



Board of County Commissioners

Eva J. Henry - District #1
Charles "Chaz" Tedesco - District #2
Emma Pinter - District #3
Steve O'Dorisio - District #4
Mary Hodge - District #5

PUBLIC HEARING AGENDA

NOTICE TO READERS: The Board of County Commissioners' meeting packets are prepared several days prior to the meeting. This information is reviewed and studied by the Board members to gain a basic understanding, thus eliminating lengthy discussions. Timely action and short discussion on agenda items does not reflect a lack of thought or analysis on the Board's part. An informational packet is available for public inspection in the Board's Office one day prior to the meeting.

THIS AGENDA IS SUBJECT TO CHANGE

Tuesday
June 18, 2019
9:30 AM

1. ROLL CALL

2. PLEDGE OF ALLEGIANCE

3. MOTION TO APPROVE AGENDA

4. AWARDS AND PRESENTATIONS

- A.** Human Services Staff Recognition

5. PUBLIC COMMENT

A. Citizen Communication

A total of 30 minutes is allocated at this time for public comment and each speaker will be limited to 3 minutes. If there are additional requests from the public to address the Board, time will be allocated at the end of the meeting to complete public comment. The chair requests that there be no public comment on issues for which a prior public hearing has been held before this Board.

B. Elected Officials' Communication

6. CONSENT CALENDAR

- A.** List of Expenditures Under the Dates of May 20-24, 2019
- B.** List of Expenditures Under the Dates of June 3-7, 2019
- C.** Minutes of the Commissioners' Proceedings from May 28, 2019

- D.** Resolution Accepting Quitclaim Deed Conveying Property from Erik Ryan Wareham and Marcella P. Wareham to Adams County, for the Dedication of Road Right-of-Way
(File approved by ELT)
- E.** Resolution Accepting Quitclaim Deed Conveying Property from 20 Cortez Street, LLC, to Adams County, for the Dedication of Road Right-of-Way
(File approved by ELT)
- F.** Resolution Accepting Warranty Deed Conveying Property from Jorge M. Campos and Liz M. Campos to Adams County, for the Dedication of Road Right-of-Way
(File approved by ELT)
- G.** Resolution Accepting Warranty Deed Conveying Property from Gladys N. Valdovinos to Adams County, for the Dedication of Road Right-of-Way
(File approved by ELT)
- H.** Resolution Accepting Warranty Deed Conveying Property from Manuel Philip Covarrubias to Adams County, for the Dedication of Road Right-of-Way
(File approved by ELT)
- I.** Resolution Accepting Quitclaim Deed Conveying Property from Jose M. Araiza and Francisca Romero to Adams County, for the Dedication of Road Right-of-Way
(File approved by ELT)
- J.** Resolution Accepting Warranty Deed Conveying Property from Justin Michael Yert and Joy Elizabeth Yert to Adams County, for the Dedication of Road Right-of-Way
(File approved by ELT)
- K.** Resolution Accepting Warranty Deed Conveying Property from Francisco Rodriguez and Alicia Rodriguez to Adams County, for the Dedication of Road Right-of-Way
(File approved by ELT)
- L.** Resolution Accepting Warranty Deed Conveying Property from Alexander Family, LLC, to Adams County, for the Dedication of Road Right-of-Way
(File approved by ELT)
- M.** Resolution Accepting Quitclaim Deed Conveying Property from Aaron C. Kester to Adams County, for the Dedication of Road Right-of-Way
(File approved by ELT)
- N.** Resolution Accepting Warranty Deed Conveying Property from Veronica Munoz Contreras to Adams County, for the Dedication of Road Right-of-Way
(File approved by ELT)
- O.** Resolution Accepting Warranty Deed Conveying Property from Evette K. Bissett to Adams County, for the Dedication of Road Right-of-Way
(File approved by ELT)
- P.** Resolution Accepting Warranty Deed Conveying Property from Jefferson Martin Sheppard and Mary Johanna Sheppard to Adams County, for the Dedication of Road Right-of-Way
(File approved by ELT)
- Q.** Resolution Accepting Quitclaim Deed Conveying Property from Dennis C. Bolte and Patricia E. Bolte to Adams County, for the Dedication of Road Right-of-Way
(File approved by ELT)

- R.** Resolution Accepting Quitclaim Deed Conveying Property from Thomas Linenberger and Janice Linenberger to Adams County, for the Dedication of Road Right-of-Way
(File approved by ELT)
- S.** Resolution Approving Special Warranty Deed to Esperanza Holding Company LLC for Vacant Land and Authorizing Facilities & Fleet Management to Execute Closing Documents
(File approved by ELT)
- T.** Resolution Approving Grant Agreement between Adams County and State of Colorado for the District Attorney's Office Diversion Program for State Fiscal Year 2019-2020
(File approved by ELT)
- U.** Resolution Approving an Intergovernmental Agreement between Adams County and the Adams County Fire Protection District for the Installation and Maintenance of Traffic Control Devices
(File approved by ELT)
- V.** Resolution Approving an Agreement between Adams County and James Kruse for the Maul Open Space Agricultural Lease
(File approved by ELT)
- W.** Resolution Accepting a Public Access Easement from Center Greenhouse, Inc., to Adams County for Access Purposes
(File approved by ELT)
- X.** Resolution Approving Encroachment Agreement between Brian Lee Ziegler and Adams County for Improvements in County Right-of-Way
(File approved by ELT)
- Y.** Resolution Approving Request for FAA Approval of Agreement for Transfer of 2019 Entitlements from Colorado Air and Space port to Cortez Municipal Airport, City of Cortez Colorado
(File approved by ELT)
- Z.** Resolution Approving Solar Lease Agreement between Adams County and Pivot Energy, LLC
(File approved by ELT)
- AA.** Resolution Approving Land Lease Agreement between Adams County and HG Hangar One, LLC
(File approved by ELT)
- AB.** Resolution Approving Land Lease Agreement between Adams County and HG Hangar one, LLC
(File approved by ELT)

7. NEW BUSINESS

A. COUNTY MANAGER

- 1.** Resolution Approving Amendment Six to the Agreement between Adams County and Community Reach Center for Jail Based Behavioral Services at the Adams County Detention Facility
(File approved by ELT)

B. COUNTY ATTORNEY

8. Motion to Adjourn into Executive Session Pursuant to C.R.S. 24-6-402(4)(b) for the Purpose of Receiving Legal Advice Regarding Oil and Gas Regulation

9. LAND USE HEARINGS

A. Cases to be Heard

- 1.** PRC2018-00019 Innovative Solar
(File approved by ELT)
- 2.** PRC2018-00006 Rocky Mountain Rail Park
(File approved by ELT)
- 3.** PRC2017-00005 A&A Outside Storage
(File approved by ELT)
- 4.** RCU2018-00046 Elevate at 78th Rezone
(File approved by ELT)
- 5.** RCU2019-00013 Hines Caretaker Dwelling Conditional Use
(File approved by ELT)
- 6.** RCU2018-00057 5317 Federal Blvd. Rezone
(File approved by ELT)

10. ADJOURNMENT

AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE

County of Adams
Net Warrant by Fund Summary

Fund Number	Fund Description	Amount
1	General Fund	1,771,435.32
4	Capital Facilities Fund	5,420.75
5	Golf Course Enterprise Fund	63,565.60
6	Equipment Service Fund	63,473.50
7	Stormwater Utility Fund	6,413.02
13	Road & Bridge Fund	4,164.80
19	Insurance Fund	7,373.31
20	Developmentally Disabled	504,211.34
24	Conservation Trust Fund	2,410.08
25	Waste Management Fund	4,073.14
28	Open Space Sales Tax Fund	38,076.23
30	Community Dev Block Grant Fund	12,287.25
31	Head Start Fund	8,320.41
34	Comm Services Blk Grant Fund	11,493.48
35	Workforce & Business Center	5,530.00
43	Colorado Air & Space Port	61,760.79
50	FLATROCK Facility Fund	446.00
		<u>2,570,455.02</u>

Net Warrants by Fund Detail

1General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00005312	37193	CINA & CINA FORENSIC CONSULTIN	05/20/19	361.45
00005315	859491	XCEL ENERGY	05/22/19	78,042.38
00005316	37193	CINA & CINA FORENSIC CONSULTIN	05/23/19	19,000.00
00737356	25603	A-1 CHIPSEAL CO	05/20/19	4,995.00
00737357	858413	AMTECH SOLUTIONS INCORPORATED	05/20/19	4,950.00
00737358	13160	BRIGHTON CITY OF (WATER)	05/20/19	4,584.03
00737359	13160	BRIGHTON CITY OF (WATER)	05/20/19	698.23
00737360	852482	CLEARWAY ENERGY GROUP LLC	05/20/19	1,018.24
00737361	370160	EIDE BAILLY LLP	05/20/19	3,296.90
00737362	454466	ENVIRO-VAC INC	05/20/19	4,470.00
00737363	671123	FOUND MY KEYS	05/20/19	1,897.00
00737366	51274	MCDONALD YONG HUI V	05/20/19	4,777.50
00737367	93320	MILE HIGH TREE CARE INC	05/20/19	4,000.00
00737368	133896	PENNQUICK SPECIALTIES	05/20/19	550.00
00737369	45133	PPS INTERIORS	05/20/19	1,823.00
00737370	430098	REPUBLIC SERVICES #535	05/20/19	4,694.73
00737371	366235	ROCKY MTN SEWER-JET INC	05/20/19	1,590.00
00737372	26297	SENIORS RESOURCE CENTER INC	05/20/19	91,353.03
00737373	13932	SOUTH ADAMS WATER & SANITATION	05/20/19	810.99
00737374	12431	SPACE CONCEPTS INC	05/20/19	864.18
00737375	599714	SUMMIT FOOD SERVICE LLC	05/20/19	4,907.82
00737376	666214	TYGRET DEBRA R	05/20/19	371.00
00737377	1007	UNITED POWER (UNION REA)	05/20/19	183.23
00737378	1007	UNITED POWER (UNION REA)	05/20/19	20,458.00
00737379	1007	UNITED POWER (UNION REA)	05/20/19	2,793.00
00737380	20730	UNITED STATES POSTAL SERVICE	05/20/19	28.65
00737381	13822	XCEL ENERGY	05/20/19	3,647.13
00737382	13822	XCEL ENERGY	05/20/19	641.85
00737385	374382	ADAMS COUNTY STORM WATER MANAG	05/21/19	4,198.92
00737390	630412	ADVANCED LAUNDRY SYSTEMS	05/21/19	1,839.90
00737391	383698	ALLIED UNIVERSAL SECURITY SERV	05/21/19	22,949.99
00737394	374061	BUTLER SNOW LLP	05/21/19	163.50
00737395	37266	CENTURY LINK	05/21/19	11.25
00737397	647801	CML SECURITY LLC	05/21/19	38,733.26
00737398	13049	COMMUNITY REACH CENTER	05/21/19	19,917.79
00737399	678436	DOMENICO JOSEPH	05/21/19	65.00

Net Warrants by Fund Detail

1General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00737400	808844	DUPRIEST JOHN FIELDEN	05/21/19	65.00
00737402	698569	FOREST SEAN	05/21/19	65.00
00737403	671123	FOUND MY KEYS	05/21/19	1,344.50
00737404	294059	GROUND SERVICE COMPANY	05/21/19	1,215.00
00737405	853854	HANKS STEPHEN KEITH	05/21/19	1,475.00
00737406	77611	KD SERVICE GROUP	05/21/19	1,452.29
00737407	810888	MARTINEZ JUSTIN PAUL	05/21/19	65.00
00737409	53054	RICHARDSON SHARON	05/21/19	65.00
00737411	599714	SUMMIT FOOD SERVICE LLC	05/21/19	46,778.69
00737412	13951	TDS TELECOM	05/21/19	844.95
00737414	385142	THOMPSON GREGORY PAUL	05/21/19	65.00
00737415	122804	TRUE POINT LLC	05/21/19	4,125.00
00737416	725336	US CORRECTIONS LLC	05/21/19	2,827.00
00737417	57617	WEIDERT DORY C	05/21/19	450.00
00737418	236204	ABC ITECH	05/22/19	980.00
00737419	433987	ADCO DISTRICT ATTORNEY'S OFFIC	05/22/19	572.08
00737421	383698	ALLIED UNIVERSAL SECURITY SERV	05/22/19	4,524.91
00737422	12012	ALSCO AMERICAN INDUSTRIAL	05/22/19	134.81
00737424	772415	BALLENTINE PAULINE M	05/22/19	150.00
00737426	5050	COLO DIST ATTORNEY COUNCIL	05/22/19	38.74
00737427	5050	COLO DIST ATTORNEY COUNCIL	05/22/19	3,380.30
00737428	519505	DENOVO VENTURES LLC	05/22/19	1,180.00
00737429	798747	DOMOTO BRANDS LLC	05/22/19	2,500.00
00737430	861357	FOONBERG MICHAEL DAVID	05/22/19	28.08
00737431	463649	GABLEHOUSE GRANBERG LLC	05/22/19	7,566.46
00737432	859747	GEENEN WHITNEY	05/22/19	50.00
00737433	294059	GROUND SERVICE COMPANY	05/22/19	2,065.00
00737434	10864	HILLYARD - DENVER	05/22/19	12,745.36
00737435	32276	INSIGHT PUBLIC SECTOR	05/22/19	19,900.00
00737436	859653	KRUG AMANDA	05/22/19	200.00
00737439	13591	MWI VETERINARY SUPPLY CO	05/22/19	1,295.25
00737440	837978	NIAZOV YULIANA	05/22/19	29.74
00737441	470643	ONENECK IT SOLUTIONS LLC	05/22/19	147,588.62
00737442	669732	PATTERSON VETERINARY SUPPLY IN	05/22/19	107.76
00737443	720230	PHILLIPS PET FOOD & SUPPLIES	05/22/19	543.30
00737445	422902	ROADRUNNER PHARMACY INCORPORAT	05/22/19	372.25

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00737449	93970	ZIVARO INC	05/22/19	19,912.93
00737450	37575	ADAMS / BROOMFIELD BAR ASSN	05/23/19	140.00
00737452	383698	ALLIED UNIVERSAL SECURITY SERV	05/23/19	3,819.88
00737453	491318	AMERICAN EAGLE DISTRIBUTING	05/23/19	51.20
00737454	2509	CCI	05/23/19	360.00
00737456	57595	COLORADO COUNTY TREASURERS ASS	05/23/19	300.00
00737457	35867	ELDORADO ARTESIAN SPRINGS INC	05/23/19	38.95
00737458	47723	FEDEX	05/23/19	157.98
00737459	861267	GOODWIN BRITTANY	05/23/19	25.00
00737460	486419	HIGH COUNTRY BEVERAGE	05/23/19	1,184.05
00737461	40843	LANGUAGE LINE SERVICES	05/23/19	56.58
00737464	13591	MWI VETERINARY SUPPLY CO	05/23/19	657.33
00737466	124449	NMS LABS	05/23/19	9,888.00
00737467	669732	PATTERSON VETERINARY SUPPLY IN	05/23/19	326.55
00737468	100332	PERKINELMER GENETICS	05/23/19	50.00
00737470	669061	SCL HEALTH	05/23/19	284.00
00737471	51001	SOUTHLAND MEDICAL LLC	05/23/19	4,250.05
00737472	426037	SWIRE COCA-COLA USA	05/23/19	325.80
00737474	22538	THOMSON REUTERS - WEST	05/23/19	372.00
00737475	44930	U S POSTAL SERVICE	05/23/19	1,310.00
00737477	678293	ZOE TRAINING & CONSULTING	05/23/19	35.00
00737480	77251	ADAMS COUNTY FOUNDATION INC	05/24/19	1,000,000.00
00737484	719727	BECKMAN AMY	05/24/19	1,167.93
00737485	13160	BRIGHTON CITY OF (WATER)	05/24/19	4,032.43
00737486	463401	BUSH MELVIN E	05/24/19	65.00
00737487	726898	CA SHORT COMPANY	05/24/19	13.75
00737489	209334	COLO NATURAL GAS INC	05/24/19	515.86
00737492	270345	DH PACE	05/24/19	4,284.00
00737493	8820020	EMERGENCY POWER SERVICES CO IN	05/24/19	5,000.00
00737494	743862	ENCOMPASS EVENT GROUP	05/24/19	6,132.25
00737495	315846	ENERGYCAP INC	05/24/19	5,115.31
00737497	34197	GOURD THADDEUS	05/24/19	673.96
00737498	675517	GREEN THOMAS D	05/24/19	65.00
00737499	808845	GRONQUIST CHRIS	05/24/19	65.00
00737500	258970	HAMMOND ERIC	05/24/19	213.79
00737501	8721	HILL & ROBBINS	05/24/19	570.00

Net Warrants by Fund Detail

1General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00737502	535614	HR ADVANTAGE GROUP LLC	05/24/19	1,500.00
00737503	418327	IC CHAMBERS LP	05/24/19	6,838.90
00737505	13565	INTERMOUNTAIN REA	05/24/19	1,836.67
00737506	13565	INTERMOUNTAIN REA	05/24/19	162.78
00737507	678026	JUAREZ SANCHEZ DIANA	05/24/19	89.20
00737508	652983	K&H INTEGRATED PRINT SOLUTIONS	05/24/19	2,841.49
00737509	96049	KEN CARYL GLASS INC	05/24/19	2,998.00
00737510	536256	KIMMEL KENZIE NICOLE	05/24/19	522.35
00737515	422240	MANN LACEY	05/24/19	253.46
00737518	637831	MCCREARY RAPHAEL	05/24/19	65.00
00737519	707954	MEJORANDO GROUP	05/24/19	4,600.31
00737520	573416	NYHOLM STEWART E	05/24/19	65.00
00737521	276363	OKADA DAVID	05/24/19	2,500.00
00737523	516994	PARK 12 HUNDRED OWNERS ASSOCIA	05/24/19	28,790.48
00737525	255505	SHERMAN & HOWARD LLC	05/24/19	2,975.00
00737526	13932	SOUTH ADAMS WATER & SANITATION	05/24/19	430.47
00737527	13932	SOUTH ADAMS WATER & SANITATION	05/24/19	475.62
00737528	13932	SOUTH ADAMS WATER & SANITATION	05/24/19	46.97
00737529	13932	SOUTH ADAMS WATER & SANITATION	05/24/19	25.20
00737530	13932	SOUTH ADAMS WATER & SANITATION	05/24/19	46.97
00737531	13932	SOUTH ADAMS WATER & SANITATION	05/24/19	1,556.63
00737533	315130	STANFIELD THOMSON	05/24/19	65.00
00737540	1007	UNITED POWER (UNION REA)	05/24/19	2,302.07
00737541	1007	UNITED POWER (UNION REA)	05/24/19	3,912.88
00737543	544338	WESTAR REAL PROPERTY SERVICES	05/24/19	13,598.25

Fund Total**1,771,435.32**

County of Adams
Net Warrants by Fund Detail

<u>4</u>		<u>Capital Facilities Fund</u>			
<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>	
00737437	40395	KUMAR & ASSOCIATES INC	05/22/19	5,420.75	
Fund Total				5,420.75	

Net Warrants by Fund Detail

5Golf Course Enterprise Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00005314	6177	PROFESSIONAL RECREATION MGMT I	05/22/19	55,240.76
00737386	374382	ADAMS COUNTY STORM WATER MANAG	05/21/19	1,018.46
00737420	8579	AGFINITY INC	05/22/19	630.00
00737423	12012	ALSCO AMERICAN INDUSTRIAL	05/22/19	140.56
00737425	25288	CEM LAKE MGMT	05/22/19	950.00
00737438	11496	L L JOHNSON DIST	05/22/19	3,803.32
00737444	26811	RENEWABLE FIBER	05/22/19	1,553.50
00737448	47140	TORO NSN	05/22/19	229.00
Fund Total				63,565.60

Net Warrants by Fund Detail

6Equipment Service Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00737384	295403	ABRA AUTO BODY & GLASS	05/21/19	35.00
00737410	16237	SAM HILL OIL INC	05/21/19	16,884.23
00737413	790907	THE GOODYEAR TIRE AND RUBBER C	05/21/19	6,630.31
00737446	16237	SAM HILL OIL INC	05/22/19	15,815.64
00737469	16237	SAM HILL OIL INC	05/23/19	23,175.57
00737491	51825	CRIME SCENE CLEANERS INC	05/24/19	95.00
00737504	682207	INSIGHT AUTO GLASS LLC	05/24/19	160.00
00737538	790907	THE GOODYEAR TIRE AND RUBBER C	05/24/19	677.75
Fund Total				63,473.50

County of Adams
Net Warrants by Fund Detail

7 Stormwater Utility Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00737383	587160	YBARRA RAMON L	05/20/19	88.02
00737408	859745	QUIKRETE	05/21/19	6,325.00
Fund Total				6,413.02

County of Adams
Net Warrants by Fund Detail

<u>13</u>		<u>Road & Bridge Fund</u>			
<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>	
00737387	374382	ADAMS COUNTY STORM WATER MANAG	05/21/19	4,164.80	
Fund Total				4,164.80	

County of Adams
Net Warrants by Fund Detail

19	Insurance Fund				
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00737364	859590	HULSEY JAMES	05/20/19	601.81
	00737365	791423	MALLINSON SIMONE	05/20/19	1,756.65
	00737512	94481	LONGMONT FORD	05/24/19	5,014.85
	Fund Total				7,373.31

County of Adams
Net Warrants by Fund Detail

<u>20</u>		<u>Developmentally Disabled</u>			
<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>	
00737478	3313	NORTH METRO COMMUNITY SERVICES	05/23/19	504,211.34	
			Fund Total	504,211.34	

County of Adams
Net Warrants by Fund Detail

24		Conservation Trust Fund			
Warrant	Supplier No	Supplier Name	Warrant Date	Amount	
00737447	266133	STREAM DESIGN LLC	05/22/19	2,410.08	
Fund Total				2,410.08	

County of Adams
Net Warrants by Fund Detail

<u>25</u>		<u>Waste Management Fund</u>			
<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>	
00737393	535096	B & B ENVIRONMENTAL SAFETY INC	05/21/19	4,073.14	
Fund Total				4,073.14	

County of Adams
Net Warrants by Fund Detail

<u>28</u>		<u>Open Space Sales Tax Fund</u>			
<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>	
00737392	5410	ARVADA CITY OF	05/21/19	38,076.23	
Fund Total				38,076.23	

County of Adams
Net Warrants by Fund Detail

<u>30</u>		<u>Community Dev Block Grant Fund</u>			
<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>	
00737401	13456	FEDERAL HEIGHTS CITY OF	05/21/19	12,287.25	
			Fund Total	<hr/> 12,287.25	

Net Warrants by Fund Detail

31Head Start Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00737396	327914	CESCO LINGUISTIC SERVICE INC	05/21/19	82.50
00737455	327250	CINTAS CORPORATION NO 2	05/23/19	160.89
00737462	40843	LANGUAGE LINE SERVICES	05/23/19	46.74
00737463	79121	MEADOW GOLD DAIRY	05/23/19	1,100.40
00737473	13770	SYSCO DENVER	05/23/19	4,749.56
00737476	31360	WESTMINSTER PRESBYTERIAN CHURC	05/23/19	2,180.32
Fund Total				8,320.41

County of Adams
Net Warrants by Fund Detail

<u>34</u>		<u>Comm Services Blk Grant Fund</u>			
<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>	
00737465	689895	NEW LEGACY CHARTER SCHOOL	05/23/19	11,493.48	
Fund Total				11,493.48	

Net Warrants by Fund Detail

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Workforce & Business Center

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00737479	859103	ABEYTA FIDENCIO E	05/24/19	80.00
00737482	859104	ARELLANO PATRICIA R	05/24/19	40.00
00737483	860307	BARELA MIKAYLIE L	05/24/19	80.00
00737488	860318	CHECKERS SAFETY GROUP	05/24/19	5,000.00
00737490	707668	COPLEY BAILEY	05/24/19	25.00
00737496	645599	GALVAN MONICA	05/24/19	25.00
00737511	859107	LEVARIO PEDROZA ALONDRA S	05/24/19	40.00
00737513	859105	LOPEZ LISAMARIE B	05/24/19	80.00
00737516	37541	MARTINEZ VICTORIA	05/24/19	20.00
00737517	727959	MAZOTTI CAMERON	05/24/19	20.00
00737522	859106	OLSEN VANADIS A	05/24/19	80.00
00737524	725412	SANCHEZ STORMY	05/24/19	20.00
00737539	860311	TURNAGE ZACKARY	05/24/19	20.00
Fund Total				5,530.00

Net Warrants by Fund Detail

43Colorado Air & Space Port

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00005313	709816	CITY SERVICEVALCON LLC	05/21/19	47,935.33
00737388	374382	ADAMS COUNTY STORM WATER MANAG	05/21/19	3,949.01
00737451	88281	ALBERTS WATER & WASTEWATER SER	05/23/19	3,300.00
00737481	228213	ARAMARK REFRESHMENT SERVICES	05/24/19	367.04
00737514	112383	LOTTMAN OIL COMPANY	05/24/19	261.75
00737532	49310	SOUTH PARK EMBROIDERY	05/24/19	1,807.98
00737534	821161	STAPLES BUSINESS ADVANTAGE	05/24/19	24.78
00737535	33604	STATE OF COLORADO	05/24/19	1,356.00
00737536	33604	STATE OF COLORADO	05/24/19	391.56
00737537	93074	SYSCO DENVER	05/24/19	1,862.46
00737542	80279	VERIZON WIRELESS	05/24/19	504.88
Fund Total				61,760.79

County of Adams
Net Warrants by Fund Detail

<u>50</u>		<u>FLATROCK Facility Fund</u>			
<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>	
00737389	374382	ADAMS COUNTY STORM WATER MANAG	05/21/19	446.00	
Fund Total				446.00	

County of Adams
Net Warrants by Fund Detail

Grand Total 2,570,455.02

County of Adams
Vendor Payment Report

<u>2051</u>	<u>ANS - Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Animal Control/Shelter					
	GEENEN WHITNEY	00001	952726	337756	05/21/19	50.00
	GOODWIN BRITTANY	00001	952779	337774	05/21/19	25.00
	KRUG AMANDA	00001	952724	337756	05/21/19	200.00
					Account Total	275.00
					Department Total	275.00

County of Adams
Vendor Payment Report

<u>4306</u>	<u>Cafe</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Coffee					
	ARAMARK REFRESHMENT SERVICES	00043	952894	337909	05/22/19	99.99
					Account Total	99.99
	Snack Bar Supplies, Rep & Main					
	SYSCO DENVER	00043	952824	337780	05/21/19	989.63
	SYSCO DENVER	00043	952895	337909	05/22/19	872.83
					Account Total	1,862.46
	Uniforms & Cleaning					
	SOUTH PARK EMBROIDERY	00043	952822	337780	05/21/19	50.00
					Account Total	50.00
					Department Total	2,012.45

County of Adams
Vendor Payment Report

<u>4</u>	<u>Capital Facilities Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	KUMAR & ASSOCIATES INC	00004	952866	337889	05/22/19	5,420.75
					Account Total	5,420.75
					Department Total	5,420.75

County of Adams
Vendor Payment Report

<u>43</u>	<u>Colorado Air & Space Port</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Colorado Sales Tax Payable					
	STATE OF COLORADO	00043	952826	337784	05/21/19	1,356.01
	STATE OF COLORADO	00043	952827	337784	05/21/19	391.57
					Account Total	1,747.58
	Received not Vouchered Clrg					
	ALBERTS WATER & WASTEWATER SER	00043	952929	337991	05/23/19	3,300.00
	CITY SERVICEVALCON LLC	00043	952768	337771	05/21/19	20,197.73
	CITY SERVICEVALCON LLC	00043	952769	337771	05/21/19	27,737.60
					Account Total	51,235.33
					Department Total	52,982.91

County of Adams
Vendor Payment Report

<u>1033</u>	<u>Community Transit</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Community Transit Services					
	SENIORS RESOURCE CENTER INC	00001	952634	337590	05/17/19	42,569.91
	SENIORS RESOURCE CENTER INC	00001	952636	337590	05/17/19	48,783.12
					Account Total	91,353.03
					Department Total	91,353.03

County of Adams
Vendor Payment Report

<u>24</u>	<u>Conservation Trust Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	STREAM DESIGN LLC	00024	952862	337889	05/22/19	2,410.08
					Account Total	2,410.08
					Department Total	2,410.08

County of Adams
Vendor Payment Report

<u>2031</u>	<u>County Coroner</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Medical Services					
	CINA & CINA FORENSIC CONSULTIN	00001	952896	337979	05/23/19	19,000.00
	HANKS STEPHEN KEITH	00001	951918	336474	05/03/19	1,475.00
					Account Total	20,475.00
	Operating Supplies					
	ELDORADO ARTESIAN SPRINGS INC	00001	952740	337757	05/21/19	38.95
	SOUTHLAND MEDICAL LLC	00001	952732	337757	05/21/19	294.12
	SOUTHLAND MEDICAL LLC	00001	952733	337757	05/21/19	2,652.08
	SOUTHLAND MEDICAL LLC	00001	952734	337757	05/21/19	1,303.85
					Account Total	4,289.00
	Other Professional Serv					
	FEDEX	00001	952736	337757	05/21/19	23.51
	FEDEX	00001	952737	337757	05/21/19	35.74
	FEDEX	00001	952738	337757	05/21/19	27.06
	FEDEX	00001	952739	337757	05/21/19	71.67
	LANGUAGE LINE SERVICES	00001	952742	337757	05/21/19	56.58
	NMS LABS	00001	952731	337757	05/21/19	9,888.00
	PERKINELMER GENETICS	00001	952741	337757	05/21/19	50.00
	SCL HEALTH	00001	952743	337757	05/21/19	284.00
	THOMSON REUTERS - WEST	00001	952735	337757	05/21/19	372.00
	WEIDERT DORY C	00001	951915	336472	05/03/19	450.00
					Account Total	11,258.56
	Special Events					
	ADAMS / BROOMFIELD BAR ASSN	00001	952730	337757	05/21/19	140.00
					Account Total	140.00
					Department Total	36,162.56

County of Adams
Vendor Payment Report

<u>1031</u>	<u>County Treasurer</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	CCI	00001	952927	337990	05/08/19	360.00
	COLORADO COUNTY TREASURERS ASS	00001	952892	337908	05/22/19	300.00
					Account Total	660.00
	Operating Supplies					
	PPS INTERIORS	00001	952624	337579	05/17/19	1,380.00
					Account Total	1,380.00
	Postage & Freight					
	U S POSTAL SERVICE	00001	952926	337990	05/23/19	1,310.00
					Account Total	1,310.00
					Department Total	3,350.00

County of Adams
Vendor Payment Report

<u>4302</u>	<u>CASP Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Coffee					
	ARAMARK REFRESHMENT SERVICES	00043	952893	337909	05/22/19	133.52
					Account Total	133.52
	Operating Supplies					
	STAPLES BUSINESS ADVANTAGE	00043	952823	337780	05/21/19	24.78
					Account Total	24.78
	Telephone					
	VERIZON WIRELESS	00043	952825	337780	05/21/19	464.85
					Account Total	464.85
					Department Total	623.15

County of Adams
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<u>4303</u>	<u>CASP FBO</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Coffee					
	ARAMARK REFRESHMENT SERVICES	00043	952893	337909	05/22/19	133.53
					Account Total	133.53
	Licenses and Fees					
	STATE OF COLORADO	00043	952826	337784	05/21/19	.01-
	STATE OF COLORADO	00043	952827	337784	05/21/19	.01-
					Account Total	.02-
	Oil & Lubrication					
	LOTTMAN OIL COMPANY	00043	952821	337780	05/21/19	178.00
	LOTTMAN OIL COMPANY	00043	952821	337780	05/21/19	83.75
					Account Total	261.75
	Pilot Supplies					
	SOUTH PARK EMBROIDERY	00043	952822	337780	05/21/19	1,731.98
					Account Total	1,731.98
	Telephone					
	VERIZON WIRELESS	00043	952825	337780	05/21/19	40.03
					Account Total	40.03
	Uniforms & Cleaning					
	SOUTH PARK EMBROIDERY	00043	952822	337780	05/21/19	26.00
					Account Total	26.00
					Department Total	2,193.27

County of Adams
Vendor Payment Report

<u>4304</u>	<u>CASP Operations/Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	ADAMS COUNTY STORM WATER MANAG	00043	952727	337755	05/21/19	3,949.01
					Account Total	3,949.01
					Department Total	3,949.01

County of Adams
Vendor Payment Report

<u>941018</u>	<u>CDBG 2018/2019</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Inst.-Pgm. Cst					
	FEDERAL HEIGHTS CITY OF	00030	952280	337049	05/10/19	12,287.25
					Account Total	12,287.25
					Department Total	12,287.25

County of Adams
Vendor Payment Report

<u>1023</u>	<u>CLK Motor Vehicle</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	ALSCO AMERICAN INDUSTRIAL	00001	952558	337462	05/16/19	19.53
	ALSCO AMERICAN INDUSTRIAL	00001	952559	337462	05/16/19	17.19
	ALSCO AMERICAN INDUSTRIAL	00001	952560	337462	05/16/19	19.53
	ALSCO AMERICAN INDUSTRIAL	00001	952561	337462	05/16/19	14.95
	ALSCO AMERICAN INDUSTRIAL	00001	952562	337462	05/16/19	26.89
	ALSCO AMERICAN INDUSTRIAL	00001	952563	337462	05/16/19	19.53
	ALSCO AMERICAN INDUSTRIAL	00001	952564	337462	05/16/19	17.19
					Account Total	134.81
	Security Service					
	ALLIED UNIVERSAL SECURITY SERV	00001	952555	337462	05/16/19	1,388.80
	ALLIED UNIVERSAL SECURITY SERV	00001	952556	337462	05/16/19	1,466.19
	ALLIED UNIVERSAL SECURITY SERV	00001	952557	337462	05/16/19	1,669.92
					Account Total	4,524.91
					Department Total	4,659.72

County of Adams
Vendor Payment Report

<u>951016</u>	<u>CSBG</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	NEW LEGACY CHARTER SCHOOL	00034	952828	337789	05/08/19	11,493.48
					Account Total	11,493.48
					Department Total	11,493.48

County of Adams
Vendor Payment Report

<u>20</u>	<u>Developmentally Disabled</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	NORTH METRO COMMUNITY SERVICES	00020	952974	338020	05/23/19	504,211.34
					Account Total	504,211.34
					Department Total	504,211.34

County of Adams
Vendor Payment Report

<u>1051</u>	<u>District Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	COLO DIST ATTORNEY COUNCIL	00001	952758	337764	05/21/19	38.74
					Account Total	38.74
	Other Professional Serv					
	CINA & CINA FORENSIC CONSULTIN	00001	952630	337580	05/17/19	361.45
					Account Total	361.45
	Witness Fees					
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	952757	337764	05/21/19	90.27
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	952757	337764	05/21/19	14.35
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	952757	337764	05/21/19	152.15
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	952757	337764	05/21/19	95.37
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	952757	337764	05/21/19	122.71
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	952757	337764	05/21/19	97.23
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	952757	337764	05/21/19	.01-
	FOONBERG MICHAEL DAVID	00001	952759	337764	05/21/19	28.08
	NIAZOV YULIANA	00001	952760	337764	05/21/19	29.74
					Account Total	629.89
					Department Total	1,030.08

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<u>6</u>	<u>Equipment Service Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	ABRA AUTO BODY & GLASS	00006	952749	337761	05/21/19	35.00
	SAM HILL OIL INC	00006	952750	337761	05/21/19	16,884.23
	SAM HILL OIL INC	00006	952783	337773	05/21/19	15,815.44
	SAM HILL OIL INC	00006	952783	337773	05/21/19	.20
	SAM HILL OIL INC	00006	952954	337991	05/23/19	1,452.32
	SAM HILL OIL INC	00006	952955	337991	05/23/19	7,619.52
	SAM HILL OIL INC	00006	952956	337991	05/23/19	14,103.73
	THE GOODYEAR TIRE AND RUBBER C	00006	952751	337761	05/21/19	2,313.30
	THE GOODYEAR TIRE AND RUBBER C	00006	952752	337761	05/21/19	1,049.71
	THE GOODYEAR TIRE AND RUBBER C	00006	952753	337761	05/21/19	496.92
	THE GOODYEAR TIRE AND RUBBER C	00006	952754	337761	05/21/19	2,770.38
	THE GOODYEAR TIRE AND RUBBER C	00006	953001	338127	05/24/19	677.75
					Account Total	63,218.50
					Department Total	63,218.50

County of Adams
Vendor Payment Report

<u>9243</u>	<u>Extension - Family & Consumer</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	9354	00001	952995	338119	05/24/19	89.20
					Account Total	89.20
					Department Total	89.20

County of Adams
Vendor Payment Report

<u>9240</u>	<u>Extension - Horticulture</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	9295	00001	952994	338119	05/24/19	<u>213.79</u>
					Account Total	<u>213.79</u>
					Department Total	<u><u>213.79</u></u>

County of Adams
Vendor Payment Report

<u>9241</u>	<u>Extension- Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	9248	00001	952993	338119	05/24/19	673.96
					Account Total	673.96
					Department Total	673.96

County of Adams
Vendor Payment Report

9244	Extension- 4-H/Youth	Fund	Voucher	Batch No	GL Date	Amount
	Mileage Reimbursements					
	9448	00001	952996	338119	05/24/19	522.35
	9563	00001	952997	338119	05/24/19	253.46
					Account Total	775.81
					Department Total	775.81

County of Adams
Vendor Payment Report

9111	Fleet- Admin	Fund	Voucher	Batch No	GL Date	Amount
	Auto Physical Damage					
	INSIGHT AUTO GLASS LLC	00006	952897	337985	05/23/19	40.00
	INSIGHT AUTO GLASS LLC	00006	952898	337985	05/23/19	40.00
	INSIGHT AUTO GLASS LLC	00006	952899	337985	05/23/19	40.00
	INSIGHT AUTO GLASS LLC	00006	952900	337985	05/23/19	40.00
					Account Total	160.00
					Department Total	160.00

County of Adams
Vendor Payment Report

9114	Fleet- Commerce	Fund	Voucher	Batch No	GL Date	Amount
	Vehicle Repair & Maint					
	CRIME SCENE CLEANERS INC	00006	952901	337985	05/23/19	95.00
					Account Total	95.00
					Department Total	95.00

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Vendor Payment Report

<u>1091</u>	<u>FO - Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Rental					
	IC CHAMBERS LP	00001	952920	337989	05/23/19	6,838.90
	WESTAR REAL PROPERTY SERVICES	00001	952921	337989	05/23/19	13,598.25
					Account Total	20,437.15
	Gas & Electricity					
	Energy Cap Bill ID=9568	00001	952917	337988	05/10/19	162.78
					Account Total	162.78
					Department Total	20,599.93

County of Adams
Vendor Payment Report

<u>1075</u>	<u>FO - Administration Bldg</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=9554	00001	952611	337576	05/08/19	183.23
	Energy Cap Bill ID=9567	00001	952913	337988	05/07/19	1,836.67
	Energy Cap Bill ID=9572	00001	952914	337988	05/09/19	515.86
					Account Total	2,535.76
					Department Total	2,535.76

County of Adams
Vendor Payment Report

<u>1060</u>	<u>FO - Community Corrections</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=9559	00001	952606	337576	05/03/19	3,647.13
					Account Total	3,647.13
	Water/Sewer/Sanitation					
	ADAMS COUNTY STORM WATER MANAG	00001	952723	337755	05/21/19	446.00
	Energy Cap Bill ID=9566	00001	952907	337988	05/13/19	430.47
					Account Total	876.47
					Department Total	4,523.60

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<u>1114</u>	<u>FO - District Attorney Bldg.</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	DH PACE	00001	952923	337989	05/23/19	4,284.00
					Account Total	4,284.00
	Maintenance Contracts					
	MILE HIGH TREE CARE INC	00001	952620	337579	05/17/19	2,500.00
	MILE HIGH TREE CARE INC	00001	952623	337579	05/17/19	1,500.00
					Account Total	4,000.00
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=9557	00001	952616	337576	05/03/19	698.23
					Account Total	698.23
					Department Total	8,982.23

County of Adams
Vendor Payment Report

<u>2090</u>	<u>FO - Flatrock Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	ADAMS COUNTY STORM WATER MANAG	00050	952728	337755	05/21/19	446.00
					Account Total	446.00
					Department Total	446.00

County of Adams
Vendor Payment Report

<u>1077</u>	<u>FO - Government Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	EMERGENCY POWER SERVICES CO IN	00001	952925	337989	05/23/19	5,000.00
					Account Total	5,000.00
	Gas & Electricity					
	Energy Cap Bill ID=9553	00001	952612	337576	05/08/19	20,458.00
	Energy Cap Bill ID=9555	00001	952613	337576	05/08/19	2,793.00
	ENERGYCAP INC	00001	952922	337989	05/23/19	5,115.31
					Account Total	28,366.31
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=9571	00001	952916	337988	05/10/19	4,032.43
					Account Total	4,032.43
					Department Total	37,398.74

County of Adams
Vendor Payment Report

<u>1070</u>	<u>FO - Honnen/Plan&Devel/MV Ware</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	KEN CARYL GLASS INC	00001	952919	337989	05/23/19	2,998.00
					Account Total	2,998.00
	Gas & Electricity					
	Energy Cap Bill ID=9550	00001	952608	337576	05/03/19	494.64
	Energy Cap Bill ID=9551	00001	952609	337576	05/03/19	437.67
					Account Total	932.31
	Maintenance Contracts					
	ENVIRO-VAC INC	00001	952622	337579	05/17/19	4,470.00
					Account Total	4,470.00
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=9561	00001	952909	337988	05/13/19	475.62
	Energy Cap Bill ID=9562	00001	952910	337988	05/13/19	46.97
	Energy Cap Bill ID=9563	00001	952911	337988	05/13/19	25.20
	Energy Cap Bill ID=9564	00001	952912	337988	05/13/19	46.97
					Account Total	594.76
					Department Total	8,995.07

County of Adams
Vendor Payment Report

<u>1071</u>	<u>FO - Justice Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Repair & Maint Supplies					
	PENNQUICK SPECIALTIES	00001	952629	337579	05/17/19	550.00
					Account Total	550.00
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=9556	00001	952610	337576	05/03/19	4,584.03
					Account Total	4,584.03
					Department Total	5,134.03

County of Adams
Vendor Payment Report

<u>2009</u>	<u>FO - Sheriff Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Buildings					
	AMTECH SOLUTIONS INCORPORATED	00001	952626	337579	05/17/19	4,950.00
					Account Total	4,950.00
	Maintenance Contracts					
	ROCKY MTN SEWER-JET INC	00001	952619	337579	05/17/19	1,590.00
					Account Total	1,590.00
	Water/Sewer/Sanitation					
	ADAMS COUNTY STORM WATER MANAG	00001	952723	337755	05/21/19	446.00
	REPUBLIC SERVICES #535	00001	952618	337579	05/17/19	94.18
	REPUBLIC SERVICES #535	00001	952628	337579	05/17/19	3,599.02
					Account Total	4,139.20
					Department Total	10,679.20

County of Adams
Vendor Payment Report

<u>1076</u>	<u>FO-Adams County Service Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=9565	00001	952915	337988	05/13/19	1,556.63
					Account Total	1,556.63
					Department Total	1,556.63

County of Adams
Vendor Payment Report

<u>1069</u>	<u>FO-Animal Shelter Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	A-1 CHIPSEAL CO	00001	952625	337579	05/17/19	4,995.00
					Account Total	4,995.00
	Gas & Electricity					
	Energy Cap Bill ID=9569	00001	952908	337988	05/08/19	2,302.07
					Account Total	2,302.07
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=9558	00001	952607	337576	05/04/19	810.99
					Account Total	810.99
					Department Total	8,108.06

County of Adams
Vendor Payment Report

<u>1112</u>	<u>FO-Sheriff HQ/Coroner Building</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=9570	00001	952918	337988	05/08/19	3,912.88
					Account Total	3,912.88
					Department Total	3,912.88

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Cash Over/Short					
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	952757	337764	05/21/19	.01
					Account Total	.01
	Received not Vouchered Clrg					
	ADVANCED LAUNDRY SYSTEMS	00001	952632	337589	05/17/19	514.53
	ADVANCED LAUNDRY SYSTEMS	00001	952633	337589	05/17/19	1,325.37
	ALLIED UNIVERSAL SECURITY SERV	00001	952635	337589	05/17/19	22,949.99
	ALLIED UNIVERSAL SECURITY SERV	00001	952930	337991	05/23/19	3,819.88
	AMERICAN EAGLE DISTRIBUTING	00001	952928	337991	05/23/19	51.20
	BUTLER SNOW LLP	00001	952683	337671	05/20/19	163.50
	CA SHORT COMPANY	00001	952999	338127	05/24/19	13.75
	CML SECURITY LLC	00001	952637	337589	05/17/19	13,333.33
	CML SECURITY LLC	00001	952638	337589	05/17/19	13,333.33
	CML SECURITY LLC	00001	952639	337589	05/17/19	12,066.60
	COLO DIST ATTORNEY COUNCIL	00001	952772	337773	05/21/19	3,380.30
	COMMUNITY REACH CENTER	00001	952640	337589	05/17/19	19,917.79
	DENOVO VENTURES LLC	00001	952774	337773	05/21/19	1,180.00
	DOMOTO BRANDS LLC	00001	952863	337889	05/22/19	2,500.00
	EIDE BAILLY LLP	00001	952631	337584	05/17/19	3,296.90
	ENCOMPASS EVENT GROUP	00001	953000	338127	05/24/19	6,132.25
	FOUND MY KEYS	00001	952570	337145	05/16/19	540.00
	FOUND MY KEYS	00001	952571	337145	05/16/19	1,357.00
	FOUND MY KEYS	00001	952641	337589	05/17/19	390.00
	FOUND MY KEYS	00001	952642	337589	05/17/19	954.50
	GABLEHOUSE GRANBERG LLC	00001	952776	337773	05/21/19	1,276.00
	GABLEHOUSE GRANBERG LLC	00001	952776	337773	05/21/19	6,290.46
	GROUNDS SERVICE COMPANY	00001	952746	337761	05/21/19	745.00
	GROUNDS SERVICE COMPANY	00001	952747	337761	05/21/19	470.00
	GROUNDS SERVICE COMPANY	00001	952860	337889	05/22/19	400.00
	GROUNDS SERVICE COMPANY	00001	952872	337889	05/22/19	1,665.00
	HIGH COUNTRY BEVERAGE	00001	952931	337991	05/23/19	1,184.05
	HILL & ROBBINS	00001	953002	338127	05/24/19	570.00
	HILLYARD - DENVER	00001	952865	337889	05/22/19	12,745.36
	HR ADVANTAGE GROUP LLC	00001	953003	338127	05/24/19	1,500.00
	INSIGHT PUBLIC SECTOR	00001	952778	337773	05/21/19	19,900.00

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	K&H INTEGRATED PRINT SOLUTIONS	00001	953005	338127	05/24/19	2,841.49
	KD SERVICE GROUP	00001	952643	337589	05/17/19	588.51
	KD SERVICE GROUP	00001	952644	337589	05/17/19	638.40
	KD SERVICE GROUP	00001	952645	337589	05/17/19	225.38
	MCDONALD YONG HUI V	00001	952572	337145	05/16/19	4,777.50
	MEJORANDO GROUP	00001	953007	338127	05/24/19	4,600.31
	MWI VETERINARY SUPPLY CO	00001	952868	337889	05/22/19	738.41
	MWI VETERINARY SUPPLY CO	00001	952869	337889	05/22/19	556.84
	MWI VETERINARY SUPPLY CO	00001	952948	337991	05/23/19	334.64
	MWI VETERINARY SUPPLY CO	00001	952949	337991	05/23/19	322.69
	ONENECK IT SOLUTIONS LLC	00001	952780	337773	05/21/19	125,172.62
	ONENECK IT SOLUTIONS LLC	00001	952781	337773	05/21/19	22,416.00
	PATTERSON VETERINARY SUPPLY IN	00001	952870	337889	05/22/19	107.76
	PATTERSON VETERINARY SUPPLY IN	00001	952950	337991	05/23/19	326.55
	PHILLIPS PET FOOD & SUPPLIES	00001	952867	337889	05/22/19	543.30
	ROADRUNNER PHARMACY INCORPORAT	00001	952864	337889	05/22/19	372.25
	SHERMAN & HOWARD LLC	00001	953008	338127	05/24/19	2,975.00
	SPACE CONCEPTS INC	00001	952330	337145	05/13/19	864.18
	SUMMIT FOOD SERVICE LLC	00001	952568	337145	05/16/19	16.26
	SUMMIT FOOD SERVICE LLC	00001	952569	337145	05/16/19	4,891.56
	SUMMIT FOOD SERVICE LLC	00001	952646	337589	05/17/19	26,717.51
	SUMMIT FOOD SERVICE LLC	00001	952647	337589	05/17/19	15,312.17
	SUMMIT FOOD SERVICE LLC	00001	952648	337589	05/17/19	4,749.01
	SWIRE COCA-COLA USA	00001	952957	337991	05/23/19	325.80
	TRUE POINT LLC	00001	952745	337761	05/21/19	4,125.00
	TYGRETT DEBRA R	00001	952573	337145	05/16/19	371.00
	US CORRECTIONS LLC	00001	952649	337589	05/17/19	691.00
	US CORRECTIONS LLC	00001	952650	337589	05/17/19	691.00
	US CORRECTIONS LLC	00001	952651	337589	05/17/19	1,445.00
	ZIVARO INC	00001	952784	337773	05/21/19	19,912.93
	ZOE TRAINING & CONSULTING	00001	952958	337991	05/23/19	35.00
					Account Total	401,651.16
					Department Total	401,651.17

County of Adams
Vendor Payment Report

<u>5026</u>	<u>Golf Course- Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Contract Employment					
	PROFESSIONAL RECREATION MGMT I	00005	952876	337893	05/22/19	23,365.47
	PROFESSIONAL RECREATION MGMT I	00005	952876	337893	05/22/19	2,795.13
	PROFESSIONAL RECREATION MGMT I	00005	952876	337893	05/22/19	390.46
					Account Total	26,551.06
	Grounds Maintenance					
	AGFINITY INC	00005	952802	337779	05/21/19	630.00
	CEM LAKE MGMT	00005	952806	337779	05/21/19	475.00
	CEM LAKE MGMT	00005	952807	337779	05/21/19	475.00
	L L JOHNSON DIST	00005	952808	337779	05/21/19	1,194.29
	RENEWABLE FIBER	00005	952819	337779	05/21/19	1,553.50
	TORO NSN	00005	952820	337779	05/21/19	229.00
					Account Total	4,556.79
	Repair & Maint Supplies					
	ALSCO AMERICAN INDUSTRIAL	00005	952803	337779	05/21/19	45.58
	ALSCO AMERICAN INDUSTRIAL	00005	952804	337779	05/21/19	47.49
	ALSCO AMERICAN INDUSTRIAL	00005	952805	337779	05/21/19	47.49
					Account Total	140.56
	Telephone					
	PROFESSIONAL RECREATION MGMT I	00005	952876	337893	05/22/19	281.55
					Account Total	281.55
	Vehicle Parts & Supplies					
	L L JOHNSON DIST	00005	952809	337779	05/21/19	76.61
	L L JOHNSON DIST	00005	952810	337779	05/21/19	129.53
	L L JOHNSON DIST	00005	952811	337779	05/21/19	86.17
	L L JOHNSON DIST	00005	952812	337779	05/21/19	128.10
	L L JOHNSON DIST	00005	952813	337779	05/21/19	88.25
	L L JOHNSON DIST	00005	952814	337779	05/21/19	85.47
	L L JOHNSON DIST	00005	952815	337779	05/21/19	75.00
	L L JOHNSON DIST	00005	952816	337779	05/21/19	1,387.39
	L L JOHNSON DIST	00005	952817	337779	05/21/19	65.74
	L L JOHNSON DIST	00005	952818	337779	05/21/19	486.77
					Account Total	2,609.03
					Department Total	34,138.99

County of Adams
Vendor Payment Report

<u>5021</u>	<u>Golf Course- Pro Shop</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Contract Employment					
	PROFESSIONAL RECREATION MGMT I	00005	952876	337893	05/22/19	17,451.39
	PROFESSIONAL RECREATION MGMT I	00005	952876	337893	05/22/19	2,082.99
	PROFESSIONAL RECREATION MGMT I	00005	952876	337893	05/22/19	86.40
					Account Total	19,620.78
	Golf Merchandise					
	PROFESSIONAL RECREATION MGMT I	00005	952876	337893	05/22/19	216.00
					Account Total	216.00
	Insurance Premiums					
	PROFESSIONAL RECREATION MGMT I	00005	952876	337893	05/22/19	62.21
	PROFESSIONAL RECREATION MGMT I	00005	952876	337893	05/22/19	590.93
	PROFESSIONAL RECREATION MGMT I	00005	952876	337893	05/22/19	5,566.83
					Account Total	6,219.97
	Minor Equipment					
	PROFESSIONAL RECREATION MGMT I	00005	952876	337893	05/22/19	944.00
					Account Total	944.00
	Other Professional Serv					
	PROFESSIONAL RECREATION MGMT I	00005	952876	337893	05/22/19	643.61
					Account Total	643.61
	Security Service					
	PROFESSIONAL RECREATION MGMT I	00005	952876	337893	05/22/19	647.50
					Account Total	647.50
	Telephone					
	PROFESSIONAL RECREATION MGMT I	00005	952876	337893	05/22/19	57.45
	PROFESSIONAL RECREATION MGMT I	00005	952876	337893	05/22/19	58.84
					Account Total	116.29
	Water/Sewer/Sanitation					
	ADAMS COUNTY STORM WATER MANAG	00005	952725	337755	05/21/19	1,018.46
					Account Total	1,018.46
					Department Total	29,426.61

County of Adams
Vendor Payment Report

<u>1099</u>	<u>GF- Human Service Grants</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	ADAMS COUNTY FOUNDATION INC	00001	952986	338028	05/23/19	1,000,000.00
					Account Total	1,000,000.00
					Department Total	1,000,000.00

County of Adams
Vendor Payment Report

<u>31</u>	<u>Head Start Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	CESCO LINGUISTIC SERVICE INC	00031	952755	337761	05/21/19	82.50
	MEADOW GOLD DAIRY	00031	952932	337991	05/23/19	110.40
	MEADOW GOLD DAIRY	00031	952933	337991	05/23/19	140.00
	MEADOW GOLD DAIRY	00031	952934	337991	05/23/19	55.20
	MEADOW GOLD DAIRY	00031	952935	337991	05/23/19	56.00
	MEADOW GOLD DAIRY	00031	952936	337991	05/23/19	13.80
	MEADOW GOLD DAIRY	00031	952937	337991	05/23/19	41.40
	MEADOW GOLD DAIRY	00031	952938	337991	05/23/19	42.00
	MEADOW GOLD DAIRY	00031	952939	337991	05/23/19	70.00
	MEADOW GOLD DAIRY	00031	952940	337991	05/23/19	56.00
	MEADOW GOLD DAIRY	00031	952941	337991	05/23/19	70.00
	MEADOW GOLD DAIRY	00031	952942	337991	05/23/19	14.00
	MEADOW GOLD DAIRY	00031	952943	337991	05/23/19	42.00
	MEADOW GOLD DAIRY	00031	952944	337991	05/23/19	42.00
	MEADOW GOLD DAIRY	00031	952945	337991	05/23/19	70.00
	MEADOW GOLD DAIRY	00031	952946	337991	05/23/19	165.60
	MEADOW GOLD DAIRY	00031	952947	337991	05/23/19	112.00
	SYSCO DENVER	00031	952951	337991	05/23/19	2,412.28
	SYSCO DENVER	00031	952951	337991	05/23/19	262.73
	SYSCO DENVER	00031	952952	337991	05/23/19	154.44
	SYSCO DENVER	00031	952953	337991	05/23/19	1,735.47
	SYSCO DENVER	00031	952953	337991	05/23/19	184.64
					Account Total	5,932.46
					Department Total	5,932.46

County of Adams
Vendor Payment Report

<u>1079</u>	<u>Human Services Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	PPS INTERIORS	00001	952621	337579	05/17/19	443.00
					Account Total	443.00
	Other Repair & Maint					
	PARK 12 HUNDRED OWNERS ASSOCIA	00001	952924	337989	05/23/19	28,790.48
					Account Total	28,790.48
	Water/Sewer/Sanitation					
	REPUBLIC SERVICES #535	00001	952627	337579	05/17/19	1,001.53
					Account Total	1,001.53
					Department Total	30,235.01

County of Adams
Vendor Payment Report

<u>935119</u>	<u>HHS Grant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Rental					
	WESTMINSTER PRESBYTERIAN CHURC	00031	952677	337668	05/20/19	2,180.32
					Account Total	2,180.32
	Interpreting Services					
	LANGUAGE LINE SERVICES	00031	952675	337668	05/20/19	46.74
					Account Total	46.74
	Operating Supplies					
	CINTAS CORPORATION NO 2	00031	952672	337668	05/20/19	160.89
					Account Total	160.89
					Department Total	2,387.95

County of Adams
Vendor Payment Report

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<u>19</u>	<u>Insurance Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	COBRA Medical - Kaiser Ins.					
	HULSEY JAMES	00019	952653	337590	05/17/19	590.01
	MALLINSON SIMONE	00019	952652	337590	05/17/19	1,610.22
					Account Total	2,200.23
	Received not Vouchered Clrg					
	LONGMONT FORD	00019	953006	338127	05/24/19	5,014.85
					Account Total	5,014.85
					Department Total	7,215.08

County of Adams
Vendor Payment Report

8614	Insurance- Delta Dental	Fund	Voucher	Batch No	GL Date	Amount
	COBRA Admin					
	HULSEY JAMES	00019	952653	337590	05/17/19	11.80
	MALLINSON SIMONE	00019	952652	337590	05/17/19	34.47
					Account Total	46.27
	Ins Premium Dental-Delta					
	MALLINSON SIMONE	00019	952652	337590	05/17/19	96.99
					Account Total	96.99
					Department Total	143.26

County of Adams
Vendor Payment Report

<u>8623</u>	<u>Insurance- Vision</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Ins. Premium-Vision					
	MALLINSON SIMONE	00019	952652	337590	05/17/19	14.97
					Account Total	14.97
					Department Total	14.97

County of Adams
Vendor Payment Report

<u>1056</u>	<u>IT Help Desk & Servers</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Consultant Services					
	ABC ITECH	00001	952770	337770	05/21/19	980.00
					Account Total	980.00
					Department Total	980.00

County of Adams
Vendor Payment Report

<u>1058</u>	<u>IT Network/Telecom</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Telephone					
	CENTURY LINK	00001	952583	337560	05/17/19	11.25
	TDS TELECOM	00001	952605	337560	05/17/19	844.95
					Account Total	856.20
					Department Total	856.20

County of Adams
Vendor Payment Report

<u>1019</u>	<u>Mailroom & Dock</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Postage & Freight					
	UNITED STATES POSTAL SERVICE	00001	952617	337577	05/17/19	28.65
					Account Total	28.65
					Department Total	28.65

County of Adams
Vendor Payment Report

<u>6202</u>	<u>Open Space Tax- Grants</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	ARVADA CITY OF	00028	952574	337552	05/17/19	38,076.23
					Account Total	38,076.23
					Department Total	38,076.23

County of Adams
Vendor Payment Report

<u>1111</u>	<u>Parks Facilities</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Buildings					
	XCEL ENERGY	00001	952712	337688	05/20/19	78,042.38
					Account Total	78,042.38
	Gas & Electricity					
	Energy Cap Bill ID=9552	00001	952614	337576	05/03/19	85.93
	Energy Cap Bill ID=9560	00001	952615	337576	05/03/19	641.85
					Account Total	727.78
					Department Total	78,770.16

County of Adams
Vendor Payment Report

<u>1015</u>	<u>People Services</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	BALLENTINE PAULINE M	00001	952801	337778	05/21/19	150.00
					Account Total	150.00
	Tuition Reimbursement					
	BECKMAN AMY	00001	952990	338047	05/23/19	1,167.93
	OKADA DAVID	00001	952991	338047	05/23/19	2,500.00
					Account Total	3,667.93
					Department Total	3,817.93

County of Adams
Vendor Payment Report

<u>5011</u>	<u>PKS- Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	ADAMS COUNTY STORM WATER MANAG	00001	952723	337755	05/21/19	3,306.92
					Account Total	3,306.92
					Department Total	3,306.92

County of Adams
Vendor Payment Report

<u>1089</u>	<u>PLN- Boards & Commissions</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	BUSH MELVIN E	00001	952654	337663	05/20/19	65.00
	DOMENICO JOSEPH	00001	952553	337455	05/16/19	65.00
	DUPRIEST JOHN FIELDEN	00001	952554	337455	05/16/19	65.00
	FOREST SEAN	00001	952550	337455	05/16/19	65.00
	GREEN THOMAS D	00001	952658	337663	05/20/19	65.00
	GRONQUIST CHRIS	00001	952659	337663	05/20/19	65.00
	MARTINEZ JUSTIN PAUL	00001	952549	337455	05/16/19	65.00
	MCCREARY RAPHAEL	00001	952655	337663	05/20/19	65.00
	NYHOLM STEWART E	00001	952656	337663	05/20/19	65.00
	RICHARDSON SHARON	00001	952552	337455	05/16/19	65.00
	STANFIELD THOMSON	00001	952657	337663	05/20/19	65.00
	THOMPSON GREGORY PAUL	00001	952551	337455	05/16/19	65.00
					Account Total	780.00
					Department Total	780.00

County of Adams
Vendor Payment Report

<u>7</u>	<u>Stormwater Utility Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Deposits Payable					
	QUIKRETE	00007	952744	337758	05/21/19	6,325.00
					Account Total	6,325.00
	Suspense - Misc. Clearing					
	YBARRA RAMON L	00007	5383	337551	05/17/19	88.02
					Account Total	88.02
					Department Total	6,413.02

County of Adams
Vendor Payment Report

<u>3061</u>	<u>Transportation Engineering</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	ADAMS COUNTY STORM WATER MANAG	00001	952729	337755	05/21/19	283.16
					Account Total	283.16
					Department Total	283.16

County of Adams
Vendor Payment Report

<u>3031</u>	<u>Transportation Opers & Maint</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	ADAMS COUNTY STORM WATER MANAG	00013	952729	337755	05/21/19	3,881.64
					Account Total	3,881.64
					Department Total	3,881.64

County of Adams
Vendor Payment Report

<u>25</u>	<u>Waste Management Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	B & B ENVIRONMENTAL SAFETY INC	00025	952748	337761	05/21/19	4,073.14
					Account Total	4,073.14
					Department Total	4,073.14

County of Adams
Vendor Payment Report

<u>98740</u>	<u>WBT Adult Program</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Clnt Trng- OJT					
	CHECKERS SAFETY GROUP	00035	952877	337892	05/22/19	4,405.34
					Account Total	4,405.34
					Department Total	4,405.34

County of Adams
Vendor Payment Report

<u>97200</u>	<u>WIOA ADULT PROGRAM</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Clnt Trng- OJT					
	CHECKERS SAFETY GROUP	00035	952877	337892	05/22/19	594.66
					Account Total	594.66
					Department Total	594.66

County of Adams
Vendor Payment Report

<u>97500</u>	<u>WIOA YOUTH OLDER</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Supp Svcs-Incentives					
	ABEYTA FIDENCIO E	00035	952873	337892	05/22/19	80.00
	ARELLANO PATRICIA R	00035	952874	337892	05/22/19	40.00
	BARELA MIKAYLIE L	00035	952875	337892	05/22/19	80.00
	COPLEY BAILEY	00035	952878	337892	05/22/19	25.00
	GALVAN MONICA	00035	952879	337892	05/22/19	25.00
	LEVARIO PEDROZA ALONDRA S	00035	952884	337892	05/22/19	40.00
	LOPEZ LISAMARIE B	00035	952880	337892	05/22/19	80.00
	MARTINEZ VICTORIA	00035	952881	337892	05/22/19	20.00
	MAZOTTI CAMERON	00035	952882	337892	05/22/19	20.00
	OLSEN VANADIS A	00035	952883	337892	05/22/19	80.00
	SANCHEZ STORMY	00035	952885	337892	05/22/19	20.00
	TURNAGE ZACKARY	00035	952886	337892	05/22/19	20.00
					Account Total	530.00
					Department Total	530.00

County of Adams
Vendor Payment Report

Grand Total 2,570,455.02

County of Adams
Net Warrant by Fund Summary

Fund Number	Fund Description	Amount
1	General Fund	1,679,362.75
4	Capital Facilities Fund	18,834.00
5	Golf Course Enterprise Fund	84,977.51
6	Equipment Service Fund	290,709.56
7	Stormwater Utility Fund	12,265.00
13	Road & Bridge Fund	864,809.00
19	Insurance Fund	842,926.22
27	Open Space Projects Fund	155,000.43
31	Head Start Fund	14,707.76
34	Comm Services Blk Grant Fund	2,923.82
35	Workforce & Business Center	5,993.45
43	Colorado Air & Space Port	6,360.60
50	FLATROCK Facility Fund	2,100.65
		<u>3,980,970.75</u>

Net Warrants by Fund Detail

1General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00005328	545155	JP MORGAN CHASE BANK NA	06/03/19	740,492.90
00005329	93290	STOEFLER REBECCA E	06/04/19	756.00
00005330	378404	CARUSO JAMES LOUIS	06/04/19	2,050.00
00005331	851814	EL RODEO NIGHT CLUB LLC	06/04/19	17,500.00
00005332	320525	ARIAS REBECCA M	06/05/19	4,305.00
00005333	373974	HOLMES DAWN B	06/05/19	4,100.00
00005339	465183	PITNEY BOWES BANK	06/07/19	16,000.00
00737777	802794	MCLALLEN III, THOMAS L	06/03/19	274.00
00737778	40895	MONARES, DANIEL A.	06/03/19	274.00
00737779	2644	NIELSEN, SUSAN G	06/03/19	274.00
00737780	14014	WHYTOCK, JEREMY J.	06/03/19	274.00
00737781	433987	ADCO DISTRICT ATTORNEY'S OFFIC	06/03/19	781.51
00737782	845637	ASSOCIATES IN FORENSIC INVESTI	06/03/19	1,625.00
00737783	6331	COLO ASSESSORS ASSN	06/03/19	325.00
00737784	7612	COLO SUPREME COURT	06/03/19	50.00
00737786	678436	DOMENICO JOSEPH	06/03/19	65.00
00737787	808844	DUPRIEST JOHN FIELDEN	06/03/19	65.00
00737788	305607	FLYWHEEL RECORDS LLC	06/03/19	1,850.00
00737789	698569	FOREST SEAN	06/03/19	65.00
00737790	853854	HANKS STEPHEN KEITH	06/03/19	3,400.00
00737791	293122	HERRERA, AARON	06/03/19	65.00
00737793	859588	JAZOWSKI KAREN	06/03/19	1,250.00
00737795	810888	MARTINEZ JUSTIN PAUL	06/03/19	65.00
00737796	53054	RICHARDSON SHARON	06/03/19	65.00
00737797	687912	SEDIVY-BROWN TONYA	06/03/19	29.12
00737798	35211	TRI STATE FIREWORKS INC	06/03/19	42,000.00
00737799	282396	TEDESCO, CHARLES S	06/03/19	97.00
00737802	865268	BLOOM PEGGY A	06/04/19	66.00
00737803	673295	BODIE ENGER LAW TRUST	06/04/19	19.00
00737804	13160	BRIGHTON CITY OF (WATER)	06/04/19	797.54
00737805	13160	BRIGHTON CITY OF (WATER)	06/04/19	821.21
00737806	13160	BRIGHTON CITY OF (WATER)	06/04/19	18,464.24
00737807	13160	BRIGHTON CITY OF (WATER)	06/04/19	158.43
00737808	13160	BRIGHTON CITY OF (WATER)	06/04/19	10,287.40
00737809	491853	CENTER POINT ENERGY SERVICES R	06/04/19	9,237.57
00737811	867228	CLEAN CULTURE EVENTS	06/04/19	500.00

Net Warrants by Fund Detail

1General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00737813	209334	COLO NATURAL GAS INC	06/04/19	71.14
00737814	274030	COMMUNICATION CONSTRUCTION & E	06/04/19	5,540.00
00737816	679999	CREDIT SERVICE COMPANY	06/04/19	19.00
00737817	437554	CSU EXTENSION	06/04/19	29,484.00
00737818	13299	CSU UNIVERSITY RESOURCE CTR	06/04/19	73.00
00737819	865267	DIAZ SANDRA	06/04/19	19.00
00737820	867233	DONALDSON TRACY	06/04/19	400.00
00737821	855315	DUSTIN J KLEIN LAW LLC	06/04/19	981.00
00737823	20882	EXTENSION ACTIVITY FUND	06/04/19	340.50
00737824	688847	FLATIRONS DUCT CLEANING LLC	06/04/19	1,750.00
00737825	671123	FOUND MY KEYS	06/04/19	330.00
00737827	783632	GAM ENTERPRISES INC	06/04/19	2,634.08
00737828	867222	GARCIA PERLA	06/04/19	75.00
00737829	14991	HELTON & WILLIAMSEN PC	06/04/19	168.00
00737830	867226	HOLIFIELD TIA	06/04/19	75.00
00737831	865264	HOLLAND AND HART	06/04/19	19.00
00737832	867234	INNOVATIONS AND OPTIONS	06/04/19	400.00
00737833	13565	INTERMOUNTAIN REA	06/04/19	25.89
00737834	181981	JIRON MARCELLINA	06/04/19	75.00
00737836	77611	KD SERVICE GROUP	06/04/19	1,003.01
00737837	379007	MEDRANO MARY	06/04/19	882.00
00737838	305419	MIDLAND FUNDING LLC	06/04/19	38.00
00737839	374475	MOORE LAW GROUP APC	06/04/19	19.00
00737840	42431	MOUNTAIN STATES IMAGING LLC	06/04/19	1,279.72
00737841	867221	NUANES ROBERTO	06/04/19	75.00
00737842	867223	PEREZ CHASSIDI	06/04/19	75.00
00737843	867236	PETERSON NEAL	06/04/19	150.00
00737844	867227	PINA EMILIA	06/04/19	75.00
00737845	176327	PITNEY BOWES	06/04/19	1,308.09
00737848	867230	RALPH BRENDA	06/04/19	400.00
00737849	844969	RLH ENGINEERING INC	06/04/19	115.00
00737850	472626	SAFEWARE INC	06/04/19	1,666.68
00737851	865258	SANDS NATHAN D	06/04/19	19.00
00737852	867229	SCHOOL DISTRICT 27J	06/04/19	400.00
00737853	491695	SCYTL	06/04/19	15,132.00
00737854	13932	SOUTH ADAMS WATER & SANITATION	06/04/19	131.53

Net Warrants by Fund Detail

1General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00737855	227044	SOUTHWESTERN PAINTING	06/04/19	35,709.00
00737856	42818	STATE OF COLORADO	06/04/19	442.08
00737857	42818	STATE OF COLORADO	06/04/19	268.03
00737858	599714	SUMMIT FOOD SERVICE LLC	06/04/19	85,134.48
00737859	278403	SUMMIT VIEW SOLUTIONS LLC	06/04/19	132.00
00737860	618144	T&G PECOS LLC	06/04/19	1,800.00
00737863	7189	TOSHIBA FINANCIAL SERVICES	06/04/19	5,387.26
00737864	666214	TYGRET DEBRA R	06/04/19	410.00
00737865	1007	UNITED POWER (UNION REA)	06/04/19	74.99
00737866	1007	UNITED POWER (UNION REA)	06/04/19	25,796.16
00737867	1007	UNITED POWER (UNION REA)	06/04/19	6,599.48
00737868	35731	VERIZON	06/04/19	332.10
00737871	46796	WESTMINSTER CITY OF	06/04/19	3,972.33
00737872	737980	WOLD ARCHITECTS AND ENGINEERS	06/04/19	9,664.20
00737873	13822	XCEL ENERGY	06/04/19	9,551.94
00737874	13822	XCEL ENERGY	06/04/19	792.48
00737875	13822	XCEL ENERGY	06/04/19	180.86
00737876	13822	XCEL ENERGY	06/04/19	42.02
00737877	13822	XCEL ENERGY	06/04/19	162.03
00737878	13822	XCEL ENERGY	06/04/19	69.12
00737879	13822	XCEL ENERGY	06/04/19	187.65
00737893	42507	AIRBOUND	06/05/19	6,525.00
00737895	219183	BALL FRANK J	06/05/19	38.00
00737896	868141	BELTRAN-SORIANO MARIA GUADALUP	06/05/19	19.00
00737897	868125	BLUM DANIEL	06/05/19	19.00
00737898	868156	BURRIER CAMERON W	06/05/19	19.00
00737899	37266	CENTURY LINK	06/05/19	90.95
00737900	868129	CHAVEZ LORELEI	06/05/19	19.00
00737902	868124	COPLEY JONATHAN ROBERT	06/05/19	19.00
00737903	491307	CREDIT SERVICE COMPANY	06/05/19	19.00
00737904	592036	DONALDSON ELIZABETH ANN	06/05/19	23.00
00737905	868136	DURAN-REYES CARLOS	06/05/19	19.00
00737906	868145	ESSEX LAW OFFICES LLC	06/05/19	66.00
00737907	263238	FOSTER GRAHAM MILSTEIN AND CAL	06/05/19	66.00
00737908	57888	FRANCY LAW FIRM, PLLC	06/05/19	19.00
00737909	868131	GOLDMAN DENNIS L	06/05/19	19.00

Net Warrants by Fund Detail

1General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00737910	868266	HAMILTON AARON ALAN	06/05/19	19.00
00737911	868165	HELVIE KENNETH A	06/05/19	35.00
00737912	358482	HOLST AND BOETTCHER	06/05/19	57.00
00737913	868148	KC ROAD LAWYERS LLC	06/05/19	19.00
00737914	868126	LOPEZ JOHN C	06/05/19	19.00
00737915	868155	MENOUGH DAVID	06/05/19	19.00
00737916	305419	MIDLAND FUNDING LLC	06/05/19	19.00
00737917	374475	MOORE LAW GROUP APC	06/05/19	57.00
00737918	868127	NEAL RENEE LYNNE	06/05/19	19.00
00737921	868153	REMINGTON SUSAN	06/05/19	19.00
00737922	868128	RUFFIN-DENTON PAMELA	06/05/19	19.00
00737923	868147	SALMON COLIN	06/05/19	66.00
00737925	71946	SPRINGMAN, BRADEN, WILSON & PO	06/05/19	19.00
00737926	243343	STENGER AND STENGER	06/05/19	95.00
00737928	40340	WINDSTREAM COMMUNICATIONS	06/05/19	2,837.11
00737929	163075	WINZENBURG, LEFF, PURVIS & PAY	06/05/19	19.00
00737930	48724	ACCELA INC	06/06/19	114,893.27
00737931	433987	ADCO DISTRICT ATTORNEY'S OFFIC	06/06/19	1,120.65
00737932	383698	ALLIED UNIVERSAL SECURITY SERV	06/06/19	3,481.89
00737933	714456	ALTA LANGUAGE SERVICES INC	06/06/19	2,860.00
00737934	43744	AUTOMATED BUILDING SOLUTIONS I	06/06/19	24,800.00
00737935	837984	BLOCK GREGGORY R	06/06/19	3,000.00
00737936	54337	BOTTOMLINE TECHNOLOGIES INC	06/06/19	3,652.75
00737937	837986	BROWN EXIE R JR	06/06/19	1,250.00
00737945	35178	CORONA SOLUTIONS	06/06/19	17,500.00
00737946	44430	DAKOTA COUNTY	06/06/19	3.25
00737947	868072	DAVILA NAVARRO ELENA	06/06/19	50.00
00737949	519505	DENOVO VENTURES LLC	06/06/19	9,290.00
00737951	867570	DOROUGH BRANDY	06/06/19	200.00
00737953	867743	EHRHART VIKKI	06/06/19	10.00
00737956	438625	GOVERNOR'S OFFICE OF IT	06/06/19	2,237.22
00737957	699829	HILL'S PET NUTRITION SALES INC	06/06/19	62.75
00737958	79260	IDEXX DISTRIBUTION INC	06/06/19	2,000.13
00737959	32276	INSIGHT PUBLIC SECTOR	06/06/19	39,615.52
00737960	535598	JACHIMIAK PETERSON LLC	06/06/19	35,556.73
00737961	868051	JONES DYLAN	06/06/19	50.00

Net Warrants by Fund Detail

1General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00737962	44695	KNS COMMUNICATIONS CONSULTANTS	06/06/19	9,087.18
00737963	485045	KORBY LANDSCAPE LLC	06/06/19	8,030.80
00737965	597186	MICHELSON FOUND ANIMALS FOUNDA	06/06/19	1,762.12
00737966	13591	MWI VETERINARY SUPPLY CO	06/06/19	958.71
00737968	669732	PATTERSON VETERINARY SUPPLY IN	06/06/19	958.44
00737969	42970	PROFESSIONAL SIGN LANGUAGE INT	06/06/19	384.85
00737970	42970	PROFESSIONAL SIGN LANGUAGE INT	06/06/19	19.93
00737971	42970	PROFESSIONAL SIGN LANGUAGE INT	06/06/19	11.58
00737972	725956	PRUDENTIAL OVERALL SUPPLY	06/06/19	55.28
00737973	145355	SANITY SOLUTIONS INC	06/06/19	41,649.64
00737974	574170	SCHULTZ PUBLIC AFFAIRS LLC	06/06/19	4,333.33
00737978	42984	TIME TO CHANGE	06/06/19	29,801.33
00737988	472800	KELLY-YNIGUEZ COLLEEN	06/07/19	515.70
00737991	45983	AGREN BLANDO COURT REPORTING	06/07/19	141.70
00737992	385085	ALL STAR HOOD CLEANING	06/07/19	2,095.00
00737993	12012	ALSCO AMERICAN INDUSTRIAL	06/07/19	53.91
00737995	719728	ARMSTRONG OLIVER	06/07/19	1,654.69
00737996	43744	AUTOMATED BUILDING SOLUTIONS I	06/07/19	6,455.00
00737997	491853	CENTER POINT ENERGY SERVICES R	06/07/19	1,679.58
00737998	491853	CENTER POINT ENERGY SERVICES R	06/07/19	1,304.01
00737999	491853	CENTER POINT ENERGY SERVICES R	06/07/19	1,222.86
00738003	80146	COLO DEPT OF PUBLIC HEALTH & E	06/07/19	529.35
00738004	104549	COLO SECRETARY OF STATE	06/07/19	260.00
00738006	564091	DENTONS US LLP	06/07/19	36,000.00
00738012	842301	EVANS REALTY AND PROPERTY MANA	06/07/19	16,312.00
00738013	47723	FEDEX	06/07/19	252.10
00738017	672576	G.R MILLER P.C.	06/07/19	1,750.00
00738022	629131	JARAMILLO RENAE	06/07/19	1,280.02
00738023	93320	MILE HIGH TREE CARE INC	06/07/19	4,000.00
00738026	21963	PALACE CONSTRUCTION CO INC	06/07/19	1,000.00
00738027	728069	POINT ALLIANCE LLC	06/07/19	5,000.00
00738028	45133	PPS INTERIORS	06/07/19	1,476.00
00738029	865341	REMOTE MOWERS LLC	06/07/19	22,000.00
00738030	430098	REPUBLIC SERVICES #535	06/07/19	54.45
00738035	357890	SCHAGER BRETT	06/07/19	2,500.00
00738036	25335	STANLEY CONVERGENT SECURITY S	06/07/19	2,141.25

Net Warrants by Fund Detail

1General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00738037	35108	STEVENS KOENIG REPORTING	06/07/19	744.55
00738038	293662	SUMMIT LABORATORIES INC	06/07/19	890.00
00738039	52553	SWEEPSTAKES UNLIMITED	06/07/19	30.00
00738042	246551	TRAXLER TAMARA	06/07/19	1,167.93
00738043	1007	UNITED POWER (UNION REA)	06/07/19	75.11
00738044	1007	UNITED POWER (UNION REA)	06/07/19	1,115.62
00738045	1007	UNITED POWER (UNION REA)	06/07/19	1,258.45
00738046	1007	UNITED POWER (UNION REA)	06/07/19	5,633.51
00738047	1007	UNITED POWER (UNION REA)	06/07/19	102.90
00738048	1007	UNITED POWER (UNION REA)	06/07/19	20.00
00738049	1007	UNITED POWER (UNION REA)	06/07/19	21,098.25
00738050	1007	UNITED POWER (UNION REA)	06/07/19	63.43
00738051	1007	UNITED POWER (UNION REA)	06/07/19	8,290.90
00738052	1007	UNITED POWER (UNION REA)	06/07/19	523.08
00738057	869731	WEBBER SARAH E	06/07/19	1,124.81
00738058	46796	WESTMINSTER CITY OF	06/07/19	44.88
00738059	13822	XCEL ENERGY	06/07/19	3,123.37
00738060	13822	XCEL ENERGY	06/07/19	850.79
00738061	13822	XCEL ENERGY	06/07/19	101.33
00738062	13822	XCEL ENERGY	06/07/19	6,427.37
00738063	13822	XCEL ENERGY	06/07/19	2,130.12
00738064	13822	XCEL ENERGY	06/07/19	2,912.96
00738065	13822	XCEL ENERGY	06/07/19	162.53
00738066	13822	XCEL ENERGY	06/07/19	416.28
00738067	13822	XCEL ENERGY	06/07/19	377.78
00738068	13822	XCEL ENERGY	06/07/19	182.90
00738069	13822	XCEL ENERGY	06/07/19	418.85
00738070	13822	XCEL ENERGY	06/07/19	478.25
00738071	13822	XCEL ENERGY	06/07/19	552.22
00738072	13822	XCEL ENERGY	06/07/19	267.53
00738073	93970	ZIVARO INC	06/07/19	2,829.25
00738089	2509	CCI	06/07/19	360.00
00738091	858763	POLITICO LLC	06/07/19	6,500.00

Fund Total**1,679,362.75**

County of Adams
Net Warrants by Fund Detail

<u>4</u>		<u>Capital Facilities Fund</u>			
<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>	
00737862	498722	THERMAL & MOISTURE PROTECTION	06/04/19	4,441.25	
00737952	798606	D2C ARCHITECTS INC	06/06/19	14,392.75	
			Fund Total	18,834.00	

Net Warrants by Fund Detail

5Golf Course Enterprise Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00005327	6177	PROFESSIONAL RECREATION MGMT I	06/03/19	9,000.00
00005334	6177	PROFESSIONAL RECREATION MGMT I	06/05/19	60,521.23
00737979	1007	UNITED POWER (UNION REA)	06/06/19	4,039.80
00737980	1007	UNITED POWER (UNION REA)	06/06/19	2,673.34
00737981	1007	UNITED POWER (UNION REA)	06/06/19	30.63
00737982	1007	UNITED POWER (UNION REA)	06/06/19	181.33
00737983	1007	UNITED POWER (UNION REA)	06/06/19	3,728.28
00737984	1007	UNITED POWER (UNION REA)	06/06/19	786.94
00737985	1007	UNITED POWER (UNION REA)	06/06/19	139.42
00737986	13822	XCEL ENERGY	06/06/19	446.75
00737987	13822	XCEL ENERGY	06/06/19	729.79
00738007	56025	DISCOUNT PLUMBING SERVICES INC	06/07/19	2,700.00
Fund Total				84,977.51

Net Warrants by Fund Detail

6Equipment Service Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00737794	27626	JOHN ELWAY CHEVROLET	06/03/19	50,254.00
00737869	444804	WAGNER EQUIPMENT COMPANY	06/04/19	40,892.00
00737919	83580	POWER SCREENING INC	06/05/19	170,000.00
00737920	324769	PRECISE MRM LLC	06/05/19	5,640.00
00737924	16237	SAM HILL OIL INC	06/05/19	18,483.03
00737927	350373	WEX BANK	06/05/19	5,440.53
Fund Total				290,709.56

County of Adams
Net Warrants by Fund Detail

7		Stormwater Utility Fund			
Warrant	Supplier No	Supplier Name	Warrant Date	Amount	
00737894	334633	ARCADIS	06/05/19	12,265.00	
Fund Total				12,265.00	

Net Warrants by Fund Detail

13Road & Bridge Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00737792	8110	IMS	06/03/19	2,702.20
00737800	12012	ALSCO AMERICAN INDUSTRIAL	06/04/19	382.37
00737801	49497	BFI TOWER ROAD LANDFILL	06/04/19	3,084.50
00737810	43659	CINTAS FIRST AID & SAFETY	06/04/19	114.92
00737812	2305	COBITCO INC	06/04/19	153.78
00737815	852560	CONNECTIONS TRAINING AND STAFF	06/04/19	1,575.00
00737822	534975	EP&A ENVIROTAC INC	06/04/19	97,246.25
00737835	506641	JK TRANSPORTS INC	06/04/19	141,705.00
00737846	18611	POLAR REFRIGERATION COMPANY	06/04/19	367.00
00737847	556555	PREMIER PORTABLES	06/04/19	350.00
00737861	790907	THE GOODYEAR TIRE AND RUBBER C	06/04/19	600.00
00737870	78276	WAYNE A MITCHELL LLC	06/04/19	7,047.08
00738021	142892	JALISCO INTL INC	06/07/19	596,329.20
00738031	147080	ROCKSOL CONSULTING GROUP INC	06/07/19	326.70
00738090	823806	KECI COLORADO INC	06/07/19	12,825.00
Fund Total				864,809.00

Net Warrants by Fund Detail

19Insurance Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00005335	423439	DELTA DENTAL OF COLO	06/06/19	23,125.76
00005336	37223	UNITED HEALTH CARE INSURANCE C	06/06/19	173,517.01
00005337	37223	UNITED HEALTH CARE INSURANCE C	06/06/19	364,693.14
00005338	37223	UNITED HEALTH CARE INSURANCE C	06/06/19	265,237.07
00737892	734918	ACCESS TO JUSTICE RESOURCE GRO	06/05/19	1,990.00
00737943	17565	COLO FRAME & SUSPENSION	06/06/19	7,986.40
00737990	492573	ADVANCED URGENT CARE AND OCC M	06/07/19	1,350.00
00738009	548807	EMPLOYERS UNITY LLC	06/07/19	1,807.00
00738014	541231	FINELINE GRAPHICS	06/07/19	351.25
00738015	182042	FIT SOLDIERS FITNESS BOOT CAMP	06/07/19	2,750.00
00738025	61886	NATHAN DUMM & MAYER PC	06/07/19	118.59
Fund Total				842,926.22

County of Adams
Net Warrants by Fund Detail

27 Open Space Projects Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00737826	13472	FULTON IRRIGATING DITCH CO	06/04/19	150.00
00737954	669264	ENERGES SERVICES LLC	06/06/19	54,192.75
00738010	669264	ENERGES SERVICES LLC	06/07/19	100,657.68
Fund Total				155,000.43

Net Warrants by Fund Detail

31Head Start Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00737785	612089	COMMERCIAL CLEANING SYSTEMS	06/03/19	4,466.03
00737938	37266	CENTURY LINK	06/06/19	391.01
00737939	37266	CENTURY LINK	06/06/19	100.70
00737940	37266	CENTURY LINK	06/06/19	355.86
00737941	152461	CENTURYLINK	06/06/19	12.15
00737942	327250	CINTAS CORPORATION NO 2	06/06/19	160.89
00737944	248029	COMMUNITY REACH CENTER FOUNDAT	06/06/19	6,515.84
00737950	45567	DENVER CHILDREN'S ADVOCACY CTR	06/06/19	926.24
00737964	79121	MEADOW GOLD DAIRY	06/06/19	767.00
00737967	55021	NULINX INTERNATIONAL	06/06/19	795.00
00737976	13770	SYSCO DENVER	06/06/19	217.04
Fund Total				14,707.76

County of Adams
Net Warrants by Fund Detail

<u>34</u>		<u>Comm Services Blk Grant Fund</u>			
<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>	
00737955	689894	ETHIOPIAN COMMUNITY DEVELOPMEN	06/06/19	1,285.82	
00737975	58925	SERVICIOS DE LA RAZA INC	06/06/19	1,638.00	
			Fund Total	<hr/> 2,923.82	

Net Warrants by Fund Detail

35

Workforce & Business Center

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00737901	1483	COMPUTER SYSTEMS DESIGN	06/05/19	4,800.00
00737989	252050	ADAMS COUNTY HUMAN SERVICES	06/07/19	825.30
00738000	152461	CENTURYLINK	06/07/19	8.15
00738001	868971	CHAVEZ ADALBERTO	06/07/19	80.00
00738005	783505	DAVIS BRUNDE U	06/07/19	25.00
00738011	811136	ESPARZA ANAYIZ	06/07/19	20.00
00738016	868972	FONSECA YASNIEL	06/07/19	50.00
00738019	868974	HOBBS TERRENCE R	06/07/19	50.00
00738020	868976	HUGHES SARAH K	06/07/19	25.00
00738024	725411	MYRICK KATHIE	06/07/19	20.00
00738032	868977	RUNDBACK KATHERINE	06/07/19	50.00
00738033	823260	SARNO-SANCHEZ CASANDREA	06/07/19	40.00
Fund Total				5,993.45

Net Warrants by Fund Detail

43Colorado Air & Space Port

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00737948	556579	DBT TRANSPORTATION SERVICES LL	06/06/19	1,185.00
00737977	41127	THYSSENKRUPP ELEVATOR CORP	06/06/19	300.00
00737994	228213	ARAMARK REFRESHMENT SERVICES	06/07/19	69.99
00738002	852482	CLEARWAY ENERGY GROUP LLC	06/07/19	2,619.25
00738008	13410	EASTERN SLOPE RURAL TELEPHONE	06/07/19	90.30
00738018	869378	HIGH PRARIE SURVEY COMPANY	06/07/19	1,000.00
00738034	37110	SB PORTA BOWL RESTROOMS INC	06/07/19	409.00
00738040	80267	SWIMS DISPOSAL	06/07/19	298.75
00738041	93074	SYSCO DENVER	06/07/19	388.31
Fund Total				6,360.60

County of Adams
Net Warrants by Fund Detail

50 FLATROCK Facility Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00738053	1007	UNITED POWER (UNION REA)	06/07/19	198.07
00738054	1007	UNITED POWER (UNION REA)	06/07/19	51.57
00738055	1007	UNITED POWER (UNION REA)	06/07/19	1,688.63
00738056	1007	UNITED POWER (UNION REA)	06/07/19	162.38
Fund Total				2,100.65

County of Adams
Net Warrants by Fund Detail

Grand Total 3,980,970.75

County of Adams
Vendor Payment Report

<u>3070I8574196</u>	<u>TANF NON MON SVCS - Empl Trng</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	County Client/Provider					
	PCard JE	00015	953717	338867	05/23/19	3,000.00
	PCard JE	00015	953717	338867	05/23/19	37.50
					Account Total	3,037.50
					Department Total	3,037.50

County of Adams
Vendor Payment Report

<u>3040X2601010</u>	<u>Adult Prot Admin</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	PCard JE	00015	953717	338867	05/23/19	13.01
	PCard JE	00015	953717	338867	05/23/19	177.94
					Account Total	190.95
	Operating Supplies					
	PCard JE	00015	953717	338867	05/23/19	22.60
	PCard JE	00015	953717	338867	05/23/19	14.88
	PCard JE	00015	953717	338867	05/23/19	7.99
	PCard JE	00015	953717	338867	05/23/19	29.03
					Account Total	74.50
					Department Total	265.45

County of Adams
Vendor Payment Report

<u>304005007000</u>	<u>Adult Prot Com Support</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Travel & Transportation					
	PCard JE	00015	953717	338867	05/23/19	15.00
					Account Total	15.00
					Department Total	15.00

County of Adams
Vendor Payment Report

<u>3040P9999900</u>	<u>Adult Prot Non-Reimbursable</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	County Client/Provider					
	PCard JE	00015	953717	338867	05/23/19	134.00
					Account Total	134.00
	Operating Supplies					
	PCard JE	00015	953717	338867	05/23/19	25.42
					Account Total	25.42
	Special Events					
	PCard JE	00015	953717	338867	05/23/19	72.81
	PCard JE	00015	953717	338867	05/23/19	54.89
					Account Total	127.70
					Department Total	287.12

County of Adams
Vendor Payment Report

99809	All Ofc Shared no SS	Fund	Voucher	Batch No	GL Date	Amount
	Operating Supplies					
	PCard JE	00035	953717	338867	05/23/19	473.12
	PCard JE	00035	953717	338867	05/23/19	11.46
	PCard JE	00035	953717	338867	05/23/19	134.59
	PCard JE	00035	953717	338867	05/23/19	18.34
					Account Total	637.51
					Department Total	637.51

County of Adams
Vendor Payment Report

<u>99800</u>	<u>All Ofc Shared Direct</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	PCard JE	00035	953717	338867	05/23/19	20.26
	PCard JE	00035	953717	338867	05/23/19	34.11
	PCard JE	00035	953717	338867	05/23/19	10.11
	PCard JE	00035	953717	338867	05/23/19	5.88
	PCard JE	00035	953717	338867	05/23/19	11.25
	PCard JE	00035	953717	338867	05/23/19	3.71
	PCard JE	00035	953717	338867	05/23/19	.84
	PCard JE	00035	953717	338867	05/23/19	186.64
	PCard JE	00035	953717	338867	05/23/19	424.68
	PCard JE	00035	953717	338867	05/23/19	227.01
	PCard JE	00035	953717	338867	05/23/19	270.32
	PCard JE	00035	953717	338867	05/23/19	286.78
	PCard JE	00035	953717	338867	05/23/19	170.33
	PCard JE	00035	953717	338867	05/23/19	177.94
	PCard JE	00035	953717	338867	05/23/19	170.33
	PCard JE	00035	953717	338867	05/23/19	170.33
	PCard JE	00035	953717	338867	05/23/19	406.06
	PCard JE	00035	953717	338867	05/23/19	406.06
					Account Total	2,982.64
	Operating Supplies					
	PCard JE	00035	953717	338867	05/23/19	145.26
	PCard JE	00035	953717	338867	05/23/19	166.25
					Account Total	311.51
	Postage & Freight					
	ADAMS COUNTY HUMAN SERVICES	00035	953806	339081	06/05/19	453.65
	ADAMS COUNTY HUMAN SERVICES	00035	953807	339081	06/05/19	351.15
					Account Total	804.80
					Department Total	4,098.95

County of Adams
Vendor Payment Report

<u>1040</u>	<u>Assessor Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	34.45
	PCard JE	00001	953717	338867	05/23/19	11.50
	PCard JE	00001	953717	338867	05/23/19	8.49
	PCard JE	00001	953717	338867	05/23/19	10.78
	PCard JE	00001	953717	338867	05/23/19	270.32
	PCard JE	00001	953717	338867	05/23/19	235.52
	PCard JE	00001	953717	338867	05/23/19	177.94
	PCard JE	00001	953717	338867	05/23/19	170.33
					Account Total	919.33
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	121.14
	PCard JE	00001	953717	338867	05/23/19	7.21
	PCard JE	00001	953717	338867	05/23/19	280.40
	PCard JE	00001	953717	338867	05/23/19	10.91
	PCard JE	00001	953717	338867	05/23/19	20.91
	PCard JE	00001	953717	338867	05/23/19	100.00
					Account Total	540.57
	Special Events					
	PCard JE	00001	953717	338867	05/23/19	75.99
	PCard JE	00001	953717	338867	05/23/19	91.96
					Account Total	167.95
	Subscrip/Publications					
	PCard JE	00001	953717	338867	05/23/19	140.00
					Account Total	140.00
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	15.00
					Account Total	15.00
					Department Total	1,782.85

County of Adams
Vendor Payment Report

<u>2051</u>	<u>ANS - Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Animal Control/Shelter					
	DAVILA NAVARRO ELENA	00001	953787	338992	06/04/19	50.00
	DOROUGH BRANDY	00001	953789	338992	06/04/19	200.00
	EHRHART VIKKI	00001	953790	338992	06/04/19	10.00
	JONES DYLAN	00001	953788	338992	06/04/19	50.00
					Account Total	310.00
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	163.74
	PCard JE	00001	953717	338867	05/23/19	227.01
					Account Total	390.75
	Medical Supplies					
	PCard JE	00001	953717	338867	05/23/19	157.35
					Account Total	157.35
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	23.88
	PCard JE	00001	953717	338867	05/23/19	39.22
	PCard JE	00001	953717	338867	05/23/19	364.18
	PCard JE	00001	953717	338867	05/23/19	67.33
	PCard JE	00001	953717	338867	05/23/19	66.37
	PCard JE	00001	953717	338867	05/23/19	13.95
	PCard JE	00001	953717	338867	05/23/19	27.44
	PCard JE	00001	953717	338867	05/23/19	39.98
	PCard JE	00001	953717	338867	05/23/19	654.00
	PCard JE	00001	953717	338867	05/23/19	213.83
					Account Total	1,510.18
	Printing External					
	PCard JE	00001	953717	338867	05/23/19	1,860.00
	PCard JE	00001	953717	338867	05/23/19	150.00
					Account Total	2,010.00
	Special Events					
	PCard JE	00001	953717	338867	05/23/19	32.46
	PCard JE	00001	953717	338867	05/23/19	7.47
	PCard JE	00001	953717	338867	05/23/19	55.00
	PCard JE	00001	953717	338867	05/23/19	2.95

County of Adams
Vendor Payment Report

<u>2051</u>	<u>ANS - Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
Account Total						97.88
Department Total						4,476.16

County of Adams
Vendor Payment Report

<u>2056</u>	<u>ANS - Clinic Operations</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Medical Services					
	PCard JE	00001	953717	338867	05/23/19	149.76
	PCard JE	00001	953717	338867	05/23/19	50.00
					Account Total	199.76
	Membership Dues					
	PCard JE	00001	953717	338867	05/23/19	65.00
	PCard JE	00001	953717	338867	05/23/19	65.10
					Account Total	130.10
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	288.28
	PCard JE	00001	953717	338867	05/23/19	52.13
	PCard JE	00001	953717	338867	05/23/19	274.20
	PCard JE	00001	953717	338867	05/23/19	50.46
					Account Total	665.07
					Department Total	994.93

County of Adams
Vendor Payment Report

<u>2053</u>	<u>ANS - Kennel Operations</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Membership Dues					
	PCard JE	00001	953717	338867	05/23/19	65.00
	PCard JE	00001	953717	338867	05/23/19	250.00
					Account Total	315.00
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	78.27
	PCard JE	00001	953717	338867	05/23/19	32.99
	PCard JE	00001	953717	338867	05/23/19	13.38
	PCard JE	00001	953717	338867	05/23/19	56.60
	PCard JE	00001	953717	338867	05/23/19	11.96
	PCard JE	00001	953717	338867	05/23/19	5.48
	PCard JE	00001	953717	338867	05/23/19	41.97
	PCard JE	00001	953717	338867	05/23/19	7.09
	PCard JE	00001	953717	338867	05/23/19	23.36
	PCard JE	00001	953717	338867	05/23/19	9.27
	PCard JE	00001	953717	338867	05/23/19	157.55
	PCard JE	00001	953717	338867	05/23/19	116.99
	PCard JE	00001	953717	338867	05/23/19	5.45
	PCard JE	00001	953717	338867	05/23/19	19.98
	PCard JE	00001	953717	338867	05/23/19	7.24
	PCard JE	00001	953717	338867	05/23/19	70.44
	PCard JE	00001	953717	338867	05/23/19	9.43
	PCard JE	00001	953717	338867	05/23/19	407.32
	PCard JE	00001	953717	338867	05/23/19	6.17
					Account Total	1,080.94
					Department Total	1,395.94

County of Adams
Vendor Payment Report

<u>2054</u>	<u>ANS - Volunteer</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	34.62
					Account Total	34.62
					Department Total	34.62

County of Adams
Vendor Payment Report

<u>1011</u>	<u>Board of County Commissioners</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	274.48
	PCard JE	00001	953717	338867	05/23/19	254.50
	PCard JE	00001	953717	338867	05/23/19	241.00
	PCard JE	00001	953717	338867	05/23/19	163.40
	PCard JE	00001	953717	338867	05/23/19	281.83
	PCard JE	00001	953717	338867	05/23/19	203.34
	PCard JE	00001	953717	338867	05/23/19	485.00
					Account Total	1,903.55
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	43.15
	PCard JE	00001	953717	338867	05/23/19	1.31
	PCard JE	00001	953717	338867	05/23/19	270.32
	PCard JE	00001	953717	338867	05/23/19	170.33
					Account Total	485.11
	Legal Notices					
	PCard JE	00001	953717	338867	05/23/19	10.08
	PCard JE	00001	953717	338867	05/23/19	67.16
	PCard JE	00001	953717	338867	05/23/19	39.96
	PCard JE	00001	953717	338867	05/23/19	96.12
	PCard JE	00001	953717	338867	05/23/19	54.00
	PCard JE	00001	953717	338867	05/23/19	41.04
					Account Total	308.36
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	159.51
	PCard JE	00001	953717	338867	05/23/19	96.58
	PCard JE	00001	953717	338867	05/23/19	32.75
	PCard JE	00001	953717	338867	05/23/19	33.44
					Account Total	322.28
	Printing External					
	PCard JE	00001	953717	338867	05/23/19	75.00
	PCard JE	00001	953717	338867	05/23/19	155.00
					Account Total	230.00
	Special Events					

County of Adams
Vendor Payment Report

<u>1011</u>	<u>Board of County Commissioners</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00001	953717	338867	05/23/19	20.84-
	PCard JE	00001	953717	338867	05/23/19	200.00
	PCard JE	00001	953717	338867	05/23/19	100.00
	PCard JE	00001	953717	338867	05/23/19	53.37
	PCard JE	00001	953717	338867	05/23/19	53.37
	PCard JE	00001	953717	338867	05/23/19	75.00
	PCard JE	00001	953717	338867	05/23/19	94.93
	PCard JE	00001	953717	338867	05/23/19	824.50
	PCard JE	00001	953717	338867	05/23/19	15.65
	PCard JE	00001	953717	338867	05/23/19	4.75
	PCard JE	00001	953717	338867	05/23/19	9,435.00
					Account Total	10,835.73
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	50.00
	PCard JE	00001	953717	338867	05/23/19	50.00
	PCard JE	00001	953717	338867	05/23/19	50.00
	PCard JE	00001	953717	338867	05/23/19	288.00
	PCard JE	00001	953717	338867	05/23/19	288.00
	PCard JE	00001	953717	338867	05/23/19	288.00
	PCard JE	00001	953717	338867	05/23/19	208.30
	PCard JE	00001	953717	338867	05/23/19	19.00
	PCard JE	00001	953717	338867	05/23/19	183.60
	PCard JE	00001	953717	338867	05/23/19	25.00
	PCard JE	00001	953717	338867	05/23/19	25.00
	PCard JE	00001	953717	338867	05/23/19	575.70
	PCard JE	00001	953717	338867	05/23/19	245.30
	PCard JE	00001	953717	338867	05/23/19	21.00-
	PCard JE	00001	953717	338867	05/23/19	278.30
	PCard JE	00001	953717	338867	05/23/19	178.99
	PCard JE	00001	953717	338867	05/23/19	178.99-
	PCard JE	00001	953717	338867	05/23/19	178.99
	PCard JE	00001	953717	338867	05/23/19	30.00
	PCard JE	00001	953717	338867	05/23/19	30.00
	10440	00001	953721	338872	06/03/19	55.00
	10440	00001	953721	338872	06/03/19	42.00
					Account Total	2,889.19

County of Adams
Vendor Payment Report

<u>1011</u>	<u>Board of County Commissioners</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
					Department Total	<u>16,974.22</u>

County of Adams
Vendor Payment Report

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<u>1024</u>	<u>Budget Office</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Books					
	PCard JE	00001	953717	338867	05/23/19	29.18
					Account Total	29.18
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	63.31
					Account Total	63.31
	Other Professional Serv					
	PCard JE	00001	953717	338867	05/23/19	2,388.00
					Account Total	2,388.00
	Subscrip/Publications					
	PCard JE	00001	953717	338867	05/23/19	9.36
					Account Total	9.36
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	63.18
	PCard JE	00001	953717	338867	05/23/19	5.84
	PCard JE	00001	953717	338867	05/23/19	29.24
	PCard JE	00001	953717	338867	05/23/19	4.46
	PCard JE	00001	953717	338867	05/23/19	19.36
	PCard JE	00001	953717	338867	05/23/19	60.35
					Account Total	182.43
					Department Total	2,672.28

County of Adams
Vendor Payment Report

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<u>3064</u>	<u>Building Safety</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Education & Training					
	PCard JE	00001	953717	338867	05/23/19	39.96
					Account Total	39.96
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	127.95
	PCard JE	00001	953717	338867	05/23/19	270.32
					Account Total	398.27
	Membership Dues					
	PCard JE	00001	953717	338867	05/23/19	175.00
					Account Total	175.00
	Minor Equipment					
	PCard JE	00001	953717	338867	05/23/19	1,081.52
	PCard JE	00001	953717	338867	05/23/19	43.26-
					Account Total	1,038.26
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	25.18
	PCard JE	00001	953717	338867	05/23/19	73.85
	PCard JE	00001	953717	338867	05/23/19	80.33
	PCard JE	00001	953717	338867	05/23/19	77.96
					Account Total	257.32
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	31.25
	PCard JE	00001	953717	338867	05/23/19	29.35
					Account Total	60.60
					Department Total	1,969.41

County of Adams
Vendor Payment Report

<u>400005007000</u>	<u>Bus Ofc Common Supportive</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	PCard JE	00015	953717	338867	05/23/19	7.99
	PCard JE	00015	953717	338867	05/23/19	16.98
	PCard JE	00015	953717	338867	05/23/19	82.73
	PCard JE	00015	953717	338867	05/23/19	59.84
					Account Total	167.54
					Department Total	167.54

County of Adams
Vendor Payment Report

<u>400032001210</u>	<u>Bus Ofc CW Admin</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Software and Licensing					
	PCard JE	00015	953717	338867	05/23/19	314.16
					Account Total	314.16
					Department Total	314.16

County of Adams
Vendor Payment Report

<u>1026</u>	<u>Business Solutions Group</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Education & Training					
	PCard JE	00001	953717	338867	05/23/19	18.00
	PCard JE	00001	953717	338867	05/23/19	18.00
	PCard JE	00001	953717	338867	05/23/19	18.00
					Account Total	54.00
					Department Total	54.00

County of Adams
Vendor Payment Report

<u>3164</u>	<u>Byers/Shamrock Blade Stations</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Buildings					
	PCard JE	00004	953717	338867	05/23/19	3.95
	PCard JE	00004	953717	338867	05/23/19	16.00
	RLH ENGINEERING INC	00004	953697	338858	06/03/19	115.00
					Account Total	134.95
					Department Total	134.95

County of Adams
Vendor Payment Report

<u>4306</u>	<u>Cafe</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Snack Bar Supplies, Rep & Main					
	PCard JE	00043	953717	338867	05/23/19	15.99
	PCard JE	00043	953717	338867	05/23/19	145.86
	PCard JE	00043	953717	338867	05/23/19	145.86-
	PCard JE	00043	953717	338867	05/23/19	13.97
	PCard JE	00043	953717	338867	05/23/19	151.62
	PCard JE	00043	953717	338867	05/23/19	52.91
	PCard JE	00043	953717	338867	05/23/19	38.30
	PCard JE	00043	953717	338867	05/23/19	280.00
	PCard JE	00043	953717	338867	05/23/19	145.90
	PCard JE	00043	953717	338867	05/23/19	33.50
	PCard JE	00043	953717	338867	05/23/19	9.92
	PCard JE	00043	953717	338867	05/23/19	29.40
	SYSCO DENVER	00043	953720	338871	06/03/19	388.31
					Account Total	1,159.82
					Department Total	1,159.82

County of Adams
Vendor Payment Report

<u>4</u>	<u>Capital Facilities Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	D2C ARCHITECTS INC	00004	953931	339219	06/06/19	7,557.75
	D2C ARCHITECTS INC	00004	953932	339219	06/06/19	6,835.00
	THERMAL & MOISTURE PROTECTION	00004	953769	338966	06/04/19	4,441.25
					Account Total	18,834.00
					Department Total	18,834.00

County of Adams
Vendor Payment Report

<u>2035E0102810</u>	<u>Chafee - Aftercare Services</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	County Client/Provider					
	PCard JE	00015	953717	338867	05/23/19	2,148.74
	PCard JE	00015	953717	338867	05/23/19	84.63
					Account Total	2,233.37
					Department Total	2,233.37

County of Adams
Vendor Payment Report

<u>2035E0102850</u>	<u>Chafee - Independ Living Dir S</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Contract Payments					
	PCard JE	00015	953717	338867	05/23/19	200.00
					Account Total	200.00
	County Client/Provider					
	PCard JE	00015	953717	338867	05/23/19	23.77
	PCard JE	00015	953717	338867	05/23/19	48.87
	PCard JE	00015	953717	338867	05/23/19	525.61
	PCard JE	00015	953717	338867	05/23/19	100.00
					Account Total	698.25
	Education & Training					
	PCard JE	00015	953717	338867	05/23/19	4.50
	PCard JE	00015	953717	338867	05/23/19	17.50
					Account Total	22.00
	Other Communications					
	PCard JE	00015	953717	338867	05/23/19	40.01
					Account Total	40.01
	Registration Fees					
	PCard JE	00015	953717	338867	05/23/19	119.00-
					Account Total	119.00-
	Travel & Transportation					
	PCard JE	00015	953717	338867	05/23/19	4.00
					Account Total	4.00
					Department Total	845.26

