in the applicable zone district.
2. The conditional use is consistent with the purposes of these standards and regulations.
3. The conditional use will comply with the requirements of these standards and regulations including, but not limited to, all applicable performance standards.
4. The conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. In making this determination, the Planning Commission and the Board of County Commissioners shall find, at a minimum, that the conditional use will not result in excessive traffic generation, noise, vibration, dust, glare, heat, smoke, fumes, gas, odors, or inappropriate hours of operation.
5. The conditional use permit has addressed all off-site impacts.
6. The site is suitable for the conditional use including adequate usable space, adequate access, and absence of environmental constraints.
7. The site plan for the proposed conditional use will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
8. Sewer, water, storm water drainage, fire protection, police protection, and roads are to be available and adequate to serve the needs of the conditional use as designed and proposed.



**Commenting Division:** External Agency (EA) Referral Review

**Review Status:** Resubmittal Required

EA1: The following external agencies responded with a separate comment letter or email which will be provided in the following pages: Adams County Fire Rescue (ACFR), City of Westminster, Colorado Department of Health and Environment (CDPHE), Colorado Department of Transportation (CDOT), Regional Transportation District (RTD), Tri-County Health Department (TCHD), and Xcel Energy.

**TCHD has provided recommendations that staff is requesting be addressed in the next submittal. Xcel is requesting utility lines be included on the site plan, and, additional coordination with CDPHE may be necessary to ensure conformance with recycling facility criteria and is encouraged for the applicant to proactively provide requested information.**

EA2: Referral agency comments generally are described in the staff report and may be recommended conditions or notes of approval for the applicant to adhere to if the development application is approved. If additional referral agency comments are received following this letter staff will forward to the applicant to respond in next submittal.

**Commenting Division:** Public Comment

**Review Status:** Ongoing

PC1: As of the date of this comment letter, 0 public comments have been received. Public comment will continue to be accepted moving forward and all comments will be included in appendices to the staff report provided to the Planning Commission and Board of County Commissioners once public hearings are scheduled. It is recommended to provide a response to individual public comments or evidence of direct outreach if any public comment is received.





## **Development Review Team Comments**

**Date:** 3/24/2021

**Project Number:** RCU2021-00003

**Project Name:** Asphalt Specialties - 345 W. 62nd Ave.

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**Commenting Division:** Xcel Energy Review

**Name of Reviewer:** Alan Sielaff

**Date:** 03/24/2021

**Email:**

**Resubmittal Required**

Separate letter provided

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**Commenting Division:** Environmental Analyst Review

**Name of Reviewer:** Alan Sielaff

**Date:** 03/24/2021

**Email:**

**Resubmittal Required**

ENV1. The applicant must submit an operations plan describing material screening procedures to prevent non-recyclable materials from import to site.

ENV2. The applicant must provide a nuisance control plan for the concrete and asphalt manufacturing plant detailing procedures and protocols to control fugitive dust, odor, light, and noise impacts. See ACDSR 4-11-02-07-01.4 and 01.5

ENV3. The applicant must provide a nuisance control plan for concrete and asphalt recycling operations that specifies procedures and protocols to control off-site impacts from fugitive dust, odor, light and noise. See ACDSR 4-14

ENV4. The applicant should provide a copy of the completed APEN and any subsequent Construction Permits that may be required for the crushing and batch plant operations.



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**Commenting Division:** Tri-County Review

**Name of Reviewer:** Alan Sielaff

**Date:** 03/18/2021

**Email:**

**Comment**

Separate comment letter provided.

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**Commenting Division:** Planner Review

**Name of Reviewer:** Alan Sielaff

**Date:** 03/22/2021

**Email:**

**Resubmittal Required**

Planning comments provided in separate letter.

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**Commenting Division:** ROW Review

**Name of Reviewer:** David Dittmer

**Date:** 03/22/2021

**Email:**

**Comment**

ROW1: Dedication of 40' for ROW from the Section line north will need to be dedicated to Adams County. The services of a state licensed surveyor will need to provide what is currently existing and what will need to be dedicated to Adams County by separate instrument.

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**Commenting Division:** ROW Review

**Name of Reviewer:** David Dittmer

**Date:** 03/18/2021

**Email:**

**Resubmittal Required**

ROW1: W. 62nd Ave. is classified as a Collector by the 2012 Adams County Final Transportation Plan. As such a half right of way width of 40' is required from the centerline of the road. Applicant needs to dedicate the difference between the existing setback to the property line and 40'. It appears to be approximately 10' but will need to be confirmed by a licensed state surveyor.

ROW2: The dedication packet/application is available on line through One Stop. Please follow the guidelines in this application packet to provide the legal description and illustration for the dedication. This will need to run concurrently with the RCU application, and be a part of the approval requirements.



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**Commenting Division:** Development Engineering Review

**Name of Reviewer:** Steve Krawczyk

**Date:** 03/18/2021

**Email:**

**Resubmittal Required**

ENG1: A site specific traffic study addressing specific issues identified the new use. A Traffic Analysis may be required to determine the amount and/or distribution of any increase in traffic generated from a proposed development. The analysis should address any off-site improvements that may be necessary to mitigate traffic impacts from the proposed development.

ENG2: This development MAY have a significant impact on the access location at Pecos and US Hwy 76. Please be aware that the traffic study will need to be reviewed by CDOT during the rezoning and an access permit will be required in conformance with the State Highway Access Code.

EGR3: As a part of the Conditional Use approval of the Asphalt specialty site RCU2021-0003, Please include any new information required as part of the EGR permit.

---

**Commenting Division:** ROW Review

**Name of Reviewer:** David Dittmer

**Date:** 03/18/2021

**Email:**

**Comment**

ROW1: W. 62nd Ave. is classified as a Collector, as such a 40' half ROW width from center line of W. 62nd. Ave is required. A dedication of the difference between existing and 40' will need to be completed. The dedication application and requirements can be found in the Applications page of the Adams County Community and Economic Development web site.

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**Commenting Division:** CDPHE Review

**Name of Reviewer:** Alan Sielaff

**Date:** 03/17/2021

**Email:**

**Comment**

Thank you for contacting the Colorado Department of Public Health and Environment (CDPHE). CDPHE's general comments are available [here](#). We will continue to review this referral to determine whether additional comments are necessary. If additional comments are necessary, we will submit them by the referral deadline.



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**Commenting Division:** CDPHE Review

**Name of Reviewer:** Alan Sielaff

**Date:** 03/03/2021

**Email:**

**Complete**

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**Commenting Division:** CDPHE Review

**Name of Reviewer:** Alan Sielaff

**Date:** 03/17/2021

**Email:**

**Comment**

Thank you for contacting the Colorado Department of Public Health and Environment (CDPHE). CDPHE's general comments are available here. We will continue to review this referral to determine whether additional comments are necessary. If additional comments are necessary, we will submit them by the referral deadline.

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**Commenting Division:** Building Safety Review

**Name of Reviewer:** Justin Blair

**Date:** 03/02/2021

**Email:** jblair@adcogov.org

**Complete**

BSD1- Building permits would be required for structures. Engineered plans will be required to obtain permits.

BSD2- Applicant should refer to commercial and industrial submittal requirements.

BSD3- Current adopted codes are the 2018 International Building Codes and the 2017 National Electrical Code.

BSD4- Applicant should contact Fire Department for their requirements.

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**Commenting Division:** ROW Review

**Name of Reviewer:** David Dittmer

**Date:** 02/24/2021

**Email:**

**Complete**





## Development Review Team Comments

**Date:** May 7, 2021

**Project Number:** RCU2021-00003

**Project Name:** Asphalt Specialties – 345 W. 62<sup>nd</sup> Ave.

### 2<sup>nd</sup> Review

Due to the ongoing COVID-19 pandemic, all land use applications and resubmittals are to be delivered electronically to [epermitcenter@adcogov.org](mailto:epermitcenter@adcogov.org). For additional information on department operations, please visit <http://www.adcogov.org/CED>.

Please note where “Section” or “DSR” is referenced, please refer to the appropriate section of the Adams County Development Standards and Regulations. These can be viewed online here:  
<http://www.adcogov.org/development-standards-regulations>.

Land Use and Development Applications can be accessed here:  
<http://www.adcogov.org/current-planning-application-packets>

**Commenting Division:** Planning Review

**Name of Reviewer:** Alan Sielaff, Planner II

**Email:** [ASielaff@adcogov.org](mailto:ASielaff@adcogov.org) / 720-523-6817

**Review Status:** Complete – Minor Revisions requested for final public hearing materials

PLN01: Site Landscaping – Revised Landscape plan review

1. 12.97% of the site is landscaped, exceeding the 10% site minimum.
  - a. 5% of site landscaping is required abutting adjacent right-of-way, 5.22% of frontage landscaping is provided.
2. Street Frontage Landscaping - as a result of anticipated right-of-way dedication for W. 62<sup>nd</sup> Ave., Option 3 is proposed requiring a 10 ft. landscape depth and 2 trees and 5 shrubs every 40 linear feet. Minimums are met in this area with additional parking lot landscaping provided as additional screening to the south of the production facility.
  - a. Please add a depth measurement showing the 10 ft. measurement at the narrowest points of this area.
  - b. 27 trees are required and proposed. It is recommended to add a few trees if possible, that was if any fail to establish the landscaping will still be in compliance.
  - c. 68 shrubs are required and 143 are provided, more than twice the required amount.
3. Parking area landscaping – 1 tree per 10 spaces required and 18 sq. ft. of landscaping per space
  - a. Landscape summary table lists 108 parking spaces, but only 92 appear to be provided.



- b. Based on 108 spaces, 102 trees and 1,944 sq. ft. of landscaping required. Both figures are exceeded.
4. No additional bufferyard landscaping is required based on existing adjacent industrial uses.

PLN02: Parking – Site calculations provided that 90 spaces are required based on most applicable parking ratios in Section 4-13-04-03, and 107 spaces are provided exceeding the requirement.

1. Existing parking does not need to meet potential future office inclusion, but site plan shows it is feasible.
2. Is parking area north of the asphalt recycling anticipated to be used? It can be removed if not and site still meets parking counts.
3. Further parking calculations may be applied at time of change-in-use review for the warehouse building for any office conversion. Additional entry in parking table includes a calculation for warehousing (non-distribution) of 1 space per 5,000 sq. ft. which will allow additional flexibility.
4. Site plan includes accessible parking spaces. Please ensure the number provided, location, and dimensions included in Section 4-13-04-07. Parking areas of 107 spaces would require 5 total accessible spaces.
5. Surface of parking area should be portland or asphalt concrete or other suitable surface as determined by approval of director. Because this request requires approval by the Planning Commission and Board of County Commissioners, we can support it as long as all drainage requirements are met, see Section 4-13-02-05.

PLN03: Site Plan and Elevations – Applicant has clarified the asphalt batch plant has a maximum height of 75 ft., the recycling equipment has a maximum height of 25 ft.

PLN04: Neighborhood meeting summary and invitation have been provided.

PLN05: Conditional Use Review – Stacking of aggregate materials above height of fence.

1. Applicant has confirmed adherence to 4-11-02-04-09 OUTDOOR STORAGE IN EXCESS OF 100% OF THE BUILDING AREA, #3: All outdoor storage shall consist of non-hazardous materials as determined by the Colorado Department of Public Health and Environment.
2. Applicant has included notes that storage piles will maintain a neat and orderly appearance, affirmation that all materials are non-hazardous, and included a Nuisance Control Plan to address off-site impacts related to dust or debris. We will recommend conditions of approval to ensure operation remains in compliance with these requirements, see Environmental Review comments to follow.

PLN06: Conditional Use Review – Aggregate recycling operations.

1. Applicant has provided an Operations Plan to address requirements of the Industrial use performance standards in 4-11-02-04-07 RECYCLING FACILITIES.
2. Fencing: Location and type of fencing is difficult to discern on site plan and landscape plan. Which areas are 8 ft.? Which are 5 ft.? and what is the final material? Site plan includes metal siding, wood fence, and decorative CMU detail. Please ensure consistency between these docs and the already approved BDP21-0227 fence permit, which was approved as an 8 ft. chainlink with vinyl slats. Perhaps a separate fence plan should be prepared as site screening will likely be questioned at the public hearing.



3. Traffic Control Plan: Provided traffic letter has been confirmed by CDOT and our engineering staff as not anticipated to negatively impacting the surrounding road network. Additional detail is recommended to be provided as part of the operational plan to provide a summary of vehicular operations to includes detail about type, frequency, and timing of vehicles (cars/trucks/trailers, etc.) visiting the site throughout the day, storage of vehicles overnight, time and frequency of material delivery, and any other considerations for on-site operations such as vehicle tracking that may impact adjacent traffic patterns. This is anticipated to come up as a discussion point during the public hearings and staff will defer to the applicant to further elaborate.
4. Nuisance Control Plan: Separate memo has been provided affirming addressing operational impacts discussed in Section 4-14. It is recommended to elaborate on specific control measures or inspection practices to be taken rather than simply reference local and state requirements.
5. Appearance: Applicant has included note that storage piles will maintain a neat and orderly appearance.
6. Recordkeeping: Additional detail has been provided and an inventory spreadsheet included.
7. Performance Bond: a Removal Engineer's Estimate has been provided.
8. Removal of Trash from Right-of-Way: Applicant has responded that tracking prevention measures will be provided and street sweeping as necessary.

PLN07: Use-Specific Approval Criteria – Recycling Facility, Section 2-02-09-07-06 CRITERIA FOR APPROVAL – Applicant has provided responses to all criteria.

PLN8: Conditional Use Permit Approval Criteria review, Section 2-02-09-06 CRITERIA FOR APPROVAL. Applicant has provided responses to all criteria.

**Commenting Division:** External Agency (EA) Referral Review

**Review Status:** Complete

EA1: TCHD has provided confirmed recommendations regarding possible risk due to flammable gas has been addressed.

Xcel Energy has been informed regarding efforts to clarify possible utility infrastructure on site and only recommends thorough investigation prior to any site excavation.

**Commenting Division:** Public Comment

**Review Status:** Ongoing

PC1: As of the date of this comment letter, 0 public comments have been received. Public comment will continue to be accepted moving forward and all comments will be included in appendices to the staff report provided to the Planning Commission and Board of County Commissioners once public hearings are scheduled. It is recommended to provide a response to individual public comments or evidence of direct outreach if any public comment is received.



**Commenting Division:** Development Engineering Review

**Name of Reviewer:** Steve Krawczyk, Civil Engineer II

**Email:** SKrwczyk@adcogov.org / 720-523-6854

**Review Status:** Comment provided

These comments have been based upon the application package and the requirements of the Adams County will include the follow to be information to be incorporated on the final construction plans after the conditional use:

ENG1 Parking Lot Design: The requirements include the following.

- a. ADA Parking Requirements: Please show the curb and gutter on the site plan and grading plan and include any detail on the construction plans.
- b. Parking Space Delineation: Please include the required signage and surface markings for the ADA parking in the construction plans. Include a detail for the Surface marking for the Handicap ramp.

EGR2: Landscaping plan will be required during the conditional use and will address the required landscaping standards. Staff would like to see additional buffering requirements for perimeter area. The plan will need to be coordinated with the work on 62nd Avenue.

EGR3: A parking plan may be required. The required parking spaces with the conditional use and can address the parking standards to allow for the appropriate ratio. After the Construction plans have been approved the following will be required before the final Certificate of Occupancy and/or Final Inspection.

EGR4: CDOT has confirmed no additional traffic analysis needed.





## **Development Review Team Comments**

**Date:** 5/6/2021

**Project Number:** RCU2021-00003

**Project Name:** Asphalt Specialties - 345 W. 62nd Ave.

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**Commenting Division:** Environmental Analyst Review 2nd Review

**Name of Reviewer:** Katie Keefe

**Date:** 05/04/2021

**Email:** kkeefe@adcogov.org

### **Complete**

Proposed conditions of approval

1. The operator shall maintain records showing amounts of stockpiled materials both processed and unprocessed. In addition, records containing customer lists and showing amounts of recycled material shipped off site shall be maintained.
2. The operator shall inspect exterior roads for tracking of debris at least twice per day. Debris, including waste material consisting of concrete, asphalt, soil, and rock that is brought to the facility along public rights-of-way within one-half (1/2) mile of the facility shall be removed by the close of each business day.
3. Wind monitoring equipment shall be installed and maintained at all times. The facility shall cease operations during periods of high winds. High winds shall be defined as when wind speeds exceed 25mph. Records of high wind shutdowns shall be maintained and kept available on-site for review for one-year.
4. The operator shall adhere to the operations plan as provided with the permit application and must maintain records of all unacceptable materials removed from incoming loads and transported off-site for proper disposal/recycling.



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**Commenting Division:** ROW Review 2nd Review

**Name of Reviewer:** David Dittmer

**Date:** 04/15/2021

**Email:**

**Complete**

ROW1: Received dedication and access documents for this location

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**Commenting Division:** Application Intake 2nd Review

**Name of Reviewer:** Kevin Mills

**Date:** 04/13/2021

**Email:**

**Complete**

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BOARD OF COUNTY COMMISSIONERS

**Eva J. Henry**  
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**Lynn Baca**  
DISTRICT 5



**From:** [Carla Gutierrez](#)  
**To:** [Alan Sielaff](#)  
**Subject:** Re: Request for Comments: RCU2021-00003 - Asphalt Specialties 345 W. 62nd Ave.  
**Date:** Tuesday, March 16, 2021 9:14:55 AM

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Please be cautious: This email was sent from outside Adams County

Good morning Alan,

At this time, the Fire District has no issues or concerns with the conditional use permit.

Thank you!

*Carla Gutierrez*

Adams County Fire Rescue  
7980 Elmwood Lane  
Denver, CO 80221  
O: 303-539-6862

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**From:** Alan Sielaff <ASielaff@adcogov.org>  
**Date:** Friday, February 26, 2021 at 4:57 PM  
**To:** Alan Sielaff <ASielaff@adcogov.org>  
**Subject:** Request for Comments: RCU2021-00003 - Asphalt Specialties 345 W. 62nd Ave.

Greetings,

The Adams County Planning Commission is requesting comments on the following application:

**Conditional use permit within the Industrial-3 (I-3) zone for the following requests:**

- 1) Conduct aggregate recycling operations**
- 2) Stacking of aggregate material above fence height**

This request is located at 345 W. 62nd Ave. The Assessor's Parcel Number is 0182510200013.

Applicant Information: ASPHALT SPECIALTIES CO., INC.  
10100 DALLAS ST.  
HENDERSON, CO 80640

Please forward any written comments on this application to me at to [ASielaff@adcogov.org](mailto:ASielaff@adcogov.org) by **March 24, 2021**, in order that your comments may be taken into consideration in the review of this case. The full text of the proposed request can be obtained by contacting this office or by accessing the Adams County web site at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases).

Thank you for your review of this case.



**From:** [Localreferral - CDPHE, CDPHE](#)  
**To:** [Alan Sielaff](#)  
**Subject:** Re: Request for Comments: RCU2021-00003 - Asphalt Specialties 345 W. 62nd Ave.  
**Date:** Friday, February 26, 2021 4:58:28 PM

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Please be cautious: This email was sent from outside Adams County

Thank you for contacting the Colorado Department of Public Health and Environment (CDPHE). CDPHE's general comments are available [here](#). We will continue to review this referral to determine whether additional comments are necessary. If additional comments are necessary, we will submit them by the referral deadline.

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[cdphe\\_localreferral@state.co.us](mailto:cdphe_localreferral@state.co.us) | [colorado.gov/cdphe](https://colorado.gov/cdphe)



Thank you for contacting the Colorado Department of Public Health and Environment (CDPHE). Please note that the following requirements and recommendations apply to many but not all projects referred by local governments. Also, they are not intended to be an exhaustive list and it is ultimately the responsibility of the applicant to comply with all applicable rules and regulations. CDPHE's failure to respond to a referral should not be construed as a favorable response.

### **Hazardous and Solid Waste**

The applicant must comply with all applicable hazardous and solid waste rules and regulations.

Hazardous waste regulations are available here:

<https://www.colorado.gov/pacific/cdphe/hwregs>.

Solid waste regulations are available here:

<https://www.colorado.gov/pacific/cdphe/swregs>.

Applicable requirements may include, but are not limited to, properly characterizing all wastes generated from this project and ensuring they are properly managed and disposed of in accordance with Colorado's solid and hazardous waste regulations.

If this proposed project processes, reclaims, sorts, or recycles recyclable materials generated from industrial operations (including, but not limited to construction and demolition debris and other recyclable materials), then it must register as an industrial recycling facility in accordance with Section 8 of the Colorado Solid Waste Regulations. The industrial recycling registration form is available here:

<https://www.colorado.gov/pacific/cdphe/sw-recycling-forms-apps>.

If you have any questions regarding hazardous and/or solid waste, please contact CDPHE's Hazardous Materials and Waste Management Division (HMWMD) by emailing [comments.hmwmd@state.co.us](mailto:comments.hmwmd@state.co.us) or calling 303-692-3320.

### **Water Quality**

The applicant must comply with all applicable water quality rules and regulations.

The Water Quality Control Division (WQCD) administers regulatory programs that are generally designed to help protect both Colorado's natural water bodies (the clean water program) and built drinking water systems. Applicants must comply with all applicable water quality rules and regulations relating to both clean water and drinking water. All water quality regulations are available here:

<https://cdphe.colorado.gov/water-quality-control-commission-regulations>.





## Clean Water Requirements

Applicable clean water requirements may include, but are not limited to, obtaining a stormwater discharge permit if construction activities disturb one acre or more of land or if they are part of a larger common plan of development that will disturb one or more acres of land. In determining the area of construction disturbance, WQCD looks at the entire plan, including disturbances associated with utilities, pipelines or roads constructed to serve the facility.

Please use the Colorado Environmental Online Services (CEOS) to apply for new construction stormwater discharge permits, modify or terminate existing permits and change permit contacts.

For CEOS support please see the following WQCD website:

<https://cdphe.colorado.gov/cor400000-stormwater-discharge>

or contact:

Email: [cdphe\\_ceos\\_support@state.co.us](mailto:cdphe_ceos_support@state.co.us) or [cdphe\\_wqcd\\_permits@state.co.us](mailto:cdphe_wqcd_permits@state.co.us)

CEOS Phone: 303-691-7919

Permits Phone: 303-692-3517

## Drinking Water Requirements

Some projects may also need to address drinking water regulations if the proposed project meets the definition of a “Public Water System” per the Colorado Primary Drinking Water Regulations (Regulation 11):

*A Public Water System means a system for the provision to the public of water for human consumption through pipes or other constructed conveyances, if such system has at least fifteen service connections or regularly serves an average of at least 25 individuals daily at least 60 days per year. A public water system is either a community water system or a non-community water system. Such term does not include any special irrigation district. Such term includes:*

*(a) Any collection, treatment, storage, and distribution facilities under control of the supplier of such system and used primarily in connection with such system.*

*(b) Any collection or pretreatment storage facilities not under such control, which are used primarily in connection with such system.*

If applicable, the project would need to meet all applicable requirements of Regulation 11 including, but not limited to, design review and approval; technical, managerial and financial review and approval; having a certified operator; and routine monitoring and reporting. If it is determined that your facility meets the definition of a public water system please submit a drinking water inventory update form to the department. For questions regarding drinking water regulation applicability or other assistance and resources, visit these websites:





<https://cdphe.colorado.gov/drinking-water>  
<https://cdphe.colorado.gov/dwtrain>

If you have any other questions regarding either clean or drinking water quality, please contact CDPHE's WQCD by emailing [cdphe.commentswqcd@state.co.us](mailto:cdphe.commentswqcd@state.co.us) or calling 303-692-3500.

### **Air Quality**

The applicant must comply with all relevant state and federal air quality rules and regulations. Air quality regulations are available here: <https://www.colorado.gov/pacific/cdphe/aqcc-regs>.

### **Air Pollutant Emissions Notices (APENs) and Permits**

Applicable requirements may include, but are not limited to, reporting emissions to the Air Pollution Control Division (APCD) by completing an APEN. An APEN is a two in one form for reporting air emissions and obtaining an air permit, if a permit will be required. While only businesses that exceed the Air Quality Control Commission (AQCC) reporting thresholds are required to report their emissions, all businesses - regardless of emission amount - must always comply with applicable AQCC regulations.

In general, an APEN is required when uncontrolled actual emissions for an emission point or group of emission points exceed the following defined emission thresholds:

Table 1 APEN Thresholds		
Pollutant Category	UNCONTROLLED ACTUAL EMISSIONS	
	Attainment Area	Non-attainment Area
Criteria Pollutant	2 tons per year	1 ton per year
Lead	100 pounds per year	100 pounds per year
Non-Criteria Pollutant	250 pounds per year	250 pounds per year

Uncontrolled actual emissions do not take into account any pollution control equipment that may exist. A map of the Denver Metropolitan Ozone Non-attainment area can be found on the following website: [http://www.colorado.gov/airquality/ss\\_map\\_wm.aspx](http://www.colorado.gov/airquality/ss_map_wm.aspx).

In addition to these reporting thresholds, a Land Development APEN (Form APCD-223) may be required for land development. Under Colorado air quality regulations, land development refers to all land clearing activities, including but not limited to land preparation such as excavating or grading, for residential, commercial or industrial development. Land development activities release fugitive dust, a pollutant regulated by APCD. Small land development activities are not subject to the same reporting and permitting requirements as large land activities. Specifically, land development activities





that are less than 25 contiguous acres and less than 6 months in duration do not need to report air emissions to APCD.

It is important to note that even if a permit is not required, fugitive dust control measures included the Land Development APEN Form APCD-223 must be followed at the site. Fugitive dust control techniques commonly included in the plan are included in the table below.

Control Options for Unpaved Roadways	
Watering	Use of chemical stabilizer
Paving	Controlling vehicle speed
Graveling	
Control Options for Mud and Dirt Carry-Out Onto Paved Surfaces	
Gravel entry ways	Washing vehicle wheels
Covering the load	Not overfilling trucks
Control Options for Disturbed Areas	
Watering	Application of a chemical stabilizer
Revegetation	Controlling vehicle speed
Compaction	Furrowing the soil
Wind Breaks	Minimizing the areas of disturbance
	Synthetic or Natural Cover for Slopes

Additional information on APENs and air permits can be found on the following website: <https://www.colorado.gov/pacific/cdphe/air/do-you-need-an-apen>. This site explains the process to obtain APENs and air quality permits, as well as information on calculating emissions, exemptions, and additional requirements. You may also view AQCC Regulation Number 3 at <https://www.colorado.gov/pacific/cdphe/aqcc-regs> for the complete regulatory language.

If you have any questions regarding Colorado's APEN or air permitting requirements or are unsure whether your business operations emit air pollutants, please call the Small Business Assistance Program (SBAP) at 303- 692-3175 or 303-692-3148.

### Asbestos and Lead-Based Paint

In Colorado there are regulations regarding the appropriate removal and handling of asbestos and lead-based paint as part of a demolition, renovation, or remodeling project. These regulations are presented in AQCC Number 8 (asbestos) and Number 19 (lead-based paint) which can be found on the following website: <https://www.colorado.gov/cdphe/aqcc-regs>.

These regulations may require the use of, or inspection by, companies or individuals that are certified to inspect or remove these hazards **prior to renovation or demolition**. APCD must also be notified of abatement or demolition activities prior to beginning any work in the case of asbestos. For additional guidance on these regulations and lists of certified companies and individuals please visit the following website for asbestos:

<https://www.colorado.gov/cdphe/categories/services-and-information/environment/asbesto>





[s](#) and the following website for lead-based paint:

<https://www.colorado.gov/pacific/cdphe/categories/services-and-information/lead>.

If you have any questions about Colorado's asbestos and lead-based paint regulations or are unsure whether you are subject to them please call the Indoor Environment Program at 303-692-3100.

If you have more general questions about air quality, please contact CDPHE's APCD by emailing [cdphe.commentsapcd@state.co.us](mailto:cdphe.commentsapcd@state.co.us) or calling 303-692-3100.

### **Health Equity and Environmental Justice**

CDPHE notes that certain projects have potential to impact vulnerable minority and low-income communities. It is our strong recommendation that your organization consider the potential for disproportionate environmental and health impacts on specific communities within the project scope and if so, take action to mitigate and minimize those impacts. This includes interfacing directly with the communities in the project area to better understand community perspectives on the project and receive feedback on how it may impact them during development and construction as well as after completion. We have included some general resources for your reference.

Additional Resources:

[CDPHE's Health Equity Resources](#)

[CDPHE's Checking Assumptions to Advance Equity](#)

[EPA's Environmental Justice and NEPA Resources](#)





**From:** [Loeffler - CDOT, Steven](#)  
**To:** [Alan Sielaff](#)  
**Subject:** Re: Request for Comments: RCU2021-00003 - Asphalt Specialties 345 W. 62nd Ave.  
**Date:** Thursday, March 25, 2021 6:24:18 AM

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Please be cautious: This email was sent from outside Adams County

Alan,

I have reviewed the referral for Asphalt Specialtie - 345 W. 62nd Ave. and their application for CUP to conduct aggregate recycling operations and stacking of aggregate material above fence height and have no additional comments.

Thank you for the opportunity to review this referral.

**Steve Loeffler**  
Permits Unit- Region 1



P 303.757.9891 | F 303.757.9053  
2829 W. Howard Pl. 2nd Floor, Denver, CO 80204  
[steven.loeffler@state.co.us](mailto:steven.loeffler@state.co.us) | [www.codot.gov](http://www.codot.gov) | [www.cotrip.org](http://www.cotrip.org)

On Fri, Feb 26, 2021 at 4:57 PM Alan Sielaff <[ASielaff@adcogov.org](mailto:ASielaff@adcogov.org)> wrote:

Greetings,

The Adams County Planning Commission is requesting comments on the following application:

**Conditional use permit within the Industrial-3 (I-3) zone for the following requests:**

- 1) Conduct aggregate recycling operations**
- 2) Stacking of aggregate material above fence height**

This request is located at 345 W. 62nd Ave. The Assessor's Parcel Number is 0182510200013.

Applicant Information: ASPHALT SPECIALTIES CO., INC.



**From:** [McConnell, John](#)  
**To:** [Alan Sielaff](#)  
**Subject:** RE: RCU2021-00003 Asphalt Specialties - 345 W. 62nd Avenue  
**Date:** Tuesday, March 2, 2021 4:15:56 PM

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Please be cautious: This email was sent from outside Adams County

Hello Alan,

Thanks for allowing us to review this referral. The City of Westminster Community Development Department has no comments or concerns regarding this application.

Best regards,  
John

**John McConnell, AICP** | Principal Planner  
City of Westminster Community Development  
V: 303.658.2474



**WESTMINSTER**

4800 West 92<sup>nd</sup> Avenue, Westminster, CO 80031  
Monday – Thursday, 7am to 6pm (Closed Friday)

Visit [eTRAKit](#) online to apply for projects and permits,  
submit plans, make payments and schedule inspections

PLEASE NOTE: City Hall remains closed to the public as the City of Westminster continues to support efforts to lessen the spread of COVID-19 (coronavirus). No reopening date has been established at this time. City Hall Staff members are available to serve you in a remote capacity and will interact with you via email during the closure. Thank you for your understanding and patience. We look forward to serving you.



**From:** [Clayton Woodruff](#)  
**To:** [Alan Sielaff](#)  
**Subject:** RE: Request for Comments: RCU2021-00003 - Asphalt Specialties 345 W. 62nd Ave.  
**Date:** Thursday, March 11, 2021 10:02:49 AM

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Please be cautious: This email was sent from outside Adams County

Alan,

The RTD has no comment on this project

Thank you,



**C. Scott Woodruff**  
**Engineer III**  
Regional Transportation District  
1560 Broadway, Suite 700, FAS-73 | Denver, CO 80202  
  
o 303.299.2943 | m 303-720-2025  
[clayton.woodruff@rtd-denver.com](mailto:clayton.woodruff@rtd-denver.com)

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**From:** Alan Sielaff <[ASielaff@adcogov.org](mailto:ASielaff@adcogov.org)>  
**Sent:** Friday, February 26, 2021 4:58 PM  
**To:** Alan Sielaff <[ASielaff@adcogov.org](mailto:ASielaff@adcogov.org)>  
**Subject:** Request for Comments: RCU2021-00003 - Asphalt Specialties 345 W. 62nd Ave.

Greetings,

The Adams County Planning Commission is requesting comments on the following application:

**Conditional use permit within the Industrial-3 (I-3) zone for the following requests:**

- 1) Conduct aggregate recycling operations**
- 2) Stacking of aggregate material above fence height**

This request is located at 345 W. 62nd Ave. The Assessor's Parcel Number is 0182510200013.

Applicant Information: ASPHALT SPECIALTIES CO., INC.  
10100 DALLAS ST.  
HENDERSON, CO 80640

Please forward any written comments on this application to me at to [ASielaff@adcogov.org](mailto:ASielaff@adcogov.org) by **March 24, 2021**, in order that your comments may be taken into consideration in the review of this case. The full text of the proposed request can be obtained by contacting this office or by accessing the Adams County web site at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases).

Thank you for your review of this case.





March 18, 2021

Alan Sielaff  
Adams County Community and Economic Development  
4430 South Adams County Parkway, Suite W2000A  
Brighton, CO 80601

RE: Asphalt Specialties Aggregate Recycling, RCU2021-00003  
TCHD Case No. 6800

Dear Mr. Sielaff,

Thank you for the opportunity to review and comment on the conditional use permit for the aggregate recycling operations and stacking of aggregate material above fence height at 345 W. 62<sup>nd</sup> Avenue. Tri-County Health Department (TCHD) staff previously reviewed an application for a proposed asphalt facility at this location. TCHD has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has the following comments.

**Historic Landfill within Adams County Overlay District**

In accordance with Section 3-35-03 of Chapter 3-Zone District Regulation, Flammable Gas Overlay (FGO), the subject property will need to comply with all applicable sections of the Adams County Flammable Gas Overlay (FGO). Flammable gas from decomposing organic matter in landfills may travel up to 1,000 feet from the source. The project is within 1,000 feet of Landfill No. AD-017, AD-020, AD-019, AD-024, and AD-025, and on AD-018. An investigation was conducted for the asphalt silo, located at the southeast corner of the site. The proposed aggregate recycling will take place on the northwest corner of the site.

*Flammable Gas Investigation for Asphalt Silo*

The applicant submitted a proposal by Kumar & Associates (K&A) dated December 22, 2020, Proposal P-20-973, for a flammable gas investigation plan (FGIP) to determine if methane is present and if conduit seals are necessary.

TCHD approved the FGIP in an email dated December 29, 2020.

The applicant submitted a Flammable Gas Investigation Report (FGIR) dated January 22, 2021, prepared by K&A. The FGIR indicates that methane sampling was conducted in five monitoring wells on January 13, 2021 and January 19, 2021. Methane levels on January 13, 2021 ranged from 0- 44% lower explosive limit (LEL). Methane levels on January 19, 2021 ranged from 0- 13% LEL.

K&A sampled three of the monitoring wells a third time on January 28, 2021 and methane levels ranged from 0-5% LEL. The results of those tests are summarized in an email from K&A dated January 28, 2021.

Based on the FGIR and email, it is the opinion of TCHD that conduit seals would not be necessary for the asphalt silo foundation.



### **Asphalt Recycling Operation**

TCHD has the following comments:

1. Since the proposed asphalt recycling operation does not include construction of a building, TCHD is amenable to the applicant foregoing a flammable gas investigation for the aggregate recycling operation.
2. Based on the information provided, it is not clear if the processing equipment for the aggregate recycling will be installed entirely at or above the ground surface. .”
3. Absent a flammable gas investigation, flammable gas is presumed to be present in the soils at the location of the asphalt processing operation.

TCHD has the following recommendations:

1. TCHD recommends that an environmental professional review the equipment and operation, and previous flammable gas investigation on the site and provide a letter stating that flammable gas does not pose a health and safety risk to persons and recycling equipment on the site.
2. TCHD review and comment on the letter.
3. Absent the letter, the applicant shall perform a flammable gas investigation in accordance with the FGO.
4. To address risks during the operation, TCHD is providing “Health and Safety Practices During Construction on or Near Former Landfills” as an attachment.

Questions regarding this may be directed to Sheila Lynch at (720) 200-1571 or [slynch@tchd.org](mailto:slynch@tchd.org).

### **Fugitive Dust – Permanent uses**

Exposure to air pollution is associated with a number of health problems including asthma, lung cancer, and heart disease. The Colorado Department of Public Health and Environment Air Pollution Control Division (APCD) regulates air emissions, including fugitive dust. Control measures may be necessary to minimize the amount of fugitive emissions from site activities including haul roads, stockpiles, and erosion. The applicant shall contact the APCD, at (303) 692-3100 for more information. Additional information is available at <https://www.colorado.gov/pacific/cdphe/categories/services-and-information/environment/air-quality/business-and-industry> .

Please feel free to contact me at 720-200-1575 or [kboyer@tchd.org](mailto:kboyer@tchd.org) if you have any questions about TCHD’s comments.

Sincerely,



Kathy Boyer, REHS  
Land Use and Built Environment Specialist III

cc: Sheila Lynch, Monte Deatrich, Warren Brown, TCHD





April 27, 2021

Alan Sielaff  
Adams County Community and Economic Development  
4430 South Adams County Parkway, Suite W2000A  
Brighton, CO 80601

RE: Asphalt Specialties Aggregate Recycling, RCU2021-00003  
TCHD Case No. 6800

Dear Mr. Sielaff,

Thank you for the opportunity to review and comment on the re-submittal of the conditional use permit for the aggregate recycling operations and stacking of aggregate material above fence height at 345 W. 62<sup>nd</sup> Avenue.

In our letter of March 18, 2021, TCHD provided the following comments.

***Historic Landfill within Adams County Overlay District***

*In accordance with Section 3-35-03 of Chapter 3-Zone District Regulation, Flammable Gas Overlay (FGO), the subject property will need to comply with all applicable sections of the Adams County Flammable Gas Overlay (FGO). Flammable gas from decomposing organic matter in landfills may travel up to 1,000 feet from the source. The project is within 1,000 feet of Landfill No. AD-017, AD-020, AD-019, AD-024, and AD-025, and on AD-018. An investigation was conducted for the asphalt silo, located at the southeast corner of the site. The proposed aggregate recycling will take place on the northwest corner of the site.*

***Asphalt Recycling Operation***

*TCHD has the following comments:*

- 1. Since the proposed asphalt recycling operation does not include construction of a building, TCHD is amenable to the applicant foregoing a flammable gas investigation for the aggregate recycling operation.*
- 2. Based on the information provided, it is not clear if the processing equipment for the aggregate recycling will be installed entirely at or above the ground surface."*
- 3. Absent a flammable gas investigation, flammable gas is presumed to be present in the soils at the location of the asphalt processing operation.*

*TCHD has the following recommendations:*

- 1. TCHD recommends that an environmental professional review the equipment and operation, and previous flammable gas investigation on the site and provide a letter stating that flammable gas does not pose a health and safety risk to persons and recycling equipment on the site.*



2. TCHD review and comment on the letter.
3. Absent the letter, the applicant shall perform a flammable gas investigation in accordance with the FGO.
4. To address risks during the operation, TCHD is providing "Health and Safety Practices During Construction on or Near Former Landfills" as an attachment.

**Fugitive Dust – Permanent uses**

Exposure to air pollution is associated with a number of health problems including asthma, lung cancer, and heart disease. The Colorado Department of Public Health and Environment Air Pollution Control Division (APCD) regulates air emissions, including fugitive dust. Control measures may be necessary to minimize the amount of fugitive emissions from site activities including haul roads, stockpiles, and erosion. The applicant shall contact the APCD, at (303) 692-3100 for more information. Additional information is available at <https://www.colorado.gov/pacific/cdphe/categories/services-and-information/environment/air-quality/business-and-industry>.

**Applicant Response-Flammable Gas**

In response to the methane safety concerns, the applicant provided a letter from Kumar & Associates, dated April 9, 2021 (Letter). The letter states: "...in our opinion, flammable gas does not pose a health and safety risk to persons and recycling equipment on the site."

Based on the Letter, TCHD is satisfied that our recommendations regarding the risks to the asphalt recycling operation from flammable gas have been addressed.

**Applicant Response-Fugitive Dust**

The applicant included a Construction Permit, dated March 6, 2021, issued by the Colorado Department of Public Health and Environment Air Pollution Control Division. In addition, the applicant provided a Nuisance Control Plan to address fugitive dust. Based on those documents, TCHD is satisfied that our recommendations regarding Fugitive Dust have been addressed.

Please feel free to contact me at 720-200-1568 or [wbrown@tchd.org](mailto:wbrown@tchd.org) if you have any questions about TCHD's comments.

Sincerely,



Warren S. Brown, P.E.  
Senior Environmental Health Consultant

cc: Sheila Lynch, Monte Deatrich, Kathy Boyer, TCHD





**Right of Way & Permits**

1123 West 3<sup>rd</sup> Avenue  
Denver, Colorado 80223  
Telephone: **303.571.3306**  
Facsimile: 303. 571. 3284  
donna.l.george@xcelenergy.com

March 22, 2021

Adams County Community & Economic Development Department  
4430 S. Adams County Parkway, 1st Floor, Suite W2000A  
Brighton, CO 80601

Attn: Alan Sielaff

**Re: Asphalt Specialties, Case # RCU2021-00003**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the conditional use documentation for **Asphalt Specialties**. Please be aware PSCo owns and operates existing underground electric distribution facilities including what may be two (2) pad mount transformers within the subject property, and requests that these are all shown on the plans.

As a safety precaution, PSCo would like to remind the developer to call the Utility Notification Center by dialing 811 for utility locates prior to construction. Please note that the depth of cover must not be changed from the original installation depth over underground lines. Use caution and hand dig when excavating within 18-inches of each side of the marked facilities. Please be aware that all risk and responsibility for this request are unilaterally that of the Applicant/Requestor.

Should the project require any new natural gas or electric service or modification to existing facilities, the property owner/developer/contractor must complete the application process via [xcelenergy.com/InstallAndConnect](https://xcelenergy.com/InstallAndConnect). Additional easements may be necessary for new facilities.

Donna George  
Right of Way and Permits  
Public Service Company of Colorado dba Xcel Energy  
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com



**From:** [George, Donna L](#)  
**To:** [Alan Sielaff](#)  
**Subject:** RE: Request for Comments: RCU2021-00003 - Asphalt Specialties 345 W. 62nd Ave.  
**Date:** Wednesday, May 5, 2021 6:10:38 AM

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Please be cautious: This email was sent from outside Adams County

Hi Alan,

This situation is perplexing! I have not received a recent update but because they're unable to locate the facilities, maybe the transformers and buried lines that show up on our GIS system *aren't* there and our system has not been updated. So, what I advise is that they just be careful when they dig.

Regards,

**Donna George**

**Xcel Energy**

Right of Way and Permits Referral Processor

1123 West 3<sup>rd</sup> Avenue

Denver, CO 80223

**O: 303-571-3306**

working from home for the foreseeable future...

[donna.l.george@xcelenergy.com](mailto:donna.l.george@xcelenergy.com)

Visit our website for more information about installing and connecting service with Xcel Energy - [xcelenergy.com/InstallAndConnect](https://xcelenergy.com/InstallAndConnect)

---

**XCELENERGY.COM**

Please consider the environment before printing this email.

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**From:** Alan Sielaff <ASielaff@adcogov.org>  
**Sent:** Tuesday, May 4, 2021 4:22 PM  
**To:** George, Donna L <Donna.L.George@xcelenergy.com>  
**Subject:** FW: Request for Comments: RCU2021-00003 - Asphalt Specialties 345 W. 62nd Ave.

**EXTERNAL - STOP & THINK** before opening links and attachments.

emaining issues or concerns on this request. I know I had been included as a cc on some messages regarding possible utilities on the site, the last email regarding that was on 4/15, but I'm not sure if there was resolution to that. If there are outstanding concerns that may impact the site plan we will want to hold off on scheduling the approval hearings for this case.

Thanks,

**Alan Sielaff**

Planner II, Development Services

Community & Economic Development Dept.

P: 720.523.6817 | [asielaff@adcogov.org](mailto:asielaff@adcogov.org)



**Commenting Division:** Planning Review  
**Name of Reviewer:** Alan Sielaff, Planner II  
**Email:** [ASielaff@adcogov.org](mailto:ASielaff@adcogov.org) / 720-523-6817  
**Review Status:** Resubmittal Required

*WEC Responses – 4/7/21*

PLN01: Conditional Use Request summary:

1. Aggregate recycling operations
2. Stacking of aggregate materials above height of fence

PLN02: Existing site information:

1. Location: 345 W. 62nd Ave., parcel # 0182510200013
2. Subdivision: None – legal lot; created prior to County subdivision standards
  - a. Parcel created in 1959 when Western Paving Construction Company did a parcel spilt and sold the S 40 ft of the E 25 ft to Public Service Company of Colorado. The deed in Bk 756 Pg 549 is for that sale, on 1/23/1959.
3. Size: 9.977 acres (according to County Assessor's Office records)
4. Existing Zoning: Industrial-3 (I-3)
5. Future Land Use: Industrial
6. Existing use: Distribution warehouse (according to County Assessor's Office records), asphalt batch plant (Change-in-Use permit approved under BDP20-3678).

PLN03: Site Landscaping - Landscape plan approved under BDP20-3678 included 15% site landscaping and required street frontage landscaping along W. 62nd Ave. **No specific landscape plan or revisions have been included with this conditional use application.**

1. Please provide copy of revised Landscape Plan with next submittal subject to the following comments below.  
*A revised Landscape Plan has been provided as requested (sheets 36 and 37 of the Engineering CDs).*
2. Additional right-of-way dedication will be required as part of this conditional use request as determined by development engineering and right-of-way (ROW) review, estimated at 40 ft. from the adjacent section line. Please update the landscape plan to reflect the new ROW line, and update landscape coverage calculations and street frontage landscaping options (see Section 4-17-07-01).  
*See the attached Adams County Dedication Packet for the ROW dedication as submitted on 4/2/21 to "One-Stop". The Landscape Plan has been revised as requested.*
3. It appears this will bring the site close to the 10% total site landscaping requirement. If this standard, or any of the 5 available street frontage landscaping options are not met, please provide justification and proposed alternatives that provide landscaping above specific requirements in exchange for support for any identified deficiency. Landscape relief may be granted as part of a site specific conditional use request, and it is recommended to provide response in your resubmittal to the 3 hardship statements included in the Administrative Relief – Landscaping application previously provided and available online here:  
<http://epermits.adcogov.org/submittal-checklists>  
*Noted. 12.97% on-site landscaping is now provided.*



PLN04: Parking – no use specific standards in code applied to batch plant, recycling facility, or outdoor storage. **Please provide estimate of maximum employees and public on-site and provide a parking calculation based on the following comparable parking requirements** (see Section 4-13-04-03) based on the proposed site operations:

1. Manufacturing, processing, assembly, distribution, bottling works, machine shop, metal, wood-working, plumbing, electrical, printing shop, roofing shop”. 1 space per 1,000 sq. ft. of floor area. Applicable to asphalt plant and recycling facility operations, and any indoor warehouse area.

*The asphalt plant area is 39,330 sf equaling 40 required stalls – 50 stalls have been provided.*

*The existing building (100% warehouse) is 32,068 sf equaling 33 required stalls – 38 stalls have been provided.*

2. “Contractor's yards, building” 1 space per 10,000 sq. ft. of yard materials/storage area. Applicable to outdoor storage area.

*The outdoor storage area is 129,441 sf equaling 13 required stalls – 15 stalls have been provided.*

3. “Offices” 1 space per 300 sq. ft. of gross floor area. Possibly applicable to existing warehouse facility and any planned office utilization.

*No office space is currently proposed. The ASCI property provides enough parking for 7,200 sf of warehouse space to be converted to office space - with 107 proposed stalls and 90 required 90 – 33 (warehouse ex bldg requirement) = 57 for remaining site parking.  $57 + 7,200 \text{ (future available office space)} / 300 + 24,868 \text{ (remaining warehouse area)} / 1,000 + 1 \text{ (additional ada stall)} = 107$ .*

PARKING DATA TABLE			
REQUIRED PARKING			
ASPHALT PLANT	1/1,000 SF (39,330 SF)		40
WAREHOUSE	1/1,000 SF (32,068 SF)		33
STORAGE YARD	1/10,000 SF (129,441 SF)		13
REQUIRED HANDICAP PARKING	1 PER 25 SPACES		4
TOTAL REQUIRED			90
PROVIDED PARKING			
ASPHALT PLANT			50
WAREHOUSE			38
STORAGE YARD			15
PROVIDED HANDICAP PARKING			4
TOTAL PROVIDED STALLS			107

4. “Laboratories, research” 1 space per 1,000 sq. ft. of floor and area facilities. Possibly applicable to existing warehouse facility and any planned laboratory utilization.

*No lab space is currently proposed, but any existing warehouse area could be converted to lab space from a parking standpoint as the requirements for both are 1 space per 1,000 sf.*

*4 ada stalls have been provided (4 required at 1 ada space per 25 spaces for 87 total required).*



PLN05: Site Plan and Elevations – **Please provide detail of height of the Recycling equipment**, similar to detail provided for batch plant (listed as 75 ft. max. height).

*Added as requested (sheet 5RP).*

PLN06: Neighborhood meeting summary – **Please provide copy of neighborhood meeting invitation** as well as the provided summary letter.

*The neighborhood meeting invitation and summary letter have been attached as requested.*

PLN07: Conditional Use Review – Stacking of aggregate materials above height of fence

1. Details of outdoor storage provided in application: 4 piles of aggregate stockpile, 1 pile of asphalt to be recycled, 1 pile following recycling, 8 ft. screen fence proposed for exterior of site.
2. **Please confirm adherence to the following** as described in Industrial performance standards for Heavy Industrial uses: 4-11-02-04-09 OUTDOOR STORAGE IN EXCESS OF 100% OF THE BUILDING AREA, #3: All outdoor storage shall consist of non-hazardous materials as determined by the Colorado Department of Public Health and Environment.

*Noted. The following note has been added to the Site Plan: ALL OUTDOOR STORAGE SHALL CONSIST OF NON-HAZARDOUS MATERIALS.*

3. Staff anticipates support of the request for outdoor storage of materials up to a height of 25 ft. subject to storage piles maintaining a neat and orderly appearance, documentation of no off-site impacts related to dust or debris, and affirmation that all materials are non-hazardous.

*The following notes have been added to the Site Plan:*

*ALL OUTDOOR STORAGE WILL CONSIST OF NON-HAZARDOUS MATERIALS.*

*ALL STOCKPILES WILL MAINTAIN A NEAT AND ORDERLY APPEARANCE.*

*See the attached Nuisance Control Plan addressing off-site impacts to dust and debris.*

PLN08: Conditional Use Review – Aggregate recycling operations

1. As determined during conceptual review of through case PRE2020-00067 and change-in-use review through building permit BDP20-3678, recycling operations require a conditional use permit subject to the requirements of a Recycling Facility, see definitions in Section 11-02-493 (Recyclable Materials) and 11-02-494 (Recycling Facility). The recycling facility use requires adherence to standards in Section 4-11-02-04-07 and approval in Section 2-02-09-06 for all conditional uses, and additional approval criteria in Section 2-02-09-07-03 for recycling facilities. These criteria are included for applicant review and confirmation below.

*Noted.*

2. **Please provide additional operational narrative details to address the following requirements** of the Industrial use performance standards: 4-11-02-04-07 RECYCLING FACILITIES.

1. Fencing: An eight (8) foot solid screen fence or security fence, with additional screening material, as approved by the Director of Community and Economic Development, shall enclose all outside storage.
  - a. Review/guidance: 8 ft. screen fence will be provided and has been applied for under BDP21-0227. Please provide fence detail with this conditional use permit application and more clearly identify location/extent on site plan.

*Added as requested (see sheet 5D).*



2. Traffic Control Plan: Provisions of the traffic control plan shall be followed.
  - a. Review/guidance: Please provide detail about all vehicular operations associated with use. This may include information included in the traffic letter, but should also include detail about type, size, and number of vehicles (cars/trucks/trailers, etc.) visiting the site throughout the day, storage of vehicles overnight, time and frequency of material delivery, and any other considerations for on-site operations that may impact adjacent traffic patterns.

*The proposed asphalt plant and recycling operations are being relocated from 6555 Huron St (approximately 1 mile North), so no net change in overall traffic to the surrounding area will occur from the ASCI project. Per County planner Alan Sielaff no further modifications to the previously provided traffic documents are needed as CDOT had no comments and Alan will be working internally with Steve Krawczyk on the remainder of this issue. See attached emails dated 3/25/21 & 3/26/21.*

3. Nuisance Control Plan: Provisions of the nuisance control plan shall be followed.
  - a. Review/guidance: Please provide detail addressing how operations will adhere to operational standards included in Section 4-14 related to lighting, vibration, noise, dust and debris, electromagnetic and electrical interference, humidity-heat-glare-smoke-radiation, and odor impacts. Please review specific operational limitations included in Section 4-14 and reference in response.

*Noted. See attached Nuisance Control Plan/Memo.*

4. Appearance: All sites shall maintain a clean, neat, and orderly appearance. Stock-piles of materials may only be placed as specified in the design and operation plan.

- a. Review/guidance: Please acknowledge and affirm.

*Noted. The following note was added: ALL STOCKPILES WILL MAINTAIN A NEAT AND ORDERLY APPEARANCE.*

5. Recordkeeping: All operators shall maintain records showing amounts of stockpiled materials both processed and unprocessed that are consistent with the amounts allowed in the Permit. In addition, records containing customer lists and records showing amounts of recycled material shipped off site shall be maintained.

- a. Review/guidance: Please acknowledge and affirm; and provide preliminary detail about volume and specifications of aggregate materials to be stored and processed on-site. An ongoing recordkeeping plan will be included as a recommended condition of approval for ongoing reporting for the duration of any conditional use approval.

*Noted. Stockpiles of materials (7 total) are to be stored as follows from West to East: Asphalt to be recycled, recycled asphalt, crusher fines (w/ silt fence), sand (w/ silt fence), ½" aggregate, ¾" aggregate, and 1 ½" aggregate. Each stockpile will contain approximately 4,000 cubic yards of material. See the attached inventory spreadsheet.*



6. Performance Bond: Prior to commencing operations, and thereafter during the active life of the facility, and for one (1) year after closure, the operator shall post and maintain a performance bond or other approved financial instrument with Adams County. The amount of said bond shall be the amount necessary to remove materials from recycling facilities for disposal at an appropriate disposal facility. The amount of the bond shall be calculated to include removal, tipping fees, and transportation costs. Should any corrective actions be required by the County in order to protect the health, safety, and general welfare which result from failure of the operator to follow any regulations, standards, or conditions of approval, the performance bond shall be forfeited in an amount sufficient to defray the expense of said actions, including staff time expended by Adams County involved in such corrective actions.
  - a. Review/guidance: Please acknowledge and affirm; and provide an estimate of removal costs associated with the anticipated volume of on-site aggregate storage.  
*See the attached Removal Engineer's Estimate.*
7. Removal of Trash from Right-of-Way: Operators shall remove trash, or other waste material, of the type, which is brought to the facility, along public rights-of-way within one-half (1/2) mile of the facility.
  - a. Review/guidance: Please acknowledge and affirm; and provide detail of efforts/techniques to be employed to prevent tracking of aggregate materials onto roadways.  
*Noted. Vehicle Tracking is to be provided at transitions from paved to unpaved areas and street sweeping will be provided as necessary.*

PLN09: Use-Specific Approval Criteria – Recycling Facility, Section 2-02-09-07-06 CRITERIA FOR APPROVAL. **Please review and acknowledge the following approval criteria, and at minimum provide a response to #'s 1's 6, and 7:**

1. There is a need for the facility, and it will provide a benefit to Adams County  
*Asphalt is the most recycled material (by volume) in North America. The recycling of a widely used material will greatly benefit Adams County and State of Colorado by reducing the pollution and costs of disposing asphalt. With an asphalt plant already on-site at the ASCI property there is no better place for an asphalt recycling facility.*
2. The request is compatible with the Adams County Comprehensive Plan, complies with the minimum zoning requirements of the zone district in which the Conditional Use Permit is to be granted, and complies with all other applicable requirements of the Adams County Zoning and Subdivision Regulations.  
*Yes, an asphalt plant is an allowed use in I-3 zoning. Only the material stockpile height and an asphalt recycling facility requires the conditional use.*
3. The applicant has documented the ability to comply with the health standards and operating procedures as provided by the Colorado Department of Public Health and Environment, Tri-County Health Department, Fire District, and other relevant agencies.  
*Yes, see all documents attached to these comments detailing all measures completed and proposed.*
4. The proposed facility will not cause significant traffic congestion or traffic hazards.  
*The on-site proposed access route can stage 37 semi-trucks and the entry has been realigned with the existing driveway to the South and is widened to match.*



5. The request is compatible with the surrounding area.  
*Yes, there are 5 asphalt and/or aggregate stockpiling sites within one mile of the ASCI site, with two of those being within 500 feet.*
6. The site is accessible to Adams County residents and other potential users.  
*The site is accessible to expected ASCI vendors and employees, but no retail sales occur on-site. Significant improvements are shown for accessibility and staging.*
7. The site will not adversely impact health and welfare of the community based upon specific design and operating procedures.  
*The site design has implemented the latest environmental, stormwater, and BMP technology available. A Nuisance Control Plan has also been compiled.*

PLN10: Conditional Use Permit Approval Criteria review, Section 2-02-09-06 CRITERIA FOR APPROVAL.  
**Please review and acknowledge the following approval criteria subject to both conditional use requests (recycling facility and overheight stacking):**

1. The conditional use is permitted in the applicable zone district.  
*Yes, recycling facilities and overheight stacking are conditional uses for the I-3 district per the Adams County use table.*
2. The conditional use is consistent with the purposes of these standards and regulations.  
*An asphalt plant and stacking heights under 8 feet are uses by right for this property. An asphalt recycling facility and aggregate stockpiles above 8 feet both support the use of an asphalt plant and are consistent with purposes of the Adams County standards.*
3. The conditional use will comply with the requirements of these standards and regulations including, but not limited to, all applicable performance standards.  
*Yes.*
4. The conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. In making this determination, the Planning Commission and the Board of County Commissioners shall find, at a minimum, that the conditional use will not result in excessive traffic generation, noise, vibration, dust, glare, heat, smoke, fumes, gas, odors, or inappropriate hours of operation.  
*Yes, there are 5 asphalt and/or aggregate stockpiling sites within one mile of the ASCI site, with two of those being within 500 feet.*
5. The conditional use permit has addressed all off-site impacts.  
*Yes.*
6. The site is suitable for the conditional use including adequate usable space, adequate access, and absence of environmental constraints.  
*The site design has implemented the latest environmental, stormwater, and BMP technology available. The site can adequately hold the asphalt plant, asphalt recycling facility, and all needed stockpiles based on the experience of ASCI and the current proposed site layout.*
7. The site plan for the proposed conditional use will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.  
*Yes, major effects meeting Adams County criteria for landscape are proposed along W 62<sup>nd</sup> Ave.*
8. Sewer, water, storm water drainage, fire protection, police protection, and roads are to be available and adequate to serve the needs of the conditional use as designed and proposed.  
*Yes, all of the above infrastructure and fire/police protection are in place to adequately serve the proposed uses of this site and provided approval or no comment letters.*



**Commenting Division: External Agency (EA) Referral Review**

**Review Status: Resubmittal Required**

EA1: The following external agencies responded with a separate comment letter or email which will be provided in the following pages: Adams County Fire Rescue (ACFR), City of Westminster, Colorado Department of Health and Environment (CDPHE), Regional Transportation District (RTD), Tri-County Health Department (TCHD), and Xcel Energy.

*See attached responses.*

**TCHD has provided recommendations that staff is requesting be addressed in the next submittal. Xcel is requesting utility lines be included on the site plan, and, additional coordination with CDPHE may be necessary to ensure conformance with recycling facility criteria and is encouraged for the applicant to proactively provide requested information.**

*Noted. The on-site gas line has been added to the Site Plan as requested.*

EA2: Referral agency comments generally are described in the staff report and may be recommended conditions or notes of approval for the applicant to adhere to if the development application is approved. If additional referral agency comments are received following this letter staff will forward to the applicant to respond in next submittal.

*Noted.*

**Commenting Division: Public Comment**

**Review Status: Ongoing**

PC1: As of the date of this comment letter, 0 public comments have been received. Public comment will continue to be accepted moving forward and all comments will be included in appendices to the staff report provided to the Planning Commission and Board of County Commissioners once public hearings are scheduled. It is recommended to provide a response to individual public comments or evidence of direct outreach if any public comment is received.

*Noted.*





## **Development Review Team Comments**

**Date:** 3/22/2021

**Project Number:** RCU2021-00003

**Project Name:** Asphalt Specialties - 345 W. 62nd Ave.

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**Commenting Division:** Planner Review

**Name of Reviewer:** Alan Sielaff

**Date:** 03/22/2021

**Email:** asielaff@adcogov.org

**Resubmittal Required**

Planning comments provided in separate letter.

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**Commenting Division:** ROW Review

**Name of Reviewer:** David Dittmer

**Date:** 03/22/2021

**Email:** ddittmer@adcogov.org

**Comment**

ROW1: Dedication of 40' for ROW from the Section line north due to the current configuration of W. 62nd and the PW CIP project under way will need to be dedicated to Adams County. The services of a state licensed surveyor will need to provide what is currently existing and what will need to be dedicated to Adams County by separate instrument.

*Noted. See attached Adams County Dedication Packet as submitted to "One Stop" on 4/2/21.*

ROW2: The dedication packet/application is available on line through One Stop. Please follow the guidelines in this application packet to provide the legal description and illustration for the dedication. This will need to run concurrently with the RCU application, and be a part of the approval requirements.

*Noted. See attached Adams County Dedication Packet as submitted to "One Stop" on 4/2/21.*



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**Commenting Division:** Development Engineering Review

**Name of Reviewer:** Steve Krawczyk

**Date:** 03/18/2021

**Email:** skrawczyk@adcogov.org

**Resubmittal Required**

ENG1: A site specific traffic study addressing specific issues identified the new use. A Traffic Analysis may be required to determine the amount and/or distribution of any increase in traffic generated from a proposed development. The analysis should address any off-site improvements that may be necessary to mitigate traffic impacts from the proposed development.

*Noted. The proposed asphalt plant and recycling operations are being relocated from 6555 Huron St (approximately 1 mile North), so no net change in overall traffic to the surrounding area will occur from the ASCI project. Per County planner Alan Sielaff no further modifications to the previously provided traffic documents are needed as CDOT had no comments and Alan will be working internally with Steve Krawczyk on the remainder of this issue. See attached emails dated 3/25/21 & 3/26/21.*

ENG2: This development MAY have a significant impact on the access location at Pecos and US Hwy 76. Please be aware that the traffic study will need to be reviewed by CDOT during the rezoning and an access permit will be required in conformance with the State Highway Access Code.

*Noted. The proposed asphalt plant and recycling operations are being relocated from 6555 Huron St (approximately 1 mile North), so no net change in overall traffic to the surrounding area will occur from the ASCI project. Per County planner Alan Sielaff no further modifications to the previously provided traffic documents are needed as CDOT had no comments and Alan will be working internally with Steve Krawczyk on the remainder of this issue. See attached emails dated 3/25/21 & 3/26/21.*

EGR3: As a part of the Conditional Use approval of the Asphalt specialty site RCU2021-0003, Please include any new information required as part of the EGR permit.

*Noted.*

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**Commenting Division:** CDPHE Review

**Name of Reviewer:** Alan Sielaff

**Date:** 03/17/2021

**Email:** cdphe\_localreferral@state.co.us

**Comment**

Thank you for contacting the Colorado Department of Public Health and Environment (CDPHE). CDPHE's general comments are available here (provided following referral agency comments). We will continue to review this referral to determine whether additional comments are necessary. If additional comments are necessary, we will submit them by the referral deadline.

*Noted.*



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**Commenting Division:** Tri-County Review

**Name of Reviewer:**

**Date:** 03/18/2021

**Email:**

**Resubmittal Required**

Separate comment letter provided.

*Noted.*



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**Commenting Division:** Building Safety Review

**Name of Reviewer:** Justin Blair

**Date:** 03/02/2021

**Email:** jblair@adcogov.org

**Complete**

BSD1- Building permits would be required for structures. Engineered plans will be required to obtain permits.

*Noted. Separate building permit for the release agent secondary containment covering (awning) will be forthcoming.*

BSD2- Applicant should refer to commercial and industrial submittal requirements.

*Noted.*

BSD3- Current adopted codes are the 2018 International Building Codes and the 2017 National Electrical Code.

*Noted.*

BSD4- Applicant should contact Fire Department for their requirements.

*Noted. See attached Adams County Fire Rescue approval letter.*

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**Commenting Division:** Environmental Analyst Review

**Name of Reviewer:** Katie Keefe

**Date:** 03/22/2021

**Email:** kkeefe@adcogov.org

**Resubmittal Required**

ENV1. The applicant must submit an operations plan describing material screening procedures to prevent non-recyclable materials from import to site.

*See the attached operations plan.*

ENV2. The applicant must provide a nuisance control plan for the concrete and asphalt manufacturing plant detailing procedures and protocols to control fugitive dust, odor, light, and noise impacts. See ACDSR 4-11-02-07-01.4 and 01.5

*See the attached nuisance control plan/memo.*

ENV3. The applicant must provide a nuisance control plan for concrete and asphalt recycling operations that specifies procedures and protocols to control off-site impacts from fugitive dust, odor, light and noise. See ACDSR 4-14

*See the attached nuisance control plan/memo.*

ENV4. The applicant should provide a copy of the completed APEN and any subsequent Construction Permits that may be required for the crushing and batch plant operations.

*Noted. See the attached APEN.*

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**Commenting Division:** Xcel Energy Review

**Name of Reviewer:**

**Date:** 03/22/2021

**Email:**

**Resubmittal Required**

Separate letter provided



**From:** [Carla Gutierrez](#)  
**To:** [Alan Sielaff](#)  
**Subject:** Re: Request for Comments: RCU2021-00003 - Asphalt Specialties 345 W. 62nd Ave.  
**Date:** Tuesday, March 16, 2021 9:14:55 AM

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Please be cautious: This email was sent from outside Adams County

Good morning Alan,

At this time, the Fire District has no issues or concerns with the conditional use permit.

*Noted.*

Thank you!

*Carla Gutierrez*

Adams County Fire Rescue  
7980 Elmwood Lane  
Denver, CO 80221  
O: 303-539-6862

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**From:** Alan Sielaff <ASielaff@adcogov.org>  
**Date:** Friday, February 26, 2021 at 4:57 PM  
**To:** Alan Sielaff <ASielaff@adcogov.org>  
**Subject:** Request for Comments: RCU2021-00003 - Asphalt Specialties 345 W. 62nd Ave.

Greetings,

The Adams County Planning Commission is requesting comments on the following application:

**Conditional use permit within the Industrial-3 (I-3) zone for the following requests:**

- 1) Conduct aggregate recycling operations**
- 2) Stacking of aggregate material above fence height**

This request is located at 345 W. 62nd Ave. The Assessor's Parcel Number is 0182510200013.

Applicant Information: ASPHALT SPECIALTIES CO., INC.  
10100 DALLAS ST.  
HENDERSON, CO 80640

Please forward any written comments on this application to me at to [ASielaff@adcogov.org](mailto:ASielaff@adcogov.org) by **March 24, 2021**, in order that your comments may be taken into consideration in the review of this case. The full text of the proposed request can be obtained by contacting this office or by accessing the Adams County web site at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases).

Thank you for your review of this case.



**From:** [Localreferral - CDPHE, CDPHE](#)  
**To:** [Alan Sielaff](#)  
**Subject:** Re: Request for Comments: RCU2021-00003 - Asphalt Specialties 345 W. 62nd Ave.  
**Date:** Friday, February 26, 2021 4:58:28 PM

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Please be cautious: This email was sent from outside Adams County

Thank you for contacting the Colorado Department of Public Health and Environment (CDPHE). CDPHE's general comments are available [here](#). We will continue to review this referral to determine whether additional comments are necessary. If additional comments are necessary, we will submit them by the referral deadline.

*Noted.*

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[cdphe\\_localreferral@state.co.us](mailto:cdphe_localreferral@state.co.us) | [colorado.gov/cdphe](https://colorado.gov/cdphe)



Thank you for contacting the Colorado Department of Public Health and Environment (CDPHE). Please note that the following requirements and recommendations apply to many but not all projects referred by local governments. Also, they are not intended to be an exhaustive list and it is ultimately the responsibility of the applicant to comply with all applicable rules and regulations. CDPHE's failure to respond to a referral should not be construed as a favorable response.

### **Hazardous and Solid Waste**

The applicant must comply with all applicable hazardous and solid waste rules and regulations.

Hazardous waste regulations are available here:  
<https://www.colorado.gov/pacific/cdphe/hwregs>.

Solid waste regulations are available here:  
<https://www.colorado.gov/pacific/cdphe/swregs>.

Applicable requirements may include, but are not limited to, properly characterizing all wastes generated from this project and ensuring they are properly managed and disposed of in accordance with Colorado's solid and hazardous waste regulations.

If this proposed project processes, reclaims, sorts, or recycles recyclable materials generated from industrial operations (including, but not limited to construction and demolition debris and other recyclable materials), then it must register as an industrial recycling facility in accordance with Section 8 of the Colorado Solid Waste Regulations. The industrial recycling registration form is available here:  
<https://www.colorado.gov/pacific/cdphe/sw-recycling-forms-apps>.

If you have any questions regarding hazardous and/or solid waste, please contact CDPHE's Hazardous Materials and Waste Management Division (HMWMD) by emailing [comments.hmwmd@state.co.us](mailto:comments.hmwmd@state.co.us) or calling 303-692-3320.

### **Water Quality**

The applicant must comply with all applicable water quality rules and regulations. The Water Quality Control Division (WQCD) administers regulatory programs that are generally designed to help protect both Colorado's natural water bodies (the clean water program) and built drinking water systems. Applicants must comply with all applicable water quality rules and regulations relating to both clean water and drinking water. All water quality regulations are available here:  
<https://cdphe.colorado.gov/water-quality-control-commission-regulations>.





## Clean Water Requirements

*All items this page are noted.*

Applicable clean water requirements may include, but are not limited to, obtaining a stormwater discharge permit if construction activities disturb one acre or more of land or if they are part of a larger common plan of development that will disturb one or more acres of land. In determining the area of construction disturbance, WQCD looks at the entire plan, including disturbances associated with utilities, pipelines or roads constructed to serve the facility.

Please use the Colorado Environmental Online Services (CEOS) to apply for new construction stormwater discharge permits, modify or terminate existing permits and change permit contacts.

For CEOS support please see the following WQCD website:

<https://cdphe.colorado.gov/cor400000-stormwater-discharge>

or contact:

Email: [cdphe\\_ceos\\_support@state.co.us](mailto:cdphe_ceos_support@state.co.us) or [cdphe\\_wqcd\\_permits@state.co.us](mailto:cdphe_wqcd_permits@state.co.us)

CEOS Phone: 303-691-7919

Permits Phone: 303-692-3517

## Drinking Water Requirements

Some projects may also need to address drinking water regulations if the proposed project meets the definition of a “Public Water System” per the Colorado Primary Drinking Water Regulations (Regulation 11):

*A Public Water System means a system for the provision to the public of water for human consumption through pipes or other constructed conveyances, if such system has at least fifteen service connections or regularly serves an average of at least 25 individuals daily at least 60 days per year. A public water system is either a community water system or a non-community water system. Such term does not include any special irrigation district. Such term includes:*

*(a) Any collection, treatment, storage, and distribution facilities under control of the supplier of such system and used primarily in connection with such system.*

*(b) Any collection or pretreatment storage facilities not under such control, which are used primarily in connection with such system.*

If applicable, the project would need to meet all applicable requirements of Regulation 11 including, but not limited to, design review and approval; technical, managerial and financial review and approval; having a certified operator; and routine monitoring and reporting. If it is determined that your facility meets the definition of a public water system please submit a drinking water inventory update form to the department. For questions regarding drinking water regulation applicability or other assistance and resources, visit these websites:





<https://cdphe.colorado.gov/drinking-water>  
<https://cdphe.colorado.gov/dwtrain>

*All items this page are noted.*

If you have any other questions regarding either clean or drinking water quality, please contact CDPHE's WQCD by emailing [cdphe.commentswqcd@state.co.us](mailto:cdphe.commentswqcd@state.co.us) or calling 303-692-3500.

## **Air Quality**

The applicant must comply with all relevant state and federal air quality rules and regulations. Air quality regulations are available here:  
<https://www.colorado.gov/pacific/cdphe/aqcc-regs>.

## **Air Pollutant Emissions Notices (APENs) and Permits**

Applicable requirements may include, but are not limited to, reporting emissions to the Air Pollution Control Division (APCD) by completing an APEN. An APEN is a two in one form for reporting air emissions and obtaining an air permit, if a permit will be required. While only businesses that exceed the Air Quality Control Commission (AQCC) reporting thresholds are required to report their emissions, all businesses - regardless of emission amount - must always comply with applicable AQCC regulations.

In general, an APEN is required when uncontrolled actual emissions for an emission point or group of emission points exceed the following defined emission thresholds:

Table 1 APEN Thresholds		
Pollutant Category	UNCONTROLLED ACTUAL EMISSIONS	
	Attainment Area	Non-attainment Area
Criteria Pollutant	2 tons per year	1 ton per year
Lead	100 pounds per year	100 pounds per year
Non-Criteria Pollutant	250 pounds per year	250 pounds per year

Uncontrolled actual emissions do not take into account any pollution control equipment that may exist. A map of the Denver Metropolitan Ozone Non-attainment area can be found on the following website: [http://www.colorado.gov/airquality/ss\\_map\\_wm.aspx](http://www.colorado.gov/airquality/ss_map_wm.aspx).

In addition to these reporting thresholds, a Land Development APEN (Form APCD-223) may be required for land development. Under Colorado air quality regulations, land development refers to all land clearing activities, including but not limited to land preparation such as excavating or grading, for residential, commercial or industrial development. Land development activities release fugitive dust, a pollutant regulated by APCD. Small land development activities are not subject to the same reporting and permitting requirements as large land activities. Specifically, land development activities





*All items this page are noted.*

that are less than 25 contiguous acres and less than 6 months in duration do not need to report air emissions to APCD.

It is important to note that even if a permit is not required, fugitive dust control measures included the Land Development APEN Form APCD-223 must be followed at the site. Fugitive dust control techniques commonly included in the plan are included in the table below.

Control Options for Unpaved Roadways	
Watering	Use of chemical stabilizer
Paving	Controlling vehicle speed
Graveling	
Control Options for Mud and Dirt Carry-Out Onto Paved Surfaces	
Gravel entry ways	Washing vehicle wheels
Covering the load	Not overfilling trucks
Control Options for Disturbed Areas	
Watering	Application of a chemical stabilizer
Revegetation	Controlling vehicle speed
Compaction	Furrowing the soil
Wind Breaks	Minimizing the areas of disturbance
	Synthetic or Natural Cover for Slopes

Additional information on APENs and air permits can be found on the following website: <https://www.colorado.gov/pacific/cdphe/air/do-you-need-an-apen>. This site explains the process to obtain APENs and air quality permits, as well as information on calculating emissions, exemptions, and additional requirements. You may also view AQCC Regulation Number 3 at <https://www.colorado.gov/pacific/cdphe/aqcc-regs> for the complete regulatory language.

If you have any questions regarding Colorado's APEN or air permitting requirements or are unsure whether your business operations emit air pollutants, please call the Small Business Assistance Program (SBAP) at 303- 692-3175 or 303-692-3148.

### **Asbestos and Lead-Based Paint**

In Colorado there are regulations regarding the appropriate removal and handling of asbestos and lead-based paint as part of a demolition, renovation, or remodeling project. These regulations are presented in AQCC Number 8 (asbestos) and Number 19 (lead-based paint) which can be found on the following website: <https://www.colorado.gov/cdphe/aqcc-regs>.

These regulations may require the use of, or inspection by, companies or individuals that are certified to inspect or remove these hazards **prior to renovation or demolition**. APCD must also be notified of abatement or demolition activities prior to beginning any work in the case of asbestos. For additional guidance on these regulations and lists of certified companies and individuals please visit the following website for asbestos:

<https://www.colorado.gov/cdphe/categories/services-and-information/environment/asbesto>





*All items this page are noted.*

s and the following website for lead-based paint:

<https://www.colorado.gov/pacific/cdphe/categories/services-and-information/lead>.

If you have any questions about Colorado's asbestos and lead-based paint regulations or are unsure whether you are subject to them please call the Indoor Environment Program at 303-692-3100.

If you have more general questions about air quality, please contact CDPHE's APCD by emailing [cdphe.commentsapcd@state.co.us](mailto:cdphe.commentsapcd@state.co.us) or calling 303-692-3100.

### **Health Equity and Environmental Justice**

CDPHE notes that certain projects have potential to impact vulnerable minority and low-income communities. It is our strong recommendation that your organization consider the potential for disproportionate environmental and health impacts on specific communities within the project scope and if so, take action to mitigate and minimize those impacts. This includes interfacing directly with the communities in the project area to better understand community perspectives on the project and receive feedback on how it may impact them during development and construction as well as after completion. We have included some general resources for your reference.

Additional Resources:

[CDPHE's Health Equity Resources](#)

[CDPHE's Checking Assumptions to Advance Equity](#)

[EPA's Environmental Justice and NEPA Resources](#)





**From:** [Clayton Woodruff](#)  
**To:** [Alan Sielaff](#)  
**Subject:** RE: Request for Comments: RCU2021-00003 - Asphalt Specialties 345 W. 62nd Ave.  
**Date:** Thursday, March 11, 2021 10:02:49 AM

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Please be cautious: This email was sent from outside Adams County

Alan,

The RTD has no comment on this project

*Noted.*

Thank you,



**C. Scott Woodruff**  
**Engineer III**  
Regional Transportation District  
1560 Broadway, Suite 700, FAS-73 | Denver, CO 80202  
o 303.299.2943 | m 303-720-2025  
[clayton.woodruff@rtd-denver.com](mailto:clayton.woodruff@rtd-denver.com)

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**From:** Alan Sielaff <[ASielaff@adcogov.org](mailto:ASielaff@adcogov.org)>  
**Sent:** Friday, February 26, 2021 4:58 PM  
**To:** Alan Sielaff <[ASielaff@adcogov.org](mailto:ASielaff@adcogov.org)>  
**Subject:** Request for Comments: RCU2021-00003 - Asphalt Specialties 345 W. 62nd Ave.

Greetings,

The Adams County Planning Commission is requesting comments on the following application:

**Conditional use permit within the Industrial-3 (I-3) zone for the following requests:**

- 1) Conduct aggregate recycling operations**
- 2) Stacking of aggregate material above fence height**

This request is located at 345 W. 62nd Ave. The Assessor's Parcel Number is 0182510200013.

Applicant Information: ASPHALT SPECIALTIES CO., INC.  
10100 DALLAS ST.  
HENDERSON, CO 80640

Please forward any written comments on this application to me at to [ASielaff@adcogov.org](mailto:ASielaff@adcogov.org) by **March 24, 2021**, in order that your comments may be taken into consideration in the review of this case. The full text of the proposed request can be obtained by contacting this office or by accessing the Adams County web site at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases).

Thank you for your review of this case.





March 18, 2021

Alan Sielaff  
Adams County Community and Economic Development  
4430 South Adams County Parkway, Suite W2000A  
Brighton, CO 80601

RE: Asphalt Specialties Aggregate Recycling, RCU2021-00003  
TCHD Case No. 6800

Dear Mr. Sielaff,

Thank you for the opportunity to review and comment on the conditional use permit for the aggregate recycling operations and stacking of aggregate material above fence height at 345 W. 62<sup>nd</sup> Avenue. Tri-County Health Department (TCHD) staff previously reviewed an application for a proposed asphalt facility at this location. TCHD has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has the following comments.

**Historic Landfill within Adams County Overlay District**

In accordance with Section 3-35-03 of Chapter 3-Zone District Regulation, Flammable Gas Overlay (FGO), the subject property will need to comply with all applicable sections of the Adams County Flammable Gas Overlay (FGO). Flammable gas from decomposing organic matter in landfills may travel up to 1,000 feet from the source. The project is within 1,000 feet of Landfill No. AD-017, AD-020, AD-019, AD-024, and AD-025, and on AD-018. An investigation was conducted for the asphalt silo, located at the southeast corner of the site. The proposed aggregate recycling will take place on the northwest corner of the site.

*Flammable Gas Investigation for Asphalt Silo*

The applicant submitted a proposal by Kumar & Associates (K&A) dated December 22, 2020, Proposal P-20-973, for a flammable gas investigation plan (FGIP) to determine if methane is present and if conduit seals are necessary.

TCHD approved the FGIP in an email dated December 29, 2020.

The applicant submitted a Flammable Gas Investigation Report (FGIR) dated January 22, 2021, prepared by K&A. The FGIR indicates that methane sampling was conducted in five monitoring wells on January 13, 2021 and January 19, 2021. Methane levels on January 13, 2021 ranged from 0- 44% lower explosive limit (LEL). Methane levels on January 19, 2021 ranged from 0- 13% LEL.

K&A sampled three of the monitoring wells a third time on January 28, 2021 and methane levels ranged from 0-5% LEL. The results of those tests are summarized in an email from K&A dated January 28, 2021.

Based on the FGIR and email, it is the opinion of TCHD that conduit seals would not be necessary for the asphalt silo foundation.



### Asphalt Recycling Operation

TCHD has the following comments:

1. Since the proposed asphalt recycling operation does not include construction of a building, TCHD is amenable to the applicant foregoing a flammable gas investigation for the aggregate recycling operation.  
*Noted.*
2. Based on the information provided, it is not clear if the processing equipment for the aggregate recycling will be installed entirely at or above the ground surface."  
*The asphalt recycling operations are to be installed entirely at or above the ground surface.*
3. Absent a flammable gas investigation, flammable gas is presumed to be present in the soils at the location of the asphalt processing operation.  
*Noted.*

TCHD has the following recommendations:

1. TCHD recommends that an environmental professional review the equipment and operation, and previous flammable gas investigation on the site and provide a letter stating that flammable gas does not pose a health and safety risk to persons and recycling equipment on the site.  
*A letter of environmental professional opinion by Kumar & Associates stating that flammable gas does not pose a health and safety risk is attached.*
2. TCHD review and comment on the letter.
3. Absent the letter, the applicant shall perform a flammable gas investigation in accordance with the FGO.  
*Noted.*
4. To address risks during the operation, TCHD is providing "Health and Safety Practices During Construction on or Near Former Landfills" as an attachment.  
*Noted.*

Questions regarding this may be directed to Sheila Lynch at (720) 200-1571 or [slynch@tchd.org](mailto:slynch@tchd.org).