County of Adams
Vendor Payment Report

<u>307531502300</u>	<u>Child Care Admin</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Postage & Freight					
	PCard JE	00015	953717	338867	05/23/19	98.79
					Account Total	98.79
	Computers					
	PCard JE	00015	953717	338867	05/23/19	972.00
					Account Total	972.00
	Equipment Rental					
	PCard JE	00015	953717	338867	05/23/19	12.56
	PCard JE	00015	953717	338867	05/23/19	252.72
	PCard JE	00015	953717	338867	05/23/19	270.32
	PCard JE	00015	953717	338867	05/23/19	406.06
					Account Total	941.66
					Department Total	2,012.45

County of Adams
Vendor Payment Report

<u>3050P9999900</u>	<u>Child Support Non-Reimbursable</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	PCard JE	00015	953717	338867	05/23/19	16.55
					Account Total	16.55
					Department Total	16.55

County of Adams
Vendor Payment Report

<u>201032001220</u>	<u>Child Welfare 100%</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Travel & Transportation					
	PCard JE	00015	953717	338867	05/23/19	531.84
	PCard JE	00015	953717	338867	05/23/19	499.70-
	PCard JE	00015	953717	338867	05/23/19	166.28
	PCard JE	00015	953717	338867	05/23/19	103.02
	PCard JE	00015	953717	338867	05/23/19	192.64
	PCard JE	00015	953717	338867	05/23/19	102.02
	PCard JE	00015	953717	338867	05/23/19	4.15
	PCard JE	00015	953717	338867	05/23/19	24.78
	PCard JE	00015	953717	338867	05/23/19	24.56
	PCard JE	00015	953717	338867	05/23/19	4.11
	PCard JE	00015	953717	338867	05/23/19	30.00
	PCard JE	00015	953717	338867	05/23/19	5.35
					Account Total	689.05
					Department Total	689.05

County of Adams
Vendor Payment Report

<u>201032001210</u>	<u>Child Welfare 80/20</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	PCard JE	00015	953717	338867	05/23/19	29.27
	PCard JE	00015	953717	338867	05/23/19	1.95
	PCard JE	00015	953717	338867	05/23/19	90.44
	PCard JE	00015	953717	338867	05/23/19	71.05
	PCard JE	00015	953717	338867	05/23/19	84.08
	PCard JE	00015	953717	338867	05/23/19	30.14
	PCard JE	00015	953717	338867	05/23/19	23.29
	PCard JE	00015	953717	338867	05/23/19	40.28
	PCard JE	00015	953717	338867	05/23/19	22.65
	PCard JE	00015	953717	338867	05/23/19	3.10
	PCard JE	00015	953717	338867	05/23/19	55.24
	PCard JE	00015	953717	338867	05/23/19	43.82
	PCard JE	00015	953717	338867	05/23/19	93.20
	PCard JE	00015	953717	338867	05/23/19	284.11
	PCard JE	00015	953717	338867	05/23/19	192.72
	PCard JE	00015	953717	338867	05/23/19	186.79
	PCard JE	00015	953717	338867	05/23/19	227.01
	PCard JE	00015	953717	338867	05/23/19	227.01
	PCard JE	00015	953717	338867	05/23/19	227.01
	PCard JE	00015	953717	338867	05/23/19	227.01
	PCard JE	00015	953717	338867	05/23/19	258.66
	PCard JE	00015	953717	338867	05/23/19	258.66
	PCard JE	00015	953717	338867	05/23/19	177.94
	PCard JE	00015	953717	338867	05/23/19	167.99
	PCard JE	00015	953717	338867	05/23/19	170.33
	PCard JE	00015	953717	338867	05/23/19	167.99
	PCard JE	00015	953717	338867	05/23/19	170.33
	PCard JE	00015	953717	338867	05/23/19	170.33
	PCard JE	00015	953717	338867	05/23/19	406.06
	PCard JE	00015	953717	338867	05/23/19	406.06
	PCard JE	00015	953717	338867	05/23/19	406.06
	PCard JE	00015	953717	338867	05/23/19	406.06
					Account Total	5,326.64

County of Adams
Vendor Payment Report

<u>201032001210</u>	<u>Child Welfare 80/20</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00015	953717	338867	05/23/19	49.50
	PCard JE	00015	953717	338867	05/23/19	49.50
	PCard JE	00015	953717	338867	05/23/19	49.50
	PCard JE	00015	953717	338867	05/23/19	49.50
	PCard JE	00015	953717	338867	05/23/19	49.50
	PCard JE	00015	953717	338867	05/23/19	49.50
	PCard JE	00015	953717	338867	05/23/19	49.50
	PCard JE	00015	953717	338867	05/23/19	49.50
				Account Total		396.00
	Operating Supplies					
	PCard JE	00015	953717	338867	05/23/19	31.75
	PCard JE	00015	953717	338867	05/23/19	33.91
	PCard JE	00015	953717	338867	05/23/19	25.98
	PCard JE	00015	953717	338867	05/23/19	47.20
	PCard JE	00015	953717	338867	05/23/19	12.04
	PCard JE	00015	953717	338867	05/23/19	22.17
	PCard JE	00015	953717	338867	05/23/19	172.78
	PCard JE	00015	953717	338867	05/23/19	348.82
	PCard JE	00015	953717	338867	05/23/19	100.00
	PCard JE	00015	953717	338867	05/23/19	100.00
	PCard JE	00015	953717	338867	05/23/19	300.00
	PCard JE	00015	953717	338867	05/23/19	28.10
	PCard JE	00015	953717	338867	05/23/19	59.85
	PCard JE	00015	953717	338867	05/23/19	67.26
	PCard JE	00015	953717	338867	05/23/19	391.68
	PCard JE	00015	953717	338867	05/23/19	31.98-
	PCard JE	00015	953717	338867	05/23/19	174.33
	PCard JE	00015	953717	338867	05/23/19	272.96
	PCard JE	00015	953717	338867	05/23/19	261.94
	PCard JE	00015	953717	338867	05/23/19	93.88
				Account Total		2,512.67
	Other Professional Serv					
	PCard JE	00015	953717	338867	05/23/19	443.46
	PCard JE	00015	953717	338867	05/23/19	4.00
				Account Total		447.46

County of Adams
Vendor Payment Report

<u>201032001210</u>	<u>Child Welfare 80/20</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Printing External					
	PCard JE	00015	953717	338867	05/23/19	80.00
	PCard JE	00015	953717	338867	05/23/19	750.00
	PCard JE	00015	953717	338867	05/23/19	40.00
					Account Total	870.00
	Registration Fees					
	PCard JE	00015	953717	338867	05/23/19	150.00
					Account Total	150.00
	Software and Licensing					
	PCard JE	00015	953717	338867	05/23/19	36.00
					Account Total	36.00
	Special Events					
	PCard JE	00015	953717	338867	05/23/19	244.86
					Account Total	244.86
	Travel & Transportation					
	PCard JE	00015	953717	338867	05/23/19	598.30
	PCard JE	00015	953717	338867	05/23/19	598.30
	PCard JE	00015	953717	338867	05/23/19	25.00
	PCard JE	00015	953717	338867	05/23/19	302.00
	PCard JE	00015	953717	338867	05/23/19	464.00
	PCard JE	00015	953717	338867	05/23/19	172.18
	PCard JE	00015	953717	338867	05/23/19	184.05
	PCard JE	00015	953717	338867	05/23/19	163.80
	PCard JE	00015	953717	338867	05/23/19	171.30
	PCard JE	00015	953717	338867	05/23/19	171.30
	PCard JE	00015	953717	338867	05/23/19	413.30
	PCard JE	00015	953717	338867	05/23/19	413.30
	PCard JE	00015	953717	338867	05/23/19	225.60
	PCard JE	00015	953717	338867	05/23/19	3.43
	PCard JE	00015	953717	338867	05/23/19	32.00
	PCard JE	00015	953717	338867	05/23/19	15.00
	PCard JE	00015	953717	338867	05/23/19	15.00-
	PCard JE	00015	953717	338867	05/23/19	73.84
	PCard JE	00015	953717	338867	05/23/19	30.00
	PCard JE	00015	953717	338867	05/23/19	513.61

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<u>201032001210</u>	<u>Child Welfare 80/20</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00015	953717	338867	05/23/19	598.30
	PCard JE	00015	953717	338867	05/23/19	598.30
	PCard JE	00015	953717	338867	05/23/19	85.92-
	PCard JE	00015	953717	338867	05/23/19	557.99
	PCard JE	00015	953717	338867	05/23/19	25.00
					Account Total	6,248.98
	Vital Statistics - Birth,					
	PCard JE	00015	953717	338867	05/23/19	175.00
					Account Total	175.00
					Department Total	16,407.61

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<u>3060</u>	<u>Code Compliance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	70.26
	PCard JE	00001	953717	338867	05/23/19	214.60
					Account Total	284.86
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	195.00
	PCard JE	00001	953717	338867	05/23/19	49.68
	PCard JE	00001	953717	338867	05/23/19	68.25
	PCard JE	00001	953717	338867	05/23/19	498.90
	PCard JE	00001	953717	338867	05/23/19	57.99
	PCard JE	00001	953717	338867	05/23/19	23.03
	PCard JE	00001	953717	338867	05/23/19	80.33
	PCard JE	00001	953717	338867	05/23/19	67.70
					Account Total	1,040.88
	Telephone					
	PCard JE	00001	953717	338867	05/23/19	446.51
					Account Total	446.51
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	100.00
					Account Total	100.00
					Department Total	1,872.25

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<u>43</u>	<u>Colorado Air & Space Port</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	DBT TRANSPORTATION SERVICES LL	00043	953959	339221	06/06/19	1,185.00
	THYSENKRUPP ELEVATOR CORP	00043	953978	339221	06/06/19	300.00
					Account Total	1,485.00
					Department Total	1,485.00

County of Adams
Vendor Payment Report

1010	Communications	Fund	Voucher	Batch No	GL Date	Amount
	Advertising					
	PCard JE	00001	953717	338867	05/23/19	80.00
					Account Total	80.00
	Education & Training					
	PCard JE	00001	953717	338867	05/23/19	29.00
					Account Total	29.00
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	42.52
	PCard JE	00001	953717	338867	05/23/19	270.32
					Account Total	312.84
	Multi-Media Services					
	PCard JE	00001	953717	338867	05/23/19	9.99
	PCard JE	00001	953717	338867	05/23/19	52.99
	PCard JE	00001	953717	338867	05/23/19	52.99
	PCard JE	00001	953717	338867	05/23/19	52.99
	PCard JE	00001	953717	338867	05/23/19	3.00
	PCard JE	00001	953717	338867	05/23/19	15.00
	PCard JE	00001	953717	338867	05/23/19	4.00
	PCard JE	00001	953717	338867	05/23/19	4.00
	PCard JE	00001	953717	338867	05/23/19	7.00
	PCard JE	00001	953717	338867	05/23/19	2.00
	PCard JE	00001	953717	338867	05/23/19	8.00
	PCard JE	00001	953717	338867	05/23/19	52.99
	PCard JE	00001	953717	338867	05/23/19	14.00
	PCard JE	00001	953717	338867	05/23/19	2.00
	PCard JE	00001	953717	338867	05/23/19	5.00
	PCard JE	00001	953717	338867	05/23/19	2.00
	PCard JE	00001	953717	338867	05/23/19	4.00
	PCard JE	00001	953717	338867	05/23/19	4.00
	PCard JE	00001	953717	338867	05/23/19	6.00
	PCard JE	00001	953717	338867	05/23/19	3,000.00
	PCard JE	00001	953717	338867	05/23/19	150.00
	PCard JE	00001	953717	338867	05/23/19	1,734.00
	PCard JE	00001	953717	338867	05/23/19	75.00
	PCard JE	00001	953717	338867	05/23/19	52.99

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<u>1010</u>	<u>Communications</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
					Account Total	5,313.94
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	28.58
	PCard JE	00001	953717	338867	05/23/19	57.94
	PCard JE	00001	953717	338867	05/23/19	875.14
	PCard JE	00001	953717	338867	05/23/19	42.45
	PCard JE	00001	953717	338867	05/23/19	20.48
	PCard JE	00001	953717	338867	05/23/19	228.11
					Account Total	1,252.70
	Special Events					
	PCard JE	00001	953717	338867	05/23/19	8.82
	PCard JE	00001	953717	338867	05/23/19	23.94
	PCard JE	00001	953717	338867	05/23/19	21.93-
					Account Total	10.83
	Subscrip/Publications					
	PCard JE	00001	953717	338867	05/23/19	15.17
					Account Total	15.17
					Department Total	7,014.48

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<u>9275</u>	<u>Community Corrections</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	16.04
	PCard JE	00001	953717	338867	05/23/19	185.55
	PCard JE	00001	953717	338867	05/23/19	23.32
	PCard JE	00001	953717	338867	05/23/19	86.64
	PCard JE	00001	953717	338867	05/23/19	12.96
					Account Total	324.51
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	84.64
	PCard JE	00001	953717	338867	05/23/19	270.32
					Account Total	354.96
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	19.00
					Account Total	19.00
					Department Total	698.47

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9251	Conference Center	Fund	Voucher	Batch No	GL Date	Amount
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	2.93
	PCard JE	00001	953717	338867	05/23/19	227.01
					Account Total	229.94
					Department Total	229.94

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<u>2055</u>	<u>Control/Enforcement</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	68.25
	PCard JE	00001	953717	338867	05/23/19	70.00
					Account Total	138.25
	Telephone					
	PCard JE	00001	953717	338867	05/23/19	488.72
					Account Total	488.72
					Department Total	626.97

County of Adams
Vendor Payment Report

<u>3060P9999900</u>	<u>County Admin Non-Reimbursable</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00015	953717	338867	05/23/19	60.43
					Account Total	60.43
	Operating Supplies					
	PCard JE	00015	953717	338867	05/23/19	3.00
	PCard JE	00015	953717	338867	05/23/19	22.05
	PCard JE	00015	953717	338867	05/23/19	39.99
					Account Total	65.04
	Special Events					
	PCard JE	00015	953717	338867	05/23/19	23.98
	PCard JE	00015	953717	338867	05/23/19	77.50
					Account Total	101.48
					Department Total	226.95

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Vendor Payment Report

<u>1041</u>	<u>County Assessor</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	23.08
					Account Total	23.08
	Education & Training					
	COLO ASSESSORS ASSN	00001	953588	338712	05/31/19	135.00
	COLO ASSESSORS ASSN	00001	953582	338693	05/31/19	40.00
	COLO ASSESSORS ASSN	00001	953583	338695	05/31/19	50.00
	COLO ASSESSORS ASSN	00001	953584	338698	05/31/19	50.00
	COLO ASSESSORS ASSN	00001	953585	338701	05/31/19	50.00
	PCard JE	00001	953717	338867	05/23/19	30.00
					Account Total	355.00
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	242.95
	PCard JE	00001	953717	338867	05/23/19	17.65
	PCard JE	00001	953717	338867	05/23/19	38.06
	PCard JE	00001	953717	338867	05/23/19	273.81
					Account Total	572.47
	Special Events					
	PCard JE	00001	953717	338867	05/23/19	25.00
					Account Total	25.00
	Subscrip/Publications					
	PCard JE	00001	953717	338867	05/23/19	529.00
					Account Total	529.00
					Department Total	1,504.55

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<u>1013</u>	<u>County Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	162.72
	PCard JE	00001	953717	338867	05/23/19	87.30
	PCard JE	00001	953717	338867	05/23/19	32.17
	PCard JE	00001	953717	338867	05/23/19	40.00
	PCard JE	00001	953717	338867	05/23/19	13.46
					Account Total	335.65
	Consultant Services					
	G.R MILLER P.C.	00001	953921	339152	06/05/19	1,750.00
					Account Total	1,750.00
	Court Reporting Transcripts					
	PCard JE	00001	953717	338867	05/23/19	31.00
	STEVENS KOENIG REPORTING	00001	953922	339152	06/05/19	744.55
					Account Total	775.55
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	11.11
	PCard JE	00001	953717	338867	05/23/19	6.39
	PCard JE	00001	953717	338867	05/23/19	136.12
	PCard JE	00001	953717	338867	05/23/19	170.33
	PCard JE	00001	953717	338867	05/23/19	170.33
	PCard JE	00001	953717	338867	05/23/19	406.06
					Account Total	900.34
	Messenger/Delivery Service					
	FEDEX	00001	953928	339152	06/05/19	252.10
					Account Total	252.10
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	324.27
	PCard JE	00001	953717	338867	05/23/19	135.28
	PCard JE	00001	953717	338867	05/23/19	129.40
	PCard JE	00001	953717	338867	05/23/19	139.98
					Account Total	728.93
	Other Professional Serv					
	AGREN BLANDO COURT REPORTING	00001	953924	339152	06/05/19	141.70
	SWEEPSTAKES UNLIMITED	00001	953923	339152	06/05/19	30.00

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<u>1013</u>	<u>County Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
					Account Total	171.70
	Subscrip/Publications					
	PCard JE	00001	953717	338867	05/23/19	50.99
	PCard JE	00001	953717	338867	05/23/19	182.87
	PCard JE	00001	953717	338867	05/23/19	480.00
					Account Total	713.86
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	15.00
	PCard JE	00001	953717	338867	05/23/19	182.85
	PCard JE	00001	953717	338867	05/23/19	182.85
	PCard JE	00001	953717	338867	05/23/19	182.85
	PCard JE	00001	953717	338867	05/23/19	182.85
	PCard JE	00001	953717	338867	05/23/19	182.85
	PCard JE	00001	953717	338867	05/23/19	187.62
	PCard JE	00001	953717	338867	05/23/19	250.16
	PCard JE	00001	953717	338867	05/23/19	125.08
	PCard JE	00001	953717	338867	05/23/19	208.30
	PCard JE	00001	953717	338867	05/23/19	48.00
	PCard JE	00001	953717	338867	05/23/19	13.58
	PCard JE	00001	953717	338867	05/23/19	782.84
	PCard JE	00001	953717	338867	05/23/19	782.84-
	PCard JE	00001	953717	338867	05/23/19	21.00
					Account Total	1,782.99
					Department Total	7,411.12

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<u>2031</u>	<u>County Coroner</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	31.90
					Account Total	31.90
	Education & Training					
	PCard JE	00001	953717	338867	05/23/19	350.00
	PCard JE	00001	953717	338867	05/23/19	850.00
	PCard JE	00001	953717	338867	05/23/19	1,512.50
					Account Total	2,712.50
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	41.23
	PCard JE	00001	953717	338867	05/23/19	20.10
	PCard JE	00001	953717	338867	05/23/19	276.63
	PCard JE	00001	953717	338867	05/23/19	195.90
					Account Total	533.86
	Medical Services					
	CARUSO JAMES LOUIS	00001	953426	338469	05/30/19	2,050.00
	HOLMES DAWN B	00001	953794	338994	06/04/19	4,100.00
					Account Total	6,150.00
	Minor Equipment					
	PCard JE	00001	953717	338867	05/23/19	159.20
					Account Total	159.20
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	45.84
	PCard JE	00001	953717	338867	05/23/19	69.99
	PCard JE	00001	953717	338867	05/23/19	14.75
	PCard JE	00001	953717	338867	05/23/19	75.98
	PCard JE	00001	953717	338867	05/23/19	28.34
	PCard JE	00001	953717	338867	05/23/19	47.95
	PCard JE	00001	953717	338867	05/23/19	93.00
	PCard JE	00001	953717	338867	05/23/19	29.30
	PCard JE	00001	953717	338867	05/23/19	228.00
	PCard JE	00001	953717	338867	05/23/19	1,104.86
	PCard JE	00001	953717	338867	05/23/19	145.65
	PCard JE	00001	953717	338867	05/23/19	125.07

County of Adams
Vendor Payment Report

<u>2031</u>	<u>County Coroner</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00001	953717	338867	05/23/19	60.20
	PCard JE	00001	953717	338867	05/23/19	109.39
	PCard JE	00001	953717	338867	05/23/19	172.06
	PCard JE	00001	953717	338867	05/23/19	22.25
	PCard JE	00001	953717	338867	05/23/19	16.51
	PCard JE	00001	953717	338867	05/23/19	725.67
	PCard JE	00001	953717	338867	05/23/19	269.55
					Account Total	3,384.36
	Other Communications					
	PCard JE	00001	953717	338867	05/23/19	493.82
	PCard JE	00001	953717	338867	05/23/19	2,108.68
					Account Total	2,602.50
	Other Professional Serv					
	ARIAS REBECCA M	00001	953792	338993	06/04/19	2,047.50
	ARIAS REBECCA M	00001	953793	338993	06/04/19	2,257.50
	ASSOCIATES IN FORENSIC INVESTI	00001	953594	338730	05/31/19	1,625.00
	HANKS STEPHEN KEITH	00001	953596	338732	05/31/19	3,400.00
	JAZOWSKI KAREN	00001	953595	338730	05/31/19	1,250.00
	PCard JE	00001	953717	338867	05/23/19	330.00
	PCard JE	00001	953717	338867	05/23/19	255.00
	PCard JE	00001	953717	338867	05/23/19	146.25
	PCard JE	00001	953717	338867	05/23/19	195.00
	PCard JE	00001	953717	338867	05/23/19	195.00
	PCard JE	00001	953717	338867	05/23/19	195.00
	STOEFFLER REBECCA E	00001	953442	338477	05/30/19	756.00
					Account Total	12,652.25
	Postage & Freight					
	PCard JE	00001	953717	338867	05/23/19	200.00
	PCard JE	00001	953717	338867	05/23/19	15.45
					Account Total	215.45
	Printing External					
	PCard JE	00001	953717	338867	05/23/19	743.72
	PCard JE	00001	953717	338867	05/23/19	120.89
					Account Total	864.61

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<u>2031</u>	<u>County Coroner</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Special Events					
	PCard JE	00001	953717	338867	05/23/19	402.60
	PCard JE	00001	953717	338867	05/23/19	261.90
	PCard JE	00001	953717	338867	05/23/19	754.20
					Account Total	1,418.70
	Subscrip/Publications					
	PCard JE	00001	953717	338867	05/23/19	90.00
					Account Total	90.00
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	32.20
	PCard JE	00001	953717	338867	05/23/19	26.70
	PCard JE	00001	953717	338867	05/23/19	33.00
	PCard JE	00001	953717	338867	05/23/19	30.65
	PCard JE	00001	953717	338867	05/23/19	30.90
					Account Total	153.45
	Uniforms & Cleaning					
	PCard JE	00001	953717	338867	05/23/19	85.81
					Account Total	85.81
					Department Total	31,054.59

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<u>1012</u>	<u>County Manager</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	175.00
	PCard JE	00001	953717	338867	05/23/19	30.50
	PCard JE	00001	953717	338867	05/23/19	23.85
	PCard JE	00001	953717	338867	05/23/19	31.86
	PCard JE	00001	953717	338867	05/23/19	42.00
	PCard JE	00001	953717	338867	05/23/19	84.30
	PCard JE	00001	953717	338867	05/23/19	48.98
					Account Total	436.49
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	76.62
	PCard JE	00001	953717	338867	05/23/19	258.66
					Account Total	335.28
	Minor Equipment					
	PCard JE	00001	953717	338867	05/23/19	103.78
					Account Total	103.78
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	53.98
	PCard JE	00001	953717	338867	05/23/19	18.87
	PCard JE	00001	953717	338867	05/23/19	12.99
	PCard JE	00001	953717	338867	05/23/19	16.13
	PCard JE	00001	953717	338867	05/23/19	1,314.72
					Account Total	1,416.69
	Special Events					
	PCard JE	00001	953717	338867	05/23/19	45.28
					Account Total	45.28
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	50.00
	PCard JE	00001	953717	338867	05/23/19	50.00
	PCard JE	00001	953717	338867	05/23/19	251.92
	PCard JE	00001	953717	338867	05/23/19	251.92
	PCard JE	00001	953717	338867	05/23/19	50.00
	PCard JE	00001	953717	338867	05/23/19	251.92
	PCard JE	00001	953717	338867	05/23/19	575.70

County of Adams
Vendor Payment Report

<u>1012</u>	<u>County Manager</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
Account Total						1,481.46
Department Total						3,818.98

County of Adams
Vendor Payment Report

<u>1031</u>	<u>County Treasurer</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	5.12
	PCard JE	00001	953717	338867	05/23/19	14.36
	PCard JE	00001	953717	338867	05/23/19	270.32
	PCard JE	00001	953717	338867	05/23/19	235.52
					Account Total	525.32
	Maintenance Contracts					
	PCard JE	00001	953717	338867	05/23/19	54.75
					Account Total	54.75
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	171.04
	PCard JE	00001	953717	338867	05/23/19	50.00
	PCard JE	00001	953717	338867	05/23/19	31.60
	PCard JE	00001	953717	338867	05/23/19	39.14
	PCard JE	00001	953717	338867	05/23/19	34.95
	PCard JE	00001	953717	338867	05/23/19	138.88
	PCard JE	00001	953717	338867	05/23/19	21.86
	PCard JE	00001	953717	338867	05/23/19	136.60
	PCard JE	00001	953717	338867	05/23/19	45.40
	PCard JE	00001	953717	338867	05/23/19	28.18
	PCard JE	00001	953717	338867	05/23/19	40.00
	PCard JE	00001	953717	338867	05/23/19	40.00
	PCard JE	00001	953717	338867	05/23/19	40.00
	PCard JE	00001	953717	338867	05/23/19	40.00
	PCard JE	00001	953717	338867	05/23/19	360.00
	PCard JE	00001	953717	338867	05/23/19	59.99
					Account Total	1,277.64
	Other Professional Serv					
	DUSTIN J KLEIN LAW LLC	00001	953715	338863	06/03/19	981.00
					Account Total	981.00
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	3.00
					Account Total	3.00
					Department Total	2,841.71

County of Adams
Vendor Payment Report

<u>1052</u>	<u>Criminal Justice Coord Council</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	75.48
	PCard JE	00001	953717	338867	05/23/19	55.99
	PCard JE	00001	953717	338867	05/23/19	66.17
	PCard JE	00001	953717	338867	05/23/19	6.00
	PCard JE	00001	953717	338867	05/23/19	79.60
					Account Total	283.24
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	8.95
					Account Total	8.95
					Department Total	292.19

County of Adams
Vendor Payment Report

<u>9248</u>	<u>Culture Services</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	62.45
					Account Total	62.45
	Education & Training					
	PCard JE	00001	953717	338867	05/23/19	249.00
					Account Total	249.00
	Employee Development					
	PCard JE	00001	953717	338867	05/23/19	24.42
	PCard JE	00001	953717	338867	05/23/19	630.00
	PCard JE	00001	953717	338867	05/23/19	71.25
	PCard JE	00001	953717	338867	05/23/19	1,028.13
	PCard JE	00001	953717	338867	05/23/19	84.00
	PCard JE	00001	953717	338867	05/23/19	1,100.00
					Account Total	2,937.80
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	56.80
	PCard JE	00001	953717	338867	05/23/19	560.00
	PCard JE	00001	953717	338867	05/23/19	15.99
	PCard JE	00001	953717	338867	05/23/19	70.24
					Account Total	703.03
					Department Total	3,952.28

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Vendor Payment Report

<u>306005007000</u>	<u>CA Common Supportive</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	PCard JE	00015	953717	338867	05/23/19	32.28
	PCard JE	00015	953717	338867	05/23/19	17.10
	PCard JE	00015	953717	338867	05/23/19	170.33
	PCard JE	00015	953717	338867	05/23/19	170.33
					Account Total	390.04
					Department Total	390.04

County of Adams
Vendor Payment Report

<u>1074</u>	<u>CA- Risk Management</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Safety-Drug & AI Test/Med Cert					
	ADVANCED URGENT CARE AND OCC M	00019	953925	339152	06/05/19	900.00
	ADVANCED URGENT CARE AND OCC M	00019	953926	339152	06/05/19	450.00
					Account Total	1,350.00
					Department Total	1,350.00

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Vendor Payment Report

<u>1043</u>	<u>CA- Social Services IV-D</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	56.46
	PCard JE	00001	953717	338867	05/23/19	1.04
	PCard JE	00001	953717	338867	05/23/19	258.66
	PCard JE	00001	953717	338867	05/23/19	167.99
					Account Total	484.15
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	35.78
	PCard JE	00001	953717	338867	05/23/19	16.15
					Account Total	51.93
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	182.85
	PCard JE	00001	953717	338867	05/23/19	182.85
	PCard JE	00001	953717	338867	05/23/19	187.62
					Account Total	553.32
					Department Total	1,089.40

County of Adams
Vendor Payment Report

<u>1044</u>	<u>CA- SS Dependency/Neglect</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	37.47
					Account Total	37.47
					Department Total	37.47

County of Adams
Vendor Payment Report

<u>4302</u>	<u>CASP Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Accommodations					
	PCard JE	00043	953717	338867	05/23/19	307.48
	PCard JE	00043	953717	338867	05/23/19	50.00
	PCard JE	00043	953717	338867	05/23/19	288.00
					Account Total	645.48
	Airport Materials & Supplies					
	PCard JE	00043	953717	338867	05/23/19	260.34
	PCard JE	00043	953717	338867	05/23/19	48.50
					Account Total	308.84
	Coffee					
	ARAMARK REFRESHMENT SERVICES	00043	953893	339147	06/05/19	69.99
					Account Total	69.99
	Equipment Rental					
	PCard JE	00043	953717	338867	05/23/19	28.02
	PCard JE	00043	953717	338867	05/23/19	.05
	PCard JE	00043	953717	338867	05/23/19	227.01
	PCard JE	00043	953717	338867	05/23/19	167.99
					Account Total	423.07
	Licenses and Fees					
	PCard JE	00043	953717	338867	05/23/19	490.00
					Account Total	490.00
	Registration Fees					
	PCard JE	00043	953717	338867	05/23/19	375.00
					Account Total	375.00
	Subscrip/Publications					
	PCard JE	00043	953717	338867	05/23/19	119.40
	PCard JE	00043	953717	338867	05/23/19	272.00
					Account Total	391.40
	Telephone					
	PCard JE	00043	953717	338867	05/23/19	790.48
					Account Total	790.48
	Water/Sewer/Sanitation					
	SB PORTA BOWL RESTROOMS INC	00043	953900	339147	06/05/19	409.00

County of Adams
Vendor Payment Report

<u>4302</u>	<u>CASP Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	SWIMS DISPOSAL	00043	953719	338871	06/03/19	298.75
					Account Total	707.75
					Department Total	4,202.01

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<u>4308</u>	<u>CASPATCT</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Repair & Maint Supplies					
	PCard JE	00043	953717	338867	05/23/19	31.44
	PCard JE	00043	953717	338867	05/23/19	78.98
					Account Total	110.42
	Telephone					
	PCard JE	00043	953717	338867	05/23/19	471.59
					Account Total	471.59
					Department Total	582.01

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<u>4303</u>	<u>CASP FBO</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Advertising					
	PCard JE	00043	953717	338867	05/23/19	75.00
					Account Total	75.00
	Education & Training					
	PCard JE	00043	953717	338867	05/23/19	17.98
	PCard JE	00043	953717	338867	05/23/19	50.00
					Account Total	67.98
	Janitorial Services					
	PCard JE	00043	953717	338867	05/23/19	99.90
	PCard JE	00043	953717	338867	05/23/19	20.48
	PCard JE	00043	953717	338867	05/23/19	219.60
					Account Total	339.98
	Licenses and Fees					
	PCard JE	00043	953717	338867	05/23/19	735.00
					Account Total	735.00
	Line Materials & Supplies					
	PCard JE	00043	953717	338867	05/23/19	159.99
	PCard JE	00043	953717	338867	05/23/19	69.94
	PCard JE	00043	953717	338867	05/23/19	158.00
					Account Total	387.93
	Pilot Supplies					
	PCard JE	00043	953717	338867	05/23/19	407.59
	PCard JE	00043	953717	338867	05/23/19	218.85
					Account Total	626.44
	Postage & Freight					
	PCard JE	00043	953717	338867	05/23/19	8.30
					Account Total	8.30
					Department Total	2,240.63

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4304	CASP Operations/Maintenance	Fund	Voucher	Batch No	GL Date	Amount
	Aircraft Rescue Fire Fighting					
	PCard JE	00043	953717	338867	05/23/19	170.78
	PCard JE	00043	953717	338867	05/23/19	140.00
	PCard JE	00043	953717	338867	05/23/19	38.00
	PCard JE	00043	953717	338867	05/23/19	269.70
	PCard JE	00043	953717	338867	05/23/19	23.50
					Account Total	641.98
	Airport Materials & Supplies					
	PCard JE	00043	953717	338867	05/23/19	59.99
	PCard JE	00043	953717	338867	05/23/19	180.00
	PCard JE	00043	953717	338867	05/23/19	378.00
					Account Total	617.99
	Airside Expenses					
	PCard JE	00043	953717	338867	05/23/19	3,814.00
					Account Total	3,814.00
	Building Repair & Maint					
	PCard JE	00043	953717	338867	05/23/19	72.65
	PCard JE	00043	953717	338867	05/23/19	45.46
	PCard JE	00043	953717	338867	05/23/19	11.88
	PCard JE	00043	953717	338867	05/23/19	152.16
					Account Total	282.15
	Equipment Maint & Repair					
	PCard JE	00043	953717	338867	05/23/19	247.36
	PCard JE	00043	953717	338867	05/23/19	104.20
	PCard JE	00043	953717	338867	05/23/19	99.50
	PCard JE	00043	953717	338867	05/23/19	143.03
	PCard JE	00043	953717	338867	05/23/19	36.27
	PCard JE	00043	953717	338867	05/23/19	179.72
	PCard JE	00043	953717	338867	05/23/19	179.72
					Account Total	989.80
	Gas & Electricity					
	CLEARWAY ENERGY GROUP LLC	00043	953894	339147	06/05/19	1,033.37
	CLEARWAY ENERGY GROUP LLC	00043	953895	339147	06/05/19	645.37
	CLEARWAY ENERGY GROUP LLC	00043	953896	339147	06/05/19	472.44

County of Adams
Vendor Payment Report

<u>4304</u>	<u>CASP Operations/Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	CLEARWAY ENERGY GROUP LLC	00043	953897	339147	06/05/19	468.07
					Account Total	2,619.25
	Herbicides					
	PCard JE	00043	953717	338867	05/23/19	8.88
					Account Total	8.88
	Operating Supplies					
	PCard JE	00043	953717	338867	05/23/19	2.79-
	PCard JE	00043	953717	338867	05/23/19	72.77-
	PCard JE	00043	953717	338867	05/23/19	72.92-
	PCard JE	00043	953717	338867	05/23/19	81.96-
	PCard JE	00043	953717	338867	05/23/19	2.79
					Account Total	227.65-
	Other Professional Serv					
	HIGH PRARIE SURVEY COMPANY	00043	953898	339147	06/05/19	1,000.00
					Account Total	1,000.00
	Pesticides					
	PCard JE	00043	953717	338867	05/23/19	190.80
					Account Total	190.80
	Shop Materials					
	PCard JE	00043	953717	338867	05/23/19	97.07
	PCard JE	00043	953717	338867	05/23/19	38.14
					Account Total	135.21
	Telephone					
	EASTERN SLOPE RURAL TELEPHONE	00043	953718	338871	06/03/19	90.30
					Account Total	90.30
	Uniforms & Cleaning					
	PCard JE	00043	953717	338867	05/23/19	137.25
					Account Total	137.25
					Department Total	10,299.96

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<u>1094</u>	<u>CED Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	14.72
	PCard JE	00001	953717	338867	05/23/19	258.66
					Account Total	273.38
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	80.33
	PCard JE	00001	953717	338867	05/23/19	33.33
	PCard JE	00001	953717	338867	05/23/19	8.76
					Account Total	122.42
	Special Events					
	PCard JE	00001	953717	338867	05/23/19	43.28
					Account Total	43.28
					Department Total	439.08

County of Adams
Vendor Payment Report

<u>1020</u>	<u>CLK Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	85.61
	PCard JE	00001	953717	338867	05/23/19	22.40
	PCard JE	00001	953717	338867	05/23/19	89.60
					Account Total	197.61
	Membership Dues					
	PCard JE	00001	953717	338867	05/23/19	100.00
					Account Total	100.00
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	10.24
					Account Total	10.24
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	17.00
					Account Total	17.00
					Department Total	324.85

County of Adams
Vendor Payment Report

<u>1022</u>	<u>CLK Elections</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	89.60
					Account Total	89.60
	Education & Training					
	COLO SECRETARY OF STATE	00001	953592	338726	05/31/19	260.00
	PCard JE	00001	953717	338867	05/23/19	489.00
	PCard JE	00001	953717	338867	05/23/19	369.00
	PCard JE	00001	953717	338867	05/23/19	275.00
					Account Total	1,393.00
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	21.26
	PCard JE	00001	953717	338867	05/23/19	3.58
	PCard JE	00001	953717	338867	05/23/19	.56
	PCard JE	00001	953717	338867	05/23/19	5.69
	PCard JE	00001	953717	338867	05/23/19	50.48
	PCard JE	00001	953717	338867	05/23/19	286.78
	PCard JE	00001	953717	338867	05/23/19	177.94
	PCard JE	00001	953717	338867	05/23/19	170.33
	PCard JE	00001	953717	338867	05/23/19	170.33
	PCard JE	00001	953717	338867	05/23/19	406.06
					Account Total	1,463.34
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	13.80
	PCard JE	00001	953717	338867	05/23/19	4.91
	PCard JE	00001	953717	338867	05/23/19	40.75
	PCard JE	00001	953717	338867	05/23/19	66.00
	PCard JE	00001	953717	338867	05/23/19	205.95
	PCard JE	00001	953717	338867	05/23/19	20.24
	PCard JE	00001	953717	338867	05/23/19	349.98
	PCard JE	00001	953717	338867	05/23/19	77.14
	PCard JE	00001	953717	338867	05/23/19	33.75
	PCard JE	00001	953717	338867	05/23/19	302.89
	PCard JE	00001	953717	338867	05/23/19	68.59
	PCard JE	00001	953717	338867	05/23/19	36.40

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<u>1022</u>	<u>CLK Elections</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
					Account Total	1,220.40
	Other Communications					
	PCard JE	00001	953717	338867	05/23/19	2.70
					Account Total	2.70
	Other Professional Serv					
	PCard JE	00001	953717	338867	05/23/19	2,347.58
					Account Total	2,347.58
	Software and Licensing					
	PCard JE	00001	953717	338867	05/23/19	314.16
					Account Total	314.16
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	320.92
					Account Total	320.92
					Department Total	7,151.70

County of Adams
Vendor Payment Report

<u>1023</u>	<u>CLK Motor Vehicle</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	31.26
	PCard JE	00001	953717	338867	05/23/19	102.17
	PCard JE	00001	953717	338867	05/23/19	44.74
	PCard JE	00001	953717	338867	05/23/19	89.66
	PCard JE	00001	953717	338867	05/23/19	44.37
	PCard JE	00001	953717	338867	05/23/19	26.85
	PCard JE	00001	953717	338867	05/23/19	43.11
	PCard JE	00001	953717	338867	05/23/19	63.52
					Account Total	445.68
	Education & Training					
	PCard JE	00001	953717	338867	05/23/19	25.00
	PCard JE	00001	953717	338867	05/23/19	359.38
	PCard JE	00001	953717	338867	05/23/19	10.00
					Account Total	394.38
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	2.20
	PCard JE	00001	953717	338867	05/23/19	8.75
	PCard JE	00001	953717	338867	05/23/19	.54
	PCard JE	00001	953717	338867	05/23/19	2.14
	PCard JE	00001	953717	338867	05/23/19	1.04
	PCard JE	00001	953717	338867	05/23/19	170.33
	PCard JE	00001	953717	338867	05/23/19	170.33
	PCard JE	00001	953717	338867	05/23/19	170.33
	PCard JE	00001	953717	338867	05/23/19	170.33
	PCard JE	00001	953717	338867	05/23/19	170.33
					Account Total	866.32
	Membership Dues					
	PCard JE	00001	953717	338867	05/23/19	384.00
					Account Total	384.00
	Office Furniture					
	PCard JE	00001	953717	338867	05/23/19	189.00
					Account Total	189.00
	Operating Supplies					

County of Adams
Vendor Payment Report

1023	CLK Motor Vehicle	Fund	Voucher	Batch No	GL Date	Amount
	ALSCO AMERICAN INDUSTRIAL	00001	953589	338726	05/31/19	17.19
	ALSCO AMERICAN INDUSTRIAL	00001	953590	338726	05/31/19	19.53
	ALSCO AMERICAN INDUSTRIAL	00001	953591	338726	05/31/19	17.19
	PCard JE	00001	953717	338867	05/23/19	100.00
	PCard JE	00001	953717	338867	05/23/19	178.08
	PCard JE	00001	953717	338867	05/23/19	50.56
	PCard JE	00001	953717	338867	05/23/19	266.97
	PCard JE	00001	953717	338867	05/23/19	27.10
	PCard JE	00001	953717	338867	05/23/19	26.14
	PCard JE	00001	953717	338867	05/23/19	56.24
	PCard JE	00001	953717	338867	05/23/19	35.13
	PCard JE	00001	953717	338867	05/23/19	380.40
	PCard JE	00001	953717	338867	05/23/19	405.76
	PCard JE	00001	953717	338867	05/23/19	1,476.00
	PCard JE	00001	953717	338867	05/23/19	165.00
	PCard JE	00001	953717	338867	05/23/19	164.85
	PCard JE	00001	953717	338867	05/23/19	52.29
	PCard JE	00001	953717	338867	05/23/19	596.40
	PCard JE	00001	953717	338867	05/23/19	419.96
	PCard JE	00001	953717	338867	05/23/19	769.93
	PCard JE	00001	953717	338867	05/23/19	209.98
	PCard JE	00001	953717	338867	05/23/19	19.99
	PCard JE	00001	953717	338867	05/23/19	158.98
	PCard JE	00001	953717	338867	05/23/19	421.53
	PCard JE	00001	953717	338867	05/23/19	71.00
	PCard JE	00001	953717	338867	05/23/19	99.00
	PCard JE	00001	953717	338867	05/23/19	89.12
	PCard JE	00001	953717	338867	05/23/19	90.49
	PCard JE	00001	953717	338867	05/23/19	112.39
	PCard JE	00001	953717	338867	05/23/19	21.95
	PCard JE	00001	953717	338867	05/23/19	65.85
	PCard JE	00001	953717	338867	05/23/19	21.95
	PCard JE	00001	953717	338867	05/23/19	123.30
	PCard JE	00001	953717	338867	05/23/19	21.95
	PCard JE	00001	953717	338867	05/23/19	51.88
	PCard JE	00001	953717	338867	05/23/19	5.00

County of Adams
Vendor Payment Report

1023	CLK Motor Vehicle	Fund	Voucher	Batch No	GL Date	Amount
	PCard JE	00001	953717	338867	05/23/19	36.31
	PCard JE	00001	953717	338867	05/23/19	23.34
	PCard JE	00001	953717	338867	05/23/19	5.00
	PCard JE	00001	953717	338867	05/23/19	5.00
					Account Total	6,878.73
					Department Total	9,158.11

County of Adams
Vendor Payment Report

<u>1021</u>	<u>CLK Recording</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	22.40
					Account Total	22.40
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	46.19
	PCard JE	00001	953717	338867	05/23/19	70.68
	PCard JE	00001	953717	338867	05/23/19	1.04
	PCard JE	00001	953717	338867	05/23/19	171.54
	PCard JE	00001	953717	338867	05/23/19	270.32
	PCard JE	00001	953717	338867	05/23/19	177.94
					Account Total	737.71
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	254.48
	PCard JE	00001	953717	338867	05/23/19	132.00
	PCard JE	00001	953717	338867	05/23/19	34.52
	PCard JE	00001	953717	338867	05/23/19	27.06
	PCard JE	00001	953717	338867	05/23/19	12.75
	PCard JE	00001	953717	338867	05/23/19	49.93
	PCard JE	00001	953717	338867	05/23/19	27.06
	PCard JE	00001	953717	338867	05/23/19	8.97
	PCard JE	00001	953717	338867	05/23/19	34.99
	PCard JE	00001	953717	338867	05/23/19	16.50
	PCard JE	00001	953717	338867	05/23/19	106.19
	PCard JE	00001	953717	338867	05/23/19	199.50
					Account Total	903.95
	Postage & Freight					
	PCard JE	00001	953717	338867	05/23/19	176.40
					Account Total	176.40
					Department Total	1,840.46

County of Adams
Vendor Payment Report

<u>951016</u>	<u>CSBG</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	ETHIOPIAN COMMUNITY DEVELOPMEN	00034	953882	339097	06/05/19	1,285.82
	SERVICIOS DE LA RAZA INC	00034	953851	339097	06/05/19	1,638.00
					Account Total	2,923.82
	Other Professional Serv					
	PCard JE	00034	953717	338867	05/23/19	750.00
					Account Total	750.00
					Department Total	3,673.82

County of Adams
Vendor Payment Report

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<u>6021</u>	<u>CT- Trails- Plan/Design Const</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Improv Other Than Bldgs					
	PCard JE	00024	953717	338867	05/23/19	213.04
	PCard JE	00024	953717	338867	05/23/19	224.30
	PCard JE	00024	953717	338867	05/23/19	511.00
	PCard JE	00024	953717	338867	05/23/19	69.13
	PCard JE	00024	953717	338867	05/23/19	460.00
	PCard JE	00024	953717	338867	05/23/19	31.46
					Account Total	1,508.93
	Repair & Maint Supplies					
	PCard JE	00024	953717	338867	05/23/19	324.30
					Account Total	324.30
					Department Total	1,833.23

County of Adams
Vendor Payment Report

<u>2010P1009900</u>	<u>CW Admin Client Spec Non Reimb</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	County Client/Provider					
	PCard JE	00015	953717	338867	05/23/19	8.87
	PCard JE	00015	953717	338867	05/23/19	371.96
					Account Total	380.83
					Department Total	380.83

County of Adams
Vendor Payment Report

<u>2010P9999900</u>	<u>CW Admin Non Reimb</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00015	953717	338867	05/23/19	47.49
	PCard JE	00015	953717	338867	05/23/19	67.60
					Account Total	115.09
	Operating Supplies					
	PCard JE	00015	953717	338867	05/23/19	20.61
	PCard JE	00015	953717	338867	05/23/19	9.17
	PCard JE	00015	953717	338867	05/23/19	14.36
	PCard JE	00015	953717	338867	05/23/19	13.78
	PCard JE	00015	953717	338867	05/23/19	75.00
	PCard JE	00015	953717	338867	05/23/19	137.00
	PCard JE	00015	953717	338867	05/23/19	16.57
	PCard JE	00015	953717	338867	05/23/19	450.00
					Account Total	736.49
	Special Events					
	PCard JE	00015	953717	338867	05/23/19	600.00
	PCard JE	00015	953717	338867	05/23/19	3,585.00
	PCard JE	00015	953717	338867	05/23/19	97.14
	PCard JE	00015	953717	338867	05/23/19	35.35
	PCard JE	00015	953717	338867	05/23/19	46.94
	PCard JE	00015	953717	338867	05/23/19	73.14
	PCard JE	00015	953717	338867	05/23/19	92.76
					Account Total	4,530.33
	Travel & Transportation					
	PCard JE	00015	953717	338867	05/23/19	598.30
	PCard JE	00015	953717	338867	05/23/19	30.00
	PCard JE	00015	953717	338867	05/23/19	302.00
	PCard JE	00015	953717	338867	05/23/19	171.30
	PCard JE	00015	953717	338867	05/23/19	171.30
	PCard JE	00015	953717	338867	05/23/19	150.00
	PCard JE	00015	953717	338867	05/23/19	150.00
	PCard JE	00015	953717	338867	05/23/19	324.60
					Account Total	1,897.50
					Department Total	7,279.41

County of Adams
Vendor Payment Report

<u>200005501000</u>	<u>CW Director Soc Serv Support</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	PCard JE	00015	953717	338867	05/23/19	50.00
	PCard JE	00015	953717	338867	05/23/19	480.00
					Account Total	530.00
					Department Total	530.00

County of Adams
Vendor Payment Report

<u>100005007000</u>	<u>Dept Director Common Supportiv</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Education & Training					
	PCard JE	00015	953717	338867	05/23/19	120.00
					Account Total	120.00
	Equipment Rental					
	PCard JE	00015	953717	338867	05/23/19	82.79
	PCard JE	00015	953717	338867	05/23/19	406.06
					Account Total	488.85
	Operating Supplies					
	PCard JE	00015	953717	338867	05/23/19	19.99
	PCard JE	00015	953717	338867	05/23/19	59.98
	PCard JE	00015	953717	338867	05/23/19	15.00
	PCard JE	00015	953717	338867	05/23/19	26.74
	PCard JE	00015	953717	338867	05/23/19	12.00
	PCard JE	00015	953717	338867	05/23/19	17.74
	PCard JE	00015	953717	338867	05/23/19	18.99
	PCard JE	00015	953717	338867	05/23/19	887.00
					Account Total	1,021.96
	Travel & Transportation					
	PCard JE	00015	953717	338867	05/23/19	288.00
					Account Total	288.00
					Department Total	1,918.81

County of Adams
Vendor Payment Report

<u>1000P9999900</u>	<u>Dept Director Non-Reimbursable</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	ISP Services					
	PCard JE	00015	953717	338867	05/23/19	159.54
					Account Total	159.54
	Operating Supplies					
	PCard JE	00015	953717	338867	05/23/19	53.88
	PCard JE	00015	953717	338867	05/23/19	2,108.09
	PCard JE	00015	953717	338867	05/23/19	623.12
	PCard JE	00015	953717	338867	05/23/19	127.84
	PCard JE	00015	953717	338867	05/23/19	72.79
					Account Total	2,985.72
	Special Events					
	PCard JE	00015	953717	338867	05/23/19	230.95
	PCard JE	00015	953717	338867	05/23/19	63.97
	PCard JE	00015	953717	338867	05/23/19	193.16
	PCard JE	00015	953717	338867	05/23/19	84.32
					Account Total	572.40
					Department Total	3,717.66

County of Adams
Vendor Payment Report

<u>1051</u>	<u>District Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Books					
	PCard JE	00001	953717	338867	05/23/19	29.95
					Account Total	29.95
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	40.90
	PCard JE	00001	953717	338867	05/23/19	30.98
	PCard JE	00001	953717	338867	05/23/19	70.32
					Account Total	142.20
	Computers					
	PCard JE	00001	953717	338867	05/23/19	2,999.96
	PCard JE	00001	953717	338867	05/23/19	149.94
	PCard JE	00001	953717	338867	05/23/19	17.37
	PCard JE	00001	953717	338867	05/23/19	59.99
	PCard JE	00001	953717	338867	05/23/19	68.98
	PCard JE	00001	953717	338867	05/23/19	4,900.00
	PCard JE	00001	953717	338867	05/23/19	259.98
					Account Total	8,456.22
	Court Reporting Transcripts					
	PCard JE	00001	953717	338867	05/23/19	18.00
					Account Total	18.00
	Destruction of Records					
	PCard JE	00001	953717	338867	05/23/19	310.00
	PCard JE	00001	953717	338867	05/23/19	30.00
	PCard JE	00001	953717	338867	05/23/19	30.00
					Account Total	370.00
	Education & Training					
	COLO SUPREME COURT	00001	953181	338334	05/29/19	50.00
	PCard JE	00001	953717	338867	05/23/19	35.65
	PCard JE	00001	953717	338867	05/23/19	9.99
	PCard JE	00001	953717	338867	05/23/19	199.00
	PCard JE	00001	953717	338867	05/23/19	46.30
	PCard JE	00001	953717	338867	05/23/19	50.00
	PCard JE	00001	953717	338867	05/23/19	6.88
					Account Total	397.82

County of Adams
Vendor Payment Report

<u>1051</u>	<u>District Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	143.01
					Account Total	143.01
	Interpreting Services					
	PCard JE	00001	953717	338867	05/23/19	47.03
	PROFESSIONAL SIGN LANGUAGE INT	00001	953869	339108	06/05/19	384.85
	PROFESSIONAL SIGN LANGUAGE INT	00001	953870	339108	06/05/19	19.93
	PROFESSIONAL SIGN LANGUAGE INT	00001	953871	339108	06/05/19	11.58
					Account Total	463.39
	Minor Equipment					
	PCard JE	00001	953717	338867	05/23/19	842.00
					Account Total	842.00
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	56.45
	PCard JE	00001	953717	338867	05/23/19	57.93
	PCard JE	00001	953717	338867	05/23/19	94.29
	PCard JE	00001	953717	338867	05/23/19	102.42
	PCard JE	00001	953717	338867	05/23/19	10.36
	PCard JE	00001	953717	338867	05/23/19	24.92
	PCard JE	00001	953717	338867	05/23/19	228.78
	PCard JE	00001	953717	338867	05/23/19	39.95
	PCard JE	00001	953717	338867	05/23/19	7.32
	PCard JE	00001	953717	338867	05/23/19	309.96
	PCard JE	00001	953717	338867	05/23/19	85.27
	PCard JE	00001	953717	338867	05/23/19	13.02
	PCard JE	00001	953717	338867	05/23/19	20.20
	PCard JE	00001	953717	338867	05/23/19	81.03
	PCard JE	00001	953717	338867	05/23/19	26.34
	PCard JE	00001	953717	338867	05/23/19	143.96
	PCard JE	00001	953717	338867	05/23/19	122.84
	PCard JE	00001	953717	338867	05/23/19	31.90
	PCard JE	00001	953717	338867	05/23/19	15.42
	PCard JE	00001	953717	338867	05/23/19	375.03
	PCard JE	00001	953717	338867	05/23/19	154.61
	PCard JE	00001	953717	338867	05/23/19	8.99

County of Adams
Vendor Payment Report

<u>1051</u>	<u>District Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00001	953717	338867	05/23/19	57.90
	PCard JE	00001	953717	338867	05/23/19	28.95
	PCard JE	00001	953717	338867	05/23/19	10.00
	PCard JE	00001	953717	338867	05/23/19	18.95
	PCard JE	00001	953717	338867	05/23/19	5.00
					Account Total	2,131.79
	Other Communications					
	GOVERNOR'S OFFICE OF IT	00001	953868	339108	06/05/19	2,237.22
	PCard JE	00001	953717	338867	05/23/19	94.99
	PCard JE	00001	953717	338867	05/23/19	94.99
	PCard JE	00001	953717	338867	05/23/19	160.04
					Account Total	2,587.24
	Other Professional Serv					
	DAKOTA COUNTY	00001	953867	339108	06/05/19	3.25
	PCard JE	00001	953717	338867	05/23/19	499.00
	PCard JE	00001	953717	338867	05/23/19	267.52
	PCard JE	00001	953717	338867	05/23/19	100.00
	PCard JE	00001	953717	338867	05/23/19	339.52
	PCard JE	00001	953717	338867	05/23/19	239.52
	PCard JE	00001	953717	338867	05/23/19	300.00
	PCard JE	00001	953717	338867	05/23/19	200.00
	PCard JE	00001	953717	338867	05/23/19	267.00
	PCard JE	00001	953717	338867	05/23/19	1,075.00
	PCard JE	00001	953717	338867	05/23/19	25.00
	PCard JE	00001	953717	338867	05/23/19	10.00
					Account Total	3,325.81
	Postage & Freight					
	PCard JE	00001	953717	338867	05/23/19	710.00
	PCard JE	00001	953717	338867	05/23/19	235.00
	PCard JE	00001	953717	338867	05/23/19	7.90
	PCard JE	00001	953717	338867	05/23/19	1,310.00
					Account Total	2,262.90
	Printing External					
	PCard JE	00001	953717	338867	05/23/19	35.00
	PCard JE	00001	953717	338867	05/23/19	140.00

County of Adams
Vendor Payment Report

<u>1051</u>	<u>District Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00001	953717	338867	05/23/19	52.50
	PCard JE	00001	953717	338867	05/23/19	105.00
	PCard JE	00001	953717	338867	05/23/19	56.04-
	PCard JE	00001	953717	338867	05/23/19	1,605.00
	PCard JE	00001	953717	338867	05/23/19	2,710.00
	PCard JE	00001	953717	338867	05/23/19	1,942.50
	PCard JE	00001	953717	338867	05/23/19	720.00
	PCard JE	00001	953717	338867	05/23/19	575.00
					Account Total	7,828.96
	Special Events					
	PCard JE	00001	953717	338867	05/23/19	12.00
	PCard JE	00001	953717	338867	05/23/19	44.97
	PCard JE	00001	953717	338867	05/23/19	35.91
	PCard JE	00001	953717	338867	05/23/19	191.90
	PCard JE	00001	953717	338867	05/23/19	1,274.50
	PCard JE	00001	953717	338867	05/23/19	55.91
	PCard JE	00001	953717	338867	05/23/19	63.24
					Account Total	1,678.43
	Subscrip/Publications					
	PCard JE	00001	953717	338867	05/23/19	11.99
	PCard JE	00001	953717	338867	05/23/19	57.66-
					Account Total	45.67-
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	70.00-
	PCard JE	00001	953717	338867	05/23/19	227.34
	PCard JE	00001	953717	338867	05/23/19	116.56
	PCard JE	00001	953717	338867	05/23/19	227.34
	PCard JE	00001	953717	338867	05/23/19	227.34
	PCard JE	00001	953717	338867	05/23/19	116.56
	PCard JE	00001	953717	338867	05/23/19	116.56
					Account Total	961.70
	Witness Fees					
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	953195	338334	05/29/19	10.30
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	953195	338334	05/29/19	91.52
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	953195	338334	05/29/19	24.23

County of Adams
Vendor Payment Report

<u>1051</u>	<u>District Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	953195	338334	05/29/19	242.42
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	953195	338334	05/29/19	113.04
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	953866	339108	06/05/19	160.68
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	953866	339108	06/05/19	85.69
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	953866	339108	06/05/19	66.03
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	953866	339108	06/05/19	181.78
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	953866	339108	06/05/19	626.47
	PCard JE	00001	953717	338867	05/23/19	311.18
	PCard JE	00001	953717	338867	05/23/19	311.18
	SEDIVY-BROWN TONYA	00001	953179	338334	05/29/19	29.12
					Account Total	2,253.64
					Department Total	33,847.39

County of Adams
Vendor Payment Report

<u>9261</u>	<u>DA- Diversion Project</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Destruction of Records					
	PCard JE	00001	953717	338867	05/23/19	30.00
					Account Total	30.00
	Education & Training					
	PCard JE	00001	953717	338867	05/23/19	150.00
	PCard JE	00001	953717	338867	05/23/19	150.00
	PCard JE	00001	953717	338867	05/23/19	150.00
	PCard JE	00001	953717	338867	05/23/19	150.00
	PCard JE	00001	953717	338867	05/23/19	150.00
	PCard JE	00001	953717	338867	05/23/19	150.00
	PCard JE	00001	953717	338867	05/23/19	40.00
	PCard JE	00001	953717	338867	05/23/19	150.00
	PCard JE	00001	953717	338867	05/23/19	410.00
					Account Total	1,500.00
	Maintenance Contracts					
	PCard JE	00001	953717	338867	05/23/19	240.00
					Account Total	240.00
	Medical Services					
	PCard JE	00001	953717	338867	05/23/19	657.00
	PCard JE	00001	953717	338867	05/23/19	253.00
	PCard JE	00001	953717	338867	05/23/19	70.00
	PCard JE	00001	953717	338867	05/23/19	73.00
					Account Total	1,053.00
	Other Professional Serv					
	PCard JE	00001	953717	338867	05/23/19	80.00
					Account Total	80.00
	Software and Licensing					
	PCard JE	00001	953717	338867	05/23/19	88.00
					Account Total	88.00
	Special Events					
	PCard JE	00001	953717	338867	05/23/19	29.06
					Account Total	29.06
					Department Total	3,020.06

County of Adams
Vendor Payment Report

<u>7041</u>	<u>Economic Development Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	208.99
					Account Total	208.99
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	121.60
	PCard JE	00001	953717	338867	05/23/19	73.85
	PCard JE	00001	953717	338867	05/23/19	80.33
	PCard JE	00001	953717	338867	05/23/19	77.96
					Account Total	353.74
	Software and Licensing					
	PCard JE	00001	953717	338867	05/23/19	314.16
					Account Total	314.16
					Department Total	876.89

County of Adams
Vendor Payment Report

<u>2041</u>	<u>Emerg Mngt-Administraion</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	53.00
					Account Total	53.00
	Education & Training					
	PCard JE	00001	953717	338867	05/23/19	2,120.00-
					Account Total	2,120.00-
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	37.52
	PCard JE	00001	953717	338867	05/23/19	170.33
	PCard JE	00001	953717	338867	05/23/19	187.18
					Account Total	395.03
	Maintenance Contracts					
	PCard JE	00001	953717	338867	05/23/19	519.75
					Account Total	519.75
	Other Communications					
	PCard JE	00001	953717	338867	05/23/19	290.09
	PCard JE	00001	953717	338867	05/23/19	33.56
	PCard JE	00001	953717	338867	05/23/19	38.41
					Account Total	362.06
					Department Total	790.16-

County of Adams
Vendor Payment Report

<u>99500</u>	<u>Employment First</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Clnt Trng-Background Checks					
	PCard JE	00035	953717	338867	05/23/19	6.85
	PCard JE	00035	953717	338867	05/23/19	6.85
	PCard JE	00035	953717	338867	05/23/19	6.85
	PCard JE	00035	953717	338867	05/23/19	6.85
	PCard JE	00035	953717	338867	05/23/19	6.85
	PCard JE	00035	953717	338867	05/23/19	6.85
					Account Total	41.10
	Enhanced Funds					
	PCard JE	00035	953717	338867	05/23/19	93.96
	PCard JE	00035	953717	338867	05/23/19	1,129.20
	PCard JE	00035	953717	338867	05/23/19	28.80-
					Account Total	1,194.36
	Operating Supplies					
	PCard JE	00035	953717	338867	05/23/19	585.76
	PCard JE	00035	953717	338867	05/23/19	150.00
					Account Total	735.76
					Department Total	1,971.22

County of Adams
Vendor Payment Report

<u>1191</u>	<u>Environmental Programs</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Minor Equipment					
	PCard JE	00001	953717	338867	05/23/19	18.27-
	PCard JE	00001	953717	338867	05/23/19	27.30
					Account Total	9.03
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	30.00
					Account Total	30.00
					Department Total	39.03

County of Adams
Vendor Payment Report

<u>6</u>	<u>Equipment Service Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	JOHN ELWAY CHEVROLET	00006	953636	338846	06/03/19	25,127.00
	JOHN ELWAY CHEVROLET	00006	953637	338846	06/03/19	25,127.00
	POWER SCREENING INC	00006	953798	339004	06/04/19	170,000.00
	PRECISE MRM LLC	00006	953799	339004	06/04/19	5,640.00
	SAM HILL OIL INC	00006	953800	339004	06/04/19	572.02
	SAM HILL OIL INC	00006	953801	339004	06/04/19	16,260.48
	SAM HILL OIL INC	00006	953802	339004	06/04/19	1,650.53
	WAGNER EQUIPMENT COMPANY	00006	953732	338880	06/03/19	20,446.00
	WAGNER EQUIPMENT COMPANY	00006	953732	338880	06/03/19	20,446.00
	WEX BANK	00006	953803	339004	06/04/19	5,440.53
					Account Total	290,709.56
					Department Total	290,709.56

County of Adams
Vendor Payment Report

<u>9243</u>	<u>Extension - Family & Consumer</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	57.62
					Account Total	57.62
	Other Communications					
	VERIZON	00001	953171	338332	05/29/19	41.15
					Account Total	41.15
					Department Total	98.77

County of Adams
Vendor Payment Report

<u>9240</u>	<u>Extension - Horticulture</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	74.90
					Account Total	74.90
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	1,044.83
	PCard JE	00001	953717	338867	05/23/19	49.10
	PCard JE	00001	953717	338867	05/23/19	15.00
					Account Total	1,108.93
	Other Communications					
	VERIZON	00001	953171	338332	05/29/19	41.15
					Account Total	41.15
	Other Professional Serv					
	CSU EXTENSION	00001	953165	338331	05/29/19	3,525.00
					Account Total	3,525.00
					Department Total	4,749.98

County of Adams
Vendor Payment Report

<u>9241</u>	<u>Extension- Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	292.69
	PCard JE	00001	953717	338867	05/23/19	8.29
	PCard JE	00001	953717	338867	05/23/19	258.66
	PCard JE	00001	953717	338867	05/23/19	167.99
					Account Total	727.63
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	24.99
	PCard JE	00001	953717	338867	05/23/19	7.78
	PCard JE	00001	953717	338867	05/23/19	60.00
	PCard JE	00001	953717	338867	05/23/19	128.79
	PCard JE	00001	953717	338867	05/23/19	15.00
	PCard JE	00001	953717	338867	05/23/19	339.04
	PCard JE	00001	953717	338867	05/23/19	13.56
	PCard JE	00001	953717	338867	05/23/19	3.51
	PCard JE	00001	953717	338867	05/23/19	56.94
	PCard JE	00001	953717	338867	05/23/19	126.64
					Account Total	776.25
	Other Communications					
	PCard JE	00001	953717	338867	05/23/19	20.00
	VERIZON	00001	953171	338332	05/29/19	96.35
					Account Total	116.35
	Other Professional Serv					
	CSU EXTENSION	00001	953165	338331	05/29/19	3,525.00
					Account Total	3,525.00
					Department Total	5,145.23

County of Adams
Vendor Payment Report

<u>9242</u>	<u>Extension- Agriculture</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	73.10
	PCard JE	00001	953717	338867	05/23/19	24.32
	PCard JE	00001	953717	338867	05/23/19	199.99
	PCard JE	00001	953717	338867	05/23/19	7.56-
	PCard JE	00001	953717	338867	05/23/19	43.28
	PCard JE	00001	953717	338867	05/23/19	59.45
	PCard JE	00001	953717	338867	05/23/19	108.22
	PCard JE	00001	953717	338867	05/23/19	2,438.19
	PCard JE	00001	953717	338867	05/23/19	555.00-
					Account Total	2,383.99
					Department Total	2,383.99

County of Adams
Vendor Payment Report

<u>9244</u>	<u>Extension- 4-H/Youth</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	275.43
					Account Total	275.43
	Operating Supplies					
	CSU UNIVERSITY RESOURCE CTR	00001	953136	338281	05/28/19	73.00
	EXTENSION ACTIVITY FUND	00001	953135	338281	05/28/19	340.50
	PCard JE	00001	953717	338867	05/23/19	10.00
	PCard JE	00001	953717	338867	05/23/19	5.56
	PCard JE	00001	953717	338867	05/23/19	9.49
	PCard JE	00001	953717	338867	05/23/19	15.48
	PCard JE	00001	953717	338867	05/23/19	119.43
	PCard JE	00001	953717	338867	05/23/19	118.40
	PCard JE	00001	953717	338867	05/23/19	39.92
	PCard JE	00001	953717	338867	05/23/19	616.41
	PCard JE	00001	953717	338867	05/23/19	589.16
	PCard JE	00001	953717	338867	05/23/19	25.96
	PCard JE	00001	953717	338867	05/23/19	311.04
	SUMMIT VIEW SOLUTIONS LLC	00001	953137	338281	05/28/19	132.00
					Account Total	2,406.35
	Other Communications					
	VERIZON	00001	953171	338332	05/29/19	41.15
	VERIZON	00001	953171	338332	05/29/19	41.15
	VERIZON	00001	953171	338332	05/29/19	71.15
					Account Total	153.45
	Other Professional Serv					
	CSU EXTENSION	00001	953165	338331	05/29/19	3,525.00
	CSU EXTENSION	00001	953165	338331	05/29/19	3,525.00
	CSU EXTENSION	00001	953165	338331	05/29/19	15,384.00
					Account Total	22,434.00
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	275.43
					Account Total	275.43
					Department Total	25,544.66

County of Adams
Vendor Payment Report

<u>5025</u>	<u>Facilities Club House Maint.</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	DISCOUNT PLUMBING SERVICES INC	00005	953864	339102	06/05/19	2,700.00
	PCard JE	00005	953717	338867	05/23/19	2,200.00
					Account Total	4,900.00
	Repair & Maint Supplies					
	PCard JE	00005	953717	338867	05/23/19	586.00
	PCard JE	00005	953717	338867	05/23/19	149.47
	PCard JE	00005	953717	338867	05/23/19	40.00
					Account Total	775.47
					Department Total	5,675.47

County of Adams
Vendor Payment Report

<u>2045E8921298</u>	<u>Family Engagement-Intervention</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	PCard JE	00015	953717	338867	05/23/19	341.80
					Account Total	341.80
					Department Total	341.80

County of Adams
Vendor Payment Report

<u>1014</u>	<u>Finance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	200.92
	PCard JE	00001	953717	338867	05/23/19	191.57
					Account Total	392.49
	Membership Dues					
	PCard JE	00001	953717	338867	05/23/19	200.00
					Account Total	200.00
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	38.78
	PCard JE	00001	953717	338867	05/23/19	258.00
	PCard JE	00001	953717	338867	05/23/19	45.58
	PCard JE	00001	953717	338867	05/23/19	94.78
	PCard JE	00001	953717	338867	05/23/19	48.93
	PCard JE	00001	953717	338867	05/23/19	27.54
	PCard JE	00001	953717	338867	05/23/19	22.48
	PCard JE	00001	953717	338867	05/23/19	1,299.00
					Account Total	1,835.09
					Department Total	2,427.58

County of Adams
Vendor Payment Report

<u>1018</u>	<u>Finance General Accounting</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Legal Notices					
	PCard JE	00001	953717	338867	05/23/19	306.00
					Account Total	306.00
	Membership Dues					
	PCard JE	00001	953717	338867	05/23/19	254.00
					Account Total	254.00
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	434.96
	PCard JE	00001	953717	338867	05/23/19	19.99
	PCard JE	00001	953717	338867	05/23/19	37.99
					Account Total	492.94
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	15.00
					Account Total	15.00
					Department Total	1,067.94

County of Adams
Vendor Payment Report

<u>1017</u>	<u>Finance Purchasing</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Advertising					
	PCard JE	00001	953717	338867	05/23/19	321.00
	PCard JE	00001	953717	338867	05/23/19	481.50
					Account Total	802.50
	Education & Training					
	PCard JE	00001	953717	338867	05/23/19	182.67
	PCard JE	00001	953717	338867	05/23/19	250.00
	PCard JE	00001	953717	338867	05/23/19	182.67
	PCard JE	00001	953717	338867	05/23/19	250.00-
	PCard JE	00001	953717	338867	05/23/19	159.00
	PCard JE	00001	953717	338867	05/23/19	940.00
	PCard JE	00001	953717	338867	05/23/19	159.00
					Account Total	1,623.34
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	22.63
	PCard JE	00001	953717	338867	05/23/19	96.79
					Account Total	119.42
	Membership Dues					
	PCard JE	00001	953717	338867	05/23/19	937.00
					Account Total	937.00
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	4.74-
	PCard JE	00001	953717	338867	05/23/19	17.00-
	PCard JE	00001	953717	338867	05/23/19	33.94
	PCard JE	00001	953717	338867	05/23/19	157.96
	PCard JE	00001	953717	338867	05/23/19	188.52
	PCard JE	00001	953717	338867	05/23/19	108.32
	PCard JE	00001	953717	338867	05/23/19	33.05
	PCard JE	00001	953717	338867	05/23/19	27.66
					Account Total	527.71
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	5.42
	PCard JE	00001	953717	338867	05/23/19	35.83
	PCard JE	00001	953717	338867	05/23/19	30.00

County of Adams
Vendor Payment Report

<u>1017</u>	<u>Finance Purchasing</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00001	953717	338867	05/23/19	31.06
	PCard JE	00001	953717	338867	05/23/19	182.67
					Account Total	284.98
					Department Total	4,294.95

County of Adams
Vendor Payment Report

<u>9111</u>	<u>Fleet- Admin</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Auto Physical Damage					
	PCard JE	00006	953717	338867	05/23/19	195.00
	PCard JE	00006	953717	338867	05/23/19	183.94
	PCard JE	00006	953717	338867	05/23/19	232.88-
	PCard JE	00006	953717	338867	05/23/19	434.56
	PCard JE	00006	953717	338867	05/23/19	201.68
	PCard JE	00006	953717	338867	05/23/19	218.03
	PCard JE	00006	953717	338867	05/23/19	222.10
	PCard JE	00006	953717	338867	05/23/19	279.47
	PCard JE	00006	953717	338867	05/23/19	232.88
					Account Total	1,734.78
	Membership Dues					
	PCard JE	00006	953717	338867	05/23/19	65.00
	PCard JE	00006	953717	338867	05/23/19	360.00
					Account Total	425.00
	Oil					
	PCard JE	00006	953717	338867	05/23/19	6,617.76
					Account Total	6,617.76
	Operating Supplies					
	PCard JE	00006	953717	338867	05/23/19	8.78
					Account Total	8.78
	Tires					
	PCard JE	00006	953717	338867	05/23/19	1,382.24
					Account Total	1,382.24
	Travel & Transportation					
	PCard JE	00006	953717	338867	05/23/19	25.95
					Account Total	25.95
					Department Total	10,194.51

County of Adams
Vendor Payment Report

<u>9114</u>	<u>Fleet- Commerce</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	PCard JE	00006	953717	338867	05/23/19	556.00
					Account Total	556.00
	Education & Training					
	PCard JE	00006	953717	338867	05/23/19	195.00
					Account Total	195.00
	Equipment Rental					
	PCard JE	00006	953717	338867	05/23/19	25.41
	PCard JE	00006	953717	338867	05/23/19	227.01
					Account Total	252.42
	Medical Supplies					
	PCard JE	00006	953717	338867	05/23/19	75.71
					Account Total	75.71
	Minor Equipment					
	PCard JE	00006	953717	338867	05/23/19	57.44
					Account Total	57.44
	Operating Supplies					
	PCard JE	00006	953717	338867	05/23/19	284.16
	PCard JE	00006	953717	338867	05/23/19	105.91
	PCard JE	00006	953717	338867	05/23/19	62.94
	PCard JE	00006	953717	338867	05/23/19	12.98
	PCard JE	00006	953717	338867	05/23/19	155.66
	PCard JE	00006	953717	338867	05/23/19	222.38
	PCard JE	00006	953717	338867	05/23/19	57.93
	PCard JE	00006	953717	338867	05/23/19	352.08
	PCard JE	00006	953717	338867	05/23/19	51.74
	PCard JE	00006	953717	338867	05/23/19	219.40
	PCard JE	00006	953717	338867	05/23/19	21.09
	PCard JE	00006	953717	338867	05/23/19	100.00
	PCard JE	00006	953717	338867	05/23/19	142.94
	PCard JE	00006	953717	338867	05/23/19	99.24
	PCard JE	00006	953717	338867	05/23/19	146.94
	PCard JE	00006	953717	338867	05/23/19	1,057.89
	PCard JE	00006	953717	338867	05/23/19	22.59

County of Adams
Vendor Payment Report

<u>9114</u>	<u>Fleet- Commerce</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00006	953717	338867	05/23/19	41.23
	PCard JE	00006	953717	338867	05/23/19	822.64
	PCard JE	00006	953717	338867	05/23/19	165.72
	PCard JE	00006	953717	338867	05/23/19	75.95
	PCard JE	00006	953717	338867	05/23/19	612.87
	PCard JE	00006	953717	338867	05/23/19	287.89
					Account Total	5,122.17
	Software and Licensing					
	PCard JE	00006	953717	338867	05/23/19	1,600.00
					Account Total	1,600.00
	Uniforms & Cleaning					
	PCard JE	00006	953717	338867	05/23/19	113.68
	PCard JE	00006	953717	338867	05/23/19	113.68
	PCard JE	00006	953717	338867	05/23/19	113.68
	PCard JE	00006	953717	338867	05/23/19	113.68
	PCard JE	00006	953717	338867	05/23/19	113.68
	PCard JE	00006	953717	338867	05/23/19	113.68
					Account Total	682.08
	Vehicle Parts & Supplies					
	PCard JE	00006	953717	338867	05/23/19	330.00
	PCard JE	00006	953717	338867	05/23/19	327.96
	PCard JE	00006	953717	338867	05/23/19	118.00
	PCard JE	00006	953717	338867	05/23/19	10,253.60
	PCard JE	00006	953717	338867	05/23/19	5,028.26
	PCard JE	00006	953717	338867	05/23/19	6,762.24
	PCard JE	00006	953717	338867	05/23/19	111.88
	PCard JE	00006	953717	338867	05/23/19	685.00
					Account Total	23,616.94
	Vehicle Repair & Maint					
	PCard JE	00006	953717	338867	05/23/19	119.00
	PCard JE	00006	953717	338867	05/23/19	164.00
	PCard JE	00006	953717	338867	05/23/19	164.00
	PCard JE	00006	953717	338867	05/23/19	158.00
	PCard JE	00006	953717	338867	05/23/19	416.90
	PCard JE	00006	953717	338867	05/23/19	188.95

County of Adams
Vendor Payment Report

<u>9114</u>	<u>Fleet- Commerce</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00006	953717	338867	05/23/19	250.00
	PCard JE	00006	953717	338867	05/23/19	250.00
	PCard JE	00006	953717	338867	05/23/19	390.00
	PCard JE	00006	953717	338867	05/23/19	5,362.75
	PCard JE	00006	953717	338867	05/23/19	349.78
	PCard JE	00006	953717	338867	05/23/19	285.00
	PCard JE	00006	953717	338867	05/23/19	210.00
	PCard JE	00006	953717	338867	05/23/19	210.00
	PCard JE	00006	953717	338867	05/23/19	210.00
	PCard JE	00006	953717	338867	05/23/19	206.30-
					Account Total	8,522.08
					Department Total	40,679.84

County of Adams
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<u>9115</u>	<u>Fleet- Strasbrg</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Education & Training					
	PCard JE	00006	953717	338867	05/23/19	122.00
					Account Total	122.00
	Equipment Rental					
	PCard JE	00006	953717	338867	05/23/19	26.18
	PCard JE	00006	953717	338867	05/23/19	214.60
					Account Total	240.78
	Operating Supplies					
	PCard JE	00006	953717	338867	05/23/19	46.38
	PCard JE	00006	953717	338867	05/23/19	19.56
	PCard JE	00006	953717	338867	05/23/19	44.00
	PCard JE	00006	953717	338867	05/23/19	436.50
	PCard JE	00006	953717	338867	05/23/19	60.50
	PCard JE	00006	953717	338867	05/23/19	26.96
	PCard JE	00006	953717	338867	05/23/19	134.52
					Account Total	768.42
	Uniforms & Cleaning					
	PCard JE	00006	953717	338867	05/23/19	49.09
	PCard JE	00006	953717	338867	05/23/19	49.09
	PCard JE	00006	953717	338867	05/23/19	49.09
	PCard JE	00006	953717	338867	05/23/19	49.09
	PCard JE	00006	953717	338867	05/23/19	49.09
					Account Total	245.45
	Vehicle Parts & Supplies					
	PCard JE	00006	953717	338867	05/23/19	12.90
	PCard JE	00006	953717	338867	05/23/19	8.20
	PCard JE	00006	953717	338867	05/23/19	29.16
	PCard JE	00006	953717	338867	05/23/19	21.52
	PCard JE	00006	953717	338867	05/23/19	3,270.07
	PCard JE	00006	953717	338867	05/23/19	1,979.36
	PCard JE	00006	953717	338867	05/23/19	2,851.67
					Account Total	8,172.88
					Department Total	9,549.53

County of Adams
Vendor Payment Report

<u>600039004010</u>	<u>Fraud Invest and Recovery Dir</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	PCard JE	00015	953717	338867	05/23/19	49.06
	PCard JE	00015	953717	338867	05/23/19	258.66
					Account Total	307.72
	Operating Supplies					
	PCard JE	00015	953717	338867	05/23/19	53.34
	PCard JE	00015	953717	338867	05/23/19	16.82
	PCard JE	00015	953717	338867	05/23/19	23.26
	PCard JE	00015	953717	338867	05/23/19	21.95
					Account Total	115.37
	Printing External					
	PCard JE	00015	953717	338867	05/23/19	50.00
					Account Total	50.00
					Department Total	473.09

County of Adams
Vendor Payment Report

<u>1091</u>	<u>FO - Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Consultant Services					
	HELTON & WILLIAMSEN PC	00001	953696	338858	06/03/19	168.00
					Account Total	168.00
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	59.98
	PCard JE	00001	953717	338867	05/23/19	7.61
	PCard JE	00001	953717	338867	05/23/19	227.01
	PCard JE	00001	953717	338867	05/23/19	187.18
					Account Total	481.78
	Gas & Electricity					
	Energy Cap Bill ID=9573	00001	953611	338843	05/20/19	71.14
	Energy Cap Bill ID=9591	00001	953612	338843	05/21/19	792.48
	Energy Cap Bill ID=9595	00001	953613	338843	05/20/19	180.86
					Account Total	1,044.48
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	1,537.00
	PCard JE	00001	953717	338867	05/23/19	250.70
	PCard JE	00001	953717	338867	05/23/19	4.93
	PCard JE	00001	953717	338867	05/23/19	32.29
	PCard JE	00001	953717	338867	05/23/19	126.33
	PCard JE	00001	953717	338867	05/23/19	314.00
	PCard JE	00001	953717	338867	05/23/19	43.00
	PCard JE	00001	953717	338867	05/23/19	130.11
	PCard JE	00001	953717	338867	05/23/19	298.98
	PCard JE	00001	953717	338867	05/23/19	30.87
	PCard JE	00001	953717	338867	05/23/19	22.05
	PCard JE	00001	953717	338867	05/23/19	30.87
	PCard JE	00001	953717	338867	05/23/19	176.40
	PCard JE	00001	953717	338867	05/23/19	176.40
	PCard JE	00001	953717	338867	05/23/19	176.40
					Account Total	3,350.33
	Postage & Freight					
	PCard JE	00001	953717	338867	05/23/19	37.75
					Account Total	37.75

County of Adams
Vendor Payment Report

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<u>1091</u>	<u>FO - Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Printing External					
	PCard JE	00001	953717	338867	05/23/19	20.00
					Account Total	20.00
	Repair & Maint Supplies					
	PCard JE	00001	953717	338867	05/23/19	17.25
	PCard JE	00001	953717	338867	05/23/19	102.70
	PCard JE	00001	953717	338867	05/23/19	44.70
					Account Total	164.65
	Software and Licensing					
	PCard JE	00001	953717	338867	05/23/19	584.15
					Account Total	584.15
					Department Total	5,851.14

County of Adams
Vendor Payment Report

<u>1075</u>	<u>FO - Administration Bldg</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	PCard JE	00001	953717	338867	05/23/19	280.00
					Account Total	280.00
	Gas & Electricity					
	Energy Cap Bill ID=9583	00001	953608	338843	05/20/19	25.89
	REPUBLIC SERVICES #535	00001	953859	339102	06/05/19	54.45
					Account Total	80.34
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	176.40
					Account Total	176.40
	Repair & Maint Supplies					
	PCard JE	00001	953717	338867	05/23/19	111.84
	PCard JE	00001	953717	338867	05/23/19	21.98
	PCard JE	00001	953717	338867	05/23/19	7.98
					Account Total	141.80
					Department Total	678.54

County of Adams
Vendor Payment Report

<u>1066</u>	<u>FO - ADA</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	PCard JE	00001	953717	338867	05/23/19	61.96
					Account Total	61.96
					Department Total	61.96

County of Adams
Vendor Payment Report

<u>1060</u>	<u>FO - Community Corrections</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	PCard JE	00001	953717	338867	05/23/19	143.45
	PCard JE	00001	953717	338867	05/23/19	157.50
	PCard JE	00001	953717	338867	05/23/19	296.25
					Account Total	597.20
	Minor Equipment					
	PCard JE	00001	953717	338867	05/23/19	23.48
					Account Total	23.48
	Repair & Maint Supplies					
	PCard JE	00001	953717	338867	05/23/19	2,605.04
	PCard JE	00001	953717	338867	05/23/19	29.66
	PCard JE	00001	953717	338867	05/23/19	322.00
	PCard JE	00001	953717	338867	05/23/19	43.97
					Account Total	3,000.67
					Department Total	3,621.35

County of Adams
Vendor Payment Report

<u>1114</u>	<u>FO - District Attorney Bldg.</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	PCard JE	00001	953717	338867	05/23/19	15.00
	PCard JE	00001	953717	338867	05/23/19	95.00
	PCard JE	00001	953717	338867	05/23/19	95.00
					Account Total	205.00
	Gas & Electricity					
	Energy Cap Bill ID=9580	00001	953618	338843	05/23/19	6,599.48
	Energy Cap Bill ID=9613	00001	953838	339082	05/24/19	552.22
					Account Total	7,151.70
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	109.83
	PCard JE	00001	953717	338867	05/23/19	803.60
					Account Total	913.43
	Repair & Maint Supplies					
	PCard JE	00001	953717	338867	05/23/19	130.96
	PCard JE	00001	953717	338867	05/23/19	102.10
	PCard JE	00001	953717	338867	05/23/19	336.00
	PCard JE	00001	953717	338867	05/23/19	12.58
	PCard JE	00001	953717	338867	05/23/19	25.16
	PCard JE	00001	953717	338867	05/23/19	26.56
	PCard JE	00001	953717	338867	05/23/19	6.50
	PCard JE	00001	953717	338867	05/23/19	20.32
	PCard JE	00001	953717	338867	05/23/19	20.70
					Account Total	680.88
					Department Total	8,951.01

County of Adams
Vendor Payment Report

<u>2090</u>	<u>FO - Flatrock Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	PCard JE	00050	953717	338867	05/23/19	2,000.00
					Account Total	2,000.00
	Gas & Electricity					
	Energy Cap Bill ID=9592	00050	953623	338843	05/23/19	69.12
	Energy Cap Bill ID=9593	00050	953624	338843	05/23/19	187.65
	Energy Cap Bill ID=9596	00050	953845	339082	05/29/19	198.07
	Energy Cap Bill ID=9599	00050	953846	339082	05/29/19	51.57
	Energy Cap Bill ID=9602	00050	953847	339082	05/29/19	1,688.63
	Energy Cap Bill ID=9608	00050	953848	339082	05/29/19	162.38
					Account Total	2,357.42
	Operating Supplies					
	PCard JE	00050	953717	338867	05/23/19	172.00
	PCard JE	00050	953717	338867	05/23/19	187.55
					Account Total	359.55
	Repair & Maint Supplies					
	PCard JE	00050	953717	338867	05/23/19	208.52
	PCard JE	00050	953717	338867	05/23/19	31.57
					Account Total	240.09
					Department Total	4,957.06

County of Adams
Vendor Payment Report

<u>1077</u>	<u>FO - Government Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	PCard JE	00001	953717	338867	05/23/19	115.00
	PCard JE	00001	953717	338867	05/23/19	1,977.00
	PCard JE	00001	953717	338867	05/23/19	177.41
	PCard JE	00001	953717	338867	05/23/19	712.50
	PPS INTERIORS	00001	953857	339102	06/05/19	435.00
					Account Total	3,416.91
	Gas & Electricity					
	Energy Cap Bill ID=9622	00001	953824	339082	05/23/19	2,130.12
					Account Total	2,130.12
	Grounds Maintenance					
	PCard JE	00001	953717	338867	05/23/19	90.92
	PCard JE	00001	953717	338867	05/23/19	79.98
	PCard JE	00001	953717	338867	05/23/19	79.37
	PCard JE	00001	953717	338867	05/23/19	415.80
	PCard JE	00001	953717	338867	05/23/19	330.60
	PCard JE	00001	953717	338867	05/23/19	365.30
	PCard JE	00001	953717	338867	05/23/19	429.60
	PCard JE	00001	953717	338867	05/23/19	29.97
	PCard JE	00001	953717	338867	05/23/19	405.00
	PCard JE	00001	953717	338867	05/23/19	12.56
	PCard JE	00001	953717	338867	05/23/19	36.98
	PCard JE	00001	953717	338867	05/23/19	67.60
					Account Total	2,343.68
	Maintenance Contracts					
	COLO DEPT OF PUBLIC HEALTH & E	00001	953853	339100	06/05/19	529.35
	SUMMIT LABORATORIES INC	00001	953862	339102	06/05/19	480.00
					Account Total	1,009.35
	Minor Equipment					
	PCard JE	00001	953717	338867	05/23/19	199.00
	PCard JE	00001	953717	338867	05/23/19	29.98
					Account Total	228.98
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	322.56

County of Adams
Vendor Payment Report

<u>1077</u>	<u>FO - Government Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00001	953717	338867	05/23/19	1,735.40
	PCard JE	00001	953717	338867	05/23/19	474.24
	PCard JE	00001	953717	338867	05/23/19	99.76
	PCard JE	00001	953717	338867	05/23/19	936.86
	PCard JE	00001	953717	338867	05/23/19	132.48
	PCard JE	00001	953717	338867	05/23/19	26.46
	PCard JE	00001	953717	338867	05/23/19	26.46
	PCard JE	00001	953717	338867	05/23/19	710.66
	PCard JE	00001	953717	338867	05/23/19	176.40
					Account Total	4,641.28
	Repair & Maint Supplies					
	PCard JE	00001	953717	338867	05/23/19	518.50
	PCard JE	00001	953717	338867	05/23/19	138.72
	PCard JE	00001	953717	338867	05/23/19	209.70
	PCard JE	00001	953717	338867	05/23/19	195.82
	PCard JE	00001	953717	338867	05/23/19	31.62
	PCard JE	00001	953717	338867	05/23/19	1,527.81
	PCard JE	00001	953717	338867	05/23/19	41.81
	PCard JE	00001	953717	338867	05/23/19	743.08
	PCard JE	00001	953717	338867	05/23/19	75.69
	PCard JE	00001	953717	338867	05/23/19	70.92
	PCard JE	00001	953717	338867	05/23/19	95.57
	PCard JE	00001	953717	338867	05/23/19	118.48
	PCard JE	00001	953717	338867	05/23/19	149.53
	PCard JE	00001	953717	338867	05/23/19	41.98
	PCard JE	00001	953717	338867	05/23/19	31.84
	PCard JE	00001	953717	338867	05/23/19	20.94
	PCard JE	00001	953717	338867	05/23/19	157.94
	PCard JE	00001	953717	338867	05/23/19	2.65
	PCard JE	00001	953717	338867	05/23/19	159.61
	PCard JE	00001	953717	338867	05/23/19	131.99
	PCard JE	00001	953717	338867	05/23/19	77.52
	PCard JE	00001	953717	338867	05/23/19	33.15
	PCard JE	00001	953717	338867	05/23/19	24.22
	PCard JE	00001	953717	338867	05/23/19	684.80
	PCard JE	00001	953717	338867	05/23/19	16.42

County of Adams
Vendor Payment Report

<u>1077</u>	<u>FO - Government Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00001	953717	338867	05/23/19	16.42
	PCard JE	00001	953717	338867	05/23/19	16.42
	PCard JE	00001	953717	338867	05/23/19	6.65
	PCard JE	00001	953717	338867	05/23/19	55.10
	PCard JE	00001	953717	338867	05/23/19	125.25
	PCard JE	00001	953717	338867	05/23/19	13.30-
	PCard JE	00001	953717	338867	05/23/19	13.30-
	PCard JE	00001	953717	338867	05/23/19	285.00
	PCard JE	00001	953717	338867	05/23/19	276.00
	PCard JE	00001	953717	338867	05/23/19	228.24
	PCard JE	00001	953717	338867	05/23/19	39.66
	PCard JE	00001	953717	338867	05/23/19	166.70
					Account Total	6,489.15
					Department Total	20,259.47

County of Adams
Vendor Payment Report

<u>1070</u>	<u>FO - Honnen/Plan&Devel/MV Ware</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	PPS INTERIORS	00001	953854	339102	06/05/19	1,041.00
					Account Total	1,041.00
	Gas & Electricity					
	Energy Cap Bill ID=9621	00001	953817	339082	05/23/19	3,123.37
	Energy Cap Bill ID=9624	00001	953818	339082	05/23/19	850.79
	Energy Cap Bill ID=9626	00001	953819	339082	05/23/19	101.33
					Account Total	4,075.49
	Minor Equipment					
	PCard JE	00001	953717	338867	05/23/19	201.72
	PCard JE	00001	953717	338867	05/23/19	58.68
	PCard JE	00001	953717	338867	05/23/19	20.32
	PCard JE	00001	953717	338867	05/23/19	139.98
	PCard JE	00001	953717	338867	05/23/19	63.48
					Account Total	484.18
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	70.55
	PCard JE	00001	953717	338867	05/23/19	238.30
	PCard JE	00001	953717	338867	05/23/19	204.58
	PCard JE	00001	953717	338867	05/23/19	123.25
	PCard JE	00001	953717	338867	05/23/19	176.40
	PCard JE	00001	953717	338867	05/23/19	176.40
					Account Total	989.48
	Repair & Maint Supplies					
	PCard JE	00001	953717	338867	05/23/19	262.80
	PCard JE	00001	953717	338867	05/23/19	120.15
	PCard JE	00001	953717	338867	05/23/19	308.81
	PCard JE	00001	953717	338867	05/23/19	71.63
	PCard JE	00001	953717	338867	05/23/19	253.95
	PCard JE	00001	953717	338867	05/23/19	74.97
	PCard JE	00001	953717	338867	05/23/19	89.84
	PCard JE	00001	953717	338867	05/23/19	5.93
					Account Total	1,188.08
	Water/Sewer/Sanitation					

County of Adams
Vendor Payment Report

<u>1070</u>	<u>FO - Honnen/Plan&Devel/MV Ware</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Energy Cap Bill ID=9578	00001	953604	338843	05/20/19	<u>131.53</u>
					Account Total	<u>131.53</u>
					Department Total	<u><u>7,909.76</u></u>

County of Adams
Vendor Payment Report

<u>1067</u>	<u>FO - Human Service Building</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	90.33
	PCard JE	00001	953717	338867	05/23/19	26.46
					Account Total	116.79
					Department Total	116.79

County of Adams
Vendor Payment Report

<u>1071</u>	<u>FO - Justice Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	ALL STAR HOOD CLEANING	00001	953860	339102	06/05/19	2,095.00
	PCard JE	00001	953717	338867	05/23/19	90.00
	PCard JE	00001	953717	338867	05/23/19	91.39
	PCard JE	00001	953717	338867	05/23/19	225.00
	PCard JE	00001	953717	338867	05/23/19	232.00
	STANLEY CONVERGENT SECURITY S	00001	953858	339102	06/05/19	2,141.25
					Account Total	4,874.64
	Gas & Electricity					
	Energy Cap Bill ID=9581	00001	953605	338843	05/23/19	74.99
	Energy Cap Bill ID=9582	00001	953606	338843	05/23/19	25,796.16
	Energy Cap Bill ID=9614	00001	953820	339082	05/22/19	1,304.01
					Account Total	27,175.16
	Maintenance Contracts					
	MILE HIGH TREE CARE INC	00001	953863	339102	06/05/19	4,000.00
	PCard JE	00001	953717	338867	05/23/19	673.53
	SUMMIT LABORATORIES INC	00001	953861	339102	06/05/19	410.00
					Account Total	5,083.53
	Minor Equipment					
	PCard JE	00001	953717	338867	05/23/19	21.42
					Account Total	21.42
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	1,084.63
	PCard JE	00001	953717	338867	05/23/19	1,353.50
	PCard JE	00001	953717	338867	05/23/19	19.75
	PCard JE	00001	953717	338867	05/23/19	26.50
					Account Total	2,484.38
	Repair & Maint Supplies					
	PCard JE	00001	953717	338867	05/23/19	29.05
	PCard JE	00001	953717	338867	05/23/19	51.60
	PCard JE	00001	953717	338867	05/23/19	18.44
	PCard JE	00001	953717	338867	05/23/19	14.16
	PCard JE	00001	953717	338867	05/23/19	37.78
	PCard JE	00001	953717	338867	05/23/19	767.94

County of Adams
Vendor Payment Report

<u>1071</u>	<u>FO - Justice Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00001	953717	338867	05/23/19	1,512.00
	PCard JE	00001	953717	338867	05/23/19	9.26
	PCard JE	00001	953717	338867	05/23/19	12.98
	PCard JE	00001	953717	338867	05/23/19	51.76
	PCard JE	00001	953717	338867	05/23/19	12.48
	PCard JE	00001	953717	338867	05/23/19	1,113.27
	PCard JE	00001	953717	338867	05/23/19	134.90
	PCard JE	00001	953717	338867	05/23/19	86.94
	PCard JE	00001	953717	338867	05/23/19	86.94-
	PCard JE	00001	953717	338867	05/23/19	40.64
	PCard JE	00001	953717	338867	05/23/19	286.65
	PCard JE	00001	953717	338867	05/23/19	308.53
	PCard JE	00001	953717	338867	05/23/19	64.60
	PCard JE	00001	953717	338867	05/23/19	37.94
	PCard JE	00001	953717	338867	05/23/19	2.08
	PCard JE	00001	953717	338867	05/23/19	493.98
	PCard JE	00001	953717	338867	05/23/19	1,009.60
	PCard JE	00001	953717	338867	05/23/19	93.00
	PCard JE	00001	953717	338867	05/23/19	60.94
	PCard JE	00001	953717	338867	05/23/19	44.96
	PCard JE	00001	953717	338867	05/23/19	27.84
	PCard JE	00001	953717	338867	05/23/19	274.08
	PCard JE	00001	953717	338867	05/23/19	27.84
	PCard JE	00001	953717	338867	05/23/19	43.92
	PCard JE	00001	953717	338867	05/23/19	108.30
	PCard JE	00001	953717	338867	05/23/19	274.08-
	PCard JE	00001	953717	338867	05/23/19	164.15
	PCard JE	00001	953717	338867	05/23/19	68.70
	PCard JE	00001	953717	338867	05/23/19	261.78
	PCard JE	00001	953717	338867	05/23/19	76.68
	PCard JE	00001	953717	338867	05/23/19	253.44
	PCard JE	00001	953717	338867	05/23/19	51.74
	PCard JE	00001	953717	338867	05/23/19	.86
	PCard JE	00001	953717	338867	05/23/19	12.01
	PCard JE	00001	953717	338867	05/23/19	303.20
	PCard JE	00001	953717	338867	05/23/19	49.04

County of Adams
Vendor Payment Report

<u>1071</u>	<u>FO - Justice Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00001	953717	338867	05/23/19	20.90
					Account Total	7,678.94
					Department Total	47,318.07

County of Adams
Vendor Payment Report

<u>2009</u>	<u>FO - Sheriff Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	PCard JE	00001	953717	338867	05/23/19	485.10
	PCard JE	00001	953717	338867	05/23/19	1,272.36
	PCard JE	00001	953717	338867	05/23/19	207.90
	PCard JE	00001	953717	338867	05/23/19	1,324.95
	PCard JE	00001	953717	338867	05/23/19	1,347.85
	PCard JE	00001	953717	338867	05/23/19	315.00
	PCard JE	00001	953717	338867	05/23/19	65.00
	PCard JE	00001	953717	338867	05/23/19	960.00
	PCard JE	00001	953717	338867	05/23/19	1,124.00
	PCard JE	00001	953717	338867	05/23/19	348.66
					Account Total	7,450.82
	Gas & Electricity					
	Energy Cap Bill ID=9587	00001	953619	338843	05/22/19	9,237.57
	Energy Cap Bill ID=9597	00001	953839	339082	05/29/19	21,098.25
	Energy Cap Bill ID=9601	00001	953840	339082	05/29/19	63.43
	Energy Cap Bill ID=9603	00001	953841	339082	05/29/19	8,290.90
	Energy Cap Bill ID=9609	00001	953842	339082	05/29/19	523.08
	Energy Cap Bill ID=9612	00001	953843	339082	05/24/19	267.53
					Account Total	39,480.76
	Grounds Maintenance					
	PCard JE	00001	953717	338867	05/23/19	411.50
					Account Total	411.50
	Maintenance Contracts					
	PCard JE	00001	953717	338867	05/23/19	495.00
	PCard JE	00001	953717	338867	05/23/19	2,000.00
	PCard JE	00001	953717	338867	05/23/19	971.67
	PCard JE	00001	953717	338867	05/23/19	400.00
	PCard JE	00001	953717	338867	05/23/19	975.00
	PCard JE	00001	953717	338867	05/23/19	520.00
	PCard JE	00001	953717	338867	05/23/19	400.00
					Account Total	5,761.67
	Minor Equipment					
	PCard JE	00001	953717	338867	05/23/19	67.14

County of Adams
Vendor Payment Report

<u>2009</u>	<u>FO - Sheriff Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00001	953717	338867	05/23/19	47.05
	PCard JE	00001	953717	338867	05/23/19	79.25
					Account Total	193.44
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	172.00
					Account Total	172.00
	Repair & Maint Supplies					
	PCard JE	00001	953717	338867	05/23/19	209.17
	PCard JE	00001	953717	338867	05/23/19	275.00
	PCard JE	00001	953717	338867	05/23/19	252.19
	PCard JE	00001	953717	338867	05/23/19	66.80
	PCard JE	00001	953717	338867	05/23/19	168.72
	PCard JE	00001	953717	338867	05/23/19	872.15
	PCard JE	00001	953717	338867	05/23/19	17.96
	PCard JE	00001	953717	338867	05/23/19	439.17
	PCard JE	00001	953717	338867	05/23/19	31.48
	PCard JE	00001	953717	338867	05/23/19	16.40
	PCard JE	00001	953717	338867	05/23/19	66.80
	PCard JE	00001	953717	338867	05/23/19	30.03
	PCard JE	00001	953717	338867	05/23/19	104.95
	PCard JE	00001	953717	338867	05/23/19	313.98
	PCard JE	00001	953717	338867	05/23/19	33.48
	PCard JE	00001	953717	338867	05/23/19	151.68
	PCard JE	00001	953717	338867	05/23/19	39.90
	PCard JE	00001	953717	338867	05/23/19	172.24
	PCard JE	00001	953717	338867	05/23/19	2,950.77
	PCard JE	00001	953717	338867	05/23/19	476.90
	PCard JE	00001	953717	338867	05/23/19	40.19
	PCard JE	00001	953717	338867	05/23/19	864.65
	PCard JE	00001	953717	338867	05/23/19	1,401.49
	PCard JE	00001	953717	338867	05/23/19	276.89
	PCard JE	00001	953717	338867	05/23/19	222.56
	PCard JE	00001	953717	338867	05/23/19	53.96
	PCard JE	00001	953717	338867	05/23/19	418.01
	PCard JE	00001	953717	338867	05/23/19	33.07

Vendor Payment Report

<u>2009</u>	<u>FO - Sheriff Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00001	953717	338867	05/23/19	91.89
	PCard JE	00001	953717	338867	05/23/19	63.00
	PCard JE	00001	953717	338867	05/23/19	500.00
	PCard JE	00001	953717	338867	05/23/19	44.97
	PCard JE	00001	953717	338867	05/23/19	33.92
					Account Total	10,734.37
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=9575	00001	953620	338843	05/17/19	18,464.24
	Energy Cap Bill ID=9576	00001	953621	338843	05/17/19	158.43
	Energy Cap Bill ID=9577	00001	953622	338843	05/17/19	10,287.40
					Account Total	28,910.07
					Department Total	93,114.63

County of Adams
Vendor Payment Report

<u>1072</u>	<u>FO - West Service Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	PCard JE	00001	953717	338867	05/23/19	369.45
	PCard JE	00001	953717	338867	05/23/19	1,354.78
					Account Total	1,724.23
	Gas & Electricity					
	Energy Cap Bill ID=9619	00001	953821	339082	05/29/19	6,427.37
					Account Total	6,427.37
	Minor Equipment					
	PCard JE	00001	953717	338867	05/23/19	27.38
	PCard JE	00001	953717	338867	05/23/19	130.37
					Account Total	157.75
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	422.61
	PCard JE	00001	953717	338867	05/23/19	211.20
					Account Total	633.81
	Repair & Maint Supplies					
	PCard JE	00001	953717	338867	05/23/19	97.04
	PCard JE	00001	953717	338867	05/23/19	46.42
	PCard JE	00001	953717	338867	05/23/19	39.00
	PCard JE	00001	953717	338867	05/23/19	15.12
	PCard JE	00001	953717	338867	05/23/19	48.89
	PCard JE	00001	953717	338867	05/23/19	64.66
	PCard JE	00001	953717	338867	05/23/19	23.54
	PCard JE	00001	953717	338867	05/23/19	32.18
	PCard JE	00001	953717	338867	05/23/19	227.40
	PCard JE	00001	953717	338867	05/23/19	472.00
	PCard JE	00001	953717	338867	05/23/19	327.50
	PCard JE	00001	953717	338867	05/23/19	953.64
					Account Total	2,347.39
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=9585	00001	953607	338843	05/20/19	787.49
	Energy Cap Bill ID=9598	00001	953822	339082	05/20/19	44.88
					Account Total	832.37
					Department Total	12,122.92

County of Adams
Vendor Payment Report

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<u>1076</u>	<u>FO-Adams County Service Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	AUTOMATED BUILDING SOLUTIONS I	00001	953855	339102	06/05/19	6,455.00
					Account Total	6,455.00
	Gas & Electricity					
	Energy Cap Bill ID=9590	00001	953609	338843	05/23/19	9,551.94
	Energy Cap Bill ID=9615	00001	953823	339082	05/22/19	1,222.86
					Account Total	10,774.80
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	326.00
	PCard JE	00001	953717	338867	05/23/19	853.65
	PCard JE	00001	953717	338867	05/23/19	201.67
					Account Total	1,381.32
	Repair & Maint Supplies					
	PCard JE	00001	953717	338867	05/23/19	62.99
	PCard JE	00001	953717	338867	05/23/19	463.32
	PCard JE	00001	953717	338867	05/23/19	50.85
	PCard JE	00001	953717	338867	05/23/19	262.80
					Account Total	839.96
					Department Total	19,451.08

County of Adams
Vendor Payment Report

<u>1069</u>	<u>FO-Animal Shelter Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=9616	00001	953816	339082	05/22/19	1,679.58
					Account Total	1,679.58
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	141.10
	PCard JE	00001	953717	338867	05/23/19	176.40
					Account Total	317.50
	Repair & Maint Supplies					
	PCard JE	00001	953717	338867	05/23/19	151.38
	PCard JE	00001	953717	338867	05/23/19	97.67
	PCard JE	00001	953717	338867	05/23/19	33.88
	PCard JE	00001	953717	338867	05/23/19	109.75
					Account Total	392.68
					Department Total	2,389.76

County of Adams
Vendor Payment Report

<u>1112</u>	<u>FO-Sheriff HQ/Coroner Building</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	PCard JE	00001	953717	338867	05/23/19	412.50
	PCard JE	00001	953717	338867	05/23/19	257.25
	PCard JE	00001	953717	338867	05/23/19	318.00
					Account Total	987.75
	Gas & Electricity					
	Energy Cap Bill ID=9618	00001	953837	339082	05/28/19	478.25
					Account Total	478.25
	Grounds Maintenance					
	PCard JE	00001	953717	338867	05/23/19	411.50
					Account Total	411.50
	Maintenance Contracts					
	PCard JE	00001	953717	338867	05/23/19	120.00
	PCard JE	00001	953717	338867	05/23/19	250.00
	PCard JE	00001	953717	338867	05/23/19	120.00
					Account Total	490.00
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	54.20
	PCard JE	00001	953717	338867	05/23/19	466.77
	PCard JE	00001	953717	338867	05/23/19	176.40
					Account Total	697.37
	Repair & Maint Supplies					
	PCard JE	00001	953717	338867	05/23/19	39.49
	PCard JE	00001	953717	338867	05/23/19	126.96
					Account Total	166.45
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=9574	00001	953616	338843	05/17/19	797.54
	Energy Cap Bill ID=9579	00001	953617	338843	05/17/19	821.21
					Account Total	1,618.75
					Department Total	4,850.07

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Collateral Deposits Payable					
	EVANS REALTY AND PROPERTY MANA	00001	953465	338498	05/30/19	16,312.00
					Account Total	16,312.00
	Petty Cash					
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	953195	338334	05/29/19	300.00
					Account Total	300.00
	Received not Vouchered Clrg					
	ACCELA INC	00001	953950	339221	06/06/19	114,893.27
	AIRBOUND	00001	953797	339004	06/04/19	6,525.00
	ALLIED UNIVERSAL SECURITY SERV	00001	953943	339221	06/06/19	3,481.89
	ALTA LANGUAGE SERVICES INC	00001	953947	339221	06/06/19	2,860.00
	AUTOMATED BUILDING SOLUTIONS I	00001	953934	339219	06/06/19	1,500.00
	AUTOMATED BUILDING SOLUTIONS I	00001	953934	339219	06/06/19	1,500.00
	AUTOMATED BUILDING SOLUTIONS I	00001	953934	339219	06/06/19	10,150.00
	AUTOMATED BUILDING SOLUTIONS I	00001	953934	339219	06/06/19	3,000.00
	AUTOMATED BUILDING SOLUTIONS I	00001	953934	339219	06/06/19	7,150.00
	AUTOMATED BUILDING SOLUTIONS I	00001	953934	339219	06/06/19	1,500.00
	BOTTOMLINE TECHNOLOGIES INC	00001	953954	339221	06/06/19	2,883.75
	BOTTOMLINE TECHNOLOGIES INC	00001	953954	339221	06/06/19	769.00
	CORONA SOLUTIONS	00001	953958	339221	06/06/19	17,500.00
	DENOVO VENTURES LLC	00001	953960	339221	06/06/19	7,350.00
	DENOVO VENTURES LLC	00001	953961	339221	06/06/19	1,940.00
	DENTONS US LLP	00001	954022	339332	06/07/19	12,000.00
	DENTONS US LLP	00001	954023	339332	06/07/19	12,000.00
	DENTONS US LLP	00001	954024	339332	06/07/19	12,000.00
	EL RODEO NIGHT CLUB LLC	00001	953781	338969	06/04/19	17,500.00
	FLATIRONS DUCT CLEANING LLC	00001	953476	338500	05/30/19	1,750.00
	FLYWHEEL RECORDS LLC	00001	953634	338846	06/03/19	462.50
	FLYWHEEL RECORDS LLC	00001	953635	338846	06/03/19	1,387.50
	FOUND MY KEYS	00001	953478	338500	05/30/19	330.00
	GAM ENTERPRISES INC	00001	953763	338966	06/04/19	367.38
	GAM ENTERPRISES INC	00001	953764	338966	06/04/19	154.20
	GAM ENTERPRISES INC	00001	953765	338966	06/04/19	400.00
	GAM ENTERPRISES INC	00001	953766	338966	06/04/19	162.00
	GAM ENTERPRISES INC	00001	953767	338966	06/04/19	175.50