### Fugitive Dust – Permanent uses

Exposure to air pollution is associated with a number of health problems including asthma, lung cancer, and heart disease. The Colorado Department of Public Health and Environment Air Pollution Control Division (APCD) regulates air emissions, including fugitive dust. Control measures may be necessary to minimize the amount of fugitive emissions from site activities including haul roads, stockpiles, and erosion. The applicant shall contact the APCD, at (303) 692-3100 for more information. Additional information is available at

<https://www.colorado.gov/pacific/cdphe/categories/services-and-information/environment/air-quality/business-and-industry> .

*Noted.*

Please feel free to contact me at 720-200-1575 or [kboyer@tchd.org](mailto:kboyer@tchd.org) if you have any questions about TCHD's comments.

Sincerely,



Kathy Boyer, REHS  
Land Use and Built Environment Specialist III



**From:** [McConnell, John](#)  
**To:** [Alan Sielaff](#)  
**Subject:** RE: RCU2021-00003 Asphalt Specialties - 345 W. 62nd Avenue  
**Date:** Tuesday, March 2, 2021 4:15:56 PM

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Please be cautious: This email was sent from outside Adams County

Hello Alan,

Thanks for allowing us to review this referral. The City of Westminster Community Development Department has no comments or concerns regarding this application.

*Noted.*

Best regards,

John

**John McConnell, AICP** | Principal Planner  
City of Westminster Community Development  
V: 303.658.2474



4800 West 92<sup>nd</sup> Avenue, Westminster, CO 80031  
Monday – Thursday, 7am to 6pm (Closed Friday)

Visit [eTRAKit](#) online to apply for projects and permits,  
submit plans, make payments and schedule inspections

PLEASE NOTE: City Hall remains closed to the public as the City of Westminster continues to support efforts to lessen the spread of COVID-19 (coronavirus). No reopening date has been established at this time. City Hall Staff members are available to serve you in a remote capacity and will interact with you via email during the closure. Thank you for your understanding and patience. We look forward to serving you.





**Right of Way & Permits**

1123 West 3<sup>rd</sup> Avenue  
Denver, Colorado 80223  
Telephone: **303.571.3306**  
Facsimile: 303. 571. 3284  
donna.l.george@xcelenergy.com

March 22, 2021

Adams County Community & Economic Development Department  
4430 S. Adams County Parkway, 1st Floor, Suite W2000A  
Brighton, CO 80601

Attn: Alan Sielaff

**Re: Asphalt Specialties, Case # RCU2021-00003**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the conditional use documentation for **Asphalt Specialties**. Please be aware PSCo owns and operates existing underground electric distribution facilities including what may be two (2) pad mount transformers within the subject property, and requests that these are all shown on the plans.

*The owner has searched the site and has found no transformers. WEC emailed Mrs. George and Mr. Stejskal for further clarification. See attached 4/7/21 email.*

As a safety precaution, PSCo would like to remind the developer to call the Utility Notification Center by dialing 811 for utility locates prior to construction. Please note that the depth of cover must not be changed from the original installation depth over underground lines. Use caution and hand dig when excavating within 18-inches of each side of the marked facilities. Please be aware that all risk and responsibility for this request are unilaterally that of the Applicant/Requestor.

*Noted.*

Should the project require any new natural gas or electric service or modification to existing facilities, the property owner/developer/contractor must complete the application process via [xcelenergy.com/InstallAndConnect](https://www.xcelenergy.com/InstallAndConnect). Additional easements may be necessary for new facilities.

*Noted.*

Donna George  
Right of Way and Permits  
Public Service Company of Colorado dba Xcel Energy  
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com



# ASPHALT



## SPECIALTIES CO.

10100 Dallas St. • Henderson, CO 80640 • (303) 289-8555 • Fax: (303) 289-7707

Conditional Use Permit application to Adams County  
Notice of Neighborhood Meeting via Zoom  
February 15, 2021 at 5:00 pm

Asphalt Specialties Co., Inc. will be applying to Adams County for Conditional Use Permits at 345 W 62<sup>nd</sup> Ave in unincorporated Adams County. A location map of the site is attached.

The Conditional Use application will include requests for asphalt and other aggregate recycling operations and stacking of aggregate material above the fence height. A site plan is attached depicting these proposed activities.

A neighborhood meeting is scheduled for February 15, 2021 at 5:00 pm. This will be held via a Zoom. Representatives from Asphalt Specialties will be available to answer questions during the Zoom meeting.

Details for the Zoom meeting are:

Topic: CUP Application - 345 W 62<sup>nd</sup> Ave

Time: Feb 15, 2021 05:00 PM Mountain Time (US and Canada)

Join Zoom Meeting

<https://zoom.us/j/99733881534?pwd=NHlvYS9UYTM5NjltWXVOV3JiN0xsQT09>

Meeting ID: 997 3388 1534

Passcode: b22EPu

A web site has been established where the location map, site plan and project narrative can be reviewed. The link to the web site is: <http://www.asphaltspecialties.com/page.cfm/ID/4/ContactUs/>. Once on the page, scroll down to the links under CUP Application – 345 W 62<sup>nd</sup> Ave.

You can submit questions and comments prior to the meeting by email to: [info345@asphaltspecialties.com](mailto:info345@asphaltspecialties.com). Comments sent to this address may be summarized and posted on the web link.

Steve Ward  
Land Development Manager  
Asphalt Specialties Co., Inc.  
303-594-1433



## **Meeting Summary**

**Neighborhood Meeting re proposed conditional use applications for 345 W 62<sup>nd</sup> Ave.  
February 16, 2021, 5:00 pm, via Zoom.**

Notices were mailed more than ten days ahead of the scheduled meeting to all property owners and residents identified in a data set provided by Adams County.

The meeting started promptly at 5:00 pm.

Steve Ward, Land Development Manager for Asphalt Specialties Co., Inc., the applicant started the meeting.

Alex Schatz with Brannan Sand and Gravel at 690 W 62<sup>nd</sup> Ave, joined the meeting at 5:05 pm. He was then the only outside participant. Discussion concerned the permitting process with Adams County, landscaping along the road, and where on our site the proposed uses would be conducted. No objections were raised concerning our proposed conditional uses.

Alex left the meeting at approximately 5:12 pm. Since no one else joined the call, the Zoom meeting was paused at 5:15.

At 5:17 Lynn Tomasek with Brother's Plumbing at the NWC of W 62<sup>nd</sup> Ave and Broadway asked to join the meeting and it was reconvened. Lynn Tomasek and Michelle Carwin, also with Brother's Plumbing, joined the meeting.

Discussion concerned the permitting process, noise and odors that might emanate from the site, and the County's permitting process. No objections were raised to our proposed conditional uses.

As no one else joined the meeting, it was adjourned at 5:54 pm.





## Request for Comments

Case Name: Asphalt Specialties - 345 W. 62nd Ave.  
Case Number: RCU2021-00003

February 26, 2021

The Adams County Planning Commission is requesting comments on the following application:  
**Conditional use permit within the Industrial-3 (I-3) zone for the following requests:**

- 1) Conduct aggregate recycling operations**
- 2) Stacking of aggregate material above fence height**

This request is located at 345 W. 62nd Ave. The Assessor's Parcel Number is 0182510200013.

Applicant Information: ASPHALT SPECIALTIES CO., INC.  
10100 DALLAS ST.  
HENDERSON, CO 80640

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6817 by 03/24/2021 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to [ASielaff@adcogov.org](mailto:ASielaff@adcogov.org).

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you upon request. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases).

Thank you for your review of this case.

Alan Sielaff  
Planner II





## Public Hearing Notification

Case Name:	Asphalt Specialties - 345 W. 62nd Avenue
Case Number:	RCU2021-00003
Planning Commission Hearing Date:	06/10/2021 at 6:00 p.m.
Board of County Commissioners Hearing Date:	06/29/2021 at 9:30 a.m.

May 18, 2021

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following requests: **Conditional use permit within the Industrial-3 (I-3) zone for the following requests: 1) Conduct aggregate recycling operations, 2) Stacking of aggregate material above fence height.** This request is located at 345 W. 62<sup>nd</sup> Avenue. The Assessor's Parcel Number is 0182510200013.

Applicant Information: ASPHALT SPECIALTIES CO., INC.  
10100 DALLAS STREET  
HENDERSON, CO 80640

Planning Commission public hearing will be held virtually. Board of County Commissioners public hearing will be held in the Hearing Room of the Adams County Government Center, 4430 South Adams County Parkway, Brighton, CO – 1st Floor and will be able to be accessed virtually. Please visit <http://www.adcogov.org/planning-commission> and <http://www.adcogov.org/bocc> for up to date information on accessing the public hearings and submitting comment prior to the hearings.

These will be public hearings and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. The full text of the proposed request and additional colored maps can be obtained by accessing the Adams County Community and Economic Development Department website at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases). If you require any special accommodations, please contact the Adams County Department of Community and Economic Development (CEDD) at [cedd-pod@adcogov.org](mailto:cedd-pod@adcogov.org), or 720-523-6800 at least one hour prior to the meeting date.

Thank you for your review of this case.

Alan Sielaff, Planner II  
[asielaff@adcogov.org](mailto:asielaff@adcogov.org)  
720-523-6817

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry  
DISTRICT 1

Charles "Chaz" Tedesco  
DISTRICT 2

Emma Pinter  
DISTRICT 3

Steve O'Dorisio  
DISTRICT 4

Lynn Baca  
DISTRICT 5



## PUBLICATION REQUEST

**Case Name:** Asphalt Specialties - 345 W. 62nd Avenue

**Case Number:** RCU2021-00003

**Planning Commission Hearing Date:** June 10, 2021 at 6:00 p.m.

**Board of County Commissioners Hearing Date:** June 29, 2021 at 9:30 a.m.

**Case Manager:** Alan Sielaff, [asielaff@adcogov.org](mailto:asielaff@adcogov.org), 720-523-6817

**Request:** Conditional use permit within the Industrial-3 (I-3) zone for the following requests: 1) Conduct aggregate recycling operations, 2) Stacking of aggregate material above fence height.

**Parcel Number:** 0182510200013

**Address of the Request:** 345 W. 62nd Avenue

**Applicant:** ASPHALT SPECIALTIES CO., INC. 10100 DALLAS STREET HENDERSON, CO 80640

**Legal Description:** THE SOUTHWEST ONE QUARTER OF THE NORTHEAST ONE QUARTER OF THE NORTHWEST ONE QUARTER OF SECTION 10, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6<sup>TH</sup> PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTH ONE QUARTER CORNER OF SAID SECTION 10, TRAVERSE NORTH 89°55'25" WEST AND ALONG THE NORTH LINE OF THE NORTHWEST ONE-QUARTER OF SECTION 10 A DISTANCE OF 658.85 FEET; THENCE SOUTH 00°18'05" WEST A DISTANCE OF 657.97 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING SOUTH 00°18'05" WEST A DISTANCE OF 657.97 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH ONE HALF OF THE NORTHWEST ONE QUARTER OF SECTION 10; THENCE WEST AND ALONG THE SOUTH LINE OF THE NORTH ONE HALF OF THE NORTHWEST ONE QUARTER A DISTANCE OF 659.56 FEET TO THE SOUTHWEST CORNER OF THE NORTHEAST ONE QUARTER OF THE NORTHWEST ONE QUARTER OF SECTION 10; THENCE NORTH 00°19'53" EAST AND ALONG THE WEST LONE OF THE NORTHEAST ONE QUARTER OF THE NORTHWEST ONE QUARTER A DISTANCE OF 658.47 FEET THENCE SOUTH 89°57'24" EAST A DISTANCE OF 659.21 FEET TO THE POINT OF BEGINNING, EXCEPT THE SOUTH 40 FEET OF THE EAST 25 FEET THEREOF, COUNTY OF ADAMS, STATE OF COLORADO.

**Virtual Meeting and Public Comment Information:** Planning Commission public hearing will be held virtually. Board of County Commissioners public hearing will held in the Hearing Room of the Adams County Government Center, 4430 South Adams County Parkway, Brighton, CO – 1st Floor and will be able to be accessed virtually. Please visit <http://www.adcogov.org/planning-commission> and <http://www.adcogov.org/bocc> for up to date information on accessing the public hearings and submitting comment prior to the hearings.

These will be public hearings and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. The full text of the proposed request and additional colored maps can be obtained by accessing the Adams County Community and Economic Development Department website at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases).

If you require any special accommodations, please contact the Adams County Department of Community and Economic Development at (CEDD) at [cedd-pod@adcogov.org](mailto:cedd-pod@adcogov.org), or 720-523-6800 at least one hour prior to the meeting date.





Referral Listing  
Case Number RCU2021-00003  
Asphalt Specialties - 345 W. 62nd Ave.

Agency	Contact Information
Adams County Attorney's Office	Christine Fitch 4430 S Adams County Pkwy Brighton CO 80601 720-523-6352 CFitch@adcogov.org
Adams County CEDD Development Services Engineer	Devt. Services Engineering 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6800
Adams County CEDD Environmental Services Division	Katie Keefe 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6986 kkeefe@adcogov.org
Adams County CEDD Right-of-Way	Mark Alessi 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6837 malessi@adcogov.org
Adams County Community Safety & Wellbeing, Neighborhood Services	Gail Moon  4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6856 gmoon@adcogov.org
Adams County Development Services - Building	Justin Blair 4430 S Adams County Pkwy Brighton CO 80601 720-523-6825 JBlair@adcogov.org
Adams County Fire Protection District	Whitney Even 7980 Elmwood Lane Denver CO 80221 303-539-6802 weven@acfpd.org
Adams County Fire Protection District	Carla Gutierrez 7980 Elmwood Ln. Denver CO 80221 303-539-6862 cgutierrez@acfpd.org



Agency	Contact Information
Adams County Parks and Open Space Department	Marc Pedrucci 303-637-8014 mpedrucci@adcogov.org
Adams County Parks and Open Space Department	Aaron Clark (303) 637-8005 aclark@adcogov.org
Adams County Sheriff's Office	Rick Reigenborn (303) 654-1850 rreigenborn@adcogov.org
Adams County Sheriff's Office	- - 303-655-3283 CommunityConnections@adcogov.org
Arvada Fire Department	Steven Parker 7903 Alison Way Arvada CO 80005 303-424-3012 steven.parker@arvadafire.com
BERKELEY NEIGHBORHOOD ASSOC.	GLORIA RUDDEN 4420 W 52ND PL. DENVER CO 80212 (303) 433-7653 (303) 477-9669 seminoegrandma@gmail.com
CDPHE	Sean Hackett 4300 S Cherry Creek Dr Denver CO 80246 303.692.3662 303.691.7702 cdphe_localreferral@state.co.us
CDPHE - WATER QUALITY PROTECTION SECT	Patrick Pfaltzgraff 4300 CHERRY CREEK DRIVE SOUTH WQCD-B2 DENVER CO 80246-1530 303-692-3509 cdphe_localreferral@state.co.us
CDPHE SOLID WASTE UNIT	Andy Todd 4300 CHERRY CREEK DR SOUTH HMWMD-CP-B2 DENVER CO 80246-1530 303.691.4049 cdphe_localreferral@state.co.us
Century Link, Inc	Brandyn Wiedreich 5325 Zuni St, Rm 728 Denver CO 80221 720-578-3724 720-245-0029
City of Arvada	Rob Smetana 8101 Ralston Rd. Arvada CO 80002 (720)898-7444 rsmetana@arvada.org



Agency	Contact Information
City of Arvada Utilities	Sharon Israel 8101 Ralston Rd. Arvada CO 80002 720-898-7760 sisrael@arvada.org
CITY OF FEDERAL HEIGHTS	TIM WILLIAMS 2380 W 90TH AVE. FEDERAL HEIGHTS CO 80260 303-428-3526 twilliams@fedheights.org
CITY OF FEDERAL HEIGHTS	Renae Stavros 2380 W. 90th Ave. Federal Heights CO 80260 303.412.3530 rstavros@fedheights.org
CITY OF FEDERAL HEIGHTS - WATER AND SAN. DEPT.	VIRGINIA MULLIN 2380 W 90TH AVE. FEDERAL HEIGHTS CO 80260 303-428-3526
CITY OF THORNTON	JASON O'SHEA 9500 CIVIC CENTER DR THORNTON CO 80229 0
CITY OF THORNTON	JIM KAISER 12450 N WASHINGTON THORNTON CO 80241 720-977-6266
CITY OF THORNTON	Lori Hight 9500 CIVIC CENTER DRIVE THORNTON CO 80229 303-538-7670 developmentsubmittals@cityofthornton.net.
CITY OF WESTMINSTER	Andy Walsh 4800 W 92nd Avenue WESTMINSTER CO 80031 303-658-2563 awalsh@cityofwestminster.us
CITY OF WESTMINSTER	Rita McConnell 4800 W 92ND AVE. WESTMINSTER CO 80031 303-658-2093 planning@cityofwestminster.us
COLORADO DEPT OF TRANSPORTATION	Steve Loeffler 2000 S. Holly St. Region 1 Denver CO 80222 303-757-9891 steven.loeffler@state.co.us



Agency	Contact Information
Colorado Division of Wildlife	Hannah Posey 6060 Broadway St. Denver CO 80216-1000 303-947-1798 hannah.posey@state.co.us
COLORADO DIVISION OF WILDLIFE	Serena Rocksund 6060 BROADWAY DENVER CO 80216 3039471798 serena.rocksund@state.co.us
COMCAST	JOE LOWE 8490 N UMATILLA ST FEDERAL HEIGHTS CO 80260 303-603-5039
Commerce City Planning Division	Domenic Martinelli 7887 East 60th Avenue COMMERCE CITY CO 80022 303-289-3693 dmartinelli@c3gov.com
FEDERAL HEIGHTS FIRE DEPT.	ANDREW MARSH 2400 W. 90TH AVE. FEDERAL HEIGHTS CO 80260 303-428-3526 x 260
GOAT HILL	SHARON WHITEHAIR 2901 W 63RD AVE SP:0047 DENVER CO 80221 720 480-2831 sharonwhitehair@gmail.com
MAPLETON SCHOOL DISTRICT #1	CHARLOTTE CIANCIO 591 E. 80TH AVE DENVER CO 80229 303-853-1015 charlotte@mapleton.us
METRO WASTEWATER RECLAMATION	CRAIG SIMMONDS 6450 YORK ST. DENVER CO 80229 303-286-3338 CSIMMONDS@MWRD.DST.CO.US
MOBILE GARDENS	VERA MARIE JONES 6250 FEDERAL #29 DENVER CO 80221 303-429-5856
North Pecos Water & Sanitation District	Russell Traska 6900 Pecos St Denver CO 80221 303-429-5770 manager@northpecoswater.org



Agency	Contact Information
NORTHRIDGE ESTATES AT GOLD RUN HOA	SHANE LUSSIER 14901 E Hampden Ave Suite 320 AURORA CO 80014 303-693-2118 shane@cchoapros.com
Pecos Park Logistics Park Metro District	M Mitchell 4221 Brighton Blvd Denver CO 802163719 303-298-1111 mmitchell@westfield-co.com
PERL MACK NEIGHBORHOOD GROUP	DAN MICEK - PRESIDENT 7294 NAVAJO ST. DENVER CO 80221 303-428-8557 DANMICEK54@COMCAST.NET
Pomponio Terrace Metropolitan District	Zachary White 2154 E. Commons Avenue, #2000 Centennial CO 80122 0 zwhite@wbapc.com
REGIONAL TRANSPORTATION DIST.	Engineering RTD 1560 BROADWAY SUITE 700 DENVER CO 80202 303-299-2439 engineering@rtd-denver.com
The TOD Group	THE TOD GROUP 1431 Euterpe Street New Orleans LA 70130 5047174718
THORNTON FIRE DEPARTMENT	Chad Mccollum 9500 Civic Center Drive THORNTON CO 80229-4326 303-538-7602 firedept@cityofthornton.net
TRI-COUNTY HEALTH DEPARTMENT	Sheila Lynch 6162 S WILLOW DR, SUITE 100 GREENWOOD VILLAGE CO 80111 720-200-1571 landuse@tchd.org
TRI-COUNTY HEALTH DEPARTMENT	MONTE DEATRICH 4201 E. 72ND AVENUE SUITE D COMMERCE CITY CO 80022 (303) 288-6816 mdeatrich@tchd.org
Tri-County Health: Mail CHECK to Sheila Lynch	Tri-County Health landuse@tchd.org .



Agency	Contact Information
UNION PACIFIC RAILROAD	Anna Dancer 1400 DOUGLAS ST STOP 1690 OMAHA NE 68179 402-544-2255 aldancer@up.com
WELBY CITIZEN GROUP	NORMA FRANK 7401 RACE STREET DENVER CO 80229 (303) 288-3152
WESTMINSTER FIRE DEPT.	CAPTAIN DOUG HALL 9110 YATES ST. WESTMINSTER CO 80031 303-430-2400 x4542 dhall@ci.westminster.co.us
Xcel Energy	Donna George 1123 W 3rd Ave DENVER CO 80223 303-571-3306 Donna.L.George@xcelenergy.com
Xcel Energy	Donna George 1123 W 3rd Ave DENVER CO 80223 303-571-3306 Donna.L.George@xcelenergy.com



301 W 60TH PLACE LLC  
500 E 62ND AVE  
DENVER CO 80216-1133

CHALK GEORGE E AND  
CHALK MARIAN F  
13330 E IOWA AVE  
AURORA CO 80012-5323

6201 N BROADWAY LLC  
12249 PENNSYLVANIA ST  
THORNTON CO 80241-3113

FE FLOWERS LLC  
ATTENTION: MIKE FIORE  
DENVER CO 80216-1102

6300 BROADWAY ASSOCIATES LLC  
1800 WAZEE ST STE 500  
DENVER CO 80202-2526

FHLR PROPERTIES  
4880 PEARL ST  
BOULDER CO 80301

777W62 LLC  
777 W 62ND AVE  
DENVER CO 80216-1002

HUNT BROTHERS PROPERTIES INC  
10100 DALLAS ST  
HENDERSON CO 80640-8491

BELLIO DERALD  
6620 NEWTON CT  
ARVADA CO 80003-6421

MENDOZA RAFAEL AND  
MENDOZA FLORENCE  
1955 E 75TH AVE  
DENVER CO 80229

BOULDER CAMPGROUNDS INC  
C/O FHLR LLP  
4880 PEARL ST  
BOULDER CO 80301

MOUNTAIN STATES TELEPHONE  
AND TELEGRAPH CO  
PO BOX 182757  
COLUMBUS OH 43218-2757

BPOS LLC  
PO BOX 314  
GOLDEN CO 80402-0314

NR DENVER INDUSTRIAL PORTFOLIO LLC  
C/O NUVEEN  
PO BOX 30428  
CHARLOTTE NC 28230-0428

BRANNAN SAND AND GRAVEL COMPANY LLC  
2500 BRANNAN WAY  
DENVER CO 80229-7029

NWP HOLDINGS LLC  
7100 N BROADWAY NO 2PPH  
DENVER CO 80221

BRIENZA JAMES E AND BRIENZA GERARD J AND  
RUSSO TRACI J  
5783 SECREST CT  
GOLDEN CO 80403

PIPE FITTERS HOME  
ASSOCIATION  
6350 BROADWAY  
DENVER CO 80216-1035

CHALK GEORGE E AND  
CHALK MARIAN F  
13330 E IOWA  
AURORA CO 80012-5323

PUBLIC SERVICE COMPANY OF COLORADO  
ATTN TAX SERVICES DEPARTMENT  
PO BOX1979  
DENVER CO 80201-1979



SIXTY-FOUR O ONE BROADWAY LLC  
PO BOX 102855  
DENVER CO 80250-2855

BZ PROPERTIES LLC  
OR CURRENT RESIDENT  
6180 BROADWAY  
DENVER CO 80216-1031

SPANO PHILLIP J AND  
SPANO RUTH F  
PO BOX 40  
HENDERSON CO 80640-0040

IORE PARTNERS LLC  
OR CURRENT RESIDENT  
730 W 62ND AVE  
DENVER CO 80216-1020

TRIPLE B VENTURES LLC  
34485 COUNTY ROAD 19  
WINDSOR CO 80550-2601

PIPE FITTERS HOME  
ASSOCIATION  
OR CURRENT RESIDENT  
6350 BROADWAY  
DENVER CO 80216-1035

VANCE BROTHERS INC  
5201 BRIGHTON AVE  
KANSAS CITY MO 64130-3196

STATE OF COLORADO GAME AND  
FISH COMMISSION  
OR CURRENT RESIDENT  
6060 BROADWAY  
DENVER CO 80216-1029

VANCE BROTHERS INC  
380 W 62ND AVE  
DENVER CO 80216-1016

VOGLER REAL ESTATE  
PARTNERS LTD  
OR CURRENT RESIDENT  
6301 BROADWAY  
DENVER CO 80216-1034

VETOS WILLIAM G  
5473 SECREST COURT  
GOLDEN CO 80403

CURRENT RESIDENT  
155 W 62ND AVE  
DENVER CO 80216-1004

WEST 62ND AVE LLC  
7010 BROADWAY STE 107  
DENVER CO 80221-2919

CURRENT RESIDENT  
301 W 60TH PL  
DENVER CO 80216-1011

6145 BROADWAY LLC  
OR CURRENT RESIDENT  
6145 BROADWAY  
DENVER CO 80216-1030

CURRENT RESIDENT  
6350 BROADWAY STE 1  
DENVER CO 80216-1013

705W62 LLC  
OR CURRENT RESIDENT  
705 W 62ND AVE  
DENVER CO 80216-1002

CURRENT RESIDENT  
6350 BROADWAY STE 2  
DENVER CO 80216-1013

AMERICAN TAPE AND LABEL  
COMPANY  
OR CURRENT RESIDENT  
6390 BROADWAY  
DENVER CO 80216-1035

CURRENT RESIDENT  
280 W 62ND AVE  
DENVER CO 80216-1015



CURRENT RESIDENT  
380 W 62ND AVE  
DENVER CO 80216-1016

CURRENT RESIDENT  
605 W 62ND AVE STE A  
DENVER CO 80216-1037

CURRENT RESIDENT  
550 W 62ND AVE  
DENVER CO 80216-1018

CURRENT RESIDENT  
605 W 62ND AVE STE B  
DENVER CO 80216-1037

CURRENT RESIDENT  
552 W 62ND AVE  
DENVER CO 80216-1018

CURRENT RESIDENT  
345 W 62ND AVE STE C200  
DENVER CO 80216-1040

CURRENT RESIDENT  
602 W 62ND AVE  
DENVER CO 80216-1019

CURRENT RESIDENT  
345 W 62ND AVE STE A  
DENVER CO 80216-1047

CURRENT RESIDENT  
690 W 62ND AVE  
DENVER CO 80216-1019

CURRENT RESIDENT  
345 W 62ND AVE STE B  
DENVER CO 80216-1047

CURRENT RESIDENT  
6185 BROADWAY  
DENVER CO 80216-1030

CURRENT RESIDENT  
345 W 62ND AVE STE C  
DENVER CO 80216-1047

CURRENT RESIDENT  
6201 BROADWAY  
DENVER CO 80216-1032

CURRENT RESIDENT  
345 W 62ND AVE STE C-2  
DENVER CO 80216-1047

CURRENT RESIDENT  
6345 BROADWAY  
DENVER CO 80216-1034

CURRENT RESIDENT  
345 W 62ND AVE STE C201  
DENVER CO 80216-1047

CURRENT RESIDENT  
6385 BROADWAY  
DENVER CO 80216-1034

CURRENT RESIDENT  
345 W 62ND AVE STE C203  
DENVER CO 80216-1047

CURRENT RESIDENT  
6300 BROADWAY  
DENVER CO 80216-1035

CURRENT RESIDENT  
345 W 62ND AVE STE C210  
DENVER CO 80216-1047



CURRENT RESIDENT  
345 W 62ND AVE STE D  
DENVER CO 80216-1047

CURRENT RESIDENT  
495 W 64TH AVE  
DENVER CO 80221-2811

CURRENT RESIDENT  
345 W 62ND AVE STE C211  
DENVER CO 80216-1098

CURRENT RESIDENT  
600 W 64TH AVE  
DENVER CO 80221-2814

CURRENT RESIDENT  
345 W 62ND AVE STE C212  
DENVER CO 80216-1098

CURRENT RESIDENT  
6401 BROADWAY STE A  
DENVER CO 80221-2853

CURRENT RESIDENT  
345 W 62ND AVE STE C213  
DENVER CO 80216-1098

CURRENT RESIDENT  
6401 BROADWAY STE B  
DENVER CO 80221-2853

CURRENT RESIDENT  
80 E 62ND AVE  
DENVER CO 80216-1102

CURRENT RESIDENT  
6401 BROADWAY STE C  
DENVER CO 80221-2853

CURRENT RESIDENT  
701 W 64TH AVE UNIT A  
DENVER CO 80221-2801

CURRENT RESIDENT  
6401 BROADWAY STE D  
DENVER CO 80221-2853

CURRENT RESIDENT  
701 W 64TH AVE UNIT B  
DENVER CO 80221-2801

CURRENT RESIDENT  
6401 BROADWAY STE E  
DENVER CO 80221-2853

CURRENT RESIDENT  
75 W 64TH AVE  
DENVER CO 80221-2807

CURRENT RESIDENT  
6401 BROADWAY STE F  
DENVER CO 80221-2853

CURRENT RESIDENT  
100 W 64TH AVE  
DENVER CO 80221-2808

CURRENT RESIDENT  
6401 BROADWAY STE G  
DENVER CO 80221-2853

CURRENT RESIDENT  
475 W 64TH AVE  
DENVER CO 80221-2811

CURRENT RESIDENT  
6401 BROADWAY STE H  
DENVER CO 80221-2853



CURRENT RESIDENT  
6401 BROADWAY STE I  
DENVER CO 80221-2853

CURRENT RESIDENT  
6401 BROADWAY STE T  
DENVER CO 80221-2853

CURRENT RESIDENT  
6401 BROADWAY STE J  
DENVER CO 80221-2853

CURRENT RESIDENT  
6401 BROADWAY STE U  
DENVER CO 80221-2853

CURRENT RESIDENT  
6401 BROADWAY STE K  
DENVER CO 80221-2853

CURRENT RESIDENT  
6401 BROADWAY STE V  
DENVER CO 80221-2853

CURRENT RESIDENT  
6401 BROADWAY STE L  
DENVER CO 80221-2853

CURRENT RESIDENT  
6400 BROADWAY STE 1  
DENVER CO 80221-2854

CURRENT RESIDENT  
6401 BROADWAY STE M  
DENVER CO 80221-2853

CURRENT RESIDENT  
6400 BROADWAY STE 11  
DENVER CO 80221-2854

CURRENT RESIDENT  
6401 BROADWAY STE N  
DENVER CO 80221-2853

CURRENT RESIDENT  
6400 BROADWAY STE 2  
DENVER CO 80221-2854

CURRENT RESIDENT  
6401 BROADWAY STE O  
DENVER CO 80221-2853

CURRENT RESIDENT  
6400 BROADWAY STE 3  
DENVER CO 80221-2854

CURRENT RESIDENT  
6401 BROADWAY STE P  
DENVER CO 80221-2853

CURRENT RESIDENT  
6400 BROADWAY STE 4  
DENVER CO 80221-2854

CURRENT RESIDENT  
6401 BROADWAY STE Q  
DENVER CO 80221-2853

CURRENT RESIDENT  
6400 BROADWAY STE 5  
DENVER CO 80221-2854

CURRENT RESIDENT  
6401 BROADWAY STE R  
DENVER CO 80221-2853

CURRENT RESIDENT  
6400 BROADWAY STE 6  
DENVER CO 80221-2854



CURRENT RESIDENT  
6400 BROADWAY STE 7  
DENVER CO 80221-2854

CURRENT RESIDENT  
6400 BROADWAY STE 8  
DENVER CO 80221-2854

CURRENT RESIDENT  
501 W 64TH AVE  
DENVER CO 80221-2855



# CERTIFICATE OF POSTING



I, Alan Sielaff, do hereby certify that I had the property posted at

345 W. 62<sup>nd</sup> Avenue, Denver, CO 80216

on May 25, 2021

in accordance with the requirements of the Adams County Development Standards  
and Regulations

A handwritten signature in blue ink, appearing to read 'Alan Sielaff', is written over a horizontal line.

Alan Sielaff, Planner II



# **Asphalt Specialties**

**RCU2021-00003**

**345 W. 62<sup>nd</sup> Avenue**

June 29, 2021

Board of County Commissioners Public Hearing

Community and Economic Development Department

Case Manager: Alan Sielaff





# Request

- Conditional Use Permit (CUP) for the following requests:
  - 1) Conduct aggregate recycling operations
  - 2) Stacking of aggregate material up to 25 feet in height

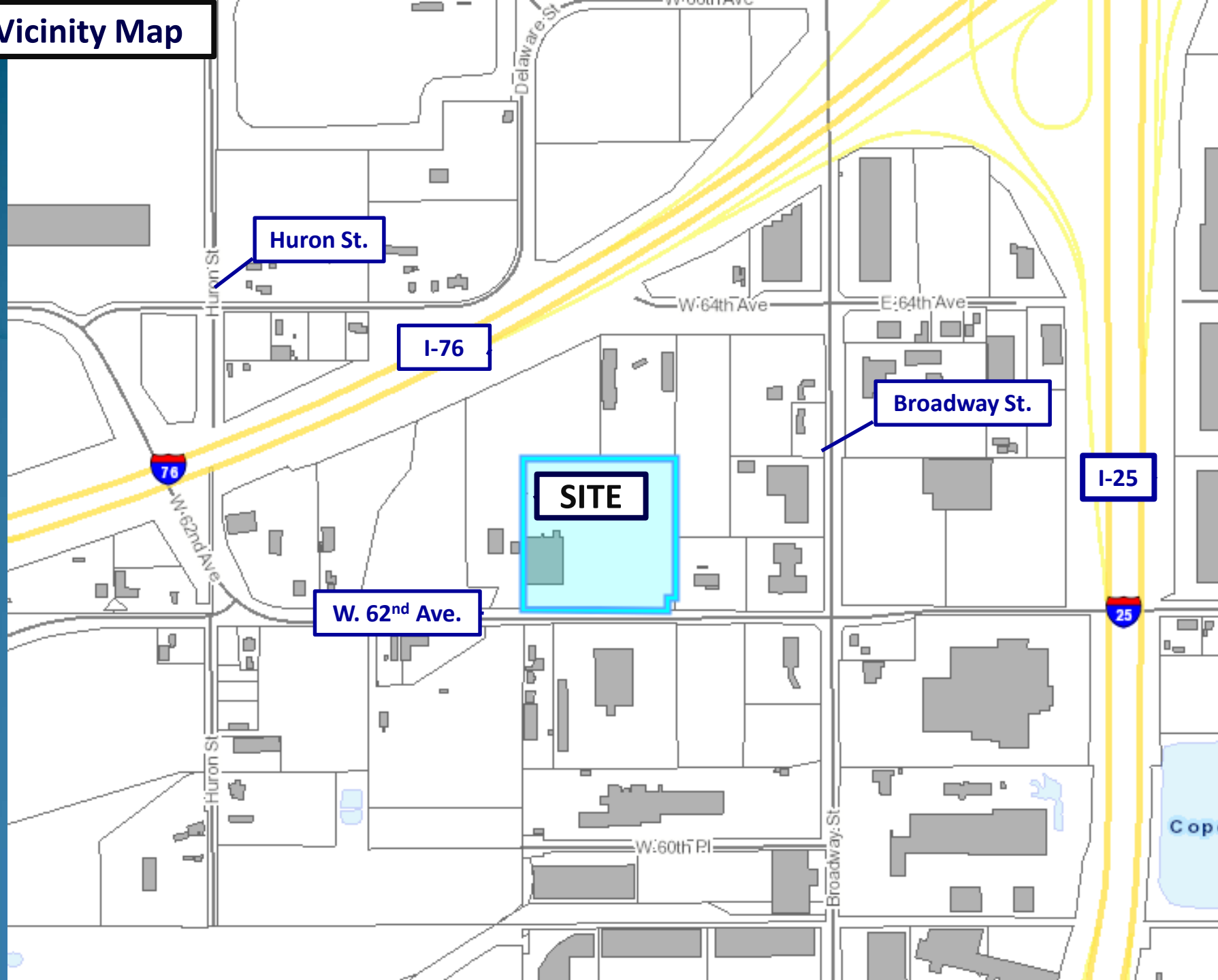


# Background

- Site Area: 9.9 acres
- Site Zoning: Industrial-3 (I-3)
- Future Land Use: Industrial
- Request to add aggregate recycling operations and increase allowed stockpile height at existing asphalt production plant
- Applicant moved to this site from a nearby location at 6555 Huron Street
- Change-in-Use permit obtained for production plant ahead of 2021 construction season



# Vicinity Map





# Aerial Map



I-76

W 64th Ave

76

Broadway St.

SITE

W. 62nd Ave.



# Zoning Map

A-1

I-2

W. 64th Ave

I-76

I-3

**SITE**

I-3

Broadway St.

W. 62<sup>nd</sup> Ave.

I-2

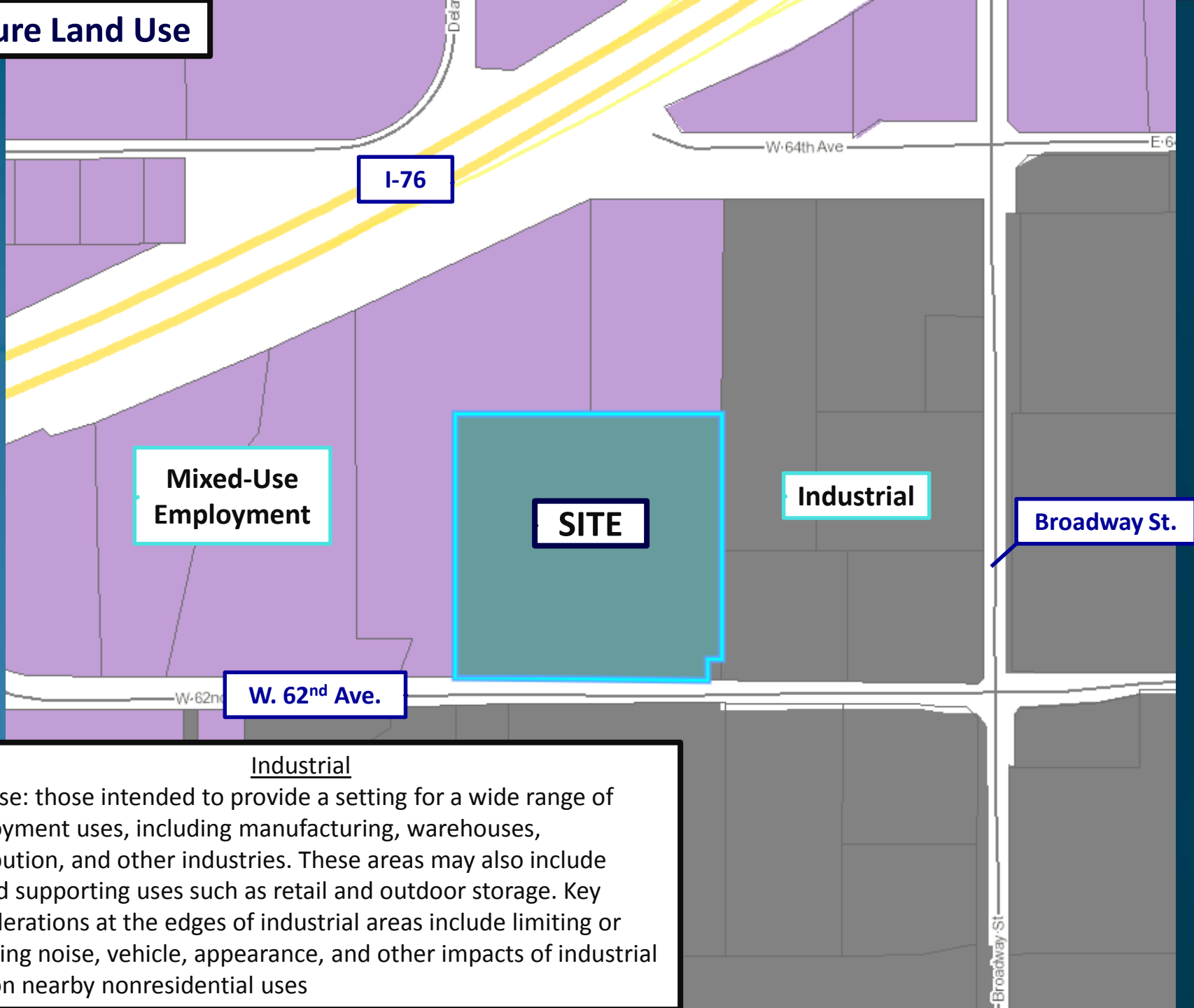
Broadway St

## Industrial-3

Purpose (I-3): To provide a heavy industrial district designed to accommodate most industrial enterprises.



## Future Land Use



**Mixed-Use  
Employment**

**SITE**

**Industrial**

**Broadway St.**

W-62nd

**W. 62nd Ave.**

W-64th Ave

E-6

### Industrial

Purpose: those intended to provide a setting for a wide range of employment uses, including manufacturing, warehouses, distribution, and other industries. These areas may also include limited supporting uses such as retail and outdoor storage. Key considerations at the edges of industrial areas include limiting or buffering noise, vehicle, appearance, and other impacts of industrial uses on nearby nonresidential uses























# Criteria for Conditional Use Permit

Section 2-02-09-06

1. The use is permitted in zone district
2. Request is consistent with purpose of regulations
3. Request will comply with performance standards
4. The use is harmonious & compatible with the surrounding area
5. Application has addressed all off-site impacts
6. The site suitable for the proposed use
7. The site plan is adequate for the proposed use
8. Sufficient services are available to serve the proposed use



# Additional Criteria – Outdoor or Accessory Storage

Section 2-02-09-07-05

1. There is a need for the outdoor storage operation.
2. Compatible with Comprehensive Plan, complies with zoning requirements and development standards.
3. Outdoor storage use is clearly subordinate to a principal use.
4. Aesthetic concerns have been taken into consideration.



# Additional Criteria – Solid Waste Recycling Facilities

Section 2-02-09-07-06

1. There is a need for the recycling facility.
2. Compatible with Comprehensive Plan, complies with zoning requirements and development standards.
3. Ability to comply with health standards and operating procedures as provided by the Colorado Department of Public Health and Environment, Tri-County Health Department, Fire District, and other relevant agencies.
4. Will not cause significant traffic congestion or traffic hazards.
5. Compatible with the surrounding area.
6. Accessible to Adams County residents and other potential users.
7. Will not adversely impact health and welfare of the community based upon specific design and operating procedures.



# Conditional Use Request – Operations

- Production takes place 9-10 months out of the year
- Utilizes raw and recycled materials
- Production batch plant is 75 ft. height
- Recycling equipment is 25 ft. height
- Aggregate and recycled material stockpile height up to 25 ft. height
- Internal circulation compliant with emergency access requirements
- Will not utilize existing warehouse building
- Site design to accommodate anticipated right-of-way dedication of W. 62<sup>nd</sup> Avenue as part of County CIP project







# Zoning and Development Standards

- Asphalt and concrete production allowed by-right in the I-3 zone
- Aggregate recycling:
  - Activity required classification as a Recycling Facility
  - Allowed as conditional use in the I-3 zone
  - Use-specific performance standards include screening, appearance, traffic and nuisance control, recordkeeping, and bond for removal of materials
- Outdoor storage under 10 acres and under 80% of site allowed by-right in the I-3 zone
  - Stacking height cannot exceed height of screen fence unless approved by the BoCC
- Landscaping provided to meet site coverage and street frontage requirements.
- Overall use must adhere to operational standards for Heavy Industrial uses and standards of Section 4-14 for lighting, noise, dust and debris, and other potential negative impacts



# Referral Comments

Notifications Sent*	Comments Received
103	0

\*Property owners and occupants within 1,000 feet

Public Comment: None received

Referral Agency Comment:

- Comment:
  - CDPHE, TCHD, Xcel
- Responding without Concerns:
  - ACFR, CDOT, City of Westminster, RTD
- Additional referrals provided no response



# Planning Commission Update

- The Planning Commission considered this case on June 10, 2021 and voted (6-0) to recommend approval of the request.
- No members of the public spoke.
- Planning Commission asked staff and the applicant questions regarding stormwater management, future use of the vacant warehouse, and how recycling operations are currently conducted.



# Staff Recommendation

(RCU2021-00003: Asphalt Specialties – 345 W. 62nd Avenue)

Staff recommends **approval** of the proposed Conditional Use Permit (RCU2021-00003) with 19 findings-of-fact, 6 conditions precedent, 6 conditions and 2 notes.



# Recommended Findings-of-Fact

## Conditional Use Permit (see Section 2-02-09-06):

1. The conditional use is permitted in the applicable zone district.
2. The conditional use is consistent with the purposes of these standards and regulations.
3. The conditional use will comply with the requirements of these standards and regulations including, but not limited to, all applicable performance standards.
4. The conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. In making this determination, the Planning Commission and the Board of County Commissioners shall find, at a minimum, that the conditional use will not result in excessive traffic generation, noise, vibration, dust, glare, heat, smoke, fumes, gas, odors, or inappropriate hours of operation.
5. The conditional use permit has addressed all off-site impacts.
6. The site is suitable for the conditional use including adequate usable space, adequate access, and absence of environmental constraints.
7. The site plan for the proposed conditional use will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
8. Sewer, water, storm water drainage, fire protection, police protection, and roads are to be available and adequate to serve the needs of the conditional use as designed and proposed.



# Recommended Findings-of-Fact

## Conditional Use Permit - Outdoor Storage and Accessory Outdoor Storage (2-02-09-07-05)

9. There is a need for the outdoor storage operation for the benefit of Adams County.
10. The request is compatible with the Adams County Comprehensive Plan, complies with the minimum zoning requirements of the zone district in which the Conditional Use Permit is to be granted, and complies with all other applicable requirements of the Adams County Development Standards and Regulations.
11. The proposed outdoor storage is clearly subordinate to a principal use of the property.
12. Aesthetic concerns have been taken into consideration during the site design and placement of the outdoor storage.



# Recommended Findings-of-Fact

## Conditional Use Permit - Solid Waste Recycling Facilities (2-02-09-07-06)

13. There is a need for the facility, and it will provide a benefit to Adams County.
14. The request is compatible with the Adams County Comprehensive Plan, complies with the minimum zoning requirements of the zone district in which the Conditional Use Permit is to be granted, and complies with all other applicable requirements of the Adams County Zoning and Subdivision Regulations.
15. The applicant has documented his ability to comply with the health standards and operating procedures as provided by the Colorado Department of Public Health and Environment, Tri-County Health Department, Fire District, and other relevant agencies.
16. The proposed facility will not cause significant traffic congestion or traffic hazards.
17. The request is compatible with the surrounding area.
18. The site is accessible to Adams County residents and other potential users.
19. The site will not adversely impact health and welfare of the community based upon specific design and operating procedures.



# Recommended Conditions Precedent

1. The applicant shall obtain final approval for required site engineering improvements as part of case # EGR2020-00038.
2. Dedication of 40 ft. of right-of-way is requested along the south portion of this site in order to complete the W. 62nd Avenue standard right-of-way width. Dedication application packets have been provided to the applicant.
3. A building permit for any foundation or tie-down of the recycling equipment, or electrical connections may be required. Applicant shall obtain a permit if required or provide written confirmation from the Building Safety Division if no additional permits are required.
4. Required site landscaping shall be installed and inspected in accordance with the approved landscape plan.
5. The applicant shall provide a Performance Bond in the amount of \$37,625 to remove stockpiled aggregate materials should the site be abandoned or any corrective actions be required by the County in order to protect the health, safety, and general welfare which result from failure of the operator to follow any regulations, standards, or conditions of approval.
6. The applicant shall receive a "Notice to Proceed" from the Department of Community and Economic Development. Written proof that all of the Conditions Precedent have been satisfied shall be required prior to receiving this notice.



# Recommended Conditions

1. The Conditional Use Permit shall expire on June 29, 2026 (five years).
2. The operator shall maintain records showing amounts of stockpiled materials both processed and unprocessed. In addition, records containing customer lists and showing amounts of recycled material shipped off-site shall be maintained.
3. The operator shall inspect exterior roads for tracking of debris at least twice per day. Debris, including waste material consisting of concrete, asphalt, soil, and rock that is brought to the facility along public rights-of-way within one-half (1/2) mile of the facility shall be removed by the close of each business day.
4. Wind monitoring equipment shall be installed and maintained at all times. The facility shall cease operations during periods of high winds. High winds shall be defined as sustained winds equal to or greater than 25 mph or gusts of 35 mph.
5. Records of high wind shutdowns shall be maintained and kept available on-site for review for one-year.
6. The operator shall adhere to the operations plan as provided with the permit application and must maintain records of all unacceptable materials removed from incoming loads and transported off-site for proper disposal/recycling.



# Recommended Notes to the Applicant

1. The applicant shall comply with all building, zoning, fire, engineering, and health codes and regulations during the development and operation of the subject site.
2. Any increase in the requested aggregate stockpile height of 25 ft. will require a major amendment to the conditional use permit.









**COMMUNITY AND ECONOMIC DEVELOPMENT  
DEPARTMENT**

**CASE NO.: RCU2020-00011**

**CASE NAME: StreetMedia 76<sup>th</sup> Avenue Billboard**

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- 3.2 Applicant Site Plan
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- 4.2 Referral Comments (CDPHE)
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- 6.3 Newspaper Publication
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**COMMUNITY AND ECONOMIC DEVELOPMENT  
DEPARTMENT  
STAFF REPORT**

**Board of County Commissioners**

**June 29, 2021**

CASE No.: RCU2020-00011 CASE NAME: <b>StreetMedia 76<sup>th</sup> Avenue Billboard</b>	
Owner's Name:	San Martin Caballero, LLC
Applicant's Name:	Gary Young, Street Media Group, LLC
Applicant's Address:	161 Saturn Drive Unit 5A Fort Collins, CO 80525
Location of Request:	333 E. 76 <sup>th</sup> Ave, Denver, Colorado 80229
Nature of Request:	Conditional Use Permit to construct a billboard in the I-1 zone district.
Zone District:	Industrial-1 (I-1)
Future Land Use:	Mixed Use Neighborhood
Site Size:	0.8876 Acres (38,663.9 square feet)
Proposed Use:	Commercial/ Electronic Billboard
Existing Use:	Commercial / Industrial
Hearing Date(s):	<b>PC: June 10, 2021 / 6:00 pm</b> <b>BoCC: June 29, 2021 / 9:30 am</b>
Report Date:	June 2, 2021
Case Manager:	Thomas Dimperio
PC Recommendation:	Staff recommends APPROVAL of the subject request, with 8 Findings-of-Fact, 3 Conditions, and 2 Notes to the applicant.

**SUMMARY OF APPLICATION**

**Background:**

The applicant, Gary Young of Street Media Group, is requesting a conditional use permit to allow for an off-premise electronic sign (billboard) in the Industrial-1 (I-1) zone district. The property is currently developed with a structure containing warehouse space, service garages, and offices for a landscape company.

**Site Characteristics:**

The subject property is zoned as Industrial-1 (I-1) and is 0.8876 acres. The parcel is adjacent to residential uses to the east, and Interstate 25 to the west. The billboard is proposed to be located in the southern portion of the parcel, roughly 60 feet from the eastern property line, 40 feet from the western property line, and 47 feet from the southern property line. All setbacks listed above



are measured from the leading edge of the sign pole. Sign face setbacks are as follows: 28 feet from the western property line and 20 feet from the southwestern property line. There is an existing on-premise electronic sign on the property that will be removed to ground level prior to final inspection of the proposed billboard.

**Development Standards and Regulations:**

The property is zoned Industrial-1 (I-1). Per Section 3-24-01 of the County's Development Standards and Regulations, the purpose of the Industrial-1 District is to provide a general commercial and limited industrial district designed to provide for a variety of compatible business, warehouse, wholesale, offices and very limited industrial uses. Off-premise advertising devices are permitted with an approved Conditional Use Permit in the I-1 zone district.

Section 4-16 of the County's Development Standards and Regulations outlines the required design and performance standards for billboards, which includes standards for electronic signs. These standards ensure outdoor advertising devices are properly located to minimize visual and physical impacts to surrounding properties. Required design standards include maximum height, maximum sign area, number of billboards allowed per lot, minimum setbacks from property lines, and minimum spacing from other off-premise signs.

The applicant has submitted a site plan and elevation drawings with the subject request. The proposed billboard is 48 feet in height. Per Section 4-16-05, the height shall be determined as the distance from the grade of the right-of-way on which the sign fronts to the top of the sign including all projections. The roadway elevation of the adjacent Interstate 25 is 8 feet higher than the established grade where the sign will be placed, allowing the sign to have a total height of 48 feet.

The proposed sign has two advertising faces, with each being three hundred (300) square feet per sign face. The proposed height and size of the billboard conforms to the County's required maximum height of 40 feet from the grade of the right-of-way and maximum sign area of 300 square feet for each single sign face. The sign faces are shown to be arranged in a V-shape configuration, with the sign faces no more than 15 feet apart at the widest point.

Section 4-16-07 of the County's Development Standards and Regulations outlines other limitations for off-premise signs. The minimum right-of-way and property line setback requirements shall be equal to the height of the billboard, as measured from the leading edge of the sign face. Variations in the setback requirement may be granted with the issuance of a Conditional Use Permit. The proposed billboard is 40 feet in height from the adjacent right-of-way, so all setbacks would be required to be a minimum of 40 feet.

Per Section 4-16-03 of the County's Development Standards and Regulations, only one off-premise sign is permitted per lot. In addition, all off-premise signs located on the same side of a road or highway shall be separated by a minimum of 2,000 linear feet. The proposed billboard will be the only billboard permitted on the property and the applicant has provided documentation demonstrating that no billboards are within 2,000 linear feet of the subject site.



Per Section 4-16-06-02 of the County's Development Standards and Regulations, an electronic sign is permitted as part of a billboard. Performance standards for electronic signs include duration of message, transition of message, prohibited electronic devices, and maximum brightness. According to the Development Standards and Regulations, each message displayed shall remain static for a minimum of four seconds, with 10 seconds being optimal, and must transition immediately to the next message displayed. All such signs shall have a default mode to prevent the display from malfunctioning in a flashing or intermittent fashion. In accordance with Section 4-16-06-02 of the County's Development Standards and Regulations, electronic devices shall not display animated images or graphics, scrolling messages, videos, or emit audible sounds. In addition, each sign shall be equipped with light monitors and controls that automatically adjust to environmental/outside conditions. According to the applicant, the proposed billboard will conform to all electronic sign performance standards, including the minimum duration of message of four (4) seconds. The sign will display only static messages and shall not exceed the maximum brightness of 0.3 footcandles during nighttime hours from sunset to sunrise.

In addition to the Adams County Development Standards and Regulations, the proposed billboard must show compliance with all the requirements of the Colorado Outdoor Advertising Act, C.R.S. 43-1-401 et. Seq. and the Colorado rules and regulations promulgated thereunder by the Colorado Department of Transportation.

**Future Land Use Designation/Comprehensive Plan:**

The future land use designation on the property is Mixed Use Neighborhood. Per Chapter 5 of the Adams County Comprehensive Plan, the purpose of Mixed Use Neighborhood areas is to allow for a range of urban level residential uses, including single and multi-family housing combined with compatible and supporting uses and activities that serve the neighborhood and are developed and operated in harmony with the residential characteristics of a neighborhood. New Mixed Use Neighborhoods should only be located in areas with adequate public infrastructure and services, schools, and access to transportation. Existing Mixed Use Neighborhoods generally feature a combination of existing residential and some limited neighborhood-scale non-residential development. Future development in these areas should complement and minimize impacts to existing residential development.

The recommendation of approval for the subject billboard is based strictly on the criteria of approval for a Conditional Use Permit; however, it is important to discuss the project's compliance with the applicable subarea plans. The Comprehensive Plan and its adopted subarea plans are intended to provide guidance for future development within the County. The subject parcel is located within the Southwest Area Framework Plan. The Southwest Area Framework Plan is an adopted plan in the Comprehensive plan. The plan includes a Policy 14.7 to *Enhance the area's role as an important County Gateway*. Strategies in completing the goals include:

1. 14.7.a. *Entryway Image* – Initiate landscaping, streetscaping, and buffering programs to improve the entryway image of the County as viewed from I-70, I-25, and I-76 and key highway exits into the County;



2. 14.7.b. *Screening and Buffering* – Require improved buffering for new development along the I-70, I-25, and I-76 corridors, and require screening for new outdoor storage and activities visible from I-70, I-25, and I-76; and
3. 14.7.c *Signs* – Review and update the sign regulation provisions, including control of off-premise signs, applicable to private lands visible from I-70, I-25, and I-76 and key highway exits into the County.

Strategy 14.7.c suggests that the County should update the sign code to potentially control the number of off-premise signs permitted along gateways into Adams County. The plan also suggests that setbacks and buffers from I-25 and I-76 should be greater than in other areas of the County.

**Surrounding Zoning Designations and Existing Use Activity:**

<b>Northwest Interstate 25</b>	<b>North Interstate-25 / CDOT Right- of-way</b>	<b>Northeast PUD Residential</b>
<b>West Interstate 25</b>	<b>Subject Property Industrial-1 Vacant</b>	<b>East PUD Residential</b>
<b>Southwest Interstate 25</b>	<b>South Industrial-1 Industrial</b>	<b>Southeast R-1-C Residential</b>

**Compatibility with the Surrounding Area:**

The subject parcel is located west of the intersection of Washington Street and E. 76<sup>th</sup> Avenue, where E. 76<sup>th</sup> dead ends into Interstate 25. The properties to the east of the subject parcel are zoned for residential uses, including a residential PUD and other properties zoned R-1-C. The properties to the south and southeast are zoned I-1 and R-1-C. To the north of the subject parcel is a CDOT facility within the Interstate 25 right-of-way, and to the west is Interstate 25.

**Planning Commission Update:**

The case was heard by the Adams County Planning Commission on June 10, 2021. Members of the Commission had some concerns regarding the compatibility of the billboard with the surrounding area, specifically the residential properties adjacent to the site and the visual clutter that would be exacerbated by the proposed billboard, as well as motorist safety as the billboard would add a potential distraction to motorists as they are merging onto Interstate 25. No members of the public spoke at the hearing.

**Staff Recommendation:**

Based upon the application, the criteria for approval of a Conditional Use Permit, Staff recommends APPROVAL of the subject request with 8 Findings-of-Fact, 3 Conditions, and 2 Notes to the applicant.



### **RECOMMENDED FINDINGS-OF-FACT**

1. The conditional use is permitted in the applicable zone district.
2. The conditional use is consistent with the purposes of these standards and regulations.
3. The conditional use will comply with the requirements of these standards and regulations, including but not limited to, all applicable performance standards.
4. The conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
5. The conditional use permit has addressed all off-site impacts.
6. The site is suitable for the proposed conditional use including adequate usable space, adequate access, and absence of environmental constraints.
7. The site plan for the proposed conditional use will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
8. Sewer, water, storm water drainage, fire protection, police protection, and roads are available and adequate to serve the needs of the conditional use as designed and proposed.

### **Recommended Conditions of Approval:**

1. The applicant shall obtain a building permit from Adams County for the billboard, including all required building permit inspections.
2. Each message displayed on the billboard shall remain static for a minimum of four (4) seconds and must transition immediately to the next message displayed.
3. The approval of the off-premise sign shall expire June 29, 2031.

### **Recommended Notes to the Applicant:**

1. All applicable building, zoning, health, fire, and engineering requirements and codes shall be adhered to with this request. The applicant may submit an alternative design that can be approved through a Minor Amendment to this Conditional Use Permit by staff, as long as the design complies with the Adams County Development Standards and Regulations at the time of building permit application.
2. The conditional use permit shall expire on June 29, 2022 if sign permits are not obtained from Adams County.

### **CITIZEN COMMENTS**

Notifications Sent	Comments Received
516	2

All property owners and occupants within 1,000 feet of the subject property were notified of the request. As of writing this report, staff has received two public comments, both from the same person. The first comment letter was in opposition to the billboard, citing the existing on-premise sign on the subject property and its brightness and changing advertisements. However, after meeting with the applicant, the commenter has provided a follow-up letter expressing support for the billboard.



## **REFERRAL AGENCY COMMENTS**

Staff notified several Referral Agencies throughout this process and no concerns were identified.

### **Responding with Concerns:**

N/A

### **Responding without Concerns:**

Colorado Department of Public Health and Environment (CDPHE)

Colorado Department of Transportation

RTD

Thornton Fire Department

Tri-County Health Department (TCHD)

Xcel Energy

### **Notified but not Responding / Considered a Favorable Response:**

Adams 12 Five Star Schools

Adams County Fire

Adams County Sheriff

Adams County School District 14

Century Link, Inc.

City of Commerce City

City of Federal Heights

City of Thornton

City of Westminster

Colorado Division of Wildlife

Comcast

Crestview Water and Sanitation District

Federal Heights Fire Department

Goat Hill

Mapleton School District #1

Metro Wastewater Reclamation

North Pecos Water and Sanitation District

North Washington Street Water and Sanitation District

Perl Mack Neighborhood Group

South Adams County Fire

South Adams County Water and Sanitation District

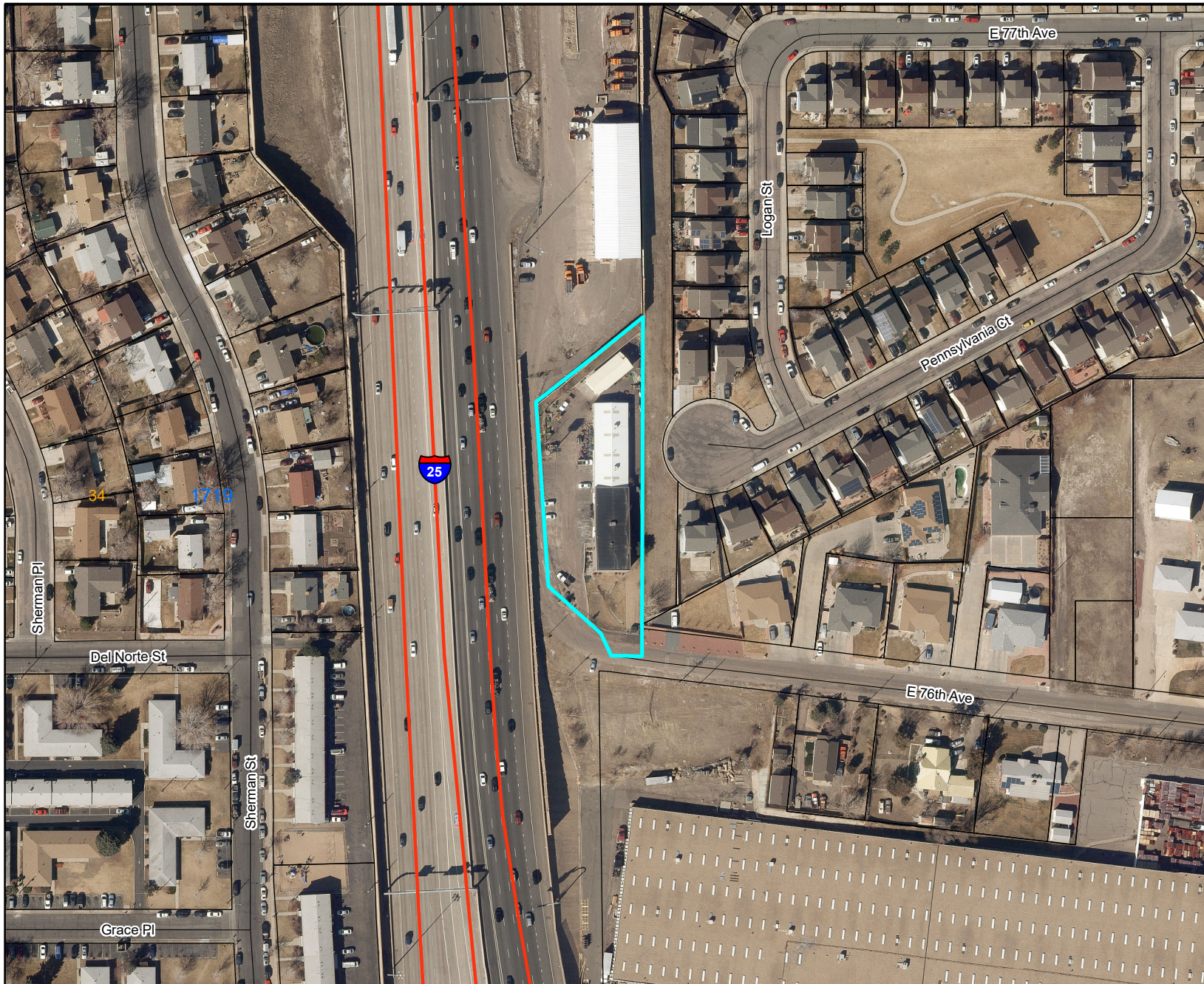
Union Pacific Railroad

Welby Citizen Group

Westminster Fire Department

Westminster School District #50





# Legend

- Railroad
- Major Water
- Zoning Line
- Sections

Case Name: 76th Avenue Billboard

Case Number: RCU2020-00011



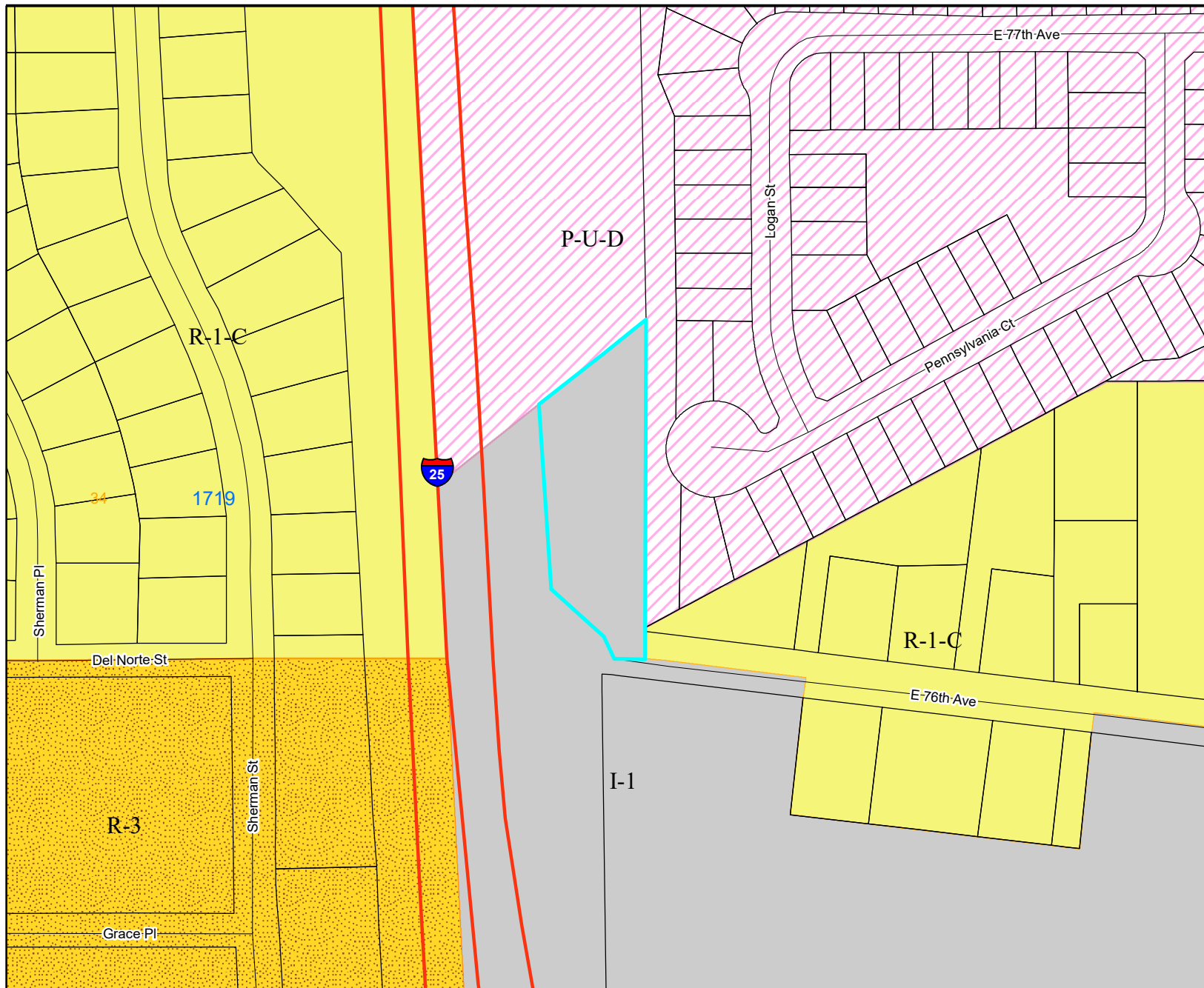
For display purposes only.



ADAMS COUNTY  
COLORADO

This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy





# Legend

- Railroad
- Major Water
- Zoning Line
- Sections

## Zoning Districts

- A-1
- A-2
- A-3
- R-E
- R-1-A
- R-1-C
- R-2
- R-3
- R-4
- M-H
- C-0
- C-1
- C-2
- C-3
- C-4
- C-5
- I-1
- I-2
- I-3
- CO
- PL
- AV
- DIA
- P-U-D
- P-U-D(P)

Case Name: 76th Avenue Billboard

Case Number: RCU2020-00011



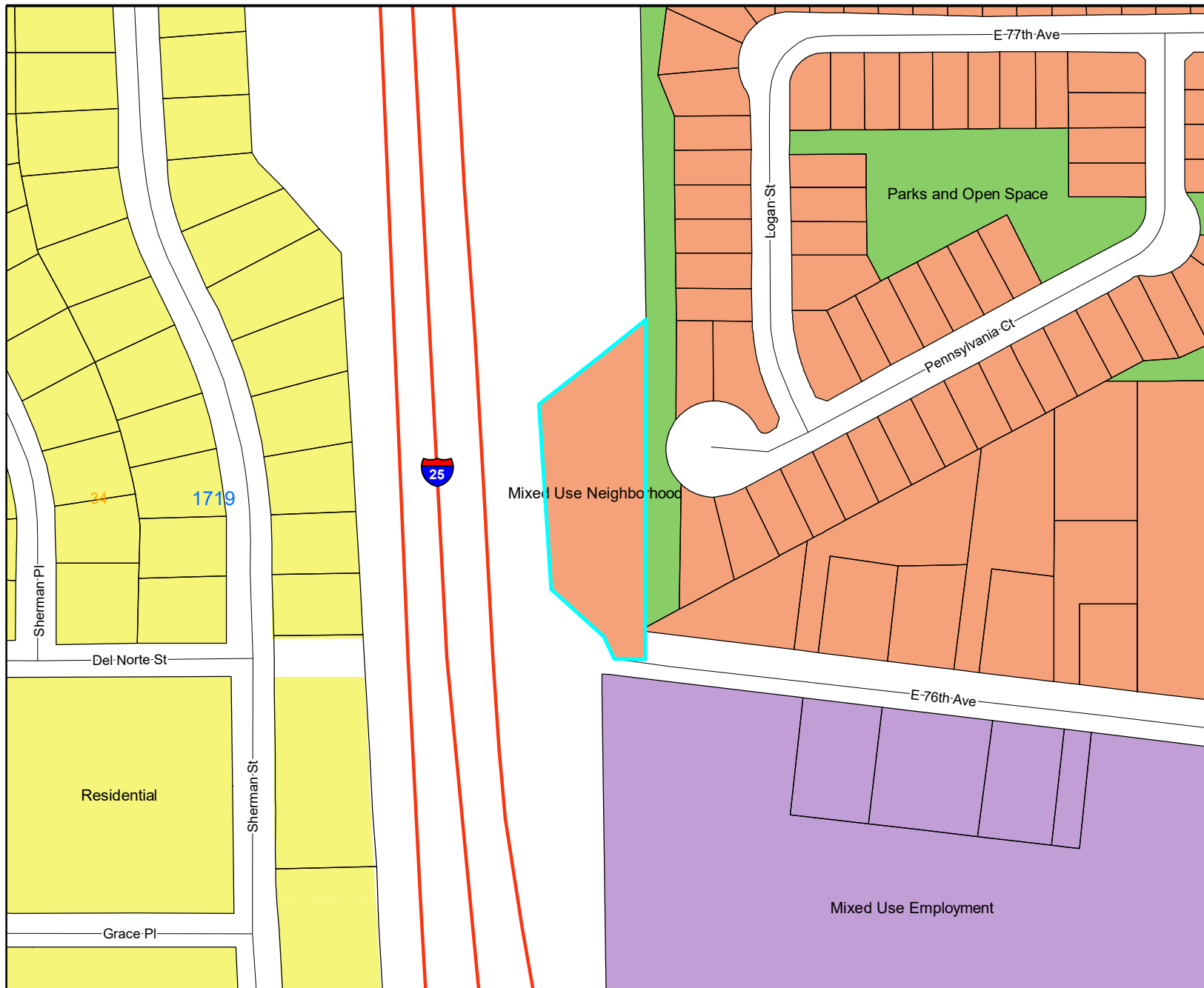
For display purposes only.



ADAMS COUNTY  
COLORADO

This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy





# Legend

- +— Railroad
- Major Water
- Zoning Line
- Sections

**Case Name: 76th Avenue Billboard**

**Case Number: RCU2020-00011**



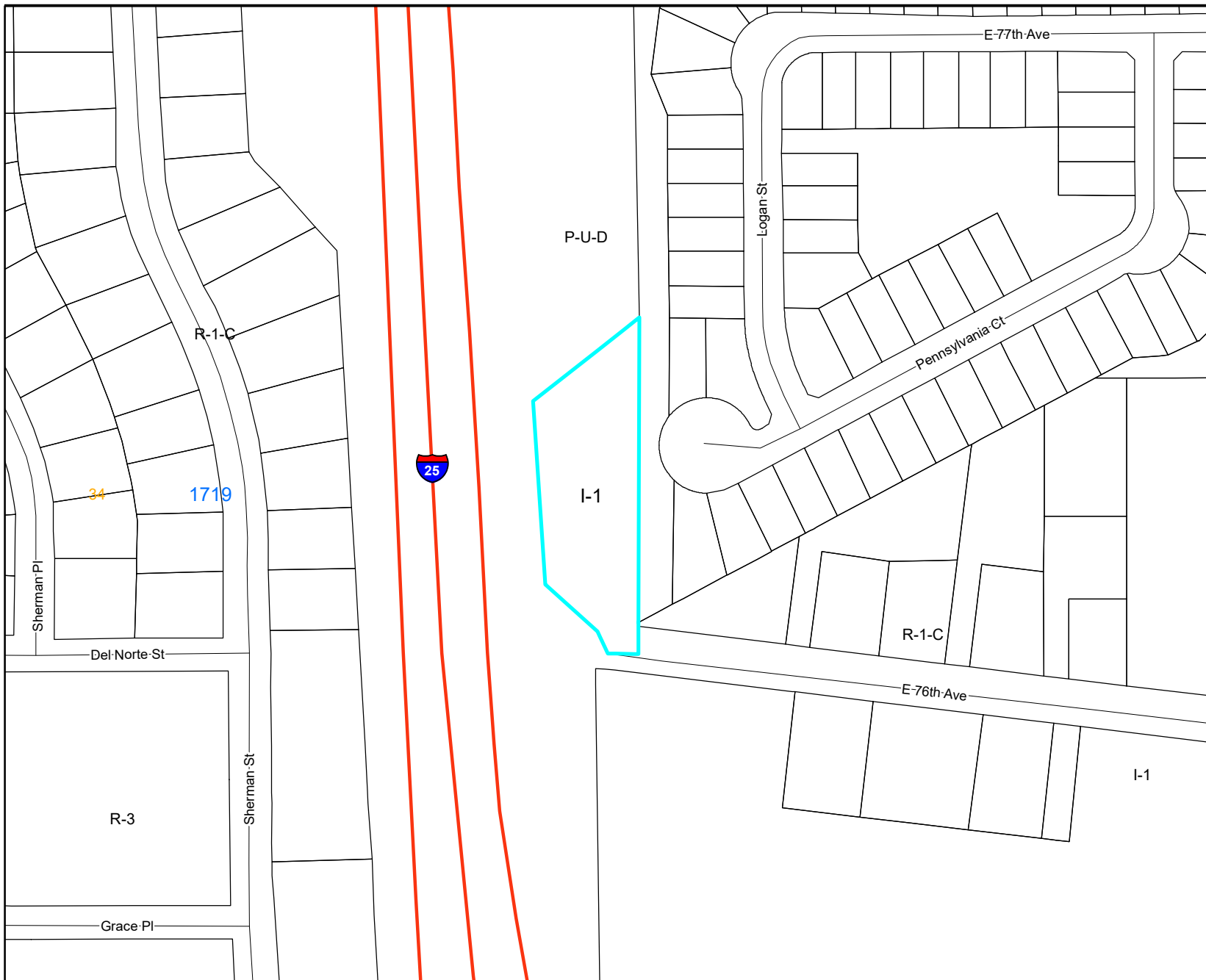
For display purposes only.



**ADAMS COUNTY**  
COLORADO

This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy





**Legend**

- +— Railroad
- Major Water
- Zoning Line
- Sections

**Case Name: 76th Avenue Billboard**

**Case Number: RCU2020-00011**



For display purposes only.



**ADAMS COUNTY**  
COLORADO

This map is made possible  
by the Adams County GIS  
group, which assumes no  
responsibility for its accuracy



APPLICATION FOR CONDITIONAL USE PERMIT APPROVAL  
FOR OFF-PREMISE ADVERTISING DEVICE (BILLBOARD)

Applicant: StreetMedia Group, LLC  
Location: 333 East 76<sup>th</sup> Avenue

**WRITTEN EXPLANATION OF THE PROJECT**

StreetMedia Group proposes to conduct an off-premise advertising device (billboard) at the east side of I-25 and north side of E. 76<sup>th</sup> Avenue, which is commonly known as 333 E. 76<sup>th</sup> Avenue (“SUBJECT PROPERTY”) (PIN 0171934100005) in the location shown on the enclosed site plan. The Subject Property is 0.887 acres in area and is zoned I-1 (“DISTRICT”). The existing use of the Subject Property is office and warehouse for CoCal Landscaping, a permitted use in the District.

Billboards are allowed in the District with an approved Conditional Use Permit (“CUP”). CUPs are subject to the approval criteria set out in Section 2-02-09-06, Adams County Development Standards and Regulations (“ADCO STANDARDS”). Billboard performance standards are set out in ADCO Standards § 4-15. No other ADCO Standards apply during the conditional use permit process.

The proposed billboard complies with all applicable CUP and performance standards, as follows:

**CUP STANDARD #1.** THE CONDITIONAL USE IS PERMITTED IN THE APPLICABLE ZONE DISTRICT. Billboards are allowed as a conditional use in the District.