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<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	GAM ENTERPRISES INC	00001	953770	338966	06/04/19	1,375.00
	HILL'S PET NUTRITION SALES INC	00001	953962	339221	06/06/19	62.75
	IDEXX DISTRIBUTION INC	00001	953965	339221	06/06/19	2,000.13
	INSIGHT PUBLIC SECTOR	00001	953966	339221	06/06/19	24,139.80
	INSIGHT PUBLIC SECTOR	00001	953967	339221	06/06/19	15,475.72
	JACHIMIAK PETERSON LLC	00001	953964	339221	06/06/19	26,152.29
	JACHIMIAK PETERSON LLC	00001	953964	339221	06/06/19	9,404.44
	KD SERVICE GROUP	00001	953477	338500	05/30/19	1,003.01
	KNS COMMUNICATIONS CONSULTANTS	00001	953968	339221	06/06/19	9,087.18
	KORBY LANDSCAPE LLC	00001	953933	339219	06/06/19	1,369.92
	KORBY LANDSCAPE LLC	00001	953933	339219	06/06/19	913.28
	KORBY LANDSCAPE LLC	00001	953933	339219	06/06/19	1,124.03
	KORBY LANDSCAPE LLC	00001	953933	339219	06/06/19	1,171.56
	KORBY LANDSCAPE LLC	00001	953933	339219	06/06/19	517.16
	KORBY LANDSCAPE LLC	00001	953933	339219	06/06/19	509.41
	KORBY LANDSCAPE LLC	00001	953933	339219	06/06/19	836.03
	KORBY LANDSCAPE LLC	00001	953933	339219	06/06/19	1,589.41
	MICHELSON FOUND ANIMALS FOUNDA	00001	953969	339221	06/06/19	1,762.12
	MOUNTAIN STATES IMAGING LLC	00001	953731	338880	06/03/19	1,279.72
	MWI VETERINARY SUPPLY CO	00001	953970	339221	06/06/19	481.57
	MWI VETERINARY SUPPLY CO	00001	953971	339221	06/06/19	375.80
	MWI VETERINARY SUPPLY CO	00001	953972	339221	06/06/19	101.34
	PATTERSON VETERINARY SUPPLY IN	00001	953973	339221	06/06/19	863.20
	PATTERSON VETERINARY SUPPLY IN	00001	953974	339221	06/06/19	95.24
	PITNEY BOWES	00001	953479	338500	05/30/19	1,308.09
	POINT ALLIANCE LLC	00001	954029	339332	06/07/19	5,000.00
	PRUDENTIAL OVERALL SUPPLY	00001	953975	339221	06/06/19	55.28
	REMOTE MOWERS LLC	00001	954032	339332	06/07/19	22,000.00
	SAFEWARE INC	00001	953480	338500	05/30/19	271.99
	SAFEWARE INC	00001	953480	338500	05/30/19	835.00
	SAFEWARE INC	00001	953480	338500	05/30/19	559.69
	SANITY SOLUTIONS INC	00001	953977	339221	06/06/19	41,649.64
	SCHULTZ PUBLIC AFFAIRS LLC	00001	953963	339219	06/06/19	4,333.33
	SCYTL	00001	953780	338966	06/04/19	15,132.00
	SOUTHWESTERN PAINTING	00001	953760	338966	06/04/19	11,903.00
	SOUTHWESTERN PAINTING	00001	953761	338966	06/04/19	11,903.00

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<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	SOUTHWESTERN PAINTING	00001	953762	338966	06/04/19	11,903.00
	STATE OF COLORADO	00001	953771	338966	06/04/19	442.08
	STATE OF COLORADO	00001	953771	338966	06/04/19	268.03
	SUMMIT FOOD SERVICE LLC	00001	953491	338500	05/30/19	28,234.28
	SUMMIT FOOD SERVICE LLC	00001	953492	338500	05/30/19	27,978.02
	SUMMIT FOOD SERVICE LLC	00001	953493	338500	05/30/19	28,922.18
	T&G PECOS LLC	00001	953483	338500	05/30/19	1,800.00
	TIME TO CHANGE	00001	953951	339219	06/06/19	10,113.33
	TIME TO CHANGE	00001	953952	339219	06/06/19	6,764.00
	TIME TO CHANGE	00001	953953	339219	06/06/19	6,836.00
	TIME TO CHANGE	00001	953955	339219	06/06/19	6,088.00
	TOSHIBA FINANCIAL SERVICES	00001	953487	338500	05/30/19	2,871.02
	TOSHIBA FINANCIAL SERVICES	00001	953487	338500	05/30/19	1,506.04
	TOSHIBA FINANCIAL SERVICES	00001	953487	338500	05/30/19	187.44
	TOSHIBA FINANCIAL SERVICES	00001	953487	338500	05/30/19	822.76
	TRI STATE FIREWORKS INC	00001	953644	338846	06/03/19	42,000.00
	TYGRETT DEBRA R	00001	953485	338500	05/30/19	82.00
	TYGRETT DEBRA R	00001	953485	338500	05/30/19	328.00
	WOLD ARCHITECTS AND ENGINEERS	00001	953768	338966	06/04/19	9,664.20
	ZIVARO INC	00001	954030	339332	06/07/19	2,829.25
					Account Total	647,972.75
					Department Total	664,584.75

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<u>5</u>	<u>Golf Course Enterprise Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	PROFESSIONAL RECREATION MGMT I	00005	953593	338728	05/31/19	9,000.00
					Account Total	9,000.00
	Vendor Fee Sales Tax - State					
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	1,360.23
					Account Total	1,360.23
					Department Total	10,360.23

County of Adams
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<u>5026</u>	<u>Golf Course- Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Contract Employment					
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	24,054.01
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	2,866.55
					Account Total	26,920.56
	Gas & Electricity					
	UNITED POWER (UNION REA)	00005	953873	339127	06/05/19	4,039.80
	UNITED POWER (UNION REA)	00005	953875	339127	06/05/19	30.63
	UNITED POWER (UNION REA)	00005	953877	339127	06/05/19	3,728.28
	UNITED POWER (UNION REA)	00005	953878	339127	06/05/19	786.94
	UNITED POWER (UNION REA)	00005	953879	339127	06/05/19	139.42
	XCEL ENERGY	00005	953880	339127	06/05/19	446.75
	XCEL ENERGY	00005	953881	339127	06/05/19	265.47
					Account Total	9,437.29
	Grounds Maintenance					
	PCard JE	00005	953717	338867	05/23/19	34.28
	PCard JE	00005	953717	338867	05/23/19	8.58
					Account Total	42.86
	Membership Dues					
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	400.00
					Account Total	400.00
	Other Repair & Maint					
	PCard JE	00005	953717	338867	05/23/19	1,154.02
					Account Total	1,154.02
	Repair & Maint Supplies					
	PCard JE	00005	953717	338867	05/23/19	216.04
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	44.41
					Account Total	260.45
					Department Total	38,215.18

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<u>5021</u>	<u>Golf Course- Pro Shop</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	172.09
					Account Total	172.09
	Contract Employment					
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	17,993.68
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	2,153.02
					Account Total	20,146.70
	Equipment Rental					
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	187.67
					Account Total	187.67
	Gas & Electricity					
	UNITED POWER (UNION REA)	00005	953874	339127	06/05/19	2,673.34
	UNITED POWER (UNION REA)	00005	953876	339127	06/05/19	181.33
	XCEL ENERGY	00005	953881	339127	06/05/19	464.32
					Account Total	3,318.99
	Golf Merchandise					
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	991.32
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	413.21
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	2,680.36
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	899.87
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	358.72
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	43.45
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	879.53
					Account Total	6,266.46
	Golf Range Expense					
	PCard JE	00005	953717	338867	05/23/19	186.92
	PCard JE	00005	953717	338867	05/23/19	43.55
					Account Total	230.47
	Insurance Premiums					
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	554.32
					Account Total	554.32
	Janitorial Services					
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	647.53

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Vendor Payment Report

<u>5021</u>	<u>Golf Course- Pro Shop</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
					Account Total	647.53
	Membership Dues					
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	486.00
					Account Total	486.00
	Operating Supplies					
	PCard JE	00005	953717	338867	05/23/19	44.94
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	63.97
					Account Total	108.91
	Other Professional Serv					
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	819.00
					Account Total	819.00
	Postage & Freight					
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	165.00
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	14.50
					Account Total	179.50
	Repair & Maint Supplies					
	PCard JE	00005	953717	338867	05/23/19	99.95
	PCard JE	00005	953717	338867	05/23/19	23.99
	PCard JE	00005	953717	338867	05/23/19	69.91
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	28.16
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	336.00
					Account Total	558.01
	Security Service					
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	1,295.00
					Account Total	1,295.00
	Telephone					
	PCard JE	00005	953717	338867	05/23/19	655.41
	PCard JE	00005	953717	338867	05/23/19	120.48
	PROFESSIONAL RECREATION MGMT I	00005	953852	339093	06/05/19	613.63
					Account Total	1,389.52
					Department Total	36,360.17

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Vendor Payment Report

<u>3090</u>	<u>GF - Stormwater Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	PCard JE	00001	953717	338867	05/23/19	142.80
					Account Total	142.80
					Department Total	142.80

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Vendor Payment Report

<u>9252</u>	<u>GF- Admin/Org Support</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Membership Dues					
	PCard JE	00001	953717	338867	05/23/19	3,000.00
					Account Total	3,000.00
	Miscellaneous					
	PCard JE	00001	953717	338867	05/23/19	6,575.52
					Account Total	6,575.52
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	1,538.47
	PCard JE	00001	953717	338867	05/23/19	24.69
	PCard JE	00001	953717	338867	05/23/19	949.81
	PCard JE	00001	953717	338867	05/23/19	1,010.13
					Account Total	3,523.10
	Other Professional Serv					
	PCard JE	00001	953717	338867	05/23/19	273.00
					Account Total	273.00
	Printing External					
	PCard JE	00001	953717	338867	05/23/19	180.00
					Account Total	180.00
					Department Total	13,551.62

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<u>31</u>	<u>Head Start Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	COMMERCIAL CLEANING SYSTEMS	00031	953626	338846	06/03/19	56.30
	COMMERCIAL CLEANING SYSTEMS	00031	953627	338846	06/03/19	56.25
	COMMERCIAL CLEANING SYSTEMS	00031	953628	338846	06/03/19	32.62
	COMMERCIAL CLEANING SYSTEMS	00031	953629	338846	06/03/19	32.62
	COMMERCIAL CLEANING SYSTEMS	00031	953630	338846	06/03/19	224.99
	COMMERCIAL CLEANING SYSTEMS	00031	953632	338846	06/03/19	56.25
	COMMERCIAL CLEANING SYSTEMS	00031	953633	338846	06/03/19	4,007.00
	MEADOW GOLD DAIRY	00031	953935	339219	06/06/19	14.00
	MEADOW GOLD DAIRY	00031	953936	339219	06/06/19	126.00
	MEADOW GOLD DAIRY	00031	953937	339219	06/06/19	42.00
	MEADOW GOLD DAIRY	00031	953938	339219	06/06/19	42.00
	MEADOW GOLD DAIRY	00031	953939	339219	06/06/19	28.00
	MEADOW GOLD DAIRY	00031	953940	339219	06/06/19	70.00
	MEADOW GOLD DAIRY	00031	953941	339219	06/06/19	56.00
	MEADOW GOLD DAIRY	00031	953942	339219	06/06/19	69.00
	MEADOW GOLD DAIRY	00031	953944	339219	06/06/19	56.00
	MEADOW GOLD DAIRY	00031	953945	339219	06/06/19	14.00
	MEADOW GOLD DAIRY	00031	953946	339219	06/06/19	112.00
	MEADOW GOLD DAIRY	00031	953948	339219	06/06/19	138.00
	SYSCO DENVER	00031	953949	339219	06/06/19	129.54
	SYSCO DENVER	00031	953949	339219	06/06/19	87.50
					Account Total	5,450.07
					Department Total	5,450.07

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<u>500005007000</u>	<u>Human Serv Info Tech Comm Supp</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	PCard JE	00015	953717	338867	05/23/19	170.33
					Account Total	170.33
					Department Total	170.33

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Vendor Payment Report

1079	Human Services Center	Fund	Voucher	Batch No	GL Date	Amount
	Building Repair & Maint					
	PCard JE	00001	953717	338867	05/23/19	865.00
	PCard JE	00001	953717	338867	05/23/19	255.00
					Account Total	1,120.00
	Gas & Electricity					
	Energy Cap Bill ID=9625	00001	953825	339082	05/29/19	2,912.96
					Account Total	2,912.96
	Maintenance Contracts					
	PCard JE	00001	953717	338867	05/23/19	480.00
					Account Total	480.00
	Minor Equipment					
	PCard JE	00001	953717	338867	05/23/19	9.97
					Account Total	9.97
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	1,402.21
	PCard JE	00001	953717	338867	05/23/19	1,661.20
	PCard JE	00001	953717	338867	05/23/19	236.20
	PCard JE	00001	953717	338867	05/23/19	157.56
	PCard JE	00001	953717	338867	05/23/19	316.77
					Account Total	3,773.94
	Repair & Maint Supplies					
	PCard JE	00001	953717	338867	05/23/19	58.45
	PCard JE	00001	953717	338867	05/23/19	147.97
	PCard JE	00001	953717	338867	05/23/19	58.63
	PCard JE	00001	953717	338867	05/23/19	2.59
	PCard JE	00001	953717	338867	05/23/19	1.54
	PCard JE	00001	953717	338867	05/23/19	12.68
	PCard JE	00001	953717	338867	05/23/19	779.64
	PCard JE	00001	953717	338867	05/23/19	56.07
	PCard JE	00001	953717	338867	05/23/19	918.16
	PCard JE	00001	953717	338867	05/23/19	208.70
	PCard JE	00001	953717	338867	05/23/19	142.47
	PCard JE	00001	953717	338867	05/23/19	14.00
	PCard JE	00001	953717	338867	05/23/19	34.97

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Vendor Payment Report

<u>1079</u>	<u>Human Services Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00001	953717	338867	05/23/19	119.06
	PCard JE	00001	953717	338867	05/23/19	65.89
	PCard JE	00001	953717	338867	05/23/19	3.99
	PCard JE	00001	953717	338867	05/23/19	3.16
	PCard JE	00001	953717	338867	05/23/19	12.94
	PCard JE	00001	953717	338867	05/23/19	448.14
	PCard JE	00001	953717	338867	05/23/19	132.84
	PCard JE	00001	953717	338867	05/23/19	790.70
	PCard JE	00001	953717	338867	05/23/19	73.16
					Account Total	4,085.75
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=9586	00001	953610	338843	05/20/19	3,184.84
					Account Total	3,184.84
					Department Total	15,567.46

County of Adams
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<u>3060HCPFMEAC</u>	<u>HCPF Mem Exp Adv Council Grant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	PCard JE	00015	953717	338867	05/23/19	86.86
	PCard JE	00015	953717	338867	05/23/19	18.86
	PCard JE	00015	953717	338867	05/23/19	6.88-
	PCard JE	00015	953717	338867	05/23/19	6.49
	PCard JE	00015	953717	338867	05/23/19	19.48
					Account Total	124.81
					Department Total	124.81

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<u>935119</u>	<u>HHS Grant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Rental					
	COMMUNITY REACH CENTER FOUNDAT	00031	953648	338852	06/03/19	6,515.84
					Account Total	6,515.84
	Consultant Services					
	DENVER CHILDREN'S ADVOCACY CTR	00031	953649	338852	06/03/19	926.24
					Account Total	926.24
	Education & Training					
	PCard JE	00031	953717	338867	05/23/19	789.60
	PCard JE	00031	953717	338867	05/23/19	15.00
	PCard JE	00031	953717	338867	05/23/19	840.52
	PCard JE	00031	953717	338867	05/23/19	48.33
	PCard JE	00031	953717	338867	05/23/19	60.30
	PCard JE	00031	953717	338867	05/23/19	270.70
	PCard JE	00031	953717	338867	05/23/19	117.02
	PCard JE	00031	953717	338867	05/23/19	950.00
					Account Total	3,091.47
	Equipment Rental					
	PCard JE	00031	953717	338867	05/23/19	117.55
	PCard JE	00031	953717	338867	05/23/19	178.58
	PCard JE	00031	953717	338867	05/23/19	80.15
	PCard JE	00031	953717	338867	05/23/19	48.76
	PCard JE	00031	953717	338867	05/23/19	120.66
	PCard JE	00031	953717	338867	05/23/19	70.95
	PCard JE	00031	953717	338867	05/23/19	.66
	PCard JE	00031	953717	338867	05/23/19	32.36
	PCard JE	00031	953717	338867	05/23/19	41.73
	PCard JE	00031	953717	338867	05/23/19	227.01
	PCard JE	00031	953717	338867	05/23/19	227.01
	PCard JE	00031	953717	338867	05/23/19	227.01
	PCard JE	00031	953717	338867	05/23/19	227.01
	PCard JE	00031	953717	338867	05/23/19	258.66
	PCard JE	00031	953717	338867	05/23/19	167.99
	PCard JE	00031	953717	338867	05/23/19	170.33
	PCard JE	00031	953717	338867	05/23/19	406.06

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<u>935119</u>	<u>HHS Grant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
					Account Total	2,829.49
	Food Supplies					
	PCard JE	00031	953717	338867	05/23/19	117.19
					Account Total	117.19
	HS Parent Activity Expenses					
	PCard JE	00031	953717	338867	05/23/19	38.34
					Account Total	38.34
	Operating Supplies					
	CINTAS CORPORATION NO 2	00031	953647	338852	06/03/19	160.89
	PCard JE	00031	953717	338867	05/23/19	37.80
	PCard JE	00031	953717	338867	05/23/19	39.38
	PCard JE	00031	953717	338867	05/23/19	83.52
	PCard JE	00031	953717	338867	05/23/19	76.26
	PCard JE	00031	953717	338867	05/23/19	18.93
	PCard JE	00031	953717	338867	05/23/19	180.00
					Account Total	596.78
	Other Communications					
	PCard JE	00031	953717	338867	05/23/19	455.55
					Account Total	455.55
	Other Professional Serv					
	PCard JE	00031	953717	338867	05/23/19	136.66
					Account Total	136.66
	Repair & Maint Supplies					
	PCard JE	00031	953717	338867	05/23/19	28.69
	PCard JE	00031	953717	338867	05/23/19	43.82
	PCard JE	00031	953717	338867	05/23/19	281.52
					Account Total	354.03
	Special Events					
	PCard JE	00031	953717	338867	05/23/19	71.73
	PCard JE	00031	953717	338867	05/23/19	7.99
	PCard JE	00031	953717	338867	05/23/19	57.45
	PCard JE	00031	953717	338867	05/23/19	95.77
	PCard JE	00031	953717	338867	05/23/19	25.31
	PCard JE	00031	953717	338867	05/23/19	107.70

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<u>935119</u>	<u>HHS Grant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00031	953717	338867	05/23/19	14.34
	PCard JE	00031	953717	338867	05/23/19	21.99
	PCard JE	00031	953717	338867	05/23/19	95.68
	PCard JE	00031	953717	338867	05/23/19	20.96
	PCard JE	00031	953717	338867	05/23/19	11.68
	PCard JE	00031	953717	338867	05/23/19	31.00
	PCard JE	00031	953717	338867	05/23/19	28.35
	PCard JE	00031	953717	338867	05/23/19	11.49
	PCard JE	00031	953717	338867	05/23/19	193.48
					Account Total	794.92
	Subscrip/Publications					
	NULINX INTERNATIONAL	00031	953650	338852	06/03/19	675.75
	NULINX INTERNATIONAL	00031	953650	338852	06/03/19	119.25
					Account Total	795.00
	Telephone					
	CENTURY LINK	00031	953643	338852	06/03/19	391.01
	CENTURY LINK	00031	953645	338852	06/03/19	100.70
	CENTURY LINK	00031	953674	338852	06/03/19	355.86
	CENTURYLINK	00031	953646	338852	06/03/19	12.15
					Account Total	859.72
	Water/Sewer/Sanitation					
	PCard JE	00031	953717	338867	05/23/19	228.54
					Account Total	228.54
					Department Total	17,739.77

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<u>935619</u>	<u>HS CACFP</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Food Supplies					
	PCard JE	00031	953717	338867	05/23/19	73.24
	PCard JE	00031	953717	338867	05/23/19	3.98
	PCard JE	00031	953717	338867	05/23/19	8.02
	PCard JE	00031	953717	338867	05/23/19	24.90
					Account Total	110.14
	Operating Supplies					
	PCard JE	00031	953717	338867	05/23/19	263.14
	PCard JE	00031	953717	338867	05/23/19	22.56
					Account Total	285.70
					Department Total	395.84

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<u>306033504010</u>	<u>Income Maintenance Direct</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Printing External					
	PCard JE	00015	953717	338867	05/23/19	1,705.13
	PCard JE	00015	953717	338867	05/23/19	155.00
					Account Total	1,860.13
	Equipment Rental					
	PCard JE	00015	953717	338867	05/23/19	341.43
	PCard JE	00015	953717	338867	05/23/19	257.24
	PCard JE	00015	953717	338867	05/23/19	17.35
	PCard JE	00015	953717	338867	05/23/19	42.34
	PCard JE	00015	953717	338867	05/23/19	25.95
	PCard JE	00015	953717	338867	05/23/19	18.04
	PCard JE	00015	953717	338867	05/23/19	1.12
	PCard JE	00015	953717	338867	05/23/19	18.21
	PCard JE	00015	953717	338867	05/23/19	24.19
	PCard JE	00015	953717	338867	05/23/19	18.52
	PCard JE	00015	953717	338867	05/23/19	68.64
	PCard JE	00015	953717	338867	05/23/19	105.08
	PCard JE	00015	953717	338867	05/23/19	270.32
	PCard JE	00015	953717	338867	05/23/19	270.32
	PCard JE	00015	953717	338867	05/23/19	270.32
	PCard JE	00015	953717	338867	05/23/19	258.66
	PCard JE	00015	953717	338867	05/23/19	239.66
	PCard JE	00015	953717	338867	05/23/19	177.94
	PCard JE	00015	953717	338867	05/23/19	170.33
	PCard JE	00015	953717	338867	05/23/19	170.33
	PCard JE	00015	953717	338867	05/23/19	170.33
	PCard JE	00015	953717	338867	05/23/19	170.33
	PCard JE	00015	953717	338867	05/23/19	250.14
	PCard JE	00015	953717	338867	05/23/19	406.06
	PCard JE	00015	953717	338867	05/23/19	406.06
					Account Total	4,168.91
	Operating Supplies					
	PCard JE	00015	953717	338867	05/23/19	420.44
	PCard JE	00015	953717	338867	05/23/19	321.06
	PCard JE	00015	953717	338867	05/23/19	480.00

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<u>306033504010</u>	<u>Income Maintenance Direct</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00015	953717	338867	05/23/19	139.38
	PCard JE	00015	953717	338867	05/23/19	86.86
					Account Total	1,447.74
	Other Communications					
	PCard JE	00015	953717	338867	05/23/19	649.75
					Account Total	649.75
					Department Total	8,126.53

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<u>9260</u>	<u>Innovation & Sustainability</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	20.00
					Account Total	20.00
					Department Total	20.00

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8613	Insurance - UHC EPO Medical	Fund	Voucher	Batch No	GL Date	Amount
	Claims					
	UNITED HEALTH CARE INSURANCE C	00019	953785	338986	06/04/19	173,517.01
	UNITED HEALTH CARE INSURANCE C	00019	953786	338986	06/04/19	364,693.14
	UNITED HEALTH CARE INSURANCE C	00019	953872	339118	06/05/19	265,237.07
					Account Total	803,447.22
					Department Total	803,447.22

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<u>8622</u>	<u>Insurance -Benefits & Wellness</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00019	953717	338867	05/23/19	88.50
					Account Total	88.50
	Education & Training					
	PCard JE	00019	953717	338867	05/23/19	209.00
	PCard JE	00019	953717	338867	05/23/19	8.00
					Account Total	217.00
	Medical Services					
	ACCESS TO JUSTICE RESOURCE GRO	00019	953804	339011	06/04/19	1,990.00
	PCard JE	00019	953717	338867	05/23/19	14.00
	PCard JE	00019	953717	338867	05/23/19	47.50
	PCard JE	00019	953717	338867	05/23/19	17.99
	PCard JE	00019	953717	338867	05/23/19	20.71
	PCard JE	00019	953717	338867	05/23/19	7.98
	PCard JE	00019	953717	338867	05/23/19	464.99
					Account Total	2,563.17
	Membership Dues					
	PCard JE	00019	953717	338867	05/23/19	209.00
					Account Total	209.00
	Messenger/Delivery Service					
	PCard JE	00019	953717	338867	05/23/19	91.53
					Account Total	91.53
					Department Total	3,169.20

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<u>19</u>	<u>Insurance Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	COLO FRAME & SUSPENSION	00019	953956	339221	06/06/19	4,034.35
	COLO FRAME & SUSPENSION	00019	953957	339221	06/06/19	3,952.05
	EMPLOYERS UNITY LLC	00019	954026	339332	06/07/19	1,807.00
	FIT SOLDIERS FITNESS BOOT CAMP	00019	954036	339332	06/07/19	2,750.00
	NATHAN DUMM & MAYER PC	00019	954028	339332	06/07/19	118.59
					Account Total	12,661.99
					Department Total	12,661.99

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<u>8614</u>	<u>Insurance- Delta Dental</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Self-Insurance Claims					
	DELTA DENTAL OF COLO	00019	953805	339012	06/04/19	22,917.36
	DELTA DENTAL OF COLO	00019	953805	339012	06/04/19	208.40
					Account Total	23,125.76
					Department Total	23,125.76

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<u>8611</u>	<u>Insurance- Property/Casualty</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Auto Physical Damage					
	FINELINE GRAPHICS	00019	953927	339152	06/05/19	351.25
	PCard JE	00019	953717	338867	05/23/19	2,117.73
					Account Total	2,468.98
	Prop Claims-Under Deduct					
	PCard JE	00019	953717	338867	05/23/19	1,635.00
					Account Total	1,635.00
					Department Total	4,103.98

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<u>1061</u>	<u>IT Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Education & Training					
	PCard JE	00001	953717	338867	05/23/19	401.60
	PCard JE	00001	953717	338867	05/23/19	28.45
	PCard JE	00001	953717	338867	05/23/19	6.29
					Account Total	436.34
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	44.06
	PCard JE	00001	953717	338867	05/23/19	3.14
	PCard JE	00001	953717	338867	05/23/19	4.47
	PCard JE	00001	953717	338867	05/23/19	227.00
	PCard JE	00001	953717	338867	05/23/19	167.99
	PCard JE	00001	953717	338867	05/23/19	170.33
					Account Total	616.99
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	32.68
	PCard JE	00001	953717	338867	05/23/19	5.74
	PCard JE	00001	953717	338867	05/23/19	36.86
	PCard JE	00001	953717	338867	05/23/19	6.16
	PCard JE	00001	953717	338867	05/23/19	25.44
	PCard JE	00001	953717	338867	05/23/19	17.52
	PCard JE	00001	953717	338867	05/23/19	8.49
	PCard JE	00001	953717	338867	05/23/19	58.28
	PCard JE	00001	953717	338867	05/23/19	19.24
	PCard JE	00001	953717	338867	05/23/19	19.30
					Account Total	229.71
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	375.00
					Account Total	375.00
					Department Total	1,658.04

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<u>1057</u>	<u>IT Application Support</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Education & Training					
	PCard JE	00001	953717	338867	05/23/19	120.00
					Account Total	120.00
	Software and Licensing					
	PCard JE	00001	953717	338867	05/23/19	90.00
					Account Total	90.00
					Department Total	210.00

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<u>1056</u>	<u>IT Help Desk & Servers</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Computers					
	PCard JE	00001	953717	338867	05/23/19	3,576.00
	PCard JE	00001	953717	338867	05/23/19	784.80
	PCard JE	00001	953717	338867	05/23/19	4,517.02
	PCard JE	00001	953717	338867	05/23/19	200.00
	PCard JE	00001	953717	338867	05/23/19	48.50
	PCard JE	00001	953717	338867	05/23/19	108.00
	PCard JE	00001	953717	338867	05/23/19	799.60
					Account Total	10,033.92
	Maintenance Contracts					
	PCard JE	00001	953717	338867	05/23/19	1,519.44
	PCard JE	00001	953717	338867	05/23/19	3.76
					Account Total	1,523.20
	Minor Equipment					
	PCard JE	00001	953717	338867	05/23/19	779.87
					Account Total	779.87
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	9.99
					Account Total	9.99
	Other Communications					
	PCard JE	00001	953717	338867	05/23/19	154.65
					Account Total	154.65
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	993.03
	PCard JE	00001	953717	338867	05/23/19	993.03
	PCard JE	00001	953717	338867	05/23/19	1,097.03
					Account Total	3,083.09
					Department Total	15,584.72

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<u>1058</u>	<u>IT Network/Telecom</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Communications Equipment					
	PCard JE	00001	953717	338867	05/23/19	850.00
	PCard JE	00001	953717	338867	05/23/19	850.00
	PCard JE	00001	953717	338867	05/23/19	84.80
	PCard JE	00001	953717	338867	05/23/19	1,013.58
					Account Total	2,798.38
	Consultant Services					
	COMMUNICATION CONSTRUCTION & E	00001	953740	338885	06/03/19	5,540.00
					Account Total	5,540.00
	ISP Services					
	PCard JE	00001	953717	338867	05/23/19	67.54
					Account Total	67.54
	Other Communications					
	PCard JE	00001	953717	338867	05/23/19	524.50
	PCard JE	00001	953717	338867	05/23/19	1,396.00
	PCard JE	00001	953717	338867	05/23/19	585.00
	PCard JE	00001	953717	338867	05/23/19	315.00
	PCard JE	00001	953717	338867	05/23/19	196.75
					Account Total	3,017.25
	Repair & Maint Supplies					
	PCard JE	00001	953717	338867	05/23/19	275.00
					Account Total	275.00
	Software					
	PCard JE	00001	953717	338867	05/23/19	150.00
					Account Total	150.00
	Telephone					
	PCard JE	00001	953717	338867	05/23/19	35.97
	PCard JE	00001	953717	338867	05/23/19	22,221.80
	WINDSTREAM COMMUNICATIONS	00001	953712	338861	06/03/19	2,837.11
					Account Total	25,094.88
					Department Total	36,943.05

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<u>305091008000</u>	<u>IV-D Admin</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	PCard JE	00015	953717	338867	05/23/19	88.65
					Account Total	88.65
	Education & Training					
	PCard JE	00015	953717	338867	05/23/19	175.00
					Account Total	175.00
	Equipment Rental					
	PCard JE	00015	953717	338867	05/23/19	31.72
	PCard JE	00015	953717	338867	05/23/19	5.89
	PCard JE	00015	953717	338867	05/23/19	22.01
	PCard JE	00015	953717	338867	05/23/19	140.44
	PCard JE	00015	953717	338867	05/23/19	270.32
	PCard JE	00015	953717	338867	05/23/19	177.94
	PCard JE	00015	953717	338867	05/23/19	177.94
	PCard JE	00015	953717	338867	05/23/19	406.06
					Account Total	1,232.32
	Operating Supplies					
	PCard JE	00015	953717	338867	05/23/19	292.77
	PCard JE	00015	953717	338867	05/23/19	721.49
	PCard JE	00015	953717	338867	05/23/19	52.82
	PCard JE	00015	953717	338867	05/23/19	400.70
	PCard JE	00015	953717	338867	05/23/19	21.95
					Account Total	1,489.73
	Printing External					
	PCard JE	00015	953717	338867	05/23/19	600.00
					Account Total	600.00
	Registration Fees					
	PCard JE	00015	953717	338867	05/23/19	3,234.00
					Account Total	3,234.00
	Travel & Transportation					
	PCard JE	00015	953717	338867	05/23/19	225.47
	PCard JE	00015	953717	338867	05/23/19	114.50
	PCard JE	00015	953717	338867	05/23/19	15.00
	PCard JE	00015	953717	338867	05/23/19	250.60

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<u>305091008000</u>	<u>IV-D Admin</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
Account Total						605.57
Department Total						7,425.27

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<u>2045E8941298</u>	<u>Kinship Supports-Intervention</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	County Client/Provider					
	PCard JE	00015	953717	338867	05/23/19	125.91
	PCard JE	00015	953717	338867	05/23/19	22.99
	PCard JE	00015	953717	338867	05/23/19	42.25
	PCard JE	00015	953717	338867	05/23/19	470.94
	PCard JE	00015	953717	338867	05/23/19	53.38
	PCard JE	00015	953717	338867	05/23/19	40.94
	PCard JE	00015	953717	338867	05/23/19	228.78
	PCard JE	00015	953717	338867	05/23/19	104.97
	PCard JE	00015	953717	338867	05/23/19	119.58
	PCard JE	00015	953717	338867	05/23/19	169.99
	PCard JE	00015	953717	338867	05/23/19	42.25-
	PCard JE	00015	953717	338867	05/23/19	39.24
	PCard JE	00015	953717	338867	05/23/19	189.99
	PCard JE	00015	953717	338867	05/23/19	1,529.95
	PCard JE	00015	953717	338867	05/23/19	477.86
	PCard JE	00015	953717	338867	05/23/19	41.62
	PCard JE	00015	953717	338867	05/23/19	50.11
	PCard JE	00015	953717	338867	05/23/19	166.28
	PCard JE	00015	953717	338867	05/23/19	57.06
	PCard JE	00015	953717	338867	05/23/19	27.98
	PCard JE	00015	953717	338867	05/23/19	79.99
	PCard JE	00015	953717	338867	05/23/19	51.78
	PCard JE	00015	953717	338867	05/23/19	63.26
	PCard JE	00015	953717	338867	05/23/19	58.19
	PCard JE	00015	953717	338867	05/23/19	2.29
	PCard JE	00015	953717	338867	05/23/19	250.74
	PCard JE	00015	953717	338867	05/23/19	308.33
	PCard JE	00015	953717	338867	05/23/19	349.00
	PCard JE	00015	953717	338867	05/23/19	252.00
	PCard JE	00015	953717	338867	05/23/19	285.01
	PCard JE	00015	953717	338867	05/23/19	39.99
	PCard JE	00015	953717	338867	05/23/19	99.94
	PCard JE	00015	953717	338867	05/23/19	134.98
	PCard JE	00015	953717	338867	05/23/19	39.99
	PCard JE	00015	953717	338867	05/23/19	75.54

County of Adams
Vendor Payment Report

<u>2045E8941298</u>	<u>Kinship Supports-Intervention</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00015	953717	338867	05/23/19	14.00
	PCard JE	00015	953717	338867	05/23/19	32.44
	PCard JE	00015	953717	338867	05/23/19	27.47
	PCard JE	00015	953717	338867	05/23/19	238.00
	PCard JE	00015	953717	338867	05/23/19	28.99
	PCard JE	00015	953717	338867	05/23/19	471.95
	PCard JE	00015	953717	338867	05/23/19	32.44-
	PCard JE	00015	953717	338867	05/23/19	49.98-
	PCard JE	00015	953717	338867	05/23/19	77.96
	PCard JE	00015	953717	338867	05/23/19	75.97
	PCard JE	00015	953717	338867	05/23/19	39.63
	PCard JE	00015	953717	338867	05/23/19	39.99
	PCard JE	00015	953717	338867	05/23/19	99.39
	PCard JE	00015	953717	338867	05/23/19	23.58
	PCard JE	00015	953717	338867	05/23/19	24.51
	PCard JE	00015	953717	338867	05/23/19	12.48
	PCard JE	00015	953717	338867	05/23/19	32.98
	PCard JE	00015	953717	338867	05/23/19	10.00
	PCard JE	00015	953717	338867	05/23/19	9.99
	PCard JE	00015	953717	338867	05/23/19	97.31
	PCard JE	00015	953717	338867	05/23/19	10.99
	PCard JE	00015	953717	338867	05/23/19	9.99
	PCard JE	00015	953717	338867	05/23/19	27.98
	PCard JE	00015	953717	338867	05/23/19	12.99
	PCard JE	00015	953717	338867	05/23/19	179.46
	PCard JE	00015	953717	338867	05/23/19	38.50
	PCard JE	00015	953717	338867	05/23/19	14.99
	PCard JE	00015	953717	338867	05/23/19	171.73
	PCard JE	00015	953717	338867	05/23/19	102.40
	PCard JE	00015	953717	338867	05/23/19	131.55
Account Total						7,983.40
Department Total						7,983.40

County of Adams
Vendor Payment Report

<u>1081</u>	<u>Long Range Strategic Planning</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	73.85
	PCard JE	00001	953717	338867	05/23/19	80.33
					Account Total	154.18
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	575.70
					Account Total	575.70
					Department Total	729.88

County of Adams
Vendor Payment Report

<u>3080L3005200</u>	<u>LEAP Outreach</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Advertising					
	PCard JE	00015	953717	338867	05/23/19	1,000.00
					Account Total	1,000.00
					Department Total	1,000.00

County of Adams
Vendor Payment Report

<u>700005007000</u>	<u>Mail/File Svcs Common Support</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	PCard JE	00015	953717	338867	05/23/19	29.55
					Account Total	29.55
					Department Total	29.55

County of Adams
Vendor Payment Report

<u>1019</u>	<u>Mailroom & Dock</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	2,419.23
	PCard JE	00001	953717	338867	05/23/19	1.78
	PCard JE	00001	953717	338867	05/23/19	227.01
					Account Total	2,648.02
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	23.70
					Account Total	23.70
	Postage & Freight					
	PITNEY BOWES BANK	00001	953865	339105	06/05/19	16,000.00
					Account Total	16,000.00
					Department Total	18,671.72

County of Adams
Vendor Payment Report

<u>97813</u>	<u>MSFW Housing Inspection</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Travel & Transportation					
	PCard JE	00035	953717	338867	05/23/19	446.82
	PCard JE	00035	953717	338867	05/23/19	3.55
	PCard JE	00035	953717	338867	05/23/19	446.82
					Account Total	897.19
					Department Total	897.19

County of Adams
Vendor Payment Report

<u>9253</u>	<u>Office of Cultural Affairs</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	10.68
	PCard JE	00001	953717	338867	05/23/19	88.95
	PCard JE	00001	953717	338867	05/23/19	53.65
	PCard JE	00001	953717	338867	05/23/19	15.00
	PCard JE	00001	953717	338867	05/23/19	48.50
	PCard JE	00001	953717	338867	05/23/19	10.00
	PCard JE	00001	953717	338867	05/23/19	198.00
	PCard JE	00001	953717	338867	05/23/19	157.65
					Account Total	582.43
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	21.00
	PCard JE	00001	953717	338867	05/23/19	4.00
	PCard JE	00001	953717	338867	05/23/19	83.75
					Account Total	108.75
	Special Events					
	PCard JE	00001	953717	338867	05/23/19	132.71
	PCard JE	00001	953717	338867	05/23/19	17.80
	PCard JE	00001	953717	338867	05/23/19	6.99
	PCard JE	00001	953717	338867	05/23/19	286.28
					Account Total	443.78
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	288.00
	PCard JE	00001	953717	338867	05/23/19	50.00
					Account Total	338.00
					Department Total	1,472.96

County of Adams
Vendor Payment Report

1190	One-Stop Customer Service Cent	Fund	Voucher	Batch No	GL Date	Amount
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	73.85
	PCard JE	00001	953717	338867	05/23/19	80.33
	PCard JE	00001	953717	338867	05/23/19	77.96
					Account Total	232.14
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	13.25
					Account Total	13.25
					Department Total	245.39

County of Adams
Vendor Payment Report

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<u>6107</u>	<u>Open Space Projects</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	PCard JE	00027	953717	338867	05/23/19	20.00
	PCard JE	00027	953717	338867	05/23/19	20.55
					Account Total	40.55
	Improv Other Than Bldgs					
	PCard JE	00027	953717	338867	05/23/19	1,154.50
					Account Total	1,154.50
	Infrastruc Rep & Maint					
	PCard JE	00027	953717	338867	05/23/19	708.00
					Account Total	708.00
	Land					
	FULTON IRRIGATING DITCH CO	00027	953569	338659	05/31/19	150.00
					Account Total	150.00
					Department Total	2,053.05

County of Adams
Vendor Payment Report

<u>27</u>	<u>Open Space Projects Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	ENERGES SERVICES LLC	00027	953981	339234	06/06/19	57,045.00
	ENERGES SERVICES LLC	00027	954025	339332	06/07/19	105,955.45
					Account Total	163,000.45
	Retainages Payable					
	ENERGES SERVICES LLC	00027	953981	339234	06/06/19	2,852.25-
	ENERGES SERVICES LLC	00027	954025	339332	06/07/19	5,297.77-
					Account Total	8,150.02-
					Department Total	154,850.43

County of Adams
Vendor Payment Report

6201	Open Space Tax- Admin	Fund	Voucher	Batch No	GL Date	Amount
	Business Meetings					
	PCard JE	00028	953717	338867	05/23/19	5.98
	PCard JE	00028	953717	338867	05/23/19	342.54
	PCard JE	00028	953717	338867	05/23/19	25.54-
					Account Total	322.98
	Public Relations					
	PCard JE	00028	953717	338867	05/23/19	189.55
					Account Total	189.55
					Department Total	512.53

County of Adams
Vendor Payment Report

<u>1111</u>	<u>Parks Facilities</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	PCard JE	00001	953717	338867	05/23/19	3.95
	PCard JE	00001	953717	338867	05/23/19	138.00
	PCard JE	00001	953717	338867	05/23/19	1,500.00
	PCard JE	00001	953717	338867	05/23/19	2,650.00
					Account Total	4,291.95
	Gas & Electricity					
	Energy Cap Bill ID=9588	00001	953614	338843	05/24/19	42.02
	Energy Cap Bill ID=9589	00001	953615	338843	05/23/19	162.03
	Energy Cap Bill ID=9600	00001	953826	339082	05/29/19	75.11
	Energy Cap Bill ID=9604	00001	953827	339082	05/29/19	1,115.62
	Energy Cap Bill ID=9605	00001	953828	339082	05/29/19	1,258.45
	Energy Cap Bill ID=9606	00001	953829	339082	05/29/19	5,633.51
	Energy Cap Bill ID=9607	00001	953830	339082	05/29/19	102.90
	Energy Cap Bill ID=9610	00001	953831	339082	05/29/19	20.00
	Energy Cap Bill ID=9611	00001	953832	339082	05/24/19	162.53
	Energy Cap Bill ID=9617	00001	953833	339082	05/24/19	416.28
	Energy Cap Bill ID=9620	00001	953834	339082	05/29/19	377.78
	Energy Cap Bill ID=9623	00001	953835	339082	05/24/19	182.90
	Energy Cap Bill ID=9627	00001	953836	339082	05/24/19	418.85
					Account Total	9,967.98
	Minor Equipment					
	PCard JE	00001	953717	338867	05/23/19	129.00
	PCard JE	00001	953717	338867	05/23/19	328.94
	PCard JE	00001	953717	338867	05/23/19	298.12
	PCard JE	00001	953717	338867	05/23/19	304.29
					Account Total	1,060.35
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	55.10
	PCard JE	00001	953717	338867	05/23/19	138.78
	PCard JE	00001	953717	338867	05/23/19	176.40
					Account Total	370.28
	Repair & Maint Supplies					
	PCard JE	00001	953717	338867	05/23/19	47.59

County of Adams
Vendor Payment Report

<u>1111</u>	<u>Parks Facilities</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00001	953717	338867	05/23/19	178.09
	PCard JE	00001	953717	338867	05/23/19	674.67
	PCard JE	00001	953717	338867	05/23/19	39.60
	PCard JE	00001	953717	338867	05/23/19	15.96
	PCard JE	00001	953717	338867	05/23/19	49.32
	PCard JE	00001	953717	338867	05/23/19	347.97
	PCard JE	00001	953717	338867	05/23/19	143.82
	PCard JE	00001	953717	338867	05/23/19	320.98
	PCard JE	00001	953717	338867	05/23/19	8.36
	PCard JE	00001	953717	338867	05/23/19	124.87
	PCard JE	00001	953717	338867	05/23/19	98.47
	PCard JE	00001	953717	338867	05/23/19	949.57
	PCard JE	00001	953717	338867	05/23/19	47.23
					Account Total	3,046.50
					Department Total	18,737.06

County of Adams
Vendor Payment Report

<u>1015</u>	<u>People Services</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Advertising					
	PCard JE	00001	953717	338867	05/23/19	150.00
	PCard JE	00001	953717	338867	05/23/19	1,000.00
	PCard JE	00001	953717	338867	05/23/19	100.00
	PCard JE	00001	953717	338867	05/23/19	359.00
	PCard JE	00001	953717	338867	05/23/19	325.00
	PCard JE	00001	953717	338867	05/23/19	295.00
	PCard JE	00001	953717	338867	05/23/19	99.00
	PCard JE	00001	953717	338867	05/23/19	76.50
	PCard JE	00001	953717	338867	05/23/19	292.00
	PCard JE	00001	953717	338867	05/23/19	99.95
	PCard JE	00001	953717	338867	05/23/19	50.00
	PCard JE	00001	953717	338867	05/23/19	265.00
					Account Total	3,111.45
	Books					
	PCard JE	00001	953717	338867	05/23/19	59.14
					Account Total	59.14
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	30.98
	PCard JE	00001	953717	338867	05/23/19	88.52
	PCard JE	00001	953717	338867	05/23/19	49.00
					Account Total	168.50
	CIA					
	PCard JE	00001	953717	338867	05/23/19	83.96
	PCard JE	00001	953717	338867	05/23/19	11.88
					Account Total	95.84
	Education & Training					
	PCard JE	00001	953717	338867	05/23/19	205.00
	PCard JE	00001	953717	338867	05/23/19	295.00
	PCard JE	00001	953717	338867	05/23/19	425.00
	PCard JE	00001	953717	338867	05/23/19	1,800.00
					Account Total	2,725.00
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	135.36

County of Adams
Vendor Payment Report

<u>1015</u>	<u>People Services</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00001	953717	338867	05/23/19	74.21
	PCard JE	00001	953717	338867	05/23/19	191.57
	PCard JE	00001	953717	338867	05/23/19	191.57
					Account Total	592.71
	EE of Season					
	PCard JE	00001	953717	338867	05/23/19	84.96
					Account Total	84.96
	EO					
	PCard JE	00001	953717	338867	05/23/19	129.38
					Account Total	129.38
	Misc					
	PCard JE	00001	953717	338867	05/23/19	72.46
	PCard JE	00001	953717	338867	05/23/19	174.08
	PCard JE	00001	953717	338867	05/23/19	320.70
	PCard JE	00001	953717	338867	05/23/19	242.52
					Account Total	809.76
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	258.00
	PCard JE	00001	953717	338867	05/23/19	94.77
	PCard JE	00001	953717	338867	05/23/19	27.54
	PCard JE	00001	953717	338867	05/23/19	22.48
	PCard JE	00001	953717	338867	05/23/19	81.59
	PCard JE	00001	953717	338867	05/23/19	28.48
	PCard JE	00001	953717	338867	05/23/19	62.23
	PCard JE	00001	953717	338867	05/23/19	6.51
	PCard JE	00001	953717	338867	05/23/19	222.75
					Account Total	804.35
	Other Professional Serv					
	PCard JE	00001	953717	338867	05/23/19	210.00
	PCard JE	00001	953717	338867	05/23/19	71.90
	PCard JE	00001	953717	338867	05/23/19	4,225.96
					Account Total	4,507.86
	Software and Licensing					
	PCard JE	00001	953717	338867	05/23/19	180.26

County of Adams
Vendor Payment Report

<u>1015</u>	<u>People Services</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
					Account Total	180.26
	Special Events					
	PCard JE	00001	953717	338867	05/23/19	18.99
	PCard JE	00001	953717	338867	05/23/19	446.46
					Account Total	465.45
	Subscrip/Publications					
	PCard JE	00001	953717	338867	05/23/19	348.00
					Account Total	348.00
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	739.14
	PCard JE	00001	953717	338867	05/23/19	168.94
	PCard JE	00001	953717	338867	05/23/19	321.96
					Account Total	1,230.04
	Tuition Reimbursement					
	KELLY-YNIGUEZ COLLEEN	00001	954006	339259	06/06/19	515.70
	ARMSTRONG OLIVER	00001	954008	339259	06/06/19	1,654.69
	JARAMILLO RENAE	00001	954004	339259	06/06/19	1,280.02
	SCHAGER BRETT	00001	954009	339259	06/06/19	2,500.00
	TRAXLER TAMARA	00001	954005	339259	06/06/19	1,167.93
	WEBBER SARAH E	00001	954003	339259	06/06/19	1,124.81
					Account Total	8,243.15
					Department Total	23,555.85

County of Adams
Vendor Payment Report

<u>1034</u>	<u>People Services-Social Svcs</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	32.41
					Account Total	32.41
	Education & Training					
	PCard JE	00001	953717	338867	05/23/19	2,820.00
					Account Total	2,820.00
	Membership Dues					
	PCard JE	00001	953717	338867	05/23/19	209.00
					Account Total	209.00
	Subscrip/Publications					
	PCard JE	00001	953717	338867	05/23/19	39.00
					Account Total	39.00
					Department Total	3,100.41

County of Adams
Vendor Payment Report

9250	Performance & Innovation	Fund	Voucher	Batch No	GL Date	Amount
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	1,442.00
					Account Total	1,442.00
					Department Total	1,442.00

County of Adams
Vendor Payment Report

<u>2045E8901298</u>	<u>Permancy Rountables-Intervent</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00015	953717	338867	05/23/19	23.74
	PCard JE	00015	953717	338867	05/23/19	3.00
					Account Total	26.74
	Operating Supplies					
	PCard JE	00015	953717	338867	05/23/19	186.43
	PCard JE	00015	953717	338867	05/23/19	9.89-
	PCard JE	00015	953717	338867	05/23/19	14.97
	PCard JE	00015	953717	338867	05/23/19	149.71
					Account Total	341.22
					Department Total	367.96

County of Adams
Vendor Payment Report

<u>1039</u>	<u>Poverty Reduction</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	31.20
	PCard JE	00001	953717	338867	05/23/19	74.58
	PCard JE	00001	953717	338867	05/23/19	15.00
	PCard JE	00001	953717	338867	05/23/19	17.83
	PCard JE	00001	953717	338867	05/23/19	106.10
					Account Total	244.71
	Education & Training					
	PCard JE	00001	953717	338867	05/23/19	768.69
	PCard JE	00001	953717	338867	05/23/19	131.76
					Account Total	900.45
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	168.42
	PCard JE	00001	953717	338867	05/23/19	5.00
	PCard JE	00001	953717	338867	05/23/19	357.92
	PCard JE	00001	953717	338867	05/23/19	324.25
	PCard JE	00001	953717	338867	05/23/19	146.46
	PCard JE	00001	953717	338867	05/23/19	40.00
	PCard JE	00001	953717	338867	05/23/19	409.50
	PCard JE	00001	953717	338867	05/23/19	48.00
	PCard JE	00001	953717	338867	05/23/19	49.99
					Account Total	1,549.54
	Special Events					
	PCard JE	00001	953717	338867	05/23/19	325.00
	PCard JE	00001	953717	338867	05/23/19	39.99
	PCard JE	00001	953717	338867	05/23/19	50.77
					Account Total	415.76
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	15.00
	PCard JE	00001	953717	338867	05/23/19	575.70
					Account Total	590.70
					Department Total	3,701.16

County of Adams
Vendor Payment Report

<u>1068</u>	<u>Public Trustee</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	9.09
	PCard JE	00001	953717	338867	05/23/19	239.66
					Account Total	248.75
					Department Total	248.75

County of Adams
Vendor Payment Report

<u>2061</u>	<u>PKS - Weed & Pest</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	127.50
	PCard JE	00001	953717	338867	05/23/19	179.35
	PCard JE	00001	953717	338867	05/23/19	523.24
	PCard JE	00001	953717	338867	05/23/19	103.57
	PCard JE	00001	953717	338867	05/23/19	260.50
					Account Total	1,194.16
	Other Communications					
	PCard JE	00001	953717	338867	05/23/19	80.02
					Account Total	80.02
	Other Professional Serv					
	PCard JE	00001	953717	338867	05/23/19	570.00
	PCard JE	00001	953717	338867	05/23/19	3,887.00
					Account Total	4,457.00
					Department Total	5,731.18

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<u>5011</u>	<u>PKS- Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	23.23
	PCard JE	00001	953717	338867	05/23/19	43.25
	PCard JE	00001	953717	338867	05/23/19	68.69
	PCard JE	00001	953717	338867	05/23/19	84.18
	PCard JE	00001	953717	338867	05/23/19	21.14
					Account Total	240.49
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	111.74
	PCard JE	00001	953717	338867	05/23/19	270.32
					Account Total	382.06
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	316.25
	PCard JE	00001	953717	338867	05/23/19	14.94
	PCard JE	00001	953717	338867	05/23/19	28.00
	PCard JE	00001	953717	338867	05/23/19	25.00
	PCard JE	00001	953717	338867	05/23/19	31.87
	PCard JE	00001	953717	338867	05/23/19	310.00
	PCard JE	00001	953717	338867	05/23/19	48.50
	PCard JE	00001	953717	338867	05/23/19	27.90
	PCard JE	00001	953717	338867	05/23/19	10.64
	PCard JE	00001	953717	338867	05/23/19	21.26
	PCard JE	00001	953717	338867	05/23/19	5.13
	PCard JE	00001	953717	338867	05/23/19	10.12
					Account Total	849.61
	Special Events					
	PCard JE	00001	953717	338867	05/23/19	150.00
					Account Total	150.00
					Department Total	1,622.16

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<u>5010</u>	<u>PKS- Fair</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Education & Training					
	PCard JE	00001	953717	338867	05/23/19	21.00
	PCard JE	00001	953717	338867	05/23/19	20.00
	PCard JE	00001	953717	338867	05/23/19	20.00
					Account Total	61.00
	Event Services					
	PCard JE	00001	953717	338867	05/23/19	85.23
	PCard JE	00001	953717	338867	05/23/19	14.96
	PCard JE	00001	953717	338867	05/23/19	14.36
	PCard JE	00001	953717	338867	05/23/19	44.76
					Account Total	159.31
	Food Supplies					
	PCard JE	00001	953717	338867	05/23/19	122.82
					Account Total	122.82
	Licenses and Fees					
	PCard JE	00001	953717	338867	05/23/19	10.66
					Account Total	10.66
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	1,182.00
	PCard JE	00001	953717	338867	05/23/19	399.95
					Account Total	1,581.95
	Printing External					
	PCard JE	00001	953717	338867	05/23/19	2,010.00
					Account Total	2,010.00
	Queen Pageant Expense					
	PCard JE	00001	953717	338867	05/23/19	218.00
	PCard JE	00001	953717	338867	05/23/19	77.00
					Account Total	295.00
	Regional Park Rentals					
	CLEAN CULTURE EVENTS	00001	953202	338372	05/29/19	500.00
	DONALDSON TRACY	00001	953203	338372	05/29/19	400.00
	GARCIA PERLA	00001	953204	338372	05/29/19	75.00
	HOLIFIELD TIA	00001	953205	338372	05/29/19	75.00

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5010	PKS- Fair	Fund	Voucher	Batch No	GL Date	Amount
	INNOVATIONS AND OPTIONS	00001	953206	338372	05/29/19	400.00
	JIRON MARCELLINA	00001	953207	338372	05/29/19	75.00
	NUANES ROBERTO	00001	953209	338372	05/29/19	75.00
	PEREZ CHASSIDI	00001	953210	338372	05/29/19	75.00
	PETERSON NEAL	00001	953211	338372	05/29/19	150.00
	PINA EMILIA	00001	953212	338372	05/29/19	75.00
	RALPH BRENDA	00001	953213	338372	05/29/19	400.00
	SCHOOL DISTRICT 27J	00001	953214	338372	05/29/19	400.00
					Account Total	2,700.00
	Sheriff Park Security Fees					
	MEDRANO MARY	00001	953208	338372	05/29/19	882.00
					Account Total	882.00
	Special Events					
	BLOCK GREGGORY R	00001	953570	338663	05/31/19	3,000.00
	BROWN EXIE R JR	00001	953571	338663	05/31/19	1,250.00
	PCard JE	00001	953717	338867	05/23/19	3,000.00
	PCard JE	00001	953717	338867	05/23/19	420.60
					Account Total	7,670.60
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	40.00
	PCard JE	00001	953717	338867	05/23/19	21.00
	PCard JE	00001	953717	338867	05/23/19	5.00
	PCard JE	00001	953717	338867	05/23/19	20.00
					Account Total	86.00
					Department Total	15,579.34

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<u>5015</u>	<u>PKS- Grounds Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	PCard JE	00001	953717	338867	05/23/19	147.37
	PCard JE	00001	953717	338867	05/23/19	119.94
					Account Total	267.31
	Maintenance Contracts					
	PCard JE	00001	953717	338867	05/23/19	2,600.00
	PCard JE	00001	953717	338867	05/23/19	1,224.00
	PCard JE	00001	953717	338867	05/23/19	55.60
	PCard JE	00001	953717	338867	05/23/19	178.00
	PCard JE	00001	953717	338867	05/23/19	1,770.00
					Account Total	5,827.60
	Minor Equipment					
	PCard JE	00001	953717	338867	05/23/19	99.98
	PCard JE	00001	953717	338867	05/23/19	234.96
					Account Total	334.94
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	4,888.85
	PCard JE	00001	953717	338867	05/23/19	450.00
	PCard JE	00001	953717	338867	05/23/19	2,185.52
	PCard JE	00001	953717	338867	05/23/19	115.84
	PCard JE	00001	953717	338867	05/23/19	26.27
	PCard JE	00001	953717	338867	05/23/19	12.30
	PCard JE	00001	953717	338867	05/23/19	358.20
	PCard JE	00001	953717	338867	05/23/19	107.50
	PCard JE	00001	953717	338867	05/23/19	87.98
	PCard JE	00001	953717	338867	05/23/19	60.48
	PCard JE	00001	953717	338867	05/23/19	87.98
	PCard JE	00001	953717	338867	05/23/19	26.82
	PCard JE	00001	953717	338867	05/23/19	612.56
	PCard JE	00001	953717	338867	05/23/19	18.23
	PCard JE	00001	953717	338867	05/23/19	1,270.00
	PCard JE	00001	953717	338867	05/23/19	550.00
	PCard JE	00001	953717	338867	05/23/19	117.07
	PCard JE	00001	953717	338867	05/23/19	275.00
	PCard JE	00001	953717	338867	05/23/19	324.00

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<u>5015</u>	<u>PKS- Grounds Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00001	953717	338867	05/23/19	28.01
					Account Total	11,602.61
	Repair & Maint Supplies					
	PCard JE	00001	953717	338867	05/23/19	74.99
	PCard JE	00001	953717	338867	05/23/19	25.77
					Account Total	100.76
	Uniforms & Cleaning					
	PCard JE	00001	953717	338867	05/23/19	163.42
					Account Total	163.42
	Vehicle Parts & Supplies					
	PCard JE	00001	953717	338867	05/23/19	310.45
	PCard JE	00001	953717	338867	05/23/19	14.99
	PCard JE	00001	953717	338867	05/23/19	412.01
					Account Total	737.45
	Water/Sewer/Sanitation					
	PCard JE	00001	953717	338867	05/23/19	2,403.96
					Account Total	2,403.96
					Department Total	21,438.05

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<u>5012</u>	<u>PKS- Regional Complex</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Fuel, Gas & Oil					
	PCard JE	00001	953717	338867	05/23/19	16.73
	PCard JE	00001	953717	338867	05/23/19	668.90
	PCard JE	00001	953717	338867	05/23/19	55.96
	PCard JE	00001	953717	338867	05/23/19	2,204.26
	PCard JE	00001	953717	338867	05/23/19	655.36
					Account Total	3,601.21
	Gas & Electricity					
	PCard JE	00001	953717	338867	05/23/19	93.88
	PCard JE	00001	953717	338867	05/23/19	25.16
	PCard JE	00001	953717	338867	05/23/19	859.88
					Account Total	978.92
	Infrastruc Rep & Maint					
	PCard JE	00001	953717	338867	05/23/19	2,314.14
	PCard JE	00001	953717	338867	05/23/19	882.00
					Account Total	3,196.14
	Minor Equipment					
	PCard JE	00001	953717	338867	05/23/19	40.16
	PCard JE	00001	953717	338867	05/23/19	409.00
	PCard JE	00001	953717	338867	05/23/19	15.96
	PCard JE	00001	953717	338867	05/23/19	525.69
	PCard JE	00001	953717	338867	05/23/19	169.99
	PCard JE	00001	953717	338867	05/23/19	765.07
	PCard JE	00001	953717	338867	05/23/19	203.00
					Account Total	2,128.87
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	19.99
	PCard JE	00001	953717	338867	05/23/19	19.12
	PCard JE	00001	953717	338867	05/23/19	19.99
	PCard JE	00001	953717	338867	05/23/19	623.88
	PCard JE	00001	953717	338867	05/23/19	32.88
	PCard JE	00001	953717	338867	05/23/19	230.23
	PCard JE	00001	953717	338867	05/23/19	22.49
	PCard JE	00001	953717	338867	05/23/19	4.80

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<u>5012</u>	<u>PKS- Regional Complex</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
					Account Total	973.38
	Other Communications					
	PCard JE	00001	953717	338867	05/23/19	48.22
					Account Total	48.22
	Repair & Maint Supplies					
	PCard JE	00001	953717	338867	05/23/19	527.38
	PCard JE	00001	953717	338867	05/23/19	184.48
	PCard JE	00001	953717	338867	05/23/19	154.02
	PCard JE	00001	953717	338867	05/23/19	474.88
	PCard JE	00001	953717	338867	05/23/19	696.50
	PCard JE	00001	953717	338867	05/23/19	266.00-
	PCard JE	00001	953717	338867	05/23/19	15.00
	PCard JE	00001	953717	338867	05/23/19	99.00
					Account Total	1,885.26
	Vehicle Parts & Supplies					
	PCard JE	00001	953717	338867	05/23/19	278.59
	PCard JE	00001	953717	338867	05/23/19	55.25
	PCard JE	00001	953717	338867	05/23/19	11.96
	PCard JE	00001	953717	338867	05/23/19	151.03
	PCard JE	00001	953717	338867	05/23/19	631.21
	PCard JE	00001	953717	338867	05/23/19	661.67
	PCard JE	00001	953717	338867	05/23/19	416.76
	PCard JE	00001	953717	338867	05/23/19	196.52
	PCard JE	00001	953717	338867	05/23/19	48.34
	PCard JE	00001	953717	338867	05/23/19	35.19
	PCard JE	00001	953717	338867	05/23/19	53.54
	PCard JE	00001	953717	338867	05/23/19	279.75
	PCard JE	00001	953717	338867	05/23/19	36.42
	PCard JE	00001	953717	338867	05/23/19	105.77
	PCard JE	00001	953717	338867	05/23/19	13.50
	PCard JE	00001	953717	338867	05/23/19	112.10
	PCard JE	00001	953717	338867	05/23/19	84.95
					Account Total	3,172.55
					Department Total	15,984.55

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<u>5016</u>	<u>PKS- Trail Ranger Patrol</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Education & Training					
	PCard JE	00001	953717	338867	05/23/19	13.59-
					Account Total	13.59-
	Gas & Electricity					
	PCard JE	00001	953717	338867	05/23/19	30.00
					Account Total	30.00
	Infrastruc Rep & Maint					
	PCard JE	00001	953717	338867	05/23/19	1,633.93
	PCard JE	00001	953717	338867	05/23/19	1.13-
					Account Total	1,632.80
	Minor Equipment					
	PCard JE	00001	953717	338867	05/23/19	1,297.83
					Account Total	1,297.83
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	21.64
	PCard JE	00001	953717	338867	05/23/19	80.00
	PCard JE	00001	953717	338867	05/23/19	70.24
	PCard JE	00001	953717	338867	05/23/19	136.76-
	PCard JE	00001	953717	338867	05/23/19	1,520.00
	PCard JE	00001	953717	338867	05/23/19	1,141.18
	PCard JE	00001	953717	338867	05/23/19	167.91
	PCard JE	00001	953717	338867	05/23/19	712.70
	PCard JE	00001	953717	338867	05/23/19	177.16
	PCard JE	00001	953717	338867	05/23/19	289.25
	PCard JE	00001	953717	338867	05/23/19	221.63
	PCard JE	00001	953717	338867	05/23/19	224.96
	PCard JE	00001	953717	338867	05/23/19	723.16
	PCard JE	00001	953717	338867	05/23/19	439.75
	PCard JE	00001	953717	338867	05/23/19	114.15
	PCard JE	00001	953717	338867	05/23/19	720.00
	PCard JE	00001	953717	338867	05/23/19	623.00
	PCard JE	00001	953717	338867	05/23/19	160.74
	PCard JE	00001	953717	338867	05/23/19	120.71
	PCard JE	00001	953717	338867	05/23/19	.26-

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<u>5016</u>	<u>PKS- Trail Ranger Patrol</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00001	953717	338867	05/23/19	304.86
					Account Total	7,696.02
	Other Repair & Maint					
	PCard JE	00001	953717	338867	05/23/19	90.90
					Account Total	90.90
	Vehicle Parts & Supplies					
	PCard JE	00001	953717	338867	05/23/19	25.64
	PCard JE	00001	953717	338867	05/23/19	506.96
					Account Total	532.60
	Water/Sewer/Sanitation					
	PCard JE	00001	953717	338867	05/23/19	13.21
	PCard JE	00001	953717	338867	05/23/19	20.04
	PCard JE	00001	953717	338867	05/23/19	200.31
	PCard JE	00001	953717	338867	05/23/19	531.57
	PCard JE	00001	953717	338867	05/23/19	170.54
	PCard JE	00001	953717	338867	05/23/19	868.94
	PCard JE	00001	953717	338867	05/23/19	124.76
	PCard JE	00001	953717	338867	05/23/19	374.43
	PCard JE	00001	953717	338867	05/23/19	476.05
	PCard JE	00001	953717	338867	05/23/19	216.51
	PCard JE	00001	953717	338867	05/23/19	437.85
	PCard JE	00001	953717	338867	05/23/19	297.65
	PCard JE	00001	953717	338867	05/23/19	276.07
	PCard JE	00001	953717	338867	05/23/19	49.10
					Account Total	4,057.03
					Department Total	15,323.59

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<u>1089</u>	<u>PLN- Boards & Commissions</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	DOMENICO JOSEPH	00001	953422	338451	05/30/19	65.00
	DUPRIEST JOHN FIELDEN	00001	953423	338451	05/30/19	65.00
	FOREST SEAN	00001	953420	338451	05/30/19	65.00
	HERRERA, AARON	00001	953418	338451	05/30/19	65.00
	MARTINEZ JUSTIN PAUL	00001	953419	338451	05/30/19	65.00
	PCard JE	00001	953717	338867	05/23/19	377.10
	PCard JE	00001	953717	338867	05/23/19	218.00
	PCard JE	00001	953717	338867	05/23/19	254.50
	RICHARDSON SHARON	00001	953421	338451	05/30/19	65.00
					Account Total	1,239.60
					Department Total	1,239.60

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<u>1082</u>	<u>PLN- Development Review</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Education & Training					
	PCard JE	00001	953717	338867	05/23/19	123.34
	PCard JE	00001	953717	338867	05/23/19	199.75
					Account Total	323.09
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	1,881.30
	PCard JE	00001	953717	338867	05/23/19	60.87
	PCard JE	00001	953717	338867	05/23/19	3.88
	PCard JE	00001	953717	338867	05/23/19	258.66
	PCard JE	00001	953717	338867	05/23/19	170.33
					Account Total	2,375.04
	Zoning & Subdivision					
	PALACE CONSTRUCTION CO INC	00001	953466	338498	05/30/19	1,000.00
					Account Total	1,000.00
					Department Total	3,698.13

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<u>3050C8298000</u>	<u>PUB 1075 Background Checks</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Finger Prints					
	PCard JE	00015	953717	338867	05/23/19	49.50
					Account Total	49.50
					Department Total	49.50

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<u>1038</u>	<u>Regional Affairs</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	POLITICO LLC	00001	952598	337564	05/17/19	6,500.00
					Account Total	6,500.00
	Public Relations					
	PCard JE	00001	953717	338867	05/23/19	230.43
	PCard JE	00001	953717	338867	05/23/19	179.96
					Account Total	410.39
	Travel & Transportation					
	CCI	00001	952597	337564	05/17/19	360.00
					Account Total	360.00
					Department Total	7,270.39

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<u>13</u>	<u>Road & Bridge Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	BFI TOWER ROAD LANDFILL	00013	953773	338966	06/04/19	1,554.25
	BFI TOWER ROAD LANDFILL	00013	953779	338966	06/04/19	1,530.25
	EP&A ENVIROTAC INC	00013	953774	338966	06/04/19	97,246.25
	IMS	00013	953597	338735	05/31/19	2,702.20
	JALISCO INTL INC	00013	954034	339332	06/07/19	326,793.29
	JALISCO INTL INC	00013	954035	339332	06/07/19	300,921.65
	JK TRANSPORTS INC	00013	953775	338966	06/04/19	14,940.00
	JK TRANSPORTS INC	00013	953776	338966	06/04/19	18,405.00
	JK TRANSPORTS INC	00013	953777	338966	06/04/19	16,560.00
	JK TRANSPORTS INC	00013	953778	338966	06/04/19	91,800.00
	KECI COLORADO INC	00013	954043	339362	06/07/19	13,500.00
	ROCKSOL CONSULTING GROUP INC	00013	954031	339332	06/07/19	326.70
					Account Total	886,279.59
	Retainages Payable					
	JALISCO INTL INC	00013	954034	339332	06/07/19	16,339.66-
	JALISCO INTL INC	00013	954035	339332	06/07/19	15,046.08-
	KECI COLORADO INC	00013	954043	339362	06/07/19	675.00-
					Account Total	32,060.74-
					Department Total	854,218.85

County of Adams
Vendor Payment Report

<u>97975</u>	<u>RESEA Program-FY16</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Postage & Freight					
	ADAMS COUNTY HUMAN SERVICES	00035	953806	339081	06/05/19	20.50
					Account Total	20.50
					Department Total	20.50

County of Adams
Vendor Payment Report

<u>3000P9999900</u>	<u>Self Suff Non-Reimbursable</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Education & Training					
	PCard JE	00015	953717	338867	05/23/19	59.09
	PCard JE	00015	953717	338867	05/23/19	32.44
	PCard JE	00015	953717	338867	05/23/19	164.88
					Account Total	256.41
	Operating Supplies					
	PCard JE	00015	953717	338867	05/23/19	36.00
	PCard JE	00015	953717	338867	05/23/19	17.37
					Account Total	53.37
	Unit Meetings					
	PCard JE	00015	953717	338867	05/23/19	69.00
					Account Total	69.00
					Department Total	378.78

County of Adams
Vendor Payment Report

2092	Sheriff Flatrock	Fund	Voucher	Batch No	GL Date	Amount
	Operating Supplies					
	PCard JE	00050	953717	338867	05/23/19	44.99
	PCard JE	00050	953717	338867	05/23/19	503.02
	PCard JE	00050	953717	338867	05/23/19	544.20
	PCard JE	00050	953717	338867	05/23/19	113.75
					Account Total	1,205.96
					Department Total	1,205.96

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Vendor Payment Report

<u>2004</u>	<u>Sheriff Training</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Advertising					
	PCard JE	00001	953717	338867	05/23/19	66.50
					Account Total	66.50
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	50.80
					Account Total	50.80
	Education & Training					
	PCard JE	00001	953717	338867	05/23/19	10.00
	PCard JE	00001	953717	338867	05/23/19	45.00
					Account Total	55.00
	Office Furniture					
	PCard JE	00001	953717	338867	05/23/19	409.53
					Account Total	409.53
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	161.60
	PCard JE	00001	953717	338867	05/23/19	29.73
	PCard JE	00001	953717	338867	05/23/19	945.00
	PCard JE	00001	953717	338867	05/23/19	149.92
	PCard JE	00001	953717	338867	05/23/19	728.05
	PCard JE	00001	953717	338867	05/23/19	362.84
	PCard JE	00001	953717	338867	05/23/19	48.54
	PCard JE	00001	953717	338867	05/23/19	12.49
	PCard JE	00001	953717	338867	05/23/19	37.47
	PCard JE	00001	953717	338867	05/23/19	434.55
	PCard JE	00001	953717	338867	05/23/19	19.23
	PCard JE	00001	953717	338867	05/23/19	359.00
	PCard JE	00001	953717	338867	05/23/19	36.20
	PCard JE	00001	953717	338867	05/23/19	51.37
	PCard JE	00001	953717	338867	05/23/19	414.85
	PCard JE	00001	953717	338867	05/23/19	431.79
	PCard JE	00001	953717	338867	05/23/19	471.73-
	PCard JE	00001	953717	338867	05/23/19	99.98
	PCard JE	00001	953717	338867	05/23/19	154.48
	PCard JE	00001	953717	338867	05/23/19	471.73

County of Adams
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<u>2004</u>	<u>Sheriff Training</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
					Account Total	4,477.09
	Other Professional Serv					
	PCard JE	00001	953717	338867	05/23/19	85.02
	PCard JE	00001	953717	338867	05/23/19	108.99
					Account Total	194.01
	Uniforms & Cleaning					
	PCard JE	00001	953717	338867	05/23/19	149.35
					Account Total	149.35
					Department Total	5,402.28

County of Adams
Vendor Payment Report

9295	Solid Waste Operations	Fund	Voucher	Batch No	GL Date	Amount
	Other Professional Serv					
	PCard JE	00025	953717	338867	05/23/19	127.50
					Account Total	127.50
					Department Total	127.50

County of Adams
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<u>4315</u>	<u>Space Port</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Airfare					
	PCard JE	00043	953717	338867	05/23/19	576.50
					Account Total	576.50
	Parking					
	PCard JE	00043	953717	338867	05/23/19	88.00
					Account Total	88.00
	Promotion Expense					
	PCard JE	00043	953717	338867	05/23/19	940.00
	PCard JE	00043	953717	338867	05/23/19	407.58
	PCard JE	00043	953717	338867	05/23/19	1,000.00
					Account Total	2,347.58
	Registration Fees					
	PCard JE	00043	953717	338867	05/23/19	490.00
					Account Total	490.00
					Department Total	3,502.08

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<u>3701</u>	<u>Stormwater Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00007	953717	338867	05/23/19	104.72
					Account Total	104.72
	Consultant Services					
	PCard JE	00007	953717	338867	05/23/19	76.00
					Account Total	76.00
	Other Communications					
	PCard JE	00007	953717	338867	05/23/19	114.25
					Account Total	114.25
					Department Total	294.97

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<u>7</u>	<u>Stormwater Utility Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Deposits Payable					
	ARCADIS	00007	953783	338981	06/04/19	12,265.00
					Account Total	12,265.00
					Department Total	12,265.00

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<u>2008</u>	<u>SHF - Training Academy</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Books					
	PCard JE	00001	953717	338867	05/23/19	1,002.00
	PCard JE	00001	953717	338867	05/23/19	552.88
					Account Total	1,554.88
	Car Washes					
	PCard JE	00001	953717	338867	05/23/19	15.00
					Account Total	15.00
	Minor Equipment					
	PCard JE	00001	953717	338867	05/23/19	31.57
					Account Total	31.57
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	118.93
	PCard JE	00001	953717	338867	05/23/19	25.96
	PCard JE	00001	953717	338867	05/23/19	54.99
	PCard JE	00001	953717	338867	05/23/19	17.98
	PCard JE	00001	953717	338867	05/23/19	350.55
	PCard JE	00001	953717	338867	05/23/19	44.69
	PCard JE	00001	953717	338867	05/23/19	155.55
	PCard JE	00001	953717	338867	05/23/19	136.90
	PCard JE	00001	953717	338867	05/23/19	293.54
	PCard JE	00001	953717	338867	05/23/19	105.84
	PCard JE	00001	953717	338867	05/23/19	372.52
	PCard JE	00001	953717	338867	05/23/19	434.55
	PCard JE	00001	953717	338867	05/23/19	359.00
	PCard JE	00001	953717	338867	05/23/19	120.38
	PCard JE	00001	953717	338867	05/23/19	81.63
	PCard JE	00001	953717	338867	05/23/19	31.25
	PCard JE	00001	953717	338867	05/23/19	27.98
	PCard JE	00001	953717	338867	05/23/19	139.99
					Account Total	2,872.23
	Other Professional Serv					
	PCard JE	00001	953717	338867	05/23/19	154.14
					Account Total	154.14
	Printing External					

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<u>2008</u>	<u>SHF - Training Academy</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00001	953717	338867	05/23/19	349.43
					Account Total	349.43
	Special Events					
	PCard JE	00001	953717	338867	05/23/19	63.28
	PCard JE	00001	953717	338867	05/23/19	164.79
	PCard JE	00001	953717	338867	05/23/19	78.21
	PCard JE	00001	953717	338867	05/23/19	17.97
					Account Total	324.25
	Uniforms & Cleaning					
	PCard JE	00001	953717	338867	05/23/19	717.00
	PCard JE	00001	953717	338867	05/23/19	125.40
					Account Total	842.40
					Department Total	6,143.90

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<u>2011</u>	<u>SHF- Admin Services Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	32.99
	PCard JE	00001	953717	338867	05/23/19	48.41
	PCard JE	00001	953717	338867	05/23/19	22.23
	PCard JE	00001	953717	338867	05/23/19	30.20
	PCard JE	00001	953717	338867	05/23/19	282.40
	PCard JE	00001	953717	338867	05/23/19	104.62
	PCard JE	00001	953717	338867	05/23/19	67.55
	PCard JE	00001	953717	338867	05/23/19	80.95
	PCard JE	00001	953717	338867	05/23/19	14.47
					Account Total	683.82
	Car Washes					
	PCard JE	00001	953717	338867	05/23/19	3.00
	PCard JE	00001	953717	338867	05/23/19	3.00
	PCard JE	00001	953717	338867	05/23/19	3.00
	PCard JE	00001	953717	338867	05/23/19	8.00
	PCard JE	00001	953717	338867	05/23/19	4.00
	PCard JE	00001	953717	338867	05/23/19	9.00
	PCard JE	00001	953717	338867	05/23/19	3.00
	PCard JE	00001	953717	338867	05/23/19	3.00
	PCard JE	00001	953717	338867	05/23/19	4.00
	PCard JE	00001	953717	338867	05/23/19	15.00
	PCard JE	00001	953717	338867	05/23/19	3.20
	PCard JE	00001	953717	338867	05/23/19	12.00
	PCard JE	00001	953717	338867	05/23/19	10.00
	PCard JE	00001	953717	338867	05/23/19	12.00
	PCard JE	00001	953717	338867	05/23/19	10.00
	PCard JE	00001	953717	338867	05/23/19	10.00
	PCard JE	00001	953717	338867	05/23/19	10.00
	PCard JE	00001	953717	338867	05/23/19	10.00
	PCard JE	00001	953717	338867	05/23/19	8.00
	PCard JE	00001	953717	338867	05/23/19	9.00
	PCard JE	00001	953717	338867	05/23/19	10.00
	PCard JE	00001	953717	338867	05/23/19	10.00
	PCard JE	00001	953717	338867	05/23/19	10.00
	PCard JE	00001	953717	338867	05/23/19	10.00

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<u>2011</u>	<u>SHF- Admin Services Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00001	953717	338867	05/23/19	10.00
	PCard JE	00001	953717	338867	05/23/19	10.00
	PCard JE	00001	953717	338867	05/23/19	9.00
	PCard JE	00001	953717	338867	05/23/19	7.00
	PCard JE	00001	953717	338867	05/23/19	10.00
	PCard JE	00001	953717	338867	05/23/19	9.00
	PCard JE	00001	953717	338867	05/23/19	2.93
	PCard JE	00001	953717	338867	05/23/19	10.00
	PCard JE	00001	953717	338867	05/23/19	9.00
	PCard JE	00001	953717	338867	05/23/19	9.00
	PCard JE	00001	953717	338867	05/23/19	9.00
	PCard JE	00001	953717	338867	05/23/19	3.00
	PCard JE	00001	953717	338867	05/23/19	9.00
	PCard JE	00001	953717	338867	05/23/19	10.00
	PCard JE	00001	953717	338867	05/23/19	10.00
	PCard JE	00001	953717	338867	05/23/19	9.00
	PCard JE	00001	953717	338867	05/23/19	9.00
	PCard JE	00001	953717	338867	05/23/19	9.00
	PCard JE	00001	953717	338867	05/23/19	9.00
	PCard JE	00001	953717	338867	05/23/19	10.00
	PCard JE	00001	953717	338867	05/23/19	10.00
				Account Total		362.13
	Consultant Services					
	PCard JE	00001	953717	338867	05/23/19	481.25
	PCard JE	00001	953717	338867	05/23/19	615.00
				Account Total		1,096.25
	Education & Training					
	PCard JE	00001	953717	338867	05/23/19	207.50
	PCard JE	00001	953717	338867	05/23/19	1,042.50
	PCard JE	00001	953717	338867	05/23/19	205.00
	PCard JE	00001	953717	338867	05/23/19	980.00
	PCard JE	00001	953717	338867	05/23/19	300.00
				Account Total		2,735.00
	Fuel, Gas & Oil					
	PCard JE	00001	953717	338867	05/23/19	35.86

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Vendor Payment Report

<u>2011</u>	<u>SHF- Admin Services Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00001	953717	338867	05/23/19	35.67
	PCard JE	00001	953717	338867	05/23/19	47.43
	PCard JE	00001	953717	338867	05/23/19	38.59
	PCard JE	00001	953717	338867	05/23/19	31.25
	PCard JE	00001	953717	338867	05/23/19	47.40
	PCard JE	00001	953717	338867	05/23/19	23.12
	PCard JE	00001	953717	338867	05/23/19	43.34
	PCard JE	00001	953717	338867	05/23/19	25.63
	PCard JE	00001	953717	338867	05/23/19	34.26
	PCard JE	00001	953717	338867	05/23/19	48.16
	PCard JE	00001	953717	338867	05/23/19	55.53
	PCard JE	00001	953717	338867	05/23/19	40.00
	PCard JE	00001	953717	338867	05/23/19	18.55
	PCard JE	00001	953717	338867	05/23/19	38.03
	PCard JE	00001	953717	338867	05/23/19	34.76
	PCard JE	00001	953717	338867	05/23/19	55.23
	PCard JE	00001	953717	338867	05/23/19	41.44
					Account Total	694.25
	Membership Dues					
	PCard JE	00001	953717	338867	05/23/19	100.00
					Account Total	100.00
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	88.44
	PCard JE	00001	953717	338867	05/23/19	167.00
	PCard JE	00001	953717	338867	05/23/19	30.00
	PCard JE	00001	953717	338867	05/23/19	28.48
	PCard JE	00001	953717	338867	05/23/19	1,385.00
	PCard JE	00001	953717	338867	05/23/19	457.90
	PCard JE	00001	953717	338867	05/23/19	844.50
	PCard JE	00001	953717	338867	05/23/19	30.93
	PCard JE	00001	953717	338867	05/23/19	107.97
	PCard JE	00001	953717	338867	05/23/19	1,004.75
	PCard JE	00001	953717	338867	05/23/19	189.88
	PCard JE	00001	953717	338867	05/23/19	246.27
	PCard JE	00001	953717	338867	05/23/19	199.97

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<u>2011</u>	<u>SHF- Admin Services Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00001	953717	338867	05/23/19	59.97
	PCard JE	00001	953717	338867	05/23/19	689.00
	PCard JE	00001	953717	338867	05/23/19	122.09
	PCard JE	00001	953717	338867	05/23/19	50.00-
	PCard JE	00001	953717	338867	05/23/19	37.12
	PCard JE	00001	953717	338867	05/23/19	92.34
	PCard JE	00001	953717	338867	05/23/19	215.87
	PCard JE	00001	953717	338867	05/23/19	10.00
	PCard JE	00001	953717	338867	05/23/19	5.41
	PCard JE	00001	953717	338867	05/23/19	16.64
	PCard JE	00001	953717	338867	05/23/19	86.05
	PCard JE	00001	953717	338867	05/23/19	16.00
					Account Total	6,081.58
	Other Communications					
	PCard JE	00001	953717	338867	05/23/19	360.19
					Account Total	360.19
	Postage & Freight					
	PCard JE	00001	953717	338867	05/23/19	11.53
					Account Total	11.53
	Public Relations					
	PCard JE	00001	953717	338867	05/23/19	295.00
					Account Total	295.00
	Special Events					
	PCard JE	00001	953717	338867	05/23/19	520.00
	PCard JE	00001	953717	338867	05/23/19	37.92
	PCard JE	00001	953717	338867	05/23/19	791.25
	PCard JE	00001	953717	338867	05/23/19	588.00
	PCard JE	00001	953717	338867	05/23/19	337.95
	PCard JE	00001	953717	338867	05/23/19	250.00
	PCard JE	00001	953717	338867	05/23/19	50.00
	PCard JE	00001	953717	338867	05/23/19	123.97
					Account Total	2,699.09
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	8.70

County of Adams
Vendor Payment Report

<u>2011</u>	<u>SHF- Admin Services Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00001	953717	338867	05/23/19	151.44
	PCard JE	00001	953717	338867	05/23/19	316.06
	PCard JE	00001	953717	338867	05/23/19	11.50
	PCard JE	00001	953717	338867	05/23/19	3.75
	PCard JE	00001	953717	338867	05/23/19	7.30
	PCard JE	00001	953717	338867	05/23/19	15.00
	PCard JE	00001	953717	338867	05/23/19	7.90
	PCard JE	00001	953717	338867	05/23/19	1,048.20
	PCard JE	00001	953717	338867	05/23/19	1,048.20
	PCard JE	00001	953717	338867	05/23/19	1,048.20
	PCard JE	00001	953717	338867	05/23/19	1,600.75
	PCard JE	00001	953717	338867	05/23/19	1,600.75
	PCard JE	00001	953717	338867	05/23/19	1,710.79
	PCard JE	00001	953717	338867	05/23/19	21.88
	PCard JE	00001	953717	338867	05/23/19	23.76-
	PCard JE	00001	953717	338867	05/23/19	23.76-
	PCard JE	00001	953717	338867	05/23/19	23.76-
	PCard JE	00001	953717	338867	05/23/19	859.30
	PCard JE	00001	953717	338867	05/23/19	859.30
	PCard JE	00001	953717	338867	05/23/19	25.00
	PCard JE	00001	953717	338867	05/23/19	10.00
	PCard JE	00001	953717	338867	05/23/19	10.00
	PCard JE	00001	953717	338867	05/23/19	5.00
	PCard JE	00001	953717	338867	05/23/19	4.00
	PCard JE	00001	953717	338867	05/23/19	4.00
	PCard JE	00001	953717	338867	05/23/19	675.00
	PCard JE	00001	953717	338867	05/23/19	675.00
	PCard JE	00001	953717	338867	05/23/19	159.00
	PCard JE	00001	953717	338867	05/23/19	10.00
	PCard JE	00001	953717	338867	05/23/19	10.00
	PCard JE	00001	953717	338867	05/23/19	151.44
	PCard JE	00001	953717	338867	05/23/19	157.42
	PCard JE	00001	953717	338867	05/23/19	132.56
	PCard JE	00001	953717	338867	05/23/19	3.50
	PCard JE	00001	953717	338867	05/23/19	107.05
	PCard JE	00001	953717	338867	05/23/19	157.42

County of Adams
Vendor Payment Report

<u>2011</u>	<u>SHF- Admin Services Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00001	953717	338867	05/23/19	98.70
	PCard JE	00001	953717	338867	05/23/19	98.70
	PCard JE	00001	953717	338867	05/23/19	133.80
	PCard JE	00001	953717	338867	05/23/19	133.80
	PCard JE	00001	953717	338867	05/23/19	171.15
	PCard JE	00001	953717	338867	05/23/19	118.17
	PCard JE	00001	953717	338867	05/23/19	118.17
	PCard JE	00001	953717	338867	05/23/19	151.44
	PCard JE	00001	953717	338867	05/23/19	151.44
	PCard JE	00001	953717	338867	05/23/19	3.75
	PCard JE	00001	953717	338867	05/23/19	473.93
	PCard JE	00001	953717	338867	05/23/19	283.13
	PCard JE	00001	953717	338867	05/23/19	123.75
	PCard JE	00001	953717	338867	05/23/19	163.52
	PCard JE	00001	953717	338867	05/23/19	163.52
	10458	00001	953602	338831	06/02/19	30.00
	10458	00001	953602	338831	06/02/19	61.00
	10458	00001	953602	338831	06/02/19	61.00
	10458	00001	953602	338831	06/02/19	61.00
	10458	00001	953602	338831	06/02/19	61.00
	10461	00001	953599	338829	06/02/19	30.00
	10461	00001	953599	338829	06/02/19	61.00
	10461	00001	953599	338829	06/02/19	61.00
	10461	00001	953599	338829	06/02/19	61.00
	10461	00001	953599	338829	06/02/19	61.00
	10465	00001	953600	338829	06/02/19	30.00
	10465	00001	953600	338829	06/02/19	61.00
	10465	00001	953600	338829	06/02/19	61.00
	10465	00001	953600	338829	06/02/19	61.00
	10465	00001	953600	338829	06/02/19	61.00
	10470	00001	953601	338829	06/02/19	30.00
	10470	00001	953601	338829	06/02/19	61.00
	10470	00001	953601	338829	06/02/19	61.00
	10470	00001	953601	338829	06/02/19	61.00
	10470	00001	953601	338829	06/02/19	61.00
Account Total						16,027.10

County of Adams
Vendor Payment Report

<u>2011</u>	<u>SHF- Admin Services Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Uniforms & Cleaning					
	PCard JE	00001	953717	338867	05/23/19	225.90
					Account Total	225.90
	Vehicle Parts & Supplies					
	PCard JE	00001	953717	338867	05/23/19	338.00
					Account Total	338.00
					Department Total	31,709.84

County of Adams
Vendor Payment Report

<u>2015</u>	<u>SHF- Civil Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Sheriff's Fees					
	BALL FRANK J	00001	953669	338856	05/31/19	19.00
	BALL FRANK J	00001	953678	338856	05/31/19	19.00
	BELTRAN-SORIANO MARIA GUADALUP	00001	953687	338856	05/31/19	19.00
	BLOOM PEGGY A	00001	952985	337994	05/23/19	66.00
	BLUM DANIEL	00001	953680	338856	05/31/19	19.00
	BODIE ENGER LAW TRUST	00001	952962	337994	05/23/19	19.00
	BURRIER CAMERON W	00001	953693	338856	05/31/19	19.00
	CHAVEZ LORELEI	00001	953684	338856	05/31/19	19.00
	COPLEY JONATHAN ROBERT	00001	953679	338856	05/31/19	19.00
	CREDIT SERVICE COMPANY	00001	952961	337994	05/23/19	19.00
	CREDIT SERVICE COMPANY	00001	953666	338856	05/31/19	19.00
	DIAZ SANDRA	00001	952984	337994	05/23/19	19.00
	DONALDSON ELIZABETH ANN	00001	953673	338856	05/31/19	23.00
	DURAN-REYES CARLOS	00001	953686	338856	05/31/19	19.00
	ESSEX LAW OFFICES LLC	00001	953688	338856	05/31/19	66.00
	FOSTER GRAHAM MILSTEIN AND CAL	00001	953675	338856	05/31/19	66.00
	FRANCY LAW FIRM, PLLC	00001	953667	338856	05/31/19	19.00
	GOLDMAN DENNIS L	00001	953685	338856	05/31/19	19.00
	HAMILTON AARON ALAN	00001	953695	338856	05/31/19	19.00
	HELVIE KENNETH A	00001	953694	338856	05/31/19	35.00
	HOLLAND AND HART	00001	952983	337994	05/23/19	19.00
	HOLST AND BOETTCHER	00001	953658	338856	05/31/19	19.00
	HOLST AND BOETTCHER	00001	953668	338856	05/31/19	19.00
	HOLST AND BOETTCHER	00001	953672	338856	05/31/19	19.00
	KC ROAD LAWYERS LLC	00001	953690	338856	05/31/19	19.00
	LOPEZ JOHN C	00001	953681	338856	05/31/19	19.00
	MENOUGH DAVID	00001	953692	338856	05/31/19	19.00
	MIDLAND FUNDING LLC	00001	952959	337994	05/23/19	19.00
	MIDLAND FUNDING LLC	00001	952960	337994	05/23/19	19.00
	MIDLAND FUNDING LLC	00001	953676	338856	05/31/19	19.00
	MOORE LAW GROUP APC	00001	952981	337994	05/23/19	19.00
	MOORE LAW GROUP APC	00001	953660	338856	05/31/19	19.00
	MOORE LAW GROUP APC	00001	953661	338856	05/31/19	19.00
	MOORE LAW GROUP APC	00001	953670	338856	05/31/19	19.00
	NEAL RENEE LYNNE	00001	953682	338856	05/31/19	19.00

Vendor Payment Report

<u>2015</u>	<u>SHF- Civil Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	REMINGTON SUSAN	00001	953691	338856	05/31/19	19.00
	RUFFIN-DENTON PAMELA	00001	953683	338856	05/31/19	19.00
	SALMON COLIN	00001	953689	338856	05/31/19	66.00
	SANDS NATHAN D	00001	952982	337994	05/23/19	19.00
	SPRINGMAN, BRADEN, WILSON & PO	00001	953677	338856	05/31/19	19.00
	STENGER AND STENGER	00001	953662	338856	05/31/19	19.00
	STENGER AND STENGER	00001	953663	338856	05/31/19	19.00
	STENGER AND STENGER	00001	953664	338856	05/31/19	19.00
	STENGER AND STENGER	00001	953665	338856	05/31/19	19.00
	STENGER AND STENGER	00001	953671	338856	05/31/19	19.00
	WINZENBURG, LEFF, PURVIS & PAY	00001	953659	338856	05/31/19	19.00
Account Total						1,082.00
Department Total						1,082.00

County of Adams
Vendor Payment Report

<u>2075</u>	<u>SHF- Commissary Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Books					
	PCard JE	00001	953717	338867	05/23/19	143.20
	PCard JE	00001	953717	338867	05/23/19	310.31
	PCard JE	00001	953717	338867	05/23/19	237.88
					Account Total	691.39
	Licenses and Fees					
	PCard JE	00001	953717	338867	05/23/19	636.87
					Account Total	636.87
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	840.00
	PCard JE	00001	953717	338867	05/23/19	279.50
					Account Total	1,119.50
					Department Total	2,447.76

County of Adams
Vendor Payment Report

<u>2016</u>	<u>SHF- Detective Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	79.75
					Account Total	79.75
	Education & Training					
	PCard JE	00001	953717	338867	05/23/19	199.00
					Account Total	199.00
	Equipment Rental					
	PCard JE	00001	953717	338867	05/23/19	411.56
					Account Total	411.56
	Membership Dues					
	PCard JE	00001	953717	338867	05/23/19	30.00
	PCard JE	00001	953717	338867	05/23/19	110.00
					Account Total	140.00
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	231.09
	PCard JE	00001	953717	338867	05/23/19	34.28
	PCard JE	00001	953717	338867	05/23/19	145.60
	PCard JE	00001	953717	338867	05/23/19	107.37
	PCard JE	00001	953717	338867	05/23/19	205.75
					Account Total	724.09
	Other Professional Serv					
	PCard JE	00001	953717	338867	05/23/19	193.38
	PCard JE	00001	953717	338867	05/23/19	317.60
	PCard JE	00001	953717	338867	05/23/19	160.00
					Account Total	670.98
	Postage & Freight					
	PCard JE	00001	953717	338867	05/23/19	6.13
					Account Total	6.13
	Printing External					
	PCard JE	00001	953717	338867	05/23/19	159.92
					Account Total	159.92
	Uniforms & Cleaning					
	PCard JE	00001	953717	338867	05/23/19	27.58

County of Adams
Vendor Payment Report

<u>2016</u>	<u>SHF- Detective Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00001	953717	338867	05/23/19	21.83
					Account Total	49.41
					Department Total	2,440.84

County of Adams
Vendor Payment Report

<u>2071</u>	<u>SHF- Detention Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Car Washes					
	PCard JE	00001	953717	338867	05/23/19	4.00
	PCard JE	00001	953717	338867	05/23/19	4.00
	PCard JE	00001	953717	338867	05/23/19	4.00
	PCard JE	00001	953717	338867	05/23/19	4.00
	PCard JE	00001	953717	338867	05/23/19	4.00
	PCard JE	00001	953717	338867	05/23/19	4.00
	PCard JE	00001	953717	338867	05/23/19	3.00
					Account Total	27.00
	Education & Training					
	PCard JE	00001	953717	338867	05/23/19	325.00
	PCard JE	00001	953717	338867	05/23/19	350.00
	PCard JE	00001	953717	338867	05/23/19	300.00
	PCard JE	00001	953717	338867	05/23/19	2,960.00
					Account Total	3,935.00
	Maintenance Contracts					
	PCard JE	00001	953717	338867	05/23/19	365.00
	PCard JE	00001	953717	338867	05/23/19	490.63
					Account Total	855.63
	Membership Dues					
	PCard JE	00001	953717	338867	05/23/19	25.00
					Account Total	25.00
	Minor Equipment					
	PCard JE	00001	953717	338867	05/23/19	2,240.00
					Account Total	2,240.00
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	203.74
	PCard JE	00001	953717	338867	05/23/19	266.33
	PCard JE	00001	953717	338867	05/23/19	1,461.98
	PCard JE	00001	953717	338867	05/23/19	86.41
	PCard JE	00001	953717	338867	05/23/19	128.40
	PCard JE	00001	953717	338867	05/23/19	70.00
	PCard JE	00001	953717	338867	05/23/19	714.88
	PCard JE	00001	953717	338867	05/23/19	343.60

County of Adams
Vendor Payment Report

<u>2071</u>	<u>SHF- Detention Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00001	953717	338867	05/23/19	25.00
	PCard JE	00001	953717	338867	05/23/19	1,327.96
	PCard JE	00001	953717	338867	05/23/19	627.00
	PCard JE	00001	953717	338867	05/23/19	499.17
	PCard JE	00001	953717	338867	05/23/19	249.90
	PCard JE	00001	953717	338867	05/23/19	908.34
	PCard JE	00001	953717	338867	05/23/19	197.32
	PCard JE	00001	953717	338867	05/23/19	794.74
	PCard JE	00001	953717	338867	05/23/19	552.27
	PCard JE	00001	953717	338867	05/23/19	478.88
	PCard JE	00001	953717	338867	05/23/19	15.24
	PCard JE	00001	953717	338867	05/23/19	18.62
	PCard JE	00001	953717	338867	05/23/19	47.50
	PCard JE	00001	953717	338867	05/23/19	46.79
	PCard JE	00001	953717	338867	05/23/19	1,537.69
	PCard JE	00001	953717	338867	05/23/19	36.00
	PCard JE	00001	953717	338867	05/23/19	20.36
	PCard JE	00001	953717	338867	05/23/19	15.00
	PCard JE	00001	953717	338867	05/23/19	7.82
	PCard JE	00001	953717	338867	05/23/19	769.41
	PCard JE	00001	953717	338867	05/23/19	329.00
	PCard JE	00001	953717	338867	05/23/19	449.00
	PCard JE	00001	953717	338867	05/23/19	40.80
	PCard JE	00001	953717	338867	05/23/19	29.99
	PCard JE	00001	953717	338867	05/23/19	50.00
	PCard JE	00001	953717	338867	05/23/19	78.24
	PCard JE	00001	953717	338867	05/23/19	245.92
	PCard JE	00001	953717	338867	05/23/19	98.97
	PCard JE	00001	953717	338867	05/23/19	157.95
	PCard JE	00001	953717	338867	05/23/19	98.97
	PCard JE	00001	953717	338867	05/23/19	97.60
	PCard JE	00001	953717	338867	05/23/19	996.06
	PCard JE	00001	953717	338867	05/23/19	24.27
	PCard JE	00001	953717	338867	05/23/19	42.90
	PCard JE	00001	953717	338867	05/23/19	84.00
					Account Total	14,274.02

County of Adams
Vendor Payment Report

<u>2071</u>	<u>SHF- Detention Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Repair & Maint					
	PCard JE	00001	953717	338867	05/23/19	225.00
	PCard JE	00001	953717	338867	05/23/19	135.28
	PCard JE	00001	953717	338867	05/23/19	270.56-
					Account Total	89.72
	Postage & Freight					
	PCard JE	00001	953717	338867	05/23/19	1,310.00
					Account Total	1,310.00
	Printing External					
	PCard JE	00001	953717	338867	05/23/19	1,007.90
	PCard JE	00001	953717	338867	05/23/19	750.00
	PCard JE	00001	953717	338867	05/23/19	583.45
	PCard JE	00001	953717	338867	05/23/19	283.39
	PCard JE	00001	953717	338867	05/23/19	1,027.98
					Account Total	3,652.72
	Repair & Maint Supplies					
	PCard JE	00001	953717	338867	05/23/19	245.44
	PCard JE	00001	953717	338867	05/23/19	979.30
	PCard JE	00001	953717	338867	05/23/19	378.36
	PCard JE	00001	953717	338867	05/23/19	587.50
	PCard JE	00001	953717	338867	05/23/19	83.28
					Account Total	2,273.88
	Subscrip/Publications					
	PCard JE	00001	953717	338867	05/23/19	40.99
					Account Total	40.99
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	141.80
	PCard JE	00001	953717	338867	05/23/19	2.93
	PCard JE	00001	953717	338867	05/23/19	200.30
					Account Total	345.03
					Department Total	29,068.99

County of Adams
Vendor Payment Report

<u>2081</u>	<u>SHF- Donated Programs</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	126.42
					Account Total	126.42
					Department Total	126.42

County of Adams
Vendor Payment Report

<u>2010</u>	<u>SHF- MIS Unit</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	110.46
					Account Total	110.46
	Maintenance Contracts					
	PCard JE	00001	953717	338867	05/23/19	5,000.00
	PCard JE	00001	953717	338867	05/23/19	3,700.00
	PCard JE	00001	953717	338867	05/23/19	2,500.00
					Account Total	11,200.00
	Minor Equipment					
	PCard JE	00001	953717	338867	05/23/19	2,475.00
					Account Total	2,475.00
	Office Equip Rep & Maint					
	PCard JE	00001	953717	338867	05/23/19	490.00
					Account Total	490.00
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	7.99
	PCard JE	00001	953717	338867	05/23/19	98.25
	PCard JE	00001	953717	338867	05/23/19	137.88
	PCard JE	00001	953717	338867	05/23/19	648.00
	PCard JE	00001	953717	338867	05/23/19	2,521.00
	PCard JE	00001	953717	338867	05/23/19	264.00
	PCard JE	00001	953717	338867	05/23/19	48.00
					Account Total	3,725.12
	Other Communications					
	CENTURY LINK	00001	953716	338864	06/03/19	90.95
					Account Total	90.95
	Software and Licensing					
	PCard JE	00001	953717	338867	05/23/19	2,495.00
					Account Total	2,495.00
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	375.00
					Account Total	375.00
					Department Total	20,961.53

County of Adams
Vendor Payment Report

<u>2017</u>	<u>SHF- Patrol Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Education & Training					
	PCard JE	00001	953717	338867	05/23/19	710.00
	PCard JE	00001	953717	338867	05/23/19	710.00-
					Account Total	
	Fuel, Gas & Oil					
	PCard JE	00001	953717	338867	05/23/19	11.21
					Account Total	11.21
	Medical Services					
	PCard JE	00001	953717	338867	05/23/19	33.20
					Account Total	33.20
	Minor Equipment					
	PCard JE	00001	953717	338867	05/23/19	1,090.00
					Account Total	1,090.00
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	310.11
	PCard JE	00001	953717	338867	05/23/19	56.94
	PCard JE	00001	953717	338867	05/23/19	90.44
	PCard JE	00001	953717	338867	05/23/19	36.90
	PCard JE	00001	953717	338867	05/23/19	39.99
	PCard JE	00001	953717	338867	05/23/19	210.00
	PCard JE	00001	953717	338867	05/23/19	39.00
	PCard JE	00001	953717	338867	05/23/19	144.28
	PCard JE	00001	953717	338867	05/23/19	161.54
	PCard JE	00001	953717	338867	05/23/19	525.44
	PCard JE	00001	953717	338867	05/23/19	1,631.76
	PCard JE	00001	953717	338867	05/23/19	10.00
	PCard JE	00001	953717	338867	05/23/19	36.90
	PCard JE	00001	953717	338867	05/23/19	31.85
	PCard JE	00001	953717	338867	05/23/19	680.00
	PCard JE	00001	953717	338867	05/23/19	168.00
	PCard JE	00001	953717	338867	05/23/19	449.49
	PCard JE	00001	953717	338867	05/23/19	128.45
	PCard JE	00001	953717	338867	05/23/19	80.24
	PCard JE	00001	953717	338867	05/23/19	10.00

County of Adams
Vendor Payment Report

<u>2017</u>	<u>SHF- Patrol Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00001	953717	338867	05/23/19	1,060.80
	PCard JE	00001	953717	338867	05/23/19	418.55
	PCard JE	00001	953717	338867	05/23/19	88.00
					Account Total	6,408.68
	Other Communications					
	PCard JE	00001	953717	338867	05/23/19	1.06
	PCard JE	00001	953717	338867	05/23/19	1.06
	PCard JE	00001	953717	338867	05/23/19	103.81
					Account Total	105.93
	Other Professional Serv					
	PCard JE	00001	953717	338867	05/23/19	80.00
	PCard JE	00001	953717	338867	05/23/19	193.37
					Account Total	273.37
	Postage & Freight					
	PCard JE	00001	953717	338867	05/23/19	18.62
					Account Total	18.62
	Printing External					
	PCard JE	00001	953717	338867	05/23/19	62.48
	PCard JE	00001	953717	338867	05/23/19	249.84
					Account Total	312.32
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	129.82
	PCard JE	00001	953717	338867	05/23/19	271.97
	PCard JE	00001	953717	338867	05/23/19	287.52
	PCard JE	00001	953717	338867	05/23/19	125.76
					Account Total	815.07
	Uniforms & Cleaning					
	PCard JE	00001	953717	338867	05/23/19	260.24
	PCard JE	00001	953717	338867	05/23/19	16.66
					Account Total	276.90
	Vehicle Repair & Maint					
	PCard JE	00001	953717	338867	05/23/19	81.90
	PCard JE	00001	953717	338867	05/23/19	407.80
	PCard JE	00001	953717	338867	05/23/19	170.00

County of Adams
Vendor Payment Report

<u>2017</u>	<u>SHF- Patrol Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
					Account Total	659.70
					Department Total	10,005.00

County of Adams
Vendor Payment Report

<u>2018</u>	<u>SHF- Records/Warrants Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00001	953717	338867	05/23/19	234.66
					Account Total	234.66
	Education & Training					
	PCard JE	00001	953717	338867	05/23/19	30.00
	PCard JE	00001	953717	338867	05/23/19	30.00
	PCard JE	00001	953717	338867	05/23/19	260.35
					Account Total	320.35
	Extraditions					
	PCard JE	00001	953717	338867	05/23/19	25.50
	PCard JE	00001	953717	338867	05/23/19	193.98
	PCard JE	00001	953717	338867	05/23/19	581.60
	PCard JE	00001	953717	338867	05/23/19	581.60
	PCard JE	00001	953717	338867	05/23/19	333.30
	PCard JE	00001	953717	338867	05/23/19	30.00
	PCard JE	00001	953717	338867	05/23/19	30.00
	PCard JE	00001	953717	338867	05/23/19	30.00
					Account Total	1,835.98
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	918.47
					Account Total	918.47
	Other Professional Serv					
	PCard JE	00001	953717	338867	05/23/19	116.25
	PCard JE	00001	953717	338867	05/23/19	137.10
					Account Total	253.35
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	30.00
	PCard JE	00001	953717	338867	05/23/19	30.00
	PCard JE	00001	953717	338867	05/23/19	30.00
	PCard JE	00001	953717	338867	05/23/19	30.00
	PCard JE	00001	953717	338867	05/23/19	503.04
	PCard JE	00001	953717	338867	05/23/19	503.04
	PCard JE	00001	953717	338867	05/23/19	503.04

Vendor Payment Report

<u>2018</u>	<u>SHF- Records/Warrants Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00001	953717	338867	05/23/19	37.80
					Account Total	1,666.92
					Department Total	5,229.73