**CUP STANDARD #2.** THE CONDITIONAL USE IS CONSISTENT WITH THE PURPOSES OF [THE ADCO STANDARDS].

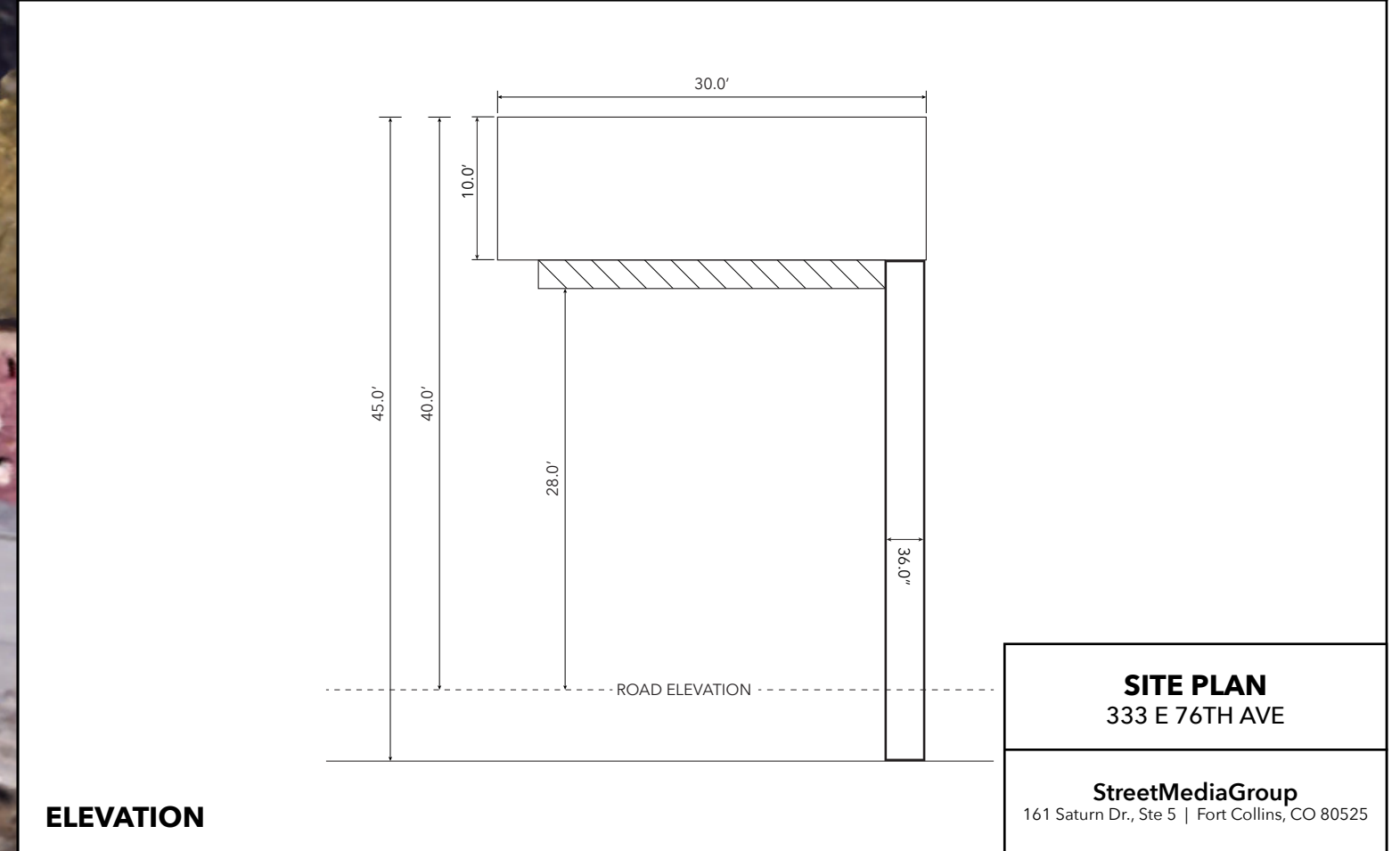
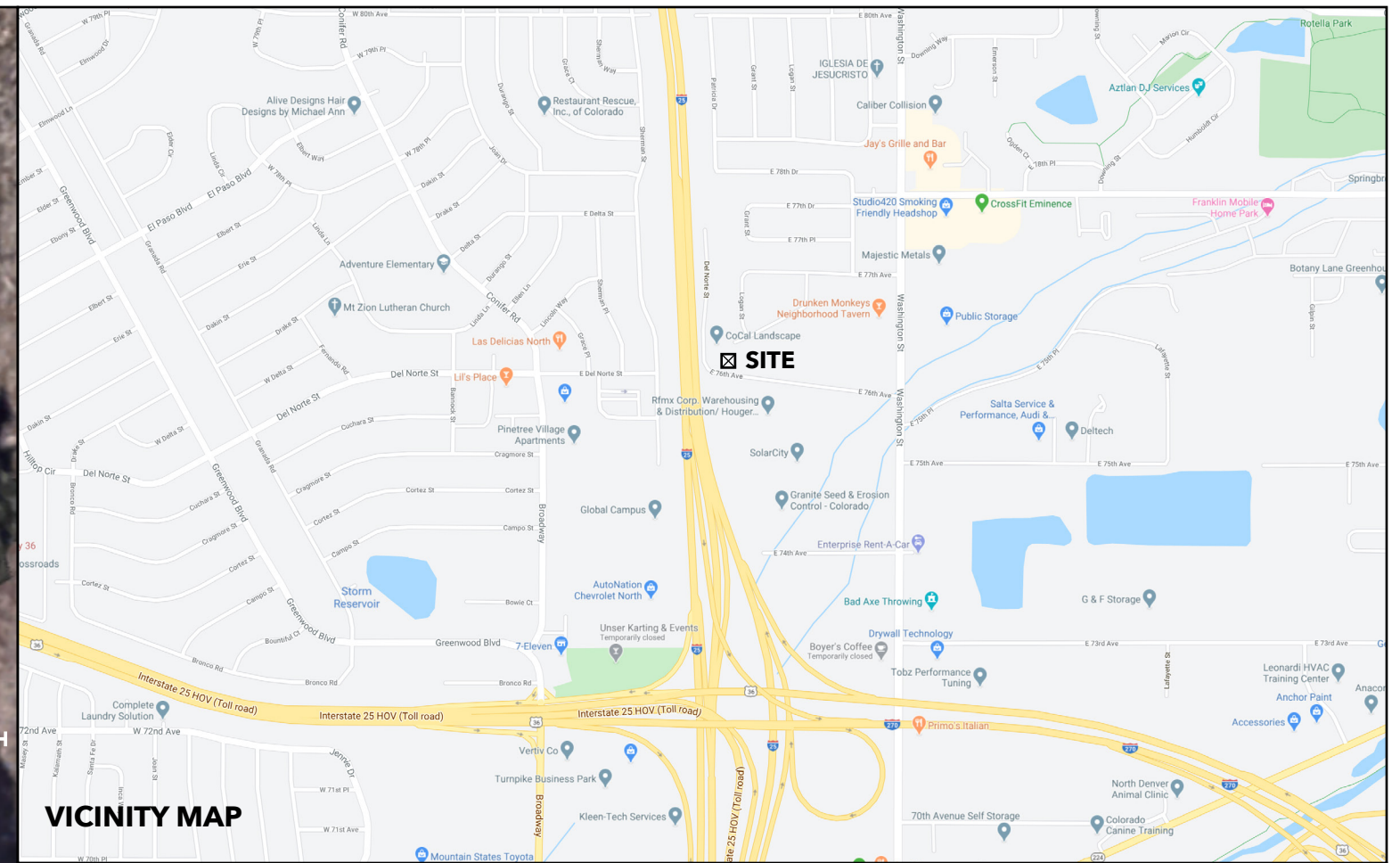
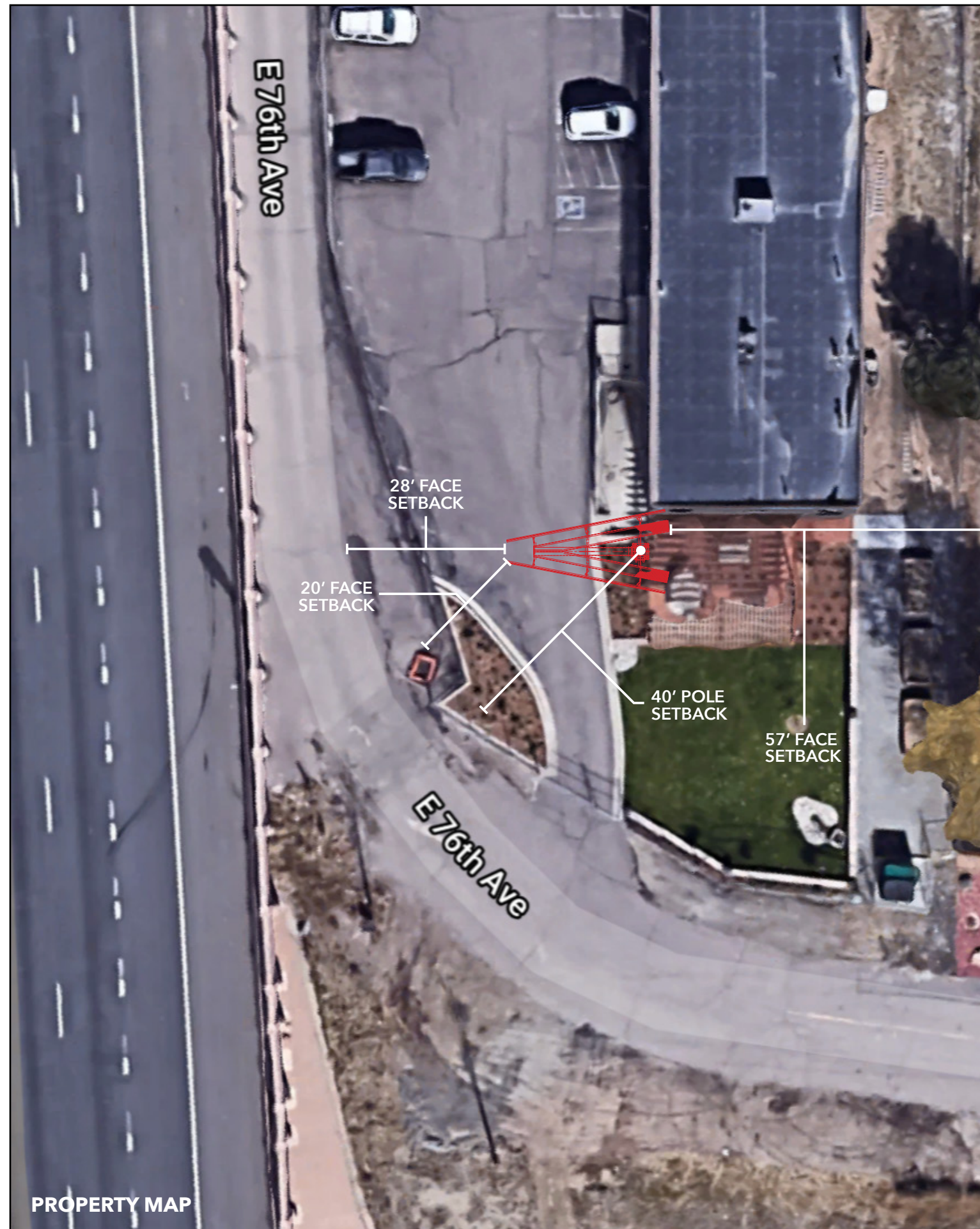
The proposed billboard is allowed as a conditional use in the District. The proposed billboard meets all applicable performance standards. As such, it is consistent with the purposes of the ADCO Standards.

**CUP STANDARD #3.** THE CONDITIONAL USE WILL COMPLY WITH THE REQUIREMENTS OF [THE ADCO STANDARDS], INCLUDING, BUT NOT LIMITED TO, ALL APPLICABLE PERFORMANCE STANDARDS.

The proposed billboard complies with the requirements of ADCO Standards § 4-15, which set out the performance standards for billboards, as follows:


STANDARD	COMPLIANCE STATEMENT
4-15-03	The Subject Property will contain only one billboard with not more than two faces.
4-15-04	The area of each sign face will not exceed 300 square feet.
4-15-05	The height of the sign does not exceed 40 feet, measured as provided in ADCO Standards § 4-14-05.







**ACCESS LANE**

 CoCal Lands

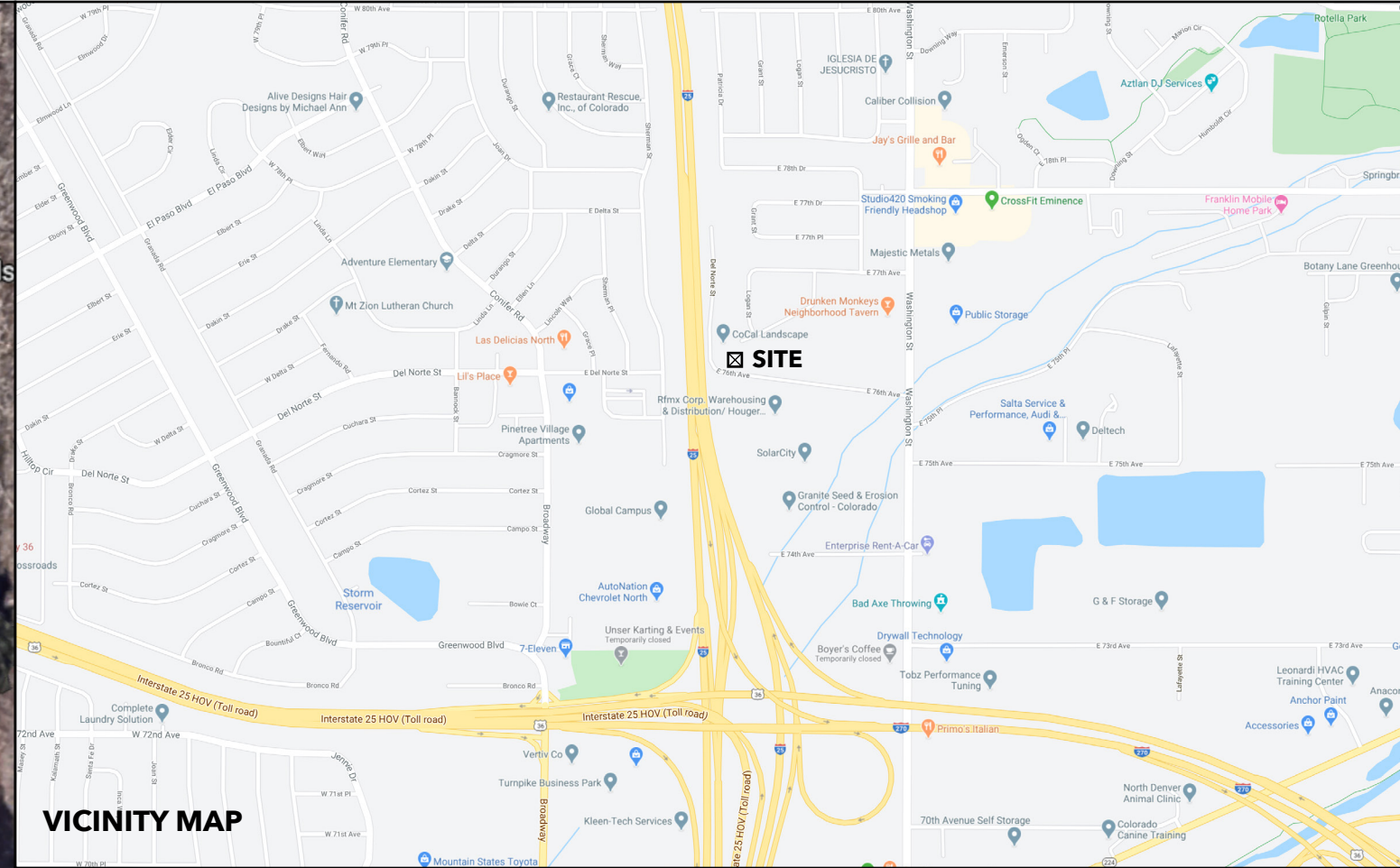
Approx. Elevation 5220

**76th AVE**

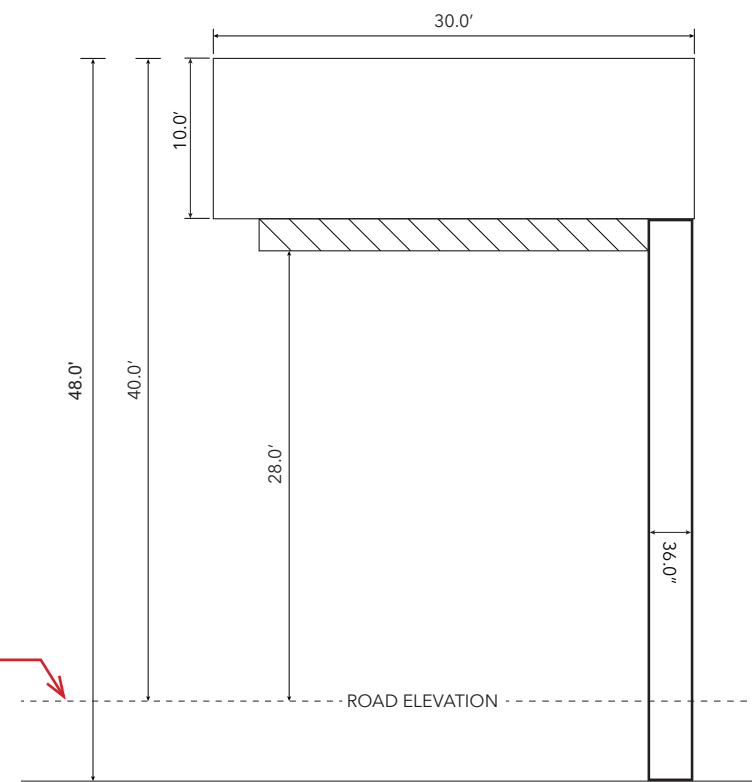
## PROPERTY MAP

Elevations are approximate and are based upon information obtained from the GIS Interactive Map on the Adams County website.

## VICINITY MAP



## ELEVATION



Approx. Elevation 5212



# SITE PLAN

## 333 E 76TH AVE

**StreetMediaGroup**  
161 Saturn Dr., Ste 5 | Fort Collins, CO 80525





## **Development Review Team Comments**

**Date:** 4/2/2021

**Project Number:** RCU2020-00011

**Project Name:** StreetMedia 76th Avenue Billboard

---

**Commenting Division:** Plan Coordination 3rd Review

**Name of Reviewer:** Thomas Dimperio

**Date:** 03/25/2021

**Email:**

**Pending Public Hearing**

---

**Commenting Division:** Development Engineering Review 3rd Review

**Name of Reviewer:** Matthew Emmens

**Date:** 03/12/2021

**Email:** memmens@adcogov.org

**Complete**

All comments are resolved with previous submittals.

---

**Commenting Division:** Planner Review 3rd Review

**Name of Reviewer:** Thomas Dimperio

**Date:** 02/11/2021

**Email:**

**Resubmittal Required**



---

**Commenting Division:** Application Intake 3rd Review

**Name of Reviewer:** Erin McMorries

**Date:** 12/15/2020

**Email:**

**Complete**

---

**Commenting Division:** Plan Coordination 2nd Review

**Name of Reviewer:** Thomas Dimperio

**Date:** 10/16/2020

**Email:**

**Resubmittal Required**



---

**Commenting Division:** Development Engineering Review 2nd Review

**Name of Reviewer:** Matthew Emmens

**Date:** 10/16/2020

**Email:** memmens@adcogov.org

**Resubmittal Required**

ENG1: The setback do not appear to be shown correctly. The setback should be measure perpendicular to the property lines. Revise the site plan to show all property lines and, the setbacks measure perpendicular to the property lines.

Applicant Response: A revised site plan is included with this First Resubmittal that shows all property lines, and shows the setbacks measured perpendicularly to property lines.

County Response: Comment Closed.

ENG2: The pole must be located in such a way that if it falls over, no part of the sign will fall outside the property (i.e. the property line setback distance should be the same as the height of the pole).

Applicant Response: Per our first round comments conference with County Staff on July 24, 2020, this comment is disregarded.<sup>1</sup>

County Response: This comment cannot be disregarded as it is a County Regulation. The only way to allow this regulation to be waived is if a formal waiver application is submitted and approved.

ENG3: The proposed sign pole appears to be locate very close to or in the detention pond. The pole cannot be located in the detention pond unless it can be shown that the pond volume is not negatively affected.

Applicant Response: An updated site plan is provided with this First Resubmittal. It shows that the sign pole is not located within the detention pond.

County Response: It is extremely difficult to tell whether the pole is in the pond or not, with the information submitted. If there is an easement for the pond, it should be shown on the plans. Or, if there is no easement, elevations shown at the location of the pond and at the low point of the ponds rim (top of berm) could prove that the pole is not in the pond.



---

**Commenting Division:** Planner Review 2nd Review

**Name of Reviewer:** Thomas Dimperio

**Date:** 10/16/2020

**Email:**

**Resubmittal Required**

PLN01: Applicant must still provide the Certificate of Notice to Mineral Estate Owners/Lessees, as well as the Certificate of Surface Development prior to staff scheduling this request for public hearings.

PLN02: Applicant must revise the site plan in order to demonstrate that the required setbacks from all property lines will be met through this proposal. Revised site plan shows a setback distance of only forty (40) feet where a minimum of forty-five (45) feet is required. If the applicant is requesting a “variation” from the setback requirement as part of this conditional use permit request, they must provide a detailed explanation in order to justify why the required setbacks cannot be met, and to describe any existing conditions on the site that have necessitated the placement of the proposed billboard in the chosen location.

---

**Commenting Division:** Application Intake 2nd Review

**Name of Reviewer:** Erin McMorries

**Date:** 09/24/2020

**Email:**

**Complete**

---

**Commenting Division:** Development Engineering Review

**Name of Reviewer:** Matthew Emmens

**Date:** 07/17/2020

**Email:** memmens@adcogov.org

**Resubmittal Required**

ENG1: The setback do not appear to be shown correctly. The setback should be measure perpendicular to the property lines. Revise the site plan to show all property lines and, the setbacks measure perpendicular to the property lines.

ENG2: The pole must be located in such a way that if it falls over, no part of the sign will fall outside the property (i.e. the property line setback distance should be the same as the height of the pole.

ENG3: The proposed sign pole appears to be locate very close to or in the detention pond. The pole cannot be located in the detention pond unless it can be shown that the pond volume is not negatively affected.



---

**Commenting Division:** Planner Review

**Name of Reviewer:** Thomas Dimperio

**Date:** 07/16/2020

**Email:**

**Resubmittal Required**

PLN01: Electronic billboard would be visible from I-25. The property is currently being used as a storage warehouse, service garage, and associated uses. Off-premise advertising devices are permitted with an approved Conditional Use Permit in the I-1 zone district.

PLN02: The subject request meets the following performance standards for off-premise advertising devices (billboards):

- The property would contain only 1 two-faced off-premise advertising device (Section 4-15-03).
- The maximum size of the billboard face would not exceed 300 square feet (Section 4-15-04).
- The maximum height of the billboard would not exceed 40 feet and the lowest point of the sign face would be at least 8 feet above the ground (Section 4-15-06).
- All electronic sign restrictions have been confirmed and acknowledged by the applicant (Section 4-15-06-02).
- The billboard would be separated by a minimum of 2,000 linear feet from the nearest off-premise sign on the same side of the road or highway (Section 4-15-07).
- The billboard would be set back from property lines and right-of-way equal to the height of the billboard as measured from the leading edge of the base of the sign pole (Section 4-15-07). Applicant is proposing a setback of 40' from the west property line. No Variation from this requirement is being requested as part of this application.
- The two faces of the billboard would not be back to back but instead in a V-shape configuration. The applicant did not provide the distance between the sign panels. (Section 4-15-07).

PLN03: Applicant has requested that the following note be added to the Conditional Use Permit if the application is approved by the Board of County Commissioners in order to address future code amendments that may allow a "V-shaped" configuration of sign-faces: "All applicable building, zoning, health, fire, and engineering requirements and codes shall be adhered to with this request. The applicant may submit an alternative design that can be approved through a Minor Amendment to this Conditional Use Permit by staff, as long as the design complies with the Adams County Development Standards and Regulations at the time of building permit application."

PLN04: Applicant must provide a site plan that shows the setback of the proposed billboard to the exact location of the property line. A higher quality site plan is required than the current aerial photo that was provided in the application submittal and must clearly show all property lines and setback distances. Applicant must also confirm whether the setbacks are measured from the leading edge of the sign pole and not the center of the pole or the leading edge of the sign face.

PLN05: Applicant must provide Certificate of Notice to Mineral Estate Owners/and Lessees, as well as Certificate of Surface Development as part of the resubmittal. These documents are required 30 days before the initial public hearing is held. They are listed as items #10 and 11 within the Conditional Use Permit application checklist and are included on pages 6 through 9 on the application.



PLN06: Please provide a response to the comment letter from Xcel Energy regarding the apparent conflict on the property.

---

**Commenting Division:** ROW Review

**Name of Reviewer:** Mark Alessi

**Date:** 07/10/2020

**Email:**

**Resubmittal Required**

ROW1: Send Adams County a copy of the title commitment with your application dated no later than 30 days to review in order to ensure that any other party's interests are not encroached upon.

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**Commenting Division:** Neighborhood Services Review

**Name of Reviewer:** Gail Moon

**Date:** 06/24/2020

**Email:** gmoon@adcogov.org

**Comment**

Please make sure that the allowed lighting of the digital display is VERY specific and enforceable by Code Compliance if needed.



Thank you for contacting the Colorado Department of Public Health and Environment (CDPHE). Please note that the following requirements and recommendations apply to many but not all projects referred by local governments. Also, they are not intended to be an exhaustive list and it is ultimately the responsibility of the applicant to comply with all applicable rules and regulations. CDPHE's failure to respond to a referral should not be construed as a favorable response.

### **Hazardous and Solid Waste**

The applicant must comply with all applicable hazardous and solid waste rules and regulations.

Hazardous waste regulations are available here:

<https://www.colorado.gov/pacific/cdphe/hwregs>.

Solid waste regulations are available here:

<https://www.colorado.gov/pacific/cdphe/swregs>.

Applicable requirements may include, but are not limited to, properly characterizing all wastes generated from this project and ensuring they are properly managed and disposed of in accordance with Colorado's solid and hazardous waste regulations.

If this proposed project processes, reclaims, sorts, or recycles recyclable materials generated from industrial operations (including, but not limited to construction and demolition debris and other recyclable materials), then it must register as an industrial recycling facility in accordance with Section 8 of the Colorado Solid Waste Regulations. The industrial recycling registration form is available here:

<https://www.colorado.gov/pacific/cdphe/sw-recycling-forms-apps>.

If you have any questions regarding hazardous and/or solid waste, please contact CDPHE's Hazardous Materials and Waste Management Division (HMWMD) by emailing [comments.hmwmd@state.co.us](mailto:comments.hmwmd@state.co.us) or calling 303-692-3320.

### **Water Quality**

The applicant must comply with all applicable water quality rules and regulations.

The Water Quality Control Division (WQCD) administers regulatory programs that are generally designed to help protect both Colorado's natural water bodies (the clean water program) and built drinking water systems. Applicants must comply with all applicable water quality rules and regulations relating to both clean water and drinking water. All water quality regulations are available here:

<https://www.colorado.gov/pacific/cdphe/water-quality-control-commission-regulations>.





## Clean Water Requirements

Applicable clean water requirements may include, but are not limited to, obtaining a stormwater discharge permit if construction activities disturb one acre or more of land or if they are part of a larger common plan of development that will disturb one or more acres of land. In determining the area of construction disturbance, WQCD looks at the entire plan, including disturbances associated with utilities, pipelines or roads constructed to serve the facility.

Please use the Colorado Environmental Online Services (CEOS) to apply for new construction stormwater discharge permits, modify or terminate existing permits and change permit contacts.

For CEOS support please see the following WQCD website:

<https://www.colorado.gov/pacific/cdphe/cor400000-stormwater-discharge>

or contact:

[Email: cdphe\\_ceos\\_support@state.co.us](mailto:cdphe_ceos_support@state.co.us) or [cdphe\\_wqcd\\_permits@state.co.us](mailto:cdphe_wqcd_permits@state.co.us)

[CEOS Phone: 303-691-7919](tel:303-691-7919)

[Permits Phone: 303-692-3517](tel:303-692-3517)

## Drinking Water Requirements

Some projects may also need to address drinking water regulations if the proposed project meets the definition of a “Public Water System” per the Colorado Primary Drinking Water Regulations (Regulation 11):

*A Public Water System means a system for the provision to the public of water for human consumption through pipes or other constructed conveyances, if such system has at least fifteen service connections or regularly serves an average of at least 25 individuals daily at least 60 days per year. A public water system is either a community water system or a non-community water system. Such term does not include any special irrigation district. Such term includes:*

*(a) Any collection, treatment, storage, and distribution facilities under control of the supplier of such system and used primarily in connection with such system.*

*(b) Any collection or pretreatment storage facilities not under such control, which are used primarily in connection with such system.*

If applicable, the project would need to meet all applicable requirements of Regulation 11 including, but not limited to, design review and approval; technical, managerial and financial review and approval; having a certified operator; and routine monitoring and reporting. For questions regarding drinking water regulation applicability or other assistance and resources, visit this website:

<https://www.colorado.gov/pacific/cdphe/tools-drinking-water-facilities-managers>





If you have any other questions regarding either clean or drinking water quality, please contact CDPHE's WQCD by emailing [cdphe.commentswqcd@state.co.us](mailto:cdphe.commentswqcd@state.co.us) or calling 303-692-3500.

### Air Quality

The applicant must comply with all relevant state and federal air quality rules and regulations. Air quality regulations are available here: <https://www.colorado.gov/pacific/cdphe/aqcc-regs>.

### **Air Pollutant Emissions Notices (APENs) and Permits**

Applicable requirements may include, but are not limited to, reporting emissions to the Air Pollution Control Division (APCD) by completing an APEN. An APEN is a two in one form for reporting air emissions and obtaining an air permit, if a permit will be required. While only businesses that exceed the Air Quality Control Commission (AQCC) reporting thresholds are required to report their emissions, all businesses - regardless of emission amount - must always comply with applicable AQCC regulations.

In general, an APEN is required when uncontrolled actual emissions for an emission point or group of emission points exceed the following defined emission thresholds:

Table 1 APEN Thresholds		
Pollutant Category	UNCONTROLLED ACTUAL EMISSIONS	
	Attainment Area	Non-attainment Area
Criteria Pollutant	2 tons per year	1 ton per year
Lead	100 pounds per year	100 pounds per year
Non-Criteria Pollutant	250 pounds per year	250 pounds per year

Uncontrolled actual emissions do not take into account any pollution control equipment that may exist. A map of the Denver Metropolitan Ozone Non-attainment area can be found on the following website: [http://www.colorado.gov/airquality/ss\\_map\\_wm.aspx](http://www.colorado.gov/airquality/ss_map_wm.aspx).

In addition to these reporting thresholds, a Land Development APEN (Form APCD-223) may be required for land development. Under Colorado air quality regulations, land development refers to all land clearing activities, including but not limited to land preparation such as excavating or grading, for residential, commercial or industrial development. Land development activities release fugitive dust, a pollutant regulated by APCD. Small land development activities are not subject to the same reporting and permitting requirements as large land activities. Specifically, land development activities that are less than 25 contiguous acres and less than 6 months in duration do not need to report air emissions to APCD.





It is important to note that even if a permit is not required, fugitive dust control measures included the Land Development APEN Form APCD-223 must be followed at the site. Fugitive dust control techniques commonly included in the plan are included in the table below.

Control Options for Unpaved Roadways	
Watering	Use of chemical stabilizer
Paving	Controlling vehicle speed
Graveling	
Control Options for Mud and Dirt Carry-Out Onto Paved Surfaces	
Gravel entry ways	Washing vehicle wheels
Covering the load	Not overfilling trucks
Control Options for Disturbed Areas	
Watering	Application of a chemical stabilizer
Revegetation	Controlling vehicle speed
Compaction	Furrowing the soil
Wind Breaks	Minimizing the areas of disturbance
	Synthetic or Natural Cover for Slopes

Additional information on APENs and air permits can be found on the following website: <https://www.colorado.gov/pacific/cdphe/air/do-you-need-an-apen>. This site explains the process to obtain APENs and air quality permits, as well as information on calculating emissions, exemptions, and additional requirements. You may also view AQCC Regulation Number 3 at <https://www.colorado.gov/pacific/cdphe/aqcc-regs> for the complete regulatory language.

If you have any questions regarding Colorado's APEN or air permitting requirements or are unsure whether your business operations emit air pollutants, please call the Small Business Assistance Program (SBAP) at 303- 692-3175 or 303-692-3148.

### Asbestos and Lead-Based Paint

In Colorado there are regulations regarding the appropriate removal and handling of asbestos and lead-based paint as part of a demolition, renovation, or remodeling project. These regulations are presented in AQCC Number 8 (asbestos) and Number 19 (lead-based paint) which can be found on the following website: <https://www.colorado.gov/cdphe/aqcc-regs>.

These regulations may require the use of, or inspection by, companies or individuals that are certified to inspect or remove these hazards **prior to renovation or demolition**. APCD must also be notified of abatement or demolition activities prior to beginning any work in the case of asbestos. For additional guidance on these regulations and lists of certified companies and individuals please visit the following website for asbestos:

<https://www.colorado.gov/cdphe/categories/services-and-information/environment/asbestos>

and the following website for lead-based paint:

<https://www.colorado.gov/pacific/cdphe/categories/services-and-information/lead>.





If you have any questions about Colorado's asbestos and lead-based paint regulations or are unsure whether you are subject to them please call the Indoor Environment Program at 303-692-3100.

If you have more general questions about air quality, please contact CDPHE's APCD by emailing [cdphe.commentsapcd@state.co.us](mailto:cdphe.commentsapcd@state.co.us) or calling 303-692-3100.

### **Health Equity and Environmental Justice**

CDPHE notes that certain projects have potential to impact vulnerable minority and low-income communities. It is our strong recommendation that your organization consider the potential for disproportionate environmental and health impacts on specific communities within the project scope and if so, take action to mitigate and minimize those impacts. This includes interfacing directly with the communities in the project area to better understand community perspectives on the project and receive feedback on how it may impact them during development and construction as well as after completion. We have included some general resources for your reference.

Additional Resources:

[CDPHE's Health Equity Resources](#)

[CDPHE's Checking Assumptions to Advance Equity](#)

[EPA's Environmental Justice and NEPA Resources](#)







**COLORADO**  
Department of  
Transportation

Region «Region» Traffic Section  
2829 West Howard Place  
«City», Colorado 80204  
Phone (303) 512-4272 Fax (303) 757-9886

July 14, 2020

Thomas Dimperio  
Planner I  
Community and Economic Development Department  
4430 South Adams County Parkway, Suite W200A  
Brighton, CO 80601-8216

**RE: Case Name: Street Media 76<sup>th</sup> Avenue Billboard**  
**Case Number: RCU2020-00011**

Dear Mr. Dimperio:

I have reviewed the referral for the CUP to allow an electronic billboard in the I-1 zone district, near I-25 and E. 76<sup>th</sup> Avenue, located at 333 E. 76<sup>th</sup> Ave., and have the following comments:

- This proposed digital billboard sign, which will advertise to Interstate 25, will require an Outdoor Advertising Permit from CDOT.
- This proposed sign must meet all Applicable rules governing outdoor advertising in Colorado per **2 CCR 601-3**.
- Application packet, when completed, should be sent to Jacquelyn Jobe at 2829 W. Howard Place, 2<sup>nd</sup> Floor, Denver, CO 80204.

Thank you for the opportunity to review this referral.

Please feel free to contact me at the office listed above if I can of any further assistance in this or any other matter.

Sincerely,

Jacquelyn Jobe  
Region 1 Outdoor Advertising Representative  
(303) 512-4272





## Thomas Dimperio

---

**From:** Woodruff, Clayton <Clayton.Woodruff@RTD-Denver.com>  
**Sent:** Tuesday, June 30, 2020 8:13 AM  
**To:** Thomas Dimperio  
**Subject:** RE - StreetMedia 70th Ave Billboard and 76th Ave Billboard

Please be cautious: This email was sent from outside Adams County

The RTD has no comment on this project



**C. Scott Woodruff**

**Engineer III**

Regional Transportation District  
1560 Broadway, Suite 700, FAS-73 | Denver, CO 80202

o 303.299.2943 | m 303-720-2025  
[clayton.woodruff@rtd-denver.com](mailto:clayton.woodruff@rtd-denver.com)



**From:** [Dan Biro](#)  
**To:** [Thomas Dimperio](#)  
**Subject:** RE: For review: Street Media 76th Avenue Billboard (RCU2020-00011)  
**Date:** Wednesday, June 24, 2020 11:06:34 AM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image013.png](#)  
[image014.png](#)

---

Please be cautious: This email was sent from outside Adams County

No comments on this review.



**Dan Biro, P.E.**  
**DEPUTY FIRE MARSHAL**  
**Thornton Fire Department**  
Main: 303-538-7602  
Office: 303-538-7663  
Fax: 303-538-7660  
[dan.biro@ThorntonCO.gov](mailto:dan.biro@ThorntonCO.gov)  
[gocot.net/fire](http://gocot.net/fire)



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**From:** Laurie Davidson <[Laurie.Davidson@thorntonco.gov](mailto:Laurie.Davidson@thorntonco.gov)>  
**Sent:** Tuesday, June 23, 2020 2:57 PM  
**To:** Stephanie Harpring <[Stephanie.Harpring@thorntonco.gov](mailto:Stephanie.Harpring@thorntonco.gov)>; Dan Biro <[Dan.Biro@thorntonco.gov](mailto:Dan.Biro@thorntonco.gov)>  
**Subject:** FW: For review: Street Media 76th Avenue Billboard (RCU2020-00011)

---

**From:** Thomas Dimperio <[TDimperio@adcogov.org](mailto:TDimperio@adcogov.org)>  
**Sent:** Tuesday, June 23, 2020 2:55 PM  
**Subject:** [EXTERNAL] For review: Street Media 76th Avenue Billboard (RCU2020-00011)

Case Name: StreetMedia 76th Avenue Billboard  
Case Number: RCU2020-00011

The Adams County Planning Commission is requesting comments on the following application:

**Conditional Use Permit to construct an electronic billboard in the I-1 zone district near I-25 and E. 76th Avenue.**

This request is located at 333 E 76TH AVE. The Assessor's Parcel Number is 0171934100005.





July 1, 2020

Thomas Dimperio  
Adams County Community and Economic Development  
4430 South Adams County Parkway, Suite W2000A  
Brighton, CO 80601

RE: StreetMedia 76<sup>th</sup> Avenue Billboard, RCU2020-00011  
TCHD Case No. 6347

Dear Mr. Dimperio,

Thank you for the opportunity to review and comment on the Conditional Use Permit for an electronic billboard in the Industrial-1 (I-1) zone district located at 333 E 76<sup>th</sup> Avenue. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has no comments.

Please feel free to contact me at 720-200-1585 or [aheinrich@tchd.org](mailto:aheinrich@tchd.org) if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "AHF".

Annemarie Heinrich Fortune, MPH/MURP  
Land Use and Built Environment Specialist

cc: Sheila Lynch, Monte Deatrich, TCHD





**Right of Way & Permits**

1123 West 3<sup>rd</sup> Avenue  
Denver, Colorado 80223  
Telephone: **303.571.3306**  
Facsimile: 303. 571.3284  
donna.l.george@xcelenergy.com

July 16, 2020

Adams County Community and Economic Development Department  
4430 South Adams County Parkway, 3<sup>rd</sup> Floor, Suite W3000  
Brighton, CO 80601

Attn: Thomas Dimperio

**RE: StreetMedia 76th Avenue Billboard, Case # RCU2020-00011**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has determined there is a **conflict** with the above captioned project. Please be aware PSCo has existing overhead electric facilities in the exact area of the proposed pole and sign. Bear in mind that per the National Electric Safety Code, a minimum 10-foot radial clearance must be maintained at all times from all overhead electric facilities including, but not limited to, construction activities and permanent structures.

The property owner/developer/contractor must complete the application process for any new natural gas or electric service, or *modification* to existing facilities including relocation and/or removal via [xcelenergy.com/InstallAndConnect](http://xcelenergy.com/InstallAndConnect). It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

Donna George  
Right of Way and Permits  
Public Service Company of Colorado dba Xcel Energy  
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com





Right of Way & Permits  
1123 West 3<sup>rd</sup> Avenue  
Denver, Colorado 80223  
Telephone: **303.571.3306**  
Facsimile: 303.571.3284  
donna.l.george@xcelenergy.com

July 27, 2020

Adams County Community and Economic Development Department  
4430 South Adams County Parkway, 3<sup>rd</sup> Floor, Suite W3000  
Brighton, CO 80601

Attn: Thomas Dimperio

**RE: \* AMENDED RESPONSE \***  
**StreetMedia 76th Avenue Billboard, Case # RCU2020-00011**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the documentation for **StreetMedia 76th Avenue Billboard** and has **no apparent conflict**.

The property owner/developer/contractor must complete the application process for any new electric service via [xcelenergy.com/InstallAndConnect](https://www.xcelenergy.com/InstallAndConnect). It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the Utility Notification Center by dialing 811 for utility locates prior to construction.

Donna George  
Right of Way and Permits  
Public Service Company of Colorado dba Xcel Energy  
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com



## Thomas Dimperio

---

**From:** Cindy Keegan <brooklynbrawler56@gmail.com>  
**Sent:** Monday, June 29, 2020 8:27 AM  
**To:** Thomas Dimperio  
**Subject:** Assessor's Parcel Number - 0171934100005

Please be cautious: This email was sent from outside Adams County

Dear Mr Dimperio,

This email is in response to the above-mentioned Assessor's Parcel Number regarding the construction of an electronic billboard near I-25 and E 76th Ave.

I do not want this to be permitted. We already have an electronic billboard on the Northeast side of E 76th Ave right off of I-25. It is bright and is constantly changing advertisements. The majority of the advertisements are flashing ones. The billboard lights up the houses when changing advertisements as well as when playing the ones that flash.

I obviously did not pay attention when the electronic billboard that is currently affecting our homes was requested and approved. When I received your mailing on the above-mentioned electronic billboard, I had to contact you to voice my disapproval and the reasons why.

Thank you,

Cynthia Keegan  
on behalf of Bradley & Cynthia Keegan  
410 E 76th Ave, Denver, CO 80229  
720-319-5290



## Thomas Dimperio

---

**From:** Cindy Keegan <brooklynbrawler56@gmail.com>  
**Sent:** Thursday, April 22, 2021 3:25 PM  
**To:** troy.hammond@streetmediagroup.com  
**Cc:** gary@streetmediagroup.com; Thomas Dimperio  
**Subject:** Fwd: Site Line Sign Technology Videos  
**Attachments:** SMG (2).png

Please be cautious: This email was sent from outside Adams County

Troy,

We watched both videos. We were impressed with the new technology for the billboards.

What a difference!

We no longer feel a threat from the new billboard.

,  
Per our conversation, we want to thank you in advance for agreeing to make the changes to the existing billboard for CoCal in the near future so that billboard will no longer light up our house.

Thank you,

Bradley & Cynthia Keegan  
410 E 76th Ave, Denver, CO 80229

P.S. - Mr. Dimperio, we want to thank you for taking our concerns seriously. Much appreciated.

----- Forwarded message -----

From: **Troy Hammond** <[troy.hammond@streetmediagroup.com](mailto:troy.hammond@streetmediagroup.com)>  
Date: Thu, Apr 22, 2021, 13:27  
Subject: Site Line Sign Technology Videos  
To: <[brooklynbrawler56@gmail.com](mailto:brooklynbrawler56@gmail.com)>  
Cc: Gary Young <[gary@streetmediagroup.com](mailto:gary@streetmediagroup.com)>

Hello Brad and Cindy,

Thank you so much for having me over to your home this morning and allowing me to share the Site Line Technology we plan to use on the new sign and in refacing the existing sign. The first video is the drone footage I talked about illustrating how the visibility dims and eventually goes away just like in the aerial print out I left with you. Please click the link below to see the video:

<https://vimeo.com/365082755>

The second link is the news story we watched together about the sign replacement that took place in Utah so the light spill would not effect the neighboring properties.



<https://vimeo.com/414877885>

I will give you call shortly to make sure you got this email and the videos. After that we would greatly appreciate your help with a letter as we discussed. Talk soon and again thanks for the time and help we are anxious to get the new signs built and improve the visual impact from your home.

Best,

---

TROY HAMMOND | CHIEF OPERATING OFFICER

StreetMedia Group

Office: 970.658.9070 | Direct: 970.658.1255 | Cell: 970.222.3705  
161 Saturn Drive, Suite 5A | Fort Collins, CO 80525



[Troy.Hammond@StreetMediagroup.com](mailto:Troy.Hammond@StreetMediagroup.com)  
[www.StreetMediaGroup.com](http://www.StreetMediaGroup.com)





## Request for Comments

Case Name: StreetMedia 76th Avenue Billboard  
Case Number: RCU2020-00011

June 23, 2020

The Adams County Planning Commission is requesting comments on the following application:  
**Conditional Use Permit to construct an electronic billboard in the I-1 zone district near I-25 and E. 76th Avenue.** This request is located at 333 E 76TH AVE. The Assessor's Parcel Number is 0171934100005.

Applicant Information: STREET MEDIA GROUP LLC  
GARY YOUNG  
161 SATURN DRIVE  
UNIT 5A  
FT. COLLINS, CO 80525

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6800 by 07/16/2020 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to [TDimperio@adcogov.org](mailto:TDimperio@adcogov.org).

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you upon request. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases).

Thank you for your review of this case.

Thomas Dimperio  
Planner I

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry  
DISTRICT 1

Charles "Chaz" Tedesco  
DISTRICT 2

Emma Pinter  
DISTRICT 3

Steve O'Dorisio  
DISTRICT 4

Mary Hodge  
DISTRICT 5



APPLICATION FOR CONDITIONAL USE PERMIT APPROVAL  
FOR OFF-PREMISE ADVERTISING DEVICE (BILLBOARD)

Applicant: StreetMedia Group, LLC

Location: 333 East 76<sup>th</sup> Avenue

**WRITTEN EXPLANATION OF THE PROJECT**

StreetMedia Group proposes to conduct an off-premise advertising device (billboard) at the east side of I-25 and north side of E. 76<sup>th</sup> Avenue, which is commonly known as 333 E. 76<sup>th</sup> Avenue ("SUBJECT PROPERTY") (PIN 0171934100005) in the location shown on the enclosed site plan. The Subject Property is 0.887 acres in area and is zoned I-1 ("DISTRICT"). The existing use of the Subject Property is office and warehouse for CoCal Landscaping, a permitted use in the District.

Billboards are allowed in the District with an approved Conditional Use Permit ("CUP"). CUPs are subject to the approval criteria set out in Section 2-02-09-06, Adams County Development Standards and Regulations ("ADCO STANDARDS"). Billboard performance standards are set out in ADCO Standards § 4-15. No other ADCO Standards apply during the conditional use permit process.

The proposed billboard complies with all applicable CUP and performance standards, as follows:

**CUP STANDARD #1.** THE CONDITIONAL USE IS PERMITTED IN THE APPLICABLE ZONE DISTRICT.

Billboards are allowed as a conditional use in the District.

**CUP STANDARD #2.** THE CONDITIONAL USE IS CONSISTENT WITH THE PURPOSES OF [THE ADCO STANDARDS].

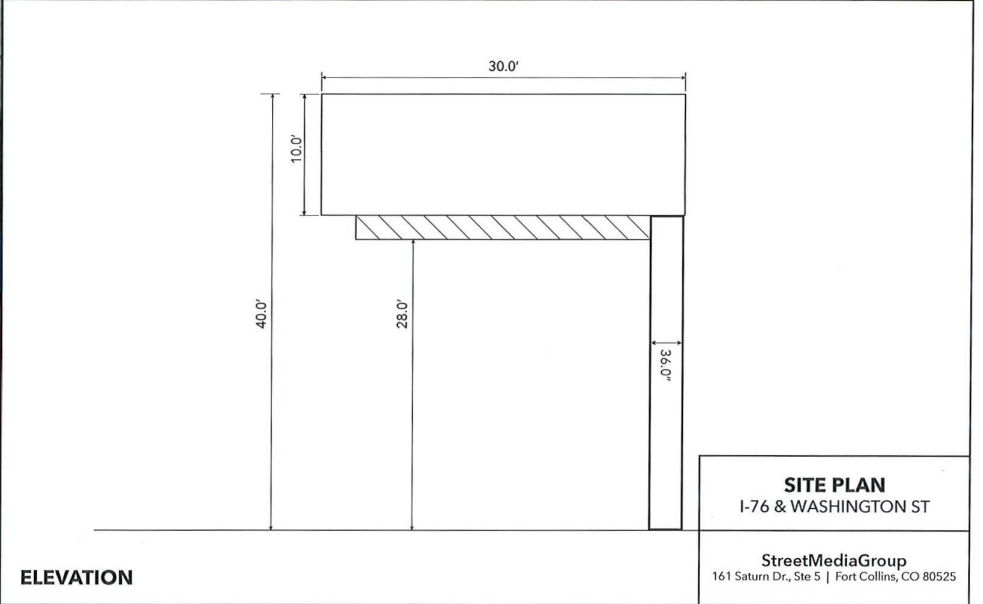
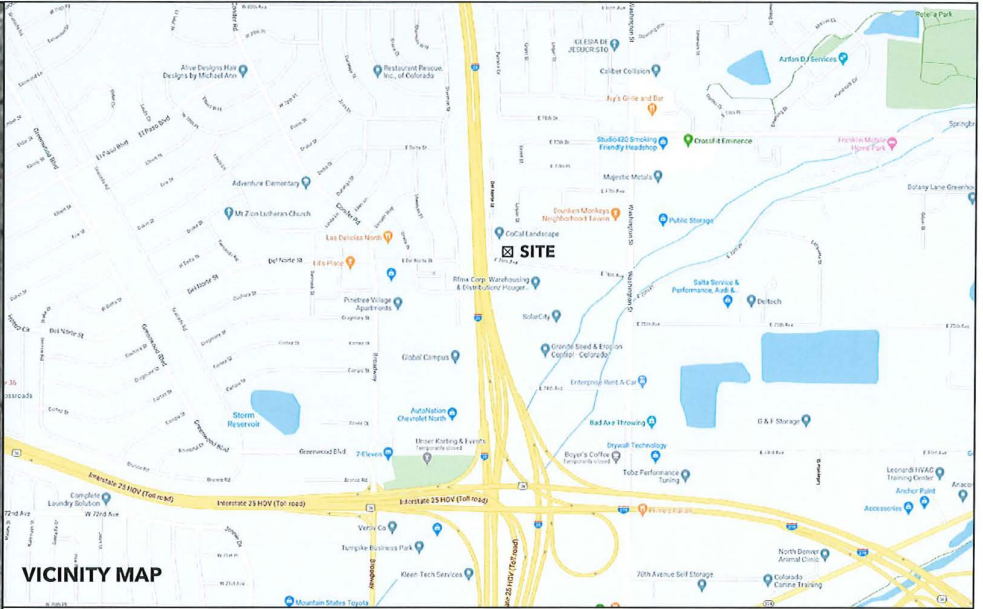
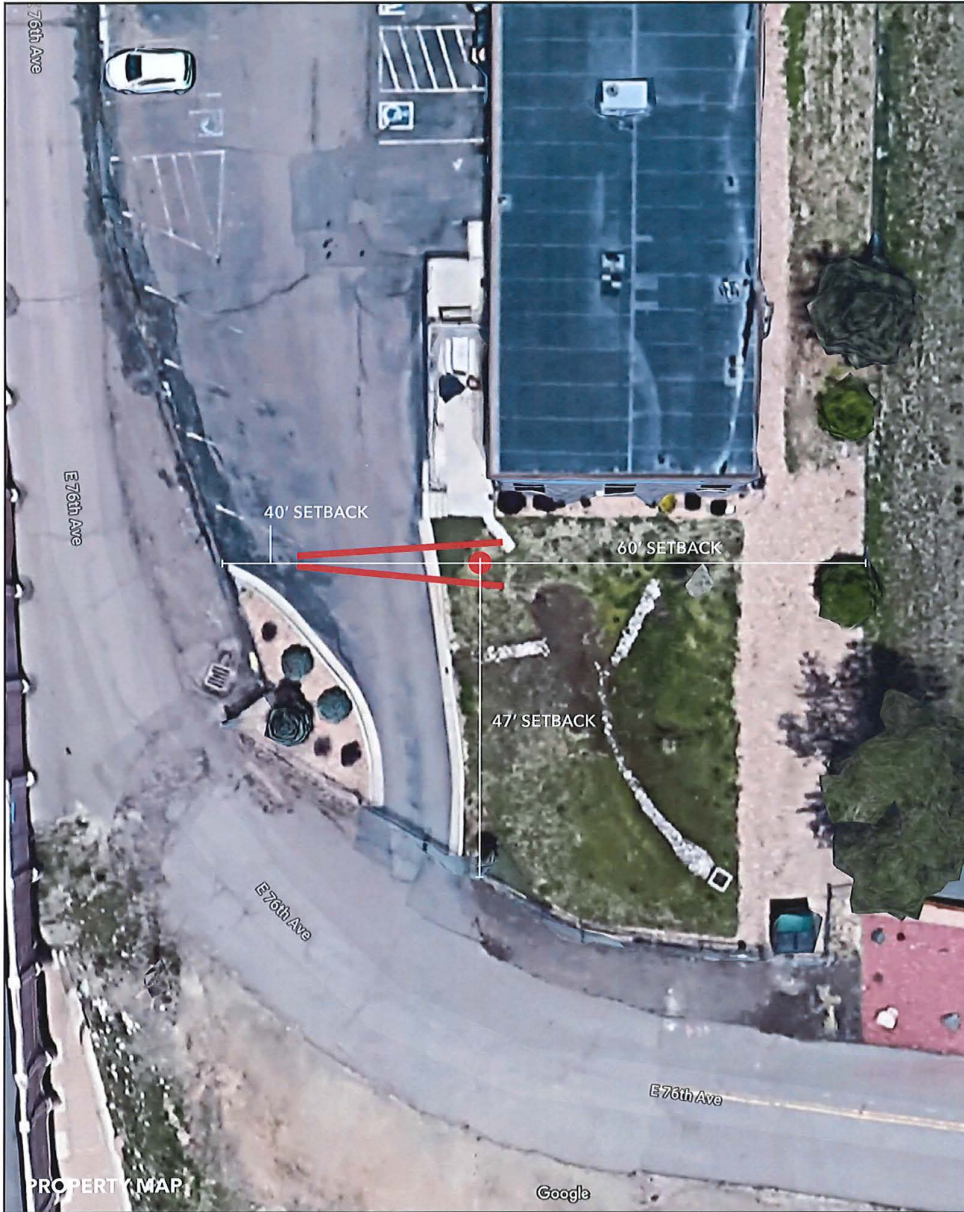
The proposed billboard is allowed as a conditional use in the District. The proposed billboard meets all applicable performance standards. As such, it is consistent with the purposes of the ADCO Standards.

**CUP STANDARD #3.** THE CONDITIONAL USE WILL COMPLY WITH THE REQUIREMENTS OF [THE ADCO STANDARDS], INCLUDING, BUT NOT LIMITED TO, ALL APPLICABLE PERFORMANCE STANDARDS.

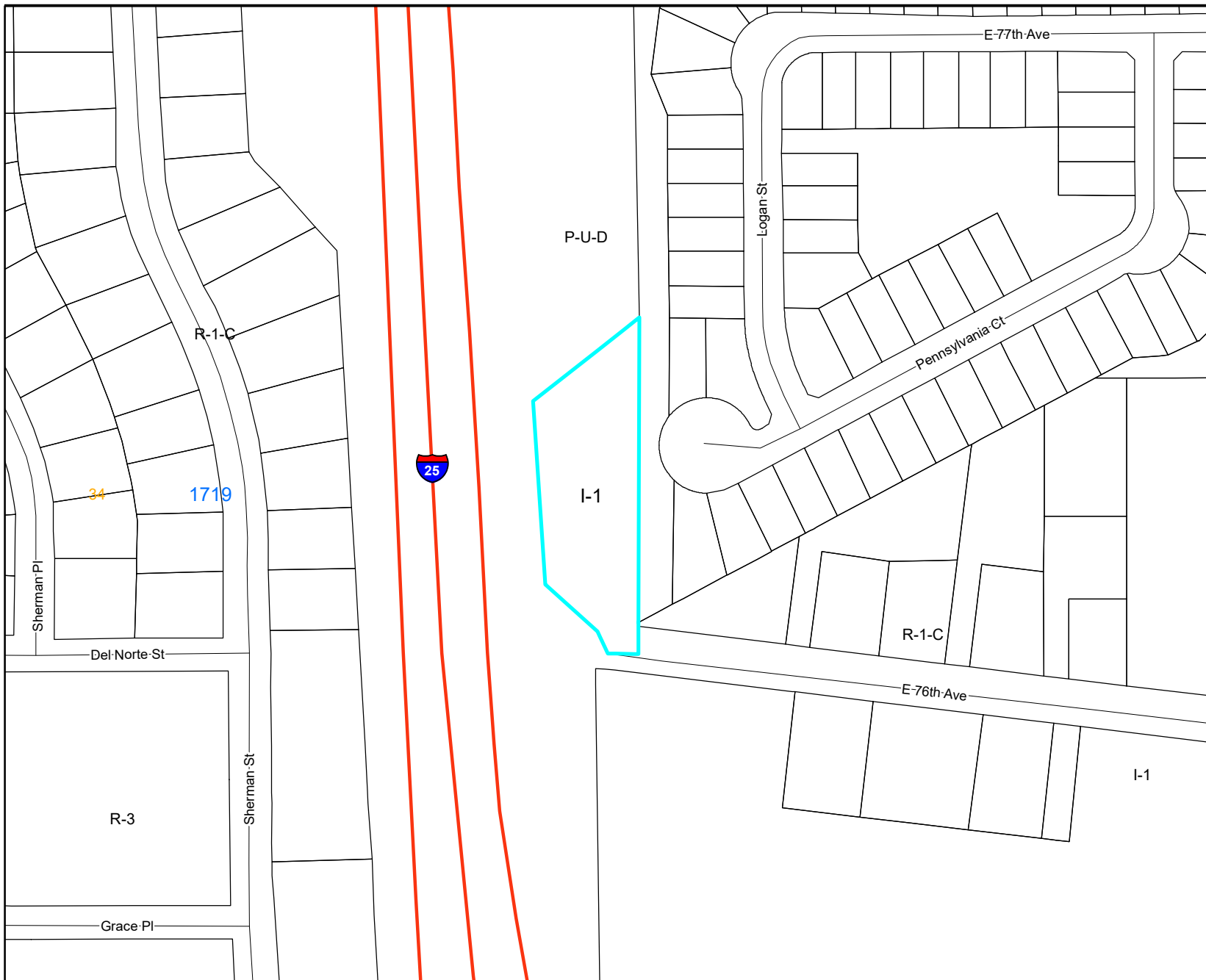
The proposed billboard complies with the requirements of ADCO Standards § 4-15, which set out the performance standards for billboards, as follows:

STANDARD	COMPLIANCE STATEMENT
4-15-03	The Subject Property will contain only one billboard with not more than two faces.
4-15-04	The area of each sign face will not exceed 300 square feet.
4-15-05	The height of the sign does not exceed 40 feet, measured as provided in ADCO Standards § 4-14-05.









# Legend

- +— Railroad
- Major Water
- Zoning Line
- Sections



ADAMS COUNTY  
COLORADO

This map is made possible  
by the Adams County GIS  
group, which assumes no  
responsibility for its accuracy



For display purposes only.

Case Name: 76th Avenue Billboard

Case Number: RCU2020-00011





## Public Hearing Notification

Case Name:	StreetMedia 76th Avenue Billboard
Case Number:	RCU2020-00011
Planning Commission Hearing Date:	06/10/2021 at 6:00 p.m.
Board of County Commissioners Hearing Date:	06/29/2021 at 9:30 a.m.

May 21, 2021

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following request:

**Conditional Use Permit to construct an electronic billboard in the I-1 zone district.**

The proposed use will be Industrial. This request is located at 333 E 76TH AVE on undetermined parcel size.

The Assessor's Parcel Number(s) 0171934100005

Applicant Information: STREET MEDIA GROUP LLC  
GARY YOUNG  
161 SATURN DRIVE  
UNIT 5A  
FT. COLLINS, CO 80525

The Planning Commission public hearing will be held virtually. Board of County Commissioners public hearing will be held in the Hearing Room of the Adams County Government Center, 4430 South Adams County Parkway, Brighton, CO – 1st Floor and will be able to be accessed virtually. Please visit <http://www.adcogov.org/planning-commission> and <http://www.adcogov.org/bocc> for up to date information on accessing the public hearings and submitting comment prior to the hearings.

The full text of the proposed request and additional colored maps can be obtained by accessing the Adams County Community and Economic Development Department website at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases).

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry  
DISTRICT 1

Charles “Chaz” Tedesco  
DISTRICT 2

Emma Pinter  
DISTRICT 3

Steve O’Dorisio  
DISTRICT 4

Mary Hodge  
DISTRICT 5



Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6800 by 3/11/2021 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to [TDimperio@adcogov.org](mailto:TDimperio@adcogov.org).

For further information regarding this case, please contact the Department of Community and Economic Development, 4430 S Adams County Parkway, Brighton, CO 80601, 720-523-6800. This is also the location where maps and/or text certified by the Planning Commission may be viewed.

A handwritten signature in black ink, appearing to read 'Thomas Dimperio', with a stylized flourish extending to the right.

Thomas Dimperio  
Planner I



## **PUBLICATION REQUEST**

**Case Name:** StreetMedia 76<sup>th</sup> Avenue Billboard

**Case Number:** RCU2020-00011

**Planning Commission Hearing Date:** 6/10/2021 at 6:00 p.m.

**Board of County Commissioners Hearing Date:** 6/29/2021 at 9:30 a.m.

**Case Manager:** Thomas Dimperio, [tdimperio@adcogov.org](mailto:tdimperio@adcogov.org), (720) 523-6896

**Request:** Conditional Use Permit for an electronic billboard in the Industrial-1 zone district

**Parcel Number:** 0171934100005

**Address of the Request:** 333 E 76<sup>th</sup> Ave

**Applicant:** STREET MEDIA GROUP

161 SATURN DR

#5A

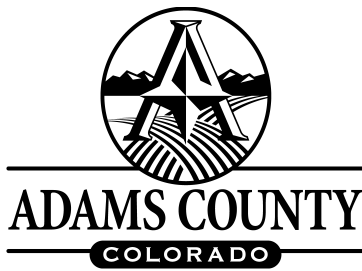
FT COLLINS CO 80525

**Legal Description:** SECT,TWN,RNG:34-2-68 DESC: PT OF SW SW4 NE4 SEC 34 DESC AS BEG AT SE COR SD S2 SW4 NE4 TH N 89D 56S W 60/85 FT TO PT ON ELY ROW LN VALLEY HIWAY TH ALG SD ELY ROW LN AS FOLS N 02D 41M 41M 00S W 40 FT TH N 46D 18M 00S W 72/40 FT TH N 02D 41M 00S W 208/30 FT TH N 51D 36M 00S E 159/93 FT TH S 00D 04M 30S W 397/46 FT TO POB 0/8876A

**Virtual Meeting and Public Comment Information:**

Planning Commission public hearing will be held virtually. Board of County Commissioners public hearing will be held in the Hearing Room of the Adams County Government Center, 4430 South Adams County Parkway, Brighton, CO – 1st Floor and will be able to be accessed virtually. Please visit <http://www.adcogov.org/planning-commission> and <http://www.adcogov.org/bocc> for up to date information on accessing the public hearings and submitting comment prior to the hearings. The full text of the proposed request and additional colored maps can be obtained by accessing the Adams County Community and Economic Development Department website at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases).





Referral Listing  
Case Number RCU2020-00011  
StreetMedia 76th Avenue Billboard

Agency	Contact Information
ADAMS 12 FIVE STAR SCHOOLS	MATT SCHAEFER - PLANNING MANAGER 1500 E. 128TH AVENUE THORNTON CO 80241 720-972-4289 matt.schaefer@adams12.org
Adams County Attorney's Office	Christine Fitch CFitch@adcogov.org 4430 S Adams County Pkwy Brighton CO 80601 720-523-6352
Adams County CEDD Development Services Engineer	Devt. Services Engineering 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6800
Adams County CEDD Environmental Services Division	Katie Keefe 4430 S Adams County Pkwy Brighton CO 80601 720-523-6986 kkeefe@adcogov.org
Adams County CEDD Right-of-Way	Mark Alessi 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6837 malessi@adcogov.org
Adams County Community Safety & Wellbeing, Neighborhood Services	Gail Moon  gmoon@adcogov.org 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6856 gmoon@adcogov.org
Adams County Development Services - Building	Justin Blair 4430 S Adams County Pkwy Brighton CO 80601 720-523-6825 JBlair@adcogov.org
Adams County Fire Protection District	Chris Wilder 8055 N. WASHINGTON ST. DENVER CO 80229 (303) 289-4683 cwilder@acfpd.org



Agency	Contact Information
Adams County Parks and Open Space Department	Aaron Clark (303) 637-8005 aclark@adcogov.org
Adams County Parks and Open Space Department	Marc Pedrucci 303-637-8014 mpedrucci@adcogov.org
ADAMS COUNTY SCHOOL DISTRICT 14	Leo Rodriguez 5291 E. 60th Avenue COMMERCE CITY CO 80022 303.853.3217 lrodriguez@adams14.org
Adams County Sheriff's Office: SO-HQ	Rick Reigenborn (303) 654-1850 rreigenborn@adcogov.org
Adams County Sheriff's Office: SO-SUB	- - 303-655-3283 CommunityConnections@adcogov.org
CDOT Colorado Department of Transportation	Bradley Sheehan 2829 W. Howard Pl. 2nd Floor Denver CO 80204 303.757.9891 bradley.sheehan@state.co.us
CDPHE	Sean Hackett 4300 S Cherry Creek Dr Denver CO 80246 303.692.3662 303.691.7702 cdphe_localreferral@state.co.us
CDPHE	Sean Hackett 4300 S Cherry Creek Dr Denver CO 80246 30 sean.hackett@state.co.us
CDPHE - AIR QUALITY	Richard Coffin 4300 CHERRY CREEK DRIVE SOUTH DENVER CO 80246-1530 303.692.3127 richard.coffin@state.co.us
CDPHE - WATER QUALITY PROTECTION SECT	Patrick Pfaltzgraff 4300 CHERRY CREEK DRIVE SOUTH WQCD-B2 DENVER CO 80246-1530 303-692-3509 patrick.j.pfaltzgraff@state.co.us
CDPHE SOLID WASTE UNIT	Andy Todd 4300 CHERRY CREEK DR SOUTH HMWMD-CP-B2 DENVER CO 80246-1530 303.691.4049 Andrew.Todd@state.co.us



Agency	Contact Information
Century Link, Inc	Brandyn Wiedreich 5325 Zuni St, Rm 728 Denver CO 80221 720-578-3724 720-245-0029 brandyn.wiedrich@centurylink.com
CITY OF FEDERAL HEIGHTS	Renae Stavros 2380 W. 90th Ave. Federal Heights CO 80260 303.412.3530 rstavros@fedheights.org
CITY OF FEDERAL HEIGHTS	TIM WILLIAMS 2380 W 90TH AVE. FEDERAL HEIGHTS CO 80260 303-428-3526 twilliams@fedheights.org
CITY OF FEDERAL HEIGHTS - WATER AND SAN. DEPT.	VIRGINIA MULLIN 2380 W 90TH AVE. FEDERAL HEIGHTS CO 80260 303-428-3526
CITY OF THORNTON	JASON O'SHEA 9500 CIVIC CENTER DR THORNTON CO 80229 0
CITY OF THORNTON	JIM KAISER 12450 N WASHINGTON THORNTON CO 80241 720-977-6266
CITY OF THORNTON	Lori Hight 9500 CIVIC CENTER DRIVE THORNTON CO 80229 303-538-7670 developmentsubmittals@cityofthornton.net.
CITY OF WESTMINSTER	Andy Walsh 4800 W 92nd Avenue WESTMINSTER CO 80031 303-658-2563 awalsh@cityofwestminster.us
CITY OF WESTMINSTER	Rita McConnell 4800 W 92ND AVE. WESTMINSTER CO 80031 303-658-2093 rmcconne@cityofwestminster.us
COLORADO DEPT OF TRANSPORTATION	Steve Loeffler 2000 S. Holly St. Region 1 Denver CO 80222 303-757-9891 steven.loeffler@state.co.us



Agency	Contact Information
COLORADO DIVISION OF WILDLIFE	Serena Rocksund 6060 BROADWAY DENVER CO 80216 3039471798 serena.rocksund@state.co.us
COLORADO DIVISION OF WILDLIFE	Matt Martinez 6060 BROADWAY DENVER CO 80216-1000 303-291-7526 matt.martinez@state.co.us
COMCAST	JOE LOWE 8490 N UMITILLA ST FEDERAL HEIGHTS CO 80260 303-603-5039 thomas_lowe@cable.comcast.com
Commerce City Planning Division	Domenic Martinelli 7887 East 60th Avenue COMMERCE CITY CO 80022 303-289-3693 dmartinelli@c3gov.com
Crestview Water & Sanitation	Patrick Stock 7145 Mariposa St PO Box 21299 Denver CO 80221-0299 303-430-1660 303-434-0607 PatrickStock@crestviewwater.net
FEDERAL HEIGHTS FIRE DEPT.	ANDREW MARSH 2400 W. 90TH AVE. FEDERAL HEIGHTS CO 80260 303-428-3526 x 260
MAPLETON SCHOOL DISTRICT #1	CHARLOTTE CIANCIO 591 E. 80TH AVE DENVER CO 80229 303-853-1015 charlotte@mapleton.us
METRO WASTEWATER RECLAMATION	CRAIG SIMMONDS 6450 YORK ST. DENVER CO 80229 303-286-3338 CSIMMONDS@MWRD.DST.CO.US
North Pecos Water & Sanitation District	Russell Traska 6900 Pecos St Denver CO 80221 303-429-5770 manager@northpecoswater.org
North Washington Street Water & San Dist	Joe Jamsay 3172 E 78th Ave Denver CO 80229 303-288-6664 jjames@nwsbsd.com



Agency	Contact Information
NS - Code Compliance	Kerry Gress kgress@adcogovorg 720.523.6832 kgress@adcogov.org
NS - Code Compliance	Gail Moon gmoon@adcogov.org 720.523.6833 gmoon@adcogov.org
NS - Code Compliance	Caleb Bachelor 4430 S. Adams County Pkwy Brighton CO 80601 720.523.6206 cbachelor@adcogov.org
NS - Code Compliance	Joaquin Flores 720.523.6207 jflores@adcogov.org
PERL MACK NEIGHBORHOOD GROUP	DAN MICEK - PRESIDENT 7294 NAVAJO ST. DENVER CO 80221 303-428-8557 DANMICEK54@COMCAST.NET
REGIONAL TRANSPORTATION DIST.	Engineering RTD 1560 BROADWAY SUITE 700 DENVER CO 80202 303-299-2439 engineering@rtd-denver.com
SOUTH ADAMS CO. FIRE DISTRICT	Randall Weigum 6050 Syracuse Street COMMERCE CITY CO 80022 720-573-9790 rweigum@sacfd.org FAX: 303-288-5977
SOUTH ADAMS CO. FIRE DISTRICT	- Fire Prevention Division 6050 Syracuse Street Commerce City CO 80022 303-288-0835 planreview@sacfd.org
South Adams County Water & San Dist	Abel Moreno 10200 E 102nd Ave Henderson CO 80022 720-206-0590 amoreno@sacwsd.org
THORNTON FIRE DEPARTMENT	Chad Mccollum 9500 Civic Center Drive THORNTON CO 80229-4326 303-538-7602 firedept@cityofthornton.net



Agency	Contact Information
UNION PACIFIC RAILROAD	Anna Dancer 1400 DOUGLAS ST STOP 1690 OMAHA NE 68179 402-544-2255 aldancer@up.com
WELBY CITIZEN GROUP	NORMA FRANK 7401 RACE STREET DENVER CO 80229 (303) 288-3152
WESTMINSTER FIRE DEPT.	CAPTAIN DOUG HALL 9110 YATES ST. WESTMINSTER CO 80031 303-430-2400 x4542 dhall@ci.westminster.co.us
WESTMINSTER SCHOOL DISTRICT #50	Jackie Peterson 7002 Raleigh Street WESTMINSTER CO 80030 720-542-5100 jpeterson@adams50.org
Xcel Energy	Donna George 1123 W 3rd Ave DENVER CO 80223 303-571-3306 Donna.L.George@xcelenergy.com
Xcel Energy	Donna George 1123 W 3rd Ave DENVER CO 80223 303-571-3306 Donna.L.George@xcelenergy.com



2018-1 IH BORROWER LP  
1717 MAIN ST STE 2000  
DALLAS TX 75201-4657

AVILA OMAR  
739 MARIPOSA ST  
DENVER CO 80204-4409

2018-4 IH BORROWER LP  
1717 MAIN ST STE 2000  
DALLAS TX 75201-4657

BIVIANO MATTHEW T AND  
BIVIANO AMBER S  
12505 N 3RD ST  
PARKER CO 80134-9444

2020 LYNN ANN TAYLOR REVOCABLE TRUST  
4422 MEADOWLARK DR  
NAPA CA 94558-1711

BRITTANY RIDGE SOUTH OWNERS ASSOCIATION  
INC/C/O MANAGEMENT SPECIALISTS INC  
390 INTERLOCKEN CRES STE 500  
BROOMFIELD CO 80021-8041

7667 WASHINGTON ST LLC  
10940 S PARKER RD UNIT 501  
PARKER CO 80134-7440

BROZOVICH LINETTE MAE  
12633 IRVING CIR  
BROOMFIELD CO 80020-5858

ADDUCCI THOMAS A AND  
ADDUCCI CANDACE S  
583 E 76TH AVE  
DENVER CO 80229-6206

CHASE JUNE O  
165 N 51ST ST  
SPRINGFIELD OR 97478-6021

ADDUCCI THOMAS F JOINT REVOCABLE TRUST THE A  
ND  
ADDUCCI CAROLE I JOINT REVOCABLE TRUST THE  
581 E 76TH AVE  
DENVER CO 80229-6206

CLASSIC REMODELING PROPERTIES LLC  
9624 LAS COLINAS DR  
LONE TREE CO 80124-4200

AMERICAN HOMES 4 RENT PROPERTIES  
NINE LLC  
23975 PARK SORRENTO STE 300  
CALABASAS CA 91302

CORDOVA MARIA  
7027 OTIS ST  
ARVADA CO 80003-3601

ARTEAGA SAUL C AND  
ARTEAGA ROSALBA  
428 E 78TH DR  
THORNTON CO 80229-1809

DI FRANCO GENNA ANTONIETTA  
4655 W 112TH CT  
WESTMINSTER CO 80031-7809

ASK LLC  
5589 S HELENA ST  
AURORA CO 80015-4281

FEDERAL NATIONAL MORTGAGE ASSOCIATION  
5600 GRANITE PKWY  
PLANO TX 75024-4126

ATENCIO DAWNA AND  
FLATIRONS MORTGAGE INVESTMENTS  
3561 BOARDWALK CIR  
HIGHLANDS RANCH CO 80129-4636

FLOREZ JOSEPH R AND  
FLOREZ VIRGINIA M  
7906 LAFAYETTE WAY  
THORNTON CO 80229



GILLILAND ISOLDE  
11445 QUIVAS WAY  
DENVER CO 80234

MELENDEZ MARIA ROSALES  
497 E 77TH PL  
DENVER CO 80229-1805

HAWKINS HOSTEL LLC  
1705 PARKDALE CIR N  
ERIE CO 80516-2405

MENDOZA RAFAEL AND  
MENDOZA FLORENCE  
1955 E 75TH AVE  
DENVER CO 80229

HERNANDEZ JUAN AND  
HERNANDEZ PAULINA  
301 MALLEY DR APT 89  
NORTHGLENN CO 80233-2035

NGUYEN HUONG T  
2405 E 145TH AVE  
THORNTON CO 80602-7303

HOSNI ANTOINE M LIVING TRUST  
3102 W 105TH CT  
WESTMINSTER CO 80031-7734

PUGNETTI FAMILY TRUST THE  
450 E 76TH AVE  
DENVER CO 80229-6205

JANDL HOLDINGS LLC  
10231 MELODY DRIVE  
NORTHGLENN CO 80260

RIVERA TINA LOUISE  
1504 NUEVA VISTA DR  
THORNTON CO 80229-5532

LE SON AND  
LE THUY  
132 LOVELAND WAY  
GOLDEN CO 80401

RRM INVESTMENTS 12 LLC  
1880 VERNON LN  
SUPERIOR CO 80027-8163

LOMBARDI MICHAEL ANTHONY  
6545 NEWTON ST  
ARVADA CO 80003-6450

RRM INVESTMENTS 8 LLC  
1880 VERNON LN  
SUPERIOR CO 80027-8163

MACIAS JOSE  
3843 W KENTUCKY AVE  
DENVER CO 80219-3220

S A TERAN LLC  
PO BOX 270365  
LOUISVILLE CO 80027-5000

MANZANARES CHRISTINA L  
PO BOX 211303  
DENVER CO 80221

SAN MARTIN CABALLERO LLC  
15357 N ZUNI ST  
BROOMFIELD CO 80023

MANZANARES CYNTHIA K AND  
MANZANARES JOSEPH C  
13466 THORNCREEK CIR  
DENVER CO 80241-3902

SANCHEZ JUDY ANN  
237 FOX ST  
DENVER CO 80223-1323



SANCHEZ MARCELO M AND  
SANCHEZ CLAUDIA E  
9631 CLERMONT LN  
THORNTON CO 80229-3283

WINDOM PEAK PROPERTIES LLC  
3528 PRECISION DR STE 100  
FORT COLLINS CO 80528-3502

SCHOOL DISTRICT NO.1  
C/O OPERATIONS DEPT.  
591 E 80TH AVE  
DENVER CO 80229-5806

WPC - CORPORATE II LLC  
307 LEWERS ST 6TH FLOOR  
HONOLULU HI 96815

SERRANO GRACE M  
1411 NEUTRINO DRIVE  
MURFREESHORO TN 37129

WPC-CORPORATE I LLC  
307 LEWERS STREET 6TH FLOOR  
HONOLULU HI 96815-2357

SHULL JEREMY J  
435 S FIG WAY  
LAKEWOOD CO 80228-2323

XS HOLDINGS LLC  
17843 E MAPLEWOOD CIR  
AURORA CO 80016-3124

STAGGS DIANE LLC 1/2 INT AND  
FERRELL BONNIE LEE TRUST 1/2  
4123 E 105TH AVE APT V  
THORNTON CO 80233-3903

YASINI MOHAMMAD M AND  
NOOR LATIFA  
12542 LOCUST WAY  
THORNTON CO 80602-4655

TON HAO T AND  
TRUONG HUYEN D T  
10000 RARITAN WAY  
THORNTON CO 80260-6372

ZHENG JIAN WEI  
15226 BERNARD CT  
HACIENDA HEIGHTS CA 91745-3300

TORRES ROBERTO C  
7610 CONIFER  
DENVER CO 80221

ACEVEDO SANCHEZ REYES  
OR CURRENT RESIDENT  
7795 GRANT STREET  
DENVER CO 80229

TORRES ROBERTO C  
7610 CONIFER RD  
DENVER CO 80221-4139

ACOSTA EUGENE J AND  
ACOSTA LINDA J  
OR CURRENT RESIDENT  
7645 PENNSYLVANIA COURT  
THORNTON CO 80229

TSOU MICHAEL C  
8370 E 129TH PL  
THORNTON CO 80602-8245

ADDUCCI THOMAS F JOINT REVOCABLE TRUST THE A  
ND  
ADDUCCI CAROLE I JOINT REVOCABLE TRUST THE  
OR CURRENT RESIDENT  
581 E 76TH AVE  
DENVER CO 80229-6206

WEISENBERGER JOHN  
9951 HARRISON ST  
DENVER CO 80229-2867

AKINS GREGORY AND  
AKINS CHAM  
OR CURRENT RESIDENT  
7642 PENNSYLVANIA CT  
THORNTON CO 80229-1822



ALMOUSSA HSSAN AND  
ALISSA AZIZA  
OR CURRENT RESIDENT  
421 E 77TH DR  
THORNTON CO 80229-1805

BANUELOS ESPERANZA  
OR CURRENT RESIDENT  
7671 LOGAN ST  
DENVER CO 80229-6735

ANDAZOLA NORMA A  
OR CURRENT RESIDENT  
7775 GRANT ST  
THORNTON CO 80229

BAUER HERMAN R AND  
BAUER PAMELA A  
OR CURRENT RESIDENT  
431 E 77TH DRIVE  
THORNTON CO 80229

ANDERSON CLIFFORD BRUCE  
OR CURRENT RESIDENT  
7705 SHERMAN ST  
DENVER CO 80221-4176

BROWNING ELIZABETH  
OR CURRENT RESIDENT  
7628 GRACE PL  
DENVER CO 80221-4114

APODACA JORGE  
OR CURRENT RESIDENT  
429 E 77TH AVE  
DENVER CO 80229-1820

BUSTOS LENNY P  
OR CURRENT RESIDENT  
7635 PENNSYLVANIA CT  
DENVER CO 80229-1822

ARGUELLO JOSHUA P  
OR CURRENT RESIDENT  
7687 LOGAN ST  
THORNTON CO 80229-6735

CABALLERO JOEL T  
OR CURRENT RESIDENT  
434 E 77TH PLACE  
THORNTON CO 80229

ARMSTRONG JOHN MICHAEL  
OR CURRENT RESIDENT  
7615 SHERMAN ST  
DENVER CO 80221-4174

CABRERA BENAVIDES YANIRA AND  
RAFAEL CARDENAS JOSE S  
OR CURRENT RESIDENT  
7649 PENNSYLVANIA COURT  
DENVER CO 80229

ARTEAGA SAUL AND  
ARTEAGA ROSALBA  
OR CURRENT RESIDENT  
428 E 78TH DRIVE  
THORNTON CO 80229

CASAS ALBERTO AND  
CASAS IRMA I  
OR CURRENT RESIDENT  
7664 SHERMAN ST  
DENVER CO 80221-4175

ARTEAGA SAUL C AND  
ARTEAGA ROSALBA  
OR CURRENT RESIDENT  
431 E 76TH AVE  
DENVER CO 80229-6204

CASILLAS ABELINO  
OR CURRENT RESIDENT  
7625 PENNSYLVANIA COURT  
THORNTON CO 80229

ATHER SABBIR AND  
ZULALI AAYSHAH  
OR CURRENT RESIDENT  
464 E 77TH PL  
DENVER CO 80229-1801

CASTELLANO JONATHAN MICHAEL  
OR CURRENT RESIDENT  
415 E 76TH AVE  
DENVER CO 80229-6204

BACA TERRANCE D AND  
RAEL ELOISE MARIE  
OR CURRENT RESIDENT  
7679 PENNSYLVANIA COURT  
THORNTON CO 80229

CASTORENA ROBERTO  
OR CURRENT RESIDENT  
432 E 78TH DR  
DENVER CO 80229-1809



CENTRAL LATIN AMERICAN DISTRICT COUNCIL  
OF THE ASSEMBLIES OF GOD  
OR CURRENT RESIDENT  
7510 SHERMAN ST  
DENVER CO 80221