County of Adams
Vendor Payment Report

<u>2005</u>	<u>SHF- TAC Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Minor Equipment					
	PCard JE	00001	953717	338867	05/23/19	718.30
					Account Total	718.30
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	298.00
	PCard JE	00001	953717	338867	05/23/19	102.72
	PCard JE	00001	953717	338867	05/23/19	279.94
	PCard JE	00001	953717	338867	05/23/19	38.68
	PCard JE	00001	953717	338867	05/23/19	41.73
	PCard JE	00001	953717	338867	05/23/19	33.98
	PCard JE	00001	953717	338867	05/23/19	15.28
	PCard JE	00001	953717	338867	05/23/19	347.95
					Account Total	1,158.28
	Other Repair & Maint					
	PCard JE	00001	953717	338867	05/23/19	247.10
					Account Total	247.10
					Department Total	2,123.68

County of Adams
Vendor Payment Report

<u>2024</u>	<u>SHF- Volunteer Program</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	338.95
					Account Total	338.95
					Department Total	338.95

County of Adams
Vendor Payment Report

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<u>3011</u>	<u>Transportation Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Books					
	PCard JE	00013	953717	338867	05/23/19	145.00
					Account Total	145.00
	Equipment Rental					
	PCard JE	00013	953717	338867	05/23/19	4.27
	PCard JE	00013	953717	338867	05/23/19	125.97
	PCard JE	00013	953717	338867	05/23/19	170.33
	PCard JE	00013	953717	338867	05/23/19	406.06
					Account Total	706.63
	Operating Supplies					
	PCard JE	00013	953717	338867	05/23/19	133.00
	PCard JE	00013	953717	338867	05/23/19	37.97
	PCard JE	00013	953717	338867	05/23/19	529.75
	PCard JE	00013	953717	338867	05/23/19	1,009.88
					Account Total	1,710.60
					Department Total	2,562.23

County of Adams
Vendor Payment Report

<u>3052</u>	<u>Transportation Constr & Inspec</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Infrastruc Rep & Maint					
	PCard JE	00013	953717	338867	05/23/19	253.95
					Account Total	253.95
	Operating Supplies					
	PCard JE	00013	953717	338867	05/23/19	115.00
	PCard JE	00013	953717	338867	05/23/19	89.99
	PCard JE	00013	953717	338867	05/23/19	164.94
	PCard JE	00013	953717	338867	05/23/19	44.97
	PCard JE	00013	953717	338867	05/23/19	1,071.35
					Account Total	1,486.25
	Other Communications					
	PCard JE	00013	953717	338867	05/23/19	1,152.54
					Account Total	1,152.54
					Department Total	2,892.74

County of Adams
Vendor Payment Report

<u>3061</u>	<u>Transportation Engineering</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Education & Training					
	PCard JE	00001	953717	338867	05/23/19	525.00
					Account Total	525.00
	Operating Supplies					
	PCard JE	00001	953717	338867	05/23/19	665.78
					Account Total	665.78
	Software and Licensing					
	PCard JE	00001	953717	338867	05/23/19	314.16
					Account Total	314.16
	Travel & Transportation					
	PCard JE	00001	953717	338867	05/23/19	12.00
	PCard JE	00001	953717	338867	05/23/19	382.80
					Account Total	394.80
					Department Total	1,899.74

County of Adams
Vendor Payment Report

<u>3031</u>	<u>Transportation Opers & Maint</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Culverts					
	PCard JE	00013	953717	338867	05/23/19	175.50
					Account Total	175.50
	Dust Abatement					
	WAYNE A MITCHELL LLC	00013	953699	338859	06/03/19	7,047.08
					Account Total	7,047.08
	Education & Training					
	CONNECTIONS TRAINING AND STAFF	00013	953705	338859	06/03/19	1,575.00
	PCard JE	00013	953717	338867	05/23/19	995.00
					Account Total	2,570.00
	Equipment Rental					
	PCard JE	00013	953717	338867	05/23/19	16.15
	PCard JE	00013	953717	338867	05/23/19	7.19
	PCard JE	00013	953717	338867	05/23/19	227.01
	PCard JE	00013	953717	338867	05/23/19	170.33
					Account Total	420.68
	Erosion Control					
	PCard JE	00013	953717	338867	05/23/19	1,840.98
	PCard JE	00013	953717	338867	05/23/19	1,996.00
	PCard JE	00013	953717	338867	05/23/19	1,797.02
					Account Total	5,634.00
	Operating Supplies					
	ALSCO AMERICAN INDUSTRIAL	00013	953700	338859	06/03/19	73.90
	ALSCO AMERICAN INDUSTRIAL	00013	953701	338859	06/03/19	86.77
	ALSCO AMERICAN INDUSTRIAL	00013	953702	338859	06/03/19	73.90
	ALSCO AMERICAN INDUSTRIAL	00013	953703	338859	06/03/19	73.90
	ALSCO AMERICAN INDUSTRIAL	00013	953704	338859	06/03/19	73.90
	CINTAS FIRST AID & SAFETY	00013	953706	338859	06/03/19	92.81
	CINTAS FIRST AID & SAFETY	00013	953707	338859	06/03/19	22.11
	PCard JE	00013	953717	338867	05/23/19	26.85
	PCard JE	00013	953717	338867	05/23/19	166.79
	PCard JE	00013	953717	338867	05/23/19	85.46
	PCard JE	00013	953717	338867	05/23/19	80.93
	PCard JE	00013	953717	338867	05/23/19	351.70

County of Adams
Vendor Payment Report

<u>3031</u>	<u>Transportation Opers & Maint</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	POLAR REFRIGERATION COMPANY	00013	953709	338859	06/03/19	367.00
					Account Total	1,576.02
	Other Communications					
	PCard JE	00013	953717	338867	05/23/19	260.70
	PCard JE	00013	953717	338867	05/23/19	23.43
					Account Total	284.13
	Pothole Asphalt					
	PCard JE	00013	953717	338867	05/23/19	135.08
	PCard JE	00013	953717	338867	05/23/19	133.32
	PCard JE	00013	953717	338867	05/23/19	95.04
	PCard JE	00013	953717	338867	05/23/19	220.88
	PCard JE	00013	953717	338867	05/23/19	220.88
					Account Total	805.20
	Repair & Maint Supplies					
	PCard JE	00013	953717	338867	05/23/19	1,877.60
	PCard JE	00013	953717	338867	05/23/19	91.00
	PCard JE	00013	953717	338867	05/23/19	27.50
	PCard JE	00013	953717	338867	05/23/19	30.52
	PCard JE	00013	953717	338867	05/23/19	68.50
	PCard JE	00013	953717	338867	05/23/19	745.39
	PCard JE	00013	953717	338867	05/23/19	131.95
	PCard JE	00013	953717	338867	05/23/19	857.33
	PCard JE	00013	953717	338867	05/23/19	116.00
					Account Total	3,945.79
	Road Oil					
	COBITCO INC	00013	953708	338859	06/03/19	153.78
					Account Total	153.78
	Special Events					
	PCard JE	00013	953717	338867	05/23/19	55.00
	PCard JE	00013	953717	338867	05/23/19	731.13
					Account Total	786.13
	Telephone					
	PCard JE	00013	953717	338867	05/23/19	766.15
	PCard JE	00013	953717	338867	05/23/19	496.41

County of Adams
Vendor Payment Report

<u>3031</u>	<u>Transportation Opers & Maint</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
					Account Total	1,262.56
	Travel & Transportation					
	PCard JE	00013	953717	338867	05/23/19	17.00
	PCard JE	00013	953717	338867	05/23/19	15.00
					Account Total	32.00
	Water/Sewer/Sanitation					
	PCard JE	00013	953717	338867	05/23/19	242.68
	PREMIER PORTABLES	00013	953698	338859	06/03/19	350.00
	THE GOODYEAR TIRE AND RUBBER C	00013	953710	338859	06/03/19	225.00
	THE GOODYEAR TIRE AND RUBBER C	00013	953711	338859	06/03/19	120.00
	THE GOODYEAR TIRE AND RUBBER C	00013	953713	338859	06/03/19	255.00
					Account Total	1,192.68
					Department Total	25,885.55

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<u>3070I8504210</u>	<u>TANF Admin</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	PCard JE	00015	953717	338867	05/23/19	72.77
	PCard JE	00015	953717	338867	05/23/19	150.87
	PCard JE	00015	953717	338867	05/23/19	227.01
	PCard JE	00015	953717	338867	05/23/19	406.06
					Account Total	856.71
	Operating Supplies					
	PCard JE	00015	953717	338867	05/23/19	648.45
	PCard JE	00015	953717	338867	05/23/19	326.55
					Account Total	975.00
	Other Communications					
	PCard JE	00015	953717	338867	05/23/19	28.25
					Account Total	28.25
					Department Total	1,859.96

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Vendor Payment Report

<u>3070P9999900</u>	<u>TANF Non-Reimbursable</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Rental - Meeting/Confr.					
	PCard JE	00015	953717	338867	05/23/19	282.30
	PCard JE	00015	953717	338867	05/23/19	7.20-
					Account Total	275.10
					Department Total	275.10

County of Adams
Vendor Payment Report

<u>3070I8574195</u>	<u>TANF NON MON SVCS - EDUCATION</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	County Client/Provider					
	PCard JE	00015	953717	338867	05/23/19	3,000.00
					Account Total	3,000.00
					Department Total	3,000.00

County of Adams
Vendor Payment Report

<u>3070I8694195</u>	<u>TANF NON MON SVCS - TRANSPORT</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	County Client/Provider					
	PCard JE	00015	953717	338867	05/23/19	325.12
					Account Total	325.12
	Supp Svcs-Gas Vchr/Bus Tkns					
	PCard JE	00015	953717	338867	05/23/19	5,300.00
					Account Total	5,300.00
					Department Total	5,625.12

County of Adams
Vendor Payment Report

<u>3070I8694196</u>	<u>TANF NON MON SVCS -TRANSPORT</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	County Client/Provider					
	PCard JE	00015	953717	338867	05/23/19	120.00
					Account Total	120.00
					Department Total	120.00

County of Adams
Vendor Payment Report

<u>3070I8614196</u>	<u>TANF NON-RECURRENT SHT TRM BEN</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	County Client/Provider					
	PCard JE	00015	953717	338867	05/23/19	1,052.68-
					Account Total	1,052.68-
					Department Total	1,052.68-

County of Adams
Vendor Payment Report

<u>3070I8584196</u>	<u>TANF NON-TRANS WORK SUPP -EMPL</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	County Client/Provider					
	PCard JE	00015	953717	338867	05/23/19	1,200.00
					Account Total	1,200.00
					Department Total	1,200.00

County of Adams
Vendor Payment Report

<u>3070I8614195</u>	<u>TANF N0N MON SVCS - HOUSING</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	County Client/Provider					
	PCard JE	00015	953717	338867	05/23/19	150.96
	PCard JE	00015	953717	338867	05/23/19	124.00
					Account Total	274.96
					Department Total	274.96

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Vendor Payment Report

<u>97803</u>	<u>Wagner-Peyser Migrant Seasonal</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Travel & Transportation					
	PCard JE	00035	953717	338867	05/23/19	446.82
					Account Total	446.82
					Department Total	446.82

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Vendor Payment Report

<u>4316</u>	<u>Wastewater Treatment Plant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Maint & Repair					
	PCard JE	00043	953717	338867	05/23/19	70.53
	PCard JE	00043	953717	338867	05/23/19	54.80
					Account Total	125.33
					Department Total	125.33

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Vendor Payment Report

<u>35</u>	<u>Workforce & Business Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	COMPUTER SYSTEMS DESIGN	00035	953796	339004	06/04/19	4,800.00
					Account Total	4,800.00
					Department Total	4,800.00

County of Adams
Vendor Payment Report

<u>99600</u>	<u>WBC Admin Pool</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	CENTURYLINK	00035	953808	339081	06/05/19	8.15
					Account Total	8.15
					Department Total	8.15

County of Adams
Vendor Payment Report

<u>99700</u>	<u>WIB Expenses</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	PCard JE	00035	953717	338867	05/23/19	177.74
					Account Total	177.74
					Department Total	177.74

County of Adams
Vendor Payment Report

97200	WIOA ADULT PROGRAM	Fund	Voucher	Batch No	GL Date	Amount
	Clnt Trng-Tuition					
	PCard JE	00035	953717	338867	05/23/19	1,915.68-
	PCard JE	00035	953717	338867	05/23/19	3,000.00
	PCard JE	00035	953717	338867	05/23/19	3,000.00
					Account Total	4,084.32
					Department Total	4,084.32

County of Adams
Vendor Payment Report

<u>97700</u>	<u>WIOA DLW PROGRAM</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Clnt Trng-Books					
	PCard JE	00035	953717	338867	05/23/19	933.00
					Account Total	933.00
	Clnt Trng-Testing					
	PCard JE	00035	953717	338867	05/23/19	235.00
	PCard JE	00035	953717	338867	05/23/19	149.00
	PCard JE	00035	953717	338867	05/23/19	149.00-
					Account Total	235.00
	Clnt Trng-Tuition					
	PCard JE	00035	953717	338867	05/23/19	5,290.00
	PCard JE	00035	953717	338867	05/23/19	1,755.00-
					Account Total	3,535.00
					Department Total	4,703.00

County of Adams
Vendor Payment Report

<u>97500</u>	<u>WIOA YOUTH OLDER</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Clnt Trng-Books					
	PCard JE	00035	953717	338867	05/23/19	29.99
	PCard JE	00035	953717	338867	05/23/19	29.99
	PCard JE	00035	953717	338867	05/23/19	29.99
					Account Total	89.97
	Clnt Trng-GED/ESL					
	PCard JE	00035	953717	338867	05/23/19	37.50
	PCard JE	00035	953717	338867	05/23/19	37.50
	PCard JE	00035	953717	338867	05/23/19	37.50
	PCard JE	00035	953717	338867	05/23/19	37.50
	PCard JE	00035	953717	338867	05/23/19	37.50
	PCard JE	00035	953717	338867	05/23/19	37.50
	PCard JE	00035	953717	338867	05/23/19	37.50
	PCard JE	00035	953717	338867	05/23/19	37.50
	PCard JE	00035	953717	338867	05/23/19	37.50
	PCard JE	00035	953717	338867	05/23/19	37.50
	PCard JE	00035	953717	338867	05/23/19	37.50
	PCard JE	00035	953717	338867	05/23/19	37.50
	PCard JE	00035	953717	338867	05/23/19	37.50
	PCard JE	00035	953717	338867	05/23/19	37.50
	PCard JE	00035	953717	338867	05/23/19	17.50
	PCard JE	00035	953717	338867	05/23/19	17.50
	PCard JE	00035	953717	338867	05/23/19	37.50
	PCard JE	00035	953717	338867	05/23/19	37.50
	PCard JE	00035	953717	338867	05/23/19	37.50
	PCard JE	00035	953717	338867	05/23/19	37.50
	PCard JE	00035	953717	338867	05/23/19	17.50
	PCard JE	00035	953717	338867	05/23/19	37.50
	PCard JE	00035	953717	338867	05/23/19	37.50
	PCard JE	00035	953717	338867	05/23/19	37.50
	PCard JE	00035	953717	338867	05/23/19	17.50
	PCard JE	00035	953717	338867	05/23/19	37.50
	PCard JE	00035	953717	338867	05/23/19	37.50
	PCard JE	00035	953717	338867	05/23/19	37.50
	PCard JE	00035	953717	338867	05/23/19	17.50

County of Adams
Vendor Payment Report

06/07/19 12:52:59

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<u>97500</u>	<u>WIOA YOUTH OLDER</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PCard JE	00035	953717	338867	05/23/19	17.50
	PCard JE	00035	953717	338867	05/23/19	37.50
	PCard JE	00035	953717	338867	05/23/19	37.50
					Account Total	1,080.00
	Clnt Trng-Training Supplies					
	PCard JE	00035	953717	338867	05/23/19	66.94
					Account Total	66.94
	Clnt Trng-Tuition					
	PCard JE	00035	953717	338867	05/23/19	1,395.00
	PCard JE	00035	953717	338867	05/23/19	4,000.00
					Account Total	5,395.00
	Supp Svcs-Incentives					
	CHAVEZ ADALBERTO	00035	953809	339081	06/05/19	80.00
	DAVIS BRUNDE U	00035	953810	339081	06/05/19	25.00
	ESPARZA ANAYIZ	00035	953811	339081	06/05/19	20.00
	MYRICK KATHIE	00035	953815	339081	06/05/19	20.00
	RUNDBACK KATHERINE	00035	953844	339081	06/05/19	50.00
	SARNO-SANCHEZ CASANDREA	00035	953849	339081	06/05/19	40.00
					Account Total	235.00
	Supp Svcs-Uniforms/Tools					
	PCard JE	00035	953717	338867	05/23/19	106.54-
	PCard JE	00035	953717	338867	05/23/19	8.04
					Account Total	98.50-
					Department Total	6,768.41

County of Adams
Vendor Payment Report

<u>97400</u>	<u>WIOA YOUTH YOUNGER</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	PCard JE	00035	953717	338867	05/23/19	83.44
	PCard JE	00035	953717	338867	05/23/19	142.73
	PCard JE	00035	953717	338867	05/23/19	23.76
					Account Total	249.93
	Supp Svcs-Bus/Lite Rail Passes					
	PCard JE	00035	953717	338867	05/23/19	114.00
					Account Total	114.00
	Supp Svcs-Incentives					
	FONSECA YASNIEL	00035	953812	339081	06/05/19	50.00
	HOBBS TERRENCE R	00035	953813	339081	06/05/19	50.00
	HUGHES SARAH K	00035	953814	339081	06/05/19	25.00
					Account Total	125.00
					Department Total	488.93

County of Adams
Vendor Payment Report

<u>99200</u>	<u>10% Discretionary Grant (CIMS)</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Software and Licensing					
	PCard JE	00035	953717	338867	05/23/19	2,121.60
					Account Total	2,121.60
					Department Total	2,121.60

County of Adams
Vendor Payment Report

Grand Total 3,980,970.75



**Board of County Commissioners
Minutes of Commissioners' Proceedings**

Eva J. Henry - District #1
Charles "Chaz" Tedesco - District #2
Emma Pinter - District #3
Steve O'Dorisio - District #4
Mary Hodge - District #5

**Tuesday
May 28, 2019
9:30 AM**

1. ROLL CALL

Present: 3 - Commissioner Tedesco, Commissioner O'Dorisio, and Commissioner Hodge

Excused: 2 - Commissioner Henry, and Commissioner Pinter

2. PLEDGE OF ALLEGIANCE

3. MOTION TO APPROVE AGENDA

A motion was made by Commissioner Hodge, seconded by Commissioner Tedesco, that this Agenda be approved. The motion carried by the following vote:

Aye: 3 - Commissioner Tedesco, Commissioner O'Dorisio, and Commissioner Hodge

Absent: 2 - Commissioner Henry, and Commissioner Pinter

4. AWARDS AND PRESENTATIONS

Present: 4 - Commissioner Henry, Commissioner Tedesco, Commissioner O'Dorisio, and Commissioner Hodge

Excused: 1 - Commissioner Pinter

5. PUBLIC COMMENT

A. Citizen Communication

A total of 30 minutes is allocated at this time for public comment and each speaker will be limited to 3 minutes. If there are additional requests from the public to address the Board, time will be allocated at the end of the meeting to complete public comment. The chair requests that there be no public comment on issues for which a prior public hearing has been held before this Board.

B. Elected Officials' Communication

6. CONSENT CALENDAR

A motion was made by Commissioner Hodge, seconded by Commissioner Henry, that this Consent Calendar be approved. The motion carried by the following vote:

Aye: 4 - Commissioner Henry, Commissioner Tedesco, Commissioner O'Dorisio, and Commissioner Hodge

Absent: 1 - Commissioner Pinter

- A.** List of Expenditures Under the Dates of May 13-17, 2019
- B.** Minutes of the Commissioners Proceedings from May 21, 2019
- C.** Resolution Approving Application in Case #PLT2018-00035 Comanche Vista Estates, Filing 3 Final Plat
(File approved by ELT)
- D.** Resolution Approving Subdivision Improvements Agreement between Adams County and Kenneth W. Newby for Comanche Vista Estates, Filing 3
(File approved by ELT)
- E.** Resolution Accepting Quitclaim Deed Conveying Property from Mach Ventures, LLC, to Adams County for the Dedication of Road Right-of-Way for Imboden Road, East 128th Avenue and Watkins Road
(File approved by ELT)
- F.** Resolution Appointing Hilary Oredson as a Member of the Adams County Foster Care Task Force
(File approved by ELT)
- G.** Resolution Appointing Jan Melius as a Member of the Adams County Foster Care Task Force
(File approved by ELT)
- H.** Resolution Appointing Jessi Braverman as a Member of the Adams County Foster Care Task Force
(File approved by ELT)

- I.** Resolution Appointing Kaele Marquez as a Member of the Adams County Foster Care Task Force
(File approved by ELT)
- J.** Resolution Appointing Lori Moore as a Member of the Adams County Foster Care Task Force
(File approved by ELT)
- K.** Resolution Appointing Noel Steiner as a Member of the Adams County Foster Care Task Force
(File approved by ELT)
- L.** Resolution Appointing Rhonda Denison as a Member of the Adams County Foster Care Task Force
(File approved by ELT)
- M.** Resolution Appointing Sara Stovall as a Member of the Adams County Foster Care Task Force
(File approved by ELT)
- N.** Resolution Approving Abatement Petitions and Authorizing the Refund of Taxes for Account Numbers P0028520, R0141978, R0108153, R0188193, R0180520, R0189332, R0137585, R0104670, P0026525, P0036101 and R0071101
(File approved by ELT)
- O.** Resolution Approving Contract to Buy and Sell Real Estate between Esperanza Holding Company LLC and Adams County for Approximately 1500 Square Feet of Vacant Land
(File approved by ELT)
- P.** Resolution Approving an Intergovernmental Agreement between Adams County, Colorado and Ricardo Flores Magon Academy
(File approved by ELT)
- Q.** Resolution Approving Amendment 1 to Intergovernmental Agreement between Adams County Housing Authority and Adams County Board of County Commissioners for Head Start Program
(File approved by ELT)
- R.** Resolution Approving Contract Cost Amendment between Adams County and Genesis Health Care, LLC for Long Term Care and Medicaid Application Processing Services
(File approved by ELT)

- S. Resolution Establishing a County Opportunity Zone Task Force to Promote and Enhance Economic Development in Adams County
(File approved by ELT)
- T. Resolution Approving Agreement Regarding Member Funding Transfers Pursuant to the Aerotropolis Regional Transportation Authority Establishment Agreement
(File approved by ELT)
- U. Resolution Approving Lease Agreement between Adams County and Adams County Food Bank for Use of a Portion of the Honnen Building as a Local Food Bank
(File approved by ELT)

7. NEW BUSINESS

A. COUNTY MANAGER

Present: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Hodge

- 1. Resolution Awarding an Agreement between Adams County and Taylor Kohrs LLC for Construction Management General Contractor Services for the Adams County Leader Blade Station and Strasburg Wash Bay
(File approved by ELT)
A motion was made by Commissioner Hodge, seconded by Commissioner Tedesco, that this New Business be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Hodge

- 2. Resolution Approving an Agreement between Adams County and CBRE Inc., for Commercial Brokerage Services
(File approved by ELT)
A motion was made by Commissioner Hodge, seconded by Commissioner Pinter, that this New Business be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Hodge

B. COUNTY ATTORNEY

8. Motion to Adjourn into Executive Session Pursuant to C.R.S. 24-6-402(4)(b) for the Purpose of Receiving Legal Advice Regarding Collective Bargaining

A motion was made by Commissioner Henry, seconded by Commissioner Pinter, that this Executive Session be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter,
Commissioner O'Dorisio, and Commissioner Hodge

Motion to Adjourn into Executive Session Pursuant to C.R.S. 24-6-402(4)(b) and
(e) for the Purpose of Receiving Legal Advice and Instructing Negotiators
Regarding Claim Asserted by David Perito

**A motion was made by Commissioner Henry, seconded by Commissioner
Pinter, that this Executive Session be approved. The motion carried by the
following vote:**

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter,
Commissioner O'Dorisio, and Commissioner Hodge

9. ADJOURNMENT

AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 18, 2019
SUBJECT: Resolution accepting Quitclaim Deed conveying property from Erik Ryan Wareham and Marcella P. Wareham to Adams County, for the dedication of road right-of-way
FROM: Kristin Sullivan, AICP, Director of Public Works Brian Staley, P.E., PTOE, Deputy Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners accepts the Quitclaim Deed for the acquisition of property needed for road right-of-way.

BACKGROUND:

Adams County is in the process of acquiring right-of-way along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue for the 2018 Miscellaneous Concrete and ADA Ramps Project. The intention of this Project is to identify and improve the overall mobility and accessibility of maturing neighborhoods with ADA accessibility connectivity including ADA-compliant sidewalks and the addition of ADA pedestrian ramps. The attached resolution allows Adams County to accept the Quitclaim Deed.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Draft resolution
Quitclaim Deed
Planning Commission resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING QUITCLAIM DEED CONVEYING PROPERTY FROM
ERIK RYAN WAREHAM AND MARCELLA P. WAREHAM TO ADAMS COUNTY,
FOR THE DEDICATION OF ROAD RIGHT-OF-WAY

WHEREAS, Adams County is in the process of acquiring right-of-way for the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue ("Project"); and,

WHEREAS, this right-of-way parcel is from property at 20 Campo Street, located in the Southwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado and is owned by Erik Ryan Wareham and Marcella P. Wareham ("Parcel"); and,

WHEREAS, Adams County requires ownership of the Parcel for construction of the Project; and,

WHEREAS, Erik Ryan Wareham and Marcella P. Wareham have executed a Quitclaim Deed to dedicate the parcel for road right-of-way purposes for Campo Street that complies with County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 10th day of January, 2019, the Planning Commission recommended that the Board of County Commissioners accept said Quitclaim Deed.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the attached Quitclaim Deed from Erik Ryan Wareham and Marcella P. Wareham, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

QUITCLAIM DEED

THIS DEED, made this 6th day of September, 2018, between Erik Ryan Wareham and Marcella P. Wareham, whose legal address is 20 Campo Street, Denver, CO 80221, grantor, and The County of Adams, State of Colorado, grantee, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601.

WITNESS, that the grantor, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, has remised, released, sold and QUITCLAIMED, and by these presents does remise, release, sell and QUITCLAIM unto the grantee, its successors and assigns forever, all the right, title, interest, claim and demand which the grantor has in and to the real property, together with improvements, if any, situate, lying and being in the said County of Adams and State of Colorado, described as follows:

Legal description as set forth is Exhibit "A" attached hereto and incorporated herein by this reference.

Also known by street and number as: **20 Campo Street**
Dedicated for **Campo Street**
Assessor's schedule or parcel numbers: part of **0171934316020**

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the same, together with all and singular the appurtenances and privileges thereunto belonging, or in anywise thereunto appertaining, and all the estate, right, title, interest and claim whatsoever of the grantor, either in law or equity, to the only proper use, benefit and behoove of the grantee, its successors and assigns forever, except 2017 taxes due in 2018 which grantor agrees to pay.

The singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

IN WITNESS WHEREOF, the grantor has executed this deed on the date set forth above.

BY: [Signature]
Erik Ryan Wareham

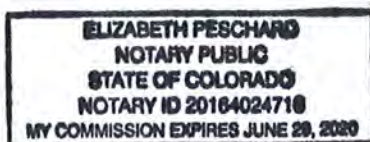
BY: [Signature]
Marcella P. Wareham

STATE OF COLORADO)
) §
County of Adams Jefferson

The foregoing instrument was acknowledged before me this 6th day of September, 2018, by Erik Ryan Wareham and Marcella P. Wareham.

My commission expires: JUNE 29 2020

Witness my hand and official seal.



[Signature]

Notary Public

EXHIBIT "A"

DEED FROM RYAN AND MARCELLA WAREHAM TO THE COUNTY OF ADAMS, STATE OF COLORADO

Legal Description

A parcel of land being a portion of Lot 1 Block 5 of the WESTERN HILLS FILING NO. 1, a Subdivision recorded on October 7, 1954 in File No. 10 Map 82 Reception No. 430673 in the Office of the Clerk and Recorder of Adams County, Colorado, located in the Southwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, being more particularly described as follows:

Beginning at the Northeasterly Corner of said Lot 1, thence South 0°02'17" East, along the Easterly line of said Lot 1, a distance of 10.00 feet;

Thence leaving said Easterly line, North 45°02'17" West, a distance of 14.14 feet to the Northerly line of said Lot 1;

Thence North 89°57'43" East, along the Northerly line of said Lot 1, a distance of 10.00 feet to the Point of Beginning.

Containing: 50 square feet, more or less.

Legal description prepared by:

Ian Cortez, PLS
Colorado Professional
Land Surveyor No. 32822
For and on behalf of:
Adams County, Colorado

Exhibit "B" attached and hereby made a part thereof.



EXHIBIT "B"

CAMPO STREET

N89°57'43"E
10.00'

POINT OF
BEGINNING

N45°02'17"W
14.14'

S0°02'17"E
10.00'

AREA=
50 S.F.,±

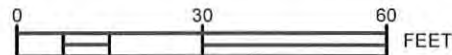
ERIK AND MARCELLA WAREHAM

WESTERN HILLS FILING NO. 1
LOT 1, BLOCK 5

20 CAMPO ST.
PN: 1719-34-3-16-020

BROADWAY STREET

WEST LINE-SE1/4 SEC. 34



SCALE: 1" = 30'



THIS EXHIBIT IS NOT A BOUNDARY SURVEY AND
SHOULD NOT BE USED AS SUCH. IT IS INTENDED ONLY
TO DEPICT THE ATTACHED LEGAL DESCRIPTION.

AGENDA ITEM

PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A QUITCLAIM DEED FROM
ERIK RYAN WAREHAM AND MARCELLA P. WAREHAM TO ADAMS COUNTY FOR
RIGHT-OF-WAY PURPOSES

At the regular meeting for the Planning Commission for Adams County, Colorado, held at County Government Center in Brighton on Thursday the 10th day of January, 2019, the following proceedings and others were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Quitclaim Deed from Erik Ryan Wareham and Marcella P. Wareham for right-of-way purposes on the following described land to wit:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this Quitclaim Deed is in conjunction with the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue, located in the Southwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED, that the Adams County Planning Commission recommends to the Board of County Commissioners that said Quitclaim Deed from Erik Ryan Wareham and Marcella P. Wareham be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, Greg Thompson, Chairperson/Acting Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Chairperson/Acting Chairperson
Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 18, 2019
SUBJECT: Resolution accepting Quitclaim Deed conveying property from 20 Cortez Street, LLC, to Adams County, for the dedication of road right-of-way
FROM: Kristin Sullivan, AICP, Director of Public Works Brian Staley, P.E., PTOE, Deputy Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners accepts the Quitclaim Deed for the acquisition of property needed for road right-of-way.

BACKGROUND:

Adams County is in the process of acquiring right-of-way along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue for the 2018 Miscellaneous Concrete and ADA Ramps Project. The intention of this Project is to identify and improve the overall mobility and accessibility of maturing neighborhoods with ADA accessibility connectivity including ADA-compliant sidewalks and the addition of ADA pedestrian ramps. The attached resolution allows Adams County to accept the Quitclaim Deed.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Draft resolution
Quitclaim Deed
Planning Commission resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING QUITCLAIM DEED CONVEYING PROPERTY FROM
20 CORTEZ STREET, LLC, TO ADAMS COUNTY, FOR THE DEDICATION OF ROAD
RIGHT-OF-WAY

WHEREAS, Adams County is in the process of acquiring right-of-way for the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue (“Project”); and,

WHEREAS, this right-of-way parcel is from property at 20 Cortez Street, located in the Southwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado and is owned by 20 Cortez Street, LLC (“Parcel”); and,

WHEREAS, Adams County requires ownership of the Parcel for construction of the Project; and,

WHEREAS, 20 Cortez Street, LLC, has executed a Quitclaim Deed to dedicate the parcel for road right-of-way purposes for Cortez Street that complies with County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 10th day of January, 2019, the Planning Commission recommended that the Board of County Commissioners accept said Quitclaim Deed.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the attached Quitclaim Deed from 20 Cortez Street, LLC, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

QUITCLAIM DEED

THIS DEED, made this 27th day of August, 2018, between **20 Cortez Street, LLC.**, whose legal address is 6885 Lowell Boulevard, Denver, CO 80221, grantor, and **The County of Adams, State of Colorado**, grantee, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601.

WITNESS, that the grantor, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, has remised, released, sold and QUITCLAIMED, and by these presents does remise, release, sell and QUITCLAIM unto the grantee, its successors and assigns forever, all the right, title, interest, claim and demand which the grantor has in and to the real property, together with improvements, if any, situate, lying and being in the said County of Adams and State of Colorado, described as follows:

Legal description as set forth is Exhibit "A" attached hereto and incorporated herein by this reference.

Dedicated for Cortez Street

Also known by street and number as: 20 Cortez Street

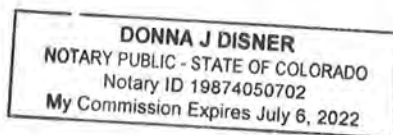
Assessor's schedule or parcel numbers: part of 01719-34-3-10-027

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the same, together with all and singular the appurtenances and privileges thereunto belonging, or in anywise thereunto appertaining, and all the estate, right, title, interest and claim whatsoever of the grantor, either in law or equity, to the only proper use, benefit and behoove of the grantee, its successors and assigns forever, except 2017 taxes due in 2018 which grantor agrees to pay.

The singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

IN WITNESS WHEREOF, the grantor has executed this deed on the date set forth above.



20 Cortez Street, LLC

BY: _____

Leonard Benson, Manager

STATE OF COLORADO)

County of Adams) §

The foregoing instrument was acknowledged before me this 27th day of August, 2018, by Leonard Benson, as Manager of 20 Cortez Street, LLC.

My commission expires: 7/6/22

Witness my hand and official seal.

A handwritten signature in blue ink, likely belonging to the Notary Public, Donna J. Disner.

Notary Public

EXHIBIT "A"

DEED FROM 20 CORTEZ STREET, LLC, TO THE COUNTY OF ADAMS, STATE OF COLORADO

Legal Description

Two (2) tracts of land being a portion of Lot 1 Block 6 of the WESTERN HILLS FILING NO. 1, a Subdivision recorded on October 7, 1954 in File No. 10 Map 82 Reception No. 430673 in the Office of the Clerk and Recorder of Adams County, Colorado, located in the Southwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, being more particularly described as follows:

Tract A:

Beginning at the Northeasterly Corner of said Lot 1, thence South 00°02'17" East, along the Easterly line of said Lot 1, a distance of 10.00 feet;

Thence leaving said Easterly line, North 45°02'17" West, a distance of 14.14 feet to a point on the Northerly line of said Lot 1;

Thence North 89°57'43" East, along the Northerly line of said Lot 1, a distance of 10.00 feet to the Point of Beginning.

Containing: 50 square feet, more or less.

Tract B:

Beginning at the Southeasterly Corner of said Lot 1, thence South 89°57'43" West, along the Southerly line of said Lot 1, a distance of 5.00 feet;

Thence leaving said Southerly line, North 00°02'17" West, a distance of 8.50 feet to a point;

Thence North 89°57'43" East, a distance of 5.00 feet to a point on the Easterly line of said Lot 1;

Thence South 00°02'17" East, along the Easterly line of said Lot 1, a distance of 8.50 feet to the Point of Beginning.

Containing: 43 square feet, more or less.

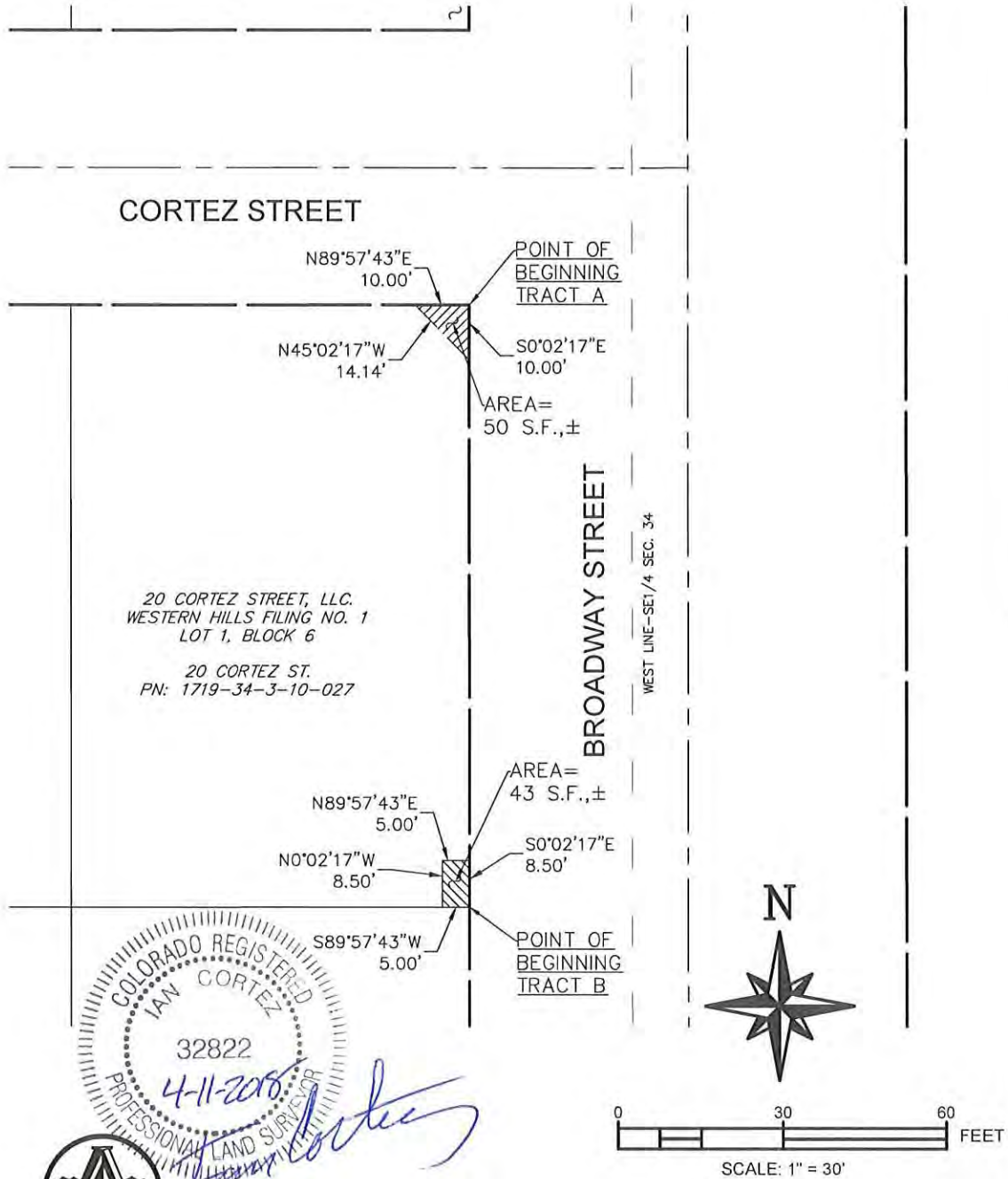
Legal description prepared by:

Ian Cortez, PLS
Colorado Professional
Land Surveyor No. 32822
For and on behalf of:
Adams County, Colorado

Exhibit "B" attached and hereby made a part thereof.



EXHIBIT "B"



THIS EXHIBIT IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE USED AS SUCH. IT IS INTENDED ONLY TO DEPICT THE ATTACHED LEGAL DESCRIPTION.

AGENDA ITEM

PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A QUITCLAIM DEED FROM 20
CORTEZ STREET, LLC, TO ADAMS COUNTY FOR RIGHT-OF-WAY PURPOSES

At the regular meeting for the Planning Commission for Adams County, Colorado, held at County Government Center in Brighton on Thursday the 10th day of January, 2019, the following proceedings and others were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Quitclaim Deed from 20 Cortez Street, LLC, for right-of-way purposes on the following described land to wit:


Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this Quitclaim Deed is in conjunction with the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue, located in the Southwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED, that the Adams County Planning Commission recommends to the Board of County Commissioners that said Quitclaim Deed from 20 Cortez Street, LLC, be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, Greg Thompson, Chairperson/Acting Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Chairperson/Acting Chairperson
Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 18, 2019
SUBJECT: Resolution accepting Warranty Deed conveying property from Jorge M. Campos and Liz M. Campos to Adams County, for the dedication of road right-of-way
FROM: Kristin Sullivan, AICP, Director of Public Works Brian Staley, P.E., PTOE, Deputy Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners accepts the Warranty Deed for the acquisition of property needed for road right-of-way.

BACKGROUND:

Adams County is in the process of acquiring right-of-way along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue for the 2018 Miscellaneous Concrete and ADA Ramps Project. The intention of this Project is to identify and improve the overall mobility and accessibility of maturing neighborhoods with ADA accessibility connectivity including ADA-compliant sidewalks and the addition of ADA pedestrian ramps. The attached resolution allows Adams County to accept the Warranty Deed.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Draft resolution
Warranty Deed
Planning Commission resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING WARRANTY DEED CONVEYING PROPERTY FROM
JORGE M. CAMPOS AND LIZ M. CAMPOS TO ADAMS COUNTY, FOR THE
DEDICATION OF ROAD RIGHT-OF-WAY

WHEREAS, Adams County is in the process of acquiring right-of-way for the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue ("Project"); and,

WHEREAS, this right-of-way parcel is from property at 21 Cortez Street, located in the Southwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado and is owned by Jorge M. Campos and Liz M. Campos ("Parcel"); and,

WHEREAS, Adams County requires ownership of the Parcel for construction of the Project; and,

WHEREAS, Jorge M. Campos and Liz M. Campos have executed a Warranty Deed to dedicate the parcel for road right-of-way purposes for Cortez Street that complies with County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 10th day of January, 2019, the Planning Commission recommended that the Board of County Commissioners accept said Warranty Deed.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the attached Warranty Deed from Jorge M. Campos and Liz M. Campos, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

WARRANTY DEED

THIS DEED, dated this 2nd day of October, 2018, between **Jorge M. Campos and Liz M. Campos**, whose legal address is 21 Cortez Street, Denver, Colorado 80221-3617 of the County of Adams and State of Colorado, grantor(s), and **THE COUNTY OF ADAMS, State of Colorado**, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601 of the said County of Adams and State of Colorado, grantee(s):

WITNESS, that the grantor(s), for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents doth grant, bargain, sell, convey and confirm, unto the grantee(s), its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the said County of Adams, State of Colorado, described as follows:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

Dedicated for **Cortez Street**

Also known by street and number as: **21 Cortez Street**

Assessor's schedule or parcel number: part of **0171934309029**

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantee(s), its successors and assigns forever. The grantor(s), for itself, its successors and assigns, do covenant, grant, bargain and agree to and with the grantee(s), its successors and assigns, that at the time of the ensembling and delivery of these presents, it is well seized of the premises above conveyed, have good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and have good right, full power and authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind or nature soever, except oil, gas and mineral interests if any and except 2017 taxes due in 2018 which grantor agrees to pay.

The grantor(s) shall and will **WARRANT AND FOREVER DEFEND** the above bargained premises in the quiet and peaceable possession of the grantee(s), its successors and assigns, against all and every person or persons lawfully claiming the whole or any part thereof.

IN WITNESS WHEREOF, the grantor(s) have executed this deed on the date set forth above.

Jorge M. Campos

Liz M. Campos

By: _____

By: _____

STATE OF COLORADO)

County of Adams)

The foregoing instrument was acknowledged before me this 2nd day of October, 2018, by Jorge M. Campos and Liz M. Campos.

My commission expires: 12/15/2020

Witness my hand and official seal.

MARIBEL ORTIZ URIAS
NOTARY PUBLIC
STATE OF COLORADO

Notary Public

Name and Address of Person Creating Newly Created Legal Document: _____

NOTARY ID: 20164047208
MY COMMISSION EXPIRES DECEMBER 15, 2020

EXHIBIT "A"

DEED FROM 20 CORTEZ STREET, LLC, TO THE COUNTY OF ADAMS, STATE OF COLORADO

Legal Description

Two (2) tracts of land being a portion of Lot 1 Block 6 of the WESTERN HILLS FILING NO. 1, a Subdivision recorded on October 7, 1954 in File No. 10 Map 82 Reception No. 430673 in the Office of the Clerk and Recorder of Adams County, Colorado, located in the Southwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, being more particularly described as follows:

Tract A:

Beginning at the Northeasterly Corner of said Lot 1, thence South 00°02'17" East, along the Easterly line of said Lot 1, a distance of 10.00 feet;

Thence leaving said Easterly line, North 45°02'17" West, a distance of 14.14 feet to a point on the Northerly line of said Lot 1;

Thence North 89°57'43" East, along the Northerly line of said Lot 1, a distance of 10.00 feet to the Point of Beginning.

Containing: 50 square feet, more or less.

Tract B:

Beginning at the Southeasterly Corner of said Lot 1, thence South 89°57'43" West, along the Southerly line of said Lot 1, a distance of 5.00 feet;

Thence leaving said Southerly line, North 00°02'17" West, a distance of 8.50 feet to a point;

Thence North 89°57'43" East, a distance of 5.00 feet to a point on the Easterly line of said Lot 1;

Thence South 00°02'17" East, along the Easterly line of said Lot 1, a distance of 8.50 feet to the Point of Beginning.

Containing: 43 square feet, more or less.

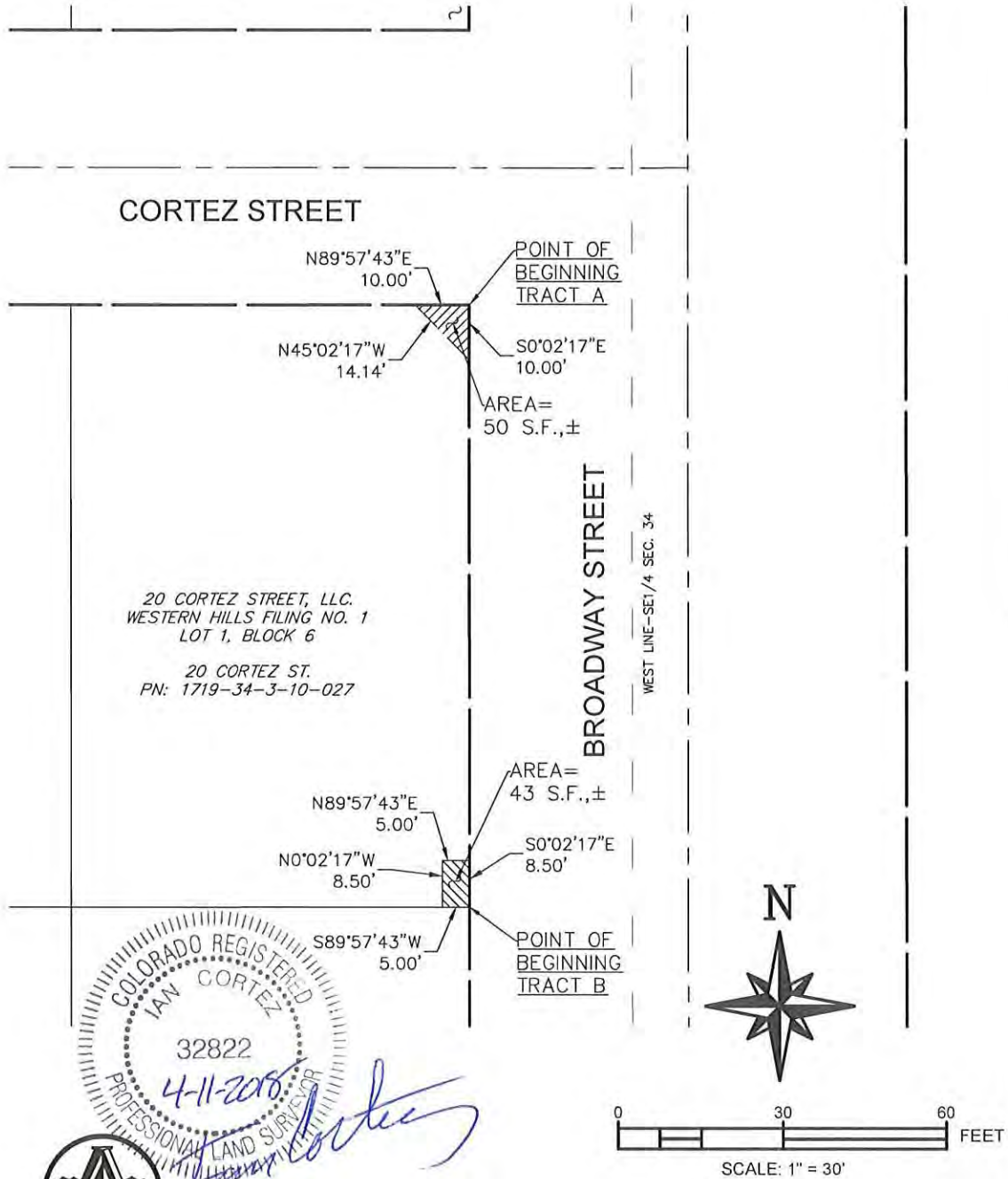
Legal description prepared by:

Ian Cortez, PLS
Colorado Professional
Land Surveyor No. 32822
For and on behalf of:
Adams County, Colorado

Exhibit "B" attached and hereby made a part thereof.



EXHIBIT "B"



THIS EXHIBIT IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE USED AS SUCH. IT IS INTENDED ONLY TO DEPICT THE ATTACHED LEGAL DESCRIPTION.

AGENDA ITEM

PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A WARRANTY DEED FROM
JORGE M. CAMPOS AND LIZ M. CAMPOS TO ADAMS COUNTY FOR RIGHT-OF-WAY
PURPOSES

At the regular meeting for the Planning Commission for Adams County, Colorado, held at County Government Center in Brighton on Thursday the 10th day of January, 2019, the following proceedings and others were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Warranty Deed from Jorge M. Campos and Liz M. Campos for right-of-way purposes on the following described land to wit:


Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this Warranty Deed is in conjunction with the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue, located in the Southwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED, that the Adams County Planning Commission recommends to the Board of County Commissioners that said Warranty Deed from Jorge M. Campos and Liz M. Campos be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, Greg Thompson, Chairperson/Acting Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Chairperson/Acting Chairperson
Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 18, 2019
SUBJECT: Resolution accepting Warranty Deed conveying property from Gladys N. Valdovinos to Adams County, for the dedication of road right-of-way
FROM: Kristin Sullivan, AICP, Director of Public Works Brian Staley, P.E., PTOE, Deputy Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners accepts the Warranty Deed for the acquisition of property needed for road right-of-way.

BACKGROUND:

Adams County is in the process of acquiring right-of-way along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue for the 2018 Miscellaneous Concrete and ADA Ramps Project. The intention of this Project is to identify and improve the overall mobility and accessibility of maturing neighborhoods with ADA accessibility connectivity including ADA-compliant sidewalks and the addition of ADA pedestrian ramps. The attached resolution allows Adams County to accept the Warranty Deed.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Draft resolution
Warranty Deed
Planning Commission resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING WARRANTY DEED CONVEYING PROPERTY FROM
GLADYS N. VALDOVINOS TO ADAMS COUNTY, FOR THE DEDICATION OF ROAD
RIGHT-OF-WAY

WHEREAS, Adams County is in the process of acquiring right-of-way for the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue ("Project"); and,

WHEREAS, this right-of-way parcel is from property at 21 Cragmore Street, located in the Southwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado and is owned by Gladys N. Valdovinos ("Parcel"); and,

WHEREAS, Adams County requires ownership of the Parcel for construction of the Project; and,

WHEREAS, Gladys N. Valdovinos has executed a Warranty Deed to dedicate the parcel for road right-of-way purposes for Cragmore Street that complies with County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 10th day of January, 2019, the Planning Commission recommended that the Board of County Commissioners accept said Warranty Deed.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Warranty Deed from Gladys N. Valdovinos, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

WARRANTY DEED

THIS DEED, dated this 3 day of October, 2018, between **Gladys N. Valdovinos**, whose legal address is 21 Cragmore Street, Denver, Colorado 80221, of the County of Adams and State of Colorado, grantor(s), and **THE COUNTY OF ADAMS, State of Colorado**, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601 of the said County of Adams and State of Colorado, grantee(s):

WITNESS, that the grantor(s), for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents doth grant, bargain, sell, convey and confirm, unto the grantee(s), its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the said County of Adams, State of Colorado, described as follows:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

Dedicated for **Cragmore Street**

Also known by street and number as: **21 Cragmore Street**

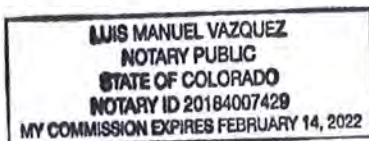
Assessor's schedule or parcel number: part of **0171934302016**

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantee(s), its successors and assigns forever. The grantor(s), for itself, its successors and assigns, do covenant, grant, bargain and agree to and with the grantee(s), its successors and assigns, that at the time of the ensembling and delivery of these presents, it is well seized of the premises above conveyed, have good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and have good right, full power and authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind or nature soever, except oil, gas and mineral interests if any and except 2017 taxes due in 2018 which grantor agrees to pay.

The grantor(s) shall and will **WARRANT AND FOREVER DEFEND** the above bargained premises in the quiet and peaceable possession of the grantee(s), its successors and assigns, against all and every person or persons lawfully claiming the whole or any part thereof.

IN WITNESS WHEREOF, the grantor(s) have executed this deed on the date set forth above.



Gladys N. Valdovinos

By: Gladys N. Valdovinos

STATE OF COLORADO)

County of Adams) §

The foregoing instrument was acknowledged before me this 03 day of October, 2018, by Gladys N. Valdovinos.

My commission expires: February

Witness my hand and official seal.

A handwritten signature in dark ink, appearing to be "Luis Vazquez", written over a horizontal line.

Notary Public

Name and Address of Person Creating Newly Created Legal Description (§38-35-106.5, C.R.S.)

EXHIBIT "A"

DEED FROM GLADYS VALDOVINOS TO THE COUNTY OF ADAMS, STATE OF COLORADO

Legal Description

A parcel of land being a portion of Lot 18 Block 8 of the WESTERN HILLS FILING NO. 1, a Subdivision recorded on October 7, 1954 in File No. 10 Map 82 Reception No. 430673 in the Office of the Clerk and Recorder of Adams County, Colorado, located in the Southwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, being more particularly described as follows:

Beginning at the Southeasterly Corner of said Lot 18, thence South 89°57'43" West, along the Southerly line of said Lot 18, a distance of 10.00 feet;

Thence leaving said Southerly line, North 44°57'43" East, a distance of 14.14 feet to the Easterly line of said Lot 18;

Thence South 0°02'17" East, along the Easterly line of said Lot 18, a distance of 10.00 feet to the Point of Beginning.

Containing: 50 square feet, more or less.

Legal description prepared by:

Ian Cortez, PLS
Colorado Professional
Land Surveyor No. 32822
For and on behalf of:
Adams County, Colorado

Exhibit "B" attached and hereby made a part thereof.



EXHIBIT "B"

GLADYS VALDOVINOS
WESTERN HILLS FILING NO. 1
LOT 18, BLOCK 8

21 CRAIGMORE ST.
PN: 1719-34-3-02-016

BROADWAY STREET

WEST LINE-SE1/4 SEC. 34

N44°57'43"E
14.14'

S0°02'17"E
10.00'

POINT OF
BEGINNING

S89°57'43"W
10.00'

AREA=
50 S.F.,±

CRAIGMORE STREET



SCALE: 1" = 30'



ADAMS COUNTY
COLORADO



THIS EXHIBIT IS NOT A BOUNDARY SURVEY AND
SHOULD NOT BE USED AS SUCH. IT IS INTENDED ONLY
TO DEPICT THE ATTACHED LEGAL DESCRIPTION.

AGENDA ITEM

PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A WARRANTY DEED FROM
GLADYS N. VALDOVINOS TO ADAMS COUNTY FOR RIGHT-OF-WAY PURPOSES

At the regular meeting for the Planning Commission for Adams County, Colorado, held at County Government Center in Brighton on Thursday the 10th day of January, 2019, the following proceedings and others were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Warranty Deed from Gladys N. Valdovinos for right-of-way purposes on the following described land to wit:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this Warranty Deed is in conjunction with the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue, located in the Southwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED, that the Adams County Planning Commission recommends to the Board of County Commissioners that said Warranty Deed from Gladys N. Valdovinos be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, Greg Thompson, Chairperson/Acting Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Chairperson/Acting Chairperson
Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 18, 2019
SUBJECT: Resolution accepting Warranty Deed conveying property from Manuel Philip Covarrubias to Adams County, for the dedication of road right-of-way
FROM: Kristin Sullivan, AICP, Director of Public Works Brian Staley, P.E., PTOE, Deputy Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners accepts the Warranty Deed for the acquisition of property needed for road right-of-way.

BACKGROUND:

Adams County is in the process of acquiring right-of-way along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue for the 2018 Miscellaneous Concrete and ADA Ramps Project. The intention of this Project is to identify and improve the overall mobility and accessibility of maturing neighborhoods with ADA accessibility connectivity including ADA-compliant sidewalks and the addition of ADA pedestrian ramps. The attached resolution allows Adams County to accept the Warranty Deed.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Draft resolution
Warranty Deed
Planning Commission resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING WARRANTY DEED CONVEYING PROPERTY FROM
MANUEL PHILIP COVARRUBIAS TO ADAMS COUNTY, FOR THE DEDICATION OF
ROAD RIGHT-OF-WAY

WHEREAS, Adams County is in the process of acquiring right-of-way for the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue ("Project"); and,

WHEREAS, this right-of-way parcel is from property at 7581 Broadway Street, located in the Southwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado and is owned by Manuel Philip Covarrubias ("Parcel"); and,

WHEREAS, Adams County requires ownership of the Parcel for construction of the Project; and,

WHEREAS, Manuel Philip Covarrubias has executed a Warranty Deed to dedicate the parcel for road right-of-way purposes for Broadway Street that complies with County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 10th day of January, 2019, the Planning Commission recommended that the Board of County Commissioners accept said Warranty Deed.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Warranty Deed from Manuel Philip Covarrubias, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

WARRANTY DEED

THIS DEED, dated this 01 day of October, 2018, between **Manuel Philip Covarrubias**, whose legal address is 7581 Broadway Street, Denver, Colorado 80221, of the County of Adams and State of Colorado, grantor(s), and **THE COUNTY OF ADAMS, State of Colorado**, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601 of the said County of Adams and State of Colorado, grantee(s):

WITNESS, that the grantor(s), for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents doth grant, bargain, sell, convey and confirm, unto the grantee(s), its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the said County of Adams, State of Colorado, described as follows:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

Dedicated for **Broadway Street**

Also known by street and number as: **7581 Broadway Street**

Assessor's schedule or parcel number: part of **01719-34-3-01-005**

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantee(s), its successors and assigns forever. The grantor(s), for itself, its successors and assigns, do covenant, grant, bargain and agree to and with the grantee(s), its successors and assigns, that at the time of the ensembling and delivery of these presents, it is well seized of the premises above conveyed, have good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and have good right, full power and authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind or nature soever, except oil, gas and mineral interests if any and except 2017 taxes due in 2018 which grantor agrees to pay.

The grantor(s) shall and will **WARRANT AND FOREVER DEFEND** the above bargained premises in the quiet and peaceable possession of the grantee(s), its successors and assigns, against all and every person or persons lawfully claiming the whole or any part thereof.

IN WITNESS WHEREOF, the grantor(s) have executed this deed on the date set forth above.

Manuel Philip Covarrubias

By: Manuel P. Covarrubias

STATE OF COLORADO)

County of Adams) §

The foregoing instrument was acknowledged before me this 01 day of October, 2018, by Manuel Philip Covarrubias.

My commission expires: December 22, 2021

Witness my hand and official seal.

James A. Garcia

Notary Public

Name and Address of Person Creating Newly Created Legal Description (§38-35-106.5, C.R.S.)



EXHIBIT "A"

**DEED FROM MANUEL COVARRUBIAS
TO
THE COUNTY OF ADAMS, STATE OF COLORADO**

Legal Description

A parcel of land being a portion of Tract A, Block 7, of the SHERRELWOOD ESTATES FILING NO. 6, a Subdivision recorded on February 24, 1960 in File No. 10 Map 351 Reception No. 602721 in the Office of the Clerk and Recorder of Adams County, Colorado, located in the Southwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, being more particularly described as follows:

Beginning at the Northeasterly Corner of said Tract A, thence South 89°50'40" West, along the Northerly line of said Tract A, a distance of 10.00 feet;

Thence leaving said Northerly line, South 45°34'41" East, a distance of 14.24 feet to the beginning of a nontangent curve concave Easterly and having a radius of 340.00 feet, said curve being the Easterly line of said Tract A;

Thence Northerly along said curve to the right, and the Easterly line of said Tract A, a distance of 10.00 feet through a central angle of 1°41'07", with a chord bearing North 00°59'30" West and a chord distance of 10.00 feet to the Point of Beginning.

Containing: 50 square feet, more or less.

Legal description prepared by:

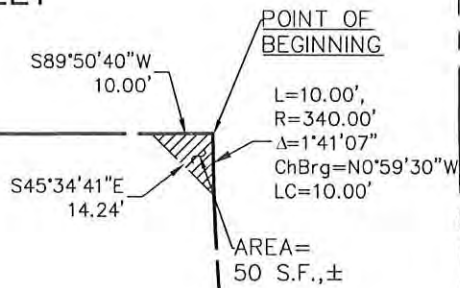
Ian Cortez, PLS
Colorado Professional
Land Surveyor No. 32822
For and on behalf of:
Adams County, Colorado

Exhibit "B" attached and hereby made a part thereof.



EXHIBIT "B"

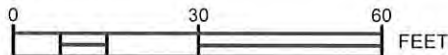
DEL NORTE STREET



BROADWAY STREET

MANUEL COVARRUBIAS
PART OF TRACT A, BLOCK 7
SHERRELWOOD ESTATES FILING NO.6

7581 BROADWAY ST.
PN: 1719-34-3-01-005



SCALE: 1" = 30'



ADAMS COUNTY
COLORADO



THIS EXHIBIT IS NOT A BOUNDARY SURVEY AND
SHOULD NOT BE USED AS SUCH. IT IS INTENDED ONLY
TO DEPICT THE ATTACHED LEGAL DESCRIPTION.

AGENDA ITEM

PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A WARRANTY DEED FROM
MANUEL PHILLIP COVARRUBIAS TO ADAMS COUNTY FOR RIGHT-OF-WAY
PURPOSES

At the regular meeting for the Planning Commission for Adams County, Colorado, held at County Government Center in Brighton on Thursday the 10th day of January, 2019, the following proceedings and others were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Warranty Deed Manuel Phillip Covarrubias for right-of-way purposes on the following described land to wit:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this Warranty Deed is in conjunction with the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue, located in the Southwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED, that the Adams County Planning Commission recommends to the Board of County Commissioners that said Warranty Deed from Manuel Philip Covarrubias be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, Greg Thompson, Chairperson/Acting Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Chairperson/Acting Chairperson
Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 18, 2019
SUBJECT: Resolution accepting Quitclaim Deed conveying property from Jose M. Araiza and Francisca Romero to Adams County, for the dedication of road right-of-way
FROM: Kristin Sullivan, AICP, Director of Public Works Brian Staley, P.E., PTOE, Deputy Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners accepts the Quitclaim Deed for the acquisition of property needed for road right-of-way.

BACKGROUND:

Adams County is in the process of acquiring right-of-way along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue for the 2018 Miscellaneous Concrete and ADA Ramps Project. The intention of this Project is to identify and improve the overall mobility and accessibility of maturing neighborhoods with ADA accessibility connectivity including ADA-compliant sidewalks and the addition of ADA pedestrian ramps. The attached resolution allows Adams County to accept the Quitclaim Deed.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Draft resolution
Quitclaim Deed
Planning Commission resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING QUITCLAIM DEED CONVEYING PROPERTY FROM
JOSE M. ARAIZA AND FRANCISCA ROMERO TO ADAMS COUNTY, FOR THE
DEDICATION OF ROAD RIGHT-OF-WAY

WHEREAS, Adams County is in the process of acquiring right-of-way for the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue ("Project"); and,

WHEREAS, this right-of-way parcel is from property at 7875 Conifer Road, located in the Northwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado and is owned by Jose M. Araiza and Francisca Romero ("Parcel"); and,

WHEREAS, Adams County requires ownership of the Parcel for construction of the Project; and,

WHEREAS, Jose M. Araiza and Francisca Romero have executed a Quitclaim Deed to dedicate the parcel for road right-of-way purposes for Conifer Road that complies with County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 10th day of January, 2019, the Planning Commission recommended that the Board of County Commissioners accept said Quitclaim Deed.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Quitclaim Deed from Jose M. Araiza and Francisca Romero, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

QUITCLAIM DEED

THIS DEED, made this 8th day of Sept, 2018, between **Jose M. Araiza and Francisca Romero**, whose legal address is 7875 Conifer Road, Denver, CO 80221, grantor, and **The County of Adams, State of Colorado**, grantee, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601.

WITNESS, that the grantor, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, has remised, released, sold and QUITCLAIMED, and by these presents does remise, release, sell and QUITCLAIM unto the grantee, its successors and assigns forever, all the right, title, interest, claim and demand which the grantor has in and to the real property, together with improvements, if any, situate, lying and being in the said County of Adams and State of Colorado, described as follows:

Legal description as set forth is Exhibit "A" attached hereto and incorporated herein by this reference.

Dedicated for **Conifer Road**

Also known by street and number as: **7875 Conifer Road**

Assessor's schedule or parcel numbers: part of **0171934212014**

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the same, together with all and singular the appurtenances and privileges thereunto belonging, or in anywise thereunto appertaining, and all the estate, right, title, interest and claim whatsoever of the grantor, either in law or equity, to the only proper use, benefit and behoove of the grantee, its successors and assigns forever, except 2017 taxes due in 2018 which grantor agrees to pay.

The singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

IN WITNESS WHEREOF, the grantor has executed this deed on the date set forth above.

BY:

Jose M. Araiza

BY:

Francisca Romero

STATE OF COLORADO)

) §

County of Adams)

The foregoing instrument was acknowledged before me this 8th day of Sept, 2018, by Jose M. Araiza and Francisca Romero.

My commission expires:

12.31.19

Witness my hand and official seal.

Notary Public

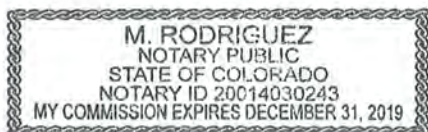


EXHIBIT "A"

**DEED FROM MANUEL COVARRUBIAS
TO
THE COUNTY OF ADAMS, STATE OF COLORADO**

Legal Description

A parcel of land being a portion of Tract A, Block 7, of the SHERRELWOOD ESTATES FILING NO. 6, a Subdivision recorded on February 24, 1960 in File No. 10 Map 351 Reception No. 602721 in the Office of the Clerk and Recorder of Adams County, Colorado, located in the Southwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, being more particularly described as follows:

Beginning at the Northeasterly Corner of said Tract A, thence South 89°50'40" West, along the Northerly line of said Tract A, a distance of 10.00 feet;

Thence leaving said Northerly line, South 45°34'41" East, a distance of 14.24 feet to the beginning of a nontangent curve concave Easterly and having a radius of 340.00 feet, said curve being the Easterly line of said Tract A;

Thence Northerly along said curve to the right, and the Easterly line of said Tract A, a distance of 10.00 feet through a central angle of 1°41'07", with a chord bearing North 00°59'30" West and a chord distance of 10.00 feet to the Point of Beginning.

Containing: 50 square feet, more or less.

Legal description prepared by:

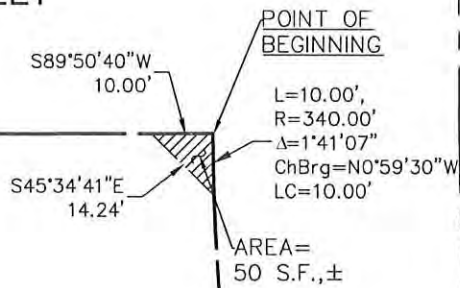
Ian Cortez, PLS
Colorado Professional
Land Surveyor No. 32822
For and on behalf of:
Adams County, Colorado

Exhibit "B" attached and hereby made a part thereof.



EXHIBIT "B"

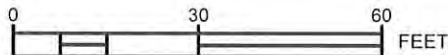
DEL NORTE STREET



BROADWAY STREET

MANUEL COVARRUBIAS
PART OF TRACT A, BLOCK 7
SHERRELWOOD ESTATES FILING NO.6

7581 BROADWAY ST.
PN: 1719-34-3-01-005



SCALE: 1" = 30'



ADAMS COUNTY
COLORADO



THIS EXHIBIT IS NOT A BOUNDARY SURVEY AND
SHOULD NOT BE USED AS SUCH. IT IS INTENDED ONLY
TO DEPICT THE ATTACHED LEGAL DESCRIPTION.

AGENDA ITEM

PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A QUITCLAIM DEED FROM
JOSE M. ARAIZA AND FRANCISCA ROMERO TO ADAMS COUNTY FOR RIGHT-OF-
WAY PURPOSES

At the regular meeting for the Planning Commission for Adams County, Colorado, held at County Government Center in Brighton on Thursday the 10th day of January, 2019, the following proceedings and others were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Quitclaim Deed from Jose M. Araiza and Francisca Romero for right-of-way purposes on the following described land to wit:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this Quitclaim Deed is in conjunction with the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue, located in the Northwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED, that the Adams County Planning Commission recommends to the Board of County Commissioners that said Quitclaim Deed from Jose M. Araiza and Francisca Romero be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, Greg Thompson, Chairperson/Acting Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Chairperson/Acting Chairperson
Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 18, 2019
SUBJECT: Resolution accepting Warranty Deed conveying property from Justin Michael Yert and Joy Elizabeth Yert to Adams County, for the dedication of road right-of-way
FROM: Kristin Sullivan, AICP, Director of Public Works Brian Staley, P.E., PTOE, Deputy Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners accepts the Warranty Deed for the acquisition of property needed for road right-of-way.

BACKGROUND:

Adams County is in the process of acquiring right-of-way along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue for the 2018 Miscellaneous Concrete and ADA Ramps Project. The intention of this Project is to identify and improve the overall mobility and accessibility of maturing neighborhoods with ADA accessibility connectivity including ADA-compliant sidewalks and the addition of ADA pedestrian ramps. The attached resolution allows Adams County to accept the Warranty Deed.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Draft resolution
Warranty Deed
Planning Commission resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING WARRANTY DEED CONVEYING PROPERTY FROM
JUSTIN MICHAEL YERT AND JOY ELIZABETH YERT TO ADAMS COUNTY, FOR THE
DEDICATION OF ROAD RIGHT-OF-WAY

WHEREAS, Adams County is in the process of acquiring right-of-way for the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue ("Project"); and,

WHEREAS, this right-of-way parcel is from property at 7885 Conifer Road, located in the Northwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado and is owned by Justin Michael Yert and Joy Elizabeth Yert ("Parcel"); and,

WHEREAS, Adams County requires ownership of the Parcel for construction of the Project; and,

WHEREAS, Justin Michael Yert and Joy Elizabeth Yert have executed a Warranty Deed to dedicate the parcel for road right-of-way purposes for Conifer Road that complies with County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 10th day of January, 2019, the Planning Commission recommended that the Board of County Commissioners accept said Warranty Deed.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Warranty Deed from Justin Michael Yert and Joy Elizabeth Yert, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

WARRANTY DEED

THIS DEED, dated this 28th day of August, 2018, between **Justin Michael Yert and Joy Elizabeth Yert**, grantors, and **THE COUNTY OF ADAMS, State of Colorado**, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601 of the said County of Adams and State of Colorado, grantee(s):

WITNESS, that the grantor(s), for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents doth grant, bargain, sell, convey and confirm, unto the grantee(s), its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the said County of Adams, State of Colorado, described as follows:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

Dedicated for **Conifer Road**

Also known by street and number as: **7885 Conifer Road**

Assessor's schedule or parcel number: part of **01719-34-2-12-001**

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantee(s), its successors and assigns forever. The grantor(s), for itself, its successors and assigns, do covenant, grant, bargain and agree to and with the grantee(s), its successors and assigns, that at the time of the ensembling and delivery of these presents, it is well seized of the premises above conveyed, have good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and have good right, full power and authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind or nature soever, except oil, gas and mineral interests if any and except 2017 taxes due in 2018 which grantor agrees to pay.

The grantor(s) shall and will **WARRANT AND FOREVER DEFEND** the above bargained premises in the quiet and peaceable possession of the grantee(s), its successors and assigns, against all and every person or persons lawfully claiming the whole or any part thereof.

IN WITNESS WHEREOF, the grantor(s) have executed this deed on the date set forth above.

Justin Michael Yert

Joy Elizabeth Yert

By: _____

By: _____

STATE OF Virginia)
County of Suffolk) §

The foregoing instrument was acknowledged before me this 28th day of August, 2018, by Justin Michael Yert and Joy Elizabeth Yert.

My commission expires: 08-31-2019

Witness my hand and official seal.

Ashley Nichole Gray
Notary Public 7624249
Commonwealth of Virginia

Notary Public

Ashley Nichole Gray
Notary Public 7624249
Commonwealth of Virginia
My Comm Exp 08-31-2019

EXHIBIT "A"

**DEED FROM JUSTIN AND JOY YERT
TO
THE COUNTY OF ADAMS, STATE OF COLORADO**

Legal Description

A parcel of land being a portion of Lot 7, Block 21, of the SHERRELWOOD ESTATES FILING NO. 1, a Subdivision recorded on December 24, 1958 in File No. 10 Map 301 Reception No. 569158 in the Office of the Clerk and Recorder of Adams County, Colorado, located in the Northwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, being more particularly described as follows:

Beginning at the Northeasterly Corner of said Lot 7, thence South 26°43'15" East, along the Easterly line of said Lot 7, a distance of 10.00 feet;

Thence leaving said Easterly line, North 71°43'15" West, a distance of 14.14 feet to a point on the Northerly line of said Lot 7;

Thence North 63°16'45" East, along the Northerly line of said Lot 7, a distance of 10.00 feet to the Point of Beginning.

Containing: 50 square feet, more or less.

Legal description prepared by:

Ian Cortez, PLS
Colorado Professional
Land Surveyor No. 32822
For and on behalf of:
Adams County, Colorado

Exhibit "B" attached and hereby made a part thereof.



EXHIBIT "B"

EL PASO BLVD.

POINT OF
BEGINNING

N63°16'45"E
10.00'

S26°43'15"E
10.00'

AREA=
50 S.F.,±

N71°43'15"W
14.14'

CONIFER ROAD

JUSTIN AND JOY YERT
LOT 7, BLOCK 21
SHERRELWOOD ESTATES FILING NO. 1

7885 CONIFER RD.
PN: 1719-34-2-12-001



SCALE: 1" = 30'

THIS EXHIBIT IS NOT A BOUNDARY SURVEY AND
SHOULD NOT BE USED AS SUCH. IT IS INTENDED ONLY
TO DEPICT THE ATTACHED LEGAL DESCRIPTION.

AGENDA ITEM

PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A WARRANTY DEED FROM
JUSTIN MICHAEL YERT AND JOY ELIZABETH YERT TO ADAMS COUNTY FOR
RIGHT-OF-WAY PURPOSES

At the regular meeting for the Planning Commission for Adams County, Colorado, held at County Government Center in Brighton on Thursday the 10th day of January, 2019, the following proceedings and others were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Warranty Deed from Justin Michael Yert and Joy Elizabeth Yert for right-of-way purposes on the following described land to wit:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this Warranty Deed is in conjunction with the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue, located in the Northwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED, that the Adams County Planning Commission recommends to the Board of County Commissioners that said Warranty Deed from Justin Michael Yert and Joy Elizabeth Yert be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, Greg Thompson, Chairperson/Acting Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Chairperson/Acting Chairperson
Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 18, 2019
SUBJECT: Resolution accepting Warranty Deed conveying property from Francisco Rodriguez and Alicia Rodriguez to Adams County, for the dedication of road right-of-way
FROM: Kristin Sullivan, AICP, Director of Public Works Brian Staley, P.E., PTOE, Deputy Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners accepts the Warranty Deed for the acquisition of property needed for road right-of-way.

BACKGROUND:

Adams County is in the process of acquiring right-of-way along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue for the 2018 Miscellaneous Concrete and ADA Ramps Project. The intention of this Project is to identify and improve the overall mobility and accessibility of maturing neighborhoods with ADA accessibility connectivity including ADA-compliant sidewalks and the addition of ADA pedestrian ramps. The attached resolution allows Adams County to accept the Warranty Deed.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Draft resolution
Warranty Deed
Planning Commission resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING WARRANTY DEED CONVEYING PROPERTY FROM
FRANCISCO RODRIGUEZ AND ALICIA RODRIGUEZ TO ADAMS COUNTY, FOR THE
DEDICATION OF ROAD RIGHT-OF-WAY

WHEREAS, Adams County is in the process of acquiring right-of-way for the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue ("Project"); and,

WHEREAS, this right-of-way parcel is from property at 480 West 79th Place, located in the Northwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado and is owned by Francisco Rodriguez and Alicia Rodriguez ("Parcel"); and,

WHEREAS, Adams County requires ownership of the Parcel for construction of the Project; and,

WHEREAS, Francisco Rodriguez and Alicia Rodriguez have executed a Warranty Deed to dedicate the parcel for road right-of-way purposes for West 79th Place that complies with County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 10th day of January, 2019, the Planning Commission recommended that the Board of County Commissioners accept said Warranty Deed.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Warranty Deed from Francisco Rodriguez and Alicia Rodriguez, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

WARRANTY DEED

THIS DEED, dated this 14th day of September 2018, between **Francisco Rodriguez and Alicia Rodriguez**, owners, whose legal address is 480 West 79th Place, Denver, Colorado 80221-4043, of the County of Adams and State of Colorado, grantor(s), and **THE COUNTY OF ADAMS, State of Colorado**, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601 of the said County of Adams and State of Colorado, grantee(s):

WITNESS, that the grantor(s), for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents doth grant, bargain, sell, convey and confirm, unto the grantee(s), its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the said County of Adams, State of Colorado, described as follows:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

Dedicated for **West 79th Place**

Also known by street and number as: **480 W. 79th Place**

Assessor's schedule or parcel number: part of **0171934206011**

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantee(s), its successors and assigns forever. The grantor(s), for itself, its successors and assigns, do covenant, grant, bargain and agree to and with the grantee(s), its successors and assigns, that at the time of the ensealing and delivery of these presents, it is well seized of the premises above conveyed, have good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and have good right, full power and authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind or nature soever, except oil, gas and mineral interests if any and except 2017 taxes due in 2018 which grantor agrees to pay.

The grantor(s) shall and will **WARRANT AND FOREVER DEFEND** the above bargained premises in the quiet and peaceable possession of the grantee(s), its successors and assigns, against all and every person or persons lawfully claiming the whole or any part thereof.

IN WITNESS WHEREOF, the grantor(s) have executed this deed on the date set forth above.

Francisco Rodriguez,

Alicia Rodriguez

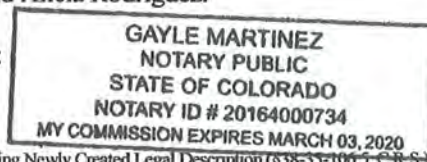
By: Francisco Rodriguez

By: Alicia Rodriguez

STATE OF COLORADO)
)§
County of Adams)

The foregoing instrument was acknowledged before me this 14th day of September, 2018, by Francisco Rodriguez and Alicia Rodriguez.

My commission expires:



Witness my hand and official seal.

Gayle Martinez

Notary Public

Name and Address of Person Creating Newly Created Legal Description (§38-35-106.5, C.R.S.)

EXHIBIT "A"

**DEED FROM FRANCISCO AND ALICIA RODRIGUEZ
TO
THE COUNTY OF ADAMS, STATE OF COLORADO**

Legal Description

A parcel of land being a portion of Lot 18, Block 7, of the SHERRELWOOD ESTATES FILING NO. 8, a Subdivision recorded on November 8, 1962 in File No. 11 Map 11 Reception No. 679075 in the Office of the Clerk and Recorder of Adams County, Colorado, located in the Northwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, being more particularly described as follows:

Beginning at the Northeasterly Corner of said Lot 18, thence South 26°43'15" East, along the Easterly line of said Lot 18, a distance of 10.00 feet;

Thence leaving said Easterly line, North 71°43'15" West, a distance of 14.14 feet to a point on the Northerly line of said Lot 18;

Thence North 63°16'45" East, along the Northerly line of said Lot 18, a distance of 10.00 feet to the Point of Beginning.

Containing: 50 square feet, more or less.

Legal description prepared by:

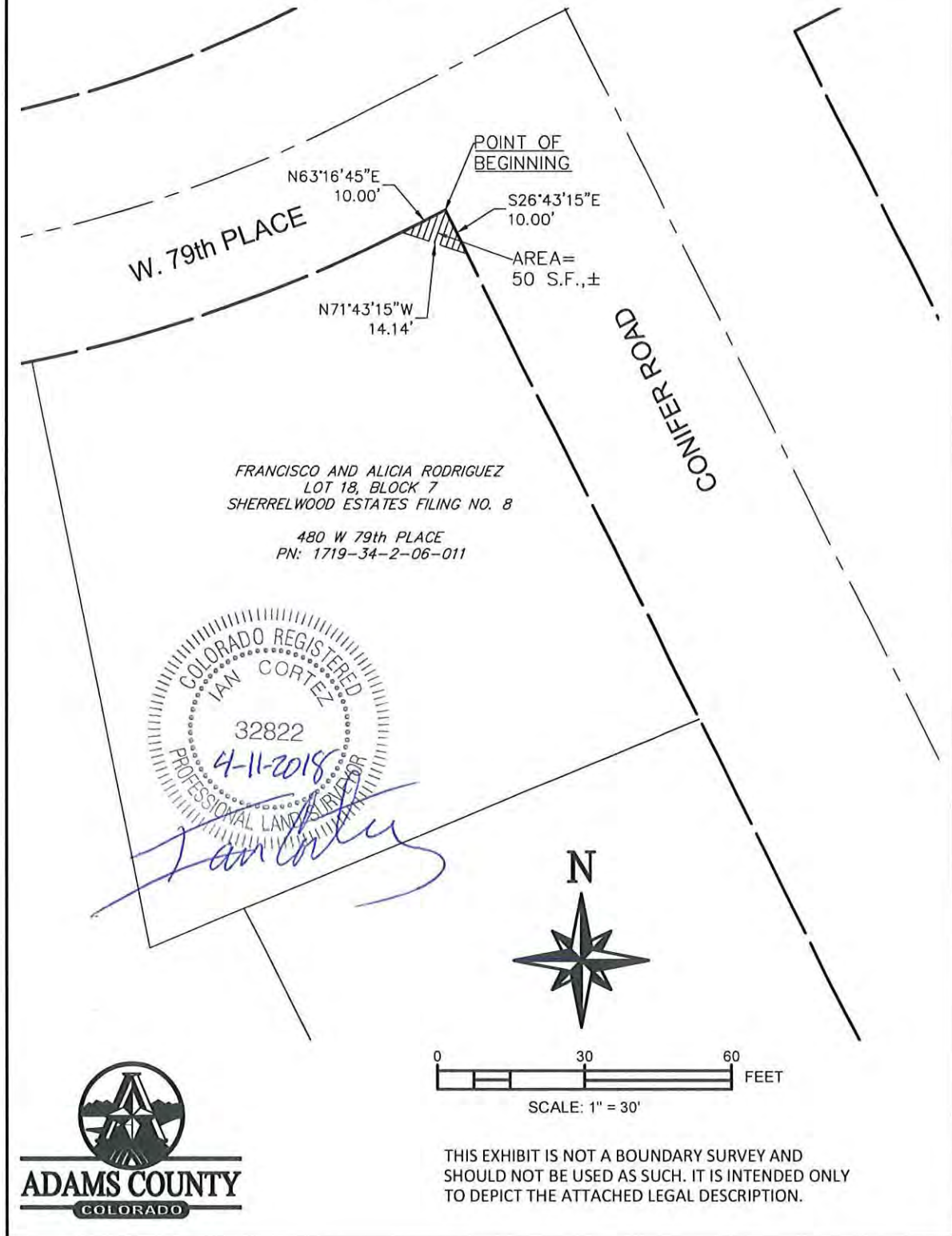
Ian Cortez, PLS
Colorado Professional
Land Surveyor No. 32822
For and on behalf of:
Adams County, Colorado

Exhibit "B" attached and hereby made a part thereof.



Ian Cortez

EXHIBIT "B"



THIS EXHIBIT IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE USED AS SUCH. IT IS INTENDED ONLY TO DEPICT THE ATTACHED LEGAL DESCRIPTION.

AGENDA ITEM

PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A WARRANTY DEED FROM
FRANCISCO RODRIGUEZ AND ALICIA RODRIGUEZ TO ADAMS COUNTY FOR
RIGHT-OF-WAY PURPOSES

At the regular meeting for the Planning Commission for Adams County, Colorado, held at County Government Center in Brighton on Thursday the 10th day of January, 2019, the following proceedings and others were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Warranty Deed from Francisco Rodriguez and Alicia Rodriguez for right-of-way purposes on the following described land to wit:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this Warranty Deed is in conjunction with the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue, located in the Northwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED, that the Adams County Planning Commission recommends to the Board of County Commissioners that said Warranty Deed from Francisco Rodriguez and Alicia Rodriguez be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, Greg Thompson, Chairperson/Acting Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Chairperson/Acting Chairperson
Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 18, 2019
SUBJECT: Resolution accepting Warranty Deed conveying property from Alexander Family, LLC, to Adams County, for the dedication of road right-of-way
FROM: Kristin Sullivan, AICP, Director of Public Works Brian Staley, P.E., PTOE, Deputy Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners accepts the Warranty Deed for the acquisition of property needed for road right-of-way.

BACKGROUND:

Adams County is in the process of acquiring right-of-way along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue for the 2018 Miscellaneous Concrete and ADA Ramps Project. The intention of this Project is to identify and improve the overall mobility and accessibility of maturing neighborhoods with ADA accessibility connectivity including ADA-compliant sidewalks and the addition of ADA pedestrian ramps. The attached resolution allows Adams County to accept the Warranty Deed.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Draft resolution
Warranty Deed
Planning Commission resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING WARRANTY DEED CONVEYING PROPERTY FROM
ALEXANDER FAMILY, LLC, TO ADAMS COUNTY, FOR THE DEDICATION OF ROAD
RIGHT-OF-WAY

WHEREAS, Adams County is in the process of acquiring right-of-way for the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue ("Project"); and,

WHEREAS, this right-of-way parcel is from property at 482 West 80th Avenue, located in the Northwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado and is owned by Alexander Family, LLC ("Parcel"); and,

WHEREAS, Adams County requires ownership of the Parcel for construction of the Project; and,

WHEREAS, Alexander Family, LLC, has executed a Warranty Deed to dedicate the parcel for road right-of-way purposes for West 80th Avenue that complies with County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 10th day of January, 2019, the Planning Commission recommended that the Board of County Commissioners accept said Warranty Deed.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Warranty Deed from Alexander Family, LLC, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

WARRANTY DEED

THIS DEED, dated this 5th day of November, 2018, between **Alexander Family, LLC**, a Colorado limited liability company, whose legal address is 482 West 80th Avenue, Denver, Colorado 80221, of the County of Adams and State of Colorado, grantor(s), and **THE COUNTY OF ADAMS, State of Colorado**, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601 of the said County of Adams and State of Colorado, grantee(s):

WITNESS, that the grantor(s), for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents doth grant, bargain, sell, convey and confirm, unto the grantee(s), its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the said County of Adams, State of Colorado, described as follows:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

Dedicated for **West 80th Avenue**

Also known by street and number as: **482 West 80th Avenue**

Assessor's schedule or parcel number: part of **0171934205009**

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantee(s), its successors and assigns forever. The grantor(s), for itself, its successors and assigns, do covenant, grant, bargain and agree to and with the grantee(s), its successors and assigns, that at the time of the ensembling and delivery of these presents, it is well seized of the premises above conveyed, have good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and have good right, full power and authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind or nature soever, except oil, gas and mineral interests if any and except 2017 taxes due in 2018 which grantor agrees to pay.

The grantor(s) shall and will **WARRANT AND FOREVER DEFEND** the above bargained premises in the quiet and peaceable possession of the grantee(s), its successors and assigns, against all and every person or persons lawfully claiming the whole or any part thereof.

IN WITNESS WHEREOF, the grantor(s) have executed this deed on the date set forth above.

Alexander Family, LLC,
a Colorado limited liability company

By: James Matthew Alexander

James Matthew Alexander, Registered Agent

STATE OF COLORADO)
) §
County of Broomfield)

The foregoing instrument was acknowledged before me this 5th day of November, 2018, by James Matthew Alexander, as Registered Agent for Alexander Family, LLC, a Colorado limited liability company.

My commission expires:

7-7-2019

Witness my hand and official seal.

Janice E. Alexander

Notary Public

Name and Address of Person Creating Newly Created Legal Description (§38-35-106.5, C.R.S.)

EXHIBIT "A"

DEED FROM ALEXANDER FAMILY, LLC. TO THE COUNTY OF ADAMS, STATE OF COLORADO

Legal Description

A parcel of land being a portion of Lot 6, Block 6, of the SHERRELWOOD ESTATES FILING NO. 8, a Subdivision recorded on November 8, 1962 in File No. 11 Map 11 Reception No. 679075 in the Office of the Clerk and Recorder of Adams County, Colorado, located in the Northwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, being more particularly described as follows:

Beginning at the Northeasterly Corner of said Lot 6, thence South 0°06'13" East, along the Easterly line of said Lot 6, a distance of 30.02 feet to a point of cusp with a curve concave Southwesterly and having a radius of 30.00 feet;

Thence Northerly, Northwesterly and Westerly along the arc of said curve, a distance of 47.17 feet through a central angle of 90°02'07" to a point of cusp with the Northerly line of said Lot 6;

Thence North 89°51'39" East, along the Northerly line of said Lot 6, a distance of 30.02 feet to the Point of Beginning.

Containing: 193 square feet, more or less.

Legal description prepared by:

Ian Cortez, PLS
Colorado Professional
Land Surveyor No. 32822
For and on behalf of:
Adams County, Colorado

Exhibit "B" attached and hereby made a part thereof.



EXHIBIT "B"

W. 80th AVENUE

N89°51'39"E
30.02'

POINT OF
BEGINNING

Delta = 90°02'07"
R=30.00'
L=47.14'

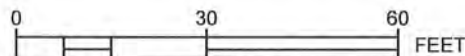
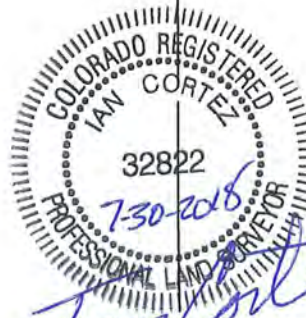
AREA=
193 S.F., ±

S0°06'13"E
30.02'

CONIFER ROAD

ALEXANDER FAMILY, LLC.
LOT 6, BLOCK 6
SHERRELWOOD ESTATES FILING NO. 8

482 W 80th AVE
PN: 1719-34-2-05-009



SCALE: 1" = 30'



ADAMS COUNTY
COLORADO

THIS EXHIBIT IS NOT A BOUNDARY SURVEY AND
SHOULD NOT BE USED AS SUCH. IT IS INTENDED ONLY
TO DEPICT THE ATTACHED LEGAL DESCRIPTION.

AGENDA ITEM

PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A WARRANTY DEED FROM
ALEXANDER FAMILY, LLC, TO ADAMS COUNTY FOR RIGHT-OF-WAY PURPOSES

At the regular meeting for the Planning Commission for Adams County, Colorado, held at County Government Center in Brighton on Thursday the 10th day of January, 2019, the following proceedings and others were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Warranty Deed from Alexander Family, LLC, for right-of-way purposes on the following described land to wit:


Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this Warranty Deed is in conjunction with the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue, located in the Northwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED, that the Adams County Planning Commission recommends to the Board of County Commissioners that said Warranty Deed from Alexander Family, LLC, be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, Greg Thompson, Chairperson/Acting Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Chairperson/Acting Chairperson
Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 18, 2019
SUBJECT: Resolution accepting Quitclaim Deed conveying property from Aaron C. Kester to Adams County, for the dedication of road right-of-way
FROM: Kristin Sullivan, AICP, Director of Public Works Brian Staley, P.E., PTOE, Deputy Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners accepts the Quitclaim Deed for the acquisition of property needed for road right-of-way.

BACKGROUND:

Adams County is in the process of acquiring right-of-way along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue for the 2018 Miscellaneous Concrete and ADA Ramps Project. The intention of this Project is to identify and improve the overall mobility and accessibility of maturing neighborhoods with ADA accessibility connectivity including ADA-compliant sidewalks and the addition of ADA pedestrian ramps. The attached resolution allows Adams County to accept the Quitclaim Deed.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Draft resolution
Quitclaim Deed
Planning Commission resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING QUITCLAIM DEED CONVEYING PROPERTY FROM
AARON C. KESTER TO ADAMS COUNTY, FOR THE DEDICATION OF ROAD
RIGHT-OF-WAY

WHEREAS, Adams County is in the process of acquiring right-of-way for the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue (“Project”); and,

WHEREAS, this right-of-way parcel is from property at 483 West 80th Avenue, located in the Southwest Quarter of Section 27, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado and is owned by Aaron C. Kester (“Parcel”); and,

WHEREAS, Adams County requires ownership of the Parcel for construction of the Project; and,

WHEREAS, Aaron C. Kester has executed a Quitclaim Deed to dedicate the parcel for road right-of-way purposes for West 80th Avenue that complies with County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 10th day of January, 2019, the Planning Commission recommended that the Board of County Commissioners accept said Quitclaim Deed.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Quitclaim Deed from Aaron C. Kester, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

QUITCLAIM DEED

THIS DEED, made this 11 day of November, 2018, between **Aaron C. Kester**, whose legal address is 483 West 80th Avenue, Denver, CO 80221 grantor, and **The County of Adams, State of Colorado**, grantee, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601.

WITNESS, that the grantor, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, has remised, released, sold and QUITCLAIMED, and by these presents does remise, release, sell and QUITCLAIM unto the grantee, its successors and assigns forever, all the right, title, interest, claim and demand which the grantor has in and to the real property, together with improvements, if any, situate, lying and being in the said County of Adams and State of Colorado, described as follows:

Legal description as set forth is Exhibit "A" attached hereto and incorporated herein by this reference.

Dedicated for **West 80th Avenue**

Also known by street and number as: **483 West 80th Avenue**

Assessor's schedule or parcel numbers: part of **0171927326014**

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the same, together with all and singular the appurtenances and privileges thereunto belonging, or in anywise thereunto appertaining, and all the estate, right, title, interest and claim whatsoever of the grantor, either in law or equity, to the only proper use, benefit and behoove of the grantee, its successors and assigns forever, except 2017 taxes due in 2018 which grantor agrees to pay.

The singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

IN WITNESS WHEREOF, the grantor has executed this deed on the date set forth above.

BY: 

Aaron C. Kester

STATE OF COLORADO)

) §

County of Adams)

The foregoing instrument was acknowledged before me this 17th day of November, 2018, by Aaron C. Kester.

My commission expires: 10/18/21

CASSANDRA N SANCHEZ
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20174043453
MY COMMISSION EXPIRES OCTOBER 18, 2021

Witness my hand and official seal.


Notary Public

EXHIBIT "A"

**DEED FROM AARON KESTER
TO
THE COUNTY OF ADAMS, STATE OF COLORADO**

Legal Description

A parcel of land being a portion of Lot 24, Block 5, of the SHERRELWOOD ESTATES FILING NO. 8, a Subdivision recorded on November 8, 1962 in File No. 11 Map 11 Reception No. 679075 in the Office of the Clerk and Recorder of Adams County, Colorado, located in the Southwest Quarter of Section 27, Township 2 South, Range 68 West of the 6th Principal Meridian, being more particularly described as follows:

Beginning at the Southeasterly Corner of said Lot 24, thence South 89°51'39" West, along the Southerly line of said Lot 24, a distance of 10.00 feet;

Thence leaving said Southerly line, North 44°51'39" East, a distance of 14.14 feet to a point on the Easterly line of said Lot 24;

Thence South 0°08'21" East, along the Easterly line of said Lot 24, a distance of 10.00 feet to the Point of Beginning.

Containing: 50 square feet, more or less.

Legal description prepared by:

Ian Cortez, PLS
Colorado Professional
Land Surveyor No. 32822
For and on behalf of:
Adams County, Colorado

Exhibit "B" attached and hereby made a part thereof.



EXHIBIT "B"



AARON KESTER
LOT 24, BLOCK 5
SHERRELWOOD ESTATES FILING NO. 8

483 W 80th AVE
PN: 1719-27-3-26-014

CONIFER ROAD

N44°51'39"E
14.14'

S0°08'21"E
10.00'

POINT OF
BEGINNING

W. 80th AVENUE

AREA=
50 S.F.,±

S89°51'39"W
10.00'



0 30 60 FEET

SCALE: 1" = 30'



ADAMS COUNTY
COLORADO

THIS EXHIBIT IS NOT A BOUNDARY SURVEY AND
SHOULD NOT BE USED AS SUCH. IT IS INTENDED ONLY
TO DEPICT THE ATTACHED LEGAL DESCRIPTION.

AGENDA ITEM

PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A QUITCLAIM DEED FROM
AARON C. KESTER TO ADAMS COUNTY FOR RIGHT-OF-WAY PURPOSES

At the regular meeting for the Planning Commission for Adams County, Colorado, held at County Government Center in Brighton on Thursday the 10th day of January, 2019, the following proceedings and others were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Quitclaim Deed from Aaron C. Kester for right-of-way purposes on the following described land to wit:


Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this Quitclaim Deed is in conjunction with the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue, located in the Southwest Quarter of Section 27, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED, that the Adams County Planning Commission recommends to the Board of County Commissioners that said Quitclaim Deed from Aaron C. Kester be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, Greg Thompson, Chairperson/Acting Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Chairperson/Acting Chairperson
Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 18, 2019
SUBJECT: Resolution accepting Warranty Deed conveying property from Veronica Munoz Contreras to Adams County, for the dedication of road right-of-way
FROM: Kristin Sullivan, AICP, Director of Public Works Brian Staley, P.E., PTOE, Deputy Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners accepts the Warranty Deed for the acquisition of property needed for road right-of-way.

BACKGROUND:

Adams County is in the process of acquiring right-of-way along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue for the 2018 Miscellaneous Concrete and ADA Ramps Project. The intention of this Project is to identify and improve the overall mobility and accessibility of maturing neighborhoods with ADA accessibility connectivity including ADA-compliant sidewalks and the addition of ADA pedestrian ramps. The attached resolution allows Adams County to accept the Warranty Deed.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Draft resolution
Warranty Deed
Planning Commission resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING WARRANTY DEED CONVEYING PROPERTY FROM
VERONICA MUNOZ CONTRERAS TO ADAMS COUNTY, FOR THE DEDICATION OF
ROAD RIGHT-OF-WAY

WHEREAS, Adams County is in the process of acquiring right-of-way for the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue ("Project"); and,

WHEREAS, this right-of-way parcel is from property at 484 Sundown Lane, located in the Southwest Quarter of Section 27, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado and is owned by Veronica Munoz Contreras ("Parcel"); and,

WHEREAS, Adams County requires ownership of the Parcel for construction of the Project; and,

WHEREAS, Veronica Munoz Contreras has executed a Warranty Deed to dedicate the parcel for road right-of-way purposes for Sundown Lane that complies with County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 10th day of January, 2019, the Planning Commission recommended that the Board of County Commissioners accept said Warranty Deed.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Warranty Deed from Veronica Munoz Contreras, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

WARRANTY DEED

THIS DEED, dated this 05 day of September 2018, between **Veronica Munoz Contreras**, owner, whose legal address is 484 Sundown Lane, Denver, Colorado 80221, of the County of Adams and State of Colorado, grantor(s), and **THE COUNTY OF ADAMS, State of Colorado**, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601 of the said County of Adams and State of Colorado, grantee(s):

WITNESS, that the grantor(s), for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents doth grant, bargain, sell, convey and confirm, unto the grantee(s), its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the said County of Adams, State of Colorado, described as follows:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

Dedicated for **Sundown Lane**

Also known by street and number as: **484 Sundown Lane**

Assessor's schedule or parcel number: part of **0171927326015**

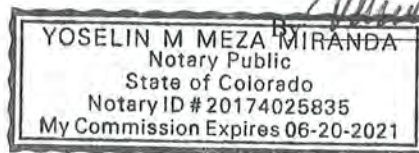
TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantee(s), its successors and assigns forever. The grantor(s), for itself, its successors and assigns, do covenant, grant, bargain and agree to and with the grantee(s), its successors and assigns, that at the time of the ensembling and delivery of these presents, it is well seized of the premises above conveyed, have good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and have good right, full power and authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind or nature soever, except oil, gas and mineral interests if any and except 2017 taxes due in 2018 which grantor agrees to pay.

The grantor(s) shall and will **WARRANT AND FOREVER DEFEND** the above bargained premises in the quiet and peaceable possession of the grantee(s), its successors and assigns, against all and every person or persons lawfully claiming the whole or any part thereof.

IN WITNESS WHEREOF, the grantor(s) have executed this deed on the date set forth above.

Veronica Munoz Contreras



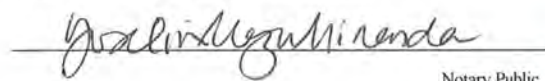
STATE OF COLORADO)

County of Adams) §

The foregoing instrument was acknowledged before me this 05 day of September, 2018, by Veronica Munoz Contreras.

My commission expires: 06/20/2021

Witness my hand and official seal.



Notary Public

Name and Address of Person Creating Newly Created Legal Description (§38-35-106.5, C.R.S.)

EXHIBIT "A"

DEED FROM VERONICA MUNOZ CONTRERAS TO THE COUNTY OF ADAMS, STATE OF COLORADO

Legal Description

A parcel of land being a portion of Lot 23, Block 5, of the SHERRELWOOD ESTATES FILING NO. 8, a Subdivision recorded on November 8, 1962 in File No. 11 Map 11 Reception No. 679075 in the Office of the Clerk and Recorder of Adams County, Colorado, located in the Southwest Quarter of Section 27, Township 2 South, Range 68 West of the 6th Principal Meridian, being more particularly described as follows:

Beginning at the Northeasterly Corner of said Lot 23, thence North 82°48'21" West, along the Northerly line of said Lot 23, a distance of 10.00 feet;

Thence leaving said Northerly line, South 39°43'42" East, a distance of 14.61 feet to the beginning of a nontangent curve concave Easterly and having a radius of 447.24 feet, said curve being the Easterly line of said Lot 23;

Thence Northerly along said curve to the right, and the Easterly line of said Lot 23, a distance of 10.00 feet through a central angle of 1°16'52", with a chord bearing North 3°20'57" East and a chord distance of 10.00 feet to the Point of Beginning.

Containing: 50 square feet, more or less.

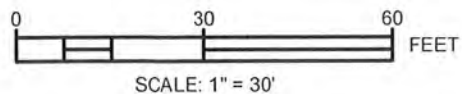
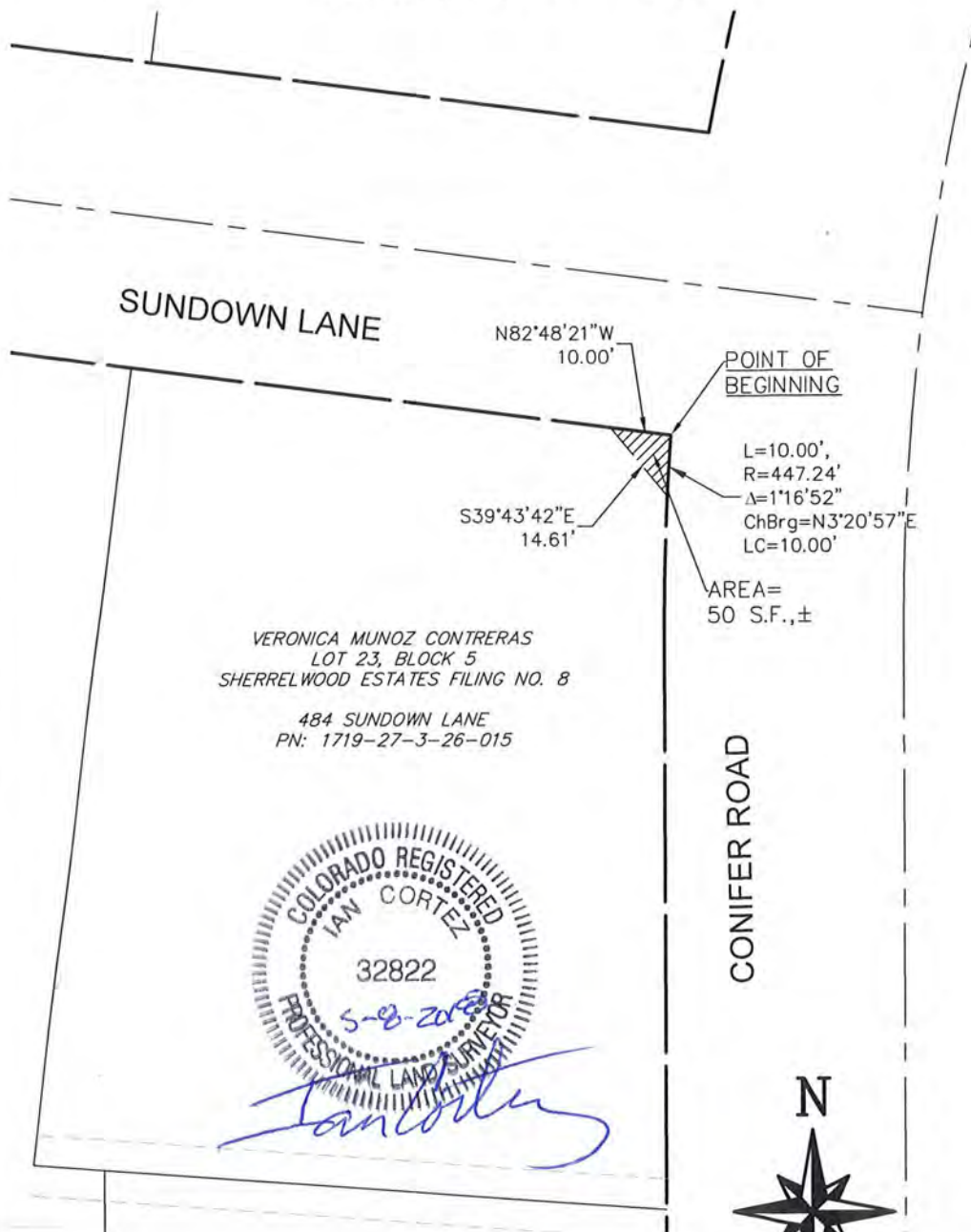
Legal description prepared by:

Ian Cortez, PLS
Colorado Professional
Land Surveyor No. 32822
For and on behalf of:
Adams County, Colorado

Exhibit "B" attached and hereby made a part thereof.



EXHIBIT "B"



THIS EXHIBIT IS NOT A BOUNDARY SURVEY AND
SHOULD NOT BE USED AS SUCH. IT IS INTENDED ONLY
TO DEPICT THE ATTACHED LEGAL DESCRIPTION.

AGENDA ITEM

PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A WARRANTY DEED FROM
VERONICA MUNOZ CONTRERAS TO ADAMS COUNTY FOR RIGHT-OF-WAY
PURPOSES

At the regular meeting for the Planning Commission for Adams County, Colorado, held at County Government Center in Brighton on Thursday the 10th day of January, 2019, the following proceedings and others were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Warranty Deed from Veronica Munoz Contreras for right-of-way purposes on the following described land to wit:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this Warranty Deed is in conjunction with the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue, located in the Southwest Quarter of Section 27, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED, that the Adams County Planning Commission recommends to the Board of County Commissioners that said Warranty Deed from Veronica Munoz Contreras be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, Breg Thompson, Chairperson/Acting Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Chairperson/Acting Chairperson
Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 18, 2019
SUBJECT: Resolution accepting Warranty Deed conveying property from Evette K. Bissett to Adams County, for the dedication of road right-of-way
FROM: Kristin Sullivan, AICP, Director of Public Works Brian Staley, P.E., PTOE, Deputy Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners accepts the Warranty Deed for the acquisition of property needed for road right-of-way.

BACKGROUND:

Adams County is in the process of acquiring right-of-way along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue for the 2018 Miscellaneous Concrete and ADA Ramps Project. The intention of this Project is to identify and improve the overall mobility and accessibility of maturing neighborhoods with ADA accessibility connectivity including ADA-compliant sidewalks and the addition of ADA pedestrian ramps. The attached resolution allows Adams County to accept the Warranty Deed.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Draft resolution
Warranty Deed
Planning Commission resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING WARRANTY DEED CONVEYING PROPERTY FROM
EVETTE K. BISSETT TO ADAMS COUNTY, FOR THE DEDICATION OF ROAD
RIGHT-OF-WAY

WHEREAS, Adams County is in the process of acquiring right-of-way for the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue ("Project"); and,

WHEREAS, this right-of-way parcel is from property at 485 Sundown Lane, located in the Southwest Quarter of Section 27, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado and is owned by Evette K. Bissett ("Parcel"); and,

WHEREAS, Adams County requires ownership of the Parcel for construction of the Project; and,

WHEREAS, Evette K. Bissett has executed a Warranty Deed to dedicate the parcel for road right-of-way purposes for Sundown Lane that complies with County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 10th day of January, 2019, the Planning Commission recommended that the Board of County Commissioners accept said Warranty Deed.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Warranty Deed from Evette K. Bissett, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

WARRANTY DEED

THIS DEED, dated this 30th day of August, 2018, between **Evette K. Bissett**, whose legal address is 485 Sundown Lane, Denver, Colorado 80221, of the County of Adams and State of Colorado, grantor(s), and **THE COUNTY OF ADAMS, State of Colorado**, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601 of the said County of Adams and State of Colorado, grantee(s):

WITNESS, that the grantor(s), for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents doth grant, bargain, sell, convey and confirm, unto the grantee(s), its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the said County of Adams, State of Colorado, described as follows:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

Dedicated for **Sundown Lane**

Also known by street and number as: **485 Sundown Lane**

Assessor's schedule or parcel number: part of **0171927325009**

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantee(s), its successors and assigns forever. The grantor(s), for itself, its successors and assigns, do covenant, grant, bargain and agree to and with the grantee(s), its successors and assigns, that at the time of the ensembling and delivery of these presents, it is well seized of the premises above conveyed, have good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and have good right, full power and authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind or nature soever, except oil, gas and mineral interests if any and except 2017 taxes due in 2018 which grantor agrees to pay.

The grantor(s) shall and will **WARRANT AND FOREVER DEFEND** the above bargained premises in the quiet and peaceable possession of the grantee(s), its successors and assigns, against all and every person or persons lawfully claiming the whole or any part thereof.

IN WITNESS WHEREOF, the grantor(s) have executed this deed on the date set forth above.

Evette K. Bissett

By: Evette K. Bissett

STATE OF COLORADO)
) §
County of Adams)

The foregoing instrument was acknowledged before me this 30th day of August, 2018, by Evette K Bissett.

My commission expires: 1.12.2022

Witness my hand and official seal.

Mayra D Farias

Notary Public

Name and Address of Person Creating Newly Created Legal Description (§38-35-106.5, C.R.S.)

MAYRA D FARIAS
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20184002151
MY COMMISSION EXPIRES JANUARY 12, 2022

EXHIBIT "A"

**DEED FROM EVETTE BISSETT
TO
THE COUNTY OF ADAMS, STATE OF COLORADO**

Legal Description

A parcel of land being a portion of Lot 9, Block 4, of the SHERRELWOOD ESTATES FILING NO. 8, a Subdivision recorded on November 8, 1962 in File No. 11 Map 11 Reception No. 679075 in the Office of the Clerk and Recorder of Adams County, Colorado, located in the Southwest Quarter of Section 27, Township 2 South, Range 68 West of the 6th Principal Meridian, being more particularly described as follows:

Beginning at the Southeasterly Corner of said Lot 9, thence North 82°48'21" West, along the Southerly line of said Lot 9, a distance of 10.00 feet;

Thence leaving said Southerly line, North 54°07'00" East, a distance of 14.61 feet to the beginning of a nontangent curve concave Easterly and having a radius of 447.24 feet, said curve being the Easterly line of said Lot 9;

Thence Southerly along said curve to the left, and the Easterly line of said Lot 9, a distance of 10.00 feet through a central angle of 1°16'52", with a chord bearing South 11°02'21" West and a chord distance of 10.00 feet to the Point of Beginning.

Containing: 50 square feet, more or less.

Legal description prepared by:

Ian Cortez, PLS
Colorado Professional
Land Surveyor No. 32822
For and on behalf of:
Adams County, Colorado

Exhibit "B" attached and hereby made a part thereof.



EXHIBIT "B"



EVETTE BISSETT
LOT 9, BLOCK 4
SHERRELWOOD ESTATES FILING NO. 8

485 SUNDOWN LANE
PN: 1719-27-3-25-009

CONIFER ROAD

N54°07'00"E
14.61'

L=10.00',
R=447.24',
Δ=1°16'52"
ChBrg=S11°02'21"W,
LC=10.00'

POINT OF
BEGINNING

SUNDOWN LANE

AREA=
50 S.F., ±

N82°48'21"W
10.00'

N



0 30 60 FEET

SCALE: 1" = 30'



ADAMS COUNTY
COLORADO

THIS EXHIBIT IS NOT A BOUNDARY SURVEY AND
SHOULD NOT BE USED AS SUCH. IT IS INTENDED ONLY
TO DEPICT THE ATTACHED LEGAL DESCRIPTION.

AGENDA ITEM

PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A WARRANTY DEED FROM
EVETTE K. BISSETT TO ADAMS COUNTY FOR RIGHT-OF-WAY PURPOSES

At the regular meeting for the Planning Commission for Adams County, Colorado, held at County Government Center in Brighton on Thursday the 10th day of January, 2019, the following proceedings and others were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Warranty Deed from Evette K. Bissett for right-of-way purposes on the following described land to wit:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this Warranty Deed is in conjunction with the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue, located in the Southwest Quarter of Section 27, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED, that the Adams County Planning Commission recommends to the Board of County Commissioners that said Warranty Deed from Evette K. Bissett be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, Greg Thompson, Chairperson/Acting Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Chairperson/Acting Chairperson
Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 18, 2019
SUBJECT: Resolution accepting Warranty Deed conveying property from Jefferson Martin Sheppard and Mary Johanna Sheppard to Adams County, for the dedication of road right-of-way
FROM: Kristin Sullivan, AICP, Director of Public Works Brian Staley, P.E., PTOE, Deputy Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners accepts the Warranty Deed for the acquisition of property needed for road right-of-way.

BACKGROUND:

Adams County is in the process of acquiring right-of-way along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue for the 2018 Miscellaneous Concrete and ADA Ramps Project. The intention of this Project is to identify and improve the overall mobility and accessibility of maturing neighborhoods with ADA accessibility connectivity including ADA-compliant sidewalks and the addition of ADA pedestrian ramps. The attached resolution allows Adams County to accept the Warranty Deed.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Draft resolution
Warranty Deed
Planning Commission resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING WARRANTY DEED CONVEYING PROPERTY FROM
JEFFERSON MARTIN SHEPPARD AND MARY JOHANNA SHEPPARD TO ADAMS
COUNTY, FOR THE DEDICATION OF ROAD RIGHT-OF-WAY

WHEREAS, Adams County is in the process of acquiring right-of-way for the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue (“Project”); and,

WHEREAS, this right-of-way parcel is from property at 466 Leona Drive, located in the Southwest Quarter of Section 27, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado and is owned by Jefferson Martin Sheppard and Mary Johanna Sheppard (“Parcel”); and,

WHEREAS, Adams County requires ownership of the Parcel for construction of the Project; and,

WHEREAS, Jefferson Martin Sheppard and Mary Johanna Sheppard have executed a Warranty Deed to dedicate the parcel for road right-of-way purposes for Leona Drive that complies with County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 10th day of January, 2019, the Planning Commission recommended that the Board of County Commissioners accept said Warranty Deed.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Warranty Deed from Jefferson Martin Sheppard and Mary Johanna Sheppard, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

WARRANTY DEED

THIS DEED, dated this 31 day of Aug., 2018, between **Jefferson Martin Sheppard and Mary Johanna Sheppard**, whose legal address is 466 Leona Drive, Denver, Colorado 80221 of the County of Adams and State of Colorado, grantor(s), and **THE COUNTY OF ADAMS, State of Colorado**, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601 of the said County of Adams and State of Colorado, grantee(s):

WITNESS, that the grantor(s), for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents doth grant, bargain, sell, convey and confirm, unto the grantee(s), its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the said County of Adams, State of Colorado, described as follows:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

Dedicated for **Leona Drive**

Also known by street and number as: **466 Leona Drive**

Assessor's schedule or parcel number: part of **0171927325010**

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantee(s), its successors and assigns forever. The grantor(s), for itself, its successors and assigns, do covenant, grant, bargain and agree to and with the grantee(s), its successors and assigns, that at the time of the ensealing and delivery of these presents, it is well seized of the premises above conveyed, have good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and have good right, full power and authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind or nature soever, except oil, gas and mineral interests if any and except 2017 taxes due in 2018 which grantor agrees to pay.

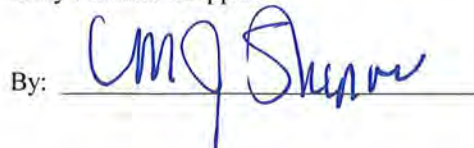
The grantor(s) shall and will **WARRANT AND FOREVER DEFEND** the above bargained premises in the quiet and peaceable possession of the grantee(s), its successors and assigns, against all and every person or persons lawfully claiming the whole or any part thereof.

IN WITNESS WHEREOF, the grantor(s) have executed this deed on the date set forth above.

Jefferson Martin Sheppard

Mary Johanna Sheppard

By: 

By: 

STATE OF COLORADO)

) §
County of UNCORP ADAMS

The foregoing instrument was acknowledged before me this 31st day of August, 2018, by Jefferson Martin Sheppard and Mary Johanna Sheppard.

My commission expires: December 09 2018

Witness my hand and official seal.



Notary Public

Name and Address of Person Creating Newly Created Legal Description (§38-35-106.5, C.R.S.)

EXHIBIT "A"

DEED FROM JEFFERSON AND MARY SHEPPARD TO THE COUNTY OF ADAMS, STATE OF COLORADO

Legal Description

A parcel of land being a portion of Lot 8, Block 4, of the SHERRELWOOD ESTATES FILING NO. 8, a Subdivision recorded on November 8, 1962 in File No. 11 Map 11 Reception No. 679075 in the Office of the Clerk and Recorder of Adams County, Colorado, located in the Southwest Quarter of Section 27, Township 2 South, Range 68 West of the 6th Principal Meridian, being more particularly described as follows:

Beginning at the Northeasterly Corner of said Lot 8, said point being the beginning of a nontangent curve concave Southeasterly and having a radius of 447.24 feet, said curve being the Easterly line of said Lot 8; thence Southwesterly along said curve to the left, and the Easterly line of said Lot 8, a distance of 10.00 feet through a central angle of $1^{\circ}16'52''$, with a chord bearing South $41^{\circ}40'28''$ West and a chord distance of 10.00 feet;

Thence leaving said Easterly line, North $3^{\circ}18'52''$ West, a distance of 14.14 feet to the beginning of a nontangent curve concave Southerly and having a radius of 75.00 feet, said curve being the Northerly line of said Lot 8;

Thence Southeasterly along said curve to the right, and the Northerly line of said Lot 8, a distance of 10.01 feet through a central angle of $7^{\circ}38'42''$, with a chord bearing South $48^{\circ}18'13''$ East and a chord distance of 10.00 feet to the Point of Beginning.

Containing: 50 square feet, more or less.

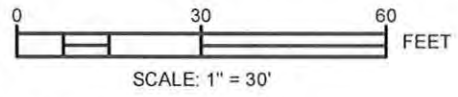
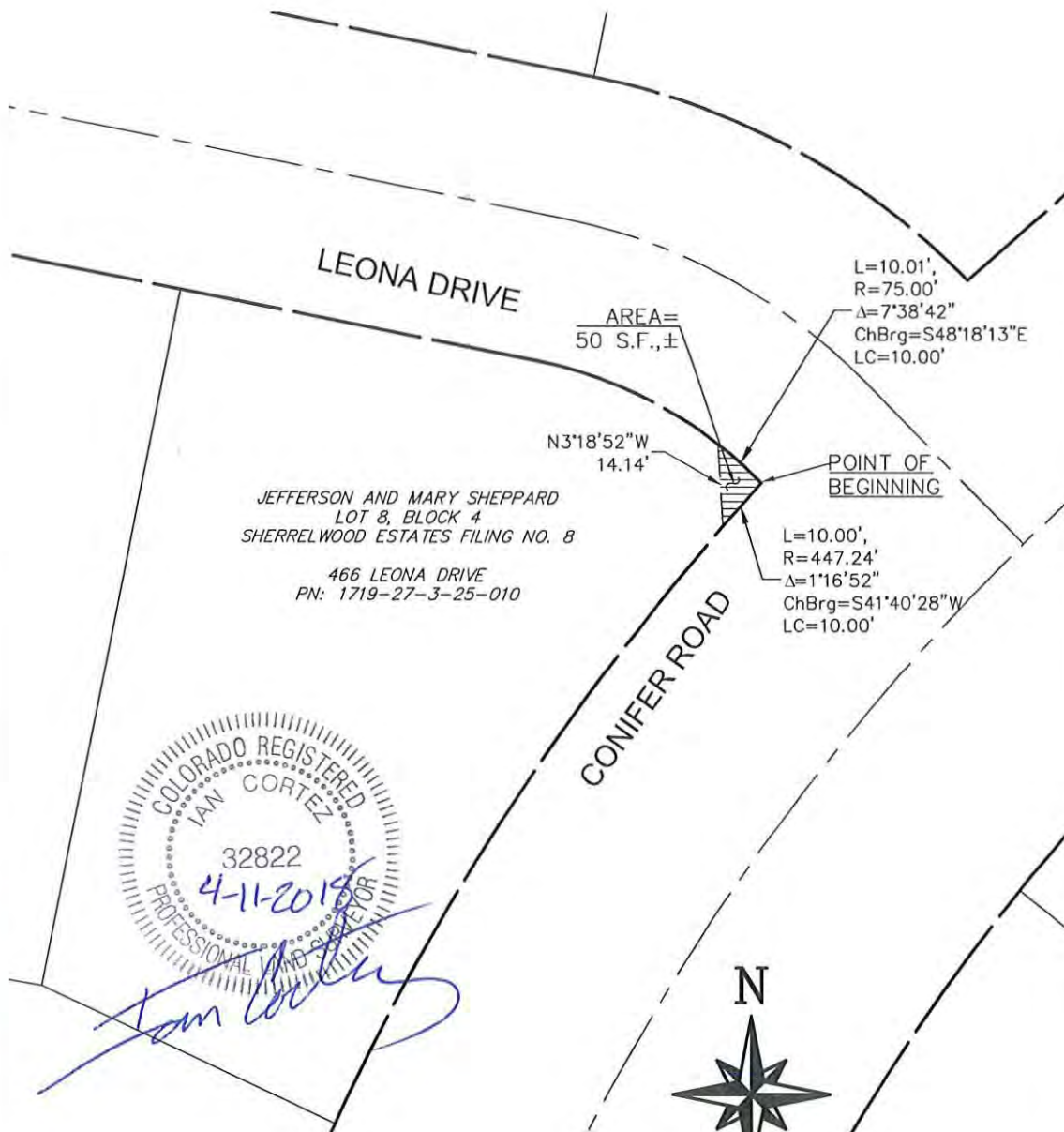
Legal description prepared by:

Ian Cortez, PLS
Colorado Professional
Land Surveyor No. 32822
For and on behalf of:
Adams County, Colorado

Exhibit "B" attached and hereby made a part thereof.



EXHIBIT "B"



THIS EXHIBIT IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE USED AS SUCH. IT IS INTENDED ONLY TO DEPICT THE ATTACHED LEGAL DESCRIPTION.

AGENDA ITEM

PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A WARRANTY DEED FROM
JEFFERSON MARTIN SHEPPARD AND MARY JOHANNA SHEPPARD TO ADAMS
COUNTY FOR RIGHT-OF-WAY PURPOSES

At the regular meeting for the Planning Commission for Adams County, Colorado, held at County Government Center in Brighton on Thursday the 10th day of January, 2019, the following proceedings and others were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Warranty Deed from Jefferson Martin Sheppard and Mary Johanna Sheppard for right-of-way purposes on the following described land to wit:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this Warranty Deed is in conjunction with the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue, located in the Southwest Quarter of Section 27, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED, that the Adams County Planning Commission recommends to the Board of County Commissioners that said Warranty Deed from Jefferson Martin Sheppard and Mary Johanna Sheppard be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, Greg Thompson, Chairperson/Acting Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Chairperson/Acting Chairperson
Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 18, 2019
SUBJECT: Resolution accepting Quitclaim Deed conveying property from Dennis C. Bolte and Patricia E. Bolte to Adams County, for the dedication of road right-of-way
FROM: Kristin Sullivan, AICP, Director of Public Works Brian Staley, P.E., PTOE, Deputy Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners accepts the Quitclaim Deed for the acquisition of property needed for road right-of-way.

BACKGROUND:

Adams County is in the process of acquiring right-of-way along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue for the 2018 Miscellaneous Concrete and ADA Ramps Project. The intention of this Project is to identify and improve the overall mobility and accessibility of maturing neighborhoods with ADA accessibility connectivity including ADA-compliant sidewalks and the addition of ADA pedestrian ramps. The attached resolution allows Adams County to accept the Quitclaim Deed.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Draft resolution
Quitclaim Deed
Planning Commission resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING QUITCLAIM DEED CONVEYING PROPERTY FROM
DENNIS C. BOLTE AND PATRICIA E. BOLTE TO ADAMS COUNTY, FOR THE
DEDICATION OF ROAD RIGHT-OF-WAY

WHEREAS, Adams County is in the process of acquiring right-of-way for the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue ("Project"); and,

WHEREAS, this right-of-way parcel is from property at 8207 Conifer Road, located in the Southwest Quarter of Section 27, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado and is owned by Dennis C. Bolte and Patricia E. Bolte ("Parcel"); and,

WHEREAS, Adams County requires ownership of the Parcel for construction of the Project; and,

WHEREAS, Dennis C. Bolte and Patricia E. Bolte have executed a Quitclaim Deed to dedicate the parcel for road right-of-way purposes for Conifer Road that complies with County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 10th day of January, 2019, the Planning Commission recommended that the Board of County Commissioners accept said Quitclaim Deed.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Quitclaim Deed from Dennis C. Bolte and Patricia E. Bolte, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

QUITCLAIM DEED

THIS DEED, made this 3rd day of October, 2018, between **Dennis C. Bolte and Patricia E. Bolte**, whose legal address is PO Box 897, Morrison, CO 80465, grantor, and **The County of Adams, State of Colorado**, grantee, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601.

WITNESS, that the grantor, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, has remised, released, sold and QUITCLAIMED, and by these presents does remise, release, sell and QUITCLAIM unto the grantee, its successors and assigns forever, all the right, title, interest, claim and demand which the grantor has in and to the real property, together with improvements, if any, situate, lying and being in the said County of Adams and State of Colorado, described as follows:

Legal description as set forth is Exhibit "A" attached hereto and incorporated herein by this reference.

Also known by street and number as: **8207 Conifer Road**

Dedicated for **Conifer Road**

Assessor's schedule or parcel numbers: part of **0171927313011**

EXCEPT all oil, gas, coal and other mineral interests

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the same, together with all and singular the appurtenances and privileges thereunto belonging, or in anywise thereunto appertaining, and all the estate, right, title, interest and claim whatsoever of the grantor, either in law or equity, to the only proper use, benefit and behoove of the grantee, its successors and assigns forever, except 2017 taxes due in 2018 which grantor agrees to pay.

The singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

IN WITNESS WHEREOF, the grantor has executed this deed on the date set forth above.

BY: *Dennis C. Bolte*
Dennis C. Bolte

BY: *Patricia E. Bolte*
Patricia E. Bolte

STATE OF COLORADO)

County of Jefferson)§

The foregoing instrument was acknowledged before me this 3 day of October, 2018, by Dennis C. Bolte and Patricia E. Bolte.

My commission expires: 12-20-20

Witness my hand and official seal.

[Signature]

Notary Public

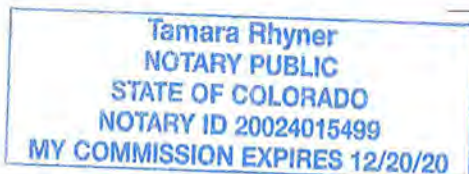


EXHIBIT "A"

DEED FROM DENNIS AND PATRICIA BOLTE TO THE COUNTY OF ADAMS, STATE OF COLORADO

Legal Description

A parcel of land being a portion of Lot 11, Block 6, of the SHERRELWOOD ESTATES FILING NO. 7, a Subdivision recorded on February 24, 1960 in File No. 10 Map 352 Reception No. 602722 in the Office of the Clerk and Recorder of Adams County, Colorado, located in the Southwest Quarter of Section 27, Township 2 South, Range 68 West of the 6th Principal Meridian, being more particularly described as follows:

Beginning at the Southeasterly Corner of said Lot 11, said point being the beginning of a nontangent curve concave Southerly and having a radius of 715.00 feet, said curve being the Southerly line of said Lot 11, thence Westerly along said curve to the left, and the Southerly line of said Lot 11 a distance of 10.00 feet through a central angle of 00°48'05", with a chord bearing North 66°31'56" West and a chord distance of 10.00 feet;

Thence leaving said Southerly line, North 68°30'28" East, a distance of 14.15 feet to the beginning of a nontangent curve concave Westerly and having a radius of 894.00 feet, said curve being the Easterly line of said Lot 11;

Thence Southerly along said curve to the right, and the Easterly line of said Lot 11, a distance of 10.00 feet through a central angle of 0°38'27", with a chord bearing South 23°32'52" West and a chord distance of 10.00 feet to the Point of Beginning.

Containing: 50 square feet, more or less.

Legal description prepared by:

Ian Cortez, PLS
Colorado Professional
Land Surveyor No. 32822
For and on behalf of:
Adams County, Colorado

Exhibit "B" attached and hereby made a part thereof.



EXHIBIT "B"



DENNIS AND PATRICIA BOLTE
LOT 11, BLOCK 6
SHERRELWOOD ESTATES FILING NO. 7

8207 CONIFER RD.
PN: 1719-27-3-13-011

CONIFER ROAD

MARIGOLD DRIVE

AREA=
50 S.F., ±
N68°30'28"E
14.15'

L=10.00',
R=715.00'
Δ=0°48'05"
ChBrg=N66°31'56"W
LC=10.00'

L=10.00',
R=894.00'
Δ=0°38'27"
ChBrg=S23°32'52"W
LC=10.00'

POINT OF
BEGINNING



SCALE: 1" = 30'



THIS EXHIBIT IS NOT A BOUNDARY SURVEY AND
SHOULD NOT BE USED AS SUCH. IT IS INTENDED ONLY
TO DEPICT THE ATTACHED LEGAL DESCRIPTION.

AGENDA ITEM

PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A QUITCLAIM DEED FROM
DENNIS C. BOLTE AND PATRICIA E. BOLTE TO ADAMS COUNTY FOR RIGHT-OF-
WAY PURPOSES

At the regular meeting for the Planning Commission for Adams County, Colorado, held at County Government Center in Brighton on Thursday the 10th day of January, 2019, the following proceedings and others were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Quitclaim Deed from Dennis C. Bolte and Patricia E. Bolte for right-of-way purposes on the following described land to wit:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this Quitclaim Deed is in conjunction with the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue, located in the Southwest Quarter of Section 27, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED, that the Adams County Planning Commission recommends to the Board of County Commissioners that said Quitclaim Deed from Dennis C. Bolte and Patricia E. Bolte be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, Greg Thompson, Chairperson/Acting Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Chairperson/Acting Chairperson
Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 18, 2019
SUBJECT: Resolution accepting Quitclaim Deed conveying property from Thomas Linenberger and Janice Linenberger to Adams County, for the dedication of road right-of-way
FROM: Kristin Sullivan, AICP, Director of Public Works Brian Staley, P.E., PTOE, Deputy Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners accepts the Quitclaim Deed for the acquisition of property needed for road right-of-way.

BACKGROUND:

Adams County is in the process of acquiring right-of-way along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue for the 2018 Miscellaneous Concrete and ADA Ramps Project. The intention of this Project is to identify and improve the overall mobility and accessibility of maturing neighborhoods with ADA accessibility connectivity including ADA-compliant sidewalks and the addition of ADA pedestrian ramps. The attached resolution allows Adams County to accept the Quitclaim Deed.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Draft resolution
Quitclaim Deed
Planning Commission resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING QUITCLAIM DEED CONVEYING PROPERTY FROM
THOMAS LINENBERGER AND JANICE LINENBERGER TO ADAMS COUNTY, FOR
THE DEDICATION OF ROAD RIGHT-OF-WAY

WHEREAS, Adams County is in the process of acquiring right-of-way for the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue ("Project"); and,

WHEREAS, this right-of-way parcel is from property at 8327 Conifer Road, located in the Southwest Quarter of Section 27, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado and is owned by Thomas Linenberger and Janice Linenberger ("Parcel"); and,

WHEREAS, Adams County requires ownership of the Parcel for construction of the Project; and,

WHEREAS, Thomas Linenberger and Janice Linenberger have executed a Quitclaim Deed to dedicate the parcel for road right-of-way purposes for Conifer Road that complies with County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 10th day of January, 2019, the Planning Commission recommended that the Board of County Commissioners accept said Quitclaim Deed.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Quitclaim Deed from Thomas Linenberger and Janice Linenberger, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

QUITCLAIM DEED

THIS DEED, made this 30th day of August, 2018, between **Thomas Linenberger and Janice Linenberger**, whose legal address is 8327 Conifer Road, Denver, CO 80221, grantor, and **The County of Adams, State of Colorado**, grantee, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601.

WITNESS, that the grantor, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, has remised, released, sold and QUITCLAIMED, and by these presents does remise, release, sell and QUITCLAIM unto the grantee, its successors and assigns forever, all the right, title, interest, claim and demand which the grantor has in and to the real property, together with improvements, if any, situate, lying and being in the said County of Adams and State of Colorado, described as follows:

Legal description as set forth is Exhibit "A" attached hereto and incorporated herein by this reference.

Dedicated for Conifer Road

Also known by street and number as: **8327 Conifer Road**

Assessor's schedule or parcel numbers: part of 0171927313021

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the same, together with all and singular the appurtenances and privileges thereunto belonging, or in anywise thereunto appertaining, and all the estate, right, title, interest and claim whatsoever of the grantor, either in law or equity, to the only proper use, benefit and behoove of the grantee, its successors and assigns forever, except 2017 taxes due in 2018 which grantor agrees to pay.

The singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

IN WITNESS WHEREOF, the grantor has executed this deed on the date set forth above.

BY: Thomas Linenberger
Thomas Linenberger

BY: Janice Linenberger
Janice Linenberger

STATE OF COLORADO)
) §
County of Adams)

The foregoing instrument was acknowledged before me this 30 day of August, 2018,
by Thomas Linenberger and Janice Linenberger.

My commission expires: 06-09-20

Witness my hand and official seal.

Notary Public



EXHIBIT "A"

**DEED FROM THOMAS AND JANICE LINENBERGER
TO
THE COUNTY OF ADAMS, STATE OF COLORADO**

Legal Description

A parcel of land being a portion of Lot 1 Block 6 of the SHERRELWOOD ESTATES FILING NO. 7, a Subdivision recorded on February 24, 1960 in File No. 10 Map 352 Reception No. 602722 in the Office of the Clerk and Recorder of Adams County, Colorado, located in the Southwest Quarter of Section 27, Township 2 South, Range 68 West of the 6th Principal Meridian, being more particularly described as follows:

Beginning at the Northeasterly Corner of said Lot 1, thence South 00°18'16" East, along the Easterly line of said Lot 1, a distance of 10.00 feet;

Thence leaving said Easterly line, North 45°18'16" West, a distance of 14.14 feet to a point on the Northerly line of said Lot 1;

Thence North 89°41'44" East, along the Northerly line of said Lot 1, a distance of 10.00 feet to the Point of Beginning.

Containing: 50 square feet, more or less.

Legal description prepared by:

Ian Cortez, PLS
Colorado Professional
Land Surveyor No. 32822
For and on behalf of:
Adams County, Colorado

Exhibit "B" attached and hereby made a part thereof.



EXHIBIT "B"

W. 83rd WAY

N89°41'44"E
10.00'

POINT OF
BEGINNING

N45°18'16"W
14.14'

S0°18'16"E
10.00'

AREA=
50 S.F.,±

THOMAS AND JANICE LINENBERGER
LOT 1, BLOCK 6
SHERRELWOOD ESTATES FILING NO. 7

8327 CONIFER RD.
PN: 1719-27-3-13-021

CONIFER ROAD



SCALE: 1" = 30'



ADAMS COUNTY
COLORADO

THIS EXHIBIT IS NOT A BOUNDARY SURVEY AND
SHOULD NOT BE USED AS SUCH. IT IS INTENDED ONLY
TO DEPICT THE ATTACHED LEGAL DESCRIPTION.

AGENDA ITEM

PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A QUITCLAIM DEED FROM
THOMAS LINENBERGER AND JANICE LINENBERGER TO ADAMS COUNTY FOR
RIGHT-OF-WAY PURPOSES

At the regular meeting for the Planning Commission for Adams County, Colorado, held at County Government Center in Brighton on Thursday the 10th day of January, 2019, the following proceedings and others were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Quitclaim Deed from Thomas Linenberger and Janice Linenberger for right-of-way purposes on the following described land to wit:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this Quitclaim Deed is in conjunction with the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue, located in the Southwest Quarter of Section 27, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED, that the Adams County Planning Commission recommends to the Board of County Commissioners that said Quitclaim Deed from Thomas Linenberger and Janice Linenberger be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, Greg Thompson, Chairperson/Acting Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Chairperson/Acting Chairperson
Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 18, 2019
SUBJECT: Disposition of Real Estate – Vacant Land
FROM: Nicci Beauprez, Land & Asset Coordinator
AGENCY/DEPARTMENT: Facilities & Fleet Management
HEARD AT STUDY SESSION ON: AIR 5/21/19
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners Approves the Special Warranty Deed to Esperanza Holding Company, LLC., and authorize the Facilities & Fleet Management Department: Land & Asset Coordinator, Manager of Planning, Design & Construction, or Director to execute customary non-contractual documents at closing.

BACKGROUND:

Adams County (AdCo) and Esperanza Holding Company, LLC. (EHC), entered into a Contract to Buy and Sale Real Estate signed by the Board of County Commissioners on May 28, 2019 for Approximately 1500 square feet of vacant land described therein. The property has no access and AdCo wishes to transfer the property described in the attached Special Warranty Deed to EHC in order to complete its obligations pursuant to the Contract to Buy and Sell Real Estate.

The recommendation is that the Board of County Commissioners approve and sign the Contractual documents necessary for this transaction and authorize the Facilities & Fleet Management Department (the Land & Asset Coordinator, the Manager of Planning, Design & Construction, or Director) to execute any customary, non-contractual documents at closing on its behalf, including but not limited to: affidavits, settlement statements, closing disclosures and disburser's notices after review and approval by the County Attorney's Office. The Special Warranty Deed shall not become effective until delivered and accepted at the successful closing and settlement of the real property transfer.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Facilities & Fleet Management

ATTACHED DOCUMENTS:

Resolution

Special Warranty Deed

FISCAL IMPACT:

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

Fund: 1**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<u>11,000</u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>0</u>

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

Revenues above reflects gross sales price. Net proceeds are estimated at approximately \$7,000 after paying closing costs and broker commission.

RESOLUTION APPROVING SPECIAL WARRANTY DEED TO ESPERANZA HOLDING
COMPANY LLC FOR VACANT LAND AND AUTHORIZING FACILITIES & FLEET
MANAGEMENT TO EXECUTE CLOSING DOCUMENTS

WHEREAS, Adams County and Esperanza Holding Company, LLC., entered into a Contract to Buy and Sale Real Estate signed by the Board of County Commissioners on May 28, 2019 for the land described as the north twenty (20) feet of Lot 23 Block 1 North Lawn Gardens located near the intersection of West 64th Avenue and Federal Boulevard, Denver, CO 80221; and,

WHEREAS, Adams County wishes to transfer the property described in the attached Special Warranty Deed to Esperanza Holding Company, LLC., in order to complete its obligations pursuant to the Contract to Buy and Sell Real Estate; and,

WHEREAS, the property has no access; and,

WHEREAS, transfer of this property will allow it to be put back into use and onto the tax rolls; and,

WHEREAS, the Board of County Commissioners wishes to authorize the Facilities & Fleet Management Director, the Land & Asset Coordinator, and the Manager of Planning, Design & Construction to execute any customary, non-contractual documents at closing on its behalf, including but not limited to: affidavits, settlement statements, closing disclosures and disburser's notices after review and approval by the County Attorney's Office.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners of the County of Adams, State of Colorado, that the Special Warranty Deed to Esperanza Holding Company, LLC., for the north twenty feet of Lot 23 Block 1 in North Lawn Gardens subdivision, a copy of which is attached hereto and incorporated herein by this reference, be approved.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is authorized to execute said Special Warranty Deed on behalf of Adams County.

BE IT FURTHER RESOLVED, that the Special Warranty Deed shall not become effective until delivered and accepted at the successful closing and settlement of the real property transfer.

BE IT FURTHER RESOLVED, that the persons stated above within the Facilities & Fleet Management Department are hereby authorized to execute any customary, non-contractual documents to complete the sale and settlement of the described property, after review and approval by the County Attorney's Office.

Esperanza Holding Company, LLC, a Colorado limited liability company
1123 Santa Fe Drive
Denver, CO 80204

SPECIAL WARRANTY DEED

THIS DEED, Made on _____, 2019 between
County of Adams, State of Colorado, a Body Politic
of the County of Adams, State of Colorado, grantor(s), and
Esperanza Holding Company, LLC, a Colorado limited liability company
whose legal address is 1123 Santa Fe Drive, Denver, CO 80204
of the County of Denver and State of Colorado, grantee(s):

WITNESSETH, That the grantor(s) for and in consideration of the sum of Eleven Thousand And No/100 DOLLARS (\$11,000.00), the receipt and sufficiency of which are hereby acknowledged, has granted, bargained, sold and conveyed and by these presents does grant, bargain, sell, convey and confirm, unto the grantee(s), their heirs and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the County of Adams, State of Colorado, described as follows:

THE NORTH 20 FEET OF LOT 23,
BLOCK 1,
NORTH LAWN GARDENS,
COUNTY OF ADAMS, STATE OF COLORADO.

also known by street and number Vacant Land, CO
as:

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining and the reversion and reversions, remainder and remainders, rents, issues and profits thereof; and all the estate, right, title, interest, claim and demand whatsoever of the grantor, either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances.

TO HAVE AND TO HOLD the said premises above bargained and described with the appurtenances, unto the grantee(s), their heirs and assigns forever. And the grantor(s), for themselves, their heirs, and personal representatives or successors, do covenant and agree that they shall and will WARRANT AND FOREVER DEFEND the above bargained premises in the quiet and peaceable possession of the grantee(s), their heirs and assigns, against all and every person or person claiming the whole or any part thereof, by, through or under the grantor(s), except:

Subject to those items as set forth on Exhibit "A" attached hereto and made a part hereof.

Wherever used herein, the plural references shall be construed to be singular references and singular references shall be construed to be plural references where the context requires and all references of gender and person shall be construed to refer to the grantor or grantors identified herein regardless of the context.

IN WITNESS WHEREOF, The grantor(s) has executed this deed on the date set forth above.

County of Adams, State of Colorado, a Body Politic

BY:_____

NAME:_____

TITLE:_____

State of _____
County of _____

On _____ before me, the undersigned a Notary Public in and for said County and State, personally appeared _____, _____ of County of Adams, State of Colorado, a Body Politic personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature: _____
Notary Public

My Commission expires: _____

Name and Address of Person Creating Newly Created Legal Description (38-35-106.5, C.R.S.)

EXHIBIT A

Exceptions

1. All notes and easements as contained on the plat of North Lawn Gardens recorded August 12, 1927 in Book 3 at Page 74.
2. Terms, conditions, provisions, agreements and obligations specified under the Zoning Hearing Decision recorded April 23, 1992 in Book 3895 at Page 261.
3. Terms, conditions, provisions, agreements and obligations specified under the Bill of Sale recorded January 19, 2018 at Reception No. 2018000005926.
4. Any existing leases or tenancies, and any parties claiming an interest by, through or under said leases or tenancies.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 18, 2019
SUBJECT: ACCEPTANCE OF STATE JUVENILE DIVERSION PROGRAM FUNDS THE DISTRICT ATTORNEY'S OFFICE DIVERSION PROGRAM FOR STATE FISCAL YEAR 19/20
FROM: Levon Hupfer
AGENCY/DEPARTMENT: DA Diversion
HEARD AT STUDY SESSION ON:
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners accepts the grant award for SFY 19/20 and authorizes the Chair to sign two copies of the Grant Agreement Form and also electronically sign the Certification of Match Form (pdf).

BACKGROUND:

The 17th District Attorney's Office has operated a dropout prevention and intervention program to Adams County juvenile students since 2006 through the State Division of Criminal Justice Juvenile Diversion Program Funds Grant.

The 2019/20 Grant Award process is open competitive and the program was awarded \$74,565 to begin July 1, 2019, which is approximately 95% funded. There is a percentage cash match that is fully covered through personnel services of other staff providing administrative and other program services to youth as a part of the project.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

District Attorney's Office
Adams County Finance

ATTACHED DOCUMENTS:

Resolution
Grant Agreement

FISCAL IMPACT:

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

Fund: 0001**Cost Center: 9261**

	Object Account	Subledger	Amount
Current Budgeted Revenue:	5565		\$74,565
Additional Revenue not included in Current Budget:			
Total Revenues:			<u>\$74,565</u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	Various		\$77,548
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>\$77,548</u>

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

The Grant Award is forecasted and built into the budget submitted to the BOCC each year since the State Fiscal Year is different than the Adams County budget cycle. This grant is now being funded at approx. 95%.

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING GRANT AGREEMENT BETWEEN ADAMS COUNTY AND
STATE OF COLORADO FOR THE DISTRICT ATTORNEY'S OFFICE DIVERSION
PROGRAM FOR STATE FISCAL YEAR 2019/2020

WHEREAS, the 17th Judicial District Attorney's Office provides a Juvenile Diversion Education Program to serve Adams County; and,

WHEREAS, the 17th Judicial District Attorney's Office has been granted an award since 2006 by the State Division of Criminal Justice and must approve the attached Grant Agreement for FY 2019/2020 for an award of \$74,565 and a cash match of \$24,855.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Grant Agreement between Adams County and the State of Colorado for the District Attorney's Office Diversion Program for State Fiscal Year 2019/2020, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is approved.

BE IT FURTHER RESOLVED, that the Chair is authorized to execute said State of Colorado Grant Agreement and Certification of Match forms on behalf of Adams County.

GRANT AWARD LETTER (Intergovernmental Grant Agreement)

SUMMARY OF GRANT AWARD TERMS AND CONDITIONS

State Agency Department of Public Safety, Division of Criminal Justice	DCJ Grant Number: 2020-DV-20-30014-17 CMS Number: N/A
Grantee Adams County	Grant Amount State Fiscal Year 2019-2020: \$ 74,565
Grantee DUNS: 157187089	Total Grant Funds Awarded: \$ 74,565
Grant Issuance Date (Start Date) The later of July 1, 2019 or the date the State Controller or an authorized delegate signs this Grant Letter	Grantee Match Amount Required State Fiscal Year 2019-2020: \$ 24,855
Grant Expiration Date: June 30, 2020	Total Match Required from Grantee: \$ 24,855
Is this Award for Research and Development (R&D)? No	Match Percentage Required: 25%
State Grant Authority The Division of Criminal Justice is authorized to disburse these funds by Colorado Revised Statute 24-33.503 and 507. Authority to enter into this Grant exists in the Juvenile Diversion Program, as defined in the Colorado Revised Statute §19-2-203.	Grant Description Funding to continue a program to specifically target 4 risk factors that increase the likelihood of youth dropping out of school and of being involved in substance use.
Grant Purpose Per Colorado Statute, the goal of diversion is to prevent further involvement of juveniles in the formal justice system (19-1-103(44) C.R.S.). Juvenile diversion programs should be community-based alternatives to the formal court system for youth between the ages of 10-17 who have been taken into custody for misdemeanor or felony offenses. Diversion programs should concentrate on holding the youth accountable for their behavior while involving them in programs and activities to prevent future criminal and delinquent behavior.	
Exhibits and Order of Precedence The following Exhibits and attachments are included with this Grant: <ol style="list-style-type: none"> 1. Exhibit A1, Sample Option Letter 2. Exhibit A2, Sample Grant Funding Change Letter 3. Exhibit B, Grant Requirements 4. Exhibit C, Special Conditions 5. Exhibit D, Statement of Work. 6. Exhibit E, Budget. In the event of a conflict or inconsistency between this Grant and any Exhibit or attachment, such conflict or inconsistency shall be resolved by reference to the documents in the following order of priority: <ol style="list-style-type: none"> 1. Colorado Special Provisions in §18 of the main body of this Grant. 2. Exhibit C, Special Conditions 3. The provisions of the other sections of the main body of this Grant. 4. Exhibit B, Grant Requirements 5. Exhibit D, Statement of Work. 6. Exhibit E, Budget. 	

SIGNATURE PAGE

THE PARTIES HERETO HAVE EXECUTED THIS AGREEMENT

Each person signing this Agreement represents and warrants that the signer is duly authorized to execute this Agreement and to bind the Party authorizing such signature.

GRANTEE Adams County	STATE OF COLORADO Jared Polis, Governor Department of Public Safety Stan Hilkey, Executive Director
By: Steven J. O'Dorisio, County Commissioner Chair	By: Division of Criminal Justice <input type="checkbox"/> Joe Thome, Director, or <input type="checkbox"/> Debbie Oldenettel, Deputy Director
Date: _____	Date: _____
In accordance with §24-30-202, C.R.S., this Agreement is not valid until signed and dated below by the State Controller or an authorized delegate.	
STATE CONTROLLER Robert Jaros, CPA, MBA, JD	
By: Lyndsay J. Clelland, Contract and Grant Coordinator, Division of Criminal Justice	
Effective Date: _____	

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1. GRANT

As of the Grant Issuance Date, the State Agency shown on the first page of this Grant Award Letter (the "State") hereby obligates and awards to Grantee shown on the first page of this Grant Award Letter (the "Grantee") an award of Grant Funds in the amounts shown on the first page of this Grant Award Letter. By accepting the Grant Funds provided under this Grant Award Letter, Grantee agrees to comply with the terms and conditions of this Grant Award Letter and requirements and provisions of all Exhibits to this Grant Award Letter.

2. TERM

A. Initial Grant Term and Extension

The Parties' respective performances under this Grant Award Letter shall commence on the Grant Issuance Date and shall terminate on the Grant Expiration Date unless sooner terminated or further extended in accordance with the terms of this Grant Award Letter. Upon request of Grantee, the State may, in its sole discretion, extend the term of this Grant Award Letter by providing Grantee with a written notice to Grantee in a form substantially equivalent to **Exhibit A1, Sample Option Letter** showing the new Grant Expiration Date.

B. Early Termination in the Public Interest

The State is entering into this Grant Award Letter to serve the public interest of the State of Colorado as determined by its Governor, General Assembly, or Courts. If this Grant Award Letter ceases to further the public interest of the State or if State, Federal or other funds used for this Grant Award Letter are not appropriated, or otherwise become unavailable to fund this Grant Award Letter, the State, in its discretion, may terminate this Grant Award Letter in whole or in part by providing written notice to Grantee that includes, to the extent practicable, the public interest justification for the termination. If the State terminates this Grant Award Letter in the public interest, the State shall pay Grantee an amount equal to the percentage of the total reimbursement payable under this Grant Award Letter that corresponds to the percentage of Work satisfactorily completed, as determined by the State, less payments previously made. Additionally, the State, in its discretion, may reimburse Grantee for a portion of actual, out-of-pocket expenses not otherwise reimbursed under this Grant Award Letter that are incurred by Grantee and are directly attributable to the uncompleted portion of Grantee's obligations, provided that the sum of any and all reimbursements shall not exceed the maximum amount payable to Grantee hereunder. This subsection shall not apply to a termination of this Grant Award Letter by the State for breach by Grantee.

3. DEFINITIONS

The following terms shall be construed and interpreted as follows:

- A. **"Budget"** means the budget for the Work described in **Exhibit E, Budget**.
- B. **"Business Day"** means any day in which the State is open and conducting business, but shall not include Saturday, Sunday or any day on which the State observes one of the holidays listed in §24-11-101(1) C.R.S.
- C. **"CJI"** means criminal justice information collected by criminal justice agencies needed for the performance of their authorized functions, including, without limitation, all information defined as criminal justice information by the U.S. Department of Justice, Federal Bureau of

Investigation, Criminal Justice Information Services Security Policy, as amended and all Criminal Justice Records as defined under §24-72-302 C.R.S.

- D. **"CORA"** means the Colorado Open Records Act, §§24-72-200.1 *et. seq.*, C.R.S.
- E. **"Equipment"** means tangible, nonexpendable property with an acquisition cost of \$5,000 or more and a useful life of more than one year. Software, regardless of cost, is not considered equipment.
- F. **"Grant Award Letter"** means this letter which offers Grant Funds to Grantee, including all attached Exhibits, all documents incorporated by reference, all referenced statutes, rules and cited authorities, and any future updates thereto.
- G. **"Grant Funds"** means the funds that have been appropriated, designated, encumbered, or otherwise made available for payment by the State under this Grant Award Letter.
- H. **"Grant Expiration Date"** means the Grant Expiration Date shown on the first page of this Grant Award Letter.
- I. **"Grant Issuance Date"** means the Grant Issuance Date shown on the first page of this Grant Award Letter.
- J. **"Exhibits"** exhibits and attachments included with this Grant as shown on the first page of this Grant.
- K. **"Extension Term"** means the period of time by which the Grant Expiration Date is extended by the State through delivery of an updated Grant Award Letter.
- L. **"Forms"** are a type of document with various different blank spaces for answers or information to document or request information and attached as exhibits or provided to the Grantee throughout the term of this grant. Forms will be periodically updated, changed, modified, adjusted, transformed, amended, or altered at the discretion of the State and provided to the Grantee to best meet the needs of the information being collected and recorded.
- M. **"Goods"** means any movable material acquired, produced, or delivered by Grantee as set forth in this Grant Award Letter and shall include any movable material acquired, produced, or delivered by Grantee in connection with the Services.
- N. **"Grants Management System" or "GMS"** means any online electronic grant system used to solicit, apply, review, manage, and close out a grant. (Use of a GMS is established by the state agency or division managing the grant funds).
- O. **"Incident"** means any accidental or deliberate event that results in or constitutes an imminent threat of the unauthorized access or disclosure of State Confidential Information or of the unauthorized modification, disruption, or destruction of any State Records.
- P. **"Initial Term"** means the time period between the Grant Issuance Date and the Grant Expiration Date.
- Q. **"Matching Funds"** means the funds provided Grantee as a match required to receive the Grant Funds.
- R. **"Party"** means the State or Grantee, and **"Parties"** means both the State and Grantee.

- S. **"PCI"** means payment card information including any data related to credit card holders' names, credit card numbers, or the other credit card information as may be protected by state or federal law.
- T. **"PII"** means personally identifiable information including, without limitation, any information maintained by the State about an individual that can be used to distinguish or trace an individual's identity, such as name, social security number, date and place of birth, mother's maiden name, or biometric records; and any other information that is linked or linkable to an individual, such as medical, educational, financial, and employment information. PII includes, but is not limited to, all information defined as personally identifiable information in §§24-72-501 and 24-73-101 C.R.S.
- U. **"PHI"** means any protected health information, including, without limitation any information whether oral or recorded in any form or medium: (i) that relates to the past, present or future physical or mental condition of an individual; the provision of health care to an individual; or the past, present or future payment for the provision of health care to an individual; and (ii) that identifies the individual or with respect to which there is a reasonable basis to believe the information can be used to identify the individual. PHI includes, but is not limited to, any information defined as Individually Identifiable Health Information by the federal Health Insurance Portability and Accountability Act.
- V. **"Program"** means the **Grant Program** listed in the table FEDERAL AWARD(S) APPLICABLE TO THIS GRANT AWARD found on pages 1 or 2 of this grant.
- W. **"Services"** means the services to be performed by Grantee as set forth in this Grant Award Letter, and shall include any services to be rendered by Grantee in connection with the Goods.
- X. **"State Confidential Information"** means any and all State Records not subject to disclosure under CORA. State Confidential Information shall include, but is not limited to, PII, PHI, PCI, Tax Information, CJI, and State personnel records not subject to disclosure under CORA. State Confidential Information shall not include information or data concerning individuals that is not deemed confidential but nevertheless belongs to the State, which has been communicated, furnished, or disclosed by the State to Contractor which (i) is subject to disclosure pursuant to CORA; (ii) is already known to Contractor without restrictions at the time of its disclosure to Contractor; (iii) is or subsequently becomes publicly available without breach of any obligation owed by Contractor to the State; (iv) is disclosed to Contractor, without confidentiality obligations, by a third party who has the right to disclose such information; or (v) was independently developed without reliance on any State Confidential Information.
- Y. **"State Fiscal Rules"** means the fiscal rules promulgated by the Colorado State Controller pursuant to §24-30-202(13)(a) C.R.S.
- Z. **"State Fiscal Year"** means a 12 month period beginning on July 1 of each calendar year and ending on June 30 of the following calendar year. If a single calendar year follows the term, then it means the State Fiscal Year ending in that calendar year.
- AA. **"State Records"** means any and all State data, information, and records, regardless of physical form, including, but not limited to, information subject to disclosure under CORA.
- BB. **"Subcontractor"** means third-parties, if any, engaged by Grantee or Subgrantee to aid in performance of the Work. This establishes a **procurement** relationship. The subcontractor provides goods or services for the benefit of the purchaser.

- CC. **"Subgrantee"** means third-parties, if any, engaged by Grantee or Subgrantee to aid in performance of the Work. This establishes a **grant** relationship. The beneficiary, not the purchaser, receives benefit from the work. A subgrantee receiving federal grant funds is also called a subrecipient. There may be multiple tiers of subgrantees/subrecipients and do not include procurement transactions.
- DD. **"Tax Information"** means Federal and State of Colorado tax information including, without limitation, Federal and State tax returns, return information, and such other tax-related information as may be protected by Federal and State law and regulation. Tax Information includes, but is not limited to all information defined as Federal tax information in Internal Revenue Service Publication 1075.
- EE. **"Work"** means the delivery of the Goods and performance of the Services described in this Grant Award Letter.
- FF. **"Work Product"** means the tangible and intangible results of the Work, whether finished or unfinished, including drafts. Work Product includes, but is not limited to, documents, text, software (including source code), research, reports, proposals, specifications, plans, notes, studies, data, images, photographs, negatives, pictures, drawings, designs, models, surveys, maps, materials, ideas, concepts, know-how, and any other results of the Work. "Work Product" does not include any material that was developed prior to the Grant Issuance Date that is used, without modification, in the performance of the Work.

Any other term used in this Grant Award Letter that is defined in an Exhibit shall be construed and interpreted as defined in that Exhibit.

4. STATEMENT OF WORK

Grantee shall complete the Work as described in this Grant Award Letter and in accordance with the provisions of **Exhibit D, Statement of Work**. The State shall have no liability to compensate or reimburse Grantee for the delivery of any goods or the performance of any services that are not specifically set forth in this Grant Award Letter.

5. PAYMENTS TO GRANTEE

A. Maximum Amount

Payments to Grantee are limited to the unpaid, obligated balance of the Grant Funds. The State shall not pay Grantee any amount under this Grant that exceeds the Grant Amount for State shown on the first page of this Grant Award Letter. Financial obligations of the State payable after the current State Fiscal Year are contingent upon funds for that purpose being appropriated, budgeted, and otherwise made available. The State shall not be liable to pay or reimburse Grantee for any Work performed or expense incurred before the Grant Issuance Date or after the Grant Expiration Date.

B. Reimbursement of Grantee Costs

The State shall reimburse Grantee's allowable costs, not exceeding the maximum total amount described in this Grant Award Letter for all allowable costs described in this Grant Award Letter and shown in the Budget, except that Grantee may adjust the amounts between each line item of the Budget without formal modification to this Agreement as long as the Grantee provides notice to, and received written approval from, the State of the change, the change does not modify the total maximum amount of this Grant Award Letter or the maximum amount for any state fiscal year, and the change does not modify any requirements

of the Work. The State shall reimburse Grantee for the State share of properly documented allowable costs related to the Work after the State's review and approval thereof, subject to the provisions of this Grant. The State shall only reimburse allowable costs if those costs are: (i) reasonable and necessary to accomplish the Work and for the Goods and Services provided; and (ii) equal to the actual net cost to Grantee (i.e. the price paid minus any items of value received by Grantee that reduce the cost actually incurred).

C. Close-Out.

Grantee shall close out this Grant within **45** days after the Grant Expiration Date. To complete close out, Grantee shall submit to the State all deliverables (including documentation) as defined in this Grant Award Letter and Grantee's final reimbursement request or invoice. The State will withhold remaining funds until all final documentation has been submitted and accepted by the State as substantially complete.

D. Matching Funds.

Grantee shall provide the Grantee Match Amount Required (Match) shown on the first page of this Grant Award Letter and described in **Exhibit E, Budget**. Grantee shall provide the minimum required **Match Percentage** at the time of each reimbursement request; including the appropriation and allocation of cash match, and utilization of in-kind match. Grantee does not by accepting this Grant Award Letter irrevocably pledge present cash reserves for payments in future fiscal years, and this Grant Award Letter is not intended to create a multiple-fiscal year debt of Grantee. Grantee shall not pay or be liable for any claimed interest, late charges, fees, taxes or penalties of any nature, except as required by Grantee's laws or policies.

6. REPORTING - NOTIFICATION

A. Quarterly Reports.

Grantee shall submit, on a quarterly basis, a written progress report and financial report. Such progress reports shall be in accordance with the procedures developed and prescribed by the DCJ State Administrative Guide. Progress reports shall be submitted to the State not later than 15 Days following the end of each calendar quarter or at such time as otherwise specified by the State. If the 15th does not fall on a Business Day, the report is due the following Business Day.

B. Performance and Final Status

Grantee shall submit all financial, performance and other reports to the State no later than the end of the close out described in **§5.C**, containing an evaluation and review of Grantee's performance and the final status of Grantee's obligations hereunder.

C. Violations Reporting

Grantee shall disclose, in a timely manner, in writing to the State, all violations of federal or State criminal law involving fraud, bribery, or gratuity violations potentially affecting the Award. The State may impose any penalties for noncompliance allowed under 2 CFR Part 180 and 31 U.S.C. 3321, which may include, without limitation, suspension or debarment.

7. GRANTEE RECORDS

A. Maintenance and Inspection

Grantee shall make, keep, and maintain, all records, documents, communications, notes and other written materials, electronic media files, and communications, pertaining in any manner to this Grant for a period of **three years** following the completion of the close out of this Grant. Grantee shall permit the State to audit, inspect, examine, excerpt, copy and transcribe all such records during normal business hours at Grantee's office or place of business, unless the State determines that an audit or inspection is required without notice at a different time to protect the interests of the State.

B. Monitoring

The State will monitor Grantee's performance of its obligations under this Grant Award Letter using procedures as determined by the State. Grantee shall allow the State to perform all monitoring, based on the State's risk analysis of Grantee. The State shall have the right, in its sole discretion, to change its monitoring procedures and requirements at any time during the term of this Agreement. The State shall monitor Grantee's performance in a manner that does not unduly interfere with Grantee's performance of the Work. If Grantee enters into a subgrant, then the subgrant entered into by Grantee shall contain provisions permitting both Grantee and the State to perform all monitoring of that. Grantee's failure to comply with and/or correct monitoring findings shall constitute a breach of this Grant Agreement.

C. Final Audit Report

Grantee shall promptly submit to the State a copy of the Grantee Agency's final audit report in accordance with **Exhibit B, Grant Requirements §1**.

8. CONFIDENTIAL INFORMATION-STATE RECORDS

A. Confidentiality

Grantee shall hold and maintain, and cause all Subgrantees and Subcontractors to hold and maintain, any and all State Records that the State provides or makes available to Grantee for the sole and exclusive benefit of the State, unless those State Records are otherwise publically available at the time of disclosure or are subject to disclosure by Grantee under CORA. Grantee shall not, without prior written approval of the State, use for Grantee's own benefit, publish, copy, or otherwise disclose to any third party, or permit the use by any third party for its benefit or to the detriment of the State, any State Records, except as otherwise stated in this Grant Award Letter. Grantee shall provide for the security of all State Confidential Information in accordance with all policies promulgated by the Colorado Office of Information Security and all applicable laws, rules, policies, publications, and guidelines. If Grantee or any of its Subgrantees or Subcontractors will or may receive the following types of data, Grantee or its Subgrantees and Subcontractors shall provide for the security of such data according to the following: **(i)** the most recently promulgated IRS Publication 1075 for all Tax Information and in accordance with the Safeguarding Requirements for Federal Tax Information attached to this Grant as an Exhibit, if applicable, **(ii)** the most recently updated PCI Data Security Standard from the PCI Security Standards Council for all PCI, **(iii)** the most recently issued version of the U.S. Department of Justice, Federal Bureau of Investigation, Criminal Justice Information Services Security Policy for all CJI, and **(iv)** the federal Health Insurance Portability and Accountability Act for all PHI and the HIPAA Business Associate Agreement attached to this Grant, if applicable. Grantee shall immediately forward any request or demand for State Records to the State's principal representative.

B. Other Entity Access and Nondisclosure Agreements

Grantee may provide State Records to its agents, employees, assigns, Subgrantees and Subcontractors as necessary to perform the Work, but shall restrict access to State Confidential Information to those agents, employees, assigns, Subgrantees and Subcontractors who require access to perform their obligations under this Grant Award Letter. Grantee shall ensure all such agents, employees, assigns, Subgrantees and Subcontractors sign nondisclosure agreements with provisions at least as protective as those in this Grant, and that the nondisclosure agreements are in force at all times the agent, employee, assign, Subgrantee or Subcontractor has access to any State Confidential Information. Grantee shall provide copies of those signed nondisclosure restrictions to the State upon request.

C. Use, Security, and Retention

Grantee shall use, hold and maintain State Confidential Information in compliance with any and all applicable laws and regulations in facilities located within the United States, and shall maintain a secure environment that ensures confidentiality of all State Confidential Information wherever located. Grantee shall provide the State with access, subject to Grantee's reasonable security requirements, for purposes of inspecting and monitoring access and use of State Confidential Information and evaluating security control effectiveness. Upon the expiration or termination of this Grant, Grantee shall return State Records provided to Grantee or destroy such State Records and certify to the State that it has done so, as directed by the State. If Grantee is prevented by law or regulation from returning or destroying State Confidential Information, Grantee warrants it will guarantee the confidentiality of, and cease to use, such State Confidential Information.

D. Incident Notice and Remediation

If Grantee becomes aware of any Incident, it shall notify the State immediately and cooperate with the State regarding recovery, remediation, and the necessity to involve law enforcement, as determined by the State. After an Incident, Grantee shall take steps to reduce the risk of incurring a similar type of Incident in the future as directed by the State, which may include, but is not limited to, developing and implementing a remediation plan that is approved by the State at no additional cost to the State.

E. Safeguarding PII

If Grantee or any of its Subgrantees or Subcontractors will or may receive PII under this Agreement, Grantee shall provide for the security of such PII, in a manner and form acceptable to the State, including, without limitation, State non-disclosure requirements, use of appropriate technology, security practices, computer access security, data access security, data storage encryption, data transmission encryption, security inspections, and audits. Grantee shall be a "Third-Party Service Provider" as defined in §24-73-103(1)(i), C.R.S. and shall maintain security procedures and practices consistent with §§24-73-101 *et seq.*, C.R.S.

9. CONFLICTS OF INTEREST

Grantee shall not engage in any business or activities, or maintain any relationships that conflict in any way with the full performance of the obligations of Grantee under this Grant. Grantee acknowledges that, with respect to this Grant, even the appearance of a conflict of interest shall be harmful to the State's interests and absent the State's prior written approval, Grantee shall refrain from any practices, activities or relationships that reasonably appear to be in conflict with the full

performance of Grantee's obligations under this Grant. If a conflict or the appearance of a conflict arises, or if Grantee is uncertain whether a conflict or the appearance of a conflict has arisen, Grantee shall submit to the State a disclosure statement setting forth the relevant details for the State's consideration.

10. INSURANCE

Grantee shall maintain at all times during the term of this Grant such liability insurance, by commercial policy or self-insurance, as is necessary to meet its liabilities under the Colorado Governmental Immunity Act, §24-10-101, *et seq.*, C.R.S. (the "GIA"). Grantee shall ensure that any Subgrantees and Subcontractors maintain all insurance customary for the completion of the Work done by that Subgrantee or Subcontractor and as required by the State or the GIA.

11. REMEDIES

In addition to any remedies available under any exhibit to this Grant Award Letter, if Grantee fails to comply with any term or condition of this Grant, the State may terminate some or all of this Grant and require Grantee to repay any or all Grant funds to the State in the State's sole discretion. The State may also terminate this Grant Award Letter at any time if the State has determined, in its sole discretion, that Grantee has ceased performing the Work without intent to resume performance, prior to the completion of the Work.

12. DISPUTE RESOLUTION

Except as herein specifically provided otherwise, disputes concerning the performance of this Grant that cannot be resolved by the designated Party representatives shall be referred in writing to a senior departmental management staff member designated by the State and a senior manager or official designated by Grantee for resolution.

13. NOTICES AND REPRESENTATIVES

Each Party shall identify an individual to be the principal representative of the designating Party and shall provide this information to the other Party. All notices required or permitted to be given under this Grant Award Letter shall be in writing, and shall be delivered either in hard copy or by email to the representative of the other Party. Either Party may change its principal representative or principal representative contact information by notice submitted in accordance with this §13.

14. RIGHTS IN WORK PRODUCT AND OTHER INFORMATION

Grantee hereby grants to the State a perpetual, irrevocable, non-exclusive, royalty free license, with the right to sublicense, to make, use, reproduce, distribute, perform, display, create derivatives of and otherwise exploit all intellectual property created by Grantee or any Subcontractors or Subgrantees and paid for with Grant Funds provided by the State pursuant to this Grant.

15. GOVERNMENTAL IMMUNITY

Liability for claims for injuries to persons or property arising from the negligence of the Parties, their departments, boards, commissions committees, bureaus, offices, employees and officials shall be controlled and limited by the provisions of the Colorado Governmental Immunity Act, §24-10-101, *et seq.*, C.R.S.; the Federal Tort Claims Act, 28 U.S.C. Pt. VI, Ch. 171 and 28 U.S.C. 1346(b), and the State's risk management statutes, §§24-30-1501, *et seq.* C.R.S. No term or condition of this Contract shall be construed or interpreted as a waiver, express or implied, of any of the immunities, rights, benefits, protections, or other provisions, contained in these statutes.

16. GENERAL PROVISIONS

A. Assignment

Grantee's rights and obligations under this Grant are personal and may not be transferred or assigned without the prior, written consent of the State. Any attempt at assignment or transfer without such consent shall be void. Any assignment or transfer of Grantee's rights and obligations approved by the State shall be subject to the provisions of this Grant Award Letter.

B. Captions and References

The captions and headings in this Grant Award Letter are for convenience of reference only, and shall not be used to interpret, define, or limit its provisions. All references in this Grant Award Letter to sections (whether spelled out or using the § symbol), subsections, exhibits or other attachments, are references to sections, subsections, exhibits or other attachments contained herein or incorporated as a part hereof, unless otherwise noted.

C. Entire Understanding

This Grant Award Letter represents the complete integration of all understandings between the Parties related to the Work, and all prior representations and understandings related to the Work, oral or written, are merged into this Grant Award Letter.

D. Modification

The State may modify the terms and conditions of this Grant by issuance of an updated Grant Award Letter, which shall be effective if Grantee accepts Grant Funds following receipt of the updated letter. The Parties may also agree to modification of the terms and conditions of the Grant in a formal amendment to this Grant, properly executed and approved in accordance with applicable Colorado State law and State Fiscal Rules. Modifications permitted under this Agreement, other than Agreement amendments, shall conform to the policies issued by the Colorado State Controller.

- i. The State may, at the State's discretion, use an Option Letter or Grant Funding Change letter substantially equivalent to **Exhibit A1, Sample Option Letter** and **Exhibit A2, Sample Grant Funding Change Letter** to modify the grant agreement. If exercised, the provisions of the Grant Funding Change Letter shall become part of and be incorporated into the original grant.
- ii. The State may increase or decrease the quantity of goods/services described **Exhibit D, Statement of Work** and **Exhibit E, Budget** based upon the rates established in the Grant. If the State exercises the option, it will provide written notice to Grantee at least **15** days prior to the end of the current grant term in a form substantially equivalent to **Exhibit A1, Sample Option Letter**.
- iii. The State may add or delete the goods/services described **Exhibit D, Statement of Work** and **Exhibit E, Budget** as long as the change does not change the overall scope of the approve grant. If the State exercises the option, it will provide written notice to Grantee at least **15** days prior to the end of the current grant term in a form substantially equivalent to **Exhibit A1, Sample Option Letter**.

E. Statutes, Regulations, Fiscal Rules, and Other Authority.

Any reference in this Grant Award Letter to a statute, regulation, State Fiscal Rule, fiscal policy or other authority shall be interpreted to refer to such authority then current, as may have been changed or amended since the Grant Issuance Date. Grantee shall strictly comply with all applicable Federal and State laws, rules, and regulations in effect or hereafter established, including, without limitation, laws applicable to discrimination and unfair employment practices.

F. Digital Signatures

If any signatory signs this agreement using a digital signature in accordance with the Colorado State Controller Contract, Grant and Purchase Order Policies regarding the use of digital signatures issued under the State Fiscal Rules, then any agreement or consent to use digital signatures within the electronic system through which that signatory signed shall be incorporated into this Contract by reference.

G. Severability

The invalidity or unenforceability of any provision of this Grant Award Letter shall not affect the validity or enforceability of any other provision of this Grant Award Letter, which shall remain in full force and effect, provided that the Parties can continue to perform their obligations under the Grant in accordance with the intent of the Grant.

H. Subcontracts and Subgrants

Grantee shall not enter into any subgrant or subcontract in connection with its obligations under this Agreement without the prior, written approval of the State. Grantee shall submit to the State a copy of each such subgrant or subcontract upon request by the State. All subgrants and subcontracts entered into by Grantee in connection with this Agreement shall comply with all applicable federal and state laws and regulations, shall provide that they are governed by the laws of the State of Colorado, and shall be subject to all provisions of this Agreement.

I. Survival of Certain Grant Award Letter Terms

Any provision of this Grant Award Letter that imposes an obligation on a Party after termination or expiration of the Grant shall survive the termination or expiration of the Grant and shall be enforceable by the other Party.

J. Third Party Beneficiaries

Except for the Parties' respective successors and assigns described above, this Grant Award Letter does not and is not intended to confer any rights or remedies upon any person or entity other than the Parties. Any services or benefits which third parties receive as a result of this Grant are incidental to the Grant, and do not create any rights for such third parties.

K. Waiver

A Party's failure or delay in exercising any right, power, or privilege under this Grant Award Letter, whether explicit or by lack of enforcement, shall not operate as a waiver, nor shall any single or partial exercise of any right, power, or privilege preclude any other or further exercise of such right, power, or privilege.

EXHIBIT A1, SAMPLE OPTION LETTER

State Agency Insert Department's or IHE's Full Legal Name	Option Letter Number Insert the Option Number (e.g. "1" for the first option)
Contractor Insert Contractor's Full Legal Name, including "Inc.", "LLC", etc...	Original Contract Number Insert CMS number or Other Contract Number of the Original Contract
Current Contract Maximum Amount Initial Term State Fiscal Year 20xx \$0.00	Option Contract Number Insert CMS number or Other Contract Number of this Option
Extension Terms State Fiscal Year 20xx \$0.00 State Fiscal Year 20xx \$0.00 State Fiscal Year 20xx \$0.00 State Fiscal Year 20xx \$0.00	Contract Performance Beginning Date The later of the Effective Date or Month Day, Year
Total for All State Fiscal Years \$0.00	Current Contract Expiration Date Month Day, Year

1. OPTIONS:

- A. Option to extend for an Extension Term
- B. Option to change the quantity of Goods under the Contract
- C. Option to change the quantity of Services under the Contract
- D. Option to modify Contract rates
- E. Option to initiate next phase of the Contract

2. REQUIRED PROVISIONS:

- A. **For use with Option 1(A):** In accordance with Section(s) Number of the Original Contract referenced above, the State hereby exercises its option for an additional term, beginning Insert start date and ending on the current contract expiration date shown above, at the rates stated in the Original Contract, as amended.
- B. **For use with Options 1(B and C):** In accordance with Section(s) Number of the Original Contract referenced above, the State hereby exercises its option to Increase/Decrease the quantity of the Goods/Services or both at the rates stated in the Original Contract, as amended.
- C. **For use with Option 1(D):** In accordance with Section(s) Number of the Original Contract referenced above, the State hereby exercises its option to modify the Contract rates specified in Exhibit/Section Number/Letter. The Contract rates attached to this Option Letter replace the rates in the Original Contract as of the Option Effective Date of this Option Letter.
- D. **For use with Option 1(E):** In accordance with Section(s) Number of the Original Contract referenced above, the State hereby exercises its option to initiate Phase indicate which Phase: 2, 3, 4, etc, which shall begin on Insert start date and end on Insert ending date at the cost/price specified in Section Number.
- E. **For use with all Options that modify the Contract Maximum Amount:** The Contract Maximum Amount table on the Contract's Signature and Cover Page is hereby deleted and replaced with the Current Contract Maximum Amount table shown above.

3. OPTION EFFECTIVE DATE:

The effective date of this Option Letter is upon approval of the State Controller or _____, whichever is later.

STATE OF COLORADO Jared Polis, Governor INSERT-Name of Agency or IHE INSERT-Name & Title of Head of Agency or IHE By: Name & Title of Person Signing for Agency or IHE Date: _____	In accordance with §24-30-202 C.R.S., this Option is not valid until signed and dated below by the State Controller or an authorized delegate. <p style="text-align: center;">STATE CONTROLLER Robert Jaros, CPA, MBA, JD</p> By: _____ Name of Agency or IHE Delegate-Please delete if contract will be routed to OSC for approval Option Effective Date: _____
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EXHIBIT A2, SAMPLE GRANT FUNDING CHANGE LETTER

State Agency Insert Department's or IHE's Full Legal Name	Grant Funding Change Letter Number Insert the Option Number (e.g. "1" for the first option)
Contractor Insert Contractor's Full Legal Name, including "Inc.", "LLC", etc...	Original Grant Number Insert CMS number or Other Contract Number of the Original Contract
Current Contract Maximum Amount Initial Term State Fiscal Year 20xx \$0.00 Extension Terms State Fiscal Year 20xx \$0.00 State Fiscal Year 20xx \$0.00 State Fiscal Year 20xx \$0.00 State Fiscal Year 20xx \$0.00 Total for All State Fiscal Years \$0.00	Grant Funding Change Letter Contract Number Insert CMS number or Other Contract Number of this Option Contract Performance Beginning Date The later of the Effective Date or Month Day, Year Current Contract Expiration Date Month Day, Year

1. GRANT FUNDING CHANGE

In accordance with §Insert Section Number of the Original Grant referenced above, the State Agency listed above commits the following funds to the grant:

- A. The funding available for State Fiscal Year 20xx is Increased/Decreased by \$Amount of Change, because Insert Reason For Change.
- B. The total funding avail for all State Fiscal Years as of the effective date of this Grant Funding Change Letter is shown as the current contract maximum above.

2. TERMINOLOGY

All terminology used in this Grant Funding Change Letter shall be interpreted in accordance with the Original Grant referenced above.

3. NO ORDER FOR WORK

This Grant Funding Change Letter modifies the available funding only and does not constitute an order or authorization for any specific services or goods under the Grant.

4. GRANT FUNDING CHANGE LETTER EFFECTIVE DATE:

The effective date of this Grant Funding Change Letter is upon approval of the State Controller or _____, whichever is later.

STATE OF COLORADO Jared Polis, Governor INSERT-Name of Agency or IHE INSERT-Name & Title of Head of Agency or IHE By: Name & Title of Person Signing for Agency or IHE Date: _____
In accordance with §24-30-202 C.R.S., this Option is not valid until signed and dated below by the State Controller or an authorized delegate. STATE CONTROLLER Robert Jaros, CPA, MBA, JD By: _____ Name of Agency or IHE Delegate-Please delete if contract will be routed to OSC for approval Grant Funding Change Letter Effective Date: _____

EXHIBIT B, GRANT REQUIREMENTS

The following terms as used herein shall be construed and interpreted as follows:

1. AUDIT REQUIREMENTS

A. Due Date:

i. Project Start:

The Grantee must submit the most recent audit or financial review, including the corresponding management letter, to DCJ within thirty (30) days of request; and, if the most recent audit/financial review has not already been submitted to DCJ, it must be submitted within thirty (30) days of the start of this project.

ii. Project End:

The Grantee assures that it will procure an audit or financial review, incorporating this grant award, by an independent Certified Public Accountant (CPA), licensed to practice in Colorado. The audit or financial review incorporating this grant award must be completed and received by DCJ within nine (9) months of the end of the fiscal years that includes the end date of the grant, or within thirty (30) days of the completion of such audit or review, whichever is earlier.

B. Report/Audit Type:

- i.** If your entity expended \$750,000 or more in Federal funds (from all sources including pass-through subawards) in your organization's fiscal year (12-month turnaround reporting period), your organization is required to arrange for a single organization-wide audit conducted in accordance with the provisions of Title 2 C.F.R. Subpart F (§ 200.500 et seq.)
- ii.** If your entity expends less than \$750,000 in Federal funds (from all sources including pass-through subawards) in your organization's fiscal year (12-month turnaround reporting period), your organization is required to arrange for either an audit or financial review as follows:
 - a)** Grantees that have revenue greater than \$300,000 from all sources during the entity's fiscal year are required by DCJ to obtain a financial audit
 - b)** Grantees that have revenue less than \$300,000 from all sources during the entity's fiscal year are required by DCJ to obtain a financial audit or financial review. A compilation is not sufficient to satisfy this requirement.

C. Report/Audit Costs:

The Grantee accepts responsibility for the costs of a financial program audit to be performed by the Department of Public Safety in the event that the audit report or financial review:

- i.** does not meet the applicable federal audit or DCJ standards;
- ii.** is not submitted in a timely manner; or,
- iii.** does not provide an audit response plan with corresponding corrections made sufficient to satisfy any audit findings.

D. Failure to Comply:

The grantee understands and agrees that DCJ or the federal awarding office (DOJ) may withhold award funds, or may impose other related requirements, if the grantee does not satisfactorily and promptly address outstanding issues from audits required by Part 200 Uniform Requirements, by the terms of this award, by the current addition of the DOJ Grants Financial Guide, or other outstanding issues that arise in connection with audits, investigations, or reviews of DOJ awards.

2. FINANCIAL AND ADMINISTRATIVE MANAGEMENT

- A. The Grantee assures that fund accounting, auditing, monitoring, evaluation procedures and such records as necessary will be maintained to assure adequate internal fiscal controls, proper financial management, efficient disbursement of funds received, and maintenance of required source documentation for all costs incurred. These principles must be applied for all costs incurred whether charged on a direct or indirect basis.
- B. All expenditures must be supported by appropriate source documentation. Only actual, approved, allowable expenditures will be permitted.
- C. The Grantee assures that it will comply with the applicable Administrative Guide of the Division of Criminal Justice (Guide), located at <http://dcj.state.co.us/home/grants>. However, such a guide cannot cover every foreseeable contingency, and the Grantee is ultimately responsible for compliance with applicable state and federal laws, rules and regulations. In the event of conflicts or inconsistencies between the Guide and any applicable state and federal laws, rules and regulations, such conflicts or inconsistencies shall be resolved by applicable state and federal laws, rules and regulations.

3. PROCUREMENT AND CONTRACTS

- A. Grantee assures that open, competitive procurement procedures will be followed for all purchases under the grant. All contracts for professional services, of any amount, and equipment purchases over five thousand dollars (per item, with a useful life of at least one year) must receive prior approval by the DCJ. Grantee shall submit Form 16 – Professional Services/Consultant Certification and/or Form 13 – Equipment Procurement Certification Form.
- B. Grantee may not assign its rights or duties under this grant without the prior written consent of the DCJ.

4. AWARD CHANGE REQUESTS

- A. Grantee may request budget modifications by submitting a request to DCJ. DCJ reserves the right to make and authorize modifications, adjustments, and/or revisions to the Grant Award Letter for the purpose of making changes in budget categories, extensions of grant award dates, changes in goals and objectives, and other modifications as described in §16.D in the body of the Grant Award Letter.

EXHIBIT C, SPECIAL CONDITIONS

The following program specific requirements are imposed by the Federal sponsoring agency concerning special requirements of law, program requirements, and other administrative requirements. These requirements apply to this Agreement and must be passed on to subgrant award recipients.

The following Special Conditions documents, if checked, are incorporated herein. These documents are located on the DCJ Grants website and may also be obtained from DCJ upon request.

These conditions are subject to change based upon any decisions from the General Assembly effective July 1, 2019. Any changes will be referenced as an "Addendum" on the DCJ Grants website and may also be obtained from DCJ upon request.

☒ 2019 Juvenile Diversion Special Conditions

EXHIBIT D, STATEMENT OF WORK

Project Description:

All referrals shall come from our District Attorney's Office, which is a first (rarely second) time district level offense diverted to our program for a supervision, counseling alternative to District Court processing and filing.

We want to combat both substance use and school performance issues and drop out rates through this project. Utilizing the research from the Penn State's EPISCenter and Dr. Bumbarger, we will target 4 risk factors that increase the likelihood of youth being involved with substance use and dropping out of high school. The leading indicator or risk factors are Family History of substance use or dropping out, Family Management Problems, Family Conflict and Lack of Commitment to School by the student.

Youth will be identified by the Intake Counselor, who is a MA, CAC III, using an internal screen based on the 4 risk factors of the EPISCenter and YASI criminogenic risk assessment tool, to determine if appropriate for referral to the Education Client Manager and this project. In addition, every student shall be screened for substance use disorders using the CRAFFT and the MASYI-2. If a student is deemed to need an assessment then one shall be provided for the student within 60 days of the contract signing by a contracted provider to do behavioral health mental and substance use assessments for the youth.

Once a student is identified as appropriate for the project, the Intake Counselor will assign the case to the Education Client Manager and the OMNI/grant forms shall be completed. The DCJ Intake form shall be given to the Legal Secretary who will enter it into OMNI. The Pre survey shall be completed online with the Education Client Manager and youth at the first meeting after the contract signing.

We will use these 4 risk factors to assess using pre and post self report assessments by youth and parents. This will be done by the family therapist at family therapy and given to the Education Client Manager. Each client shall begin with the Positive Action program which will be used in the program and in conjunction with the schools and any systems of care involved with the youth. This will be the theoretical and philosophical framework and structure for the project because it is such a model program (Blueprints, What Works, OJJDP, etc.). Positive Action is a systematic educational program that promotes an intrinsic interest in learning and encourages cooperation among students. It works by teaching and reinforcing the intuitive philosophy that you feel good about yourself when you do positive actions.

The effects of the program range from increased academic achievement to dramatic reductions in problem behaviors. These results have been replicated in diverse settings and feature the most rigorous efficacy study designs available.

For more than 30 years, Positive Action has been helping educators around-the-world create positive learning environments for their students. Imagine what Positive Action could do for your students!

Every youth, after being referred, shall have an initial staffing at his/her school within 45 days of the contract signing, involving the appropriate school officials and family, and a monthly staffing twice per semester thereafter for as long as the youth is in the program. Then the case plan for each youth shall be developed and implemented within 60 days of the contract signing. The initial family therapy session shall be held within 60 days of the contract signing for the youth as well, and every family shall attend at least 5 sessions of family therapy to be in the project. Each family's needs shall be assessed utilizing the 4 risk factors pre assessment and families will attend as many sessions as they need up to 15 sessions. The Diversion Counselor providing most of the family work is a LPC, CAC III with masters work in family therapy. Additional work shall be done by the Director who is a LAC with masters work in marriage and family, or marriage and family interns from Regis University. Each of the sessions shall be completely free to the families. Youth shall be drug screened and incentives shall be utilized following best practices of Motivational Enhancement Therapy (Dr. Riggs, Dr. Thurnstone) and the 'fish bowl' method of increasing internal and external reinforcers of positive and healthy behavior. The incentives will be awarded based on GPA increase, graduation, completion of family therapy,

abstinence from substance use after previously struggling with that. Incentives will be books, music, sports equipment, shoes, clothing, ear buds, movie passes, rec center passes, bus passes, games, gardening supplies, cooking tools, or art supplies. Incentives will be signed for by youth, including date they receive and why and kept by the Ed Client Manager and Project Director and a youth shall be eligible for no more than two incentives while in the project totaling no more than \$60 total for the two. This will be facilitated by both the Diversion Counselor and the Education Client Manager.

The lagging indicators, or what we hope to accomplish because of the supervision and case management of the cases, as well as the family therapy, is a reduction in family conflict and management problems, as well as substance use issues, and an increased commitment to school as evidenced by attendance and grades.

Every youth will participate in the regular Diversion program as well, just with more wrap-around and intensive services to target specific risks more because these youth shall be the highest educationally at risk students in our office, as well as substance users. This means that each youth shall also participate in our full restorative justice program including financial restoration, community restoration work and community victim circles, when appropriate. Youth will ensure that victims are compensated, and/or made whole in terms of what they can do now that they have committed a crime.

If a youth is struggling to be compliant in the program, they go through a second contract process where they meet with the Director or Assistant Director of Diversion to process what has transpired. This meeting is with the Diversion Counselor and family as well and facilitated by the Education Client Manager. If this process fails then eventually the youth is sent to a community multi disciplinary review board called 'final review' where a decision is made regarding what to do with the case and if the youth should be sent to court for filing of charges and prosecution of the case.

Goals & Objectives:

GOAL 1	
Goal	Increase Family Attachment between youth and their families
Objective 1.1	
Objective	All project youth shall complete pre and post surveys and attend family therapy
Outcome	90% (the majority in house therapy with family therapist) of youth shall attend at least 6 family therapy sessions and increase within 6 months of contract signing. Youth and Families in each case shall self-report on pre/post surveys: -20% reduction in family management issues from contract signing to 6 months after -40% reduction in family conflict from contract signing to 6 months after
Measurement	Pre/Post survey Clinical session notes
Timeframe	Through June 30, 2020
Objective 1.2	
Objective	Increase youth commitment to school

Outcome	90% of youth shall increase attendance by 20% or more if deemed truant by their school/district from their contract signing until 120 days after. 90% of youth shall increase their grades or GPA by 20% or more if below a 2.5 GPA from contract signing to 6 months afterward.
Measurement	school report cards infinite campus reports
Timeframe	Through June 30, 2020
GOAL 2	
Goal	Increase youth commitment to school
Objective 2.1	
Objective	All youth shall complete pre/post surveys and participate in Positive Action Program
Outcome	90% of youth shall increase attendance by 20% or more if deemed truant by their school/district from their contract signing until 120 days after. 90% of youth shall increase their grades or GPA by 20% or more if below a 2.5 GPA from contract signing to 6 months afterward.
Measurement	school report cards infinite campus reports
Timeframe	Through June 30, 2020
GOAL 3	
Goal	Decrease Substance Using Behaviors among youth
Objective 3.1	
Objective	All youth using substances or with substance use in the offense or drug/alcohol as high risk YASI domain shall receive random drug screens, family therapy and Positive Action program
Outcome	80% of youth shall decrease their substance use by 50% or more within 6 months of their contract signing
Measurement	Drug screen results Case Notes
Timeframe	Through June 30, 2020

EXHIBIT E, BUDGET

Budget Summary Requested/Awarded					
	Grant Funds	Cash Match	In-Kind Match	Match Total	Project Total
Personnel	\$ 73,565	\$ 29,153	\$ 0	\$ 29,153	\$ 102,718
Supplies & Operating	\$0	\$0	\$0	\$0	\$0
Travel	\$0	\$0	\$0	\$0	\$0
Equipment	\$0	\$0	\$0	\$0	\$0
Consultants / Contracts	\$ 1,000	\$0	\$0	\$0	\$ 1,000
Indirect	\$0	\$0	\$0	\$0	\$0
Total	\$ 74,565	\$ 29,153	\$ 0	\$ 29,153	\$ 103,718

Personnel: Budget & Budget Narrative Details

Position Title and Name	Annual Base Salary	Annual Base Salary To Be Paid By Grant Funds	% To Be Paid By Grant Funds	Annual Fringe	Annual Fringe To Be Paid By Grant Funds	% To Be Paid By Grant Funds	Total Annual Base Salary + Fringe	Total Base Salary + Fringe To Be Paid By Grant Funds	Cash Match	In-Kind Match	Total Match Committed to this Project
Diversion Education Client Manager, Megan Alvarez	\$ 53,993	\$ 52,470	97.18 %	\$ 21,156	\$ 21,095	99.71 %	\$ 75,149	\$ 73,565	\$ 0	\$ 0	\$ 0
Budget Narrative and Justification:	<p>This is the primary position of this project and is fully funded by this grant. The salary is determined by the CDAC annual survey analysis and county market analysis. This position is kept comparable to other county positions but DCJ would not fund the position fully as requested so there shall be no merit increase. The fringe is determined by adding monthly the workers comp, FICA, Medicare, Dental, Medical, Vision. There is no disability, Life, or retirement for this position. It is not the same amount monthly so is an ESTIMATE AND AVERAGE because of the state fiscal year not being the same as the county year, as well as increases. They are subject to elections, BOCC changes, and open enrollment or covered event changes.</p> <p>Work Comp: \$31.50 FICA: \$260.36 Medicare: \$60.89 Dental: \$30.68 Medical: \$1372.85 Vision: \$1.63</p>										

Match Narrative and Justification:

Director of Diversion	\$ 103,687	\$ 0	0 %	\$ 38,713	\$ 0	0 %	\$ 142,400	\$ 0	\$ 11,392	\$ 0	\$ 11,392
Budget Narrative and Justification:	<p>The approximate fringe costs per month are (subject to elections, BOCC changes, and open enrollment changes):</p> <p>Workers Comp - \$61.81 FICA - \$510.97 Medicare - \$119.50 Dental - \$32.58 Disability - \$78.46 Life - \$13.00 Med - \$1,668.89 Retirement - \$741.73 Vision - \$7.14</p> <p>It is not the same amount monthly because of the state fiscal year not being the same as the county year, as well as merit increases</p>										
Match Narrative and Justification:	<p>The match for this is 8% of salary and fringe for the admin and leadership support for the project as well as the reporting requirements</p>										

Juvenile Intake Counselor	\$ 59,952	\$ 0	0 %	\$ 23,480	\$ 0	0 %	\$ 83,432	\$ 0	\$ 10,429	\$ 0	\$ 10,429
Budget Narrative and Justification:	The approximate fringe costs per month are (subject to elections, BOCC changes, and open enrollment changes): Workers Comp - \$36.11 FICA - \$298.54 Medicare - \$69.82 Dental - \$16.03 Disability - \$45.84 Life - \$8.00 Medical - \$1047.33 Retirement - \$433.36 Vision - \$1.63 It is not the same amount monthly because of the state fiscal year not being the same as the county year, as well as merit increases										
Match Narrative and Justification:	The match for this position is 12.5% for juvenile intakes for all of the project youth including risk assessment and mental health and substance use screens										
Diversion Counselor	\$ 71,350	\$ 0	0 %	\$ 20,300	\$ 0	0 %	\$ 91,650	\$ 0	\$ 7,332	\$ 0	\$ 7,332
Budget Narrative and Justification:	The approximate fringe costs per month are (subject to elections, BOCC changes, and open enrollment changes): Workers Comp - \$42.03 FICA - \$347.41 Medicare - \$81.25 Dental - \$8.49 Disability - \$53.34 Life - \$9.00 Medical - \$644.26 Retirement - \$504.31 Vision - \$1.63 It is not the same amount monthly because of the state fiscal year not being the same as the county year, as well as merit increases										
Match Narrative and Justification:	The match for this position is 8% to provide family therapy for most of the youth in the project and assist supervision of interns who will also provide services to the youth and families.										
Total	\$ 288,982	\$ 52,470	18 %	\$ 103,649	\$ 21,095	20 %	\$ 392,631	\$ 73,565	\$ 29,153	\$ 0	\$ 29,153

Non-Personnel: Budget & Budget Narrative Details					
Budget Item	Amount To Be Paid By Grant Funds	Budget Narrative and Justification	Cash Match	In-Kind Match	Match Narrative and Justification
SUPPLIES & OPERATING					
N/A	\$ 0				
Supplies & Operating Total	\$ 0				
TRAVEL					
N/A	\$ 0				
Travel Total	\$ 0				
EQUIPMENT					
N/A	\$ 0				
Equipment Total	\$ 0				

CONSULTANTS/CONTRACTS (PROFESSIONAL SERVICES)

OMNI contractual fee \$ 1,000

DCJ required fee for data collection and reporting for grantees

Consultants/Contracts Total \$ 1,000

INDIRECT

N/A \$ 0

Indirect Total \$ 0

Total Non-Personnel \$ 1,000



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING:	June 18, 2019
SUBJECT:	Intergovernmental Agreement with Adams County Fire Protection District for the Installation and Maintenance of Traffic Control Devices
FROM:	Kristin Sullivan, AICP, Director of Public Works Brian Staley, PE, PTOE, Deputy Director of Public Works
AGENCY/DEPARTMENT:	Public Works
HEARD AT STUDY SESSION ON:	N/A
AUTHORIZATION TO MOVE FORWARD:	<input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION:	Approval of an Intergovernmental Agreement (IGA) between Adams County and the Adams County Fire Protection District for the installation and maintenance of emergency vehicle preemption control devices.

BACKGROUND:

The Adams County Fire Protection District (ACFPD) wishes to install and maintain Opticom Global Positioning System (GPS) units at certain signalized intersections of public roads within Adams County. Opticom GPS units are technology that allows the safe transition of traffic signals to green indications when triggered by approaching emergency vehicles equipped with complementary on-board equipment. The proposed units utilize proven technology currently in use by neighboring government agencies and the agreement outlines that the installation will be performed by a qualified consultant. The IGA also provides that the ACFPD will be financially responsible for the installation and ongoing maintenance of the proposed units.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works Department
Adams County Fire Protection District

ATTACHED DOCUMENTS:

Resolution

Intergovernmental Agreement (IGA) with Adams County for Installation and Maintenance of Traffic Control Devices (opticom) (May 2019)

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:	
Cost Center:	

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/>

New FTEs requested: ☐ YES ☒ NOFuture Amendment Needed: ☐ YES ☒ NO**Additional Note:**

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AN INTERGOVERNMENTAL AGREEMENT BETWEEN
ADAMS COUNTY AND THE ADAMS COUNTY FIRE PROTECTION DISTRICT FOR THE
INSTALLATION AND MAINTENANCE OF TRAFFIC CONTROL DEVICES

WHEREAS, Adams County (the "County") is a political subdivision of the State of Colorado ("State"), and the Adams County Fire Protection District (the "District") is a political subdivision of the State organized pursuant to the Special District Act, C.R.S. § 32-1-101, *et seq.*; and,

WHEREAS, the District was organized to provide fire suppression, rescue, hazardous materials, emergency medical, and ambulance services (collectively, "*Emergency Services*") to the citizens and property within its jurisdiction, and to individuals passing through its jurisdiction; and,

WHEREAS, the County installs and maintains traffic control signals and related infrastructure at various intersections of public roads within the County; and,

WHEREAS, the District utilizes the public roads within the County in the provision of its Emergency Services and wishes to install and maintain Opticom GPS system devices at certain intersections of public roads within the County for faster, safer emergency vehicle preemption and more responsive transit signal priority; and,

WHEREAS, the County is willing to allow the District to install and maintain Opticom GPS system devices at certain intersections of public roads within the County upon the terms and conditions set forth in this Agreement.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Intergovernmental Agreement between Adams County and the Adams County Fire Protection District for the Installation and Maintenance of Traffic Control Devices, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is approved.

INTERGOVERNMENTAL AGREEMENT FOR THE INSTALLATION AND MAINTENANCE OF TRAFFIC CONTROL DEVICES

This INTERGOVERNMENTAL AGREEMENT FOR THE INSTALLATION AND MAINTENANCE OF TRAFFIC CONTROL DEVICES ("**Agreement**") is entered into by and between Adams County ("**County**") and the Adams County Fire Protection District ("**District**"). The County and the District are referred to collectively as the "**Parties**" or individually as a "**Party**".

RECITALS

WHEREAS, the County is a political subdivision of the State of Colorado ("**State**"), and the District is a political subdivision of the State organized pursuant to the Special District Act, C.R.S. § 32-1-101, *et seq.*;

WHEREAS, the District was organized to provide fire suppression, rescue, hazardous materials, emergency medical, and ambulance services (collectively, "**Emergency Services**") to the citizens and property within its jurisdiction, and to individuals passing through its jurisdiction;

WHEREAS, the County installs and maintains traffic control signals and related infrastructure at various intersections of public roads within the County;

WHEREAS, the District utilizes the public roads within the County in the provision of its Emergency Services and wishes to install and maintain Opticom GPS system devices at certain intersections of public roads within the County for faster, safer emergency vehicle preemption and more responsive transit signal priority; and,

WHEREAS, the County is willing to allow the District to install and maintain Opticom GPS system devices at certain intersections of public roads within the County upon the terms and conditions set forth in this Agreement.

NOW, THEREFORE, in consideration of the mutual promises contained in this Agreement, the Parties agree as follows:

AGREEMENT

1. Installation and Maintenance of Opticom GPS System Devices. The County authorizes the District to install Opticom GPS system devices and any associated wire or other hardware or equipment (collectively, the "**Opticom Devices**") at intersections of public roads within the County as are mutually agreed upon by the District and the County. The District shall be solely responsible for the cost of purchasing and installing the Opticom Devices. In general, the Opticom Devices shall be mounted on the intersection light pole closest to the control box for the intersection and wiring shall be routed to the control box. The installation of the Opticom Device and connection to the control box shall be performed under the supervision of the County's IT Supervisor by a qualified consultant hired by the District. The District shall be responsible for all costs associated with repairing, maintaining or replacing the Opticom Devices, provided that the County shall be responsible for any costs associated with repairing or replacing an Opticom Device that is damaged by the County or its employees, agents or contractors.

2. System Security. The District shall, at its sole cost, purchase and maintain appropriate software to prevent unauthorized individuals or entities from accessing the District's Opticom GPS System or the County's traffic control system.

3. Ownership. Notwithstanding the installation of the Opticom Devices on County property, the District shall be the sole owner of the Opticom Devices.

4. Indemnification. The extent permitted by law, the District shall indemnify and hold harmless the County against any and all claims, damages, liability and court awards including costs, expenses, and attorney fees incurred as a result of any act or omission by District, or its employees or agents pursuant to the terms of this Agreement. By executing this Agreement containing this indemnity clause, the District does not waive the operation of any law concerning its ability to indemnify. The District shall maintain insurance in compliance with the Colorado Governmental Immunity Act during the term of this Agreement.

5. Effective Date and Term. This Agreement is effective as of the date the last Party signs this Agreement, and shall continue in effect until terminated in accordance with its terms.

6. Termination.

a. The Parties may at any time mutually agree in writing to terminate this Agreement.

b. Either Party may at any time terminate this Agreement upon 90 calendar days prior written notice to the other Party. Upon termination of this Agreement, the District, at its sole cost, shall remove the Opticom Devices from County property. If the District fails to remove the Opticom Devices from County Property within 60 days of the termination date, the County may remove the Opticom Devices and shall be reimbursed by the District for the costs of said removal.

7. Governmental Immunity. Nothing in this Agreement shall be construed as a waiver of the limitations on damages or any of the privileges, immunities, or defenses provided to, or enjoyed by, the Parties under common law or pursuant to statute, including but not limited to the Colorado Governmental Immunity Act, C.R.S. § 24-10-101, *et seq.*

8. Notice. Any notice permitted or required by this Agreement shall be in writing and shall be hand-delivered or sent by certified or registered mail, postage prepaid, return receipt requested, to the following addresses. Notices are effective upon receipt.

Adams County
Attn: Kristin Sullivan, Public Works Director
4430 South Adams County Parkway 1st Floor,
Ste. W2000B
Brighton, CO 80601-8216

Adams County Fire Protection District
Attn: Fire Chief
8055 N. Washington St.
Denver, CO 80229

9. Miscellaneous. Colorado law governs this Agreement. Jurisdiction and venue shall lie exclusively in the Adams County District Court. This Agreement may be amended only by a document signed by the Parties. Course of performance, no matter how long, shall not constitute an amendment to this Agreement. If any provision of this Agreement is held invalid or unenforceable, all other provisions shall continue in full force and effect. Waiver of a breach of this Agreement shall not operate or be construed as a waiver of any subsequent breach of this Agreement. This Agreement shall inure to the benefit of and be binding

upon the Parties and their legal representatives and successors. Neither Party shall assign this Agreement without the prior written consent of the other Party. This Agreement is not intended to, and shall not, confer rights on any person or entity not named as a party to this Agreement. This Agreement may be executed in counterparts and by facsimile or electronic PDF, each of which shall be deemed an original and all of which shall constitute one and the same instrument.

IN WITNESS WHEREOF, the Parties have executed this Agreement.

ADAMS COUNTY, a political
subdivision of the State of Colorado

**ADAMS COUNTY FIRE PROTECTION
DISTRICT**, a political subdivision of the
State of Colorado

By: _____
Chair, Board of County of Commissioners

By: _____
Jerry Marchese, Board President

Date: _____

Date: _____

ATTESTED:

ATTESTED:

By: _____
County Clerk

By: _____
Anthony Spano, Board Secretary

APPROVED AS TO FORM:

By: _____
County Attorney



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 18, 2019
SUBJECT: Agricultural Land Lease of the Maul Open Space
FROM: Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Benjamin Dahlman, Finance Director Kim Roland, Procurement and Contracts Manager
AGENCY/DEPARTMENT: Facilities and Fleet Management Department, Parks, Open Space & Cultural Arts Department
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves an agreement with James Kruse to lease the Maul Open Space agricultural land.

BACKGROUND:

Adams County owns open space property known as the Maul Open Space, located near 132nd Avenue and Piccadilly Road in unincorporated Adams County, Colorado with approximately 148 acres of productive agricultural land.

Adams County formally solicited an Invitation for Bid on BidNet, for the lease of the Maul Open Space. Bids were opened on March 8, 2019. The County received two bids in response to the solicitation.

- Jim Kruse - \$4,558.00 - Annually
- Richard E. Larson - \$1,776.00 - Annually

The recommendation is to award a three-year lease agreement with Jim Kruse in the annual amount of \$4,558.00 for a total contract amount of \$13,674.00.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Facilities and Fleet Management Department
Parks, Open Space & Cultural Arts Department

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

Fund: 1			
Cost Center: 5011			
	Object Account	Subledger	Amount
Current Budgeted Revenue:	6735		4,558
Additional Revenue not included in Current Budget:			
Total Revenues:			<u>4,558</u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u></u>

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AN AGREEMENT BETWEEN ADAMS COUNTY AND
JAMES KRUSE FOR THE MAUL OPEN SPACE AGRICULTURAL LEASE

WHEREAS, Adams County owns approximately 148 acres of agricultural land commonly known as the Maul Open Space property; and,

WHEREAS, James Kruse submitted a bid on March 8, 2019, to lease the Maul Open Space property; and,

WHEREAS, James Kruse agrees to pay an annual amount of \$4,558.00 for use of the property, payable in one installment on December 1st of each year for the term of the agreement.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the agreement with James Kruse to lease the Maul Open Space property is hereby approved.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign the agreement with James Kruse after negotiation and approval as to form is completed by the County Attorney's Office.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 18, 2019
SUBJECT: Resolution accepting a public access easement from Center Greenhouse, Inc. to Adams County for the purposes of a using a public cul-de-sac right of way
FROM: Jill Jennings Golich, Community & Economic Development Department Director
AGENCY/DEPARTMENT: Community & Economic Development
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves a resolution accepting a public access easement from Center Greenhouse, Inc. to Adams County

BACKGROUND:

Adams County is acquiring a public access easement from Center Greenhouse, Inc. The property is located at 7220 Lafayette Street. This easement agreement will provide the County a public access easement over a cul-de-sac on Lafayette Street. Said easement is to be used for the sole purpose for public access to Lafayette Street.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Community & Economic Development, Public Works, Office of the County Attorney

ATTACHED DOCUMENTS:

Public Access Easement
Board of County Commissioners Resolution
Planning Commission Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund: N/A**Cost Center:** N/A

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

**RESOLUTION ACCEPTING A PUBLIC ACCESS EASEMENT FROM CENTER
GREENHOUSE, INC., TO ADAMS COUNTY FOR ACCESS PURPOSES**

WHEREAS, the Planning Commission for Adams County, Colorado, has considered the advisability of accepting a Public Access Easement from Center Greenhouse, Inc., for property located in the Southwest Quarter of Section 35, Township 2 South, Range 68 West of the 6th Principal Meridian as described in the attached public access easement agreement; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 9th day of May, 2019, the Planning Commission recommended that the Board of County Commissioners accept said Public Access Easement.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Public Access Easement from Center Greenhouse, Inc., a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

PUBLIC ACCESS EASEMENT

THIS EASEMENT, is granted on the date of May 3, 2018, between Center Greenhouse, Inc., whose legal address is 1550 East 73rd Avenue, Denver, Colorado 80229-6904, hereinafter called "Grantor" its successors and assigns, and the **County of Adams**, State of Colorado, a body politic, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601, hereinafter called "Grantee".

For ten dollars and other good and valuable consideration the receipt and sufficiency of which is hereby admitted, Grantor conveys to Grantee a public access easement and right-of-way through the lands hereinafter described:

Legal description as set forth in Exhibit A attached hereto and incorporated herein by this reference.

Said Easement is for the purpose of allowing public pedestrian, vehicular and emergency vehicle access to and from Lafayette Street, located on the parcel of land described in Exhibit A.

Grantee will in no way hinder or prevent the proper and reasonable use and enjoyment of the property through which the Easement is granted. No structures shall be constructed, erected, or placed upon the surface of the Easement. No parking of vehicles within the Easement shall be permitted.

Grantor agrees that the Grantee has no maintenance responsibilities for the Easement. All maintenance shall be the responsibility of the owner of the land over which the Easement is located.

The Easement will remain in the ownership of the Grantee and may be used by Grantor, for any purpose, provided such use does not have any adverse effect upon the Easement.

Grantor hereby agrees to indemnify, defend, save and hold harmless the Grantee from any and all liability, loss or damage Grantee may suffer as a result of any and all actions, claims, damages, costs and expenses arising out of or from, or caused by, the operations and maintenance and use of the aforesaid Easement and rights-of-way by Grantor or its agents.

The obligations which are imposed by this Easement shall also be considered to be covenants running with the land, and all of the terms and conditions which are

contained and expressed in the Easement shall bind and inure to the successors and assigns of the respective parties hereto.

IN WITNESS WHEREOF, the parties hereto have set their hand and seal this 3 day of May, 2019.

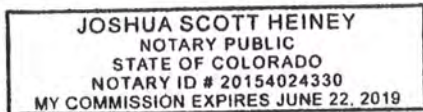
GRANTOR:
Center Greenhouse, Inc.,

By: Kenn Lombardi
Print Name: Kenn A. Lombardi
Print Title: SEC.

STATE OF Colorado)
COUNTY OF Denver) §

The foregoing instrument was acknowledged before me this 3 day of May, 2019, by Kenn Lombardi, as Secretary, of Center Greenhouse, Inc.

Witness my hand and official seal.



My commission expires: June 22, 2019

[Signature]
Notary Public

GRANTEE:

ATTEST:
Josh Zygielbaum, Clerk

By: _____
Erica Hannah, Deputy Clerk

The Board of County Commissioners of
the County of Adams, State of Colorado

By: _____
Steven J. O'Dorisio, Chair

Approved as to form:

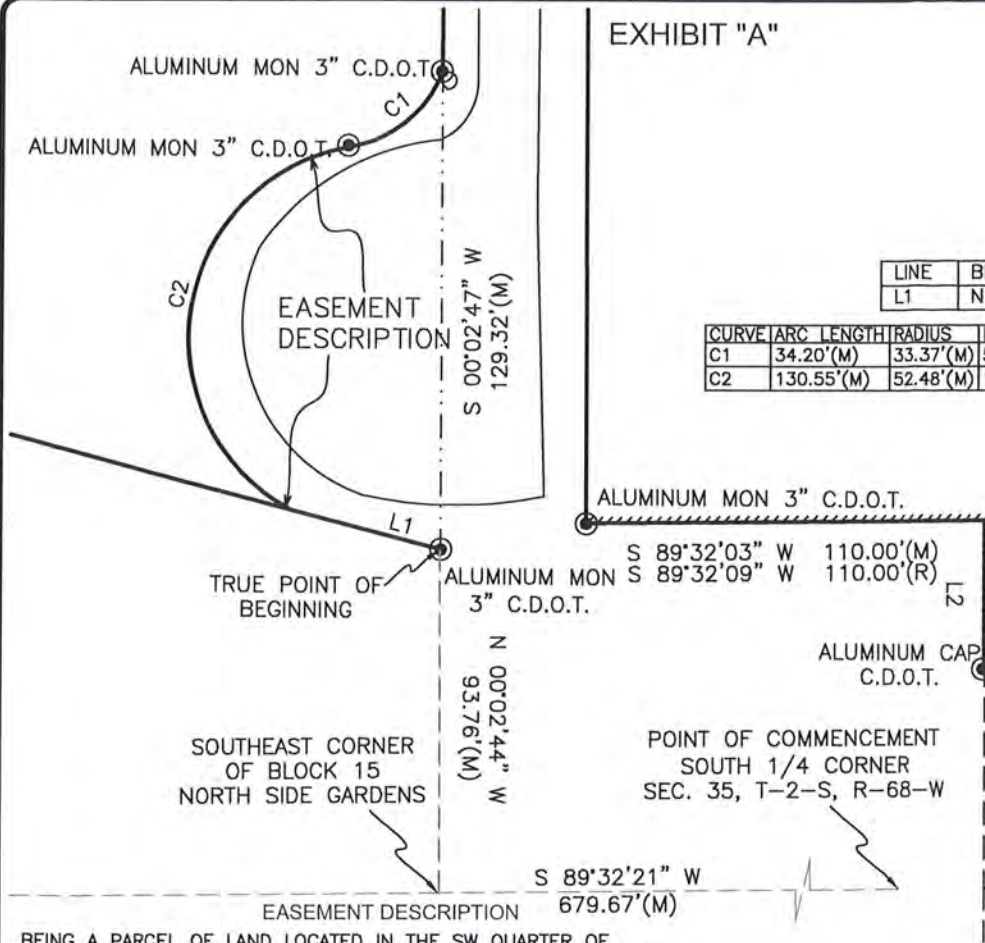
County Attorney's Office

EXHIBIT "A"



LINE	BEARING	DISTANCE
L1	N 75°23'09" W	42.91'(M)

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	34.20'(M)	33.37'(M)	58°42'41"	N 51°25'58" E	32.72'(M)
C2	130.55'(M)	52.48'(M)	142°32'05"	N 09°17'19" E	99.40'(M)



BEING A PARCEL OF LAND LOCATED IN THE SW QUARTER OF SECTION 35, T2S, R68W OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SECTION 35, TOWNSHIP 2 SOUTH, RANGE 68 WEST, THENCE S 89°32'21" W A DISTANCE OF 679.67 FEET ALONG THE SOUTH LINE OF SAID SECTION, TO THE SOUTHEAST CORNER OF BLOCK 15 NORTH SIDE GARDENS, SAID CORNER ALSO BEING THE WEST RIGHT-OF-WAY LINE OF LAFAYETTE STREET (AUG. 1996); THENCE N 00°02'44" W A DISTANCE OF 93.76 FEET ALONG THE EAST LINE OF SAID BLOCK TO A FOUND 3" C.D.O.T. ALUMINUM MONUMENT, BEING THE TRUE POINT OF BEGINNING;

THENCE N 75°23'09" W A DISTANCE OF 42.91 FEET;

THENCE ALONG A NON-TANGENT CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 130.55 FEET, WITH A RADIUS OF 52.48 FEET, WITH A CHORD BEARING OF N 09°17'19" E, WITH A CHORD LENGTH OF 99.40 FEET, TO A FOUND 3" C.D.O.T. ALUMINUM MONUMENT;

THENCE ALONG A REVERSE CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 34.20 FEET, WITH A RADIUS OF 33.37', WITH A CHORD BEARING OF N 51°25'58" E, WITH A CHORD LENGTH OF 32.72 FEET, TO A FOUND 3" C.D.O.T. ALUMINUM MONUMENT;

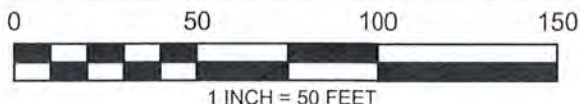
THENCE ALONG THE SAID WEST RIGHT-OF-WAY LINE AND SAID EAST BLOCK LINE S 00°02'47" W A DISTANCE OF 129.32' TO THE POINT OF BEGINNING; CONTAINING AN AREA OF 6269.81 SQUARE FEET, 0.144 ACRES MORE OR LESS.