DALRYMPLE DAWN  
OR CURRENT RESIDENT  
7801 PATRICIA DR  
THORNTON CO 80229-1813

CHAVEZ DEANNA LEE  
OR CURRENT RESIDENT  
7608 GRACE PL  
DENVER CO 80221-4114

DAVIS GARY A AND  
DAVIS DIANA R  
OR CURRENT RESIDENT  
7659 SHERMAN PL  
DENVER CO 80221-4174

CHAVEZ GONZALO AND  
CHAVEZ LUZ E  
OR CURRENT RESIDENT  
487 E 77TH PLACE  
THORNTON CO 80229

DAVIS WILLIAM HOWARD  
OR CURRENT RESIDENT  
7637 GRACE PL  
DENVER CO 80221-4113

CONTRERAS-LOPEZ BRENDA JOANA  
OR CURRENT RESIDENT  
7606 SHERMAN PL  
DENVER CO 80221-4181

DE LA GARZA BLANCA  
OR CURRENT RESIDENT  
7656 SHERMAN PL  
DENVER CO 80221-4181

CORDOVA RENEE MELISSA  
OR CURRENT RESIDENT  
7744 SHERMAN ST  
DENVER CO 80221-4177

DE LEON LUIS A GONZALEZ  
OR CURRENT RESIDENT  
7655 SHERMAN ST  
DENVER CO 80221-4174

CORIA JOSE O RODRIGUEZ AND  
CORIA SANDRA RODRIGUEZ  
OR CURRENT RESIDENT  
495 E 77TH AVE  
DENVER CO 80229-1820

DE RIVERA MARIA CABRAL AND  
RIVERA FLORENCIO  
OR CURRENT RESIDENT  
414 E 77TH PLACE  
THORNTON CO 80229

CORRAL LIBRADO AND  
ARREOLA SORAYA  
OR CURRENT RESIDENT  
440 E 77TH DR  
THORNTON CO 80229-1807

DI ANNIE DONALD P  
OR CURRENT RESIDENT  
451 E 76TH AVE  
DENVER CO 80229-6204

CRUZ AURELIANO  
OR CURRENT RESIDENT  
7626 SHERMAN PL  
DENVER CO 80221-4181

DIAZ ANDREW AND  
BACA NINA MARLEE  
OR CURRENT RESIDENT  
415 E 77TH AVE  
THORNTON CO 80229

CURELOP CRAIG  
OR CURRENT RESIDENT  
7675 SHERMAN ST  
DENVER CO 80221-4174

DIAZ BILL  
OR CURRENT RESIDENT  
7604 SHERMAN ST  
DENVER CO 80221-4175

DAHAN DANIEL  
OR CURRENT RESIDENT  
454 E 77TH PL  
THORNTON CO 80229-1801

DIAZ RICHARD N AND  
DIAZ FRANCES L  
OR CURRENT RESIDENT  
7679 SHERMAN PL  
DENVER CO 80221-4180



DOAN LONG HONG  
OR CURRENT RESIDENT  
475 E 77TH AVE  
DENVER CO 80229-1820

FRESQUEZ ALICIA  
OR CURRENT RESIDENT  
438 E 78TH DR  
DENVER CO 80229-1809

ECKES KIMBERLY  
OR CURRENT RESIDENT  
7633 PENNSYLVANIA CT  
THORNTON CO 80229-1822

GALLEGOS LUIS F ROMO  
OR CURRENT RESIDENT  
472 E 77TH AVE  
THORNTON CO 80229-1819

ELIZONDO DANY E AND  
ELIZONDO EDITH  
OR CURRENT RESIDENT  
544 E 77TH PL  
THORNTON CO 80229-1802

GARCIA JUAN L MIRANDA AND  
GARCIA JOSE G MIRANDA  
OR CURRENT RESIDENT  
7619 SHERMAN PL  
DENVER CO 80221

ELQUETA RICARDO  
OR CURRENT RESIDENT  
7641 PENNSYLVANIA COURT  
THORNTON CO 80229

GARCIA OSEAS I AND  
GARCIA PRISCILA  
OR CURRENT RESIDENT  
7639 PENNSYLVANIA CT  
THORNTON CO 80229-1822

ESPINOSA CHAD H AND  
ESPINOSA SIENI Q  
OR CURRENT RESIDENT  
507 E 77TH PL  
THORNTON CO 80229-1804

GARCIA PILAR D  
OR CURRENT RESIDENT  
7654 LOGAN STREET  
THORNTON CO 80229

EUDABE DE LUNA MARIA CARMEN  
OR CURRENT RESIDENT  
427 E 77TH PL  
DENVER CO 80229-1803

GARCIA SALVADOR JR  
OR CURRENT RESIDENT  
401 E 76TH AVE  
THORNTON CO 80229-6204

FAULKINGHAM ELLEN M  
OR CURRENT RESIDENT  
510 E 77TH DR  
DENVER CO 80229-1808

GEORGE ANDREW CHRISTIAN  
OR CURRENT RESIDENT  
422 E 77TH AVE  
DENVER CO 80229-1819

FICCO ROBERT D AND  
FICCO BEVERLY J  
OR CURRENT RESIDENT  
7746 SHERMAN PL  
DENVER CO 80221-4183

GIFFORD IAN AND  
GIFFORD MICHAEL  
OR CURRENT RESIDENT  
432 E 77TH AVE  
DENVER CO 80229-1819

FLYNN JEANNE M CARLSON  
OR CURRENT RESIDENT  
7607 GRACE PL  
DENVER CO 80221

GONZALES GLORIA E  
OR CURRENT RESIDENT  
7667 LOGAN STREET  
THORNTON CO 80229

FRANK ROGER A AND  
FRANK KAY A  
OR CURRENT RESIDENT  
7704 SHERMAN ST  
DENVER CO 80221-4177

GONZALES JOSEPH EDWARD  
OR CURRENT RESIDENT  
7660 PENNSYLVANIA CT  
DENVER CO 80229-1822



GRADO MIGUEL  
OR CURRENT RESIDENT  
7651 LOGAN STREET  
THORNTON CO 80229

HEIDENREICH ROSE MARY  
OR CURRENT RESIDENT  
421 E 76TH AVE  
DENVER CO 80229-6204

GUERRERO ANTONIO AND  
GUERRERO MARIA FERNANDEZ  
OR CURRENT RESIDENT  
7614 SHERMAN ST  
DENVER CO 80221-4175

HERNANDEZ ARIEL L AND  
THERIOT JORDAN C  
OR CURRENT RESIDENT  
7755 SHERMAN ST  
DENVER CO 80221-4176

GUILLEN VALENTIN CALDERON  
OR CURRENT RESIDENT  
445 E 77TH AVE  
DENVER CO 80229-1820

HERNANDEZ ISAAC JOSEPH VELEZ AND  
HERNANDEZ HEATHER VELEZ  
OR CURRENT RESIDENT  
7688 LINCOLN WAY  
DENVER CO 80221-4122

GURROLA-MERCADO ANTONIO AND  
GURROLA GRACE  
OR CURRENT RESIDENT  
424 E 77TH PL  
DENVER CO 80229-1801

HERNANDEZ-PALMA JUAN MANUEL AND  
DIAZ CARLA JAQUELINE ESCARZAGA  
OR CURRENT RESIDENT  
7664 LOGAN ST  
DENVER CO 80229-6734

GUTIERREZ BRIAN E AND  
GUTIERREZ DEANNA P  
OR CURRENT RESIDENT  
7670 LOGAN ST  
DENVER CO 80229-6734

HERRERA MOISES M AND  
CORTES DE HERRERA GLENDA  
OR CURRENT RESIDENT  
7666 SHERMAN PL  
DENVER CO 80221-4181

GUTIERREZ HIPOLITO AND  
PENA LEONEL LOPEZ  
OR CURRENT RESIDENT  
451 E 77TH DR  
DENVER CO 80229-1805

HERRERA ROSIO  
OR CURRENT RESIDENT  
7774 SHERMAN ST  
DENVER CO 80221-4177

HARDY TIMOTHY DEVON AND  
HARDY HANNAH ELIZABETH  
OR CURRENT RESIDENT  
7686 SHERMAN PL  
DENVER CO 80221-4181

HICKMAN CLIFFORD L AND  
HICKMAN VIRGINIA A  
OR CURRENT RESIDENT  
7629 SHERMAN PL  
DENVER CO 80221-4180

HARO FABIAN  
OR CURRENT RESIDENT  
7669 SHERMAN PL  
DENVER CO 80221-4180

HOCHBERG BEN H AND  
HOCHBERG SHEILA K  
OR CURRENT RESIDENT  
7739 LINCOLN WAY  
DENVER CO 80221-4121

HARO SAUL R AND  
ROJAS MARIA LUISA  
OR CURRENT RESIDENT  
7765 GRANT STREET  
THORNTON CO 80229

ISOM STEPHANIE L  
OR CURRENT RESIDENT  
7617 GRACE PL  
DENVER CO 80221-4113

HAYLEY SAMANTHA MICHELLE AND  
STEINKE DANE RICK  
OR CURRENT RESIDENT  
7635 SHERMAN ST  
DENVER CO 80221-4174

JAMES JOSEPH A JR AND  
JAMES DELORES J  
OR CURRENT RESIDENT  
425 E 76TH AVENUE  
DENVER CO 80229



JIMENEZ JOSE ANGEL  
OR CURRENT RESIDENT  
7684 SHERMAN ST  
DENVER CO 80221-4175

LUCERO LENUS  
OR CURRENT RESIDENT  
7654 SHERMAN ST  
DENVER CO 80221-4175

JJ WILSON TRUST AND  
WILSON KATHY A  
OR CURRENT RESIDENT  
7627 GRACE PL  
DENVER CO 80221-4113

LUCERO MATTHEW R AND  
MARTINEZ-LUCERO YVETTE M  
OR CURRENT RESIDENT  
7645 SHERMAN ST  
DENVER CO 80221-4174

JOHNSON KAY  
OR CURRENT RESIDENT  
7665 SHERMAN ST  
DENVER CO 80221

MACIAS DANIEL  
OR CURRENT RESIDENT  
7714 SHERMAN ST  
DENVER CO 80221-4177

JONES JACOB R AND  
JONES ELIE A  
OR CURRENT RESIDENT  
7646 PENNSYLVANIA COURT  
THORNTON CO 80229

MADERA FEDERICO AND  
BURCIAGA JULIA J  
OR CURRENT RESIDENT  
442 E 78TH DR  
DENVER CO 80229-1809

KASYANCHIK SVETLANA  
OR CURRENT RESIDENT  
477 E 77TH PL  
DENVER CO 80229-1803

MANNING MICHAEL A AND  
MANNING LESLEY A  
OR CURRENT RESIDENT  
7649 SHERMAN PL  
DENVER CO 80221-4180

KEEGAN CYNTHIA AND  
KEEGAN BRADLEY  
OR CURRENT RESIDENT  
410 E 76TH AVE  
DENVER CO 80229-6205

MARTINEZ ANDREW D AND  
MARTINEZ PATRICIA J  
OR CURRENT RESIDENT  
505 E 77TH AVENUE  
THORNTON CO 80229

LANE RAQUEL LUCINA  
OR CURRENT RESIDENT  
7745 SHERMAN ST  
DENVER CO 80221-4176

MARTINEZ BRIANA ELEXIS  
OR CURRENT RESIDENT  
482 E 77TH AVE  
DENVER CO 80229-1819

LOPEZ JUAN OCHOA  
OR CURRENT RESIDENT  
7646 SHERMAN PL  
DENVER CO 80221-4181

MARTINEZ EMILIO AND  
OROZCO CLAUDIA ANAYELY GARCIA  
OR CURRENT RESIDENT  
7626 PENNSYLVANIA CT  
THORNTON CO 80229-1822

LOPEZ TOMAS  
OR CURRENT RESIDENT  
422 E 78TH DR  
DENVER CO 80229-1809

MARTINEZ LUISA  
OR CURRENT RESIDENT  
471 E 77TH DR  
DENVER CO 80229-1805

LOWE JON T  
OR CURRENT RESIDENT  
405 E 76TH AVE  
DENVER CO 80229-6204

MARTINEZ VICTOR M AND  
MARTINEZ KARLA R  
OR CURRENT RESIDENT  
7630 PENNSYLVANIA COURT  
THORNTON CO 80229



MASSARO JOHN  
OR CURRENT RESIDENT  
7724 SHERMAN ST  
DENVER CO 80221-4177

MISKO YELENA AND  
BERDIEV TOJIDDIN  
OR CURRENT RESIDENT  
7674 LOGAN ST  
THORNTON CO 80229-6734

MC NEIL PATTY AND  
MC NEIL ROBERT  
OR CURRENT RESIDENT  
7648 GRACE PLACE  
DENVER CO 80221

MOLDENHAUER KENNETH L AND  
MOLDENHAUER BONNIE  
OR CURRENT RESIDENT  
7678 LINCOLN WAY  
DENVER CO 80221-4122

MCDANIEL CHARLES M  
OR CURRENT RESIDENT  
7639 SHERMAN PL  
DENVER CO 80221-4180

MONSON LAWRENCE AND  
MONSON ANNETTE D  
OR CURRENT RESIDENT  
411 E 76TH AVE  
DENVER CO 80229

MEIDINGER DONALD JUSTIN WILLIAM  
OR CURRENT RESIDENT  
515 E 77TH AVE  
THORNTON CO 80229-1821

MORRIS DOUGLAS S AND  
MORRIS WANDA J  
OR CURRENT RESIDENT  
7755 GRANT STREET  
THORNTON CO 80229

MEJIA YOLANDA M  
OR CURRENT RESIDENT  
7716 SHERMAN PL  
DENVER CO 80221-4183

MOTT HARLAN III AND  
MOTT INGRY E  
OR CURRENT RESIDENT  
7658 PENNSYLVANIA CT  
DENVER CO 80229-1822

MELENDEZ LUIS E  
OR CURRENT RESIDENT  
7691 LOGAN ST  
DENVER CO 80229-6735

MUNGUIA JULIO CERVANTES  
OR CURRENT RESIDENT  
555 E 77TH AVE  
THORNTON CO 80229-1821

MENDIOLA SERGIO ORTEGA  
OR CURRENT RESIDENT  
7735 SHERMAN ST  
THORNTON CO 80221-4176

MUNOZ ANSELMO VEGA  
OR CURRENT RESIDENT  
7658 GRACE PL  
DENVER CO 80221-4114

MILLER MATTHEW A AND  
MILLER TERESA L  
OR CURRENT RESIDENT  
7681 LOGAN ST  
DENVER CO 80229-6735

NELSON CORTES ENRIQUE  
OR CURRENT RESIDENT  
480 E 77TH DR  
DENVER CO 80229-1807

MILLER WILLIAM D JR AND  
MILLER KUNIKO AKIMOTO  
OR CURRENT RESIDENT  
7729 LINCOLN WAY  
DENVER CO 80221-4121

NEWELL NICHOLAS Z  
OR CURRENT RESIDENT  
7638 PENNSYLVANIA CT  
DENVER CO 80229-1822

MIRAMONTES CRISTAL  
OR CURRENT RESIDENT  
437 E 77TH PL  
DENVER CO 80229-1803

NGUYEN BA V AND  
MELENDEZ ROSE I  
OR CURRENT RESIDENT  
7610 PENNSYLVANIA COURT  
THORNTON CO 80229



NGUYEN HONG  
OR CURRENT RESIDENT  
547 E 77TH PL  
THORNTON CO 80229

PHAN NARIN  
OR CURRENT RESIDENT  
450 E 77TH DR  
DENVER CO 80229-1807

NGUYEN XANH X  
OR CURRENT RESIDENT  
441 E 77TH DRIVE  
THORNTON CO 80229

POHLENZ MARTI E AND  
POHLENZ MARK A  
OR CURRENT RESIDENT  
405 E 77TH AVE  
THORNTON CO 80229

OCHOA GUTIERREZ FRANCISCO E AND  
PRIETO JAVAERA STEPHANIE EGILANTINA  
OR CURRENT RESIDENT  
425 E 77TH AVE  
DENVER CO 80229-1820