PAGE 1 OF 1

EASEMENT EXHIBIT

BLEW & ASSOCIATES, PA
CIVIL ENGINEERS & LAND SURVEYORS



Project Number:
18-3983

Date: 1/29/2019

EASEMENT DESCRIPTION

BEING A PARCEL OF LAND LOCATED IN THE SW QUARTER OF SECTION 35, T2S, R68W OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SECTION 35, TOWNSHIP 2 SOUTH, RANGE 68 WEST, THENCE S $89^{\circ}32'21''$ W A DISTANCE OF 679.67 FEET ALONG THE SOUTH LINE OF SAID SECTION, TO THE SOUTHEAST CORNER OF BLOCK 15 NORTH SIDE GARDENS, SAID CORNER ALSO BEING THE WEST RIGHT-OF-WAY LINE OF LAFAYETTE STREET (AUG. 1996); THENCE N $00^{\circ}02'44''$ W A DISTANCE OF 93.76 FEET ALONG THE EAST LINE OF SAID BLOCK TO A FOUND 3" C.D.O.T. ALUMINUM MONUMENT, BEING THE TRUE POINT OF BEGINNING;

THENCE N $75^{\circ}23'09''$ W A DISTANCE OF 42.91 FEET;

THENCE ALONG A NON-TANGENT CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 130.55 FEET, WITH A RADIUS OF 52.48 FEET, WITH A CHORD BEARING OF N $09^{\circ}17'19''$ E, WITH A CHORD LENGTH OF 99.40 FEET, TO A FOUND 3" C.D.O.T. ALUMINUM MONUMENT;

THENCE ALONG A REVERSE CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 34.20 FEET, WITH A RADIUS OF 33.37 FEET, WITH A CHORD BEARING OF N $51^{\circ}25'58''$ E, WITH A CHORD LENGTH OF 32.72 FEET, TO A FOUND 3" C.D.O.T. ALUMINUM MONUMENT;

THENCE ALONG THE SAID WEST RIGHT-OF-WAY LINE AND SAID EAST BLOCK LINE S $00^{\circ}02'47''$ W A DISTANCE OF 129.32 FEET TO THE POINT OF BEGINNING; CONTAINING AN AREA OF 6269.81 SQUARE FEET, 0.144 ACRES MORE OR LESS.



**PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO**

**RESOLUTION RECOMMENDING ACCEPTANCE OF A PUBLIC ACCESS
EASEMENT FROM CENTER GREENHOUSE, INC., TO ADAMS COUNTY FOR
ACCESS PURPOSES**

At a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton, Colorado, on Thursday the 9th day of May, 2019, the following proceedings, among others, were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of accepting a Public Access Easement from Center Greenhouse, Inc., for access purposes, being on the following described property:

See Legal Description as set forth in the Exhibit attached hereto and incorporated herein by this reference.

WHEREAS, this Public Access Easement is in conjunction with a subdivision, street vacation and site redevelopment for a property located in the Southwest Quarter of Section 35, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED that the Adams County Planning Commission recommends to the Board of County Commissioners that said Public Access Easement be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, Justin Martinez, Chair of the Adams County Planning Commission, do here by certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.

Justin Martinez
Acting Chair
Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 18, 2019
SUBJECT: Resolution approving an encroachment agreement between Adams County and Brian Lee Ziegler to allow a retaining wall and loose rocks in the County's right-of-way.
FROM: Jill Jennings Golich, Community & Economic Development Department Director
AGENCY/DEPARTMENT: Community & Economic Development
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves an encroachment agreement to allow Brian Lee Ziegler to install a retaining wall and place loose rocks in the County's right-of-way.

BACKGROUND:

Brian Lee Ziegler is requesting to install a rip rap retaining wall and 1.5" loose crushed granite rocks in the County's right-of-way located at 16735 Shadow Wood Court. The proposed agreement will neither impede future expansion of the road nor create any property interest for Mr. Ziegler other than allowing for installation of the retaining wall and placement of the rocks.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Community & Economic Development, Public Works, Office of the County Attorney

ATTACHED DOCUMENTS:

Encroachment Agreement
Board of County Commissioners Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

**RESOLUTION APPROVING ENCROACHMENT AGREEMENT BETWEEN BRIAN
LEE ZIEGLER AND ADAMS COUNTY FOR IMPROVEMENTS IN
COUNTY RIGHT-OF-WAY**

WHEREAS, Brian Lee Ziegler owns a fee parcel of land located in the Northwest Quarter of Section 8, Township 1 South, Range 65 West of the 6th Principal Meridian, County of Adams, State of Colorado (the "Property"); and,

WHEREAS, Brian Lee Ziegler installed a rip rap retaining wall and placed 1.5" loose crushed granite within the right-of-way of Shadow Wood Court; and,

WHEREAS, Adams County requires an Encroachment Agreement for improvements that are within the County right-of-way; and,

WHEREAS, the encroachment within the County right-of-way will not impact the County's use of Shadow Wood Court.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Encroachment Agreement between Brian Lee Ziegler and Adams County, a copy of which is attached hereto and incorporated herein by reference, be approved.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is hereby authorized to execute the Encroachment Agreement.

ENCROACHMENT AGREEMENT

This encroachment agreement ("Agreement") is entered into this 3 day of May, 2019 between ADAMS COUNTY, a body politic, whose address is 4430 S Adams County Parkway, Brighton, Colorado 80601 (the "County") and Brian Lee Ziegler (the "Property Owner") whose address is 16735 Shadow Wood Court. The County and the Property Owner are collectively referred to as the "Parties".

RECITALS

WHEREAS, the Property Owner owns Lot 9, Box Elder Creek Ranch Filing No. 2, a subdivision of a part of the Northwest Quarter of Section 8, Township 1 South, Range 65 West, of the 6th Principal Meridian, Adams County, Colorado, (Tax Parcel # 0156701202008) hereinafter referred to as the "Property"; and,

WHEREAS, Property Owner is requesting to install a rip rap retaining wall and 1.5" loose crushed granite rocks, hereinafter called the "Improvements", within the right-of-way of Shadow Wood Court, being adjacent to the Property as shown on the attached plan.

NOW THEREFORE, the Parties hereby agree that the Improvements will be permitted to encroach onto the County's Right-of-Way, subject to the following:

- A. In the event that the County desires to construct a County project within Shadow Wood Court that affects the Improvements, the County may elect to demolish as much of the Improvements as are needed (at the County's expense), or require the Property Owner to remove and later reinstall the Improvements (at the Property Owner's expense), to accommodate the County's project.
- B. The County shall provide the Property Owner written notice of its need to affect the Improvements at least 30 calendar days prior to disturbance of the Improvements. The County will provide the Property Owner information regarding the County's project. If the County decides to require the Property Owner to remove the Improvements, the County will specify a date by which the Improvements shall be removed. It shall be the Property Owner's responsibility to reinstall the Improvements according to the attached plan, unless otherwise approved in writing by the County.
- C. This Agreement creates no property interest for the Property Owner to the County's Right-of-Way except for the specific encroachment as described herein.
- D. Property Owner agrees to indemnify and hold harmless the County, its officials, officers, contractors, agents and employees from any damage occurring to, or caused by, the Improvements or for any harm caused by the Improvements to persons allowed upon the County's Right-of-Way.
- E. The Improvements shall be maintained in accordance with the most current version of the Adams County Codes and Development Standards and Regulations.

F. This Agreement shall be recorded in the County records and shall run with the Property until such time as the Parties mutually release the other in writing from this Agreement.

G. The existence of this Agreement does not render the Improvements a legal, non-conforming use of the Property or the County's Right-of-Way.

PROPERTY OWNER:

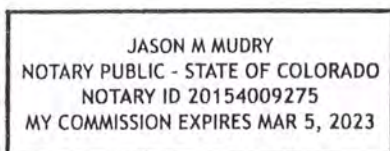
By: Brian Lee Ziegler
Brian Lee Ziegler

STATE OF COLORADO)

COUNTY OF Jefferson)§

The foregoing instrument was acknowledged before me this 3rd day of May 2019, by Brian Ziegler, as property owner.

Witness my hand and official seal:



[Signature]
Notary Public
My commission expires: 03/05/2023

COUNTY:

Board of County Commissioners,
County of Adams, State of Colorado

Attest:

_____, Clerk

By: _____
Chair

By: _____
Deputy Clerk

Approved as to form: _____
County Attorney's Office

IMPROVEMENT LOCATION CERTIFICATE

16726 SHADOW WOOD COURT
LOT 9, BOX ELDER CREEK RANCH, FILING NO. 2
LYING WITHIN SECTION 1, TOWNSHIP 1 SOUTH, RANGE 65 NORTH, 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

LEGAL DESCRIPTION

LOT 9, BOX ELDER CREEK RANCH, FILING NO. 2
LYING WITHIN SECTION 1, TOWNSHIP 1 SOUTH,
RANGE 65 NORTH, 6TH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

CURVE DATA TABLE

CURVE #	RADIUS	LENGTH	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	220.00'	127.93'	33°19'01"	S16°34'27"W	126.13'

SURVEY CERTIFICATION

I HEREBY CERTIFY THAT THIS IMPROVEMENT LOCATION CERTIFICATE WAS PREPARED FOR BRIAN ZIEGLER, AND THAT IT IS NOT A LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT, AND THAT IT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OF FENCE, BUILDING, OR OTHER FUTURE IMPROVEMENT LINES. I FURTHER CERTIFY THAT THE IMPROVEMENTS ON THE ABOVE DESCRIBED PARCEL ON THIS DATE, APRIL 13, 2019, EXCEPT UTILITY CONNECTIONS, ARE ENTIRELY WITHIN THE BOUNDARIES OF THE PARCEL, EXCEPT AS SHOWN, THAT THERE ARE NO ENCROACHMENTS UPON THE DESCRIBED PREMISES BY IMPROVEMENTS ON ANY ADJOINING PREMISES, EXCEPT AS INDICATED, AND THAT THERE IS NO APPARENT EVIDENCE OR SIGN OF ANY EASEMENT CROSSING OR BURDENING ANY PART OF SAID PARCEL, EXCEPT AS NOTED.

NOTICE: This Improvement Location Certificate is prepared for the sole purpose of use by the parties stated hereon. It is not a Land Survey Plat in accordance with C.R.S. 38-11-106 or an Improvement Survey Plat in accordance with C.R.S. 38-11-102(b). It does not establish property corners. The true relationship of improvements to the boundary lines can only be determined by a Land Survey or Improvement Survey. The improvements are generally situated as shown and only apparent improvements and encroachments are noted. R & R Engineers-Surveyors, Inc. will not be liable for more than the cost of this Improvement Location Certificate, and then only to the parties specifically shown hereon. Acceptance and/or use of the Improvement Location Certificate for any purpose constitutes agreement to all terms stated herein.

NOTICE: ACCORDING TO COLORADO LAW ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY MUST COMMENCE WITHIN THREE (3) YEARS AFTER SUCH DEFECT IS FIRST DISCOVERED. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.



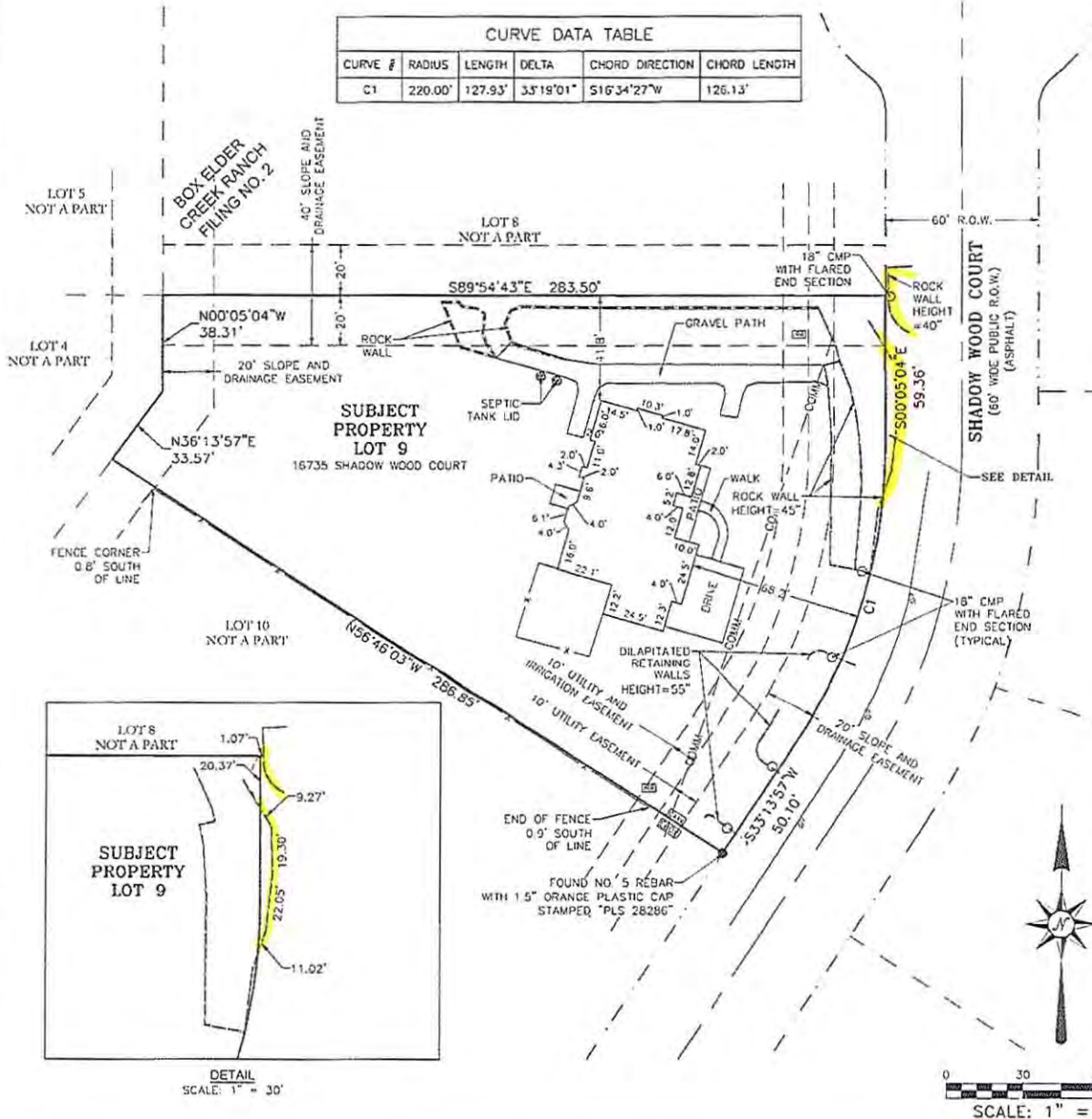
STACY LYNN JACOBS P.L.S.
COLORADO REG. NO. 38495

EASEMENT NOTE

EASEMENTS SHOWN HEREON ARE AS DEDICATED ON THE PLAT OF BOX ELDER CREEK RANCH, FILING NO. 2

LEGEND

	EXISTING BUILDING
	AREA OF CONCRETE
C1	CURVE DATA NUMBER
	SUBJECT PARCEL BOUNDARY LINE
	ADJACENT PROPERTY LINE
	RIGHT-OF-WAY LINE
	PLATTED STREET CENTERLINE
	EASEMENT LINE, AS NOTED
	UNDERGROUND COMMUNICATION LINE
	FENCE LINE
	WALL, AS NOTED
	EDGE OF PAVEMENT
	IRRIGATION CONTROL BOX
	ELECTRIC BOX
	CABLE TELEVISION BOX





PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 18, 2019
SUBJECT: Transfer of FAA Entitlements
FROM: D. E. Ruppel, Director, Air and Space Port
AGENCY/DEPARTMENT: Colorado Air and Space Port
HEARD AT STUDY SESSION ON
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners Approves a resolution

BACKGROUND:

In 2019, Colorado Air and Space Port ("Airport") received FAA Entitlement funds for \$150,000; and, the Airport could not use these funds this year and would like to transfer to Cortez Municipal Airport, City of Cortez Colorado ("CEZ").

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Attorney's Office

ATTACHED DOCUMENTS:

1. BOCC Draft Resolution
2. FAA Transfer Agreement

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING REQUEST FOR FAA APPROVAL OF AGREEMENT FOR
TRANSFER OF 2019 ENTITLEMENTS FROM COLORADO AIR AND SPACE PORT
TO CORTEZ MUNICIPAL AIRPORT, CITY OF CORTEZ COLORADO

WHEREAS, in 2019, the Colorado Air and Space Port (“Airport”) received FAA Entitlement funds in the amount of \$150,000; and,

WHEREAS, the Airport could not use these funds this year and would like to transfer to Cortez Municipal Airport, City of Cortez Colorado (“CEZ”); and,

WHEREAS, by means of the attached Request for FAA Approval of Agreement for Transfer of Entitlements the Airport desires to transfer its 2019 Entitlement funds to CEZ, and CEZ desires to take said Entitlement funds from Airport.

NOW THEREFORE, BE IT RESOLVED, by the Board of County Commissioners of the County of Adams, State of Colorado that the Request for FAA Approval of Agreement for Transfer of Entitlements, a copy of which is attached hereto, is hereby approved.

BE IT FURTHER RESOLVED, that the Chair is authorized to execute said Agreement on behalf of Adams County.



U.S. Department
of Transportation
**Federal Aviation
Administration**

Northwest Mountain Region
Colorado · Idaho · Montana · Oregon · Utah
Washington · Wyoming

Denver Airports District Office
26805 E. 68th Ave., Suite 224
Denver, CO 80249

April 25, 2019

Mr. Steve O'Dorisio, Chair
Adams County Board of Commissioners
4430 S. Adams County Parkway
Suite C5000A
Brighton, Colorado 80601

Dear Mr. O'Dorisio;

Enclosed are four copies of the Airport Improvement Program (AIP) "Agreement For Transfer of Entitlements." This agreement will transfer \$150,000 of fiscal years 2019 AIP funds from Front Range Airport to Cortez Municipal Airport. Please complete this agreement by having the authorized officials execute the appropriate sections. **Certification by the attorney should be completed following the acceptance and dated on or after the acceptance date.**

Your normal procedures for accepting documents such as this in accordance with local and state law should be followed, but evidence of such procedure is not required by the Federal Aviation Administration.

After execution and certification of the "Agreement For Transfer of Entitlements," please return two (2) copies to this office. The other copies are for your records.

Sincerely,

John P. Bauer, Manager
Denver Airports District Office

Enclosures



Request for FAA Approval of Agreement for Transfer of Entitlements

In accordance with 49 USC § 47117(c)(2),

Name of Transferring Sponsor: County of Adams, Colorado and Front Range Airport Authority
hereby waives receipt of the following amount of funds apportioned to it under 49 USC § 47117(c) for the:

Name of Transferring Airport (and LOCID): Front Range Airport (FTG)

for each fiscal year listed below:

Entitlement Type (Passenger, Cargo or Nonprimary)	Fiscal Year	Amount
NP	2019	\$150,000
Total		\$150,000

The Federal Aviation Administration has determined that the waived amount will be made available to:

Name of Airport (and LOCID) Receiving Transferred Entitlements: Cortez Municipal Airport (CEZ)

Name of Receiving Airport's Sponsor: City of Cortez, Colorado

a public use airport in the same state or geographical areas as the transferring airport for eligible projects under 49 USC § 47104(a).

The waiver expires on the earlier of September 30, 2019 or when the availability of apportioned funds lapses under 49 USC § 47117(b).

For the United States of America, Federal Aviation Administration:

Signature: 

Name: John P. Bauer

Title: Manager, Denver Airports District Office

Date: April 25, 2019

Certification of Transferring Sponsor

I declare under penalty of perjury that the foregoing is true and correct. I understand that knowingly and willfully providing false information to the federal government is a violation of 18 USC § 1001 (False Statements) and could subject me to fines, imprisonment, or both.

Executed on this _____ day of _____, 2019

Name of Sponsor: County of Adams, Colorado

Name of Sponsor's Authorized Official: _____

Title of Sponsor's Authorized Official: _____

Signature of Sponsor's Authorized Official: _____

Certificate of Transferring Sponsor's Attorney

I, _____, acting as Attorney for the Sponsor do hereby certify that in my opinion the Sponsor is empowered to enter into the foregoing Agreement under the laws of the state of Colorado. Further, I have examined the foregoing Agreement and the actions taken by said Sponsor and Sponsor's official representative has been duly authorized and that the execution thereof is in all respects due and proper and in accordance with the laws of the said state and 49 USC § 47101, et seq.

Dated at _____ (City, State),

this _____ day of _____, 2019

Signature of Sponsor's Attorney: _____



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: 06/18/19
SUBJECT: Solar Farm Lease
FROM: Jeri Coin, on behalf of Dave Ruppel
AGENCY/DEPARTMENT: Colorado Air and Space Port
HEARD AT STUDY SESSION ON:
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners Approves the resolution.

BACKGROUND:

Pivot Energy LLC ("Tenant") has requested to lease land from Adams County, Colorado Air and Space Port ("Landlord") a 22-acre parcel of land. The Leased Premises shall be used for the construction and operation of a solar farm and related facilities under the terms and conditions of this Lease, which shall not be construed as creating or vesting in the Tenant or any subtenant or assignee a fee interest in the Premises.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Attorney

ATTACHED DOCUMENTS:

1. Resolution
2. Solar Lease

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING SOLAR LEASE AGREEMENT BETWEEN ADAMS COUNTY
AND PIVOT ENERGY, LLC

WHEREAS, Adams County is a body corporate and politic that owns and operates an airport known as Colorado Air and Space Port (“Landlord”); and,

WHEREAS, the Landlord has a vacant 22-acre parcel located on the airport; and,

WHEREAS, TCA Microgrid Energy, LLC, DBA Pivot Energy, LLC (“Tenant”) would like to construct and operate a solar farm on this parcel; and,

WHEREAS, the Landlord would like to lease the parcel to the Tenant under the terms and conditions of the attached Solar Lease Agreement.

NOW THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado that the attached Solar Lease Agreement between Adams County and Pivot Energy, LLC, is hereby approved.

BE IT FURTHER RESOLVED, that the Chair is authorized to execute said Agreement on behalf of Adams County.

SOLAR LEASE

This Solar Lease agreement (the "Lease") is made effective this ____ day of _____, 20__ ("Effective Date") by and between Adams County, on behalf of the Colorado Air and Space Port, located at 5200 Front Range Parkway, Watkins, Colorado 80137, ("Landlord") and TCA Microgrid Energy LLC, a Florida limited liability company, dba Pivot Energy LLC having an office at 1536 Wynkoop St, # 400, Denver, CO 80202 ("Tenant"). Tenant and Landlord are each individually referred to herein as a "Party" and collectively as the "Parties."

For and in consideration of the mutual covenants hereinafter contained, the Parties agree as follows:

1. Lease and Description. Upon the terms and conditions hereinafter set forth, the Landlord hereby leases to the Tenant, and the Tenant hereby leases from the Landlord, those certain premises situated at the Colorado Air and Space Port, Adams County, Colorado, up to a 22 acre parcel of property commonly known as a portion of the Colorado Air and Space Port property at 5200 Front Range Parkway, located in Adams County, Watkins, Colorado, together with ingress, egress, and utility easements on the airport providing access to and from a public road and the point of utility interconnection, if on airport property, as described in Sections 5 and 6 below (the "Leased Premises"). A legal description of the Leased Premises is attached hereto and incorporated herein as Exhibit A. Landlord grants to Tenant the right to survey the Leased Premises at Tenant's cost, and the legal description of the Leased Premises, including any access or utility easements, provided in the survey shall then become Exhibit B, which shall be attached hereto and made a part hereof. In the event of any discrepancy between the description of the property contained herein and the survey, the survey shall control.

2. Business Purpose. The Leased Premises shall be used for the construction and operation of a Solar Farm and related facilities under the terms and conditions of this Lease which shall not be construed as creating or vesting in the Tenant or any subtenant or assignee a fee interest in the Premises.

The construction of a solar farm up to five (5) Megawatts DC in size (the "Solar Farm") and facilities constructed on the Leased Premises and the leasehold interest created hereby are to be used for non-aeronautical-related purposes, including but not limited to the activities listed in Section 6. The tenancy created hereby is subject to the terms of this Lease, the Minimum Standards of Colorado Air and Space Port, all applicable federal, state and local laws and ordinances. The Minimum Standards shall be provided by the Landlord to the Tenant in writing upon the approval of this Lease and thereafter from time to time as they are amended.

3. Term. The initial term of this Lease shall commence on the Effective Date of this lease and shall run for twenty (20) years from the Commencement Date (the "Initial Term"). So long as the Tenant is in full compliance with the terms of the Lease

and the Minimum Standards of Colorado Air and Space Port, the Tenant may extend the term of this Lease for an additional ten (10) year period (the "Extension Term"). In order to exercise this extension option, Tenant shall deliver to Landlord, not less than ninety (90) days prior to the expiration of the Initial Term, written notice of Tenant's intent to extend this for such additional ten (10) year period.

4. Rent. The rent shall be \$1,333.33 per acre, per year, together with Annual Escalation outlined below. Said Rent shall be due within thirty days of the earlier of the date the Solar Farm is interconnected with the utility and producing commercial energy (hereafter known as the "Commencement Date") or one (1) year from the Effective Date of this lease (the "Rent Payment Date"). Rent for subsequent years shall be due upon the anniversary of the Rent Payment Date of this Lease.

Rent payment shall be made at 5200 Front Range Parkway, Watkins, Colorado 80137, or at such other address as the Landlord notifies the Tenant in writing during the original or any extended term of the Lease. The Tenant shall also pay for any calendar year or fraction thereof for which rent is due but not paid within ten (10) calendar days of the due date a late charge equal to five percent (5%) of the rent due and any accrued late charges.

Annual Escalation. Commencing on the first January 1 after the first commercial sale of electricity to the utility, and on every January 1 thereafter, the rent shall increase by 3% annually.

5. Assignment of Lease. Tenant shall not assign or transfer this Agreement, or any interest herein, without the prior written consent of Landlord which shall not be unreasonably withheld, delayed or conditioned, and consent to an assignment shall not be deemed to be a consent to any subsequent assignment. Notwithstanding the foregoing, Tenant is expressly permitted to assign its rights and responsibilities under this Agreement, without obtaining Landlord's consent and in its sole discretion, to any entity owned or controlled by Tenant or under common ownership or control with Tenant provided: (1) the Tenant provides the Landlord and maintains a current list of the names, addresses and telephone numbers of these entities; and (2) the entities agree in writing to abide by all the terms and conditions of this Lease.

6. Improvements of Leased Premises. All improvements constructed on the Premises are subject to the following terms and conditions:

a. Landlord has reviewed and approved Tenant's Solar Farm Facility Plans for construction (the "Plans") prior to execution of this Lease and agrees that such Plans meet the Minimum Standards of Colorado Air and Space Port. All improvements shall be built in substantial conformance with those Plans, including layout plans and elevations of the finished solar farm. Any subsequent material change to the Plans, and any construction after the initial installation of Tenant's Solar Farm facilities (excluding Tenant's routine/periodic maintenance and replacement of said initially approved

facilities) shall be submitted to Landlord for approval, such approval not to be unreasonably delayed or withheld. Landlord shall have twenty (20) days to issue its approval or disapproval of said subsequent change. If no approval or denial is received by Tenant within such twenty (20) day period, Landlord's approval shall be deemed to have been given.

b. Components. Tenant shall construct a solar farm up to (5) Megawatts DC in size (the "Solar Farm") at its sole expense. The Solar Farm shall consist of racking and foundations; inverters and transformers; necessary electrical interconnections and all improvements and connections required to transfer and deliver generation offsite, including three (3) phase extensions and power box(es); a 200 to 400 square-foot structure to house electrical and maintenance equipment ("PV Box"); security fencing and gating, with cameras, enclosing the Leased Premises; safety signage and solar photo voltaic ("PV") panels (collectively the "Site Improvements and Infrastructure"). Except as set forth herein, Landlord has no obligation to make improvements on the Leased Premises or Landlord's real property to accommodate the Solar Farm.

c. Use of Non-Leased Area. Tenant shall use reasonable efforts to use only the Leased Premises for ingress and egress, storage, construction and all improvement activities, and shall not use the property of the Landlord other than the Leased Premises for the improvement activities except as otherwise agreed. Should Tenant require additional area for lay down or storage during the construction of the improvements then Landlord shall allow use of one acre for a lay down or storage area directly adjacent to the Leased Premises at no additional cost to Tenant. Said lay down / storage area shall be depicted on the Plans and be approved at time of Lease execution. Provided however, that Tenant shall not have the right to place any improvements on such one acre area, and shall only have use of the additional one acre one time for period not to exceed six months. Tenant shall ensure that it repairs the surface of the one acre area to the extent that its laydown and storage activities causes damage thereto.

d. New Construction. For any new construction on the Leased Premises, such construction shall be designed and built in accordance with applicable law in effect at the time of construction, including without limitation, the applicable building and fire codes of such agencies and the Minimum Standards.

e. Signage. Tenant shall have the right to place one or more signs advertising the Solar Farm provided that, prior to putting up any such signage, Tenant has obtained any required sign permits from the local governing authority and such signs comply with the Minimum Standards. In the event that there is a conflict between the Minimum Standards and applicable law or permits, the requirements of applicable law or permits shall control.

f. Fencing. Tenant shall maintain a security fence around the Solar Farm including along Imboden Road for the duration of the Term and any extensions thereto.

g. Unless construction of the improvements is commenced within twelve (12) months after execution of Lease, this Lease shall become null and void, unless the Parties agree in writing to a longer period in which to commence construction. If the Lease becomes null and void pursuant to this section, the Tenant shall be entitled to return of prorated advance rents and other fees paid to the Landlord. Construction shall be completed by twenty-four (24) months after the execution of the Lease. Timely completion of construction is a material term of this Lease. All permits and approvals required for construction of the said improvements and/or use of the Leased Premises shall be obtained by the Tenant in a timely fashion at Tenant's sole expense.

7. Ingress, Egress, Utility and Solar Easement. As part of the Leased Premises, Landlord hereby grants to Tenant an easement for ingress and egress to the Leased Premises in a mutually agreeable location, for access to and from Leased Premises from a public road, and over property of Landlord within and adjacent to the Leased Premises for construction and maintenance of the Site Improvements and Infrastructure on the Leased Premises, for the installation, construction, use and maintenance of underground and aboveground telephone, telegraph, and power lines and electric utilities in connection with Tenant's use of the Leased Premises, and upon and above the property of Landlord for the unrestricted right to receive and utilize solar energy at the Solar Farm (the "Easement"). The term of this Easement shall commence upon the Commencement Date of this Lease and shall continue until the last to occur of (i) expiration of the Lease Term, or (ii) removal by Tenant of all of its property from the Leased Premises after expiration of the Lease Term, including removal of Tenant's property and infrastructure from the Easement. Additional details concerning the location and configuration of the Easement may be specified by the parties not later than ten (10) business days after execution of this Agreement and shall be included in any recorded Memorandum of this Lease. In addition, at Tenant's request and expense, this Easement shall be set forth in a separate Easement Agreement, which Landlord and Tenant agree to execute and which Tenant shall have recorded as an encumbrance on the property of Landlord and binding upon all subsequent owners, successors, and assigns. Upon expiration of the Easement, Tenant shall repair any damage to the Easement area caused by Tenant or Tenant's agents. Upon expiration of the Easement, Tenant shall, at Landlord's request, execute a termination of Easement for recording purposes.

8. Utilities. Tenant is responsible, at its sole cost, for bringing utilities from the present point of termination to the perimeter of the Premises. Notwithstanding the foregoing, Landlord agrees to execute a mutually acceptable easement agreement between Landlord and the local utility to bring utilities to the point of interconnection with the Solar Farm. The Tenant must provide all improvements within the perimeter of the Leased Premises that Tenant determines it requires in its sole discretion, including, but not limited to, any necessary paving, landscaping, buildings, parking, lighting, telephone and other facilities or utilities. All utilities shall be underground within the Leased Premises. Tenant hereby covenants and agrees to pay all monthly or other regular charges for lighting, and for all other public utilities which shall be used in or charged

against the Leased Premises by Tenant during the full terms of this Lease. Landlord agrees to cooperate in the acquisition of temporary hook ups.

9. Taxes. Landlord is a tax exempt entity. Tenant shall pay all personal property taxes associated with its facilities and leasehold interest and, as additional Rent, any increase in real property taxes levied against the Leased Premises that is directly attributable to Tenant's improvements to the Leased Premises.

10. Repair, Maintenance and Security.

a. At its sole expense, the Tenant shall keep the Leased Premises and all improvements thereon in good repair and in a safe and sanitary condition. The Leased Premises shall at all times be maintained in accordance with any applicable Building Code, Zoning Regulation, or Ordinance of Adams County.

b. During construction, Tenant shall, at its expense, be responsible for the immediate clean up of any dirt and/or mud that Tenant tracks or blows upon the adjacent pavement areas.

c. Maintenance. The Solar Farm shall be maintained by Tenant at its own expense. Tenant shall maintain, protect and preserve the Solar Farm in a safe, neat and attractive condition and in good and serviceable repair. Tenant shall be responsible for ongoing vegetation and weed management on the Leased Premises.

d. Snow Removal. Landlord does not provide snow removal service on the access road serving the Leased Premises. Snow removal on the Leased Premises, if needed, shall be the responsibility of Tenant as necessitated by Tenant's operation of the Solar Farm. Any snow removal activities will minimize any damage to the existing ground surface of the site. Tenant will promptly repair any damage to the Leased Premises caused by its snow removal activities. Tenant will only use the existing or new access roads via the access easement for vehicle access to the site.

e. Security. Security for the Solar Farm shall be the responsibility of Tenant. Nothing in this Agreement shall be construed to impose security obligations upon Landlord. Landlord shall not be liable for any loss or damages suffered by Tenant or third party solar panel owners due to Tenant's and such third parties' use and occupancy of and activities on the Leased Premises.

11. Use. The Tenant shall conduct on the Leased Premises only the business for which it is leased and shall not use the Leased Premises for any illegal purpose. The Tenant's uses under this Lease include the construction and operation of the Solar Farm, and activities related thereto. Nothing in this Agreement shall be deemed to give Tenant the right to engage in any activities which are not related to the foregoing use, except as otherwise allowed under the provisions of this Lease.

12. Title and Quiet Possession. Landlord represents and covenants that Landlord owns the Leased Premises and property subject to the Easement in fee simple, free and clear of all liens, encumbrances, and restrictions of every kind and nature, except for those that currently appear in the recorded chain of title and are reported as exceptions on the commitment for title insurance that Tenant may obtain.

Landlord represents and warrants to Tenant that Landlord has the full right to make this Lease and that Tenant shall have quiet enjoyment and peaceful possession of the Leased Premises and the Easement throughout the Lease Term.

13. Title to Site Improvements and Infrastructure.

(a) Site Improvements and Infrastructure. Title to the Site Improvements and Infrastructure remains with Tenant at all times during the Term. Upon expiration of this Agreement, title to the Site Improvements and Infrastructure shall be designated in accordance with Section 24, below.

(b) Repair of Landlord's Property. In the event that Tenant causes any damage to Landlord's real property, including without limitation any above-ground or underground utilities, in the course of any activity undertaken by Tenant under this Agreement, Tenant shall facilitate the repair of such damage to return such property of Landlord to substantially the same condition as it existed prior to such damage, at Tenant's sole expense.

14. Subordination, Attornment, and Nondisturbance. Tenant agrees that, if requested by Landlord, this Lease shall be subject and subordinate to any mortgages or deeds of trust now or hereafter placed upon the Leased Premises and to all modifications thereto, and to all present and future advances made with respect to any such mortgage or deed of trust, provided that Landlord first delivers to Tenant a Non-Disturbance Agreement (defined below) from the holder of such lien or mortgage. In any case Tenant's possession of the Leased Premises and use of the Easements shall not be disturbed so long as Tenant shall continue to perform its duties and obligations under this Lease. Except as otherwise set forth herein, Landlord agrees that any right, title or interest created by Landlord from and after the date hereof in favor of or granted to any third party shall be subject to (i) this Agreement and all of Tenant's rights, title and interests created in this Agreement, and (ii) any and all documents executed by and between Tenant and Landlord in connection with this Agreement. "Non-disturbance Agreement" shall mean an agreement in form reasonably acceptable to Tenant, between Tenant, Landlord and the holder of a lien or a mortgage that provides that the holder of such lien or a mortgage (i) agrees not to disturb Tenant's possession or rights under this Agreement, (ii) agrees to provide notice of defaults under the lien or a mortgage documents to Tenant and agrees to allow Tenant and its lenders a reasonable period of time following such notice to cure such defaults on behalf of Landlord, and (iii) agrees to comply with such other requirements as may be reasonably required by Tenant or its lenders to ensure the interests of Tenant or its lenders are not interfered with. Tenant agrees to attorn to the mortgagee, trustee, or beneficiary under any such mortgage or deed of trust, and to the purchaser in a sale pursuant to the foreclosure thereof; provided that such mortgagees, trustees, beneficiaries and purchasers agree in writing

that Tenant's possession of the Leased Premises and use of the Easements shall not be disturbed so long as Tenant shall continue to perform its duties and obligations under this Lease. Tenant's obligation to perform such duties and obligations shall not be in any way increased or its rights diminished by the provisions of this paragraph. Within ten (10) business days of execution of this Agreement or within ten (10) business days of the date of creation of any future mortgages or deeds of trust, Landlord shall request Landlord's secured lenders to provide a Subordination and Non-Disturbance Agreement provide an Attornment and Nondisturbance Agreement from Landlord's secured lenders, if any, in form reasonably acceptable to Tenant, and executed and acknowledged by Landlord and the holder of any mortgage or deed of trust to which this Lease is, or shall become, subordinate.

15. Mortgage of Leasehold Interests.

a. Lender Collateral. Tenant shall have the right to pledge, mortgage and/or collaterally assign its leasehold interest and the Solar Farm as security to lender(s) (hereinafter "Lenders") for financing purposes without the further consent of Landlord. Landlord agrees to execute and deliver to Tenant within thirty (30) days of any Tenant request therefor made from time to time, a Landlord Acknowledgement of Collateral Assignment of Lease in the form similar to that of Exhibit D hereto. Landlord also agrees to promptly execute an estoppel certificate and any such other documentation as may reasonably be required by such lender(s) from time to time to certify as to the status of this Lease and to the performance of Tenant hereunder as of the date of such certification.

b. Notices to Lenders. As a precondition to exercising any rights or remedies related to any default by Tenant under this agreement, Landlord shall give written notice of the default to each Lender that is of record with Landlord, at the same time it delivers notice of default to Tenant, specifying the alleged event of default and the required remedy. Each Lender shall have the same amount of time to cure the default under this Lease as is given to Tenant hereunder, and the same right as Tenant to cure any default or to remove any property of Tenant or Lender located on the Leased Premises. The cure period for all Lenders shall begin to run at the end of the cure period given to Tenant in this agreement, but in no case shall the cure period for any Lender be less than thirty (30) days after Lender's receipt of default notice. In the event that a Lease default requires immediate action by Landlord to preserve the health, safety, or welfare of the Airport, its tenants, users, neighbors, or members of the public, Landlord may take such immediate action as it deems necessary to remedy such default. Failure of Landlord to give a Lender notice shall not diminish Landlord's rights against Tenant, but shall preserve all rights of such Lender to cure any default and to remove any property of Tenant or the Mortgagee located on the Leased Premises.

c. Right to Cure Defaults; Substitution. To prevent termination of this Lease, the Lender shall have the right, but not the obligation, at any time to perform any act necessary to cure any default and to prevent the termination of this Lease or any interest in the Solar Farm. In the event of an uncured default by the holder of Tenant's entire interest in this Lease, or in the event of a termination of this agreement by operation of law or otherwise, each Lender that is not in default of its obligations

may cure such default and, after curing such default, thereafter shall have the right to have Landlord either recognize the Lender's interest or grant a new lease substantially identical to this Lease. Under any such new lease, the Lender shall be entitled to, and Landlord shall not disturb the Lender's continued use and enjoyment thereunder for the remainder of the Term provided the Lender complies with the terms and conditions of the Lease.

16. Rent After Default. If any or all of the Leased Premises is sublet, sold or otherwise occupied by anyone other than the Tenant, after any default in the payment of rent by the Tenant, the Landlord may collect rent or other periodic payments from subtenants, purchasers or other occupants, but such collection and/or the Landlord's agreement to a third person's use or occupancy of the Premises shall not be deemed a waiver of any term or condition of this Lease.

17. Access. The Tenant shall allow the Landlord and/or its agents access to the Premises during business hours upon 24 hours' notice for the purpose of inspection. In case of emergency the Landlord may have access at any time. Landlord understands the risks associated with accessing the Leases Premises once the Solar Farm is operational and agrees to ensure that Landlord's activities are conducted in a safe manner. Nothing herein shall be construed to limit the authority of Adams County building inspectors under existing law.

18. Governmental Approvals and Compliance. Tenant shall obtain any necessary governmental licenses or authorizations required for the construction and use of the Site Improvements and Infrastructure on the Leased Premises and shall comply with government laws and regulations applicable thereto. Notwithstanding the foregoing, Tenant shall not be responsible for any matters arising in connection to Environmental Laws relating to the Leased Premises, except to the extent the need for compliance therefor arises directly out of the release by Tenant of any Hazardous Substances on or about the Leased Premises.

20. Insurance. At all times during the Term of this Lease, Tenant shall maintain in full force a comprehensive public liability insurance policy covering Tenant's operations, activities, and liabilities on the Leased Premises, having singly or in combination limits not less than One Million Dollars (\$1,000,000) in the aggregate; please see attached "Exhibit C", Insurance Requirements. Such policy shall name Landlord as an additional insured under such policy as the Landlord's interests may appear. Upon Landlord's request, Tenant shall give Landlord a certificate of insurance evidencing that the insurance required under the Agreement is in force.

21. Maintenance by Landlord. Landlord shall maintain its property adjacent to the Leased Premises in good condition and state of repair to avoid

interference with Tenant's use of the Leased Premises and the Easement. Landlord shall not construct structures or plant trees adjacent to the Leased Premises that will impede solar access to Solar Farm.

22. Tenant's Right of Cancellation. In addition to any other remedies available to the Tenant, this Lease shall be subject to cancellation by the Tenant if any one or more of the following events occur:

a. Abandonment: If the Airport is permanently abandoned as an operating airport by the Landlord, the Tenant shall be entitled to cancel this Lease, remove all improvements it constructed on the Premises and have returned to it a pro rata share of prepaid rent for the year of termination.

b. Supervening Event: If any act of God prevents the Tenant from using the Premises for the purpose provided in paragraph 2 above, for six consecutive months, it may cancel this Lease. However, neither party shall have any liability to the other for the results of any such act.

c. Landlord's Breach of Lease: Tenant may cancel this Lease if the Landlord breaches any of its material obligations under this Lease and fails to remedy such breach within thirty (30) calendar days after the Tenant's delivery of written notice of the breach to the Landlord.

d. At any time prior to the first date on which the Solar Farm (i) is ready for regular, daily operation, has been interconnected with the local utility's grid, has been accepted into the applicable energy grid and is producing electricity at full or substantially full capacity in accordance with applicable law ("Commercial Operation Date"), any of the following occur:

i. Any governmental agency denies a request by Tenant for or revokes a permit, license, or approval that is required for Tenant to construct or operate the Site Improvements and Infrastructure on the Leased Premises;

ii. Tenant determines that any condition exists on or about the Property, which precludes Tenant from using the Leased Premises for its intended purpose;

iii. Utilities necessary for Tenant's use of the Leased Premises are not available to the Leased Premises; or

iv. The Solar Farm is damaged or destroyed to an extent that prohibits or materially interferes with Tenant's use of the Leased Premises provided however, that Tenant shall use commercially reasonable efforts to mitigate such damage.

v. Tenant has not obtained (i) a fully-executed Interconnection Agreement with Xcel or (ii) required financing within one year of the Effective Date of this lease.

23. Landlord's Right of Termination. Landlord may terminate this Lease in the event Tenant fails to pay rent within thirty (30) days of Landlord's written notice to Tenant that such payment has not been made by the due date. In such case, Landlord shall follow the procedures set forth in the Forcible Entry and Detainer statute, and Landlord shall be entitled to its attorney fees and costs.

24. Removal of Improvements. Upon termination of this Lease, at its sole cost, the Tenant shall remove any improvements (except pavement) it has made to the Leased Premises and Easement area, and it shall repair any damage to the Leased Premises and Easement area to the extent caused by Tenant's use of the Leased Premises or Easement area.

25. Notices. All notices, demands, requests, consents, approvals, and other instruments required or permitted to be given pursuant to this Agreement shall be in writing, signed by the notifying party, or officer, agent, or attorney of the notifying party, and shall be deemed to have been effective upon delivery if served personally, including but not limited to delivery by messenger, overnight courier service or overnight express mail, or upon posting if sent by registered or certified mail, postage prepaid, return receipt requested, and addressed as follows:

To Landlord: Airport Director
Adams County, Colorado Air and Space Port
5200 Front Range Parkway
Watkins, CO 80137-7131

To Tenant: TCA Microgrid Energy, LLC
dba Pivot Energy LLC
1536 Wynkoop St, #400
Denver, CO 80202

With a copy: By email to: mbencivenni@pivotenergy.net

The address to which any notice, demand, or other writing may be delivered to any party as above provided may be changed by written notice given by such party as above provided.

26. Nonwaiver of Breach. The failure of either party to insist on strict compliance with any term or condition of this Lease shall not be deemed a waiver or relinquishment of the right to require strict compliance with such term or condition, or any other term or condition of this Lease in the future.

27. Holding Over. If the Tenant holds over after the end of the original term of this Lease or any extended term hereof, the Tenant shall pay the Landlord rent in an

amount equal to 150% of the Lease rate then in effect. Such holding over shall not constitute renewal of this Lease but shall be a month-to-month tenancy only, with all other terms and conditions of this Lease applicable.

28. Landlord's Warranties. The Landlord warrants that it is the owner of the Premises free and clear of all liens and encumbrances, that it has the authority to enter into this Lease and to the best of Landlord's actual knowledge the Premises is free from contamination by hazardous substances.

29. Jurisdiction and Venue. The parties acknowledge that this Lease is entered into in the State of Colorado, and they agree that the courts of Adams County, Colorado, shall have jurisdiction and be the sole venue to resolve all disputes between the parties arising from this Lease or concerning the Premises.

30. Site Plan. Future development shall conform to and be in compliance with the requirements set forth in Chapter VI, Article B, Step 2 (Concept Plan), and Step 3 (Development Plan Drawings) of the Development Policy and Application Procedure for Aeronautical and Non-aeronautical Land Use at Colorado Air and Space Port, as adopted October 20 1999, attached hereto as Exhibit "C."

31. Liabilities to Third Parties; Risk of Loss. Tenant shall indemnify and hold Landlord harmless from any liability (including reimbursement of Landlord's reasonable legal fees and all costs) for death or bodily injury to third parties, or physical damage to the property of third parties, to the extent caused by the fault of Tenant or any of Tenant's agents, servants, employees, or licensees and, as between Landlord and Tenant, Landlord shall be solely responsible for any liability (including reimbursement of Tenant's reasonable legal fees and all costs) for death or bodily injury to third parties, or physical damage to the property of third parties, to the extent caused by the fault of Landlord or any of Landlord's agents, servants, employees, or licensees. Notwithstanding any provisions herein to the contrary, it is understood and agreed that all property kept, installed, stored, or maintained in or upon the Leased Premises by Tenant shall be so installed, kept, stored, or maintained at the risk of Tenant. Landlord shall not be responsible for any loss or damage to equipment owned by Tenant that might result from tornadoes, lightning, windstorms, or other Acts of God. The covenants of this paragraph shall survive and be enforceable and shall continue in full force and effect for the benefit of the Parties and their respective subsequent transferees, successors, and assigns, and shall survive the termination of this Lease, whether by expiration or otherwise.

32. Tenant's Performance and Surrender. Tenant shall pay the rent and all other sums required to be paid by Tenant hereunder in the amounts, at the times, and in the manner herein provided, and shall keep and perform all terms and conditions hereof on its part to be kept and performed, and at the expiration or sooner termination of this Lease, surrender to Landlord the Leased Premises subject to the other provisions of this Lease.

33. Default and Termination for Default. Landlord or Tenant shall be in default of this Lease if either party breaches any material provision hereof and said breach is not cured by the breaching party within sixty (60) days of receipt of notice of said breach from the other party hereto, or if such cure cannot reasonably be had within said sixty (60) day period, then if cure of such breach is not commenced within thirty (30) days of receipt of such notice and not thereafter completed using diligent efforts. Upon the breaching party's failure to cure its breach within such time, as applicable, the other party hereto shall have the right to terminate this Lease for default, and to pursue such remedies as may be available in law.

34. Rights to Site Improvements and Infrastructure Upon Termination.

(a) Mutual Determination to Extend. Any time prior to the expiration of the Term or Extension Term (as such Term may be extended under Section 3), Tenant may notify Landlord of Tenant's desire to continue leasing the Leased Premises after the expiration of the Term or Extension Term. In the event of such notice, Landlord and Tenant shall negotiate in good faith for the continuation of this Lease under mutually agreeable terms. In the event that Landlord and Tenant execute a new or extended lease of the Leased Premises at least thirty (30) days prior to such expiration of the Term or Extension Term, then the terms and conditions of such new or extended lease shall apply.

(b) Removal of Solar Garden. Except as otherwise provided in Section 22(a) above, upon the expiration of the Term set forth in Section 3 (as such Term may be extended as therein provided), Tenant shall be obligated to remove the Solar Farm and all of Tenant's personal property from the Leased Premises and Easement area, including any solar panels that may be owned by third parties. Such removal shall be completed within six (6) months following the expiration of the full term of this Agreement, during which time Tenant shall be subject to all terms and conditions in this Lease with respect to access and said removal as if still a tenant.

(c) Noncompliance with Section 34(b). If Tenant either (i) abandons the Leased Premises or (ii) fails to remove the Solar Farm from the Leased Premises when required by Section 34(b) within the time period described therein, then Tenant shall be in default, and Landlord, after notice of default and expiration of the applicable cure periods set forth in Section 40 hereof, may remove the Solar Farm at Tenant's cost. This Subsection 34(c) shall not apply in the event that the Landlord and Tenant enter into a new lease or lease extension as referenced in Section 34(a) above.

35. Binding on Successors. The covenants and conditions contained herein shall apply to and bind the heirs, successors, executors, administrators, and assigns of the parties hereto.

36. Entire Agreement. All of the representations and obligations of the parties are contained herein, and no modification, waiver, or amendment of this Agreement or of any of its conditions or provisions shall be binding upon a party

unless in writing signed by that party or a duly authorized agent of that party empowered by a written authority signed by that party. The waiver by any party of a breach of any provision of this Agreement shall not operate or be construed as a waiver of any subsequent breach of that provision by the same party, or of any other provision or condition of the Agreement.

37. Survey and Testing. Tenant shall have the right during the Initial Term and any extension to inspect, survey, soil test, and make any other investigations necessary or useful to determine if the Leased Premises are suitable for construction and operation of the Solar Farm. If Tenant, within the above-stated time, determines that for any reason the Leased Premises is not suitable, this Agreement, upon written notice given to Landlord, shall become null and void; provided that at Tenant's sole expense the Leased Premises shall be promptly restored to its condition prior to such testing and investigations.

38. Oil, Gas and Mineral Rights. Landlord does not grant, lease, let, or demise hereby, but expressly excepts and reserves herefrom all rights to oil, gas, and other minerals in, on, or under and that might be produced or mined from the Leased Premises; provided however, that no drilling or other activity will be undertaken on the surface of the Leased Premises to recover any oil, gas, or minerals during the Term hereof. This Lease is given and accepted subject to the terms and provisions of any recorded oil, gas, and mineral lease covering the Leased Premises or any part thereof now of record in the office of the County Clerk and Recorder; provided that Tenant is able to obtain a Non-disturbance Agreement in form reasonable to Tenant, executed and acknowledged by Landlord and the holder of any such oil, gas, or other mineral lease within thirty (30) days of execution of this Lease. In the event that Tenant does not obtain such a Non-disturbance Agreement, Tenant may, but is not required to, terminate this Lease upon thirty (30) days written notice to Landlord. Landlord agrees to use commercially reasonable efforts to incorporate into any future oil, gas or other mineral lease or other conveyance covering the above-described lands or any part thereof during the Term of this Lease the following provisions: (a) any such lease or conveyance shall be in all respects subordinate and inferior to the rights, privileges, powers, options, immunities, and interests granted to Tenant under the terms of this Lease; and (b) within ten (10) days of creation of such lease or conveyance, the oil, gas, and mineral lessee shall provide to Tenant a Nondisturbance Agreement in form reasonably acceptable to Tenant, and executed and acknowledged by Landlord and the holder of any such interest.

39. Hazardous Waste.

(a) The term Hazardous Materials shall mean any substance, material, waste, gas, or particulate matter that is regulated by any local governmental authority, the state in which the Leased Premises is located, or the United States Government, including, but not limited to, any material or substance which is (i) defined as a "hazardous waste," "hazardous material," "hazardous substance," "extremely hazardous waste," or "restricted hazardous waste" under any provision of state or local law, (ii) petroleum, (iii) asbestos, (iv) polychlorinated biphenyl, (v) radioactive material, (vi) designated as a "hazardous substance" pursuant to Section 311 of the Clean Water Act, 33 U.S.C. Sections 1251 et seq. (33 U.S.C. Section

1317), (vii) defined as a "hazardous waste" pursuant to Section 1004 of the Resource Conservation and Recovery Act, 42 U.S.C. Sections 6901 et seq. (42 U.S.C. Section 6903), or (viii) defined as a "hazardous substance" pursuant to Section 101 of the Comprehensive Environmental Response, Compensation, and Liability Act, 42 U.S.C. Sections 9601 et seq. (42 U.S.C. Section 9601). The term Environmental Laws shall mean all statutes specifically described in the foregoing sentence and all applicable federal, state, and local environmental health and safety statutes, ordinances, codes, rules, regulations, orders, and decrees regulating, relating to, or imposing liability or standards concerning or in connection with Hazardous Materials.

(b) Landlord represents and warrants that, to the best of Landlord's actual knowledge, (i) the Leased Premises have not been used for the use, manufacturing, storage, discharge, release, or disposal of Hazardous Materials, (ii) neither the Leased Premises nor any part thereof is in breach of any Environmental Laws, (iii) there are no underground storage tanks located on or under the Leased Premises, and (iv) the Leased Premises are free of any Hazardous Materials that would trigger response or remedial action under any Environmental Laws or any existing common law theory based on nuisance or strict liability. If any such representation is in any manner inaccurate or any such warranty is in any manner breached during the term of this Agreement (collectively, a "Breach"), and if there is any condition which is contrary to the foregoing representations and warranties that gives rise to or results in liability (including, but not limited to, a response action, remedial action, or removal action) under any Environmental Laws or any existing common law theory based on nuisance or strict liability, or causes a significant effect on public health, Landlord shall promptly take any and all remedial and removal action as required by law to clean up the Leased Premises and mitigate exposure to liability arising from such condition, and to keep the Leased Premises free of any lien imposed pursuant to, any Environmental Laws as a result of such condition.

(c) Landlord and Tenant agree as follows:

1. Tenant agrees to indemnify, defend, and hold harmless Landlord, its officers, partners, successors, and assigns from and against any and all debts, liens, claims, causes of action, administrative orders and notices, costs (including, without limitation, response and/or remedial costs), personal injuries, losses, damages, liabilities, demands, interest, fines, penalties, and expenses, including reasonable attorneys' fees and expenses, consultants' fees and expenses, court costs, and all other out-of-pocket expenses, to the extent any such items arise out of the release of any Hazardous Substances on or about the Leased Premises by Tenant or Tenant's employees, contractors, agents, successors, or assigns.

2. Landlord agrees to be responsible for any and all debts, liens, claims, causes of action, administrative orders and notices, costs (including, without limitation, response and/or remedial costs), personal injuries, losses, damages, liabilities, demands, interest, fines, penalties, and expenses, including reasonable

attorneys' fees and expenses, consultants' fees and expenses, court costs, and all other out-of-pocket expenses, to the extent any such items (a) arise out of the release of any Hazardous Substances on or about the Leased Premises except by Tenant or Tenant's employees, contractors, agents, successors, or assigns, or (b) arise out of any Breach by Landlord, or (c) arose prior to or during the Term of this Lease and that failed to comply with (i) the Environmental Laws then in effect or (ii) any existing common law theory based on nuisance or strict liability.

3. Landlord agrees to be responsible for any and all debts, liens, claims, causes of action, administrative orders and notices, costs (including, without limitation, response and/or remedial costs), personal injuries, losses, damages, liabilities, demands, interest, fines, penalties, and expenses, including reasonable attorneys' fees and expenses, consultants' fees and expenses, court costs, and all other out-of-pocket expenses, suffered or incurred by Tenant and its grantees as a result of (a) any Breach by Landlord, or (b) any matter or condition of the Leased Premises involving Environmental Laws or Hazardous Materials that was not caused by Tenant or its officers, partners, successors, or assigns and that existed on or arose prior to or during the Term of this Lease and that failed to comply with (i) the Environmental Laws then in effect or (ii) any existing common law theory based on nuisance or strict liability.

4. Landlord represents and warrants to Tenant that Landlord has received no notice that the Leased Premises or any part thereof is, and, to the best of its knowledge and belief, no part of the Leased Premises is located within, an area that has been designated by the Federal Emergency Management Agency, the Army Corps of Engineers, or any other governmental body as being subject to special hazards, including floodplains.

5. The covenants of this Section shall survive and be enforceable and shall continue in full force and effect for the benefit of Tenant and its subsequent transferees, successors, and assigns and shall survive the Term of this Lease and any renewal periods thereof.

41. Mechanic's Liens. Tenant will not cause any mechanic's or materialman's lien to be placed on the Leased Premises, and Tenant agrees to indemnify, defend, and hold harmless Landlord from any such lien from a party claiming by, through, or under Tenant.

42. Headings. The headings of sections and subsections are for convenient reference only and shall not be deemed to limit, construe, affect, modify, or alter the meaning of such sections or subsections.

43. Time of Essence. Time is of the essence for Landlord's and Tenant's obligations under this Agreement.

44. Severability. If any section, subsection, term, or provision of this Agreement or the application thereof to any party or circumstance shall, to any extent, be invalid or unenforceable, the remainder of said section, subsection, term, or provision of the Agreement, or the application of same to parties or circumstances other than those to which it was held invalid or unenforceable, shall not be affected thereby and each remaining section, subsection, term, or provision of this Agreement shall be valid or enforceable to the fullest extent permitted by law.

45. Further Assurances. Each of the parties agrees to do such further acts and things and to execute and deliver such additional agreements and instruments as the other may reasonably require to consummate, evidence, or confirm this Agreement or any other agreement contained herein in the manner contemplated hereby.

46. Dispute Resolution. Before instituting a court action, any dispute between Landlord and Tenant arising under this Agreement shall in the first instance be addressed by informal negotiations between Landlord and Tenant following an exchange of written notice of and response to said dispute and for a period of time not to exceed 45 days unless extended by mutual agreement.

47. Right to Record. Upon full execution, the Tenant may record the Lease.

48. Interpretation. Each party to this Agreement and its counsel have reviewed and revised this Agreement. The normal rule of construction to the effect that any ambiguities are to be resolved against the drafting party shall not be employed in the interpretation of this Agreement or of any amendments or exhibits to this Agreement.

49. Date of Agreement. The parties acknowledge that certain obligations of Landlord and Tenant are to be performed within certain specified periods of time which are determined by reference to the date of execution of this Agreement. The parties therefore agree that wherever the term "date of execution of this Agreement," or words of similar import are used herein, they shall mean the date upon which this Agreement has been duly executed by Landlord or Tenant, whichever is the later to so execute this Agreement. The parties further agree to specify the date on which they execute this Agreement beneath their respective signatures in the space provided and warrant and represent to the other that such a date is in fact the date on which each duly executed this Agreement.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement
as of the day and year first above written.

LANDLORD:

By:

Title:

Date:

TENANT:

By:

Title:

Date:

TCA Microgrid Energy LLC

M-B
MARC BENCIVENNI

COO

5/8/19

STATE OF _____, COUNTY _____, to wit:

The foregoing instrument was acknowledged before me in my jurisdiction aforesaid this
_____ day of _____, 201____, by
_____, who is _____ of

_____, a _____,
for and on behalf of the _____.

who is, a _____.

Notary Public for:

My Commission Expires:

STATE OF Colorado, COUNTY OF Denver, to wit:

The foregoing instrument was acknowledged before me in my jurisdiction aforesaid this
8th day of May, 2019, by

Marc Bencivenni, who is COO of

TCA Microgrid Energy, LLC, a florida limited liability company for
and on behalf of the N/A.

Notary Public for: Colorado

My Commission Expires: 8/10/20

JONATHAN FITZPATRICK
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20124051996
MY COMMISSION EXPIRES AUGUST 10, 2020

EXHIBIT A
LEGAL DESCRIPTION OF LEASED
PREMISES

Up to 22 acres of land within the NWNW, Section 17, Township 3 South, Range 64 West, 6th PM, having a physical street address of 5400 Imboden Rd, Watkins, CO 80137, and further indicated below. Upon completion of survey and final legal description of lease area, and prior to the start of construction, this exhibit will be replaced with a metes and bounds description prepared by a Colorado licensed Professional Land Surveyor.



EXHIBIT B

TENANT'S SURVEY OF THE LEASED
PREMISES

To be revised by Tenant based upon the survey referenced in Section 1 of the Agreement.

EXHIBIT C
CERTIFICATE OF INSURANCE

EXHIBIT D
LANDLORD ACKNOWLEDGEMENT OF COLLATERAL ASSIGNMENT OF LEASE

This Landlord Consent to Collateral Assignment of Lease Agreement (this "Consent") is granted and made by _____ ("Landlord") in connection with certain Solar Lease dated _____, 20__ (the "Lease") by and between Landlord and _____ as Tenant.

1. Tenant has entered into a Loan Agreement ("Loan Agreement") with _____ ("Lender") for the extension of credit (the "Loan") in regard to a solar electric generating facility referred in said Loan Agreement as the "Solar Facility" and in said Lease and this Consent as the "Solar Garden".
2. Tenant as borrower under the Loan Agreement, has executed a Collateral Assignment in favor of Lender whereby Tenant is giving Lender a pledge, mortgage, and/or collateral assignment of all of its right, title and interest arising under the Lease as tenant of the Leased Premises, and providing Lender such other rights as set forth in such Collateral Assignment.
3. Landlord hereby consents to the Collateral Assignment of the Lease given from Tenant to Lender. Landlord acknowledges that in this connection, Lender shall be entitled to perform any obligation under the Lease in lieu of the performance of such obligation by Tenant, but that Lender shall not be obligated to perform any such obligation.
4. Landlord also acknowledges and agrees that the following statements are true and correct:
 - a. Landlord is the fee owner of the Leased Premises described in the Lease Agreement, and (1) a true and correct copy of the Lease is attached hereto as Exhibit 1; (2) the Lease is in full force and effect; (3) Landlord has not modified, amended or changed the Lease in any material respect; (4) to the best of Landlord's knowledge, the Lease constitutes the entire agreement between Landlord and Tenant with respect to the Leased Premises; and (5) to the actual knowledge of Landlord, (i) there are no existing defaults by Tenant under the Lease, (ii) all amounts due under the Lease from Tenant to Landlord as of the date of this Consent have been paid; and (iii) there are no leases in effect to which the Tenant's use of the Leased Premises shall be subordinate.
 - b. Tenant owns the Solar Garden including without limitation all Site Improvements and Infrastructure (as defined in the Lease) and all related fixtures and personal property. Landlord does not own any personal property that is located on the Premises, and agrees that Landlord shall not pursue any liens or claims whatsoever against said Solar Garden, Site Improvements, Infrastructure, fixtures and personal property.
 - c. Except those interests appearing in the records of the county recorder(s) where the Solar Garden is situated, Landlord has not granted any interests in the Leased Premises to any person or entity other than Tenant, and as long as Tenant is not in default of the Lease, Landlord will ensure Tenant's quiet enjoyment of the Leased Premises in accordance with the terms and conditions of the Lease.
5. Landlord also acknowledges and consents:

- a. To Tenant's execution of a leasehold mortgage or deed of trust encumbering Tenant's leasehold estate under the Lease and the Solar Farm.
 - b. To Lender's access to the Leased Premises as necessary to inspect or protect its Collateral.
 - c. To provide upon request of Lender, as a collateral assignee of rights under the Lease, subsequent signed statements indicating whether or not any defaults exist under the Lease, and addressing such other matters concerning the Leased Premises and the Lease as Lender may reasonable request.
 - d. To the recording by Tenant or Lender of the Collateral Assignment and this Consent of Landlord thereto.
6. Landlord acknowledges that all notices to Tenant under the Lease Agreement shall be sent to:

Attn: _____, Authorized Representative

Telecopier Number: _____

Telephone Number: _____

with a copy in each case to:

[Lender Information]

Signatures on Next Page

IN WITNESS WHEREOF, Landlord subscribes this Landlord Acknowledgement Of Collateral Assignment as of this _____ day of _____, 20____.
LANDLORD:

By: _____

Title: _____

STATE OF _____)
) ss:
COUNTY OF _____)

On the _____ day of _____ in the year 20____, before me, the undersigned, a notary public in and for said state, personally appeared _____, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that (s)he executed the same in his/her capacity, and that by his/her signature on the instrument, the individual, or the person on behalf of which the individual acted, executed the instrument.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Notary Public

My Commission expires:

NY 12081641.2



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 18, 2019
SUBJECT: Land Lease
FROM: Jeri Coin, on behalf of D. E. Ruppel, Director, Air and Space Port
AGENCY/DEPARTMENT: Colorado Air and Space Port
HEARD AT STUDY SESSION ON
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners Approves a resolution with for a Land Lease with HG Hangar One, LLC

BACKGROUND:

The Colorado Air and Space Port (“Landlord”) has a vacant parcel, at 5120 Violet Hill Street, Watkins, Colorado 80136. HG Hangar One, LLC (“Tenant”) would like to lease the parcel and operate a commercial aircraft hangar on it. The Landlord would like to lease the parcel to the Tenant under the terms and conditions of the attached Land Lease Agreement.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Attorney’s Office

ATTACHED DOCUMENTS:

1. Draft Resolution
2. Land Lease Agreement
3. Partial Termination & Release

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund: 43**Cost Center:** 4302

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

This will occur in the 2019 budget, and will not affect the 2018 budget.

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING LAND LEASE AGREEMENT BETWEEN ADAMS COUNTY
AND HG HANGAR ONE, LLC

WHEREAS, Adams County is a body corporate and politic that owns and operates an air and space port known as Colorado Air and Space Port (“Landlord”); and,

WHEREAS, on August 17, 2018, the Federal Aviation Administration (FAA) issued a launch site license to Adams County, Colorado and the Adams County Commissioners officially changed the facility’s name from Front Range Airport to Colorado Air and Space Port; and,

WHEREAS, the Landlord has vacant land, located on the airport at 5120 Violet Hill Street, Watkins, Colorado 80137; and,

WHEREAS, HG Hangar One, LLC (“Tenant”) would like to lease, and operate a commercial aircraft hangar building on this parcel; and,

WHEREAS, the Landlord would like to lease the parcel to the Tenant under the terms and conditions of the attached Land Lease Agreement.

NOW THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado that the attached Land Lease Agreement between Adams County and HG Hangar One, LLC, is hereby approved.

BE IT FURTHER RESOLVED, that the Chair is authorized to execute said Agreement on behalf of Adams County.

LAND LEASE

This Lease is made effective this ____ day of _____, 2019, by and between Adams County, Colorado, located at 4430 S. Adams County Parkway, Brighton, Colorado, 80601 ("Landlord") on behalf of the Colorado Air and Space Port, and HG Hangar One, LLC, a Colorado company, located at 20434 E Layton, Aurora, CO 80015, ("Tenant").

Adams County owns and operates the Colorado Air and Space Port ("Airport"), located at 5200 Front Range Parkway, Watkins, Colorado 80137, in Adams County, Colorado.

For and in consideration of the mutual covenants hereinafter contained, the parties agree as follows:

1. Lease and Description. Upon the terms and conditions hereinafter set forth, the Landlord hereby leases to the Tenant, and the Tenant hereby leases from the Landlord, those certain premises situated at the Colorado Air and Space Port, Adams County, Colorado, known as 5120 Violet Hill Street, Watkins, Colorado 80137 ("Premises"), the configuration and legal description of which are set forth on the Site Plan attached hereto as Exhibit "A" and incorporated herein by this reference. The Tenant shall have the non-exclusive use of taxiways, runways and other areas of the Airport, which are not within the exclusive use of other tenants and the Landlord. This Lease is expressly conditioned upon the full execution of a Partial Satisfaction and Release between Landlord, Tenant, and 37600 Cessna Way, LLC, a wholly owned subsidiary of Citywide Banks. Landlord has previously entered into a Master Lease agreement with 37600 Cessna Way, LLC, for the Premises, and in the event the Partial Satisfaction and Release between the parties and 37600 Cessna Way, LLC, is not fully executed, this Lease shall be terminated, and the parties shall have no further obligations pursuant to this Lease.
2. Business Purpose. The Premises shall be used for the operation of a commercial aircraft hangar building under the terms and conditions of this Lease which shall not be construed as creating or vesting in the Tenant or any subtenant or assignee a fee interest in the Premises.

The aircraft hangar building, and the leasehold interest created hereby are to be used for aeronautical-related purposes, including but not limited to parking, storing and maintaining aircraft and other activities associated with aircraft ownership. Aircraft stored in the hangar must meet the Taxilane Object Free Area Width for airplanes in Design Group I as defined in FAA AC150/5300-13 Airport Design\Chapter 4., Taxiway and Taxilane Design, nor exceed a wingspan of 59 feet. The tenancy created hereby is subject to the terms of this Lease, the Minimum Standards of Colorado Air and Space Port, all applicable federal, state and local laws and ordinances. The Minimum Standards shall be provided by the Landlord to the Tenant in writing upon the approval of this Lease and thereafter from time to time as they are amended.

3. Hangar Construction. Tenant shall construct one, two hundred and forty (240) foot by forty-eight (48) foot five (5) unit box hangar. Tenant shall construct a two hundred fifty-five and ½ foot (255.5) by forty (40) foot north apron. Tenant shall extend the existing "R2" taxiway south as needed to join the north apron as shown on exhibit "A" capable of supporting Goup I aircraft weights of 12,500 pounds.

4. Tenant's Consideration for Citywide Master Lease Partial Termination and Release Agreement. Tenant has paid 37600 Cessna Way, LLC (Citywide Banks) thirty thousand dollars for the buyout/termination of its Master Lease for the Premises. In exchange for the buyout, Landlord agrees to the following:

- a. Subject to applicable land use requirements, Tenant may import construction fill dirt from the location designated by Landlord just east of the property at no cost for the fill dirt.
- b. Tap fees for water and sewer taps will be amortized over the first 10 years of the Lease.
- c. Landlord agrees to add these hangars to its available hangar listings.
- d. Landlord agrees to extend these lease terms to two adjacent hangars, provided Tenant begins development of the second hangar within six months of the Certificate of Occupancy (CO) of the first hangar, and begins the third hangar no later than one year after the CO of the first hangar and meets the requirements of the Partial Termination And Release Agreement for the additional sites.

5. Term. The initial term of this Lease is forty years, commencing 12:01 a.m., March 1, 2019, and ending at midnight on February 31, 2059. Thereafter, two (2) additional five (5) year renewal terms may be offered at the Landlord's sole discretion provided the Tenant is in full compliance with the terms of the Lease and the Minimum Standards of Colorado Air and Space Port, and the Landlord has determined that the building is in good repair. The Tenant may terminate this Lease without penalty at the end of the original or any extended lease term by giving the Landlord written notice of its intent to terminate at least ninety (90) days prior to the end of the applicable lease term.

6. Rent. The rent for said leasehold space shall be 50% of the full lease rate for the first year commencing 180 days after the building receives its Certificate of Occupancy from Adams County (Rent Commencement Date). The second year of the lease, the rate will increase to 75% of the full lease rate, and then the third year the rate will become 100% of the full lease rate of Seven Thousand One Hundred Sixty and 40/100 Dollars (\$7,160.40), computed at the annual rate of thirty-four cents (\$0.34) per square foot, times the building footprint of forty eight (48) feet by two hundred and forty (240) feet plus fifteen (15) feet on all four sides or 21,160 square feet as shown on Exhibit "A". The total square footage for which Tenant is responsible for purposes of maintenance and repairs as per paragraph 9 of this Lease and otherwise, is two hundred eighty-six (286) feet by one hundred three (103) feet, or 29,458 square feet. Rent payment shall be

made at 5200 Front Range Parkway, Watkins, Colorado 80137, or at such other address as the Landlord notifies the Tenant in writing during the original or any extended term of the Lease. The Tenant shall also pay for any calendar year or fraction thereof for which rent is due but not paid within ten (10) calendar days of the due date a late charge equal to five percent (5%) of the rent due and any accrued late charges.

a. Future Rental Periods. Commencing the fourth year after the Rent Commencement Date, and every year thereafter, the annual rental sum shall be increased by 3% and shall be calculated using 21,160 square feet as shown on Exhibit "A", the Premises.

7. Assignment of Lease. The Tenant may sublease or sell hangar space for the purpose described in paragraph 2, above, for a term and under such terms and under conditions as the Tenant may determine in its sole discretion, provided: (1) the Tenant receives the Landlord's approval of the rental or sale, which shall not be unreasonably withheld; (2) the Tenant provides the Landlord and maintains a current list of the names, addresses and telephone numbers of subtenants or purchasers and their aircraft registration numbers; and (3) subtenants or purchasers agree in writing to abide by all the terms and conditions of this Lease.

8. Utilities. Tenant hereby covenants and agrees to pay all monthly or other regular charges for heat, light, and water, and for all other public utilities which shall be used in or charged against the Premises during the full terms of this Lease.

9. Taxes. The Tenant shall pay all property and other taxes that are assessed against the Premises.

10. Occupancy. The Premises shall not be occupied or used for any purpose until a Certificate of Occupancy is issued for any building constructed thereon.

11. Repair and Maintenance.

a. At its sole expense, the Tenant shall keep the Premises and all improvements thereon in good repair and in a safe, sanitary, orderly and usable condition. The Premises shall at all times be maintained in accordance with any applicable Building Code, Zoning Regulation, or Ordinance of Adams County.

b. Good Condition: Tenant shall keep Premises in good order and working condition and will do all necessary and appropriate maintenance and repair work at its sole expense. If Tenant fails to maintain the Premises, Landlord may perform such maintenance and invoice Tenant for all costs incurred. Prior to commencing work, Landlord will provide Tenant with thirty (30) days written notice and right to cure, and the applicable provisions of paragraph 27 below shall apply.

c. Waste: The Tenant shall place and regularly empty suitable trash containers on the Premises. It shall not permit rubbish, debris, waste material, anything

noxious or detrimental to safety or health, anything likely to create objectionable odors or a fire hazard or anything subject to deterioration to accumulate on the Premises or to be improperly disposed of. The Tenant shall not allow any waste, liquids or other materials that could cause malfunction of the Landlord's sewage plant or impede the normal chemical or biological workings of the plant to become part of the plant's influence.

d. **Care of Petroleum products and Other Material by Tenant:** Tenant shall handle, use, store and dispose of fuel petroleum products, and all other materials (including but not limited to hazardous materials) owned or used by it on the Airport in accordance with all applicable federal, state, local and Airport statutes, regulations, rules and ordinances. No waste or disposable materials shall be released on the ground or in the storm sewer. Should such materials be spilled or escape from storage or in any way contaminate the Airport or property adjacent to the Airport through activities of the Tenant, the Tenant shall be responsible for the clean up, containment and otherwise abatement of such contamination at Tenant's sole cost and expense. Further, Tenant shall notify the Landlord and appropriate governmental agency of such occurrence immediately. Should the Tenant fail to do so, the Landlord may take any reasonable and appropriate action in the Tenant's stead. The cost of such remedial action by the Landlord shall be paid by the Tenant.

e. **Snow:** At its sole expense, the Tenant shall remove snow and ice from all paved areas of the Premises.

f. **Pavement:** At its sole expense, the Tenant shall repair and maintain all paved areas of the Premises and their subsurfaces in a safe and structurally sound condition.

12. **Use.** The Tenant shall conduct on the Premises only the business for which it is leased and shall not use the Premises for any illegal purpose.

13. **Liens and Insolvency.** The Tenant shall keep the Premises free from any liens arising from work performed thereon or materials furnished thereto. If the Tenant becomes insolvent or voluntarily or involuntarily bankrupt, or if a receiver, trustee or other liquidator is appointed for the Tenant, the Landlord may cancel this Lease by appropriate legal means.

14. **Rent After Default.** If any or all of the Premises is sublet, sold or otherwise occupied by anyone other than the Tenant, after any default in the payment of rent by the Tenant, the Landlord may collect rent or other periodic payments from subtenants, purchasers or other occupants, but such collection and/or the Landlord's agreement to a third person's use or occupancy of the Premises shall not be deemed a waiver of any term or condition of this Lease.

15. Access. The Tenant shall allow the Landlord and/or its agent's access to the Premises during business hours upon 24 hours' notice for the purpose of inspection. In case of emergency the Landlord may have access at any time. Nothing herein shall be construed to limit the authority of Adams County building inspectors under existing law.

16. Liability Insurance. The Tenant shall maintain liability insurance by a company or companies acceptable to the Landlord insuring the Tenant against claims based on personal injury or death and damage or destruction of property that arise from the intentional or negligent acts of the Tenant, its agents, employees or servants or by means of any form of transportation, including owned, non-owned and hired automobiles, to the extent required by Exhibit "B" attached hereto and incorporated herein by this reference. The Landlord shall be included on all such policies as a named insured, and a true copy of those policies shall be furnished to the Landlord. Every such policy shall provide that it cannot be canceled without at least thirty (30) days prior written notice to the Landlord.

17. Accidents - Indemnity. The Tenant shall bear the risk of damage or destruction of all personal property on the Premises. The Landlord shall not be liable for any damage to persons or property on the Premises sustained by the Tenant or others, whether caused by defects now on the Premises or due to conditions hereafter arising in any building or other improvement or appurtenance thereon, including but not limited to lack of repair, fire, bursting or leaking water, gas, sewer or steam pipes, or the acts or omissions of the Tenant, any subtenant, purchaser or other occupant of the Premises or any invitee on the Premises, or the happening of any accident from any cause in or about any improvement on the Premises.

18. Fire Insurance. At its sole expense, at all times after commencement of construction on the Premises, the Tenant shall carry fire and extended coverage hazard insurance (including vandalism and malicious mischief protection) on all buildings commenced on the Premises, the policy or policies of which shall name the Landlord as an additional insured to the extent of the Landlord's interest in such buildings. A true copy of all such policies shall be furnished to the Landlord. Every such policy shall provide that it cannot be canceled without at least thirty (30) days prior written notice to the Landlord, no such policy shall contain a deductible clause greater than \$1,000 per claim. In the event of loss, the Tenant shall pay such deductible amount.

19. Casualty Loss – Application of Proceeds. In the event of any casualty loss to any improvement covered by insurance, the proceeds of such insurance shall be used to repair or replace such improvement and return the Premises to its original condition. The proceeds shall be first applied to the cost of clean-up, to the extent required by the Landlord. Upon the sublease or sale of any part of the Premises, the Tenant shall require the subtenant or purchaser to obtain hazard insurance at the subtenant's or purchaser's sole expense containing the same provisions as those set forth in paragraph

16, above, and including the Landlord and the Tenant as additional named insured, as their interests may appear.

20. Condemnation. The Landlord may condemn the Premises if it desires to use the Premises for other airport purposes. If it does so, it shall compensate the Tenant for the value of the remaining original lease term, if the condemnation occurs during that term, and for the value of the remaining then-current lease term extension, if the condemnation occurs during a lease term extension. Landlord shall compensate the Tenant for the remaining life of all improvements the Tenant has constructed on the Premises based on a 30-year life for each such improvement. If the Landlord and Tenant disagree as to the value of the remaining life of the Lease or an extension thereof or any improvement Tenant has constructed on the Premises, each shall retain an appraiser to value those items. If those appraisers are unable to agree on such valuations, they shall appoint a third appraiser, and that appraiser's valuations shall be conclusive and binding on both parties. If the Tenant has already given written notice of lease termination as provided in paragraph 3 above, at the time it receives the Landlord's notice of condemnation, the Premises shall be surrendered to the Landlord at the end of the then-current lease term without regard to the provisions of this paragraph.

21. Tenant's Right of Cancellation. In addition to any other remedies available to the Tenant, this Lease shall be subject to cancellation by the Tenant if any one or more of the following events occur:

a. Abandonment: If the Airport is permanently abandoned as an operating airport by the Landlord, the Tenant shall be entitled to cancel this Lease, remove all improvements it constructed on the Premises and have returned to it all prepaid rents.

b. Supervening Event: If any act of God prevents the Tenant from using the Premises for the purpose provided in paragraph 2 above, for six consecutive months, it may cancel this Lease. However, neither party shall have any liability to the other for the results of any such act.

c. Landlord's Breach of Lease: Tenant may cancel this Lease if the Landlord breaches any of its obligations under this Lease and fails to remedy such breach within sixty (60) calendar days after the Tenant's delivery of written notice of the breach to the Landlord.

22. Removal of Improvements. Upon termination of this Lease, at its sole cost, the Tenant shall remove any improvements made to the Premises, except for any pavement that may exist on the Premises at the time of termination.

23. Notices. All notices and consents required or permitted hereunder shall be deemed delivered when personally delivered, or when delivered by courier or facsimile or other electronic means, or three business days after being deposited in the United

States mail, sealed and postage prepaid, certified and return receipt requested, addressed, as appropriate, to:

LANDLORD

Airport Director
Colorado Air and Space Port
5200 Front Range Parkway
Watkins, Colorado 80137

TENANT

HG Hangar One, LLC
20434 E Layton
Aurora, Colorado 80015

or to such other addresses as the parties may designate to each other in writing.

24. Governmental Fees. All fees due under applicable law to any city, county or state on account of any inspection made of the Premises shall be paid by the Tenant.

25. Signs. Any sign or symbol placed anywhere on the Premises shall first be approved by the Landlord. Any sign or symbol not so approved shall be immediately removed upon notice by the Landlord at the Tenant's sole expense. The Tenant's failure to promptly remove such sign or symbol shall entitle the Landlord to remove it at the Tenant's sole expense. Any sign or symbol approved by the Landlord for display on the Premises shall be removed at Tenant's expense at the termination of the Lease. In addition to being authorized by the Landlord, all signs displayed on the Premises shall conform to all applicable laws and regulations, and the Tenant shall pay all fees associated therewith. Tenant will mount a sign on each end of the hangar containing the hangar number, street address and language similar to a "no parking" sign.

26. Mailboxes. Mailboxes as approved by the United States Postal Service shall be installed at Tenant's expense. The location of mailboxes shall be approved in writing by the Landlord prior to placement on airport property.

27. Default and Re-Entry. Unless resulting from events described in paragraphs 18 or 19, above, the Tenant's violation of any of its obligations hereunder other than failure to pay rent shall entitle the Landlord to terminate this Lease upon thirty (30) days prior written notice. If the default or violation is cured within the said thirty (30)-day period, or if the violation is not capable of complete cure within the said period but cure is commenced within the period, the Landlord shall have no right of termination. However, if the default or violation is not cured, or cure of the violation is not begun, within the thirty (30)-day period, the Lease shall be deemed terminated at the end of that period without further action by the Landlord. Upon termination the Tenant shall be

entitled to recover any prepaid rent and other fees, and the Landlord shall be entitled to possession of the Premises. In the event Tenant fails to pay rent within ten days of the due date, Landlord may terminate this Lease immediately. If the Tenant fails to vacate the Premises, the Landlord shall have the right to evict the Tenant pursuant to Colorado law.

28. Non-waiver of Breach. The failure of either party to insist on strict compliance with any term or condition of this Lease shall not be deemed a waiver or relinquishment of the right to require strict compliance with such term or condition, or any other term or condition of this Lease in the future.

29. Holding Over. If the Tenant holds over after the end of the original term of this Lease or any extended term hereof, the Tenant shall pay the Landlord rent in an amount equal to 150 % of the Lease rate then in effect. Such holding over shall not constitute renewal of this Lease but shall be a month-to-month tenancy only, with all other terms and conditions of this Lease applicable.

30. Landlord's Warranties. The Landlord warrants that it is the owner of the Premises free and clear of all liens and encumbrances, that it has the authority to enter into this Lease and that the Premises is free from contamination by hazardous substances.

31. Hazardous Substances. The Tenant shall not permit hazardous substances upon the Premises except those that are normally associated with aeronautical-like purposes.

32. Motor Vehicle Parking. Motor vehicles shall be parked only within designated parking areas.

33. Aircraft Parking. Aircraft shall not be parked on taxiways, aprons or other pavement on the Premises in a manner that unduly obstructs access to adjacent hangars. Only airworthy aircraft shall be parked on the Premises outside the hangar.

34. Jurisdiction and Venue. The parties acknowledge that this Lease is entered into in the State of Colorado, and they agree that the courts of Adams County, Colorado, shall have jurisdiction and be the sole venue to resolve all disputes between the parties arising from this Lease or concerning the Premises.


35. Indemnification. The Tenant shall bear the entire loss or damage to all improvements to the Premises, whether by windstorm, fire, earthquake, snow, water run-off or any other cause whatsoever. The Tenant hereby indemnifies the Landlord against and holds it harmless from all demands, claims, costs, causes of action and judgments, as well as from all costs of investigating and defending the same, arising from or growing out of the acts or omissions of the Tenant, its contractors, agents, members, stockholders, employees, invitees, servants, subtenants, successors or assigns in

connection with their occupancy of any portion of Colorado Air and Space Port,
including the Premises.

IN WITNESS WHEREOF the parties have executed this Lease this _____ day
of _____ 2019.

TENANT:

NG WADGAL OPS, LLC

By: 
HUGH GOMMEL

Date: JUNE 5, 2019

LANDLORD:

ATTEST:

ADAMS COUNTY
BOARD OF COUNTY COMMISSIONERS

By: _____
Chair

By: _____
County Attorney's Office

Date: _____

Date: _____

EXHIBIT "A" Premises

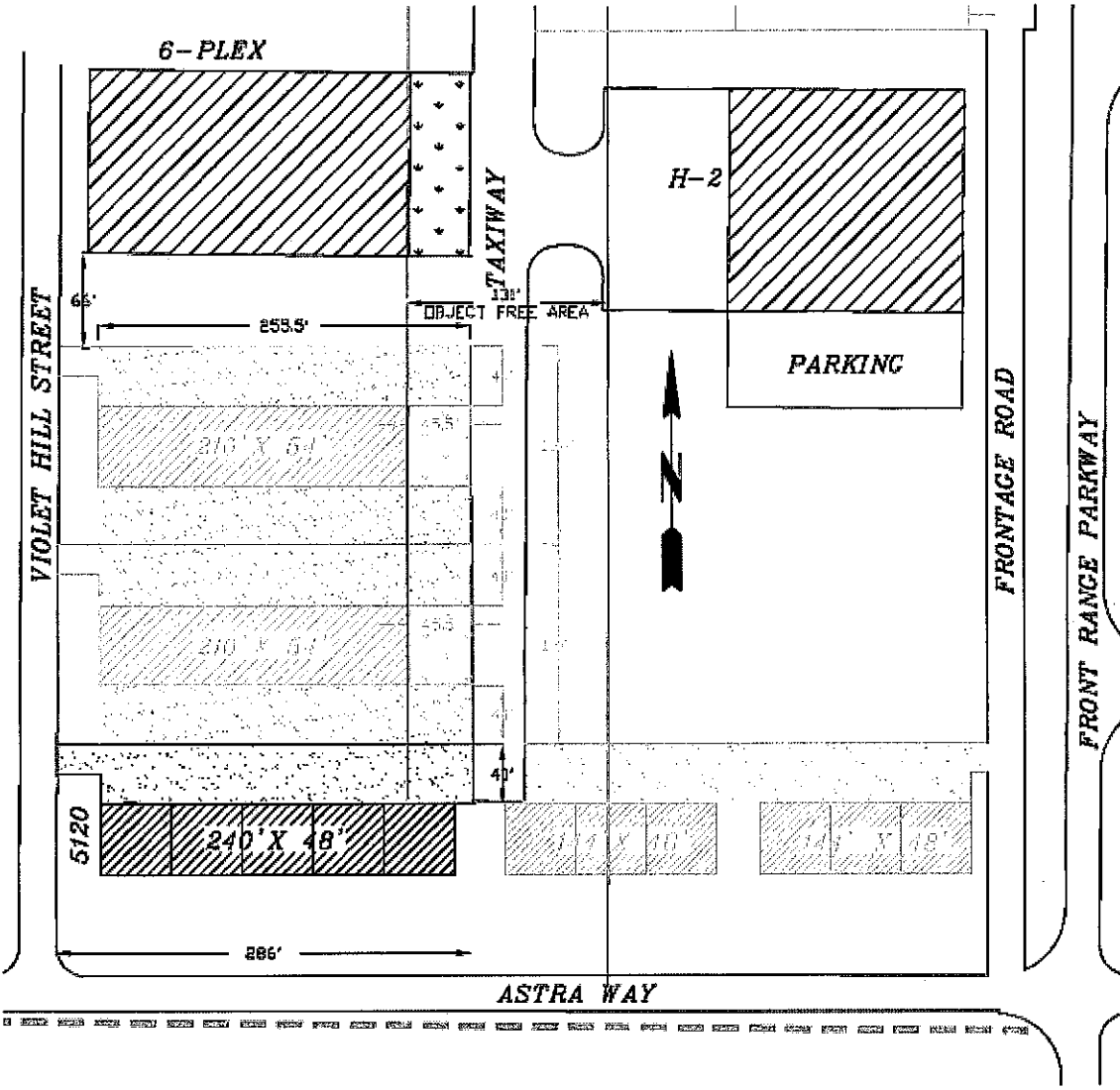


EXHIBIT "B"

Page 1 of 2

INSURANCE

The Tenant will be required to procure and maintain, at its own expense and without cost to the Landlord, the kinds and minimum amounts of insurance as follows:

I. Comprehensive General Liability

In the amount of not less than one million dollars combined single limit.

Coverage to include:

- A. Premises
- B. Products/Completed Operations
- C. Broad Form Comprehensive, General Liability
- D. Colorado Air and Space Port and Adams County as Additional Insured

II. Comprehensive Automobile Liability

In the amount of not less than \$500,000 combined single limit for bodily injury and property damage.

III. Employers Liability, Worker's Compensation and Unemployment Insurance

The Tenant shall secure and maintain employer's liability, Workman's Compensation Insurance and Unemployment Insurance that will protect it against any and all claims resulting from injuries to and death of workmen engaged in work under this contract.

Certificate of Insurance

The Tenant shall not commence work under this contract until it has submitted to the landlord, and received approval thereof, certificates of insurance showing that it has complied with the foregoing insurance.

All referenced insurance policies and/or certificates of insurance shall be issued to include the Colorado Air and Space Port as an "additional insured". The name of the bid or project must appear on the certificate of insurance.

- 1. Underwriters shall have no right of recovery or subrogation against the Front Range Airport Authority; it being the intent of the parties that the insurance policies so affected shall protect both parties and be primary coverage for any and all losses covered by the described insurance.
- 2. The clause entitled "Other Insurance Provisions" contained in any policy including Colorado Air and Space Port as an additional named insured shall not apply to Colorado Air and Space Port.

EXHIBIT "B"

Page 2 of 2

3. The insurance companies issuing the policy or policies shall have no recourse against Colorado Air and Space Port for payment of any premiums due or for any assessments under any form or any policy.
4. Any and all deductibles contained in any insurance policy shall be assumed by and at the sole risk of the Tenant.

If any of the said policies shall be or at any time become unsatisfactory to the Landlord as to form or substance, or if a company issuing any such policy shall be or at any time become unsatisfactory to the Landlord, the Tenant shall promptly obtain a new policy, submit the same to the Landlord for approval and thereafter submit a certificate of insurance as herein above provided. Upon failure of the Tenant to furnish, deliver and maintain such insurance as provided herein, this contract, at the election of the Landlord, may be immediately declared suspended, discontinued or terminated after 60 days written notice to the Tenant. Failure of the Tenant in obtaining and/or maintaining any required insurance shall not relieve the Tenant from any liability under the contract, nor shall the insurance requirements be construed to conflict with the obligations of the Tenant concerning indemnification.

**PARTIAL TERMINATION AND RELEASE OF MODULE 2 MASTER (PREMISES) LEASE
AGREEMENT AND FIRST AMENDMENT**

37600 Cessna Way, LLC (a wholly owned subsidiary of Citywide Banks) is the current tenant and holder of the Module 2 Master (Premises) Lease at Colorado Air and Space Port (formerly Front Range Airport), which was recorded in the real property records of Adams County, Colorado, at Reception No. 20050922001039460, as amended by the First Amendment to Front Range Airport Module #2 Master (Premise) Lease dated July 12, 2016, Resolution No. 2016-374 (The Lease and the First Amendment to be referred to collectively as the "Lease"). The current owner of the property is Adams County, Colorado, on behalf of Colorado Air and Space Port.

37600 Cessna Way, LLC, has received a partial buyout of the Lease for two parcels of the Premises known as 5140 and 5120 Violet Hill Street, Watkins, Colorado 80137. By means of this instrument 37600 Cessna Way, LLC, acknowledges that the Lease is terminated and released only for the properties known as 5140 and 5120 Violet Hill Street, Watkins, CO 80137, with receipt by 37600 Cessna Way, LLC, of the payment in the amount of \$50,000.00.

Note to Clerk and Recorder: Index this document with 37600 Cessna Way, LLC as the Grantor, and with Adams County as the Grantee.

NOW THEREFORE, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the undersigned hereby terminates and releases the portion of the Lease described above from the remainder of the Leased Premises, so long as final payment is made as herein agreed.

Dated this 3rd day of June, 2019.

Adams County, Colorado Air and Space Port

By: [Signature] Title Director

37600 Cessna Way, LLC

By: [Signature] Title Manager

HG Hangar One, LLC

By: [Signature] Title MANAGER

37600 Cessna Way, LLC

By: [Signature] Title MANAGER



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 18, 2019
SUBJECT: Land Lease
FROM: D. E. Ruppel, Director, Air and Space Port
AGENCY/DEPARTMENT: Colorado Air and Space Port
HEARD AT STUDY SESSION ON
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners Approves a resolution with for a Land Lease with HG Hangar One, LLC

BACKGROUND:

The Colorado Air and Space Port (“Landlord”) has a vacant parcel, at 5140 Violet Hill Street, Watkins, Colorado 80136. HG Hangar One, LLC (“Tenant”) would like to lease the parcel and operate a commercial aircraft hangar on it. The Landlord would like to lease the parcel to the Tenant under the terms and conditions of the attached Land Lease Agreement.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Attorney’s Office

ATTACHED DOCUMENTS:

1. Draft Resolution
2. Land Lease Agreement
3. Partial Termination & Release

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund: 43**Cost Center:** 4302

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

This will occur in the 2019 budget, and will not affect the 2018 budget.

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING LAND LEASE AGREEMENT BETWEEN ADAMS COUNTY
AND HG HANGAR ONE, LLC

WHEREAS, Adams County is a body corporate and politic that owns and operates an air and space port known as Colorado Air and Space Port (“Landlord”); and,

WHEREAS, on August 17, 2018, the Federal Aviation Administration (FAA) issued a launch site license to Adams County, Colorado and the Adams County Commissioners officially changed the facility’s name from Front Range Airport to Colorado Air and Space Port; and,

WHEREAS, the Landlord has vacant land, located on the airport at 5140 Violet Hill Street, Watkins, Colorado 80137; and,

WHEREAS, HG Hangar One, LLC (“Tenant”) would like to lease, and operate a commercial aircraft hangar building on this parcel; and,

WHEREAS, the Landlord would like to lease the parcel to the Tenant under the terms and conditions of the attached Land Lease Agreement.

NOW THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado that the attached Land Lease Agreement between Adams County and HG Hangar One, LLC, is hereby approved.

BE IT FURTHER RESOLVED, that the Chair is authorized to execute said Agreement on behalf of Adams County.

LAND LEASE

This Lease is made effective this ____ day of _____, 2019, by and between Adams County, Colorado, located at 4430 S. Adams County Parkway, Brighton, Colorado, 80601 ("Landlord") on behalf of the Colorado Air and Space Port, and HG Hangar One, LLC, a Colorado company, located at 20434 E Layton, Aurora, CO 80015, ("Tenant").

Adams County owns and operates the Colorado Air and Space Port ("Airport"), located at 5200 Front Range Parkway, Watkins, Colorado 80137, in Adams County, Colorado.

For and in consideration of the mutual covenants hereinafter contained, the parties agree as follows:

1. Lease and Description. Upon the terms and conditions hereinafter set forth, the Landlord hereby leases to the Tenant, and the Tenant hereby leases from the Landlord, those certain premises situated at the Colorado Air and Space Port, Adams County, Colorado, known as 5140 Violet Hill Street, Watkins, Colorado 80137 ("Premises"), the configuration and legal description of which are set forth on the Site Plan attached hereto as Exhibit "A" and incorporated herein by this reference. The Tenant shall have the non-exclusive use of taxiways, runways and other areas of the Airport, which are not within the exclusive use of other tenants and the Landlord. This Lease is expressly conditioned upon the full execution of a Partial Satisfaction and Release between Landlord, Tenant, and 37600 Cessna Way, LLC, a wholly owned subsidiary of Citywide Banks. Landlord has previously entered into a Master Lease agreement with 37600 Cessna Way, LLC, for the Premises, and in the event the Partial Satisfaction and Release between the parties and 37600 Cessna Way, LLC, is not fully executed, this Lease shall be terminated, and the parties shall have no further obligations pursuant to this Lease.
2. Business Purpose. The Premises shall be used for the operation of a commercial aircraft hangar building under the terms and conditions of this Lease which shall not be construed as creating or vesting in the Tenant or any subtenant or assignee a fee interest in the Premises.

The aircraft hangar building, and the leasehold interest created hereby are to be used for aeronautical-related purposes, including but not limited to parking, storing and maintaining aircraft and other activities associated with aircraft ownership. Aircraft stored in the hangar must meet the Taxilane Object Free Area Width for airplanes in Design Group I as defined in FAA AC150/5300-13 Airport Design\Chapter 4., Taxiway and Taxilane Design, nor exceed a wingspan of 59 feet. The tenancy created hereby is subject to the terms of this Lease, the Minimum Standards of Colorado Air and Space Port, all applicable federal, state and local laws and ordinances. The Minimum Standards shall be provided by the Landlord to the Tenant in writing upon the approval of this Lease and thereafter from time to time as they are amended.

3. Hangar Construction. Tenant shall construct one, two hundred and ten (210) foot by fifty-four (54) foot T-hangar. Tenant shall construct a two hundred fifty-five and ½ foot (255.5) by forty (40) foot north apron and a two hundred fifty-five and ½ foot (255.5) by forty (40) foot south apron as shown on exhibit "A" capable of supporting Group I aircraft weights of 12,500 pounds.

4. Tenant's Consideration for Citywide Master Lease Partial Termination and Release Agreement. Tenant has paid 37600 Cessna Way, LLC (Citywide Banks) twenty thousand dollars for the buyout/termination of its Master Lease for the Premises. In exchange for the buyout, Landlord agrees to the following:

- a. Subject to applicable land use requirements, Tenant may import construction fill dirt from the location designated by Landlord just east of the property at no cost for the fill dirt.
- b. Tap fees for water and sewer taps will be amortized over the first 10 years of the Lease.
- c. Landlord agrees to add these hangars to its available hangar listings.
- d. Landlord agrees to extend these lease terms to two adjacent hangars, provided Tenant begins development of the second hangar within six months of the Certificate of Occupancy (CO) of the first hangar, and begins the third hangar no later than one year after the CO of the first hangar and meets the requirements of the Partial Termination And Release Agreement for the additional sites.

5. Term. The initial term of this Lease is forty years, commencing 12:01 a.m., March 1, 2019, and ending at midnight on February 28, 2059. Thereafter, two (2) additional five (5) year renewal terms may be offered at the Landlord's sole discretion provided the Tenant is in full compliance with the terms of the Lease and the Minimum Standards of Colorado Air and Space Port, and the Landlord has determined that the building is in good repair. The Tenant may terminate this Lease without penalty at the end of the original or any extended lease term by giving the Landlord written notice of its intent to terminate at least ninety (90) days prior to the end of the applicable lease term.

6. Rent. The rent for said leasehold space shall be 50% of the full lease rate for the first year commencing 180 days after the building receives its Certificate of Occupancy from Adams County (Rent Commencement Date). The second year of the lease, the rate will increase to 75% of the full lease rate, and then the third year the rate will become 100% of the full lease rate of Six Thousand Eight Hundred Fifty Four and 40/100 Dollars (\$6,854.40), computed at the annual rate of thirty-four cents (\$0.34) per square foot, times the building footprint of fifty four (54) feet by two hundred and ten (210) feet plus fifteen (15) feet on all four sides or 20,160 square feet as shown on Exhibit "A". The total square footage for which Tenant is responsible for purposes of maintenance and repairs as per paragraph 9 of this Lease and otherwise, is two hundred eighty-six (286) feet by one hundred thirty-four (134) feet, or 38,324 square feet. Rent payment

shall be made at 5200 Front Range Parkway, Watkins, Colorado 80137, or at such other address as the Landlord notifies the Tenant in writing during the original or any extended term of the Lease. The Tenant shall also pay for any calendar year or fraction thereof for which rent is due but not paid within ten (10) calendar days of the due date a late charge equal to five percent (5%) of the rent due and any accrued late charges.

a. Future Rental Periods. Commencing the fourth year after the Rent Commencement Date, and every year thereafter, the annual rental sum shall be increased by 3% and shall be calculated using 20,160 square feet as shown on Exhibit "A", the Premises.

7. Assignment of Lease. The Tenant may sublease or sell hangar space for the purpose described in paragraph 2, above, for a term and under such terms and under conditions as the Tenant may determine in its sole discretion, provided: (1) the Tenant receives the Landlord's approval of the rental or sale, which shall not be unreasonably withheld; (2) the Tenant provides the Landlord and maintains a current list of the names, addresses and telephone numbers of subtenants or purchasers and their aircraft registration numbers; and (3) subtenants or purchasers agree in writing to abide by all the terms and conditions of this Lease.

8. Utilities. Tenant hereby covenants and agrees to pay all monthly or other regular charges for heat, light, and water, and for all other public utilities which shall be used in or charged against the Premises during the full terms of this Lease.

9. Taxes. The Tenant shall pay all property and other taxes that are assessed against the Premises.

10. Occupancy. The Premises shall not be occupied or used for any purpose until a Certificate of Occupancy is issued for any building constructed thereon.

11. Repair and Maintenance.

a. At its sole expense, the Tenant shall keep the Premises and all improvements thereon in good repair and in a safe, sanitary, orderly and usable condition. The Premises shall at all times be maintained in accordance with any applicable Building Code, Zoning Regulation, or Ordinance of Adams County.

b. Good Condition: Tenant shall keep Premises in good order and working condition and will do all necessary and appropriate maintenance and repair work at its sole expense. If Tenant fails to maintain the Premises, Landlord may perform such maintenance and invoice Tenant for all costs incurred. Prior to commencing work, Landlord will provide Tenant with thirty (30) days written notice and right to cure, and the applicable provisions of paragraph 27 below shall apply.

c. Waste: The Tenant shall place and regularly empty suitable trash containers on the Premises. It shall not permit rubbish, debris, waste material, anything

noxious or detrimental to safety or health, anything likely to create objectionable odors or a fire hazard or anything subject to deterioration to accumulate on the Premises or to be improperly disposed of. The Tenant shall not allow any waste, liquids or other materials that could cause malfunction of the Landlord's sewage plant or impede the normal chemical or biological workings of the plant to become part of the plant's influence.

d. Care of Petroleum products and Other Material by Tenant: Tenant shall handle, use, store and dispose of fuel petroleum products, and all other materials (including but not limited to hazardous materials) owned or used by it on the Airport in accordance with all applicable federal, state, local and Airport statutes, regulations, rules and ordinances. No waste or disposable materials shall be released on the ground or in the storm sewer. Should such materials be spilled or escape from storage or in any way contaminate the Airport or property adjacent to the Airport through activities of the Tenant, the Tenant shall be responsible for the clean up, containment and otherwise abatement of such contamination at Tenant's sole cost and expense. Further, Tenant shall notify the Landlord and appropriate governmental agency of such occurrence immediately. Should the Tenant fail to do so, the Landlord may take any reasonable and appropriate action in the Tenant's stead. The cost of such remedial action by the Landlord shall be paid by the Tenant.

e. Snow: At its sole expense, the Tenant shall remove snow and ice from all paved areas of the Premises.

f. Pavement: At its sole expense, the Tenant shall repair and maintain all paved areas of the Premises and their subsurfaces in a safe and structurally sound condition.

12. Use. The Tenant shall conduct on the Premises only the business for which it is leased and shall not use the Premises for any illegal purpose.

13. Liens and Insolvency. The Tenant shall keep the Premises free from any liens arising from work performed thereon or materials furnished thereto. If the Tenant becomes insolvent or voluntarily or involuntarily bankrupt, or if a receiver, trustee or other liquidator is appointed for the Tenant, the Landlord may cancel this Lease by appropriate legal means.

14. Rent After Default. If any or all of the Premises is sublet, sold or otherwise occupied by anyone other than the Tenant, after any default in the payment of rent by the Tenant, the Landlord may collect rent or other periodic payments from subtenants, purchasers or other occupants, but such collection and/or the Landlord's agreement to a third person's use or occupancy of the Premises shall not be deemed a waiver of any term or condition of this Lease.

15. Access. The Tenant shall allow the Landlord and/or its agent's access to the Premises during business hours upon 24 hours' notice for the purpose of inspection. In case of emergency the Landlord may have access at any time. Nothing herein shall be construed to limit the authority of Adams County building inspectors under existing law.

16. Liability Insurance. The Tenant shall maintain liability insurance by a company or companies acceptable to the Landlord insuring the Tenant against claims based on personal injury or death and damage or destruction of property that arise from the intentional or negligent acts of the Tenant, its agents, employees or servants or by means of any form of transportation, including owned, non-owned and hired automobiles, to the extent required by Exhibit "B" attached hereto and incorporated herein by this reference. The Landlord shall be included on all such policies as a named insured, and a true copy of those policies shall be furnished to the Landlord. Every such policy shall provide that it cannot be canceled without at least thirty (30) days prior written notice to the Landlord.

17. Accidents - Indemnity. The Tenant shall bear the risk of damage or destruction of all personal property on the Premises. The Landlord shall not be liable for any damage to persons or property on the Premises sustained by the Tenant or others, whether caused by defects now on the Premises or due to conditions hereafter arising in any building or other improvement or appurtenance thereon, including but not limited to lack of repair, fire, bursting or leaking water, gas, sewer or steam pipes, or the acts or omissions of the Tenant, any subtenant, purchaser or other occupant of the Premises or any invitee on the Premises, or the happening of any accident from any cause in or about any improvement on the Premises.

18. Fire Insurance. At its sole expense, at all times after commencement of construction on the Premises, the Tenant shall carry fire and extended coverage hazard insurance (including vandalism and malicious mischief protection) on all buildings commenced on the Premises, the policy or policies of which shall name the Landlord as an additional insured to the extent of the Landlord's interest in such buildings. A true copy of all such policies shall be furnished to the Landlord. Every such policy shall provide that it cannot be canceled without at least thirty (30) days prior written notice to the Landlord, no such policy shall contain a deductible clause greater than \$1,000 per claim. In the event of loss, the Tenant shall pay such deductible amount.

19. Casualty Loss – Application of Proceeds. In the event of any casualty loss to any improvement covered by insurance, the proceeds of such insurance shall be used to repair or replace such improvement and return the Premises to its original condition. The proceeds shall be first applied to the cost of clean-up, to the extent required by the Landlord. Upon the sublease or sale of any part of the Premises, the Tenant shall require the subtenant or purchaser to obtain hazard insurance at the subtenant's or purchaser's sole expense containing the same provisions as those set forth in paragraph 16, above, and including the Landlord and the Tenant as additional named insured, as their interests may appear.

20. Condemnation. The Landlord may condemn the Premises if it desires to use the Premises for other airport purposes. If it does so, it shall compensate the Tenant for the value of the remaining original lease term, if the condemnation occurs during that term, and for the value of the remaining then-current lease term extension, if the condemnation occurs during a lease term extension. Landlord shall compensate the Tenant for the remaining life of all improvements the Tenant has constructed on the Premises based on a 30-year life for each such improvement. If the Landlord and Tenant disagree as to the value of the remaining life of the Lease or an extension thereof or any improvement Tenant has constructed on the Premises, each shall retain an appraiser to value those items. If those appraisers are unable to agree on such valuations, they shall appoint a third appraiser, and that appraiser's valuations shall be conclusive and binding on both parties. If the Tenant has already given written notice of lease termination as provided in paragraph 3 above, at the time it receives the Landlord's notice of condemnation, the Premises shall be surrendered to the Landlord at the end of the then-current lease term without regard to the provisions of this paragraph.

21. Tenant's Right of Cancellation. In addition to any other remedies available to the Tenant, this Lease shall be subject to cancellation by the Tenant if any one or more of the following events occur:

a. Abandonment: If the Airport is permanently abandoned as an operating airport by the Landlord, the Tenant shall be entitled to cancel this Lease, remove all improvements it constructed on the Premises and have returned to it all prepaid rents.

b. Supervening Event: If any act of God prevents the Tenant from using the Premises for the purpose provided in paragraph 2 above, for six consecutive months, it may cancel this Lease. However, neither party shall have any liability to the other for the results of any such act.

c. Landlord's Breach of Lease: Tenant may cancel this Lease if the Landlord breaches any of its obligations under this Lease and fails to remedy such breach within sixty (60) calendar days after the Tenant's delivery of written notice of the breach to the Landlord.

22. Removal of Improvements. Upon termination of this Lease, at its sole cost, the Tenant shall remove any improvements made to the Premises, except for any pavement that may exist on the Premises at the time of termination.

23. Notices. All notices and consents required or permitted hereunder shall be deemed delivered when personally delivered, or when delivered by courier or facsimile or other electronic means, or three business days after being deposited in the United States mail, sealed and postage prepaid, certified and return receipt requested, addressed, as appropriate, to:

LANDLORD

Airport Director
Colorado Air and Space Port
5200 Front Range Parkway
Watkins, Colorado 80137

TENANT

HG Hangar One, LLC
20434 E Layton
Aurora, Colorado 80015

or to such other addresses as the parties may designate to each other in writing.

24. Governmental Fees. All fees due under applicable law to any city, county or state on account of any inspection made of the Premises shall be paid by the Tenant.

25. Signs. Any sign or symbol placed anywhere on the Premises shall first be approved by the Landlord. Any sign or symbol not so approved shall be immediately removed upon notice by the Landlord at the Tenant's sole expense. The Tenant's failure to promptly remove such sign or symbol shall entitle the Landlord to remove it at the Tenant's sole expense. Any sign or symbol approved by the Landlord for display on the Premises shall be removed at Tenant's expense at the termination of the Lease. In addition to being authorized by the Landlord, all signs displayed on the Premises shall conform to all applicable laws and regulations, and the Tenant shall pay all fees associated therewith. Tenant will mount a sign on each end of the hangar containing the hangar number, street address and language similar to a "no parking" sign.

26. Mailboxes. Mailboxes as approved by the United States Postal Service shall be installed at Tenant's expense. The location of mailboxes shall be approved in writing by the Landlord prior to placement on airport property.

27. Default and Re-Entry. Unless resulting from events described in paragraphs 18 or 19, above, the Tenant's violation of any of its obligations hereunder other than failure to pay rent shall entitle the Landlord to terminate this Lease upon thirty (30) days prior written notice. If the default or violation is cured within the said thirty (30)-day period, or if the violation is not capable of complete cure within the said period but cure is commenced within the period, the Landlord shall have no right of termination. However, if the default or violation is not cured, or cure of the violation is not begun, within the thirty (30)-day period, the Lease shall be deemed terminated at the end of that period without further action by the Landlord. Upon termination the Tenant shall be entitled to recover any prepaid rent and other fees, and the Landlord shall be entitled to possession of the Premises. In the event Tenant fails to pay rent within ten days of the

due date, Landlord may terminate this Lease immediately. If the Tenant fails to vacate the Premises, the Landlord shall have the right to evict the Tenant pursuant to Colorado law.

28. Non-waiver of Breach. The failure of either party to insist on strict compliance with any term or condition of this Lease shall not be deemed a waiver or relinquishment of the right to require strict compliance with such term or condition, or any other term or condition of this Lease in the future.

29. Holding Over. If the Tenant holds over after the end of the original term of this Lease or any extended term hereof, the Tenant shall pay the Landlord rent in an amount equal to 150 % of the Lease rate then in effect. Such holding over shall not constitute renewal of this Lease but shall be a month-to-month tenancy only, with all other terms and conditions of this Lease applicable.

30. Landlord's Warranties. The Landlord warrants that it is the owner of the Premises free and clear of all liens and encumbrances, that it has the authority to enter into this Lease and that the Premises is free from contamination by hazardous substances.

31. Hazardous Substances. The Tenant shall not permit hazardous substances upon the Premises except those that are normally associated with aeronautical-like purposes.

32. Motor Vehicle Parking. Motor vehicles shall be parked only within designated parking areas.

33. Aircraft Parking. Aircraft shall not be parked on taxiways, aprons or other pavement on the Premises in a manner that unduly obstructs access to adjacent hangars. Only airworthy aircraft shall be parked on the Premises outside the hangar.

34. Jurisdiction and Venue. The parties acknowledge that this Lease is entered into in the State of Colorado, and they agree that the courts of Adams County, Colorado, shall have jurisdiction and be the sole venue to resolve all disputes between the parties arising from this Lease or concerning the Premises.

35. Indemnification. The Tenant shall bear the entire loss or damage to all improvements to the Premises, whether by windstorm, fire, earthquake, snow, water run-off or any other cause whatsoever. The Tenant hereby indemnifies the Landlord against and holds it harmless from all demands, claims, costs, causes of action and judgments, as well as from all costs of investigating and defending the same, arising from or growing out of the acts or omissions of the Tenant, its contractors, agents, members, stockholders, employees, invitees, servants, subtenants, successors or assigns in connection with their occupancy of any portion of Colorado Air and Space Port, including the Premises.

IN WITNESS WHEREOF the parties have executed this Lease this _____ day
of _____ 2019.

TENANT:

HG HANGAR ONE, LLC

By: Craig R. Rathbun
CRAIG R. RATHBUN

Date: 6-5-19

LANDLORD:

ATTEST:

ADAMS COUNTY
BOARD OF COUNTY COMMISSIONERS

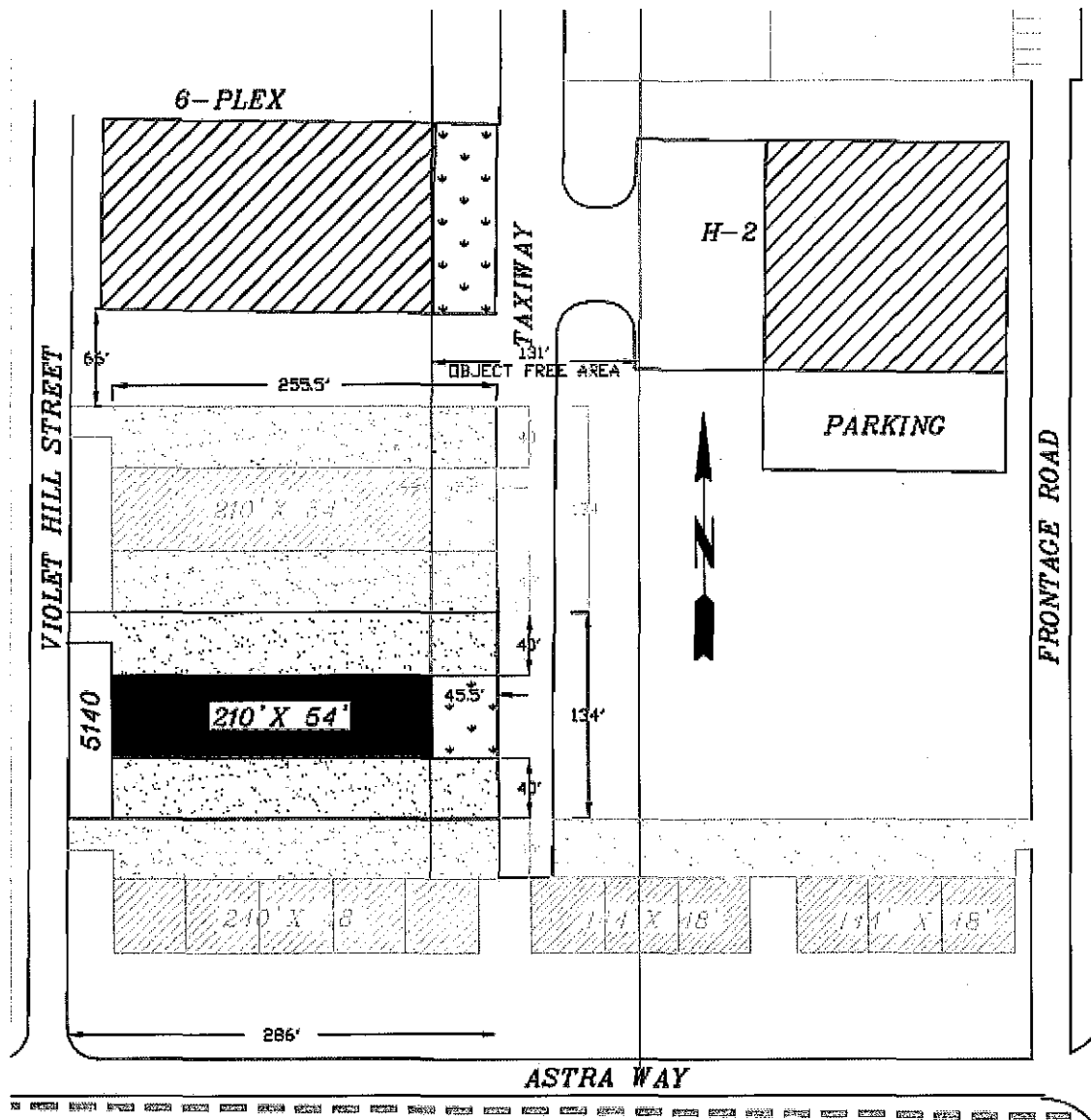
By: _____
Chair

By: _____
County Attorney's Office

Date: _____

Date: _____

EXHIBIT "A" Premises



ASTRA WAY

CRR

EXHIBIT "B"

Page 1 of 2

INSURANCE

The Tenant will be required to procure and maintain, at its own expense and without cost to the Landlord, the kinds and minimum amounts of insurance as follows:

I. Comprehensive General Liability

In the amount of not less than one million dollars combined single limit.
Coverage to include:

- A. Premises
- B. Products/Completed Operations
- C. Broad Form Comprehensive, General Liability
- D. Colorado Air and Space Port and Adams County as Additional Insured

II. Comprehensive Automobile Liability

In the amount of not less than \$500,000 combined single limit for bodily injury and property damage.

III. Employers Liability, Worker's Compensation and Unemployment Insurance

The Tenant shall secure and maintain employer's liability, Workman's Compensation Insurance and Unemployment Insurance that will protect it against any and all claims resulting from injuries to and death of workmen engaged in work under this contract.

Certificate of Insurance

The Tenant shall not commence work under this contract until it has submitted to the landlord, and received approval thereof, certificates of insurance showing that it has complied with the foregoing insurance.

All referenced insurance policies and/or certificates of insurance shall be issued to include the Colorado Air and Space Port as an "additional insured". The name of the bid or project must appear on the certificate of insurance.

- 1. Underwriters shall have no right of recovery or subrogation against the Front Range Airport Authority; it being the intent of the parties that the insurance policies so affected shall protect both parties and be primary coverage for any and all losses covered by the described insurance.
- 2. The clause entitled "Other Insurance Provisions" contained in any policy including Colorado Air and Space Port as an additional named insured shall not apply to Colorado Air and Space Port.

EXHIBIT "B"

Page 2 of 2

3. The insurance companies issuing the policy or policies shall have no recourse against Colorado Air and Space Port for payment of any premiums due or for any assessments under any form or any policy.
4. Any and all deductibles contained in any insurance policy shall be assumed by and at the sole risk of the Tenant.

If any of the said policies shall be or at any time become unsatisfactory to the Landlord as to form or substance, or if a company issuing any such policy shall be or at any time become unsatisfactory to the Landlord, the Tenant shall promptly obtain a new policy, submit the same to the Landlord for approval and thereafter submit a certificate of insurance as herein above provided. Upon failure of the Tenant to furnish, deliver and maintain such insurance as provided herein, this contract, at the election of the Landlord, may be immediately declared suspended, discontinued or terminated after 60 days written notice to the Tenant. Failure of the Tenant in obtaining and/or maintaining any required insurance shall not relieve the Tenant from any liability under the contract, nor shall the insurance requirements be construed to conflict with the obligations of the Tenant concerning indemnification.

**PARTIAL TERMINATION AND RELEASE OF MODULE 2 MASTER (PREMISES) LEASE
AGREEMENT AND FIRST AMENDMENT**

37600 Cessna Way, LLC (a wholly owned subsidiary of Citywide Banks) is the current tenant and holder of the Module 2 Master (Premises) Lease at Colorado Air and Space Port (formerly Front Range Airport), which was recorded in the real property records of Adams County, Colorado, at Reception No. 20050922001039460, as amended by the First Amendment to Front Range Airport Module #2 Master (Premise) Lease dated July 12, 2016, Resolution No. 2016-374 (The Lease and the First Amendment to be referred to collectively as the "Lease"). The current owner of the property is Adams County, Colorado, on behalf of Colorado Air and Space Port.

37600 Cessna Way, LLC, has received a partial buyout of the Lease for two parcels of the Premises known as 5140 and 5120 Violet Hill Street, Watkins, Colorado 80137. By means of this instrument 37600 Cessna Way, LLC, acknowledges that the Lease is terminated and released only for the properties known as 5140 and 5120 Violet Hill Street, Watkins, CO 80137, with receipt by 37600 Cessna Way, LLC, of the payment in the amount of \$50,000.00.

Note to Clerk and Recorder: Index this document with 37600 Cessna Way, LLC as the Grantor, and with Adams County as the Grantee.

NOW THEREFORE, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the undersigned hereby terminates and releases the portion of the Lease described above from the remainder of the Leased Premises, so long as final payment is made as herein agreed.

Dated this 3rd day of June, 2019.

Adams County, Colorado Air and Space Port

By: D. E. Ruspe
Title: Director

37600 Cessna Way, LLC

By: [Signature]
Title: Manager

HG Hangar One, LLC

By: [Signature]
Title: MANAGER

37600 Cessna Way, LLC

By: [Signature]
Title: MANAGER



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 18, 2019
SUBJECT: State Grant Funded Agreement for Jail Based Behavioral Services
FROM: Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Benjamin Dahlman, Finance Director Kim Roland, Procurement and Contracts Manager
AGENCY/DEPARTMENT: Sheriff's Office
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves Amendment Six to the agreement between Adams County and Community Reach Center for Jail Based Behavioral Services at the Adams County Detention Facility.

BACKGROUND:

In 2013, the Adams County Sheriff's Office applied for and received a Jail Based Behavioral Services (JBBS) grant from the State of Colorado Department of Human Services, Office of Behavioral Health (OBH), to provide therapeutic interventions to treat alcoholism, illicit drug use disorders as well as mental health illnesses related to these addictions at the Adams County Detention Facility.

The State of Colorado approved Community Reach Center as a designated provider for the specific treatment services described in the grant. OBH recently approved the sixth extension of the grant for one additional year in the amount of \$234,814.00 to continue funding these mental health services at the Adams County Detention Facility. Upon completion of all performance measures, Adams County will retain the performance incentive provided by OBH in the amount of \$26,090.00, bringing the total possible reimbursed funding to \$260,904.00.

The Sheriff's Office recommends renewing the agreement between Adams County and Community Reach Center for one additional year in the not to exceed amount of \$260,904.00 (which includes the performance incentive).

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Sheriff's Office

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

Fund: 01**Cost Center:** 2071/2070

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:	5590		260,904
Total Revenues:			<u>260,904</u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:	7680		260,904
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>260,904</u>

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☒ YES ☐ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMENDMENT SIX TO THE AGREEMENT BETWEEN
ADAMS COUNTY AND COMMUNITY REACH CENTER FOR JAIL BASED
BEHAVIORAL SERVICES AT THE ADAMS COUNTY DETENTION FACILITY

WHEREAS, on July 1, 2013, Adams County entered into an agreement with Community Reach Center for jail based behavioral services at the Adams County Detention Facility, funded by a Jail Based Behavioral Services (JBBS) grant from the State of Colorado; and,

WHEREAS, the Sheriff's Office recommends renewing the agreement with Community Reach Center based on ongoing grant funding; and,

WHEREAS, Community Reach Center agrees to provide said Jail Based Behavioral Services in the not to exceed amount of \$260,904.00.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment Six to the agreement between Adams County and Community Reach Center for Jail Based Behavioral Services, is hereby approved.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign said Amendment Six on behalf of Adams County, after negotiation and approval as to form is completed by the County Attorney's Office.



**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT**

**CASE NO.: PRC2018-00019
CASE NAME: INNOVATIVE SOLAR**

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**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT
STAFF REPORT**

Board of County Commissioners

June 18, 2019

CASE No.: PRC2018-00019	CASE NAME: Innovative Solar
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Owner's Name:	Prairie Grass, LLC
Applicant's Name:	Innovative Solar 320, LLC
Applicant's Address:	1095 Hendersonville Road, Asheville, NC 28803
Location of Requests:	Southwest corner of the intersection of U.S. Hwy 36 and Penrith Road
Nature of Requests:	1) A conditional use permit to allow a solar energy facility in the Agricultural-3 (A-3) zone district; 2) A waiver from County drainage standards; 3) A conditional use permit to allow a utility substation in the Agricultural-3 zone district
Zone Districts:	Agriculture-3 (A-3)
Comprehensive Plan:	Mixed-Use Employment
Site Size:	Approximately 234 acres
Proposed Uses:	Solar Energy System, Utility Substation
Existing Use:	Vacant
Hearing Date(s):	PC: May 9, 2019 / 6:00 p.m. BOCC: June 18, 2018 / 9:30 a.m.
Report Date:	May 10, 2019
Case Manager:	Greg Barnes 
PC Recommendation:	APPROVAL with 8 Findings-of-Fact, 7 Conditions, and 1 note
Staff Recommendation:	APPROVAL with 8 Findings-of-Fact, 6 Conditions, and 1 note

SUMMARY OF APPLICATION

Background

Innovative Solar 320, LLC, the applicant, is requesting two conditional use permits (CUP) to allow a solar energy facility and a utility substation on the subject site (See Exhibit 3.2). The proposed solar garden facility will produce renewable energy, which is intended to be sold to an

energy provided. Colorado law passed in 2002 (Amendment 37 and SB 252) requires energy providers, such as Public Service Company of Colorado, to provide 30% renewable energy as part of its electric generation by the year 2020.

Site Characteristics:

The proposed solar facility would occupy approximately two-hundred thirty-four (234) acres on two parcels. Currently, both parcels are vacant. The associated utility substation would occupy an area of approximately 1,500 square feet on the northernmost parcel. The applicant is proposing to access the solar site from Penrith Road and the substation site from US Highway 36.

Development Standards and Regulations Requirements:

Per Section 3-07-01 of the Adams County Development Standards and Regulations, a conditional use permit is required for solar energy facilities and utility substations in the Agriculture-3 (A-3) zone district.

Solar Energy Facility

Section 4-03-03-02-10 of the County's Development Standards and Regulations outlines performance standards for solar energy facilities. These performance standards regulate height and setbacks for solar panels. The maximum permitted height for solar panels is 15 feet. According to the materials submitted with the application, the proposed solar panels will not exceed fifteen (15) feet in height. In addition, the panels will conform to all setback requirements of the A-3 zone district, which include a 50-foot front setback (along public roadways), a 10-foot side setback, a 20-foot rear setback, and a 120-foot section line setback. Section line setbacks may be waived by the Public Works Director, if the County's Transportation Plan identifies that it is unlikely to be developed with a roadway. The section line setback was evaluated during staff review and the required section line setback was waived by the Public Works Director. The site plan submitted with the application shows the panels conform to all other required setbacks.

Per Section 4-16-17 of the County's Development Standards, visual mitigation, such as fencing and landscaping, may be required; however, as the proposed solar panels are located approximately 50 feet from the closest right-of-way, and water availability for irrigation is limited on the site, the applicant is requesting to develop the site with limited landscaping. The landscaping provided for the solar facility will be placed on portions of the site that are directly adjacent to residential uses, and along the public right-of-way in front of the utility substation.

According to the site plan, a 6-8 foot tall chain-link fence is proposed along the perimeter of the facility. Landscaping is proposed with the development of the solar facility, as the applicant is proposing a 15-foot wide landscape buffer along areas adjacent to residential uses.

Utility Substation

Section 4-08-02-07-04 of the County's Development Standards and Regulations outlines performance standards for utility substations. These performance standards regulate screening of utility substations. The applicant has proposed a 15' wide landscape buffer and solid privacy fence along portions of the utility substation site that have visibility along public roadways and

adjoining properties; specifically, the northern boundary of the utility substation. The proposed landscape buffer and screen fencing conforms to the Type-C bufferyard requirement in Section 4-16-16-01 of the County's Development Standards. The southern, western, and eastern boundaries are adjacent to the proposed solar energy facility and do not require visual mitigation between the uses.

Waiver from Drainage Requirements

Sections 9-01-03-11 and Table 9.1 of the County's Development Standards and Regulations requires any development proposing installation of 3,000 square feet of new impervious surface to mitigate drainage impacts. The applicant is requesting a waiver from this requirement. Based on the scale of the project, the applicant believes that the disbursement of impervious surface over the 234-acre site will have negligible effects on drainage. In addition, the use of detention ponds may have negative effects on off-site drainage for this particular development by disrupting historic flow patterns. Staff has reviewed the drainage waiver and is supportive based on engineering criteria.

Future Land Use Designation/Goals of the Comp-Plan for the Area

The Future Land Use Designation on the property is Mixed-Use Employment. Per Chapter 5 of the Adams County Comprehensive Plan, the purpose of the Mixed-Use Employment future land use designation is to accommodate a range of employment uses with a mix of supporting uses to serve employment needs. In addition, Mixed-Used Employment areas are designated in locations that have transportation access and visibility, but are not suitable for residential development. Mixed-Use Employment areas may include offices, light manufacturing, distribution, indoor warehousing, clean industry, and supporting retail businesses. The applicant intends to develop the property with solar energy facilities which will support future commercial development in the area and thus supports the goals of the Comprehensive Plan. Additionally, solar facilities are non-permanent in nature, with their lifespan lasting approximately 20 years; so, while this area is not currently undergoing development, there may be a shift in how this area will be utilized in the future, with more employment-generating uses as envisioned in the Comprehensive Plan.

Surrounding Zoning Designations and Existing Use Activity:

Northwest A-3 Vacant	North A-3 Vacant	Northeast A-3 Vacant
West A-3 Vacant	Subject Property A-3 Vacant	East A-1/Bennett Single-Family Residential
Southwest A-3 Vacant	South Bennett Vacant	Southeast Bennett Vacant

Compatibility with the Surrounding Land Uses:

Most of the properties adjacent to the subject site are designated Agricultural-3 (A-3) and are currently vacant. There is a single-family home located east of the property. An undeveloped

subdivision within the Town of Bennett is also located to the east of the site. The subject request to allow a solar garden and associated substation will be compatible with the surrounding area and will not cause significant off-site impacts such as traffic, air pollution, noise, or light pollution. There will be initial construction traffic during installation of the solar panels; however, this traffic volume will be significantly reduced after construction completion.

PLANNING COMMISSION

The Planning Commission (PC) considered this case on May 9, 2019, and voted (6-0) to recommend approval of the request. The applicant spoke at the meeting and had no concerns with the staff report. The Planning Commission expressed some concern with the applicant's plan for barbed wire at the top of the security fence, despite the Town of Bennett's initial objection. In addition, the Planning Commission added a condition of approval to require the applicant to extend landscaping along the eastern and western sides of the utility substation. The property owner spoke during the public hearing in favor of the request.

After the Planning Commission hearing, the applicant resubmitted their landscape plan to reflect the changes recommended by the Planning Commission. As a result, staff is recommending that the Board of County Commissioners omit Condition #7.

Staff Recommendations:

Based upon the application, the criteria for approval of a conditional use permit, and a recent site visit, staff recommends approval of the request with 8 findings-of-fact, 6 conditions, and 1 note.

RECOMMENDED FINDINGS-OF-FACT:

1. The conditional use is permitted in the applicable zone district.
2. The conditional use is consistent with the purposes of these standards and regulations.
3. The conditional use will comply with the requirements of these standards and regulations, including but not limited to, all applicable performance standards.
4. The conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
5. The conditional use permit has addressed all off-site impacts.
6. The site is suitable for the proposed conditional use including adequate usable space, adequate access, and absence of environmental constraints.
7. The site plan for the proposed conditional use will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
8. Sewer, water, storm water drainage, fire protection, police protection, and roads are to be available and adequate to serve the needs of the conditional use as designed and proposed.

RECOMMENDED CONDITIONS OF APPROVAL:

1. This conditional use permits shall expire on June 18, 2041 (22 years).

2. The applicant shall construct the site in conformance with the approved site and landscape plans illustrated in Exhibit 3.2.
3. A building permit shall be required for any fence associated with the site.
4. The solar panels on-site shall be removed when the conditional use permit expires, unless an extension or renewal is granted.
5. The applicant shall comply with all of the requirements of the Colorado Division of Parks & Wildlife provided in their letter dated October 22, 2018, including surveying the site for nesting birds, swift foxes, prairie dogs, and burrowing owls if installation of panels occurs between March 15th and July 31st of the year.
6. The applicant shall comply with all of the requirements of the Tri-County Health Department provided in their letter dated October 23, 2018, including the use of portable toilets and trash enclosures during construction.

Recommended Note to the applicant:

1. This conditional use permit shall expire within one year of approval (June 18, 2020), if a building permit is not obtained for the development.

PUBLIC COMMENTS

Notices Sent	Number of Responses
16	0

Property owners within 2,000 feet of the site were notified of the subject request. As of writing this report, staff has not received any comments from the public.

REFERRAL AGENCY COMMENTS

Staff sent the request to various referral agencies and there were no objections. Several agencies recommended best management practices, such as installation of temporary facilities for sanitation during panel installation, weed management practices, and surveying for wildlife at particular times of year. The Colorado Division of Wildlife requested a survey of the property for prairie dogs, burrowing owls, and swift foxes, if installation occurs between March 15th and July 31st. The Bennett Fire District requested that the applicant provide a vegetation management plan demonstrating how development of the site will not increase the threat of wildfire. Staff has recommended several conditions of approval to ensure compliance with these comments.

Responding with Concerns:

Colorado Division of Wildlife
Tri-County Health Department

Responding without Concerns:

Arapahoe County
Town of Bennett
Colorado Division of Water Resources
Colorado Geological Survey
Xcel Energy

Notified but not Responding / Considered a Favorable Response:

Adams County Sheriff

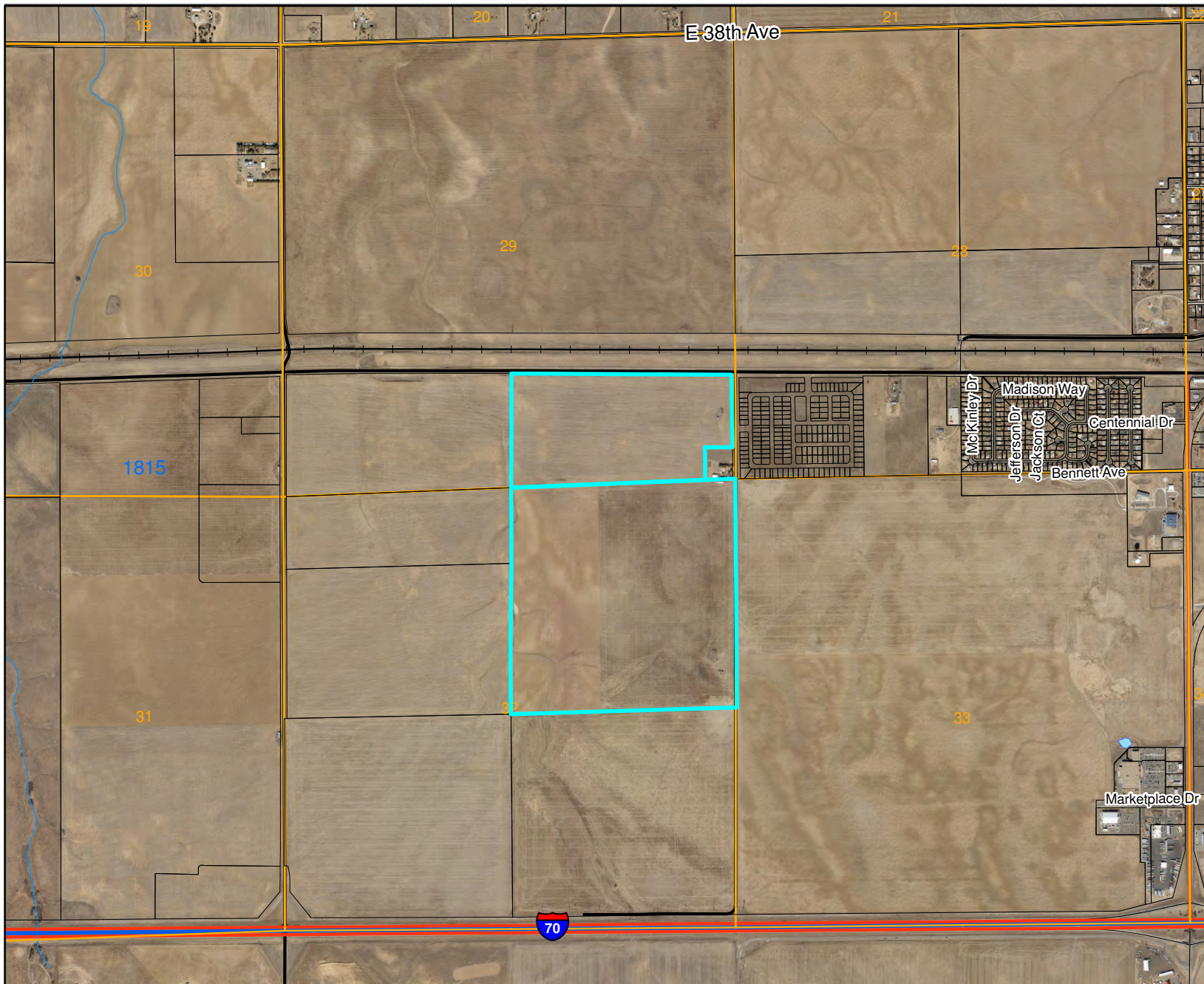
Century Link

Colorado Mining Reclamation & Safety

Comcast

US Post Office

US Environmental Protection Agency



Legend

- Railroad
- Major Water
- Zoning Line
- Sections

Innovative Solar
PRC2018-00019

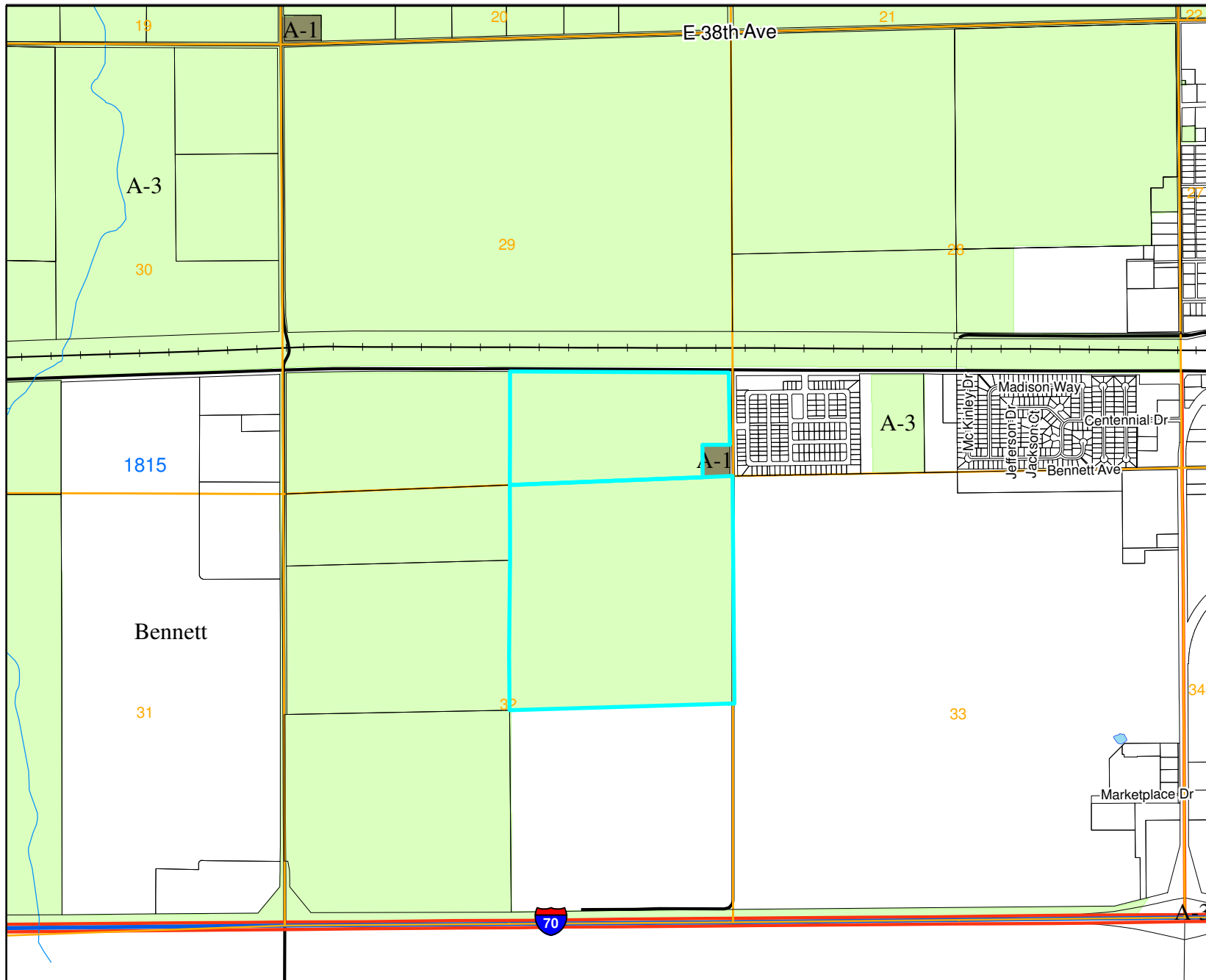


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ADAMS COUNTY
COLORADO

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responsibility for its accuracy



Legend

- Railroad
- Major Water
- Zoning Line
- Sections

Zoning Districts

- A-1
- A-2
- A-3
- R-E
- R-1-A
- R-1-C
- R-2
- R-3
- R-4
- M-H
- C-0
- C-1
- C-2
- C-3
- C-4
- C-5
- I-1
- I-2
- I-3
- CO
- PL
- AV
- DIA
- P-U-D
- P-U-D(P)

Innovative Solar
PRC2018-00019

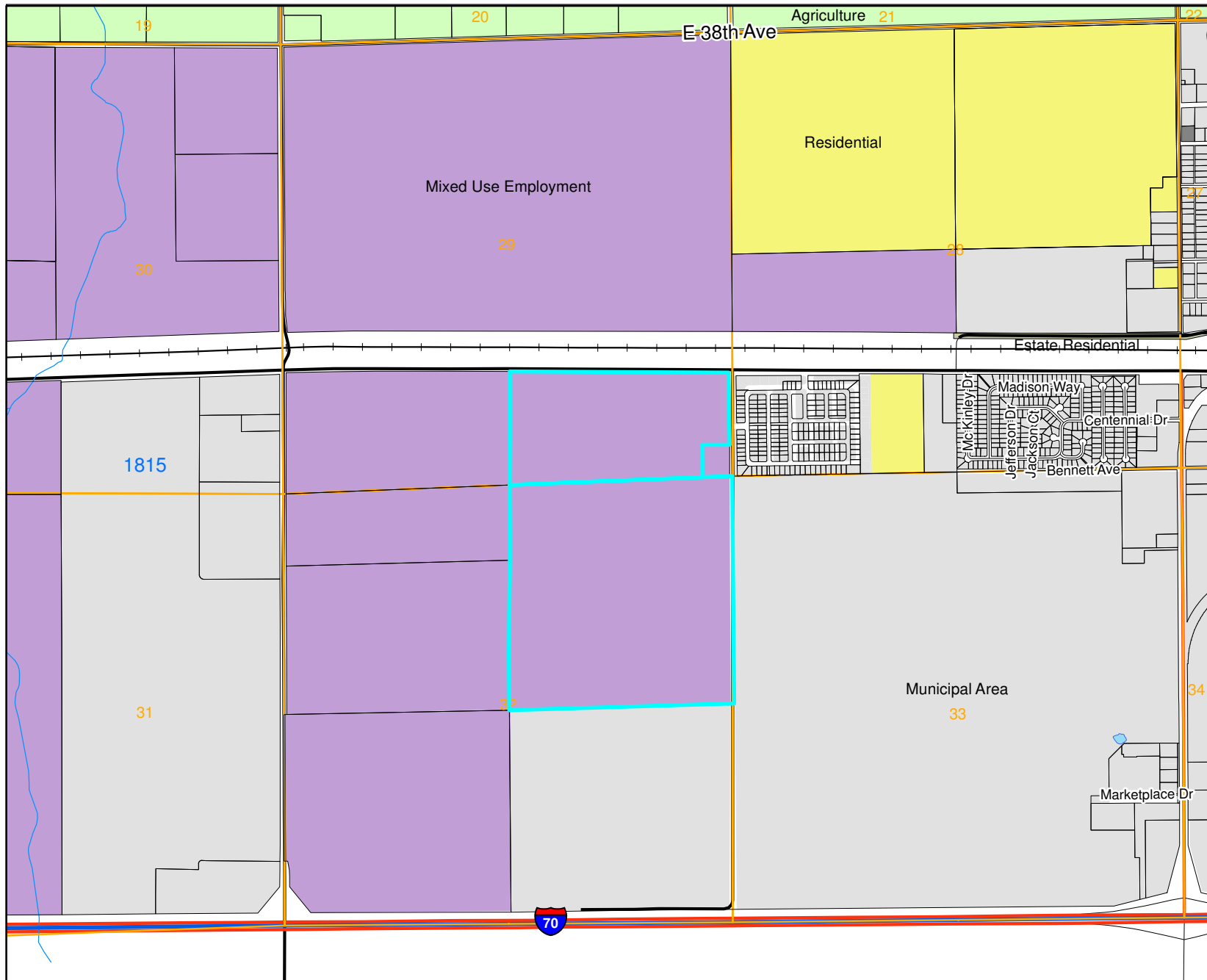


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ADAMS COUNTY
COLORADO

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Legend

- Railroad
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- Sections

Innovative Solar
PRC2018-00019



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Explanation of Project - Innovative Solar 320, LLC

September 13, 2018

Innovative Solar 320, LLC ("IS 320") is seeking two Conditional Use Permits to build a 30 MW_{AC} solar farm and a contiguous electrical sub-station (together, the "Project") on approximately 216 acres of land located at the southwest corner of the intersection of E. Colfax Avenue and N. Penrith Road. The property is shown on the accompanying Site Plan.

The land on which the Project would be constructed has been farmed and is zoned as Agricultural-3 (A-3). It is owned by Prairie Grass, LLC and is further identified as Adams County parcel numbers: 0181500000357 (upper parcel, adjacent to E. Colfax Ave.) and 0181500000102 (lower parcel). The proposed solar farm would be a major energy facility under the Adams County Land Use Code, which requires a Conditional Use Permit in all Agricultural Zones, including the A-3 zone.

The solar farm would consist of approximately 111,000 weatherproof solar voltaic modules, or panels, encased in metal frames. The frames are mounted on tracking systems which will be affixed to galvanized steel posts/piers solidly driven into the ground, with the final design to be determined by existing subsurface soil conditions and geotechnical studies. Foundational support will meet required snow and wind loads.

The solar panels convert sunlight directly into electrical energy. The motorized tracking systems automatically control the orientation of the panels, allowing the panels to track the movement of the sun throughout the day to optimize the electrical energy generated by the panels. The panels would face east in the morning, transition to a horizontal position at mid-day when the sun is directly overhead, and then gradually change to face west later in the afternoon as the sun descends toward the western horizon. The maximum height the panels will reach as they rotate through the day would be less than 15 feet.

The facility will produce power during daylight hours all year. Maximum power production will be in summer months when demand is at its peak. It will have negligible audible and aesthetic impacts on the surrounding area due to the design of the system and the nature of solar photovoltaic technology.

The solar panels generate direct-current (DC) electricity, which would be carried by underground cables to inverter units placed throughout the interior of the solar farm. The inverters are specialized electrical equipment mounted on small concrete pads (about 5 feet by 8 feet) which convert the DC electricity to alternating current (AC) electricity, which will be fed into an electrical substation in a switchyard that would be built on site as part of the Project. The switchyard is identified as "Proposed Substation Area" in the northwest corner of the Site Plan. It will have a gravel surface, with concrete pads under the transformers. They raise the voltage of the electricity so it can be fed into the existing high-voltage (115 kV) transmission lines owned by the utility company (Intermountain Regional Electrical Authority – "IREA") outside the west side of the Project site. We are in the process of obtaining a long-term contract to sell the electricity generated by the solar farm to IREA which, in turn, will sell the power to its customers. The solar panels, inverters and other equipment will all be made with high-quality materials and will be sealed and weatherproof. The service life of the solar panels is expected to be approximately 35 years.

The main access to the Project will be off of N. Penrith Road, 250 feet south of the northeast corner of the site. Additionally, the utility company is requesting an access point directly into the substation area. That access would be off of E. Colfax Ave. at the northwest corner of the site and would not be used until after construction has been completed and the solar farm is operational. Importantly, it would provide quick, direct emergency access by the Fire Department. All access roads will be constructed to standards required by the County and/or Bennett-Watkins Fire Rescue District, including width and appropriate base and surface materials. If allowed, permeable material will be used for the access roads to help reduce stormwater runoff.

Two single-story control buildings, one for IREA and one for IS 320, each measuring about 16' x 24', will be located in the switchyard/sub-station area to house communications equipment, control facilities and computers needed for proper monitoring and operation of the solar farm, including emergency disconnect functions to ensure safety. Each building would most likely be a permanent modular structure built off-site, delivered to the switchyard and placed on a concrete pad foundation. The buildings and foundations will comply with all applicable construction and electrical codes. They will be unoccupied except for brief site visits by technicians, typically once or twice a month for a few hours at most. The control buildings will not be connected to water or wastewater systems.

After the solar farm is operational, it will be unstaffed on a day-to-day basis. The only visitors to the site at any given time might be one or two technicians checking the monitoring and control systems or perhaps a few workers performing grounds maintenance and occasionally cleaning the solar panels. Because there will be no daily staffing and so few occasional visitors to the site, it will not be necessary to have parking lots to serve the Project.

The perimeter of the property would be surrounded with a chain-link security fence that would be six or seven feet tall with three strands of barbed at the top. The fence would have locked gates in specified access locations to prevent unauthorized access into the site. We will follow the direction and preferences of the Bennett-Watkins Fire Rescue District in providing measures to make the gates accessible to the Fire Department and other emergency responders. There may be a single downward-facing, shielded light fixture at each security gate to provide illumination in event of a need for emergency access. Such lights would each be controlled by a motion detector and photocell so they would be illuminated only when needed for access purposes at night. They will be aimed and shielded so as to avoid any light trespass onto adjacent roads and properties. Shielded lights controlled by photo cells and motion detectors will likely be mounted at the control buildings, substation and breaker station for security purposes. They will not normally be illuminated. A 10-foot setback extending around the site on the outside of the security fence will provide space for any landscaping / vegetative screening the County may require.

The construction phase of the Project will last approximately 12 – 15 months and will provide an economic boost to the local economy from the payment of wages to construction workers. As many local workers will be hired as possible, and they will presumably spend their earnings locally. If some specially-trained workers must be brought in from outside of the area, their spending on food and lodging will benefit local businesses. Over the longer term, the County, School District, Fire Protection District and other special districts will all benefit from the increased taxes that will be derived from the Project.



ELEVATION VIEW OF SUBSTATION AREA ALONG E. COLFAX AVE.

SCALE: NOT TO SCALE NOT FOR CONSTRUCTION

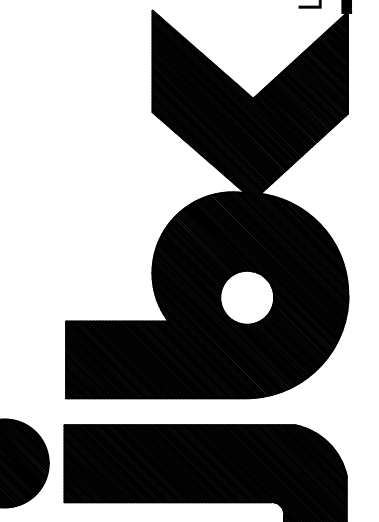
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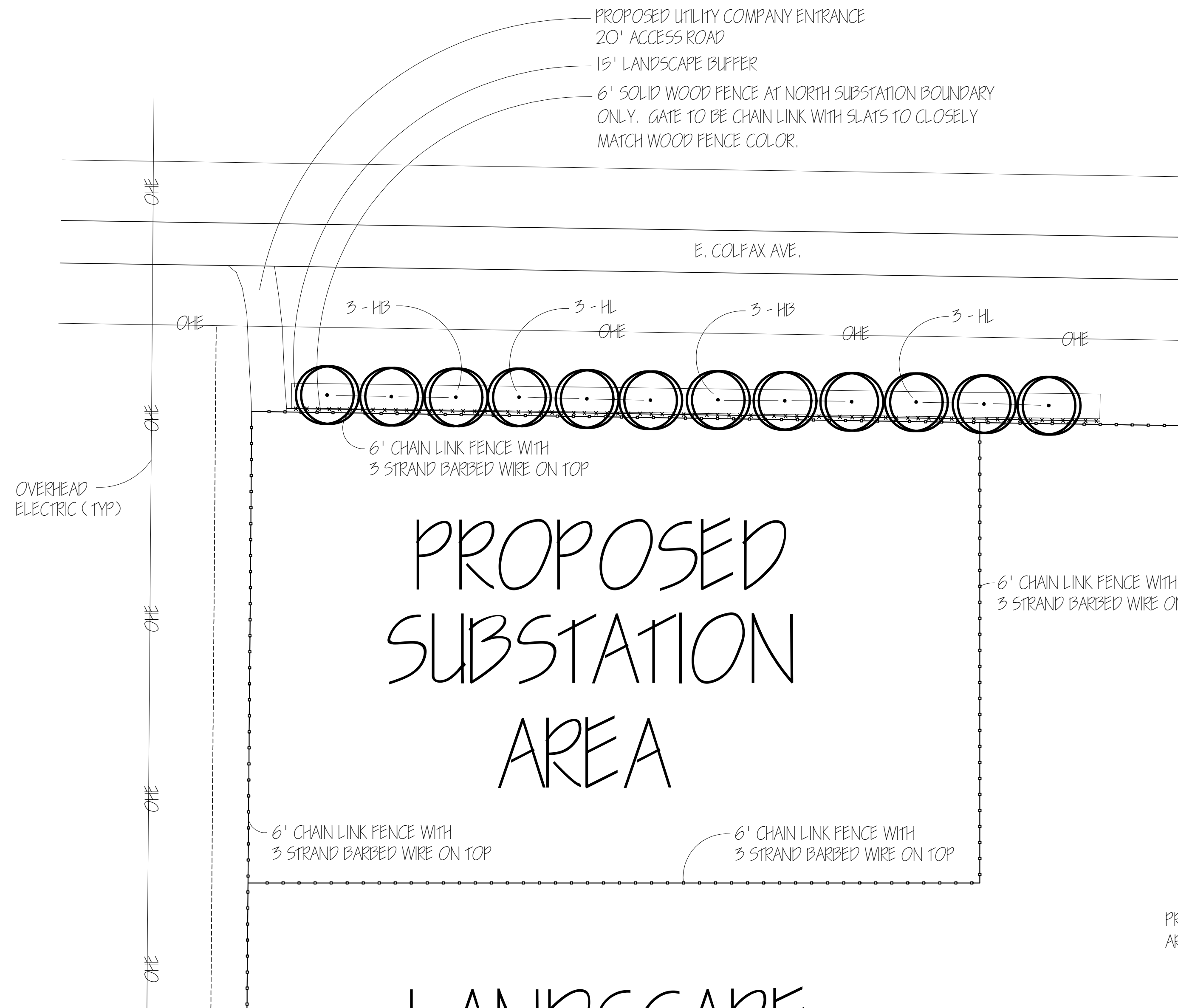


INNOVATIVE SOLAR 320, LLC FENCE ELEVATION
30 MW SOLAR FARM PROJECT
E. COLFAX AVENUE & N. PENRITH ROAD
BENNETT, CO 80102 (ADAMS COUNTY, COLORADO)

SHEET: 3
3 OF 3
DATE: 12/17/2018
DRAWN: D. Kostic
CHECKED:
REVISIONS:

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303-368-1509 FAX
jbkllc@att.net
www.jbklandscape.com
JBK LANDSCAPE, LLC.
1250 S. CHAMBERS RD. AURORA, COLORADO 80017
LANDSCAPE ARCHITECTURE * SITE DESIGN * CONSTRUCTION * MAINTENANCE





PROPOSED SUBSTATION AREA

LANDSCAPE AREA 'A'

0 50 100
SCALE: 1"=50'-0"

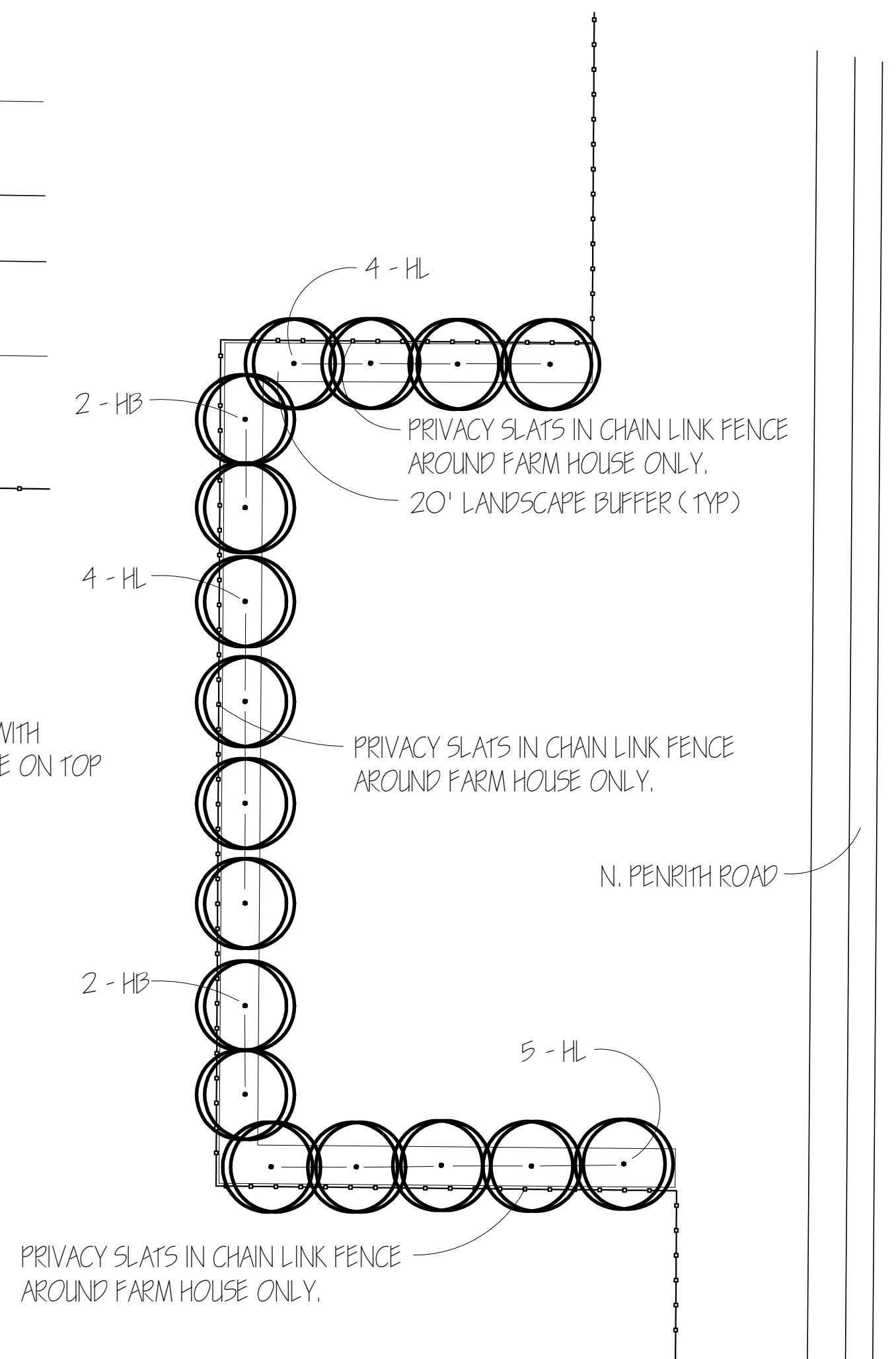
PLANT LIST

TREES

HB	HACKBERRY, WESTERN	<i>Celtis occidentalis</i>	2" CAL.	10
HL	HONEYLOCUST, SHADEMASTER	<i>Gleditsia triacanthos inermis</i> 'Shademaster'	2" CAL.	19

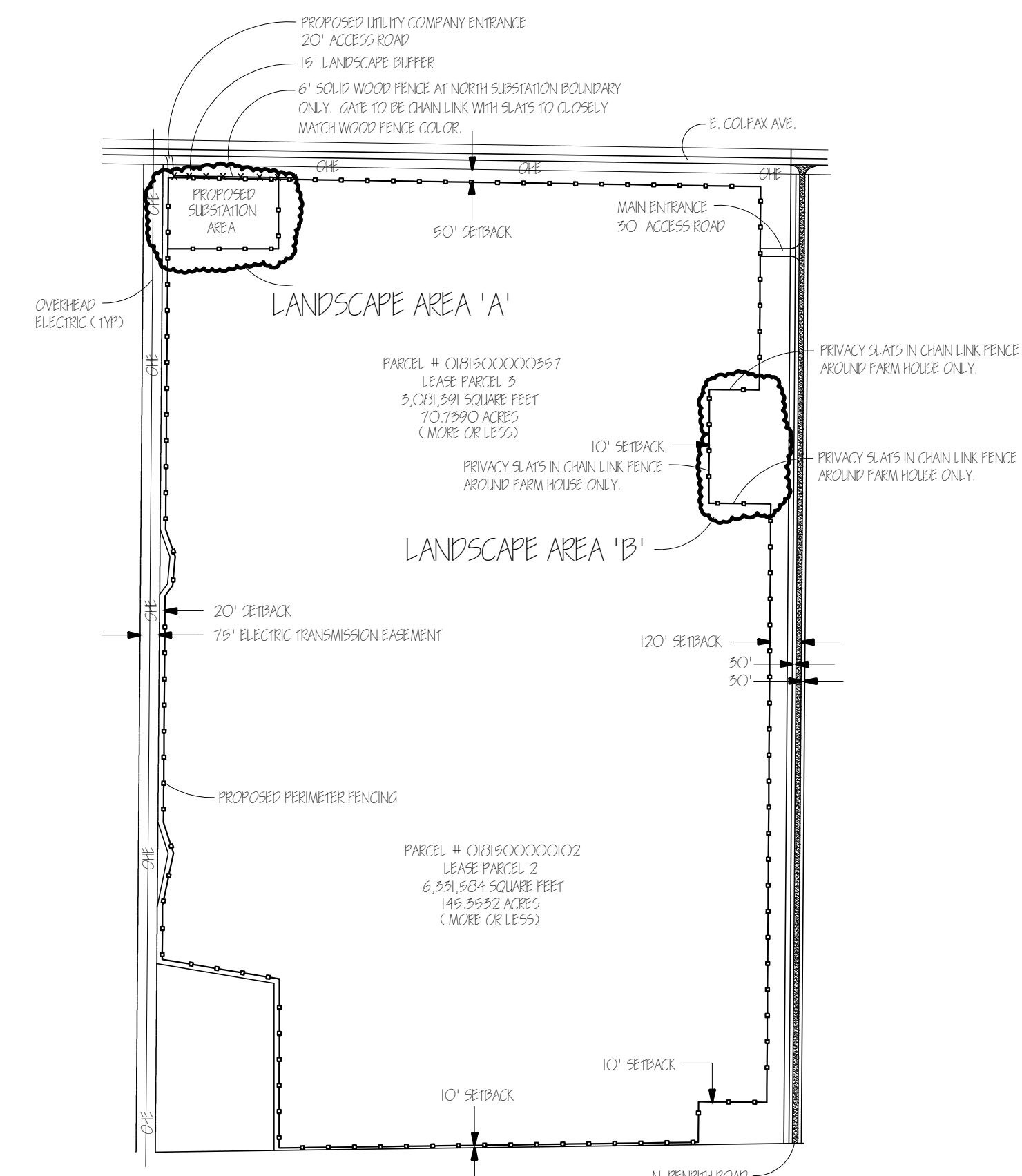
LANDSCAPE NOTES:

- 1.) ALL TREES TO HAVE A WARRANTY OF 100% FOR 1 FULL YEAR. OWNER MUST MAINTAIN 50% SURVIVABILITY AFTER THE 1 YEAR PERIOD.
- 2.) NON-LIVING GROUNDCOVERS, SUCH AS ROCK OR WOOD MULCH MUST BE 100% INTACT AFTER ONE YEAR AND 80% INTACT THEREAFTER. WOOD MULCH AROUND ALL TREES.
- 3.) ALL NEWLY PLANTED TREES TO HAVE 4 AGRIFORM FERTILIZER TABLETS AT TIME OF PLANTING. SEE MANUFACTURERS SPECIFICATIONS FOR PLANTING.



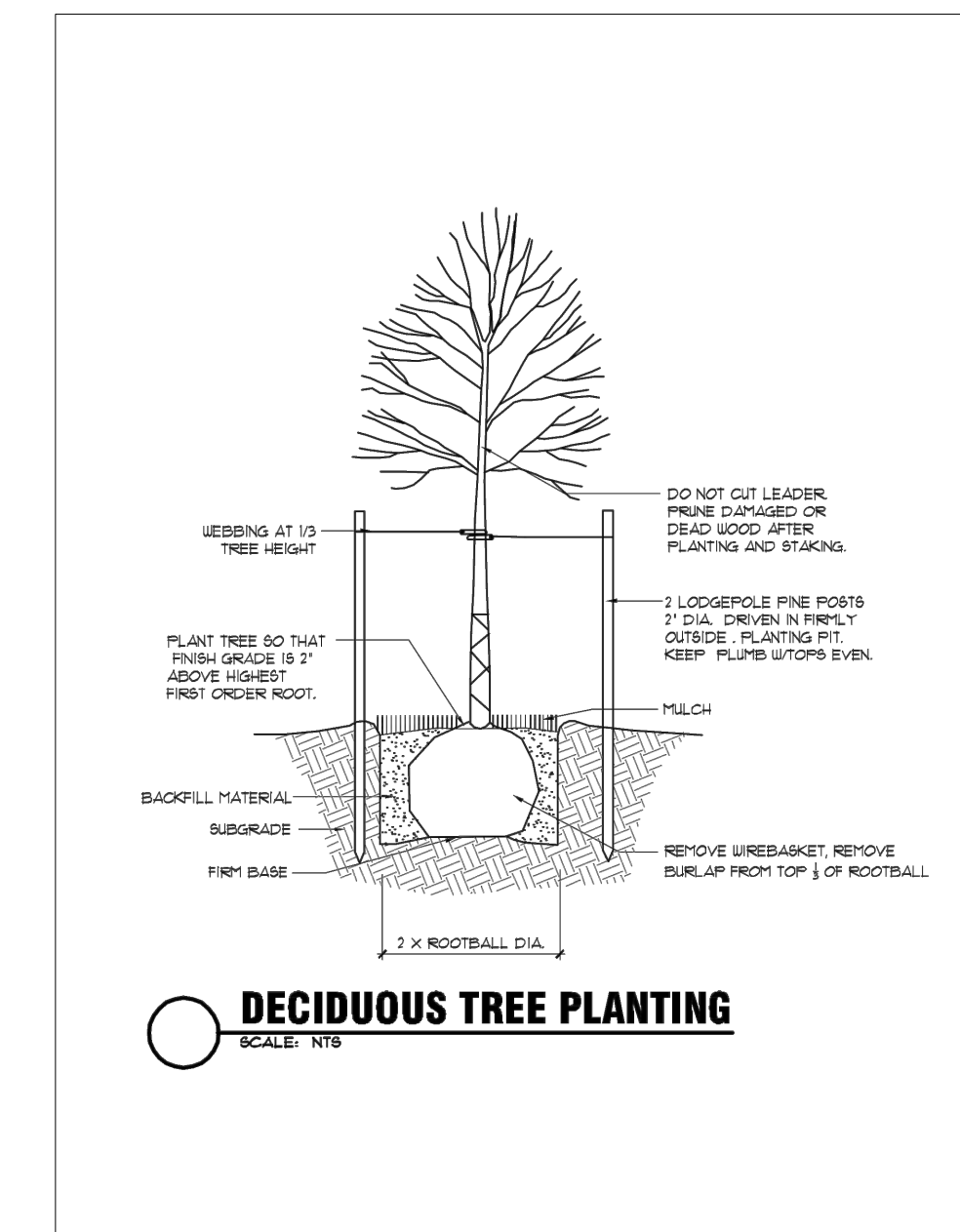
LANDSCAPE AREA 'B'

0 50 100
SCALE: 1"=50'-0"

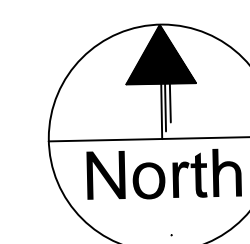


ENTIRE SITE

0 400 800
SCALE: 1"=400'-0"



- 4.) ALL TREES TO HAVE WATER HOLDING TREE RINGS WITH 2 - 0.5 GALLON BUBBLERS / TREE
- 5.) PLANTED BUFFERYARDS TO BE KEPT FREE OF WEEDS AND TRASH.
- 6.) SITE IS LOCATED IN THE EASTERN ADAMS COUNTY REGION



NOT FOR CONSTRUCTION



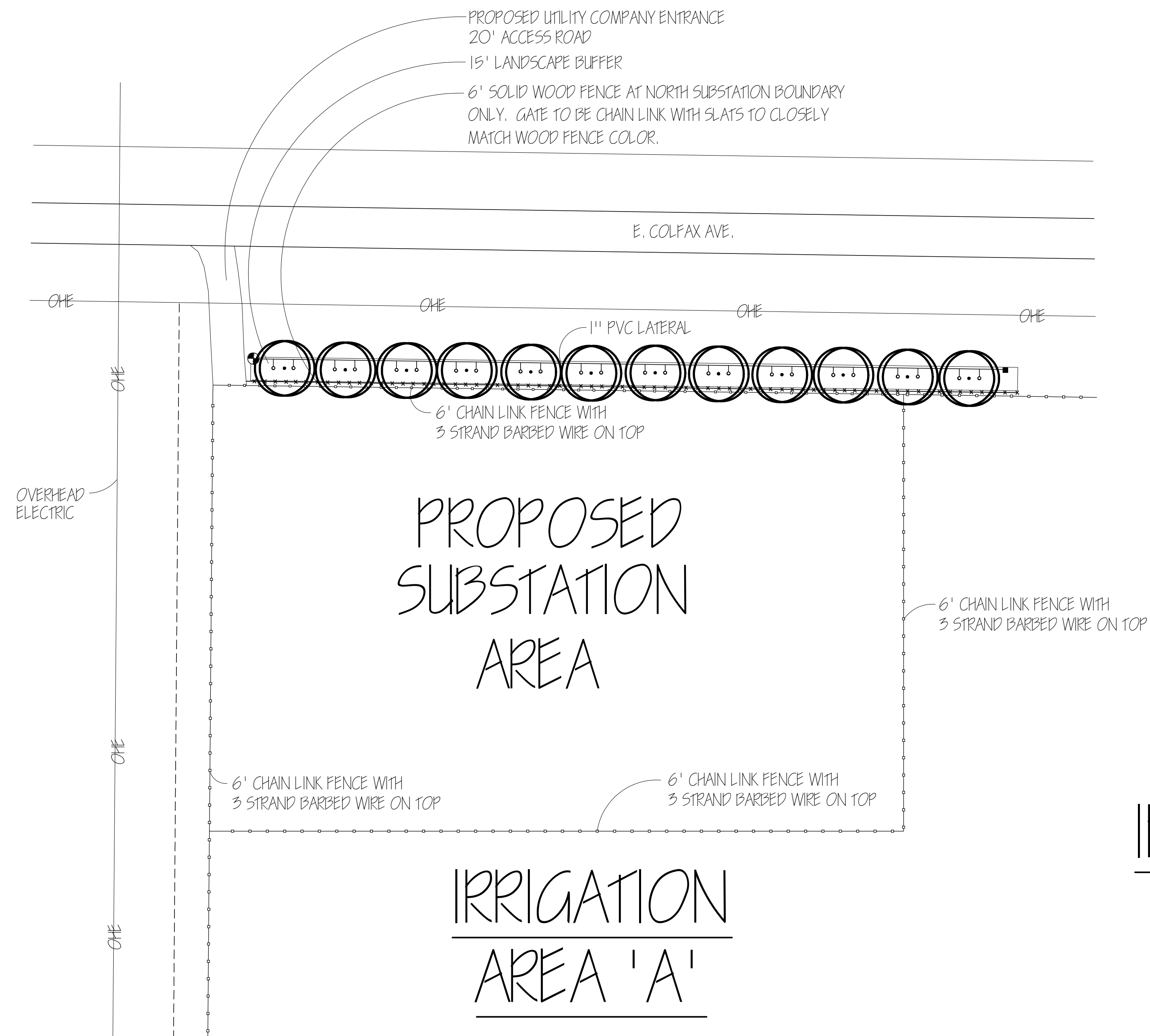
INNOVATIVE SOLAR 320, LLC
30 MW SOLAR FARM PROJECT
E. COLFAX AVENUE & N. PENRITH ROAD
BENNETT, CO 80102 (ADAMS COUNTY, COLORADO)

SHEET: 1
1 OF 3
DATE: 12/17/2018
DRAWN: D. Kostic
CHECKED:
REVISIONS:
12/20/2018




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LANDSCAPE ARCHITECTURE/SITE DESIGN/CONSTRUCTION/MAINTENANCE



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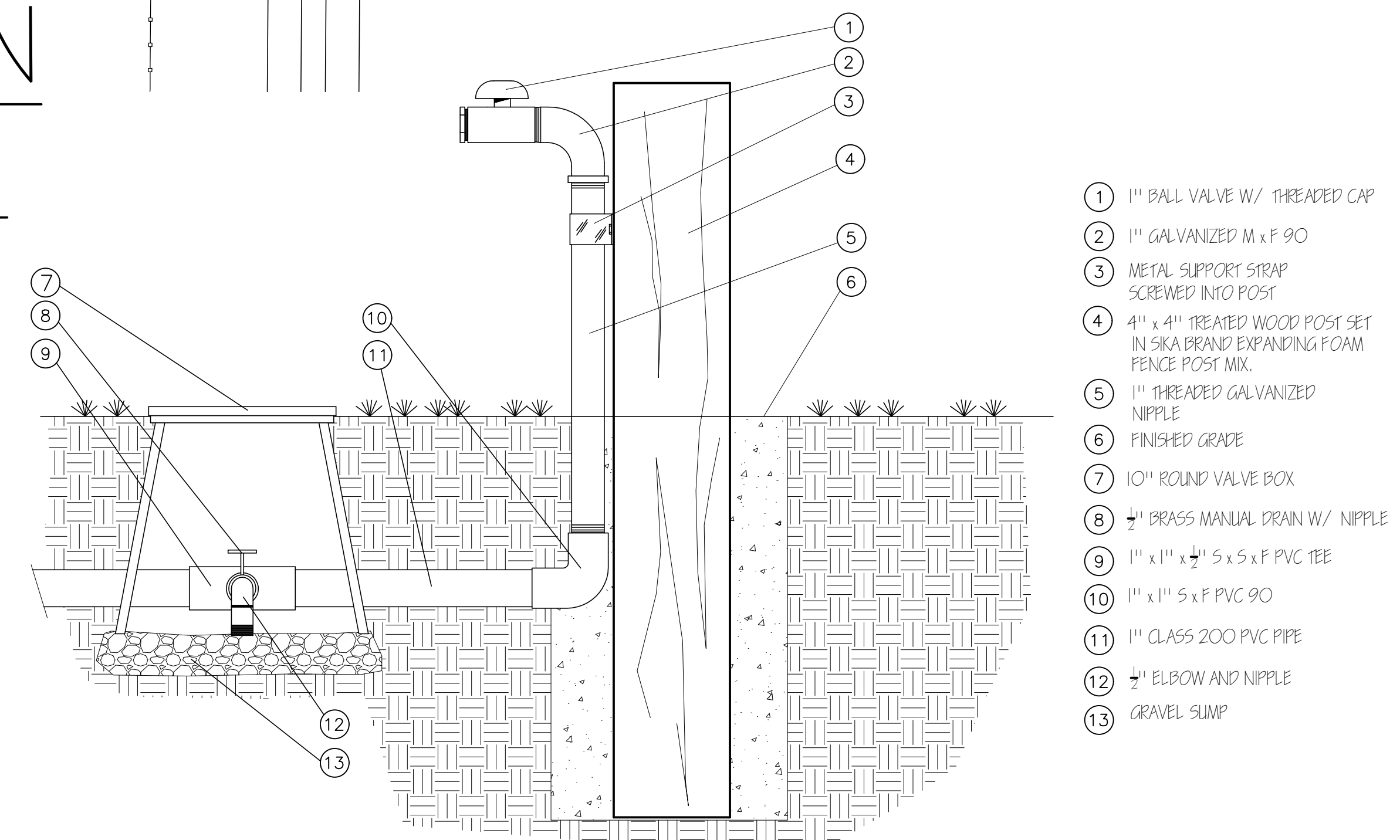
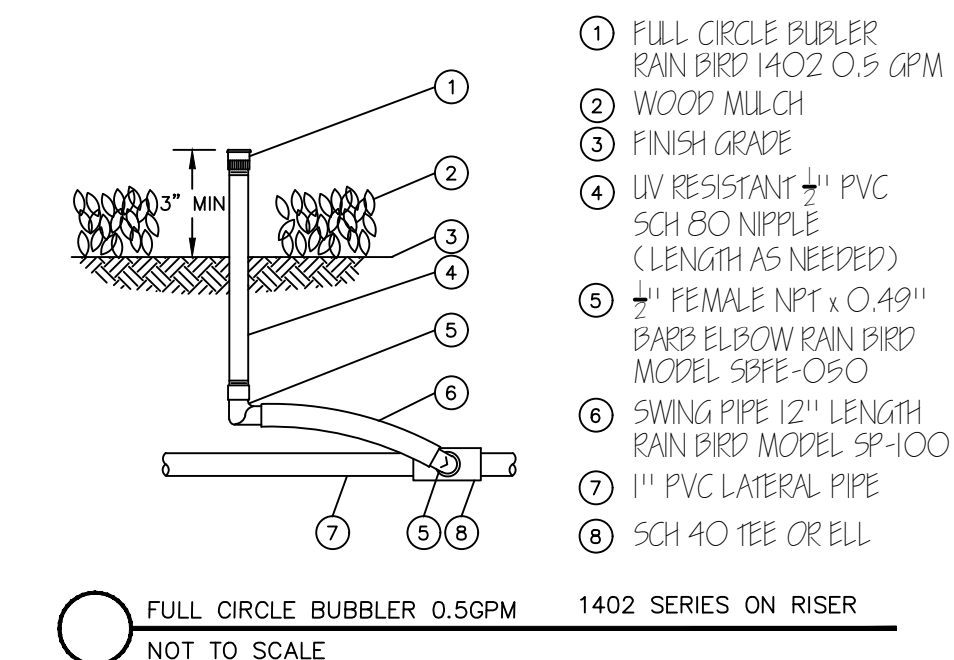
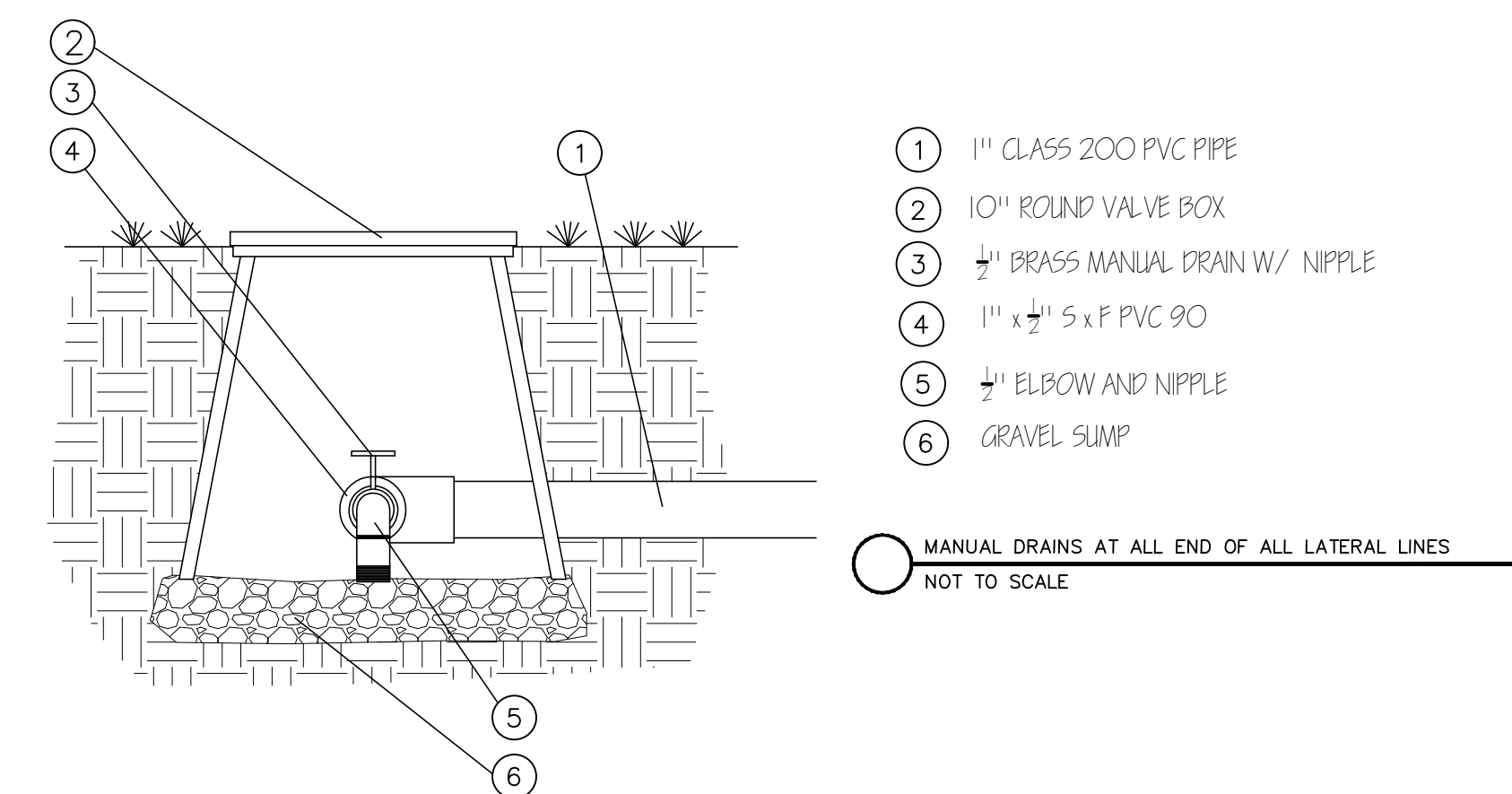
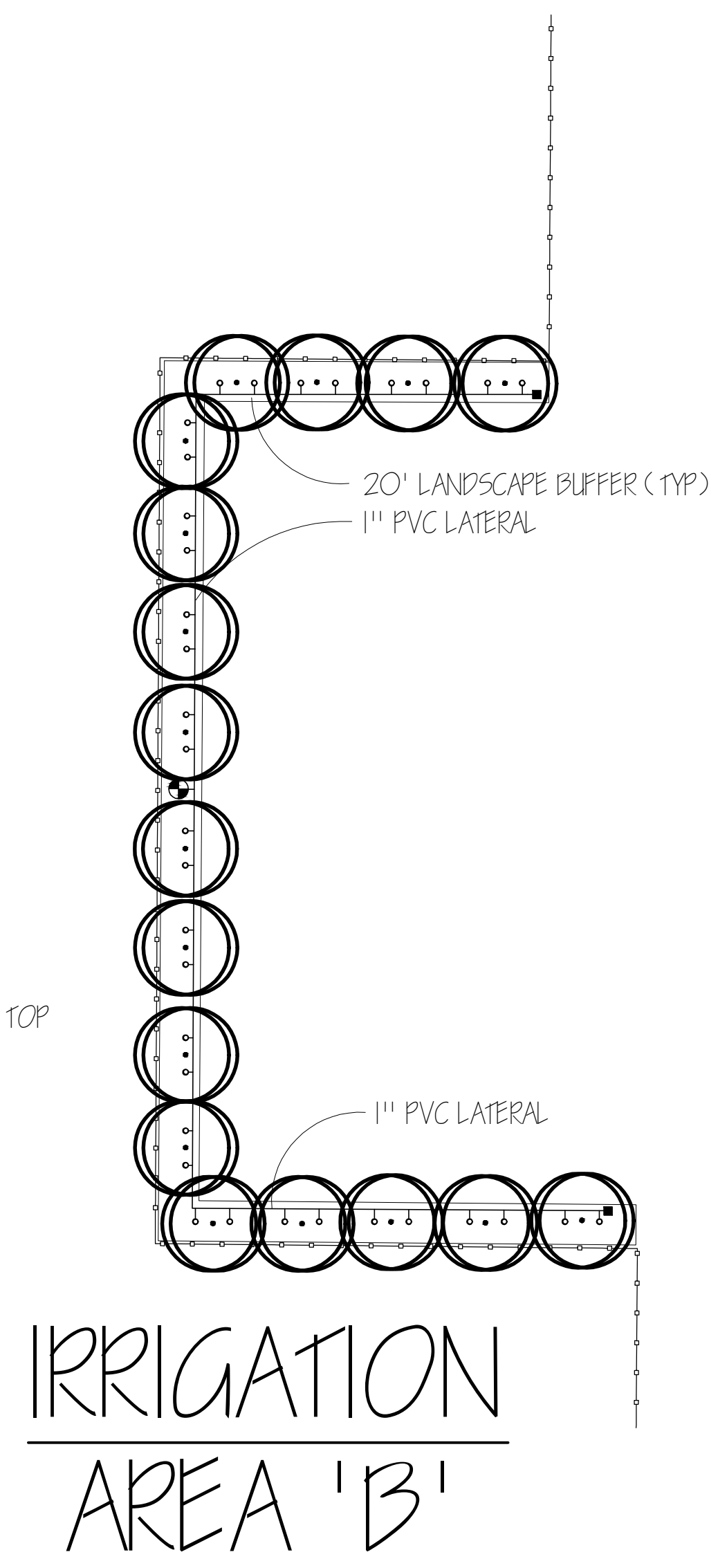


LEGEND

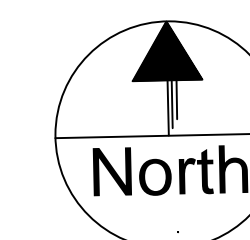
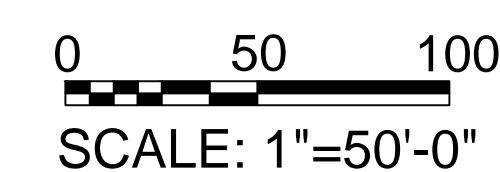
- | | | |
|---|---|---------|
|  | TRUCK WATER TAP HOOKUP FOR TREE WATERING | 2 QTY. |
|  | FULL CIRCLE RAIN BIRD 1402 BUBBLER ON RISER | 58 QTY. |
|  | MANUAL DRAINS AT END OF ALL LATERAL LINES | 3 QTY. |

NOTES:

- 1.) ALL TREES TO HAVE 4" RAISED DIRT TREE WELLS AROUND ROOT BALLS
- 2.) IRRIGATION TO BE DONE BY WATER TRUCK WITH 1" HOOKUP
- 3.) EACH TREE TO HAVE 10 GALLONS OF WATER PER 1" CALIPER OF TREE.
TREES HAVE A TOTAL OF 1 GALLON PER MINUTE BUBBLER EMITTERS / TREE.
NEW TREES AT 2" CALIPER TO WATER FOR 20 MINUTES, 2 X PER WEEK.



IRRIGATION PLAN & DETAILS



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NOT FOR CONSTRUCTION



INNOVATIVE SOLAR 320, LLC
30 MW SOLAR FARM PROJECT
E. COLFAX AVENUE & N. PENRITH ROAD
BENNETT, CO 80102 (ADAMS COUNTY, COLORADO)

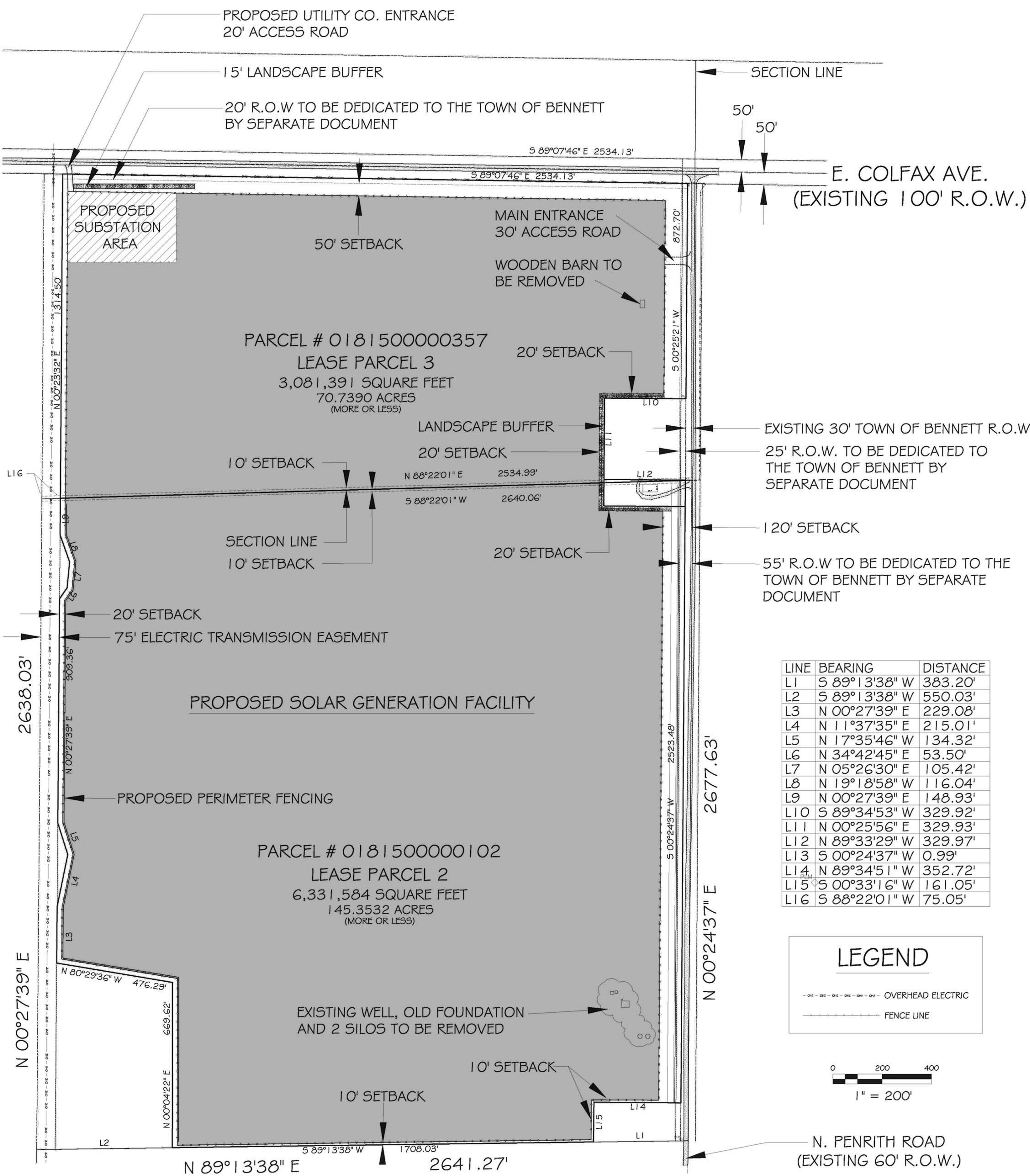
SHEET: 2
2 OF 3
DATE: 12/17/2018
DRAWN: D. Kostic
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REVISIONS:
12/20/2018

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1250 S. CHAMBERS RD. AURORA, COLORADO 80017

LANDSCAPE ARCHITECTURE • SITE DESIGN • CONSTRUCTION • MAINTENANCE



1. EXISTING PROPERTY INFORMATION

- APPLICANT: INNOVATIVE SOLAR 320, LLC
- OWNER: PRAIRIE GRASS, LLC BY: NADINE L. THWING, BARBARA J. RUBY & EDWARD A. HAHN
- SITE ADDRESS: NORTH PENRITH ROAD, BENNETT, CO 80102
- PARCELS: 0181500000357 & 0181500000102
- GENERAL LEGAL DESCRIPTION: A PORTION OF THE SE/4 OF SECTION 29 AND A PORTION OF THE NE/4 OF SECTION 32, T3S, R63W
- AREA: 215 +/- ACRES
- LAND USE / ZONING DESIGNATION: AGRICULTURAL - 3 DISTRICT (A-3)
- MINIMUM SETBACK REQUIREMENTS:
 - FRONT 50'
 - SIDE 10'
 - REAR 20'
 - SECTION LINE 120'

2. THE PROPERTY SHOWN HEREON IS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN PER FEMA FLOOD INSURANCE RATE MAP 08001C0715H REVISED MARCH 5, 2007

3. PROPOSED FENCE SHALL BE 6' TALL WITH 3 STRANDS BARBED WIRE

4. ALL FENCE ACCESS GATES SHALL BE IN COMPLIANCE WITH LOCAL FIRE DISTRICT REQUIREMENTS

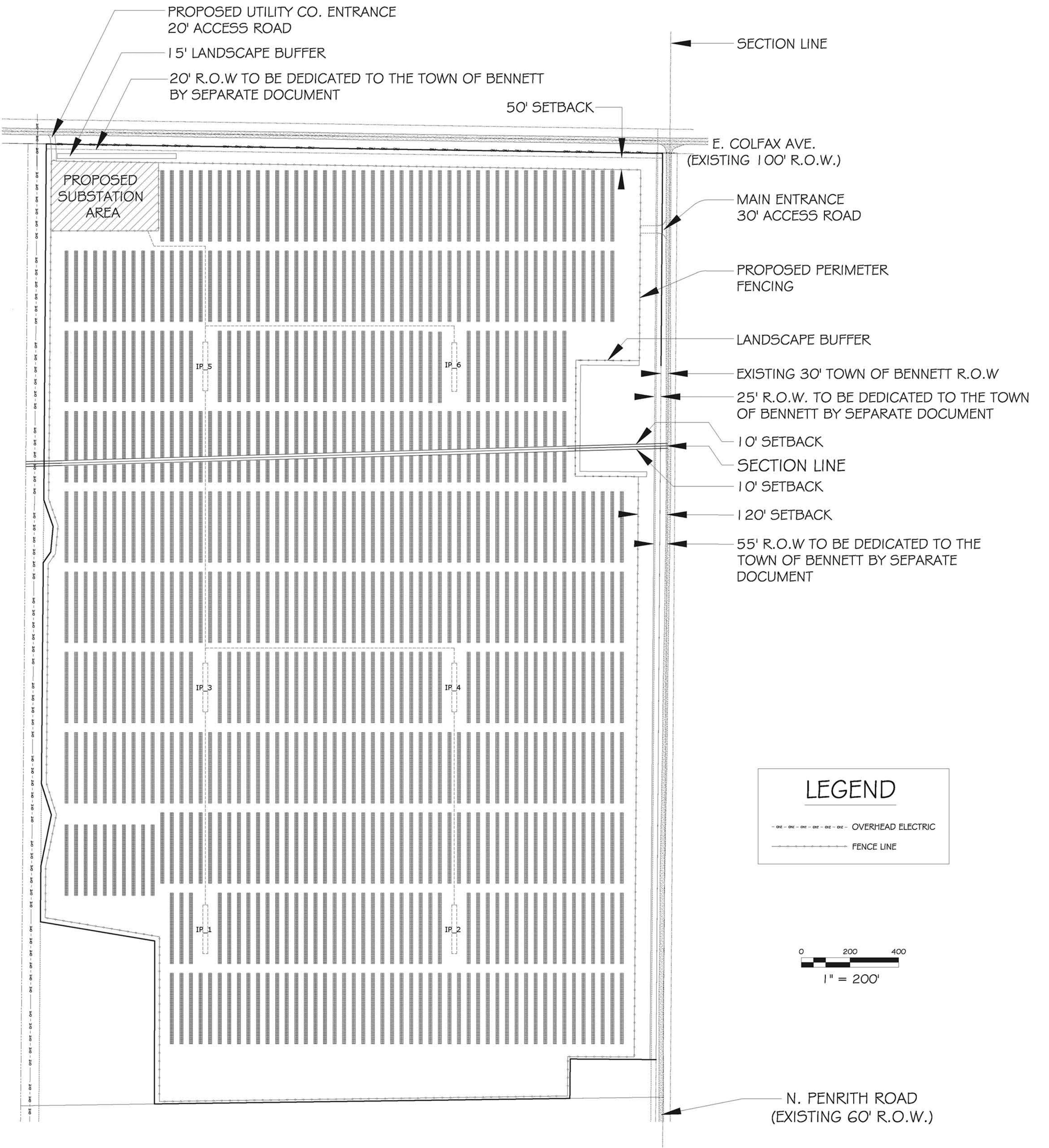


INNOVATIVE SOLAR 320, LLC
30 MW SOLAR FARM PROJECT
OFF OF NORTH PENRITH ROAD
BENNETT, CO 80102
(ADAMS COUNTY)

PROPOSED SITE PLAN

**SHEET
E-1 (A)**

**DATE
02 / 27 / 19**



INNOVATIVE SOLAR 320, LLC

30 MW SOLAR FARM PROJECT
OFF OF NORTH PENRITH ROAD
BENNETT, CO 80102
(ADAMS COUNTY)

PROPOSED SITE PLAN

**SHEET
E-2 (A)**

**DATE
02 / 27 / 19**



Development Review Team Comments

Date: 11/1/2018

Project Number: PRC2018-00019

Project Name: Innovative Solar

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for the conditional use permit applications. **A resubmittal will be required.** The Development Review Team review comments may change if you provide different information during the resubmittal. Please contact the case manager if you have any questions:

Commenting Division: Development Engineering Review

Name of Reviewer: Matthew Emmens

Date: 10/29/2018

Email: memmens@adcogov.org

Complete

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0715H & 08001C0980H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required.

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is not within the County's MS4 Stormwater Permit area. The installation of erosion and sediment control BMPs are expected. Permanent BMP's are expected to be installed to mitigate erosion along the drip line of the solar panels.

ENG3: If the applicant is proposing to install over 3,000 square feet of impervious area on the project site, a drainage report and drainage plans in accordance to Chapter 9 of the Adams County Development Review Manual, are required to be completed by a registered professional engineer and submitted to Adams County for review and final approval.

Commenting Division: Addressing Review

Name of Reviewer: Marissa Hillje

Date: 10/18/2018

Email: mhillje@adcogov.org

Complete

An address can be assigned to the property upon request. A site plan showing where approved access permit is will be required. Addresses are based on access/driveway location.

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 11/01/2018

Email: gjbarnes@adcogov.org

Resubmittal Required

PLN01: Section 4-08-02-07-04 of the Adams County Development Standards lists performance standards for utility substations. A solid screen fence (wood or masonry) is required along the northern portion of the substation area. Please provide a detailed drawing of what this portion of the fence will look like.

PLN02: A landscape plan must be submitted. This plan should include a landscape maintenance agreement. The landscaping buffer along the northern side of the substation shall comply to Type-C standards. Please refer to section 4-16 of the Development Standards for additional guidance.

PLN03: Has a land survey plat been submitted to combine these two properties? If not, setbacks are required along the common property. This is also a section line, and is subject to section line setbacks.

PLN04: Will any berming or landscaping be considered around the portion of the property surrounding the existing single-family home?

Commenting Division: ROW Review

Name of Reviewer: Marissa Hillje

Date: 10/19/2018

Email: mhillje@adcogov.org

Resubmittal Required

ROW1: Town of Bennett has annexed properties and road adjacent to this property. The applicant should contact the Town for road width requirements that could vary from the Adams County Master Transportation Plan 2012 road width requirements.

ROW2: Penrith is classified as a rural collector(see Adams County Master Transportation Plan 2012) which requires 40ft for the ½ street. Currently, there is 0ft of right-of-way for the ½ street. (Penrith Road is associated with Rd Petition # 611) Therefore, as a condition of this permit Adams County will require a 40ft right of way dedication for Penrith Road. Please contact Town of Bennett for additional right of way dedication requirements and provide proof of correspondence.

ROW3: State Highway 36/E Colfax Avenue has been annexed by Town of Bennett, Contact the Town for additional right of way requirements. Provide proof of correspondence.

ROW4: Penrith road along parcel #0181500000102 has no right of way dedicated to the County. 40 ft of right-of-way will be required as a condition of this permit. Please submit legal description and exhibit of the dedication. See link: <http://www.adcogov.org/documents/adams-county-easement-or-right-way-dedication-packet> for information on how to prepare and submit the documents.

Greg Barnes

From: Jennifer Lothrop
Sent: Wednesday, October 03, 2018 1:47 PM
To: Greg Barnes
Cc: Brigitte Grimm
Subject: Request for Comments: Innovative Solar (PRC2018-00019)
Attachments: RFC.pdf; ATT00001.htm; Simple Application.pdf; ATT00002.htm; Simple Map.pdf; ATT00003.htm

Case Name: Innovative Solar
Case Number: PRC2018-00019
Parcel #'s: 0181500000102 and 0181500000357

Good afternoon. The above mentioned parcels are paid in full, therefore, the Treasurer's Office has no negative input regarding this request.

Thank you.

Jennifer Lothrop

Treasurer Technician

Adams County Treasurer's Office
4430 S. Adams County Pkwy., Suite C2436
Brighton, CO 80601
720.523.6761 | www.adcotax.com
Mon. – Fri. 7am-5pm

NEW Satellite Office
11860 Pecos St.
Westminster, CO 80234
720.523.6160
Mon. - Thurs. 7:30am-5pm



Adams County Mission

To responsibly serve the Adams County Community with integrity and innovation.

From: Brigitte Grimm
Sent: Wednesday, October 03, 2018 8:37 AM
To: Jennifer Lothrop <JLothrop@adcogov.org>
Subject: Fwd: Request for Comments: Innovative Solar (PRC2018-00019)

Sent from my iPhone

Begin forwarded message:

From: "Greg Barnes" <GJBarnes@adcogov.org>
To: "Greg Barnes" <GJBarnes@adcogov.org>
Subject: Request for Comments: Innovative Solar (PRC2018-00019)



ARAPAHOE COUNTY
COLORADO'S FIRST

Public Works and Development

6924 South Lima Street
Centennial, Colorado 80112-3853
Phone: 720-874-6500
Fax: 720-874-6611
TDD: 720-874-6574
www.arapahoegov.com
publicworks@arapahoegov.com

DAVID M. SCHMIT, P.E.
Director

October 3, 2018

Greg Barnes, Planner II
Community and Economic Development Department
Adams County
4430 S Adams County Pkwy, 1st Fl, Ste W2000A
Brighton, CO 80601-8216
gjbarnes@adcogov.org

FILE NUMBER/NAME:	PRC2018-00019 / Innovative Solar
PROJECT TYPE:	The applicant is requesting conditional permits to build a 30 MW solar farm and contiguous electrical sub-station on 216 acres.
LOCATION:	Penrith Rd and Colfax Ave
REFERRAL RECEIVED DATE:	October 3, 2018
COMMENTS DUE DATE:	October 23, 2018

ARAPAHOE COUNTY OUTSIDE REFERRAL CASE NO:	O18-150
PLAN REVIEWER:	Terri L Maulik, Duty Planner
REVIEW DATE:	October 3, 2018
COMMENTS:	The Planning Division has no comments on this project; however, other Divisions and/or Departments in Arapahoe County may submit comments. We appreciate the opportunity to review and comment on this project.

Greg Barnes

From: Melissa Kendrick [kendrickplanning@gmail.com]
Sent: Wednesday, November 07, 2018 5:34 PM
To: Greg Barnes
Cc: Daniel Giroux; DMerkle@bennett.co.us
Subject: Fwd: Request for Comments: Innovative Solar (PRC2018-00019)
Attachments: Innovative Solar 320 Adams County Referral Review.pdf

Greg,

In response to the referral you sent us last week, I am forwarding an email and letter from our Town Engineer addressing storm drainage concerns that are very important to the Town and region. Once you review this material, it seems important to have a conversation about the Town's concern. The one additional comment is the use of barbed wire on top of the chain link fence. As you know, the project is across the street from a new housing development and the barbed wire seems unnecessary and undesirable for a new neighborhood.

Thank you for the opportunity to respond. Let me know a good time for a conversation with our Town Engineer.

Melissa

----- Forwarded message -----

From: Daniel Giroux <dangiroux@terramax.us>
Date: Wed, Nov 7, 2018 at 3:38 AM
Subject: Re: Request for Comments: Innovative Solar (PRC2018-00019)
To: Melissa Kendrick <kendrickplanning@gmail.com>
Cc: DMerkle@bennett.co.us <DMerkle@bennett.co.us>, Trish Stiles <tstiles@bennett.co.us>

The current, updated application materials still do not appear to address the Town's concerns, previously provided to the applicant and reviewed with them in a personal meeting, regarding stormwater drainage, and specifically two major drainageways that cross the subject property. The Town's drainageway concerns are with regard to channels/grading, setbacks, culverts, and potential flow obstructions (particularly panel frames and security fencing).

There is no acknowledgment of the Town's stated concerns via narrative nor map exhibit that I can see, much less delineations, mitigations, or even commitments or assurances offered. Are these to be addressed at another stage of the County land use review process? I would not recommend that the Town be supportive of this application as submitted, without at least an understanding of how and when the drainageway concerns will be addressed by the applicant.

I'm attaching my comments of 7/24/2018 for ease of reference. If you could forward my email comments with attachment to Greg Barnes and Adams County Planning, I would appreciate it.

Thank you,

Dan

Daniel P. Giroux, PE

President

Terramax, Inc.

Consulting | Engineering

303-929-3194

From: Melissa Kendrick <kendrickplanning@gmail.com>

Date: Thursday, November 1, 2018 at 2:41 PM

To: Daniel Giroux <dangiroux@terramax.us>, Mike Rocha <mike@smrocha.com>, Trish Stiles <tstiles@bennett.co.us>

Cc: Debra Merkle <DMerkle@bennett.co.us>

Subject: Fwd: FW: Request for Comments: Innovative Solar (PRC2018-00019)

Good afternoon,

We received this document this week. They need a response from us ASAP. I think our previous comments and letter are still appropriate. I am attaching those for your review and comment. I will draft a letter to circulate. Let me know your thoughts.

Trish, I know you would like them to provide a fence and landscaping along the property line for screening the panels from view? Let me know your thoughts as well.

Melissa

----- Forwarded message -----

From: **Greg Barnes** <GJBarnes@adcogov.org>
Date: Tue, Oct 30, 2018 at 8:38 AM
Subject: FW: Request for Comments: Innovative Solar (PRC2018-00019)
To: kendrickplanning@gmail.com <kendrickplanning@gmail.com>
Cc: dmerkle@bennett.co.us <dmerkle@bennett.co.us>

The deadline for comments was last week, so please provide comments ASAP. Thanks!



Greg Barnes

Planner II, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

From: Greg Barnes
Sent: Tuesday, October 02, 2018 9:16 PM
To: Greg Barnes
Subject: Request for Comments: Innovative Solar (PRC2018-00019)

Case Name: Innovative Solar

Project Number: PRC2018-00019

The Adams County Planning Commission is requesting comments on the following applications: **1) conditional use permit to allow a solar facility in the Agricultural-3 zone district; and 2) conditional use permit to allow a utility substation in the Agricultural-3 zone district.** This request is located southwest of the intersection of Penrith Road and US Highway 36 (Colfax Avenue). The Assessor's Parcel Numbers are 0181500000102 and 0181500000357.

Applicant Information: Innovative Solar 320, LLC

Michael Hill

1095 Hendersonville Rd.

Asheville, NC 28803

Please forward any written comments on this application to the Adams County Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216. You may also call us at (720) 523-6800. All comments must be received by 10/23/2018 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.



Greg Barnes

Planner II, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

--

Melissa Kendrick

Kendrick Consulting Inc.

727 Geneva St.

Aurora, CO 80010

303-725-1255

--

Melissa Kendrick

Kendrick Consulting Inc.

727 Geneva St.

Aurora, CO 80010

303-725-1255

Engineering Review Memo

To: Melissa Kendrick, Kendrick Consulting, Inc., Town Planner
From: Dan Giroux, PE, Engineering Consultant to the Town
Date: Tuesday, July 24, 2018
Case: Adams County / Innovative Solar 320, SW Corner Penrith Road & Colfax Avenue
Subject: Town of Bennett Referral

Per the request of the Town of Bennett, Terramax, Inc. has reviewed the Proposed Site Plan for a 30 MW Solar Farm project, proposed on approximately 216 acres, located at the southwest corner of N Penrith Road and E Colfax Avenue (US Highway 36). The proposed Solar Farm is west, south and north of nearby Town of Bennett Town limits, separated by setbacks shown on the Site Plan.

The property indicated contains two significant drainageways tributary to Lost Creek (per FEMA, aka Sand Creek or West Sand Creek per USGS), and downstream of the Town limits to the south and east of the proposed Solar Farm development. The westerly drainageway generally flows from south to north, and the easterly drainageway southeast to northwest, ultimately tributary to the larger westerly tributary. The larger westerly tributary crosses US 36 / E Colfax Avenue just west of the northwest corner of the subject property via a battery of large diameter corrugated metal culverts.

The subject drainageways are unnamed tributaries to Lost Creek. They are not regulatory floodplains designated through the Federal Emergency Management Agency (FEMA) National Flood Insurance Program (NFIP). To my knowledge, the flooding and inundation limits are undelineated and unmapped at this time.

Nonetheless, these drainageways serve as critical outfall conveyances for several hundred acres of property located within the Town of Bennett. The westerly tributary also receives several thousand acres of additional basin flows from south of I-70, via a box culvert crossing of the Interstate.

It is my recommendation that the Town request additional information, through Adams County, regarding more detailed development plans for the Solar Farm with respect to potential affects to these drainageways.

Melissa, this concludes my engineering review of the Innovative Solar 320 Proposed Site Plan referred to the Town of Bennett by Adams County Planning. Please let me know if you have any questions, or require additional information pertaining to the submitted information, or my review.

Greg Barnes

From: Greg Labrie
Sent: Wednesday, May 01, 2019 3:27 PM
To: Greg Barnes; Daniel Giroux; kendrickplanning@gmail.com; dmerkle@bennett.co.us; 'Mike Rocha'
Subject: RE: Resubmittal: Innovative Solar (PRC2018-00019)

Daniel,

Adams County Development Engineering will insure that the drainage study completed by IS will address the pass-through of historic flows and the two larger drainageway areas that cut through the property. Adams County typically require drainage studies to be completed, reviewed, and approved prior to the approval of construction plans and not for land use approval. Any required adjustments to their plans due to the results of the drainage study shall impact the overall scope and scale of their project and not the land use application status. Upon request, Adams County will refer the drainage study for your review and input.

Email or call with questions.

Sincerely,

T. Greg Labrie, PE, CFM
Senior Engineer
Adams County
Development Engineering Services
4430 S. Adams County Parkway
Brighton, CO 80601
Ph # 720-523-6824



From: Daniel Giroux [<mailto:dangiroux@terramax.us>]
Sent: Tuesday, April 16, 2019 5:38 PM
To: Melissa Kendrick; Greg Barnes; DMerkle@bennett.co.us; Mike Rocha
Subject: Re: Resubmittal: Innovative Solar (PRC2018-00019)

Reviewing the correspondence and responses, IS has committed to retain a drainage engineer PE to prepare a Drainage Study prior to issuance of County site-work or building permits (assuming one is required for the solar panel work). They have agreed to abide by the County requirements, but never explicitly addressed the pass-through of historic flows, and particularly the two larger drainageway areas that cut through the property.

That commitment should / would typically be enough, but the Town is not referred on drainage reports for County building permits, to my knowledge. That also seems an odd way or timing to do the drainage report, and I guess I'm not entirely clear why they can't commission and submit the drainage study with this land use application? Was that waived at some point?

The application provides for fencing and service road crossings of the subject drainageways – if those have to be adjusted or changed from findings of the drainage study, does that affect the land use application status?

At this point, I think the Town can defer to the County to ensure the drainageways are appropriately observed and respected. We've raised the issue, and it would be good to see it addressed up-front, but I'd suggest the Town leave it with the County to administer going forward.

Thank you,

Dan

Daniel P. Giroux, PE

[Town Engineer / Town of Bennett]

President

Terramax, Inc.

Consulting | Engineering

303-929-3194

From: Melissa Kendrick <kendrickplanning@gmail.com>

Date: Tuesday, April 16, 2019 at 7:59 AM

To: "gjbarnes@adcogov.org" <gjbarnes@adcogov.org>, Debra Merkle <DMerkle@bennett.co.us>, Daniel Giroux <dangiroux@terramax.us>, Mike Rocha <mike@smrocha.com>

Subject: Fwd: Resubmittal: Innovative Solar (PRC2018-00019)

Good morning,

I am forwarding this message that I missed the first time. It is going to hearing and Greg wants to know if we have any comments. I asked him what they did with the drainage design and he told me we would have to talk to the engineer.

Sorry for the delay, but let me know what you think. Greg wanted to know if we had any objections. Maybe something in writing for the record.

Melissa

----- Forwarded message -----

From: **Greg Barnes** <GJBarnes@adcogov.org>

Date: Thu, Apr 11, 2019 at 1:30 PM

Subject: RE: Resubmittal: Innovative Solar (PRC2018-00019)

To: Melissa Kendrick <kendrickplanning@gmail.com>

Hi Melissa,

We never heard back from Bennett on the resubmittal of this case. We are in the process of scheduling this for hearings, and I just wanted to ensure that we have done everything we can to keep the Town satisfied.



Greg Barnes

Planner III, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

From: Greg Barnes

Sent: Friday, March 15, 2019 2:09 PM

To: Melissa Kendrick

Subject: Resubmittal: Innovative Solar (PRC2018-00019)

The attached information has been resubmitted for the Innovative Solar project. Please provide comments to me by 4/1/19. Thank you!



Greg Barnes

Planner II, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

--

Melissa Kendrick
Kendrick Consulting Inc.
727 Geneva St.
Aurora, CO 80010



COLORADO

Parks and Wildlife

Department of Natural Resources

Northeast Regional Office
6060 Broadway
Denver, CO 80216
P 303.291.7227 | F 303.291.7114

October 22, 2018

Greg Barnes
Adams County
Community and Economic Development Department
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601-8216

RE: 1) Conditional Use Permit to allow a Solar Garden Facility in the Agricultural-3 Zone District (RCU2018-00050); and 2) Conditional Use Permit to allow a Utility Substation in the Agricultural-3 Zone District (RCU2018-00051)

Dear Mr. Barnes:

Thank you for the opportunity to comment on the Innovative Solar 320 conditional use permits. The mission of Colorado Parks and Wildlife (CPW) is to perpetuate the wildlife resources of the state, to provide a quality state parks system, and to provide enjoyable and sustainable outdoor recreation opportunities that educate and inspire current and future generations to serve as active stewards of Colorado's natural resources. Our goal in responding to land use proposals such as this is to provide complete, consistent, and timely information to all entities who request comment on matters within our statutory authority.

The proposed 216-acre Innovative Solar 320 conditional use permit is a solar garden facility, with approximately 111,000 solar voltaic modules, an electrical substation, and a main access road in the Agriculture-3 zone district, Penrith Road and US Highway 36 (Colfax Avenue), Bennett, Colorado (parcel numbers 0181500000102 and 0181500000357). The proposed solar garden facility, electrical substation, and road is surrounded by agricultural lands and single family homes.

District Wildlife Manager Serena Rocksund recently visited this site. The main impacts to wildlife from this development include fragmentation and loss of habitat. Fragmentation of wildlife habitat has been shown to impede the movement of big game species across the landscape. Open space areas are more beneficial to wildlife if they connect to other natural areas. The areas of wildlife habitat that most closely border human development show heavier impact than do areas on the interior of the open space. However, when open space areas are smaller in size, the overall impact of the fragmentation is greater (Odell and Knight, 2001). By keeping open space areas contiguous and of larger size the overall benefit to wildlife increases dramatically.

CPW would expect a variety of wildlife species to utilize this site on a regular basis, most notably, small to mid-sized mammals, songbirds, and raptors. The potential also exists for large mammals such as deer and pronghorn to frequent this site. Raptors and other migratory



birds are protected from take, harassment, and nest disruption at both the state and federal levels. If an active nest is discovered within the development area, CPW recommends that buffer zones around nest sites be implemented during any period of activity that may interfere with nesting season. This will prevent the intentional or unintentional destruction of an active nest.

For further information on this topic, a copy of the document “Recommended Buffer Zones and Seasonal Restrictions for Colorado Raptors,” is available from your local District Wildlife Manager or located at <https://cpw.state.co.us/Documents/WildlifeSpecies/LivingWithWildlife/RaptorBufferGuidelines2008.pdf>.

Following the recommendations outlined in this document will decrease the likelihood of unintentional take through disturbance.