PUGNETTI FAMILY TRUST THE  
OR CURRENT RESIDENT  
450 E 76TH AVE  
DENVER CO 80229-6205

OLIVARES ISRAEL A  
OR CURRENT RESIDENT  
411 E 77TH DR  
DENVER CO 80229-1805

PUGNETTI LIVING TRUST  
OR CURRENT RESIDENT  
579 E 76TH AVE  
DENVER CO 80229-6206

ORONIA OMAR  
OR CURRENT RESIDENT  
594 E 77TH PL  
THORNTON CO 80229-1802

RICE WILLIAM AND  
RICE SHEA  
OR CURRENT RESIDENT  
7735 GRANT ST  
DENVER CO 80229-1800

ORTEGON RACHEL AND  
ORTEGON DANIEL  
OR CURRENT RESIDENT  
7638 GRACE PL  
DENVER CO 80221-4114

RIO RYAN  
OR CURRENT RESIDENT  
7650 PENNSYLVANIA COURT  
THORNTON CO 80229

ORTIZ HAVIT BIZARRO  
OR CURRENT RESIDENT  
465 E 77TH AVE  
DENVER CO 80229-1820

RIVERA ARMANDO AND  
RIVERA LORETTA  
OR CURRENT RESIDENT  
7668 LINCOLN WAY  
DENVER CO 80221-4122

PADILLA LIDIA  
OR CURRENT RESIDENT  
525 E 77TH AVE  
DENVER CO 80229-1821

RODARTE JODY P  
OR CURRENT RESIDENT  
7675 PENNSYLVANIA COURT  
THORNTON CO 80229

PATTERSON CHARLES ARNOLD  
OR CURRENT RESIDENT  
7661 LOGAN ST  
DENVER CO 80229-6735

RODRIGUEZ NANCY IVET MONTANEZ  
OR CURRENT RESIDENT  
404 E 77TH PL  
THORNTON CO 80229-1801

PAULY JOSHUA CURTIS  
OR CURRENT RESIDENT  
7785 GRANT ST  
THORNTON CO 80229-1800

RODRIGUEZ RIEFKOHL TRUST THE  
OR CURRENT RESIDENT  
7676 SHERMAN PL  
DENVER CO 80221-4181



ROJAS FRANCISCO J AND  
ROJAS JUAN L  
OR CURRENT RESIDENT  
7656 PENNSYLVANIA COURT  
THORNTON CO 80229

SATTARI ABDUL S/RUKHSHANA AND  
SATTARI SHANAZ  
OR CURRENT RESIDENT  
7640 PENNSYLVANIA COURT  
THORNTON CO 80229

ROMAN FLORENCIO VAZQUEZ  
OR CURRENT RESIDENT  
7775 SHERMAN STREET  
DENVER CO 80221

SCHERZER JARROD  
OR CURRENT RESIDENT  
474 E 77TH PL  
DENVER CO 80229-1801

RUBIO JOSE A AND  
RUBIO REINA  
OR CURRENT RESIDENT  
479 E 77TH AVE  
DENVER CO 80229-1820

SEGURA CHARLES AND  
SEGURA TRISHA J  
OR CURRENT RESIDENT  
514 E 77TH PL  
DENVER CO 80229-1802

RUSSELL DENNIS C  
OR CURRENT RESIDENT  
7756 SHERMAN PL  
DENVER CO 80221-4183

SEIRER ALLEN G  
OR CURRENT RESIDENT  
585 E 77TH AVE  
DENVER CO 80229-1821

SAENZ OSCAR E AND  
GARFIO-SAENZ NORMA  
OR CURRENT RESIDENT  
7686 PENNSYLVANIA COURT  
THORNTON CO 80229

SERNA JOSE GUADALUPE  
OR CURRENT RESIDENT  
485 E 77TH AVE  
DENVER CO 80229-1820

SALAZAR JOEL AND  
SANDOVAL ESPERANZA  
OR CURRENT RESIDENT  
7726 SHERMAN PL  
DENVER CO 80221-4183

SINKS BRITTANY AND  
CHURAPE BRAYAN  
OR CURRENT RESIDENT  
470 E 77TH DR  
DENVER CO 80229-1807

SANCHEZ MARGARITA AND  
PENA BRIAN ORLANDO  
OR CURRENT RESIDENT  
7605 SHERMAN ST  
DENVER CO 80221-4174

SMITH DEBRA S AND  
SMITH ROBERT J  
OR CURRENT RESIDENT  
390 E 76TH AVE  
DENVER CO 80229

SANCHEZ RODRIGUEZ NANCY  
OR CURRENT RESIDENT  
447 E 77TH PL  
DENVER CO 80229-1803

SOTO-JUAQUEZ CRUZ  
OR CURRENT RESIDENT  
7677 WASHINGTON ST  
DENVER CO 80229-6201

SANDOVAL MANUEL  
OR CURRENT RESIDENT  
7615 PENNSYLVANIA CT  
DENVER CO 80229-1822

SPILLMAN MICHAEL  
OR CURRENT RESIDENT  
7676 PENNSYLVANIA COURT  
DENVER CO 80229

SAR NGUYET AND  
SAR RYAN  
OR CURRENT RESIDENT  
452 E 77TH AVE  
THORNTON CO 80229-1819

STECKLEIN GARY LEE  
OR CURRENT RESIDENT  
435 E 77TH AVE  
DENVER CO 80229-1820



STRAYER JUANITA M  
OR CURRENT RESIDENT  
7685 SHERMAN ST  
DENVER CO 80221-4174

VIGIL ANA M AND  
VIGIL NICHOLAS R  
OR CURRENT RESIDENT  
461 E 77TH DR  
THORNTON CO 80229-1805

SYDOW SHANE  
OR CURRENT RESIDENT  
7745 GRANT ST  
DENVER CO 80229-1800

VIGIL TOMAS L AND  
VIGIL MARGARITA ELISA  
OR CURRENT RESIDENT  
7698 LINCOLN WAY  
DENVER CO 80221-4122

TAFOYA VICTORIA ANN  
OR CURRENT RESIDENT  
7677 LOGAN ST  
DENVER CO 80229-6735

VILLALOBOS BALTAZAR AND  
VILLALOBOS MARIA G  
OR CURRENT RESIDENT  
467 E 77TH PLACE  
THORNTON CO 80229

TELLO LIZBETH  
OR CURRENT RESIDENT  
7680 PENNSYLVANIA COURT  
DENVER CO 80229

VINNOLA DEBRA  
OR CURRENT RESIDENT  
7749 SHERMAN PL  
DENVER CO 80221-4182

THEORINE ELIZABETH RUSSELL AND  
THEORINE GUSTAV O  
OR CURRENT RESIDENT  
7754 SHERMAN ST  
DENVER CO 80221-4177

WALTERS AMANDA AND  
WALTERS JIMMY H  
OR CURRENT RESIDENT  
565 E 77TH AVE  
DENVER CO 80229-1821

THOMPSON ANDREW J AND  
RATLIFF JOLENE L  
OR CURRENT RESIDENT  
490 E 77TH DR  
DENVER CO 80229-1807

WOLTA BRYAN E  
OR CURRENT RESIDENT  
420 E 77TH DR  
DENVER CO 80229-1807

TINAJERO FEDERICO MARTINEZ  
OR CURRENT RESIDENT  
7620 PENNSYLVANIA COURT  
THORNTON CO 80229

CURRENT RESIDENT  
140 E GRACE PL APT 1  
DENVER CO 80221-3600

TU LINH AND  
TU ANH  
OR CURRENT RESIDENT  
7632 PENNSYLVANIA CT  
DENVER CO 80229-1822

CURRENT RESIDENT  
140 E GRACE PL APT 2  
DENVER CO 80221-3600

VALIENTE LEOPOLDO  
OR CURRENT RESIDENT  
7634 SHERMAN ST  
DENVER CO 80221

CURRENT RESIDENT  
140 E GRACE PL APT 3  
DENVER CO 80221-3600

VIDAL MICHAEL ANTHONY AND ABBIE M  
OR CURRENT RESIDENT  
7644 SHERMAN ST  
DENVER CO 80221-4175

CURRENT RESIDENT  
140 E GRACE PL APT 4  
DENVER CO 80221-3600



CURRENT RESIDENT  
7480 BROADWAY  
DENVER CO 80221-3601

CURRENT RESIDENT  
157 E GRACE PL  
DENVER CO 80221-3629

CURRENT RESIDENT  
7510 BROADWAY  
DENVER CO 80221-3616

CURRENT RESIDENT  
159 E GRACE PL  
DENVER CO 80221-3629

CURRENT RESIDENT  
7570 BROADWAY  
DENVER CO 80221-3616

CURRENT RESIDENT  
161 E GRACE PL  
DENVER CO 80221-3629

CURRENT RESIDENT  
143 E GRACE PL  
DENVER CO 80221-3629

CURRENT RESIDENT  
163 E GRACE PL  
DENVER CO 80221-3629

CURRENT RESIDENT  
145 E GRACE PL  
DENVER CO 80221-3629

CURRENT RESIDENT  
165 E GRACE PL  
DENVER CO 80221-3629

CURRENT RESIDENT  
147 E GRACE PL  
DENVER CO 80221-3629

CURRENT RESIDENT  
7524 SHERMAN ST  
DENVER CO 80221-3636

CURRENT RESIDENT  
149 E GRACE PL  
DENVER CO 80221-3629

CURRENT RESIDENT  
7526 SHERMAN ST  
DENVER CO 80221-3636

CURRENT RESIDENT  
151 E GRACE PL  
DENVER CO 80221-3629

CURRENT RESIDENT  
7528 SHERMAN ST  
DENVER CO 80221-3636

CURRENT RESIDENT  
153 E GRACE PL  
DENVER CO 80221-3629

CURRENT RESIDENT  
7530 SHERMAN ST  
DENVER CO 80221-3636

CURRENT RESIDENT  
155 E GRACE PL  
DENVER CO 80221-3629

CURRENT RESIDENT  
7532 SHERMAN ST  
DENVER CO 80221-3636



CURRENT RESIDENT  
7534 SHERMAN ST  
DENVER CO 80221-3636

CURRENT RESIDENT  
120 E GRACE PL APT 4  
DENVER CO 80221-3661

CURRENT RESIDENT  
7536 SHERMAN ST  
DENVER CO 80221-3636

CURRENT RESIDENT  
180 E GRACE PL APT 1  
DENVER CO 80221-3662

CURRENT RESIDENT  
7538 SHERMAN ST  
DENVER CO 80221-3636

CURRENT RESIDENT  
180 E GRACE PL APT 2  
DENVER CO 80221-3662

CURRENT RESIDENT  
110 E GRACE PL APT 1  
DENVER CO 80221-3660

CURRENT RESIDENT  
180 E GRACE PL APT 3  
DENVER CO 80221-3662

CURRENT RESIDENT  
110 E GRACE PL APT 2  
DENVER CO 80221-3660

CURRENT RESIDENT  
180 E GRACE PL APT 4  
DENVER CO 80221-3662

CURRENT RESIDENT  
110 E GRACE PL APT 3  
DENVER CO 80221-3660

CURRENT RESIDENT  
201 E GRACE PL APT 1  
DENVER CO 80221-3663

CURRENT RESIDENT  
110 E GRACE PL APT 4  
DENVER CO 80221-3660

CURRENT RESIDENT  
201 E GRACE PL APT 2  
DENVER CO 80221-3663

CURRENT RESIDENT  
120 E GRACE PL APT 1  
DENVER CO 80221-3661

CURRENT RESIDENT  
201 E GRACE PL APT 3  
DENVER CO 80221-3663

CURRENT RESIDENT  
120 E GRACE PL APT 2  
DENVER CO 80221-3661

CURRENT RESIDENT  
201 E GRACE PL APT 4  
DENVER CO 80221-3663

CURRENT RESIDENT  
120 E GRACE PL APT 3  
DENVER CO 80221-3661

CURRENT RESIDENT  
167 E GRACE PL  
DENVER CO 80221-3664



CURRENT RESIDENT  
169 E GRACE PL  
DENVER CO 80221-3664

CURRENT RESIDENT  
7546 SHERMAN ST  
DENVER CO 80221-3668

CURRENT RESIDENT  
171 E GRACE PL  
DENVER CO 80221-3664

CURRENT RESIDENT  
7556 SHERMAN ST  
DENVER CO 80221-3668

CURRENT RESIDENT  
173 E GRACE PL  
DENVER CO 80221-3664

CURRENT RESIDENT  
7560 SHERMAN ST  
DENVER CO 80221-3668

CURRENT RESIDENT  
175 E GRACE PL  
DENVER CO 80221-3664

CURRENT RESIDENT  
7564 SHERMAN ST  
DENVER CO 80221-3668

CURRENT RESIDENT  
177 E GRACE PL  
DENVER CO 80221-3664

CURRENT RESIDENT  
7568 SHERMAN ST  
DENVER CO 80221-3668

CURRENT RESIDENT  
179 E GRACE PL  
DENVER CO 80221-3664

CURRENT RESIDENT  
7572 SHERMAN ST  
DENVER CO 80221-3668

CURRENT RESIDENT  
183 E GRACE PL  
DENVER CO 80221-3664

CURRENT RESIDENT  
7576 SHERMAN ST  
DENVER CO 80221-3668

CURRENT RESIDENT  
7540 SHERMAN ST  
DENVER CO 80221-3668

CURRENT RESIDENT  
7580 SHERMAN ST  
DENVER CO 80221-3668

CURRENT RESIDENT  
7542 SHERMAN ST  
DENVER CO 80221-3668

CURRENT RESIDENT  
7584 SHERMAN ST  
DENVER CO 80221-3668

CURRENT RESIDENT  
7544 SHERMAN ST  
DENVER CO 80221-3668

CURRENT RESIDENT  
7588 SHERMAN ST  
DENVER CO 80221-3668



CURRENT RESIDENT  
7592 SHERMAN ST  
DENVER CO 80221-3668

CURRENT RESIDENT  
180 E DEL NORTE ST APT 2  
DENVER CO 80221-4169

CURRENT RESIDENT  
7596 SHERMAN ST  
DENVER CO 80221-3668

CURRENT RESIDENT  
180 E DEL NORTE ST APT 3  
DENVER CO 80221-4169

CURRENT RESIDENT  
7618 GRACE PL  
DENVER CO 80221-4114

CURRENT RESIDENT  
180 E DEL NORTE ST APT 4  
DENVER CO 80221-4169

CURRENT RESIDENT  
7719 LINCOLN WAY  
DENVER CO 80221-4121

CURRENT RESIDENT  
200 E DEL NORTE ST APT 1  
DENVER CO 80221-4170

CURRENT RESIDENT  
160 E DEL NORTE ST APT 1  
DENVER CO 80221-4137

CURRENT RESIDENT  
200 E DEL NORTE ST APT 2  
DENVER CO 80221-4170

CURRENT RESIDENT  
160 E DEL NORTE ST APT 2  
DENVER CO 80221-4137

CURRENT RESIDENT  
200 E DEL NORTE ST APT 3  
DENVER CO 80221-4170

CURRENT RESIDENT  
160 E DEL NORTE ST APT 3  
DENVER CO 80221-4137

CURRENT RESIDENT  
200 E DEL NORTE ST APT 4  
DENVER CO 80221-4170

CURRENT RESIDENT  
160 E DEL NORTE ST APT 4  
DENVER CO 80221-4137

CURRENT RESIDENT  
7625 SHERMAN ST  
DENVER CO 80221-4174

CURRENT RESIDENT  
7610 CONIFER RD  
DENVER CO 80221-4139

CURRENT RESIDENT  
7624 SHERMAN ST  
DENVER CO 80221-4175

CURRENT RESIDENT  
180 E DEL NORTE ST APT 1  
DENVER CO 80221-4169

CURRENT RESIDENT  
7674 SHERMAN ST  
DENVER CO 80221-4175



CURRENT RESIDENT  
7715 SHERMAN ST  
DENVER CO 80221-4176

CURRENT RESIDENT  
200 E GRACE PL APT 1  
DENVER CO 80221-8209

CURRENT RESIDENT  
7765 SHERMAN ST  
DENVER CO 80221-4176

CURRENT RESIDENT  
200 E GRACE PL APT 2  
DENVER CO 80221-8209

CURRENT RESIDENT  
7734 SHERMAN ST  
DENVER CO 80221-4177

CURRENT RESIDENT  
200 E GRACE PL APT 3  
DENVER CO 80221-8209

CURRENT RESIDENT  
7764 SHERMAN ST  
DENVER CO 80221-4177

CURRENT RESIDENT  
200 E GRACE PL APT 4  
DENVER CO 80221-8209

CURRENT RESIDENT  
7784 SHERMAN ST  
DENVER CO 80221-4177

CURRENT RESIDENT  
141 E GRACE PL APT 1  
DENVER CO 80221-8210

CURRENT RESIDENT  
7609 SHERMAN PL  
DENVER CO 80221-4180

CURRENT RESIDENT  
141 E GRACE PL APT 2  
DENVER CO 80221-8210

CURRENT RESIDENT  
7616 SHERMAN PL  
DENVER CO 80221-4181

CURRENT RESIDENT  
141 E GRACE PL APT 3  
DENVER CO 80221-8210

CURRENT RESIDENT  
7636 SHERMAN PL  
DENVER CO 80221-4181

CURRENT RESIDENT  
141 E GRACE PL APT 4  
DENVER CO 80221-8210

CURRENT RESIDENT  
7706 SHERMAN PL  
DENVER CO 80221-4183

CURRENT RESIDENT  
181 E GRACE PL APT 1  
DENVER CO 80221-8211

CURRENT RESIDENT  
7766 SHERMAN PL  
DENVER CO 80221-4183

CURRENT RESIDENT  
181 E GRACE PL APT 2  
DENVER CO 80221-8211



CURRENT RESIDENT  
181 E GRACE PL APT 3  
DENVER CO 80221-8211

CURRENT RESIDENT  
7500 BROADWAY APT 100  
DENVER CO 80221-8214

CURRENT RESIDENT  
181 E GRACE PL APT 4  
DENVER CO 80221-8211

CURRENT RESIDENT  
7500 BROADWAY APT 101  
DENVER CO 80221-8214

CURRENT RESIDENT  
150 E GRACE PL APT 1  
DENVER CO 80221-8212

CURRENT RESIDENT  
7500 BROADWAY APT 102  
DENVER CO 80221-8214

CURRENT RESIDENT  
150 E GRACE PL APT 2  
DENVER CO 80221-8212

CURRENT RESIDENT  
7500 BROADWAY APT 103  
DENVER CO 80221-8214

CURRENT RESIDENT  
150 E GRACE PL APT 3  
DENVER CO 80221-8212

CURRENT RESIDENT  
7500 BROADWAY APT 104  
DENVER CO 80221-8214

CURRENT RESIDENT  
150 E GRACE PL APT 4  
DENVER CO 80221-8212

CURRENT RESIDENT  
7500 BROADWAY APT 105  
DENVER CO 80221-8215

CURRENT RESIDENT  
160 E GRACE PL APT 1  
DENVER CO 80221-8213

CURRENT RESIDENT  
7500 BROADWAY APT 106  
DENVER CO 80221-8215

CURRENT RESIDENT  
160 E GRACE PL APT 2  
DENVER CO 80221-8213

CURRENT RESIDENT  
7500 BROADWAY APT 107  
DENVER CO 80221-8215

CURRENT RESIDENT  
160 E GRACE PL APT 3  
DENVER CO 80221-8213

CURRENT RESIDENT  
7500 BROADWAY APT 108  
DENVER CO 80221-8215

CURRENT RESIDENT  
160 E GRACE PL APT 4  
DENVER CO 80221-8213

CURRENT RESIDENT  
7500 BROADWAY APT 200  
DENVER CO 80221-8215



CURRENT RESIDENT  
7500 BROADWAY APT 201  
DENVER CO 80221-8216

CURRENT RESIDENT  
7500 BROADWAY APT 301  
DENVER CO 80221-8218

CURRENT RESIDENT  
7500 BROADWAY APT 202  
DENVER CO 80221-8216

CURRENT RESIDENT  
7500 BROADWAY APT 302  
DENVER CO 80221-8218

CURRENT RESIDENT  
7500 BROADWAY APT 203  
DENVER CO 80221-8216

CURRENT RESIDENT  
7500 BROADWAY APT 303  
DENVER CO 80221-8218

CURRENT RESIDENT  
7500 BROADWAY APT 204  
DENVER CO 80221-8216

CURRENT RESIDENT  
7500 BROADWAY APT 304  
DENVER CO 80221-8218

CURRENT RESIDENT  
7500 BROADWAY APT 205  
DENVER CO 80221-8216

CURRENT RESIDENT  
7500 BROADWAY APT 305  
DENVER CO 80221-8218

CURRENT RESIDENT  
7500 BROADWAY APT 206  
DENVER CO 80221-8217

CURRENT RESIDENT  
7500 BROADWAY APT 306  
DENVER CO 80221-8219

CURRENT RESIDENT  
7500 BROADWAY APT 207  
DENVER CO 80221-8217

CURRENT RESIDENT  
7500 BROADWAY APT 307  
DENVER CO 80221-8219

CURRENT RESIDENT  
7500 BROADWAY APT 208  
DENVER CO 80221-8217

CURRENT RESIDENT  
7500 BROADWAY APT 308  
DENVER CO 80221-8219

CURRENT RESIDENT  
7500 BROADWAY APT 209  
DENVER CO 80221-8217

CURRENT RESIDENT  
7500 BROADWAY APT 309  
DENVER CO 80221-8219

CURRENT RESIDENT  
7500 BROADWAY APT 300  
DENVER CO 80221-8217

CURRENT RESIDENT  
7520 BROADWAY APT 100  
DENVER CO 80221-8220



CURRENT RESIDENT  
7520 BROADWAY APT 101  
DENVER CO 80221-8220

CURRENT RESIDENT  
7520 BROADWAY APT 202  
DENVER CO 80221-8222

CURRENT RESIDENT  
7520 BROADWAY APT 102  
DENVER CO 80221-8220

CURRENT RESIDENT  
7520 BROADWAY APT 203  
DENVER CO 80221-8222

CURRENT RESIDENT  
7520 BROADWAY APT 103  
DENVER CO 80221-8220

CURRENT RESIDENT  
7520 BROADWAY APT 204  
DENVER CO 80221-8222

CURRENT RESIDENT  
7520 BROADWAY APT 104  
DENVER CO 80221-8220

CURRENT RESIDENT  
7520 BROADWAY APT 205  
DENVER CO 80221-8222

CURRENT RESIDENT  
7520 BROADWAY APT 105  
DENVER CO 80221-8221

CURRENT RESIDENT  
7520 BROADWAY APT 206  
DENVER CO 80221-8223

CURRENT RESIDENT  
7520 BROADWAY APT 106  
DENVER CO 80221-8221

CURRENT RESIDENT  
7520 BROADWAY APT 207  
DENVER CO 80221-8223

CURRENT RESIDENT  
7520 BROADWAY APT 107  
DENVER CO 80221-8221

CURRENT RESIDENT  
7520 BROADWAY APT 208  
DENVER CO 80221-8223

CURRENT RESIDENT  
7520 BROADWAY APT 108  
DENVER CO 80221-8221

CURRENT RESIDENT  
7520 BROADWAY APT 209  
DENVER CO 80221-8223

CURRENT RESIDENT  
7520 BROADWAY APT 200  
DENVER CO 80221-8221

CURRENT RESIDENT  
7520 BROADWAY APT 300  
DENVER CO 80221-8223

CURRENT RESIDENT  
7520 BROADWAY APT 201  
DENVER CO 80221-8222

CURRENT RESIDENT  
7520 BROADWAY APT 301  
DENVER CO 80221-8224



CURRENT RESIDENT  
7520 BROADWAY APT 302  
DENVER CO 80221-8224

CURRENT RESIDENT  
7530 BROADWAY APT 102  
DENVER CO 80221-8226

CURRENT RESIDENT  
7520 BROADWAY APT 303  
DENVER CO 80221-8224

CURRENT RESIDENT  
7530 BROADWAY APT 103  
DENVER CO 80221-8226

CURRENT RESIDENT  
7520 BROADWAY APT 304  
DENVER CO 80221-8224

CURRENT RESIDENT  
7530 BROADWAY APT 104  
DENVER CO 80221-8226

CURRENT RESIDENT  
7520 BROADWAY APT 305  
DENVER CO 80221-8224

CURRENT RESIDENT  
7530 BROADWAY APT 105  
DENVER CO 80221-8227

CURRENT RESIDENT  
7520 BROADWAY APT 306  
DENVER CO 80221-8225

CURRENT RESIDENT  
7530 BROADWAY APT 106  
DENVER CO 80221-8227

CURRENT RESIDENT  
7520 BROADWAY APT 307  
DENVER CO 80221-8225

CURRENT RESIDENT  
7530 BROADWAY APT 107  
DENVER CO 80221-8227

CURRENT RESIDENT  
7520 BROADWAY APT 308  
DENVER CO 80221-8225

CURRENT RESIDENT  
7530 BROADWAY APT 108  
DENVER CO 80221-8227

CURRENT RESIDENT  
7520 BROADWAY APT 309  
DENVER CO 80221-8225

CURRENT RESIDENT  
7530 BROADWAY APT 200  
DENVER CO 80221-8227

CURRENT RESIDENT  
7530 BROADWAY APT 100  
DENVER CO 80221-8226

CURRENT RESIDENT  
7530 BROADWAY APT 201  
DENVER CO 80221-8228

CURRENT RESIDENT  
7530 BROADWAY APT 101  
DENVER CO 80221-8226

CURRENT RESIDENT  
7530 BROADWAY APT 202  
DENVER CO 80221-8228



CURRENT RESIDENT  
7530 BROADWAY APT 203  
DENVER CO 80221-8228

CURRENT RESIDENT  
7530 BROADWAY APT 303  
DENVER CO 80221-8230

CURRENT RESIDENT  
7530 BROADWAY APT 204  
DENVER CO 80221-8228

CURRENT RESIDENT  
7530 BROADWAY APT 304  
DENVER CO 80221-8230

CURRENT RESIDENT  
7530 BROADWAY APT 205  
DENVER CO 80221-8228

CURRENT RESIDENT  
7530 BROADWAY APT 305  
DENVER CO 80221-8230

CURRENT RESIDENT  
7530 BROADWAY APT 206  
DENVER CO 80221-8229

CURRENT RESIDENT  
7530 BROADWAY APT 306  
DENVER CO 80221-8231

CURRENT RESIDENT  
7530 BROADWAY APT 207  
DENVER CO 80221-8229

CURRENT RESIDENT  
7530 BROADWAY APT 307  
DENVER CO 80221-8231

CURRENT RESIDENT  
7530 BROADWAY APT 208  
DENVER CO 80221-8229

CURRENT RESIDENT  
7530 BROADWAY APT 308  
DENVER CO 80221-8231

CURRENT RESIDENT  
7530 BROADWAY APT 209  
DENVER CO 80221-8229

CURRENT RESIDENT  
7530 BROADWAY APT 309  
DENVER CO 80221-8231

CURRENT RESIDENT  
7530 BROADWAY APT 300  
DENVER CO 80221-8229

CURRENT RESIDENT  
7540 BROADWAY APT 100  
DENVER CO 80221-8232

CURRENT RESIDENT  
7530 BROADWAY APT 301  
DENVER CO 80221-8230

CURRENT RESIDENT  
7540 BROADWAY APT 101  
DENVER CO 80221-8232

CURRENT RESIDENT  
7530 BROADWAY APT 302  
DENVER CO 80221-8230

CURRENT RESIDENT  
7540 BROADWAY APT 102  
DENVER CO 80221-8232



CURRENT RESIDENT  
7540 BROADWAY APT 103  
DENVER CO 80221-8232

CURRENT RESIDENT  
7540 BROADWAY APT 204  
DENVER CO 80221-8234

CURRENT RESIDENT  
7540 BROADWAY APT 104  
DENVER CO 80221-8232

CURRENT RESIDENT  
7540 BROADWAY APT 205  
DENVER CO 80221-8234

CURRENT RESIDENT  
7540 BROADWAY APT 105  
DENVER CO 80221-8233

CURRENT RESIDENT  
7540 BROADWAY APT 206  
DENVER CO 80221-8235

CURRENT RESIDENT  
7540 BROADWAY APT 106  
DENVER CO 80221-8233

CURRENT RESIDENT  
7540 BROADWAY APT 207  
DENVER CO 80221-8235

CURRENT RESIDENT  
7540 BROADWAY APT 107  
DENVER CO 80221-8233

CURRENT RESIDENT  
7540 BROADWAY APT 208  
DENVER CO 80221-8235

CURRENT RESIDENT  
7540 BROADWAY APT 108  
DENVER CO 80221-8233

CURRENT RESIDENT  
7540 BROADWAY APT 209  
DENVER CO 80221-8235

CURRENT RESIDENT  
7540 BROADWAY APT 200  
DENVER CO 80221-8233

CURRENT RESIDENT  
7540 BROADWAY APT 300  
DENVER CO 80221-8235

CURRENT RESIDENT  
7540 BROADWAY APT 201  
DENVER CO 80221-8234

CURRENT RESIDENT  
7540 BROADWAY APT 301  
DENVER CO 80221-8236

CURRENT RESIDENT  
7540 BROADWAY APT 202  
DENVER CO 80221-8234

CURRENT RESIDENT  
7540 BROADWAY APT 302  
DENVER CO 80221-8236

CURRENT RESIDENT  
7540 BROADWAY APT 203  
DENVER CO 80221-8234

CURRENT RESIDENT  
7540 BROADWAY APT 303  
DENVER CO 80221-8236



CURRENT RESIDENT  
7540 BROADWAY APT 304  
DENVER CO 80221-8236

CURRENT RESIDENT  
574 E 77TH PL  
THORNTON CO 80229-1802

CURRENT RESIDENT  
7540 BROADWAY APT 305  
DENVER CO 80221-8236

CURRENT RESIDENT  
457 E 77TH PL  
THORNTON CO 80229-1803

CURRENT RESIDENT  
7540 BROADWAY APT 306  
DENVER CO 80221-8237

CURRENT RESIDENT  
527 E 77TH PL  
THORNTON CO 80229-1804

CURRENT RESIDENT  
7540 BROADWAY APT 307  
DENVER CO 80221-8237

CURRENT RESIDENT  
430 E 77TH DR  
THORNTON CO 80229-1807

CURRENT RESIDENT  
7540 BROADWAY APT 308  
DENVER CO 80221-8237

CURRENT RESIDENT  
460 E 77TH DR  
THORNTON CO 80229-1807

CURRENT RESIDENT  
7540 BROADWAY APT 309  
DENVER CO 80221-8237

CURRENT RESIDENT  
412 E 78TH DR  
DENVER CO 80229-1809

CURRENT RESIDENT  
444 E 77TH PL  
THORNTON CO 80229-1801

CURRENT RESIDENT  
418 E 78TH DR  
DENVER CO 80229-1809

CURRENT RESIDENT  
484 E 77TH PL  
THORNTON CO 80229-1801

CURRENT RESIDENT  
412 E 77TH AVE  
THORNTON CO 80229-1819

CURRENT RESIDENT  
494 E 77TH PL  
THORNTON CO 80229-1801

CURRENT RESIDENT  
442 E 77TH AVE  
THORNTON CO 80229-1819

CURRENT RESIDENT  
534 E 77TH PL  
THORNTON CO 80229-1802

CURRENT RESIDENT  
462 E 77TH AVE  
THORNTON CO 80229-1819



CURRENT RESIDENT  
455 E 77TH AVE  
THORNTON CO 80229-1820

CURRENT RESIDENT  
7695 PENNSYLVANIA CT  
THORNTON CO 80229-1822

CURRENT RESIDENT  
545 E 77TH AVE  
DENVER CO 80229-1821

CURRENT RESIDENT  
490 E 76TH AVE UNIT 6A  
DENVER CO 80229-6200

CURRENT RESIDENT  
595 E 77TH AVE  
THORNTON CO 80229-1821

CURRENT RESIDENT  
490 E 76TH AVE UNIT 6C  
DENVER CO 80229-6200

CURRENT RESIDENT  
7616 PENNSYLVANIA CT  
THORNTON CO 80229-1822

CURRENT RESIDENT  
490 E 76TH AVE UNIT A  
DENVER CO 80229-6200

CURRENT RESIDENT  
7622 PENNSYLVANIA CT  
THORNTON CO 80229-1822

CURRENT RESIDENT  
490 E 76TH AVE UNIT B  
DENVER CO 80229-6200

CURRENT RESIDENT  
7636 PENNSYLVANIA CT  
THORNTON CO 80229-1822

CURRENT RESIDENT  
490 E 76TH AVE UNIT C  
DENVER CO 80229-6200

CURRENT RESIDENT  
7637 PENNSYLVANIA CT  
THORNTON CO 80229-1822

CURRENT RESIDENT  
7667 WASHINGTON ST  
DENVER CO 80229-6201

CURRENT RESIDENT  
7652 PENNSYLVANIA CT  
THORNTON CO 80229-1822

CURRENT RESIDENT  
427 E 76TH AVE  
DENVER CO 80229-6204

CURRENT RESIDENT  
7685 PENNSYLVANIA CT  
THORNTON CO 80229-1822

CURRENT RESIDENT  
429 E 76TH AVE  
DENVER CO 80229-6204

CURRENT RESIDENT  
7690 PENNSYLVANIA CT  
THORNTON CO 80229-1822

CURRENT RESIDENT  
550 E 76TH AVE  
DENVER CO 80229-6207



CURRENT RESIDENT  
333 E 76TH AVE  
DENVER CO 80229-6209

CURRENT RESIDENT  
480 E 76TH AVE UNIT D  
DENVER CO 80229-6215

CURRENT RESIDENT  
470 E 76TH AVE UNIT A  
DENVER CO 80229-6212

CURRENT RESIDENT  
480 E 76TH AVE UNIT E  
DENVER CO 80229-6215

CURRENT RESIDENT  
470 E 76TH AVE UNIT B  
DENVER CO 80229-6212

CURRENT RESIDENT  
500 E 76TH AVE UNIT A  
DENVER CO 80229-6218

CURRENT RESIDENT  
460 E 76TH AVE UNIT A  
DENVER CO 80229-6213

CURRENT RESIDENT  
500 E 76TH AVE UNIT B  
DENVER CO 80229-6218

CURRENT RESIDENT  
460 E 76TH AVE UNIT B  
DENVER CO 80229-6213

CURRENT RESIDENT  
7451 WASHINGTON ST  
DENVER CO 80229-6303

CURRENT RESIDENT  
460 E 76TH AVE UNIT C  
DENVER CO 80229-6213

CURRENT RESIDENT  
7657 LOGAN ST  
DENVER CO 80229-6735

CURRENT RESIDENT  
480 E 76TH AVE UNIT A  
DENVER CO 80229-6215

CURRENT RESIDENT  
480 E 76TH AVE UNIT B  
DENVER CO 80229-6215

CURRENT RESIDENT  
480 E 76TH AVE UNIT C  
DENVER CO 80229-6215

CURRENT RESIDENT  
480 E 76TH AVE UNIT C-1  
DENVER CO 80229-6215



# CERTIFICATE OF POSTING



I, Thomas Dimperio do hereby certify that I posted the subject property on May 26, 2021 in accordance with the requirements of the Adams County Development Standards and Regulations.

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Thomas Dimperio



# StreetMedia 76<sup>th</sup> Avenue Billboard

RCU2020-00011

333 E. 76<sup>th</sup> Avenue

June 29, 2021

Board of County Commissioners Public Hearing  
Community and Economic Development Department  
Case Manager: Thomas Dimperio





# Request

Conditional Use Permit to construct an off-premise electronic sign (billboard) in the Industrial-1 (I-1) zone district.

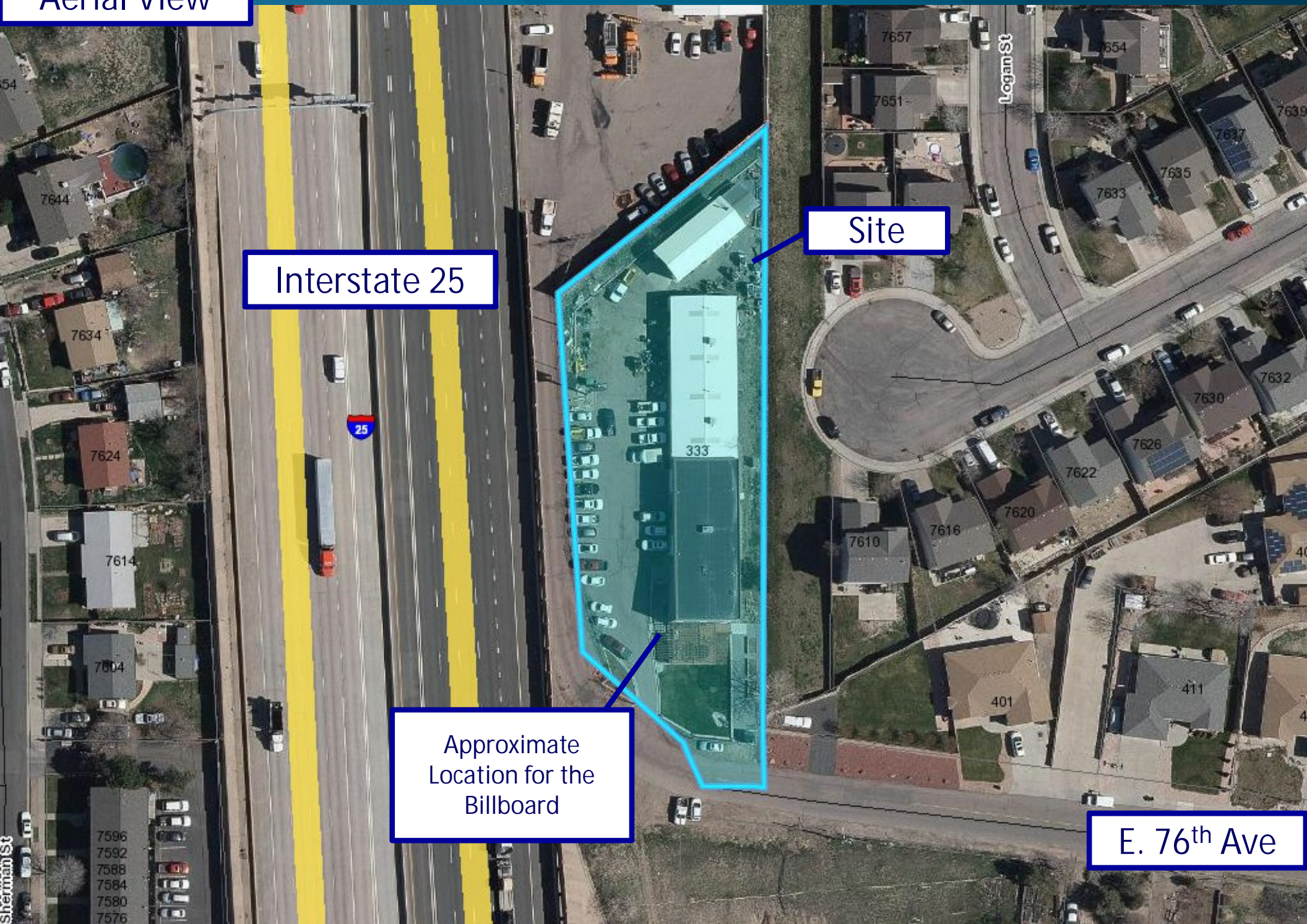


# Aerial View





# Aerial View



Interstate 25

Site

Approximate  
Location for the  
Billboard

E. 76<sup>th</sup> Ave







# Future Land Use Map

# Urban Residential

## Mixed Use Neighborhood

Purpose: To allow for a range of urban level residential uses, including single and multi-family housing combined with compatible and supporting uses and activities that serve the neighborhood and are developed and operated in harmony with the residential characteristics of a neighborhood.

Interstate 25

## Site

## Parks and Open Space

## Mixed Use Neighborhood

E. 70<sup>th</sup> Ave / CO 224

## Mixed Use Employment



# Criteria for Conditional Use

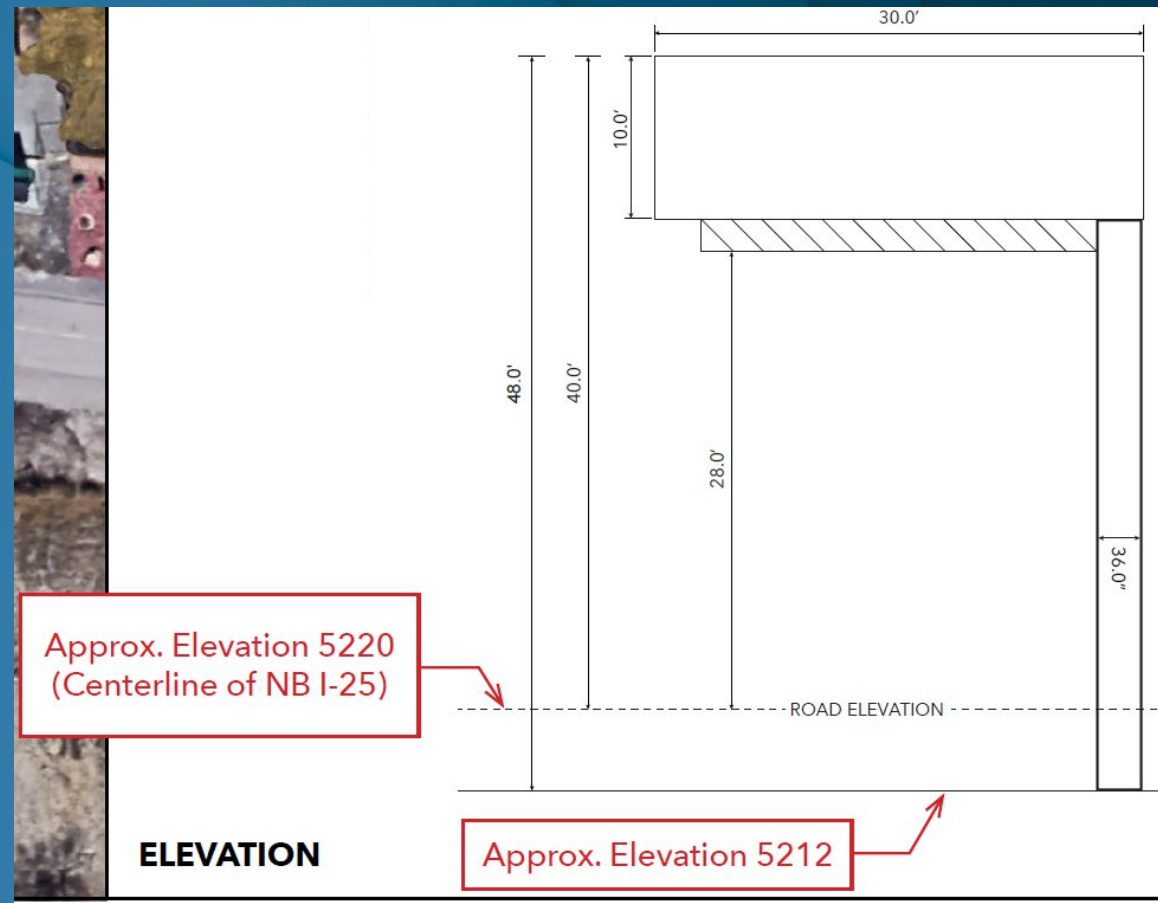
Section 2-02-09-06

1. Permitted in zone district
2. Consistent with regulations
3. Complies with performance standards
4. Harmonious & compatible
5. Addressed all off-site impacts
6. Site suitable for use
7. Site plan adequate for use
8. Adequate services



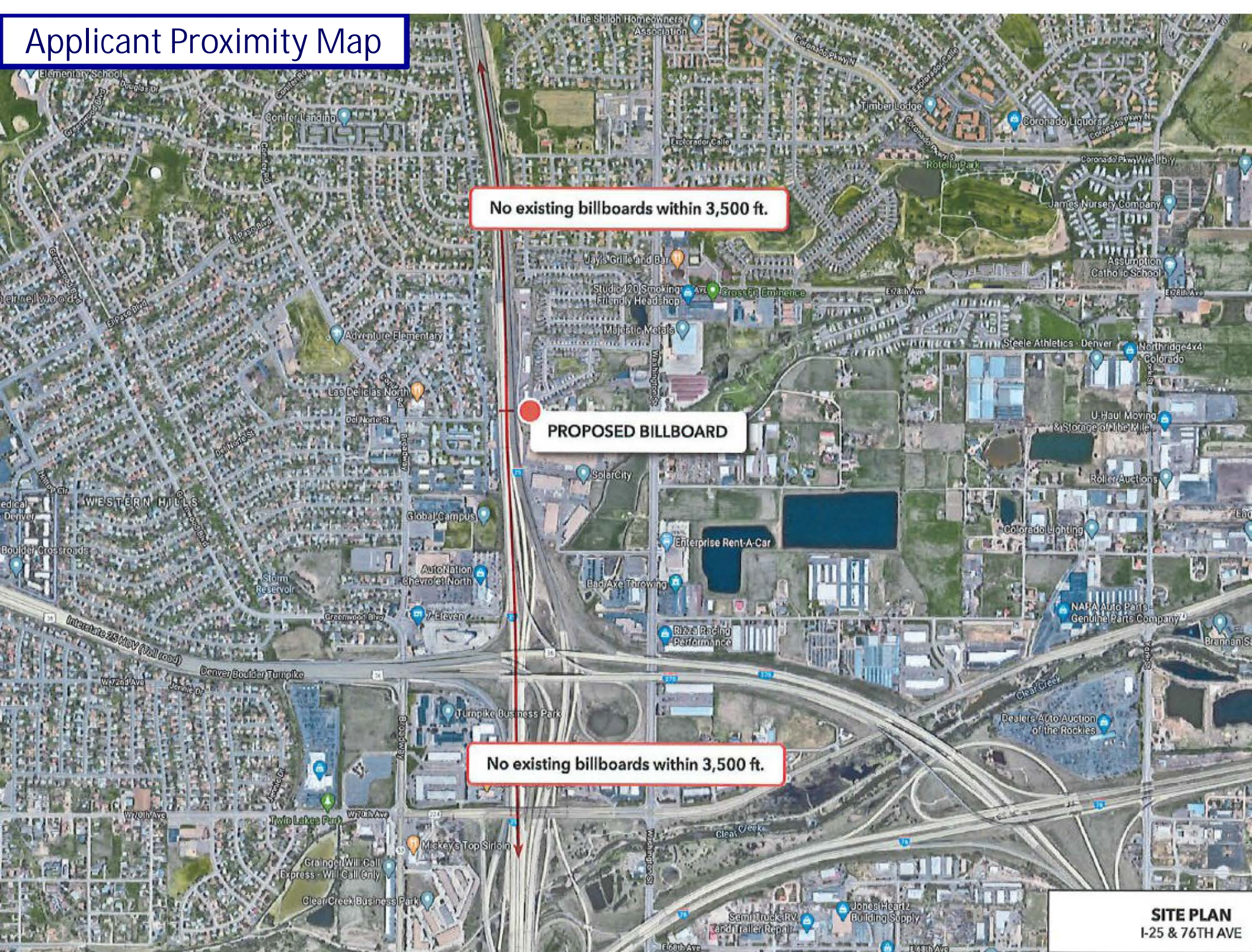
# Performance Standards

- Maximum Height: 40 feet, 40 ft proposed
- Maximum Size: 300 sq. ft. , 300 sq. ft proposed
- Only one two-faced off-premise sign
- Setback equal to the height
- Minimum of 2,000 ft. on the same side of the road
- V-shape: Maximum of 45-degree angle, and 15 feet apart at widest point.
- Remain motionless for a min. of 4 seconds, 10 is optimal



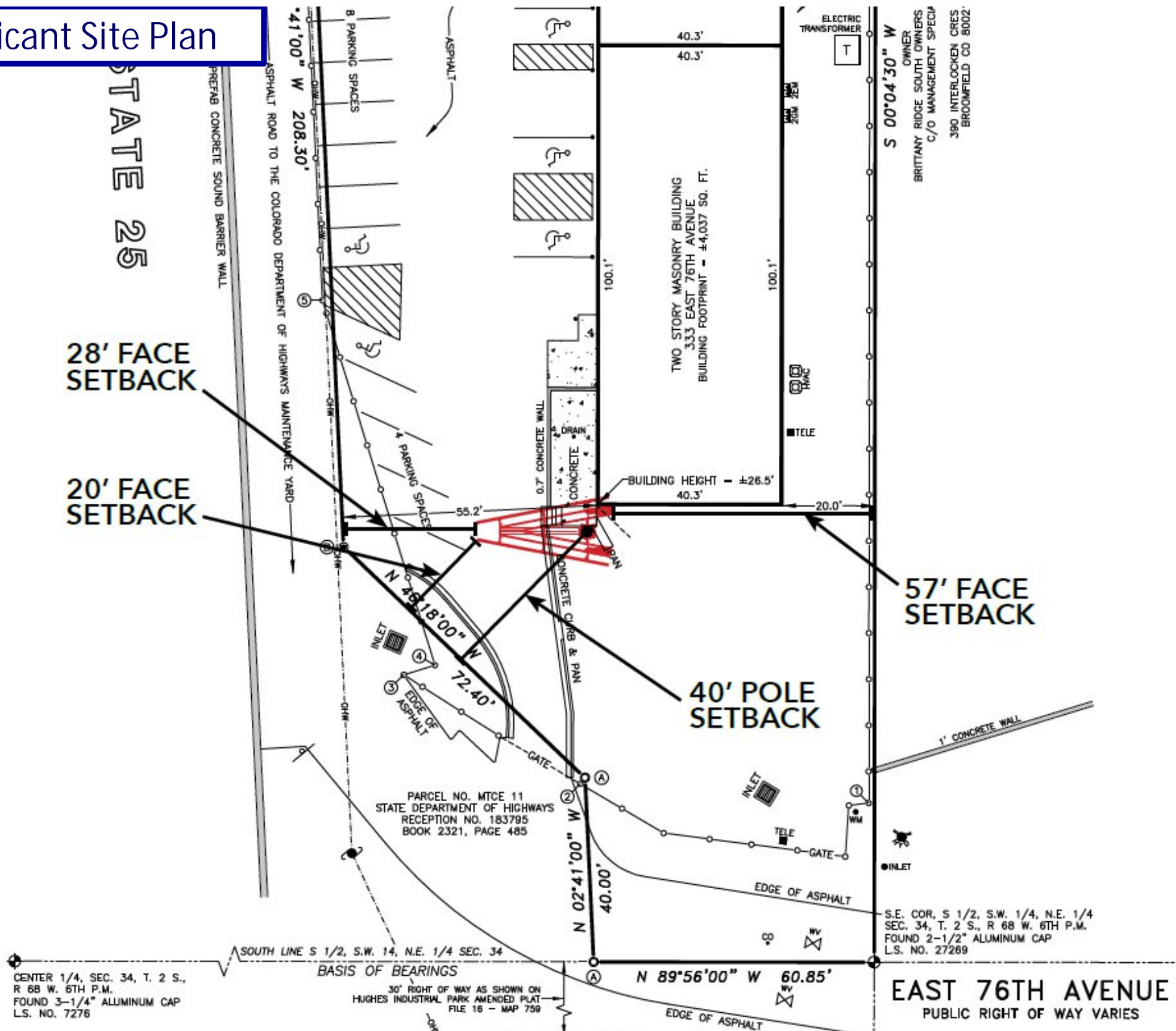


# Applicant Proximity Map

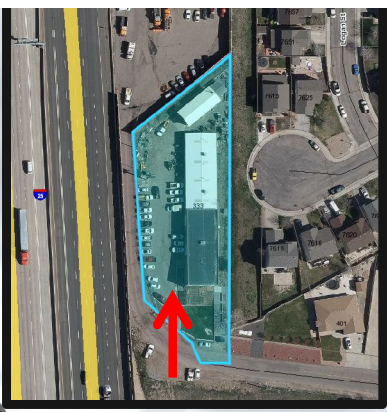




# Applicant Site Plan



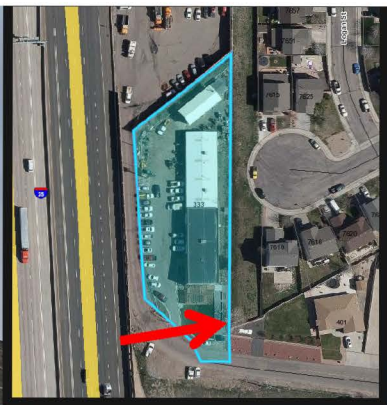




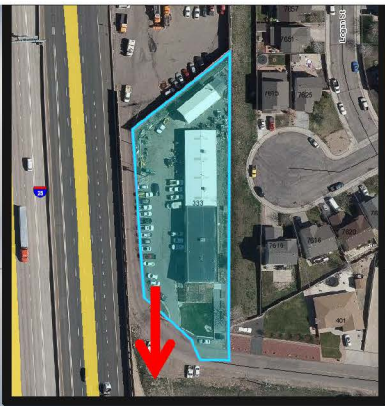
Existing on-premise sign  
to be removed to ground  
level prior to final  
inspection of new sign.



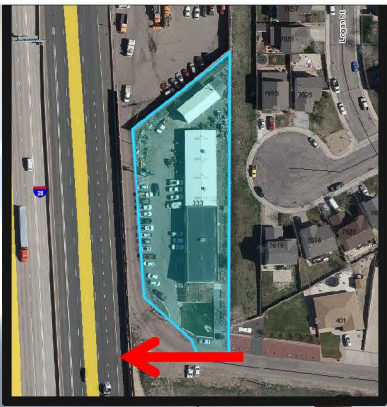














# Photosimulation





# Photosimulation





# Referral Comments

Notifications Sent*	# Comments Received
516	2

\*Property owners and occupants within 1,000 ft.

Referral Agencies: CDPHE  
CDOT  
RTD  
Thornton Fire Department  
TCHD  
Xcel Energy



# Planning Commission Update

(RCU2020-00011 StreetMedia 76<sup>th</sup> Avenue Billboard)

- Recommended Approval (4-3) on June 10, 2021
- PC members cited concerns regarding motorist safety due to the merge lane onto Interstate 25, as well as the increased visual clutter that the billboard would create.
- No members of the public spoke in favor or opposition to the request.



# Staff Recommendation

(RCU2020-00011 StreetMedia 76<sup>th</sup> Avenue Billboard)

Staff recommends APPROVAL of the subject request (RCU2020-00011), with 8 Findings-of-Fact, 3 Conditions, and 2 Notes to the applicant.



# Recommended Findings-of-Fact

1. The conditional use is permitted in the applicable zone district.
2. The conditional use is consistent with the purposes of these standards and regulations.
3. The conditional use will comply with the requirements of these standards and regulations, including but not limited to, all applicable performance standards.
4. The conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
5. The conditional use permit has addressed all off-site impacts.
6. The site is suitable for the proposed conditional use including adequate usable space, adequate access, and absence of environmental constraints.
7. The site plan for the proposed conditional use will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
8. Sewer, water, storm water drainage, fire protection, police protection, and roads are available and adequate to serve the needs of the conditional use as designed and proposed.



# Recommended Conditions

1. The applicant shall obtain a building permit from Adams County for the billboard, including all required building permit inspections.
2. Each message displayed on the billboard shall remain static for a minimum of four (4) seconds and must transition immediately to the next message displayed.
3. The approval of the off-premise sign shall expire June 29, 2031.



# Recommended Notes to the Applicant

1. All applicable building, zoning, health, fire, and engineering requirements and codes shall be adhered to with this request. The applicant may submit an alternative design that can be approved through a Minor Amendment to this Conditional Use Permit by staff, as long as the design complies with the Adams County Development Standards and Regulations at the time of building permit application.
2. The conditional use permit shall expire on June 29, 2022 if sign permits are not obtained from Adams County.

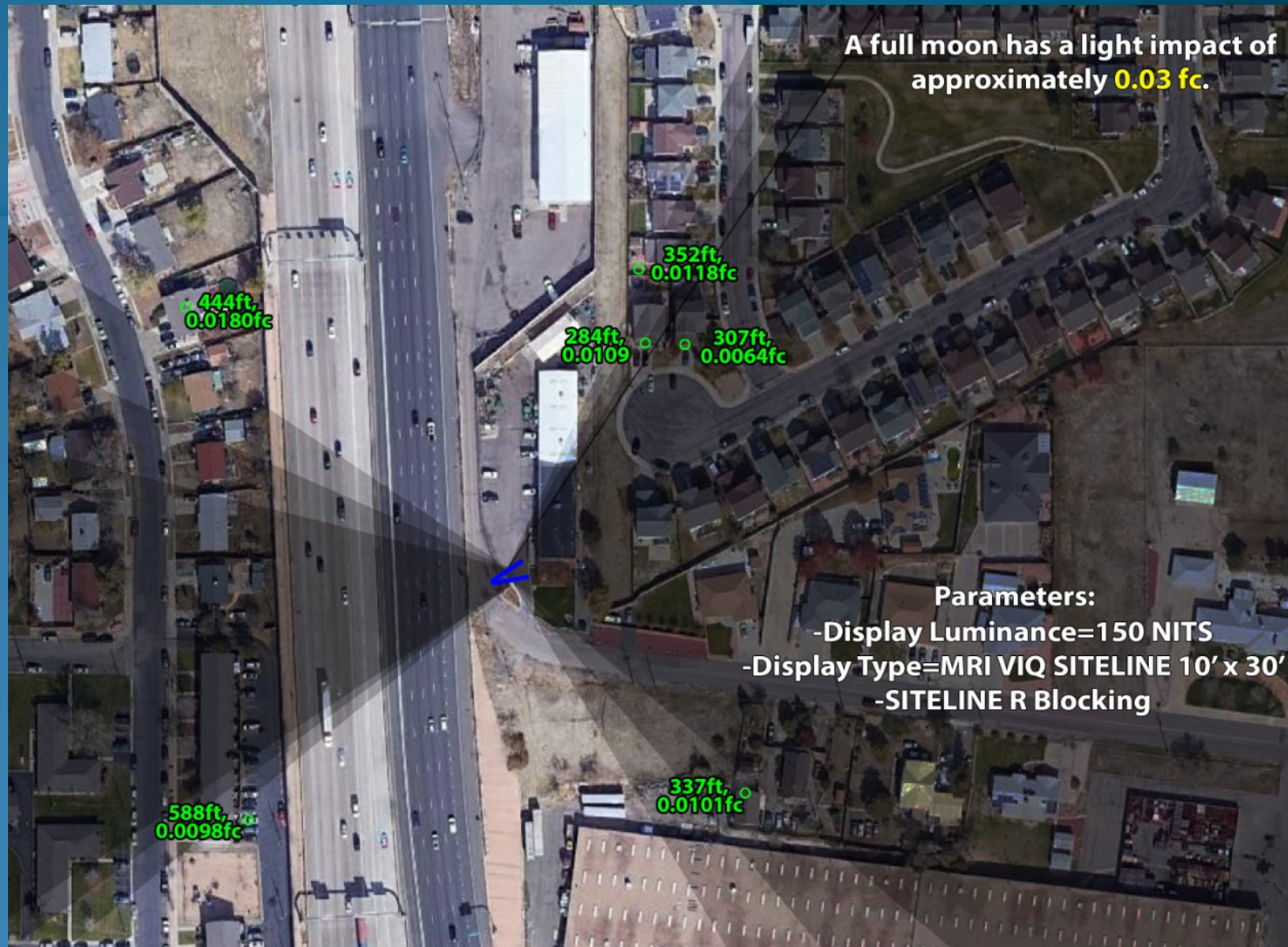


# Light Analysis



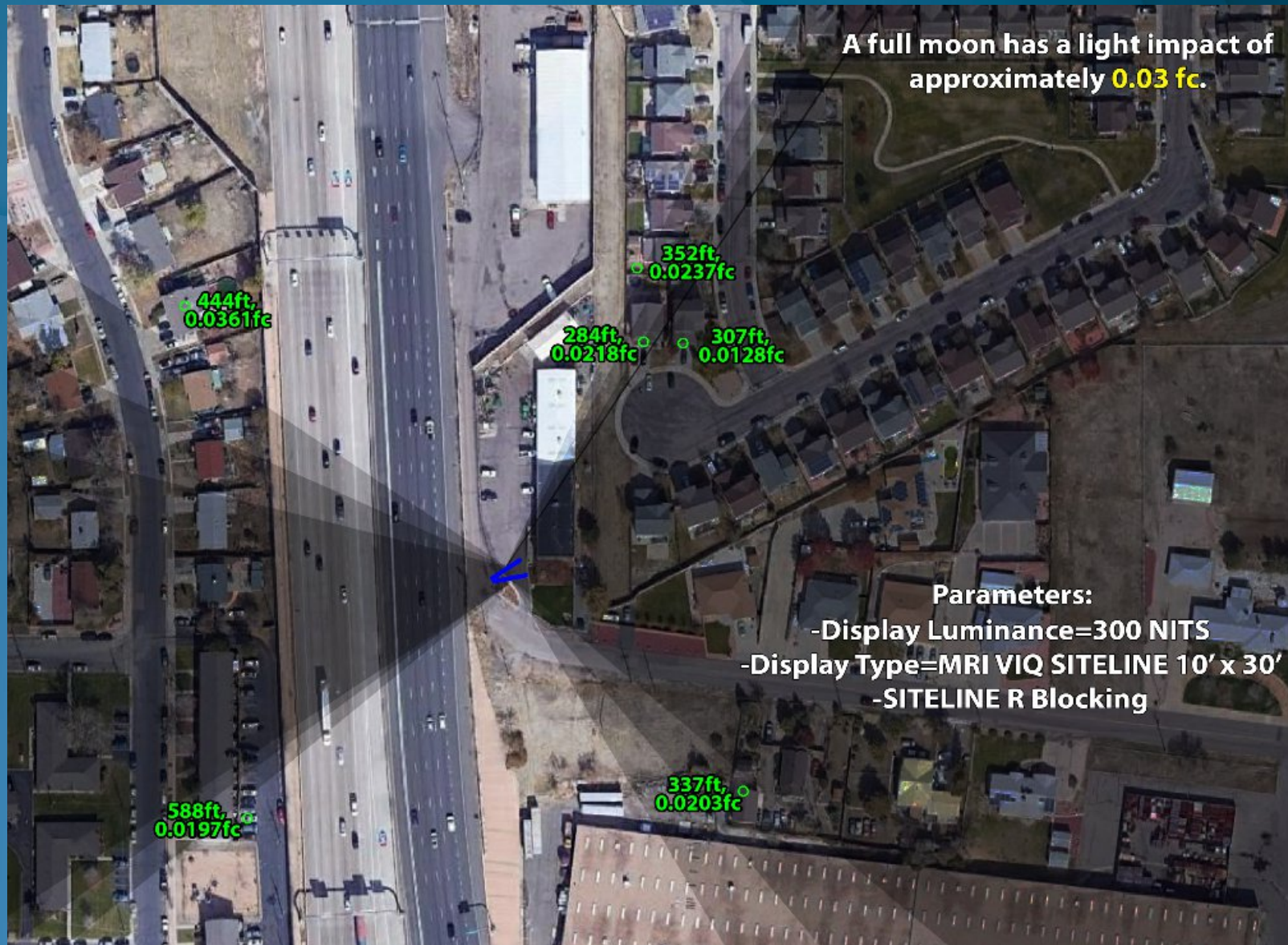


# Light Analysis



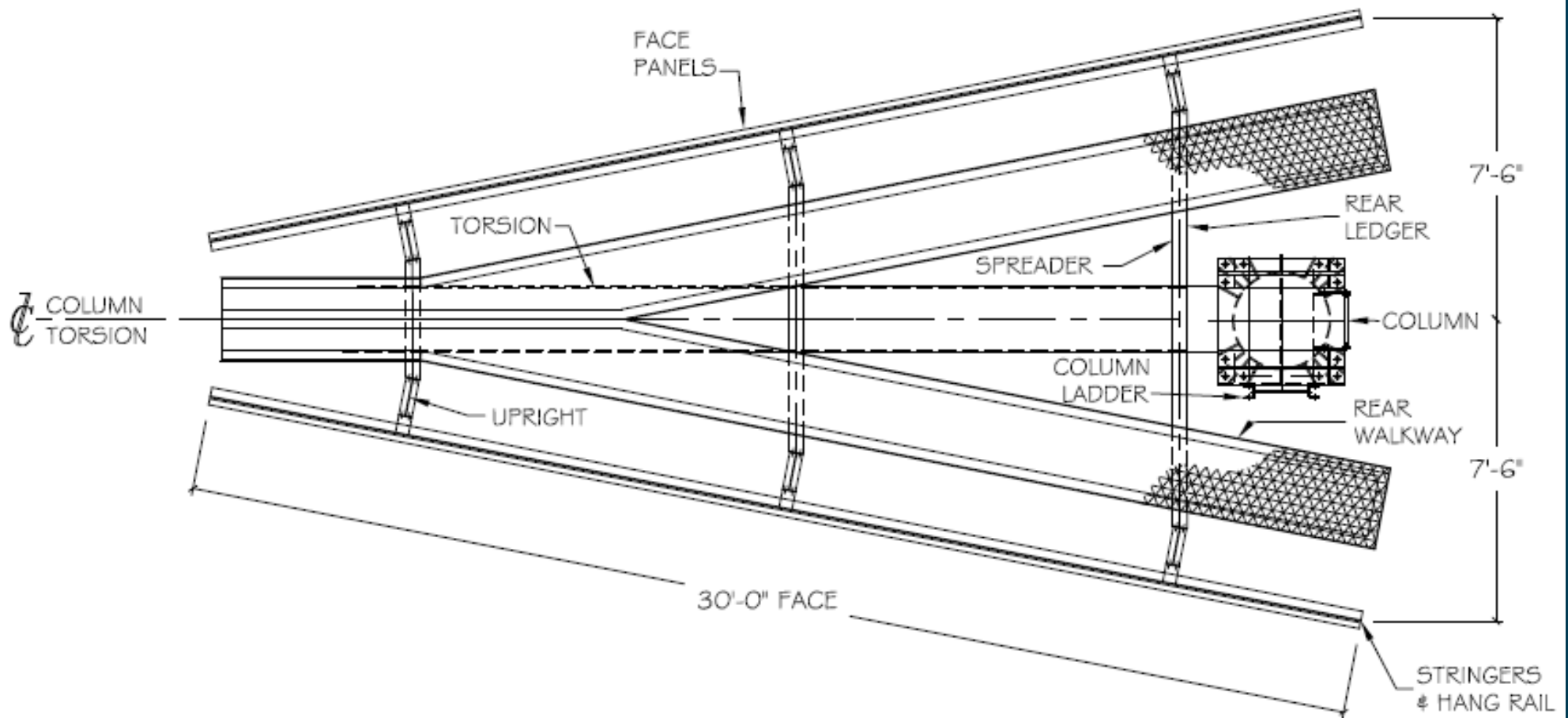


# Light Analysis





# V-shape Plan View



PLAN VIEW



# Southwest Area Framework Plan

- Policy 14.7 to Enhance the area's role as an important County Gateway. Strategies in completing the goals include:
  - 1) 14.7.a. Entryway Image
  - 2) 14.7.b. Screening and Buffering
  - 3) 14.7.c Signs- Review and update the sign regulation provisions, including control of off-premise signs, applicable to private lands visible from I-70, I-25, and I-76 and key highway exits into the County.



# Alternative Findings-of-Fact

1. The conditional use is not permitted in the applicable zone district.
2. The conditional use is not consistent with the purposes of these standards and regulations.
3. The conditional use will not comply with the requirements of these standards and regulations, including but not limited to, all applicable performance standards.
4. The conditional use is not compatible with the surrounding area, not harmonious with the character of the neighborhood, is detrimental to the immediate area, is detrimental to the future development of the area, and is detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
5. The conditional use permit has not addressed all off-site impacts.
6. The site is not suitable for the proposed conditional use including adequate usable space, adequate access, and absence of environmental constraints.
7. The site plan for the proposed conditional use will not provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
8. Sewer, water, storm water drainage, fire protection, police protection, and roads are not available and adequate to serve the needs of the conditional use as designed and proposed.



# Additional Materials

<https://vimeo.com/365082755>

<https://www.youtube.com/watch?v=VaSzUQKIqfk>

<https://vimeo.com/444979892>

<https://vimeo.com/414877885>