If a prairie dog colony is discovered within the project area, the potential may also exist for the presence of burrowing owls. Burrowing owls live on flat, treeless land with short vegetation, and nest underground in burrows dug by prairie dogs, badgers, and foxes. These raptors are classified as a state threatened species and are protected by both state and federal laws, including the Migratory Bird Treaty Act. These laws prohibit the killing of burrowing owls or disturbance of their nests. Therefore, if any earth-moving will begin between March 15th and October 31st, a burrowing owl survey should be performed. Guidelines for performing a burrowing owl survey can also be obtained from your local District Wildlife Manager or at <https://cpw.state.co.us/Documents/WildlifeSpecies/LivingWithWildlife/RecommendedSurveyOwls.pdf>

If prairie dog colonies are present, CPW would recommend they either be captured alive and moved to another location or humanely euthanized before any earth-moving occurs. The possibility of live-trapping and donating to a raptor rehabilitation facility may also exist. If interested, please contact the local District Wildlife Manager. Be aware that a permit and approval from county commissioners may be required for live relocation.

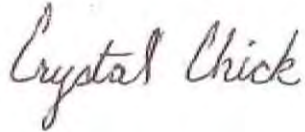
CPW recommends that all site lights should be motion-activated and downward-directed to minimize light pollution for active nocturnal or resting diurnal wildlife species.

CPW recommends the installation of an exclusionary fence, at least six-feet in height plus 2 strands of top wire, to prevent deer from accessing the solar facility. CPW recommends a smooth top to the fence (e.g., no top barbed wire or exposed metal rods) to prevent wildlife from impaling themselves or entanglement if they attempt to cross into the solar facility. The bottom of the fence shall be four inches or less from the ground. CPW has developed a document, <https://cpw.state.co.us/Documents/LandWater/PrivateLandPrograms/FencingWithWildlifeMind.pdf>, to assist with choosing the correct type of fencing to allow or restrict wildlife movement.

Also, CPW requests that the solar garden facility is checked at least every few days, in the unlikely event that a deer or other wildlife become trapped in the facility, and can be released. CPW is also asking that solar garden facilities monitor birds that may have died within the facility and submit an annual list to the District Wildlife Manager.

Thank you again for amending the previously approved conditional use permit for the Innovative Solar Garden Facility in Adams County and for the opportunity to comment. Please do not hesitate to contact us again about ways to continue managing the facility in order to maximize wildlife value while minimizing potential conflicts. If you have any further questions, please contact District Wildlife Manager Serena Rocksund at (303) 291-7132 or serena.rocksund@state.co.us.

Sincerely,

A handwritten signature in cursive script that reads "Crystal Chick". The ink is dark and the signature is fluid.

Crystal Chick
Area 5 Wildlife Manager

Cc: M. Leslie, T. Kroening, S. Rocksund



COLORADO

Division of Water Resources

Department of Natural Resources

1313 Sherman Street, Room 821
Denver, CO 80203

October 9, 2018

Greg Barnes
Adams County Community and Economic Development Department
Transmitted via email:
GJBarnes@adcogov.org

RE: PRC2018-00019, Innovative Solar, Conditional Use Permit
Part of Secs. 29 and 32, T3S, R63W, 6th P.M.,
Lost Creek Designated Ground Water Basin
Lost Creek Ground Water Management District
Water Division 1, Water District 1

Dear Mr. Barnes:

We have received your October 2, 2018 referral concerning the above-referenced application for a conditional use permit to allow a solar facility (RCU2018-00050) and utility station (RCU2018-000051) in the Agricultural-3 zone district.

This referral does not appear to qualify as a "subdivision" as defined in Section 30-28-101(10)(a), C.R.S. Therefore, pursuant to the State Engineer's March 4, 2005 and March 11, 2011 memorandums to county planning directors, this office will only perform a cursory review of the referral information and provide informal comments. The comments do not address the adequacy of the water supply plan for this project or the ability of the water supply plan to satisfy any County regulations or requirements. In addition, the comments provided herein cannot be used to guarantee a viable water supply plan or infrastructure, the issuance of a well permit, or physical availability of water.

There is no water demand for the proposed solar facility and utility substation.

A review of our records did not find any wells or water rights associated with the subject property.

This office has no objection to the proposal. If you, or the applicant, have any questions, please contact Ailis Thyne at 303-866-3581 ext. 8216.

Sincerely,

Keith Vander Horst
Chief of Water Supply, Basins

Cc: Division 1

AAT: PRC2018-00019_InovativeSolar.docx



COLORADO GEOLOGICAL SURVEY

1801 19th Street
Golden, Colorado 80401



October 19, 2018

Karen Berry
State Geologist

Greg Barnes
Adams County
Community & Economic Development
4430 S. Adams County Parkway, Suite W2000A
Brighton, CO 80601

Location:
S½ SE¼ Section 29 and
NE¼ Section 32,
T3S, R63W of the 6th P.M.
39.7504, -104.4568

Subject: Innovative Solar (PRC2018-00019)
Adams County, CO; CGS Unique No. AD-19-0011

Dear Mr. Barnes:

Colorado Geological Survey has reviewed the Innovative Solar CUP referral for a solar collector facility on 216 acres located southwest of N. Penrith Road and E. Colfax, and a substation located in the northwestern corner of the property.

The site does not contain steep slopes, is not undermined, is located within an “area of minimal flood hazard,” and is not exposed to or located within any identified geologic hazard areas that would preclude the proposed solar collector and substation uses. **CGS therefore has no objection to approval.**

Mineral resource potential. According to the Atlas of Sand, Gravel, and Quarry Aggregate Resources, Colorado Front Range Counties (Schwochow et al, Colorado Geological Survey Special Publications 5-A and 5-B, 1974, Plate 2, and Bennett and Strasburg NW Quadrangles, respectively), the subject property is not mapped as containing a sand, gravel, or aggregate resource.

Thank you for the opportunity to review and comment on this project. If you have questions or require additional review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely,

A handwritten signature in black ink, appearing to read "Jill Carlson".

Jill Carlson, C.E.G.
Engineering Geologist



October 23, 2018

Greg Barnes
Adams County Community and Economic Development
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601

RE: Innovative Solar, PRC2018-00019
TCHD Case No. 5219

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the conditional use permits to allow a solar facility and utility substation in the Agricultural-3 zone district located southwest of the intersection of Penrith Road and US Highway 36. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD the following comments.

Renewable Energy

Alternative energy supplies generally do not contribute to air and water pollution and can have a positive impact on the environment. TCHD commends the applicant for bringing forward a proposal that promotes the use of renewable energy.

Wastewater Service for Construction Trailers

The applicant does not state what means they will be using to dispose of wastewater from the onsite personnel during the construction phase. If the applicant is proposing to use portable restrooms, TCHD has no objection to the use of portable toilets, provided the units are properly cleaned and maintained. While TCHD cannot require the use of hand sinks, we recommend that the applicant provide those for the workers, as it will reduce the potential for the transmission of disease.

Solid Waste

Rodents, such as mice and rats, carry diseases which can be spread to humans through contact with rodents, rodent feces, urine, or saliva, or through rodent bites. As rodents are attracted to trash, TCHD strongly recommends that all trash dumpsters on site during construction are equipped with a closeable lid and with regular collection and disposal at an approved landfill.

Fugitive Dust – Recommendations for Temporary Uses

Exposure to air pollution is associated with a number of health problems including asthma, lung cancer, and heart disease. Construction, and traffic in unpaved areas may contribute to increased fugitive dust emissions. We recommend that the applicant utilize

Innovative Solar
October 23, 2018
Page 2 of 2

all available methods to minimize fugitive dust. Control measures or procedures that may be employed include, but are not limited to, watering, chemical stabilization, carpeting roads with aggregate, and speed restrictions.

Please feel free to contact me at 720-200-1585 or aheinrich@tchd.org if you have any questions.

Sincerely,

A handwritten signature in dark ink, appearing to read "Annemarie Heinrich". The signature is fluid and cursive, with the first name "Annemarie" being more prominent than the last name "Heinrich".

Annemarie Heinrich, MPH/MURP
Land Use and Built Environment Specialist

cc: Sheila Lynch, Monte Deatrich, TCHD



Right of Way & Permits
1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571.3284
donna.l.george@xcelenergy.com

October 23, 2018

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Greg Barnes

Re: Innovative Solar, Case # PRC2018-00019

Public Service Company of Colorado's Right of Way & Permits Referral Desk has reviewed the conditional use plans for **Innovative Solar** and has **no apparent conflict**.

Please contact me at donna.l.george@xcelenergy.com or 303-571-3306 if there are any questions with this referral response.

Donna George
Right of Way and Permits
Public Service Company of Colorado



Request for Comments

Case Name: Innovative Solar
Project Number: PRC2018-00019

October 2, 2018

The Adams County Planning Commission is requesting comments on the following applications: **1) conditional use permit to allow a solar facility in the Agricultural-3 zone district (RCU2018-00050); and 2) conditional use permit to allow a utility substation in the Agricultural-3 zone district (RCU2018-00051).** This request is located southwest of the intersection of Penrith Road and US Highway 36 (Colfax Avenue). The Assessor's Parcel Numbers are 0181500000102 and 0181500000357.

Applicant Information: Innovative Solar 320, LLC
Michael Hill
1095 Hendersonville Rd.
Asheville, NC 28803

Please forward any written comments on this application to the Adams County Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216. You may also call us at (720) 523-6800. All comments must be received by 10/26/2018 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Greg Barnes
Case Manager



Public Hearing Notification

Case Name: Innovative Solar
Case Number: PRC2018-00019
Planning Commission Hearing Date: 05/09/2019 at 6:00 p.m.
Board of County Commissioners Hearing Date: 06/04/2019 at 9:30 a.m.

April 11, 2019

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following requests: 1. Conditional use permit to allow a solar facility in the Agricultural-3 zone district (RCU2018-00050); 2. Conditional use permit to allow a utility substation in the Agricultural-3 zone district (RCU2018-00051). This request is located south and west of the intersection of Colfax Avenue and Penrith Road. The Assessor's Parcel Numbers are 0181500000102 and 0181500000357.

Applicant Information: Innovative Solar 320, LLC
Michael Hill
1095 Hendersonville Rd.
Asheville, NC 28803

The hearing will be held in the Adams County Hearing Room located at 4430 South Adams County Parkway, Brighton CO 80601-8216. This will be a public hearing and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. If you require any special accommodations (e.g., wheelchair accessibility, an interpreter for the hearing impaired, etc.) please contact the Adams County Community and Economic Development Department at (720) 523-6800 (or if this is a long distance call, please use the County's toll free telephone number at 1-800-824-7842) prior to the meeting date.

For further information regarding this case, please contact the Community and Economic Development Department, 4430 S Adams County Parkway, Brighton, CO 80601, 720-523-6800. This is also the location where maps and/or text certified by the Planning Commission may be viewed. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Sincerely,

Greg Barnes
Planner III, Community and Economic Development Dept.
ADAMS COUNTY, COLORADO
4430 S. Adams County Parkway, 1st Floor, Suite W2000A
Brighton, CO 80601-8216
720.523.6853 gjbarnes@adcogov.org

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Emma Pinter
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Mary Hodge
DISTRICT 5

PUBLICATION REQUEST

Innovative Solar
Case Number: PRC2018-00019

Planning Commission Hearing Date: 05/09/2019 at 6:00 p.m.
Board of County Commissioners Hearing Date: 06/18/2019 at 9:30 a.m.

Request: 1. Conditional use permit to allow a solar facility in the Agricultural-3 zone district (RCU2018-00050); 2. Conditional use permit to allow a utility substation in the Agricultural-3 zone district (RCU2018-00051).

Location: Approximately a half-mile southwest of the intersection of Colfax Avenue and Penrith Road

Parcel Numbers: 0181500000102, 0181500000357

Case Manager: Greg Barnes

Applicant: Michael Hill
1095 Hendersonville Rd
Asheville, NC 28803

Owner: Prairie Grass, LLC
22735 E Belleview Pl
Aurora, CO 800156552

Legal Description:

The West half of that part of the South half of Section 29, lying South of the Union Pacific Railroad in Township 3 South, Range 63 West, of the 6th P.M., County of Adams, State of Colorado.

The NE ¼ of Section 32, Township 3 South, Range 63 West of the 6th P.M., County of Adams, State of Colorado.

The East half of that part of the South half of Section 29, lying South of the Union Pacific Railroad in Township 3 South, Range 63 West, of the 6th P.M., Except the East 30 feet and Except that portion conveyed in Deed recorded June 22, 2001 at Reception No. C0818247, County of Adams, State of Colorado.



Referral Listing
Case Number PRC2018-00019
Innovative Solar

Agency	Contact Information
Adams County	Planning Addressing PLN 720.523.6800
Adams County Construction Inspection	PWCI . PWCI 720-523-6878
Adams County Development Services - Building	Justin Blair 4430 S Adams County Pkwy Brighton CO 80601 720-523-6825 JBlair@adcogov.org
Adams County Treasurer: Send email	Adams County Treasurer bgrimm@adcogov.org 720.523.6376
Century Link, Inc	Brandyn Wiedreich 5325 Zuni St, Rm 728 Denver CO 80221 720-578-3724 720-245-0029 brandyn.wiedrich@centurylink.com
Code Compliance Supervisor	Eric Guenther eguenther@adcogov.org 720-523-6856 eguenther@adcogov.org
COLO DIV OF MINING RECLAMATION AND SAFETY	ANTHONY J. WALDRON - SENIOR ENV DEPT. OF NATURAL RESOURCES 1313 SHERMAN ST, #215 DENVER CO 80203 303-866-4926 tony.waldron@state.co.us
COLO DIV OF WATER RESOURCES	Joanna Williams OFFICE OF STATE ENGINEER 1313 SHERMAN ST., ROOM 818 DENVER CO 80203 303-866-3581 joanna.williams@state.co.us
COLO DIV OF WATER RESOURCES	Joanna Williams OFFICE OF STATE ENGINEER 1313 SHERMAN ST., ROOM 818 DENVER CO 80203 303-866-3581 joanna.williams@state.co.us

Agency	Contact Information
COLORADO DIVISION OF WILDLIFE	Eliza Hunholz Northeast Regional Engineer 6060 BROADWAY DENVER CO 80216-1000 303-291-7454 eliza.hunholz@state.co.us
COLORADO DIVISION OF WILDLIFE	Serena Rocksund 6060 BROADWAY DENVER CO 80216 3039471798 serena.rocksund@state.co.us
COLORADO GEOLOGICAL SURVEY	Jill Carlson 1500 Illinois Street Golden CO 80401 303-384-2643 CGS_LUR@mines.edu
Colorado Geological Survey: CGS_LUR@mines.edu	Jill Carlson Mail CHECK to Jill Carlson 303-384-2643 CGS_LUR@mines.edu
COMCAST	JOE LOWE 8490 N UMITILLA ST FEDERAL HEIGHTS CO 80260 303-603-5039 thomas_lowe@cable.comcast.com
COUNTY ATTORNEY- Email	Christine Fitch CFitch@adcogov.org 6352
Engineering Department - ROW	Transportation Department PWE - ROW 303.453.8787
Engineering Division	Transportation Department PWE 6875
Parks and Open Space Department	Nathan Mosley mpedruci@adcogov.org aclark@adcogov.org (303) 637-8000 nmosley@adcogov.org
SHERIFF'S OFFICE: SO-HQ	MICHAEL McINTOSH nblair@adcogov.org; aoverton@adcogov.org; mkaiser@adcogov.org snielson@adcogov.org (303) 654-1850 aoverton@adcogov.org; mkaiser@adcogov.org; snielson@adcogov.org
Sheriff's Office: SO-SUB	SCOTT MILLER TFuller@adcogov.org, smiller@adcogov.org aoverton@adcogov.org; mkaiser@adcogov.org 720-322-1115 smiller@adcogov.org

Agency	Contact Information
TOWN OF BENNETT	MATHEW REAY 355 4TH STREET BENNETT CO 80102 303 644-3249 planning@bennett.co.us
TOWN OF BENNETT - WATER AND SAN. DEPT.	. . 355 4TH ST. BENNETT CO 80102 303-644-3249
TRI-COUNTY HEALTH DEPARTMENT	MONTE DEATRICH 4201 E. 72ND AVENUE SUITE D COMMERCE CITY CO 80022 (303) 288-6816 mdeatrich@tchd.org
TRI-COUNTY HEALTH DEPARTMENT	Sheila Lynch 6162 S WILLOW DR, SUITE 100 GREENWOOD VILLAGE CO 80111 720-200-1571 landuse@tchd.org
Tri-County Health: Mail CHECK to Sheila Lynch	Tri-County Health landuse@tchd.org .
UNITED STATES POST OFFICE	MARY C. DOBYNS 56691 E COLFAX AVENUE STRASBURG CO 80136-8115 303-622-9867 mary.c.dobyns@usps.gov
US EPA	Stan Christensen 1595 Wynkoop Street DENVER CO 80202 1-800-227-8917 christensen.stanley@epa.gov
Xcel Energy	Donna George 1123 W 3rd Ave DENVER CO 80223 303-571-3306 Donna.L.George@xcelenergy.com

BRUNNER DEBRA K
45900 HIGHWAY 36
BENNETT CO 80102

SMIALEK DOUGLAS J AND
SMIALEK DARETH
3535 N HARBACK RD
BENNETT CO 80102-8856

GABLEHOUSE DARREL G/JANET L LIVING TRUST
50%/GABLEHOUSE RANDALL L/CYNTHIA L 50%
7233 W CANBERRA ST
GREELEY CO 80634-9798

SMIALEK LYLE BRYON AND
SMIALEK LYNDIA A
41994 COUNTY ROAD 4
ROGGEN CO 80652-8408

GALLEGOS JACK L 1/4/GALLEGOS NICK JR 1/4
GALLEGOS ROBERT E 1/4/GOMEZ BLAS JR 1/4
3914 OAKPARK PL
CINCINNATI OH 45209-2120

TOWN OF BENNETT THE
207 MUEGGE WAY
BENNETT CO 80102-8425

MELODY HOMES INC
9555 S KINGSTON CT STE 200
ENGLEWOOD CO 80112-6008

WHITEHEAD JAMES E AND
WHITEHEAD BARBARA J
15737 US HWY 186
BENNETT CO 80102

MUEGGE FARMS LLC
C/O DAN WATTS
2835 S WILLIAMS ST
DENVER CO 80210-6334

CURRENT RESIDENT
45900 US HIGHWAY 36
BENNETT CO 80102-7889

O NEILL PHILIP J AND CATHY S TRUST THE
45700 HIWAY 36
BENNETT CO 80102

CURRENT RESIDENT
45700 US HIGHWAY 36
BENNETT CO 80102-8629

PENRITH PARK JOINT VENTURE LLC
7108 S ALTON WAY STE M
ENGLEWOOD CO 80112-2125

PENRITH PARK METROPOLITAN DISTRICT
C/O MCGEADY BECHER P.C.
450 E 17TH AVE UNIT 400
DENVER CO 80203-1254

PILAND LOWELL
43651 E 38TH AVE
BENNETT CO 80102-8846

PRAIRIE GRASS LLC
22735 E BELLEVIEW PL
AURORA CO 80015-6552

CERTIFICATE OF POSTING



I, J. Gregory Barnes do hereby certify that I posted the property at the southwest corner of the intersection of US Hwy 36 & Penrith Road on April 30, 2019 in accordance with the requirements of the Adams County Development Standards and Regulations.

A handwritten signature in black ink, appearing to read "J. Gregory Barnes". The signature is written in a cursive style and is positioned above a horizontal line.

J. Gregory Barnes

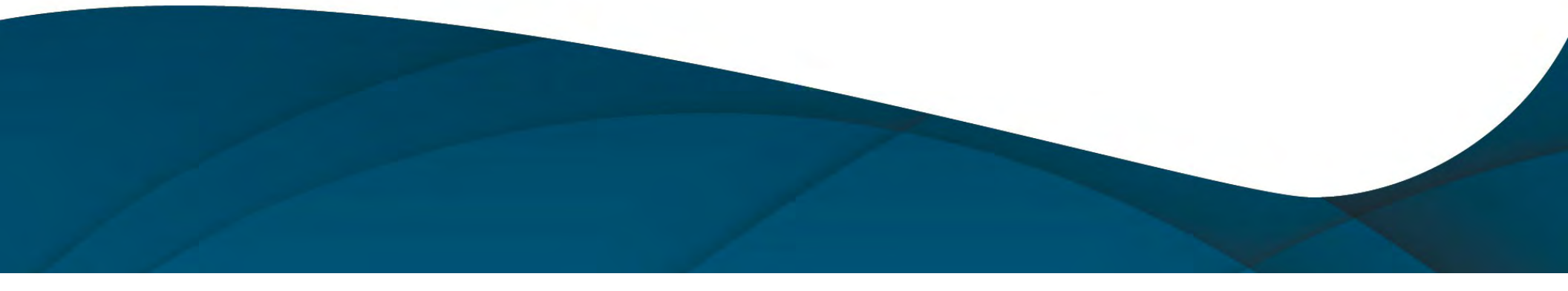
Innovative Solar

PRC2018-00019

SW Corner of Penrith Road & US Highway 36

June 18, 2019

Board of County Commissioners Public Hearing
Community and Economic Development Department
Case Manager: Greg Barnes



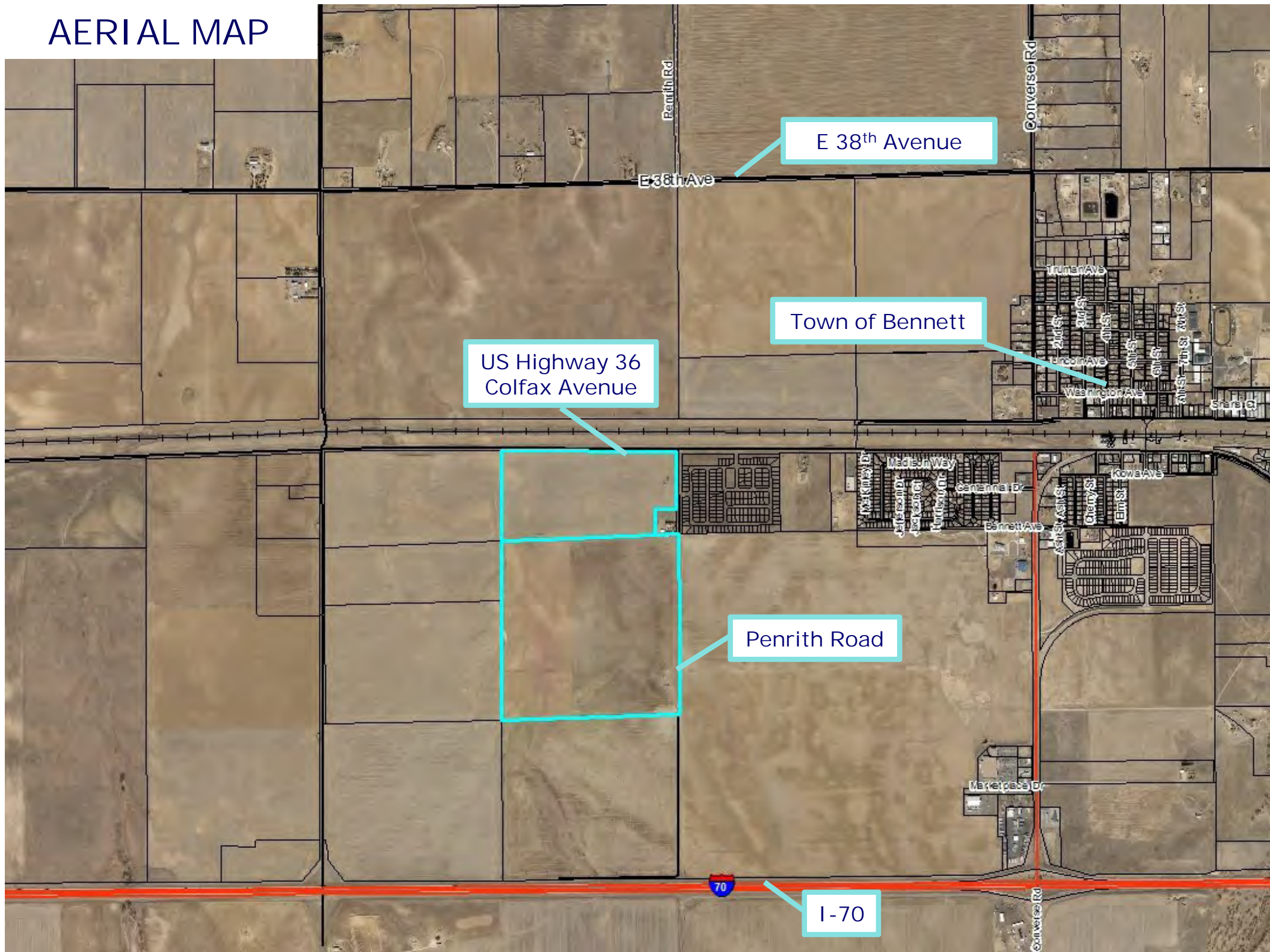
Requests

Conditional Use Permits to allow:

- Solar garden facility on in the Agricultural-3 (A-3) zone district
- Utility substation in the A-3 zone district

Waiver from County Drainage Standards

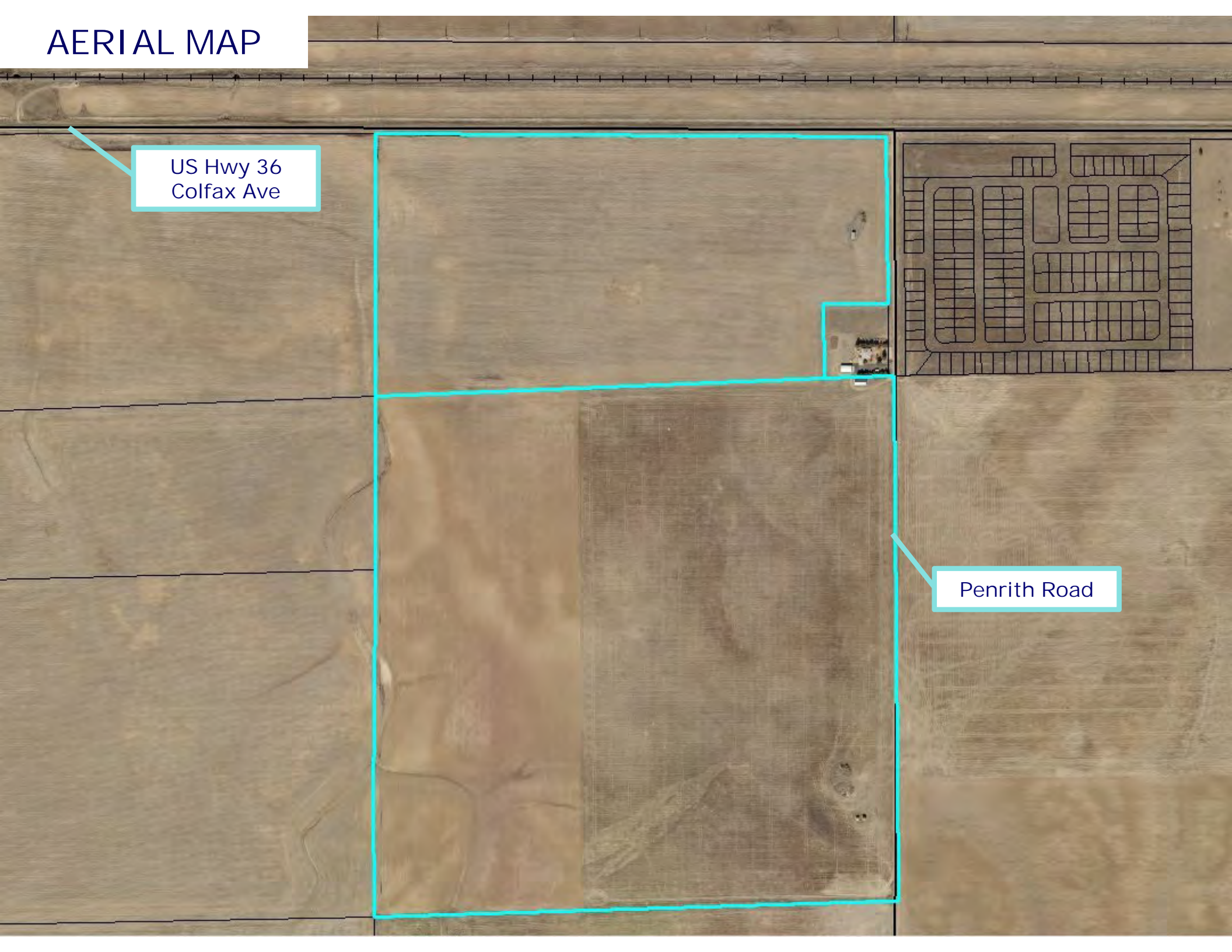
AERIAL MAP



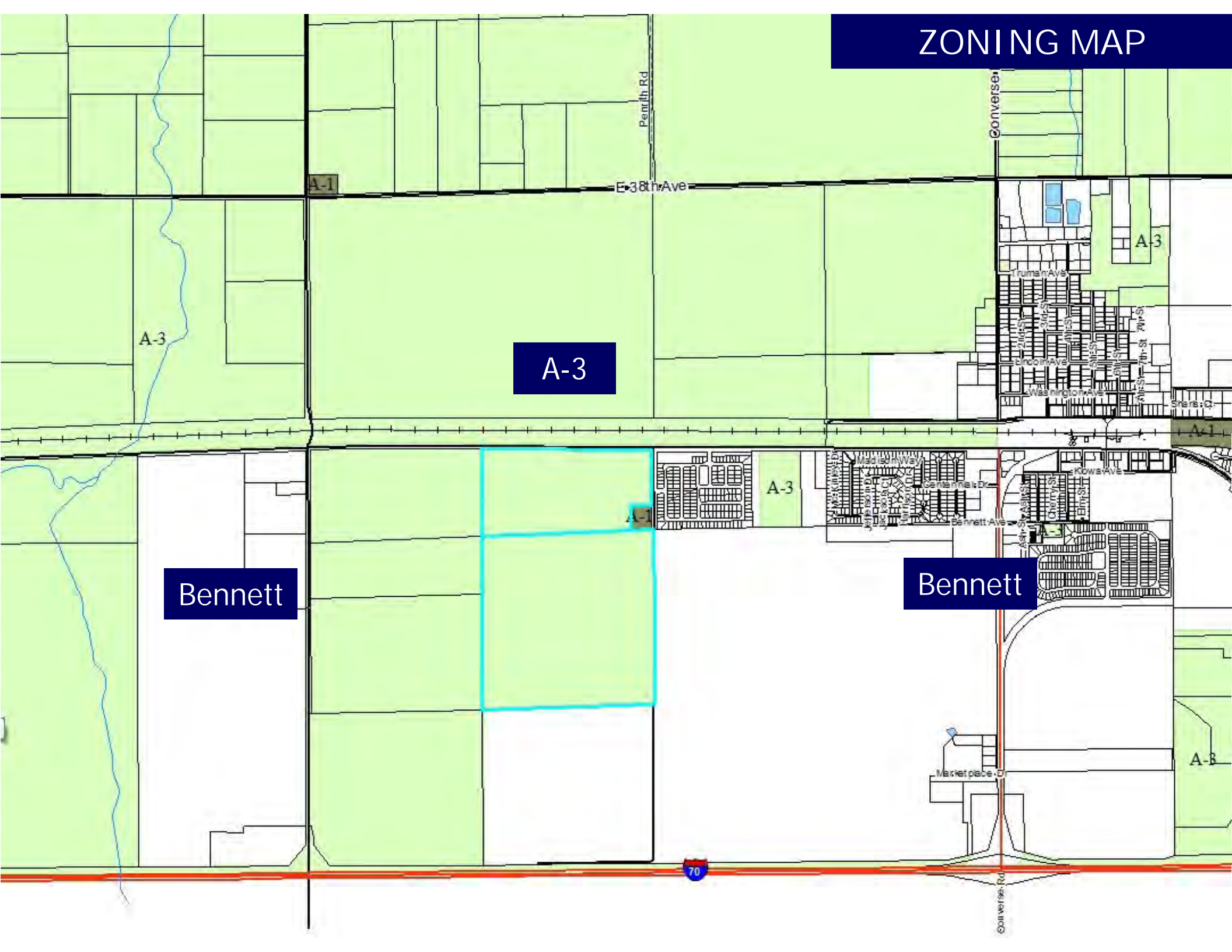
AERIAL MAP

US Hwy 36
Colfax Ave

Penrith Road



ZONING MAP



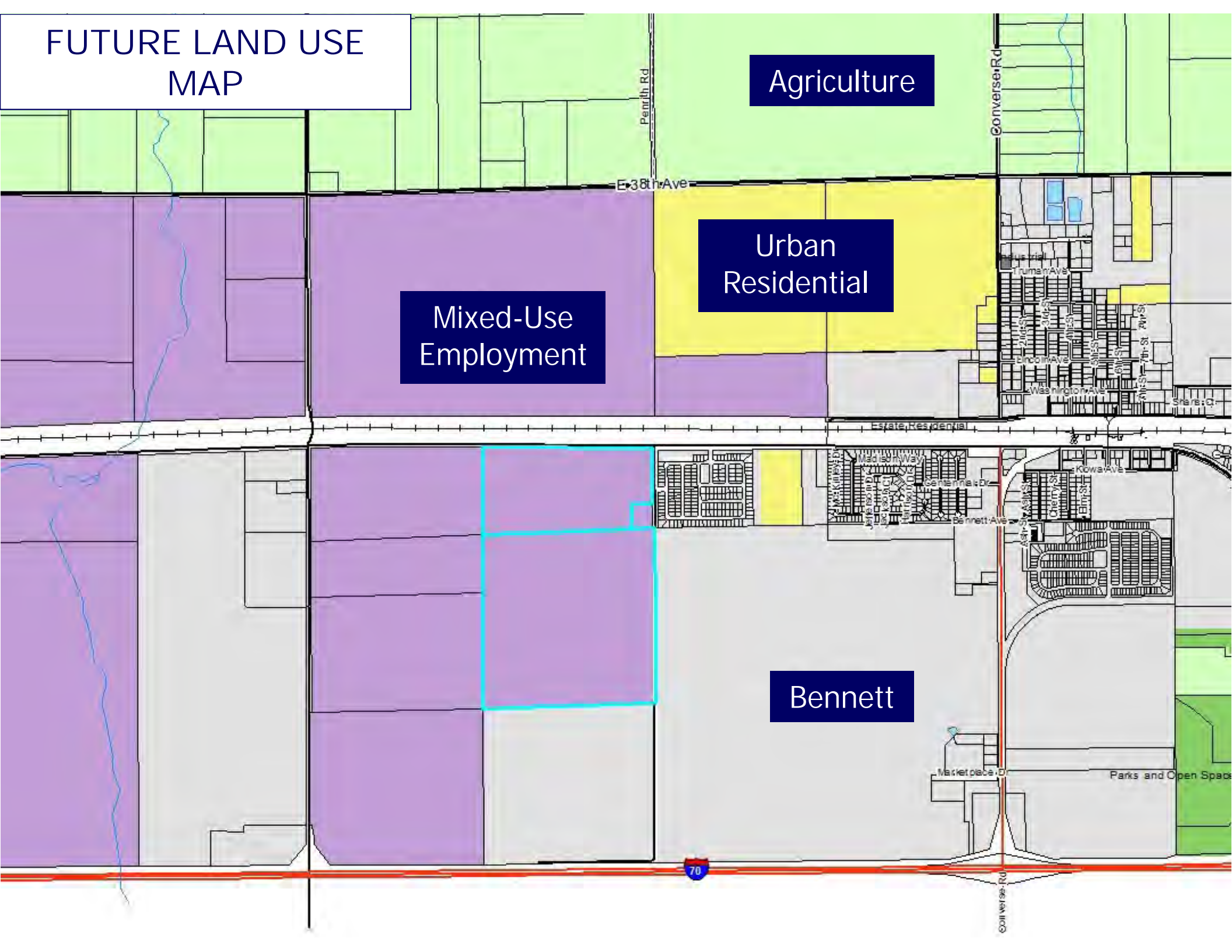
FUTURE LAND USE MAP

Agriculture

Urban
Residential

Mixed-Use
Employment

Bennett



Criteria for Conditional Use Permits

Section 2-02-08-06

1. Permitted in zone district
2. Consistent with regulations
3. Comply with performance standards
4. Harmonious & compatible
5. Addressed all off-site impacts
6. Site suitable for use
7. Site plan adequate for use
8. Adequate services

[illegible]

- Substation
- Solar facility
- Max. Height 35 Feet
- Meets all required setbacks













Referral Period

Public Notice

Notices sent*	# of Comments Received
16	0

* Property owners and residents within 2,000 were notified

Referral Agencies

- Town of Bennett
- Colorado Div. of Water Resources
- Colorado Dept. of Public Health & Environment
- Colorado Div. Parks & Wildlife
- Colorado Geological Survey
- Tri-County Health Dept.
- Xcel Energy

Planning Commission Update

Public Hearing: May 9, 2019

- No members of the public to testify
- Additional condition for landscaping (utility substation)
- Voted Approval (6-0)

PRC2018-00019: Innovative Solar

PC Recommendation

Approval of the proposed Conditional Use Permits with:

- 8 Findings-of-Fact, 7 Conditions, 1 Note

Staff recommends omitting condition #7 since condition has been met

- 8 Findings-of-Fact, 6 Conditions, 1 Note

Recommended Conditions

1. This conditional use permits shall expire on June 18, 2041 (22 years).
2. The applicant shall construct the site in conformance with the approved site and landscape plans illustrated in Exhibit 3.2.
3. A building permit shall be required for any fence associated with the site.
4. The solar panels on-site shall be removed when the conditional use permit expires, unless an extension or renewal is granted.
5. The applicant shall comply with all of the requirements of the Colorado Division of Parks & Wildlife provided in their letter dated October 22, 2018, including surveying the site for nesting birds, swift foxes, prairie dogs, and burrowing owls if installation of panels occurs between March 15th and July 31st of the year.
6. The applicant shall comply with all of the requirements of the Tri-County Health Department provided in their letter dated October 23, 2018, including the use of portable toilets and trash enclosures during construction.
7. ~~The applicant shall provide landscaping along the western and eastern boundaries of the utility substation in accordance with Xcel Energy guidelines.~~

Recommended Note

1. This conditional use permit shall expire within one year (June 18, 2020) , if a building permit is not obtained for the development.



**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT**

**CASE NO.: PRC2018-00006
CASE NAME: ROCKY MOUNTAIN RAIL PARK**

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- 5.05 Public Comments (Hauet)
- 5.06 Public Comments (Lopez)
- 5.07 Public Comments (Sauder)

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**COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT**

STAFF REPORT

Planning Commission

May 23, 2019

CASE No.: PRC2018-00006	CASE NAME: Rocky Mountain Rail Park
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Owner's Name:	Rail Land Company, LLC
Applicant's Name:	RMR Industrials, Inc.
Applicant's Address:	4601 DTC Blvd., #120, Denver 80237
Location of Requests:	Western side of Petterson Road, East of the Colorado Air and Space Port, Approximately 4,000 feet north of Interstate 70, and south of East 48 th Avenue
Nature of Requests:	1) Comprehensive Plan Amendment 2) Rezoning to Planned Unit Development (PUD) 3) Preliminary Plat for major subdivision 4) Preliminary Development Plan
Site Size:	Approximately 620 acres
Proposed Uses:	Industrial
Existing Use:	Vacant
Hearing Date(s):	PC: May 23, 2019 / 6:00 p.m. BoCC: June 18, 2109 / 9:30 a.m.
Report Date:	May 16, 2018
Case Manager:	Greg Barnes
PC Recommendations:	APPROVAL of the Comprehensive Plan Amendment, Rezoning, the Preliminary Plat, and the Preliminary Development Plan with 21 Findings-of-Fact, 6 Conditions, & 5 Notes

SUMMARY OF APPLICATIONS

Background:

Rail Land Company, LLC is proposing an industrial business park on the eastern edge of the Colorado Air and Space Port. The site is located on approximately 620 acres. The eastern side of the proposed development borders Petterson Road, the western side borders the Colorado Air and Space Port, the northern side of the development is along East 48th Avenue, and the southern boundary is approximately 4,000 feet north of Interstate-70 (I-70).

In order to pursue the industrial business park, Rail Land Company, LLC has submitted four applications: 1) ratification of an approved Comprehensive Plan Amendment to change the future land use designation on the property from Mixed-Use Employment to Industrial; 2) Zoning map amendment to change the zoning designation of the property to Planned Unit Development; 3) Preliminary Plat to create 11 lots and 11 associated tracts; and 4) Preliminary Development Plan for an industrial business park. If approved, the applicant will be expected to submit subsequent applications for the final plat, final development plan, subdivision improvements agreement, and engineering plans.

Site Characteristics:

The site is currently vacant and is bisected by U.S. Highway 36 (Colfax Avenue) and an existing railroad line. Approximately 470 acres of the proposed development is located north of Highway 36 and the rail line, while 150 acres lies to the south. The proposed development will have access to the rail line and will extend the line into the proposed development. The overall site borders three public roadways: Colfax Avenue, Petterson Road, and East 48th Avenue. The closest access to I-70 is a mile and a half to the southwest, off of Manilla Road.

Development Standards and Regulations

Comprehensive Plan Amendment:

As the owner of the properties, Rail Land Company, LLC has filed an application for a comprehensive plan amendment pursuant to Section 2-02-13-03-03 of the Adams County Development Standards and Regulations. The proposed amendment will change the future land use designation on the three parcels from Mixed-Use Employment to Industrial. In approving a comprehensive plan amendment, the Planning Commission shall find: that the request is consistent with the goals and policies of the Comprehensive Plan, that the request is consistent and/or compatible with the land use, transportation, and open space maps in the Comprehensive Plan; and that the proposal advances the health, safety, and welfare of County citizens and property owners. The Planning Commission approved the Comprehensive Plan Amendment, and the decision is now forwarded to the Board of County Commissioners for ratification.

Amendment to the Zoning Map (Rezoning)

Per Section 2-02-13 of the County's Development Standards and Regulations, the applicant is requesting to rezone this property to Planned Unit Development. The proposed Planned Unit Development will allow for industrial use of the site. Currently, the properties are zoned Agricultural-1 (A-1) and Preliminary-Planned Unit Development. A previous PUD received preliminary development plan approval, but not final development plan approval; therefore, the existing PUD was never fully established.

The request to rezone the property to Planned Unit Development zoning is required by the County in order for the applicant to request a preliminary development plan to establish a PUD. The County's Development Standards and Regulations address the PUD zone district in Section 3-30. The minimum site area for a PUD zone district is one acre, and the proposal exceeds the minimum requirement.

Preliminary Plat for Major Subdivision

Per Section 2-02-17-03 of the County's Development Standards and Regulations, the applicant is requesting a Major Subdivision (Preliminary Plat) for the proposed industrial development. Currently, the site consists of three separate parcels, which total approximately 620 acres. The applicant's proposed preliminary plat will create 11 industrial lots and 11 tracts to be used for landscaping, active recreation open space, and access.

The proposed plat conforms to the criteria for approval for a major subdivision preliminary plat as outlined in Section 2-02-17-03-05 of the County's Development Standards. These standards include conformance to the County's Comprehensive Plan, the subdivision design standards, evidence of adequate water and sewer supply, adequate drainage improvements, adequate public infrastructure, and compatibility with the surrounding area. Per Section 5-03-03 of the County's Development Standards and Regulations, subdivision plats and lot dimensions are required to conform to requirements of the zone district in which the property is located. The proposed plat does conform to the proposed preliminary development plan, which would set these minimum standards. All lots created by a subdivision shall have access to a private roadway, which will be constructed in a north-south direction through the property. Per Section 5-03-03-10 of the County's Development Standards and Regulations, the applicant shall obtain a waiver from the Board of County Commissioners to allow lots on private roadways. An application for such waiver shall be submitted with the application for final plat. The private roadway shall be maintained by the approved Rocky Mountain Rail Park Special District.

The applicant has also provided evidence of adequate water supply to service the property. The Colorado Division of Water Resources reviewed the project and confirmed the availability of adequate water supply to support the development. The proposed development will have a sewage disposal service maintained by the Special District. Currently, the applicant is pursuing approval for the proposed system with the Colorado Department of Public Health and Environment. Evidence of the adequate sewage disposal and compliance with state law shall be provided for final plat.

Per Section 5-04 of the County's Development Standards and Regulations, public improvements are required with development of a subdivision. All required public improvements, such as streets and drainage systems, will be reviewed at time of final plat application. Per Section 2-02-17-01, approval of a final plat is required prior to development on the property. In addition, a Subdivision Improvements Agreement (SIA) with applicable collateral shall be required with any applications for a final plat. The SIA will address the timing and type of improvements that are required, as well as the necessary collateral to ensure those improvements are constructed.

Preliminary Development Plan

Rail Land Holdings, LLC is requesting a Preliminary Development Plan (PDP) for an industrial development of 11 lots. A Preliminary Development Plan (PDP) is one of the two approvals required for establishing a Planned Unit Development District. The first requirement is approval of a PDP, and the second is a Final Development Plan (FDP). Per Section 2-02-10-01 of the Adams County Development Standards and Regulations, the objective of a PUD is to establish

an area of land to be developed under unified control or a unified plan of development for a number of land uses that does not correspond in lot size, bulk, or type of use, density, lot coverage, open space, or other restriction to the existing land use regulations.

A PUD allows greater flexibility in the design of a development, more variety and diversification in the relationships between buildings, open spaces, and uses while meeting the goals, policies, and objectives of the Comprehensive Plan. Per Section 3-29-02 of the County's Development Standards and Regulations, a PUD is a form of a customized zone district and may therefore modify the applicable development standards and regulations such as site area, density, setbacks, and height restrictions.

Approval of a PDP does not allow for construction. The proposed PDP includes land uses, layout of landscaping, circulation, architectural elevations, buildings, and a preliminary plat. The PDP consists of 11 industrial lots to create an industrial business park. Lot sizes would vary from 16.8 to 140 acres.

A majority of the proposed lots would be accessed from a central internal private street. The private street will intersect East 48th Avenue on the northern side of the development and Petterson Road on the southern end. Proposed setbacks for the lots will be 40 feet from front property lines (along the private street). Side and rear setbacks are proposed to be 20 feet. The industrial lots located on the eastern edge of the development will be oriented so that Petterson Road will form their rear lot line. The proposed setbacks for the PDP closely match or exceed required setbacks for the Industrial-2 and Industrial-3 zone districts, with the exception of setbacks from Petterson Road and East 48th Avenue. Setbacks for those property lines are proposed to be 20 feet, rather than the I-2 or I-3 zone district standard of 25 ft.

The proposed development is subject to design standards (See Exhibit 3.4) as specified in an accompanying document to the PUD. These standards require each development to have uniform lighting, landscaping, and signage. All four sides of structures shall comply with the architectural standards. The maximum building height for occupied structures will be ninety feet; however unoccupied structures like towers may reach up to 150 feet. All structure heights will be expected to conform to FAA regulations. Off-street parking accommodations will be expected to comply with Adams County Development Standards and Regulations.

Per Section 3-29-03-05-06 of the County's Development Standards and Regulations, a minimum of 30% open space is required in all PUDs. Section 3-29-03-05-03 specifies that 25% of this required open space must be designated for active recreation purposes. Based on those requirements, 186 acres of open space will be requisite of this particular development to satisfy the 30% open space requirement. A total of 112.06 acres are designated for open space in the tracts and the PUD requires a minimum of 10% of each lot be designated for open space. This results in the overall development exceeding the minimum open space requirement. A total of 46.5 acres are to be designated for active recreation open space and the applicant has provided 33.71 acres of active recreation open space. Based on the overall expanse of this project and the industrial nature of the request, staff is supportive of the overall open space design. The applicant has agreed to install an expansive trail and berm around a majority of the perimeter of the site.

The overall development will contain several park tracts with special landscaping, park benches, and picnic tables. These amenities will be open to the public, and the open space provided will all be maintained by the Rocky Mountain Rail Park Special District.

The staff determination is that the Preliminary Development Plan conforms to the purpose and intent of the Development Standards and Regulations and the goals of the Comprehensive Plan. The PDP is compatible with the future of the surrounding area, is not detrimental to the future development of the area, and is designed to mitigate external impacts to the nearby residential uses through adequate setbacks from property lines and provides sufficient open space and landscaping. The site will not negatively impact utilities or traffic in the area or otherwise have a detrimental impact on surrounding properties.

Comprehensive Plan:

The future land use designation on the property is currently Mixed-Use Employment. Per Chapter 5 of the Adams County Comprehensive Plan, the purpose of the Mixed-Use Employment future land use designation is to accommodate a range of employment uses with a mix of supporting uses to serve employment needs. In addition, Mixed-Used Employment areas are designated in locations that have transportation access and visibility, but are not suitable for residential development. Mixed-Use Employment areas may include offices, light manufacturing, distribution, indoor warehousing, clean industry, and supporting retail businesses. The applicant intends to develop the property with uses that may be compatible with the mixed-use employment designation; however, the proposal includes the option for moderate and heavy industrial uses.

The applicant has been approved by the Planning Commission for an amendment to the County's future land use plan to change the designation to Industrial. The subject request includes ratification of the amendment approval. Per Chapter 5 of the Adams County Comprehensive Plan, the purpose of the Industrial future land use designation is to provide for a wide-range of employment uses, including manufacturing.

Surrounding Zoning Designations and Existing Use Activity:

<u>Northwest</u> AV Colorado Air & Space Port	<u>North</u> AV/A-3 Colorado Air & Space Port	<u>Northeast</u> A-3 Vacant
<u>West</u> AV Colorado Air & Space Port	<u>Subject Property</u> PUD (P)/A-1 Vacant	<u>East</u> City of Aurora Vacant
<u>Southwest</u> A-3 Vacant	<u>South</u> A-3 Vacant	<u>Southeast</u> A-3 Single-Family Residential

Compatibility with the Surrounding Land Uses:

A majority of the properties to the east, north, and south of the proposed development are undeveloped vacant land. The Colorado Air and Space Port is directly to the west of the site. Several single-family residential uses can be found along the southeastern corner of the site. The proposed development plan has located the moderate to heavy industrial uses to the north of Colfax Avenue.

The addition of industrial development which will be served by a metropolitan district will help to support the overall development of the Colorado Air and Space Port. The proposed development can serve as headquarters for employment-producing businesses that are needed to help the facility grow.

PLANNING COMMISSION UPDATE

The Planning Commission (PC) considered this case on June 13, 2019, and voted (7-0) to recommend approval of the request. The applicant spoke at the meeting and had no concerns with the staff report. The applicant provided additional detail on the proposed build-out, indicating that the proposed industrial park may provide as many as 500 high-paying jobs to the area.

During the public hearing, Dr. Kate Sauder, a nearby resident, spoke. Dr. Sauder expressed appreciation for the transparency of the process and requested that, as the project advances with final plat and final development plan applications, the County and the applicant consider the possibilities of upgrading the railroad crossing near the intersection of Colfax Avenue and Petterson Road in order to establish a quiet zone. In addition, Dr. Sauder requested that the County works with CDOT to further investigate the potential to reduce traffic speeds on U.S. Highway 36 from 55 to 45 miles per hour.

In addition, five public comments were received from individuals who are currently working on a logistics and commerce park directly adjacent to the subject property. The proposed Transport Colorado project is within the City of Aurora and is currently undergoing a City of Aurora staff review. The concerns raised by Transport Colorado included an increase of in regional transportation needs, cost sharing for potential impacts, and the potential for train blockage of public roadways. Transport Colorado requested that the Planning Commission continue the case for an additional thirty days.

The Planning Commission requested that the applicant consider regional transportation demands during the final plat process, particularly through the consideration of the Northeast Aurora Transportation Study (NEATS) Refresh Study. In addition, the Planning Commission requested that the applicant make significant improvements to the railroad crossing to pursue a quiet zone through the railroad to accommodate the neighborhood concerns.

Staff Recommendations:

Based upon the application, the criteria for approval of: a comprehensive plan, zoning map amendment, preliminary plat, and preliminary development plan, as well as a recent site visit, staff recommends approval of these requests with 21 findings-of-fact, 6 conditions, and 5 notes.

RECOMMENDED FINDINGS-OF-FACT

1. The PDP is in general conformity with the Adams County Comprehensive Plan and any applicable area plan.
2. The PDP is consistent with the purposes of these standards and regulations.
3. The PDP is compatible or designed to mitigate externalities with the existing or allowed land uses adjacent to the proposed PDP.
4. The PDP conforms to the Adams County Transportation Plan and will not negatively impact utilities or traffic in the area or otherwise have a detrimental impact on property in sufficient proximity to the proposed development to be affected by it.
5. The PDP is consistent with any applicable drainage plans.
6. The PDP allows for the regulation of use and development of land and buildings where specific issues or concerns must be mitigated due to unusual and unique circumstances; or where alternative design concepts are desired; or are necessary to mitigate specific conditions.
7. The PDP is consistent with any approved ODP for the property.
8. The PDP is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. The proposed development has established an adequate level of compatibility by:
 - a. Incorporating natural physical features into the development design and providing sufficient open spaces considering the type and intensity of use;
 - b. Incorporating site planning techniques to foster the implementation of the County's plans, and encourage a land use pattern to support a balanced transportation system, including auto, bike and pedestrian traffic, public or mass transit, and the cost effective delivery of other services consistent with adopted plans, policies and regulations of the County;
 - c. Incorporating physical design features in the development to provide a transition between the project and adjacent land uses through the provision of an attractive entryway, edges along public streets, architectural design, and appropriate height and bulk restrictions on structures;
 - d. Incorporating identified environmentally sensitive areas, including but not limited to, wetlands and wildlife corridors, into the project design;
 - e. Incorporating public facilities or infrastructure, or cash-in-lieu, reasonably related to the proposed development so the proposed development will not negatively impact the levels of service of the County services and facilities; and

- f. Incorporating an overall plan for the design of the streetscape within the project, including landscaping, auto parking, bicycle and pedestrian circulation, architecture, placement of buildings, and street furniture.
- 9. The preliminary plat is consistent with the Adams County Comprehensive Plan and any available area plan.
- 10. The preliminary plat is consistent with the purposes of these standards and regulations.
- 11. The preliminary plat is in conformance with the subdivision design standards and any approved sketch plan.
- 12. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.
- 13. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that such system complies with state and local laws and regulations.
- 14. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.
- 15. The applicant has provided evidence that adequate drainage improvements comply with these standards and regulations.
- 16. The overall density of development within the proposed subdivision conforms to the zone district density allowances.
- 17. The proposed subdivision is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. The proposed subdivision has established an adequate level of compatibility by:
 - a. Incorporating natural physical features into the development design and providing sufficient open spaces considering the type and intensity of use;
 - b. Incorporating site planning techniques to foster the implementation of the County's plans, and encourage a land use pattern to support a balanced transportation system, including auto, bike and pedestrian traffic, public or mass transit, and the cost effective delivery of other services consistent with adopted plans, policies and regulations of the County;
 - c. Incorporating physical design features in the subdivision to provide a transition between the project and adjacent land uses through the provision of an attractive entryway, edges along public streets, architectural design, and appropriate height and bulk restrictions on structures;
 - d. Incorporating identified environmentally sensitive areas, including but not limited to, wetlands and wildlife corridors, into the project design; and
 - e. Incorporating public facilities or infrastructure, or cash-in-lieu, reasonably related to the proposed subdivision so the proposed subdivision will not negatively impact the levels of service of the County services and facilities.
- 18. The Zoning Map amendment is consistent with the Adams County Comprehensive Plan.

19. The Zoning Map amendment is consistent with the purposes of these standards and regulations.
20. The Zoning Map amendment will comply with the requirements of these standards and regulations.
21. The Zoning Map amendment is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.

Recommended Conditions of Approval:

1. The applicant shall secure a public sewage disposal system, which complies with state and local laws and regulations.
2. The Final Development Plan shall conform to Section 3-29-03 of the Development Standards and Regulations for General Site Design Standards, including bicycle amenities and open space requirements.
3. Development of the site shall conform to all required public infrastructure outlined in Chapter 7 of the County's Development Standards and Regulations.
4. The applicant shall incorporate results of the Northeast Aurora Transportation Study (NEATS) Refresh Study, which was completed in October 2018 as part of the final plat submittal's traffic study.
5. To the extent feasible, the applicant will work to coordinate on regional transportation impacts.
6. The applicant shall pursue establishment of a quiet zone for the railroad crossing near the intersection of Colfax Avenue and Petterson Road

Recommended Note to the Applicant:

1. The applicant shall comply with all building, zoning, fire, engineering, and health codes and regulations during the development of the subject site.
2. The PDP approval shall lapse three (3) years from the date of approval (June 18, 2022) if a Final Development Plan is not submitted
3. The preliminary plat approval shall lapse two (2) years from the date of approval (June 18, 2021) if a final plat is not submitted.
4. The applicant shall apply for a waiver from subdivision design standards to allow for lots on a private street. This application shall accompany the application for final plat.
5. A Subdivision Improvement Agreement shall be submitted with the final plat application.

PUBLIC COMMENTS

Number of Notices Mailed (3500 Feet)	Number of Public Comments Received by Staff
243	13

Two-hundred forty-three (73) notices were mailed to all property owners and residents within 3,500 feet of the request. As of writing this report, staff has received ten letters from nearby residents regarding with the request. The main concerns expressed are related to a changing character of the area. Respondents indicated that additional traffic, aesthetics, and a perceived loss of property values. Some concerns were raised regarding a perception of limited availability of water to support the proposed development. County staff informed the State Division of Water Resources of the residents' concerns, and was informed by the State that the applicant has demonstrated the ability to provide the required 300-year water supply to support the development.

COUNTY AGENCY COMMENTS

Adams County staff reviewed the subject request and determined the proposal complies with the subdivision design standards and the overall purpose and intent outlined in the Development Standards and Regulations. All lot configurations proposed conforms to lot dimensions in the PUD zone district. Evidence of the ability to provide adequate water and sewage facilitates have also been provided.

REFERRAL AGENCY COMMENTS

The Colorado Department of Public Health and Environment (CDPHE) have indicated that the sewage disposal system has not been approved. A condition is recommended to ensure that adequate sewage disposal is secure and compliant with all state and local standards.

Bennett-Watkins Fire and the Colorado Division of Parks and Wildlife indicated concerns that shall be addressed during the final development plan, final plat, and/or development stages.

Responding with Concerns:

Bennett-Watkins Fire
Colorado Department of Public Health and Environment
Colorado Department of Transportation
Colorado Division of Parks & Wildlife

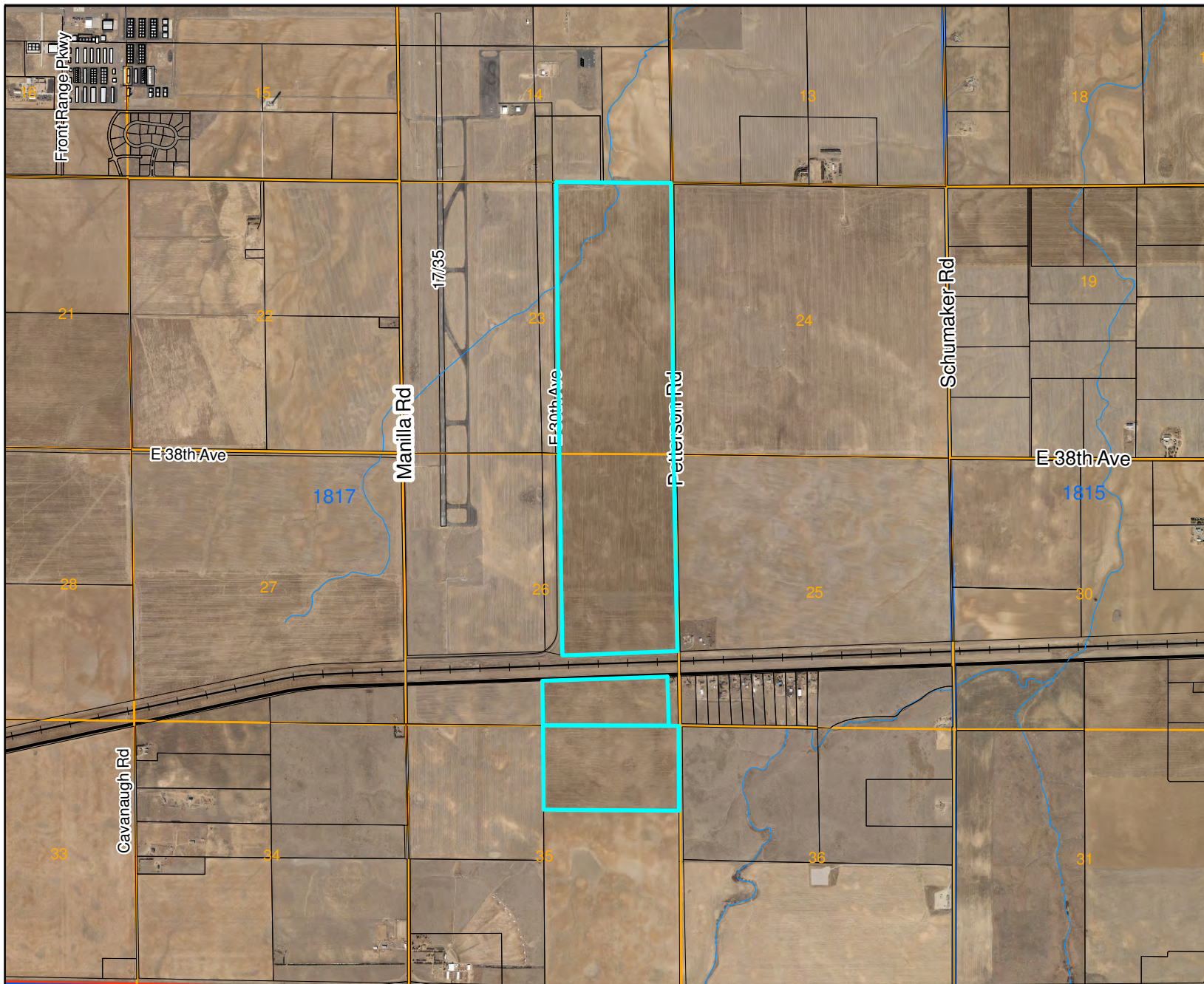
Responding without Concerns:

City of Aurora
Colorado Division of Water Resources
Colorado Geological Survey
Intermountain Rural Electric Association (IREA)
West Adams Conservation District
Xcel Energy

Notified but not Responding / Considered a Favorable Response:

Bennett Fire
Bennett Parks & Recreation

Bennett Schools 29J
Century Link
Colorado Air and Space Port
Colorado Mining and Reclamation
Comcast
Metro Wastewater
Tri-County Health
Union Pacific
US Postal Service
US Environmental Protection Agency



Legend

- Railroad
- Major Water
- Zoning Line
- Sections

Rocky Mountain Rail Park

PRC2018-00006

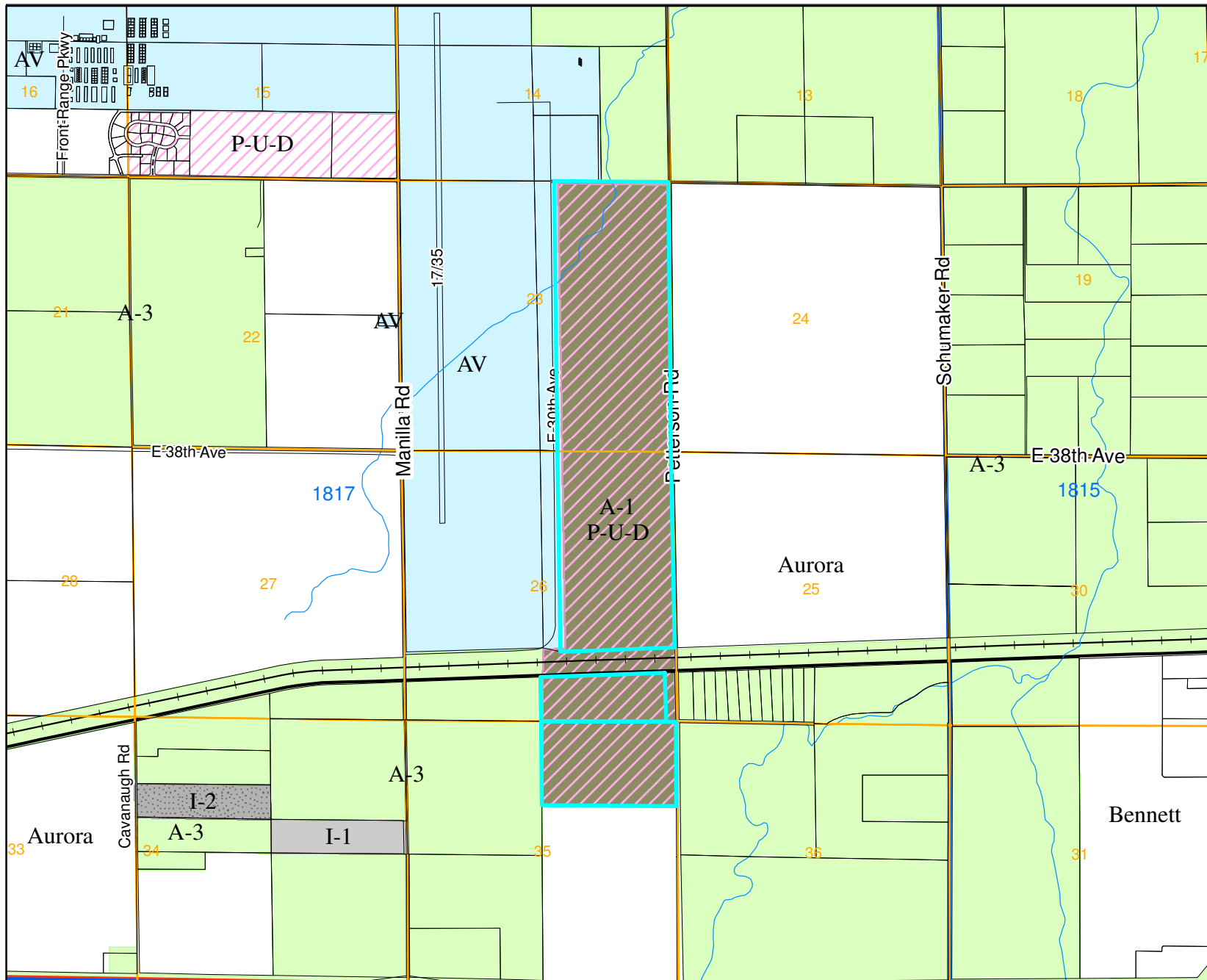


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ADAMS COUNTY
COLORADO

This map is made possible
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group, which assumes no
responsibility for its accuracy



Legend

- Railroad
- Major Water
- Zoning Line
- Sections

Zoning Districts

- A-1
- A-2
- A-3
- R-E
- R-1-A
- R-1-C
- R-2
- R-3
- R-4
- M-H
- C-0
- C-1
- C-2
- C-3
- C-4
- C-5
- I-1
- I-2
- I-3
- CO
- PL
- AV
- DIA
- P-U-D
- P-U-D(P)

Rocky Mountain Rail Park

PRC2018-00006

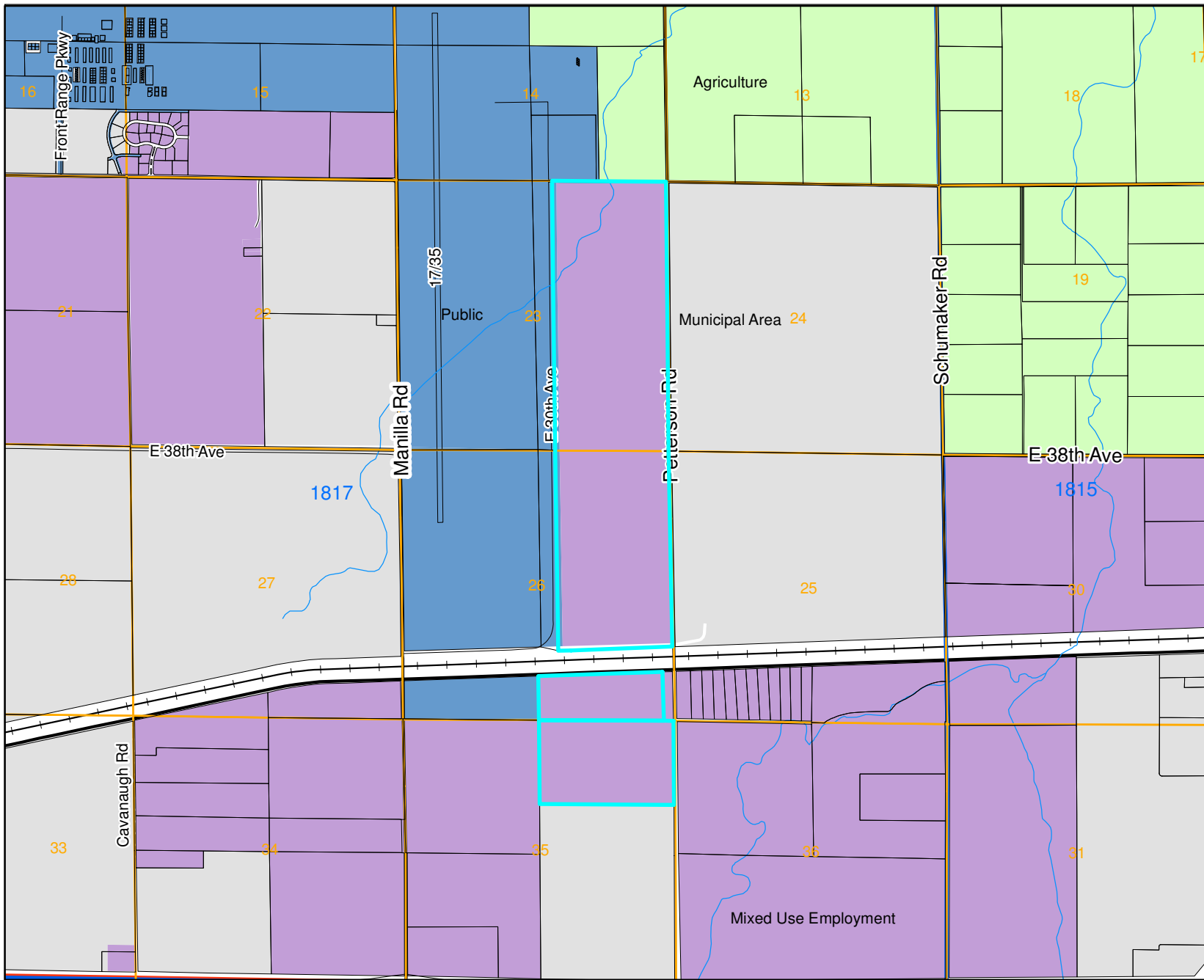


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Legend

- Railroad
- Major Water
- - - Zoning Line
- Sections

Zoning Districts

- A-1
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- R-E
- R-1-A
- R-1-C
- R-2
- R-3
- R-4
- M-H
- C-0
- C-1
- C-2
- C-3
- C-4
- C-5
- I-1
- I-2
- I-3
- CO
- PL
- AV
- DIA
- P-U-D
- P-U-D(P)

Rocky Mountain Rail Park

PRC2018-00006



For display purposes only.



ADAMS COUNTY
COLORADO

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responsibility for its accuracy

ENERTIA CONSULTING GROUP

1529 Market Street, Suite 200
Denver, Colorado 80202



Project Info

Project Name: Rocky Mountain Rail Park

Project Location: Off of E 30th Ave, Manilla Rd, E Colfax Ave

1st Submittal Document: Project Explanation

May 24, 2018

Adams County Planning Department
4430 S Adams County Pkwy
Brighton, CO 80601

To whom it may concern,

Rocky Mountain Rail Park is a proposed industrial rail park that consists of two separate parcels that are adjacent to Front Range Airport. Parcel 1 is bound by E 48th Ave to the north, Peterson Rd to the east, and E 30th Ave to the west. Parcel 2 is bound by E Colfax Ave to north and Peterson Rd to the east. Rocky Mountain Rail Park will be a planned unit development, with all internal parcels consisting of industrial and commercial uses that will have rail access to connect to the existing Union Pacific Railroad that runs parallel to E Colfax Avenue.

Natural gas and electricity for the project will be provided by Colorado Natural Gas and Xcel Energy, respectively. The project will require the creation of a new metro district for water and sanitation due to the lack of public utilities in the area. Water will be provided by an underground well system that uses the water rights that are associated with the project. Sanitation will be handled through on site sanitation systems and storage.

Rocky Mountain Rail Park is designed as a self-sustaining, mixed use development that will enrich the economy of the greater Adams County and Town of Bennett community. The plan for Rocky Mountain Rail Park forms the basis of a mixed use development that integrates jobs, rail access, and a supporting community for the Front Range Airport.

Respectfully,

Sean O'Hearn, P.E.

ROCKY MOUNTAIN RAIL PARK
LOCATED IN THE EAST HALF OF SECTION 23, THE EAST HALF OF SECTION 26 AND THE
NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 3 SOUTH, RANGE 64 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, STATE OF COLORADO

Certificate of Dedication and Ownership

KNOW ALL MEN BY THESE PRESENTS THAT RAIL LAND COMPANY LLC, A COLORADO LIMITED LIABILITY COMPANY, BEING THE SOLE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND:

LOCATED IN THE EAST HALF OF SECTION 23, THE EAST HALF OF SECTION 26 AND THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 3 SOUTH, RANGE 64 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

COMMITMENT NUMBER N0011731-020-PN-DS1:

PARCEL A:

A PARCEL OF LAND LOCATED IN THE E1/2, SECTIONS 23 AND 26, TOWNSHIP 3 SOUTH, RANGE 64 WEST OF THE 6 PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 23; THENCE ALONG THE EAST LINE OF SAID SECTION 23, SOUTH 00 DEGREES 33 MINUTES 18 SECONDS EAST A DISTANCE OF 5292.16 FEET TO THE NORTHEAST CORNER OF SAID SECTION 26; THENCE ALONG THE EAST LINE OF SAID SECTION 26, SOUTH 01 DEGREES, 04 MINUTE 25 SECONDS EAST A DISTANCE OF 3841.38 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE TO THE UNION PACIFIC RAILROAD; THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE, SOUTH 87 DEGREES 57 MINUTES 03 SECONDS WEST A DISTANCE OF 2262.36 FEET TO A POINT ON THE EAST PROPERTY LINE OF THE FRONT RANGE AIRPORT AS CONVEYED IN DEED RECORDED IN BOOK 4038 PAGE 253; THENCE ALONG SAID EAST PROPERTY LINE NORTH 00 DEGREES 54 MINUTES 51 SECONDS WEST A DISTANCE OF 3932.35 FEET TO A POINT ON THE SOUTH LINE OF SAID SECTION 23; THENCE CONTINUING ALONG SAID EAST PROPERTY LINE, NORTH 00 DEGREES 38 MINUTES 17 SECONDS WEST DISTANCE OF 5296.70 TO A POINT ON THE NORTH LINE OF SAID SECTION 23; THENCE ALONG SAID NORTH LINE SECTION 23, SOUTH 89 DEGREES 37 MINUTES 37 SECONDS EAST A DISTANCE OF 2259.45 FEET TO THE POINT OF BEGINNING, EXCEPTING THE EAST 30.00 FEET OF SECTIONS 23 AND 26 FOR COUNTY ROAD RIGHT-OF-WAY AS ANNEXED BY CITY OF AURORA, COLORADO, RECEPTION NO. B734231.

COMMITMENT NUMBER N0017815-020-PN-DS1, AMENDMENT NO. 1:

PARCEL B:

A PARCEL OF LAND LOCATED IN THE SOUTH 1/2 SOUTHEAST 1/4, SECTION 26, TOWNSHIP 3 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SOUTHEAST 1/4, SAID POINT BEING THE TRUE POINT OF BEGINNING FOR THE HEREIN DESCRIBED PARCEL OF LAND; THENCE ALONG THE EAST LINE OF SAID SOUTHEAST 1/4, NORTH 00 DEGREES 54 MINUTES 51 SECONDS WEST A DISTANCE OF 849.45 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF S. HIGHWAY NO. 36; THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE, NORTH 67 DEGREES 57 MINUTES 03 SECONDS EAST A DISTANCE OF 2449.30 FEET TO THE NORTHWEST CORNER OF THAT CERTAIN PARCEL OF LAND AS DESCRIBED IN BOOK 2763 AT PAGE 81 OF THE RECORDS OF SAID ADAMS COUNTY; THENCE ALONG THE WEST LINE OF SAID CERTAIN PARCEL, SOUTH 01 DEGREES 04 MINUTES 25 SECONDS EAST A DISTANCE OF 949.09 FEET TO THE SOUTHWEST CORNER OF SAID CERTAIN PARCEL, SAID POINT ALSO BEING ON THE SOUTH LINE OF SAID SOUTHEAST 1/4; THENCE ALONG SAID SOUTH LINE SOUTHEAST 1/4, NORTH 89 DEGREES 43 MINUTES 11 SECONDS WEST A DISTANCE OF 2452.00 FEET TO THE POINT OF BEGINNING.

PARCEL C:

A PARCEL OF LAND LOCATED IN THE NORTHEAST 1/4, SECTION 35, TOWNSHIP 3 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID NORTHEAST 1/4, SAID POINT BEING THE POINT OF BEGINNING FOR THE HEREIN DESCRIBED PARCEL OF LAND; THENCE ALONG THE EAST LINE OF SAID NORTHEAST 1/4, SOUTH 00 DEGREES 12 MINUTES 19 SECONDS EAST A DISTANCE OF 1653.23 FEET TO TEE SOUTHEAST CORNER OF THE NORTH 1/2, NORTH 1/2, SOUTH 1/2, NORTHEAST 1/4 OF SAID SECTION 35; THENCE ALONG THE SOUTH LINE OF SAID NORTH 1/2, NORTH 1/2, SOUTH 1/2, NORTHEAST 1/4, NORTH 89 DEGREES 31 MINUTES 21 SECONDS WEST A DISTANCE OF 2660.75 FEET TO THE SOUTHWEST CORNER OF SAID NORTH 1/2, NORTH 1/2, SOUTH 1/2, NORTHEAST 1/4; THENCE ALONG THE WEST LINE OF SAID NORTHEAST 1/4, NORTH 00 DEGREES 24 MINUTES 36 SECONDS WEST A DISTANCE OF 1644.13 FEET TO THE NORTHWEST CORNER OF SAID NORTHEAST 1/4; THENCE ALONG THE NORTH LINE OF SAID NORTHEAST 1/4, SOUTH 89 DEGREES 43 MINUTES 11 SECONDS EAST A DISTANCE OF 2666.53 FEET TO THE POINT OF BEGINNING, EXCEPTING THE EAST 30.00 FEET OF THE NORTHEAST 1/4, SECTION 35 CONTIGUOUS WITH THE ABOVE DESCRIBED PARCEL OF LAND. SAID EAST 30.00 FEET ANNEXED BY THE CITY OF AURORA, COLORADO, RECEPTION NO. B734231.

AND ALSO DESCRIBED AS FOLLOWS:

CONSIDERING THE SOUTH LINE OF THE NORTHEAST QUARTER OF SECTION 35 TO BEAR NORTH 89°24'01" WEST, A DISTANCE OF 2657.29 FEET BETWEEN THE EAST QUARTER CORNER OF SECTION 35, BEING A FOUND #6 REBAR WITH 2 1/2" ALUMINUM CAP, "LS 5112 T3S R64W 35 36 1/4 1991" AND THE CENTER QUARTER OF SECTION 35, BEING A FOUND #6 REBAR WITH 3 1/4" ALUMINUM CAP, "T3S R67W [SIC] CENTER 1/4 SEC 35 1992 LS 10734" WITH ALL BEARINGS SHOWN HEREON ARE RELATIVE THERETO.

COMMENCING AT SAID CENTER QUARTER CORNER OF SECTION 35; THENCE ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF SECTION 35, NORTH 00°24'15" WEST, A DISTANCE OF 986.62 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID WEST LINE, NORTH 00°24'15" WEST, A DISTANCE OF 1644.15 FEET TO THE SOUTH QUARTER CORNER OF SECTION 26; THENCE ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF SECTION 26, NORTH 00°54'59" WEST, A DISTANCE OF 849.46 FEET TO POINT ON THE SOUTH RIGHT-OF-WAY LINE OF EAST COLFAX AVENUE, SAID POINT BEING POINT A; THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE, NORTH 87°56'25" EAST, A DISTANCE OF 2449.51 FEET; THENCE SOUTH 01°03'37" EAST, A DISTANCE OF 849.60 FEET TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 26; THENCE ALONG SAID SECTION LINE, SOUTH 89°43'06" EAST, A DISTANCE OF 184.57 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF PETERSON ROAD;

ROAD; THENCE ALONG SAID WEST RIGHT-OF-WAY LINE, SOUTH 00°12'00" EAST, A DISTANCE OF 1653.32 FEET; THENCE DEPARTING SAID RIGHT-OF-WAY LINE, NORTH 89°31'02" WEST, A DISTANCE OF 2630.74 FEET TO A POINT ON THE WEST LINE OF THE NORTHEAST QUARTER OF SECTION 35, SAID POINT ALSO BEING THE POINT OF BEGINNING.

THENCE COMMENCING AT SAID POINT A; THENCE ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF SECTION 26, NORTH 00°54'59"W, A DISTANCE OF 500.07 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF THE UNION PACIFIC RAILROAD; THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE, NORTH 87°56'25"E, A DISTANCE OF 400.05 FEET TO A POINT, SAID POINT BEING POINT B, A SECOND POINT OF BEGINNING; THENCE NORTH 00°54'59"W, A DISTANCE OF 1292.35 FEET; THENCE NORTH 00°54'42"W, A DISTANCE OF 2647.11 FEET; THENCE NORTH 00°38'13"W, A DISTANCE OF 2646.37 FEET; THENCE NORTH 00°38'12"W, A DISTANCE OF 2643.27 FEET; TO A POINT ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 23; THENCE ALONG SAID NORTH LINE, THENCE SOUTH 89°37'39"E, A DISTANCE OF 2229.51 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF PETERSON ROAD; THENCE ALONG SAID WEST RIGHT-OF-WAY LINE THE FOLLOWING FOUR (4) COURSES:

- 1) SOUTH 00°33'11"E, A DISTANCE OF 2646.70 FEET;
- 2) THENCE SOUTH 00°33'13"E, A DISTANCE OF 2646.16 FEET;
- 3) THENCE SOUTH 01°04'21"E, A DISTANCE OF 2650.03 FEET;
- 4) THENCE SOUTH 01°04'25"E, A DISTANCE OF 1191.58 FEET TO A POINT ON SAID NORTH RIGHT-OF-WAY LINE OF THE UNION PACIFIC RAILROAD; THENCE ALONG SAID RIGHT-OF-WAY LINE, SOUTH 87°56'25" WEST, A DISTANCE OF 2232.37 FEET TO POINT B, THE SECOND POINT OF BEGINNING.

CONTAINING 26,983,284 SQ. FT. OR 619.45 ACRES MORE OR LESS.

HAS BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, TRACTS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF "ROCKY MOUNTAIN RAIL PARK", A SUBDIVISION IN THE, COUNTY OF ADAMS, STATE OF COLORADO.

THE UNDERSIGNED DOES HEREBY DEDICATE, GRANT AND CONVEY TO ADAMS COUNTY THOSE PUBLIC EASEMENTS AS SHOWN ON THE PLAT; AND FURTHER RESTRICTS THE USE OF ALL PUBLIC EASEMENT TO ADAMS COUNTY AND/OR ITS ASSIGNS, PROVIDED HOWEVER, THAT THE SOLE RIGHT AND AUTHORITY TO RELEASE OR QUITCLAIM ALL OR ANY SUCH PUBLIC EASEMENTS SHALL REMAIN EXCLUSIVELY VESTED IN ADAMS COUNTY.

FOR THE APPROVAL OF "ROCKY MOUNTAIN RAIL PARK" AND THE DEDICATIONS AND CONDITIONS WHICH APPLY

THERETO THIS _____ DAY OF _____, 20_____.

BY: RAIL LAND COMPANY, LLC, A COLORADO LIMITED LIABILITY COMPANY

NAME, TITLE

ACKNOWLEDGMENT

STATE OF _____ }
COUNTY OF _____ } SS.

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____
DAY OF _____, 20_____, BY _____ AS
OF RAIL LAND COMPANY, LLC, A COLORADO LIMITED LIABILITY COMPANY

BY _____

WITNESS MY HAND AND SEAL.

MY COMMISSION EXPIRES: _____

[SEAL]

NOTARY PUBLIC

Planning Commission Approval

APPROVED BY THE ADAMS COUNTY PLANNING COMMISSION THIS
____ DAY OF _____, 20____.

CHAIR

Board of County Commissioners Approval

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS
____ DAY OF _____, 20____.

CHAIR

Clerk and Recorder

THIS FINAL PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER IN THE STATE OF COLORADO, AT _____ M. ON THE _____ DAY OF _____, 20____.

COUNTY CLERK AND RECORDER

BY: _____
DEPUTY

FILE NO. _____

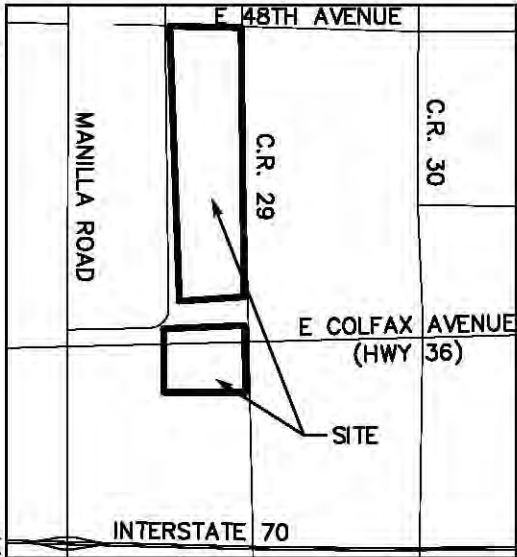
MAP NO. _____

RECEPTION NO. _____

PRC2018-00006



Vicinity Map
NOT TO SCALE -
MAP DATA ©2018 GOOGLE



Sheet Index

SHEET 1 COVER SHEET
SHEETS 2 OUTER BOUNDARY
SHEETS 3-7 INTERIOR LOT CONFIGURATION

Notes

1. FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NUMBERS N0011731-020-PN-DS1, DATED DECEMBER 4, 2018 AT 8:00 A.M. AND N0017815-020-PN-DS1, AMENDMENT NO. 1, DATED OCTOBER 11, 2018 AT 8:00 A.M., WERE ENTIRELY RELIED UPON FOR RECORDED INFORMATION REGARDING RIGHT-OF-WAY, EASEMENTS AND ENCUMBRANCES IN THE PREPARATION OF THIS SURVEY. THE PROPERTY SHOWN AND DESCRIBED HEREON IS ALL OF THE PROPERTY DESCRIBED IN SAID TITLE COMMITMENTS.
2. ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS EXHIBIT WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS EXHIBIT BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
3. THIS EXHIBIT IS VALID ONLY IF PRINT HAS SEAL AND SIGNATURE OF SURVEYOR.
4. BASIS OF BEARINGS: GPS DERIVED BEARINGS BASED ON A BEARING OF N89°24'01"W ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF SECTION 35, BETWEEN THE EAST QUARTER CORNER OF SECTION 35, BEING A FOUND #6 REBAR WITH 2 1/2" ALUMINUM CAP, "LS 5112 T3S R64W 35 36 1/4 1991" AND THE CENTER QUARTER OF SECTION 35, BEING A FOUND 6 REBAR WITH 3 1/4" ALUMINUM CAP, "T3S R67W [SIC] CENTER 1/4 SEC 35 1992 LS 10734" AS SHOWN HEREON. COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE (0502), NORTH AMERICAN DATUM 1983 (NAD83). ALL BEARINGS SHOWN HEREON ARE RELATIVE THERETO. (SEE SHEET 3)
5. THE DISTANCE MEASUREMENTS SHOWN HEREON ARE U.S. SURVEY FOOT.
6. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT AND/OR BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE C.R.S. SEC 18-4-508. WHOEVER WILLFULLY DESTROYS, DEFACES, CHANGES, OR REMOVES TO ANOTHER PLACE ANY SECTION CORNER, QUARTER-SECTION CORNER, OR MEANDER POST, ON ANY GOVERNMENT LINE OF SURVEY, OR WILLFULLY CUTS DOWN ANY WITNESS TREE OR ANY TREE BLAZED TO MARK THE LINE OF A GOVERNMENT SURVEY, OR WILLFULLY DEFACES, CHANGES, OR REMOVES ANY MONUMENT OR BENCH MARK OF ANY GOVERNMENT SURVEY, SHALL BE FINED UNDER THIS TITLE OR IMPRISONED NOT MORE THAN SIX MONTHS, OR BOTH. 18 U.S.C. § 1858.
7. THE WORD "CERTIFY" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THIS SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
8. FLOOD INFORMATION: THE SUBJECT PROPERTY IS LOCATED IN ZONE X UNSHADED, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP; COMMUNITY-PANEL NO. 08001C-0695 H, DATED MARCH 5, 2007 AND THE FEMA FLOOD INSURANCE RATE MAP; COMMUNITY-PANEL NO. 08001C-0690 H, DATED MARCH 5, 2007. FLOOD INFORMATION IS SUBJECT TO CHANGE.
9. DATES OF FIELDWORK: MARCH 13-16, 2018 (CREW CHIEF T. FENDICK)
10. STORM DRAINAGE FACILITIES STATEMENT: THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COST WILL BE ASSESSED TO THE PROPERTY OWNERS.
11. THE APPROVED STORMWATER OPERATIONS AND MAINTENANCE MANUAL IS ON FILE WITH THE ADAMS COUNTY CLERK AND RECORDERS OFFICE AT RECEPTION # _____
12. ALL PRIVATE STREETS ARE PRIVATELY OWNED BY RAIL LAND COMPANY LLC.
13. 10' UTILITY EASEMENT DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEEES, INCLUDING, WITHOUT LIMITATION, VEGETATION. PUBLIC SERVICE COMPANY OF COLORADO (PSCO) AND ITS SUCCESSORS RESERVE THE RIGHT TO REQUIRE ADDITIONAL EASEMENTS AND TO REQUIRE THE PROPERTY OWNER TO GRANT PSCO AN EASEMENT ON ITS STANDARD FORM.

Surveyor's Certificate

I, JOHN B. GUYTON, A DULY REGISTERED LAND SURVEYOR, LICENSED IN THE STATE OF COLORADO, HEREBY STATE FOR AND ON BEHALF OF FLATIRON, INC. THAT THIS PLAT OF ROCKY MOUNTAIN RAIL PARK, AS SHOWN HEREON, WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT SAID PLAT IS IN SUBSTANTIAL ACCORDANCE WITH C.R.S. TITLE 38, ARTICLE 51.

JOHN B. GUYTON
COLORADO P.L.S. #16406

Flatirons, Inc.
Surveying, Engineering & Geomatics
www.FlatironsInc.com



3825 IRIS AVE, STE 395
BOULDER, CO 80301
PH: (303) 443-7001
FAX: (303) 443-9830

JOB NUMBER:

18-71,096

DATE:

01-22-2019

DRAWN BY:

M. VOYLES

CHECKED BY:

BOL/JZG/XXX

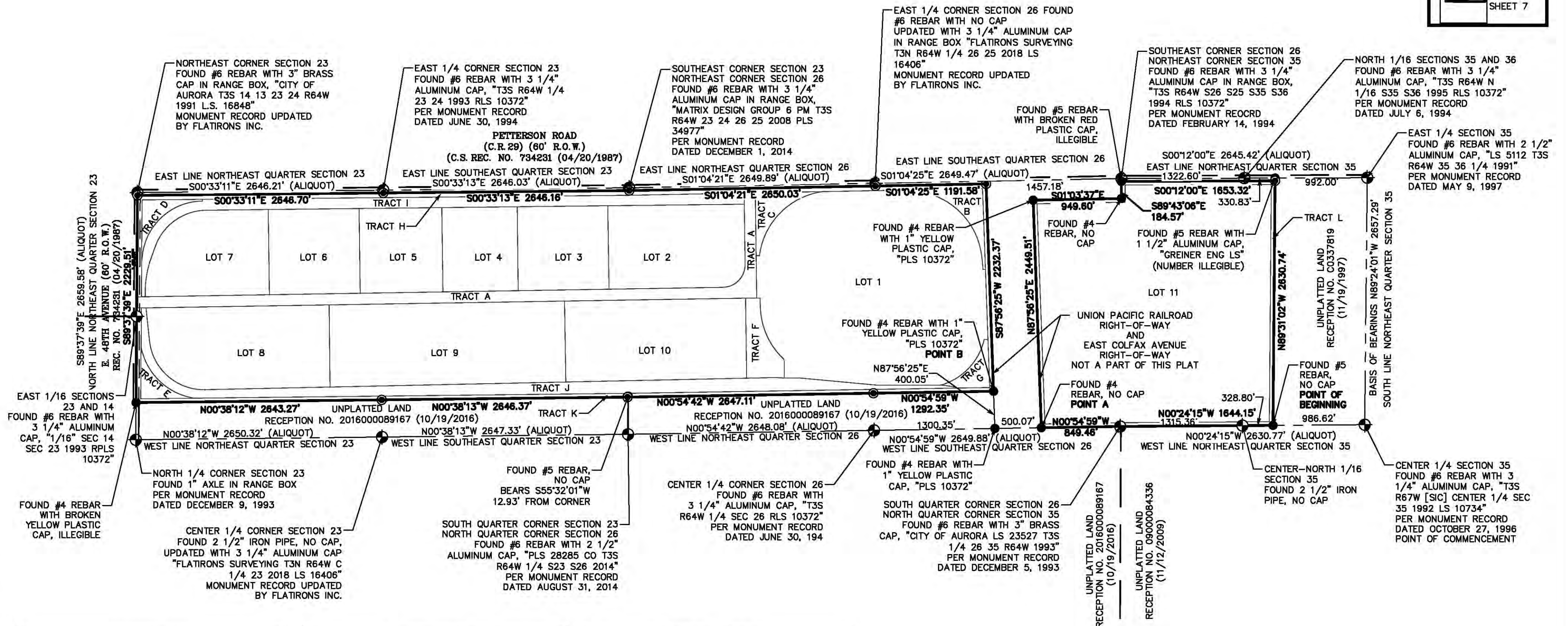
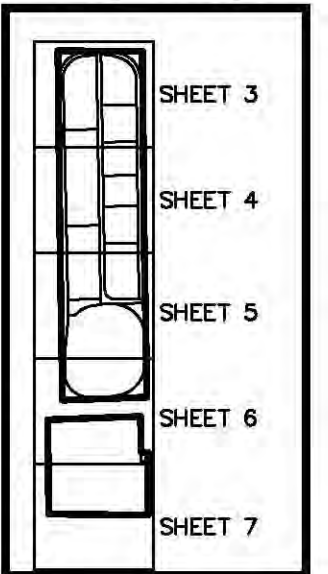
ROCKY MOUNTAIN RAIL PARK

LOCATED IN THE EAST HALF OF SECTION 23, THE EAST HALF OF SECTION 26 AND THE
NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 3 SOUTH, RANGE 64 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 2 OF 7
PRELIMINARY PLAT

PRC2018-00006

Key Map



PARCEL TABLE		
LOT/BLOCK	AREA (SQ. FT.)	AREA (ACRE)
LOT 1	4,564,230	104.78
LOT 2	1,300,899	29.86
LOT 3	879,208	20.18
LOT 4	733,545	16.84
LOT 5	809,811	18.59
LOT 6	893,552	20.51
LOT 7	1,107,038	25.41
LOT 8	1,653,546	37.96
LOT 9	2,225,114	51.08
LOT 10	1,687,026	38.73
LOT 11	6,137,822	140.91

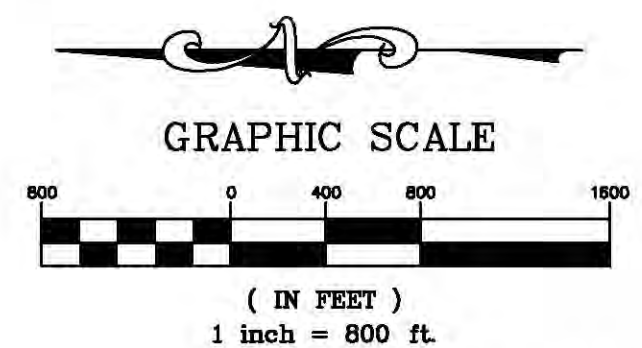
PARCEL TABLE		
LOT/BLOCK	AREA (SQ. FT.)	AREA (ACRE)
TRACT A	938,005	21.53
TRACT B	164,981	3.79
TRACT C	148,755	3.41
TRACT D	103,544	2.38
TRACT E	92,252	2.12
TRACT F	228,117	5.24
TRACT G	108,409	2.49
TRACT H	302,901	6.95
TRACT I	788,332	18.10
TRACT J	998,767	22.93
TRACT K	595,709	13.68

PARCEL TABLE		
LOT/BLOCK	AREA (SQ. FT.)	AREA (ACRE)
TRACT L	408,047	9.37

FUTURE RIGHT OF WAY RESERVATION		
LOCATION	AREA (SQ. FT.)	AREA (ACRE)
10' RESERVED R.O.W. (E. 48TH AVENUE)	22,295	0.51
10' RESERVED R.O.W. (PETTERSON ROAD)	91,247	2.09

Legend

- FOUND ALIQUOT MONUMENT AS DESCRIBED
- FOUND MONUMENT AS DESCRIBED
- SET 18" #5 REBAR WITH 1 1/2" ALUMINUM CAP "FLATIRONS SURV 16406"



Overall Boundary

Flatirons, Inc.
Surveying, Engineering & Geomatics
www.FlatironsInc.com

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BOULDER, CO 80301
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M. VOYLES
CHECKED BY:
BOL/JZG/XXX

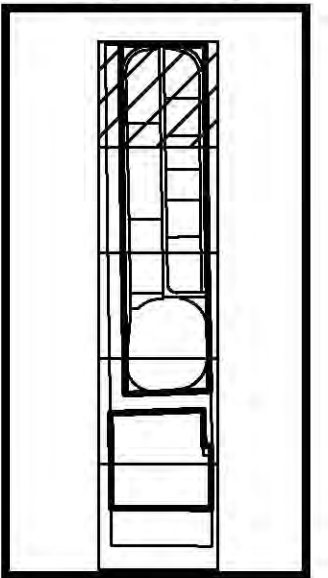
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AND SIGNATURE
(SEAL)

ROCKY MOUNTAIN RAIL PARK

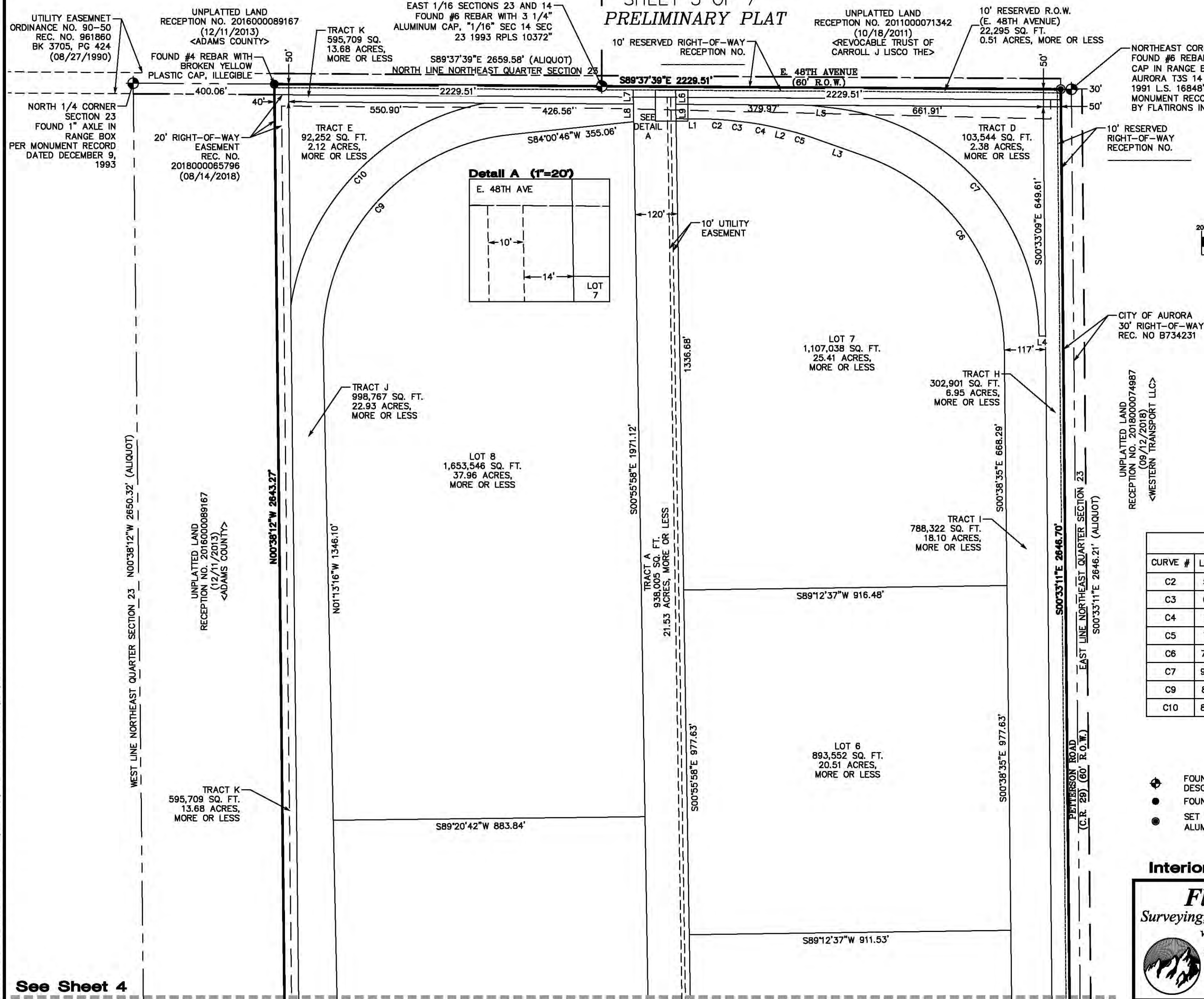
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NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 3 SOUTH, RANGE 64 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, STATE OF COLORADO

PRC2018-00006

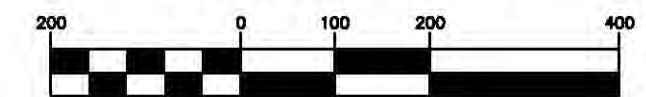
Key Map



SHEET 3 OF 7 PRELIMINARY PLAT



GRAPHIC SCALE



(IN FEET)
1 inch = 200 ft.

PARCEL LINE TABLE

LINE #	LENGTH	DIRECTION
L1	92.06	S89°39'04"E
L2	44.74	S76°47'03"E
L3	157.32	S70°32'54"E
L4	18.25	S89°29'30"W
L5	69.74	N83°16'04"W
L6	39.97	S00°55'58"E
L7	39.96	S00°55'58"E
L8	50.05	S00°55'58"E
L9	40.81	S00°55'58"E

CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C2	50.43	823.39	3°30'34"	S86°39'44"E	50.43
C3	65.64	2992.99	1°15'24"	S83°25'44"E	65.64
C4	71.37	747.61	5°28'10"	S79°36'44"E	71.34
C5	71.34	747.70	5°28'00"	S73°15'10"E	71.31
C6	718.38	588.80	69°54'19"	S35°35'44"E	674.65
C7	948.60	657.80	82°37'30"	N41°57'20"W	868.51
C9	875.91	588.80	85°14'02"	S41°23'45"W	797.35
C10	846.72	687.80	70°32'03"	S43°50'59"W	794.26

Legend

- FOUND ALIQUOT MONUMENT AS DESCRIBED
- FOUND MONUMENT AS DESCRIBED
- SET 18" #5 REBAR WITH 1 1/2" ALUMINUM CAP "FLATIRONS SURV 16406"

Interior Lot Configuration

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CHECKED BY:
BOL/JZG/XXX

See Sheet 4

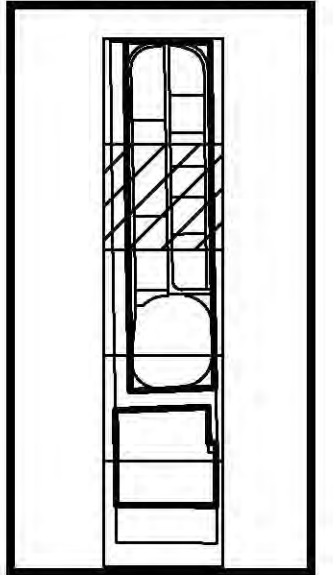
ROCKY MOUNTAIN RAIL PARK

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SHEET 4 OF 7
PRELIMINARY PLAT

PRC2018-00006

Key Map



See Sheet 3

CENTER 1/4 CORNER SECTION 23
FOUND 2 1/2" IRON PIPE, NO
CAP, UPDATED WITH 3 1/4"
ALUMINUM CAP "FLATIRONS
SURVEYING T3N R64W C 1/4 23
2018 LS 16406"
MONUMENT RECORD UPDATED
BY FLATIRONS INC.

UNPLATTED LAND
RECEPTION NO. 2016000089167
(12/11/2013)
<ADAMS COUNTY>

20' RIGHT-OF-WAY
EASEMENT
REC. NO.
2018000065796
(08/14/2018)

TRACT K
595,709 SQ. FT.
13.68 ACRES,
MORE OR LESS

TRACT J
998,767 SQ. FT.
22.93 ACRES,
MORE OR LESS

LOT 9
2,225,114 SQ. FT.
51.08 ACRES,
MORE OR LESS

TRACT A
938,005 SQ. FT.
21.53 ACRES,
MORE OR LESS

LOT 5
809,811 SQ. FT.
18.59 ACRES,
MORE OR LESS

TRACT I
788,332 SQ. FT.
18.10 ACRES,
MORE OR LESS

EAST 1/4 CORNER SECTION 23
FOUND #6 REBAR WITH 3 1/4"
ALUMINUM CAP, "T3S R64W 1/4
23 24 1993 RLS 10372"
PER MONUMENT RECORD
DATED JUNE 30, 1994

TRACT H
302,901 SQ. FT.
6.95 ACRES,
MORE OR LESS

UNPLATTED LAND
RECEPTION NO. 2018000074987
(09/12/2018)
<WESTERN TRANSPORT LLC>

CITY OF AURORA
30' RIGHT-OF-WAY
REC. NO. B734231

10' RESERVED R.O.W.
(PETTERSON ROAD)
91,247 SQ. FT.
2.09 ACRES, MORE OR LESS

10' RESERVED
RIGHT-OF-WAY
RECEPTION NO.

Interior Lot Configuration

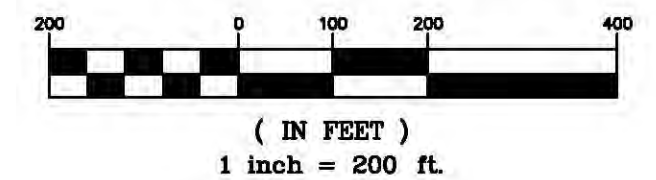
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01-22-2019
DRAWN BY:
M. VOYLES
CHECKED BY:
BOL/JZG/XXX

GRAPHIC SCALE



Legend

- FOUND ALIQUOT MONUMENT AS DESCRIBED
- FOUND MONUMENT AS DESCRIBED
- SET 18" #5 REBAR WITH 1 1/2" ALUMINUM CAP "FLATIRONS SURV 16406"

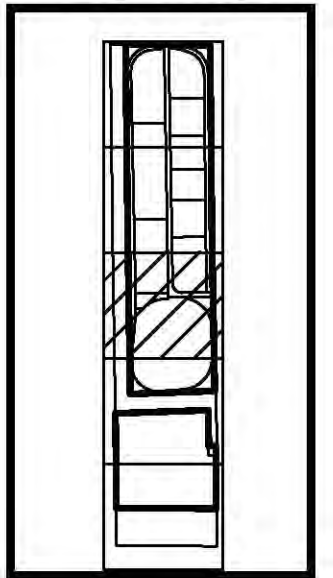
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AND SIGNATURE
(SEAL)

ROCKY MOUNTAIN RAIL PARK

LOCATED IN THE EAST HALF OF SECTION 23, THE EAST HALF OF SECTION 26 AND THE
NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 3 SOUTH, RANGE 64 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, STATE OF COLORADO

PRC2018-00006

Key Map



See Sheet 4

SHEET 5 OF 7
PRELIMINARY PLAT

SOUTH QUARTER CORNER
SECTION 23
NORTH QUARTER CORNER
SECTION 26
FOUND #6 REBAR WITH 2
1/2" ALUMINUM CAP, "PLS
28285 CO T3S R64W 1/4
S23 S26 2014"
PER MONUMENT RECORD
DATED AUGUST 31, 2014

FOUND #5 REBAR,
NO CAP
BEARS S55°32'01"W
12.93' FROM CORNER

TRACT J
998,767 SQ. FT.
22.93 ACRES,
MORE OR LESS

20' RIGHT-OF-WAY
EASEMENT
REC. NO.
2018000065796
(08/14/2018)

LOT 10
1,687,026 SQ. FT.
38.73 ACRES,
MORE OR LESS

LOT 2
1,300,899 SQ. FT.
29.86 ACRES,
MORE OR LESS

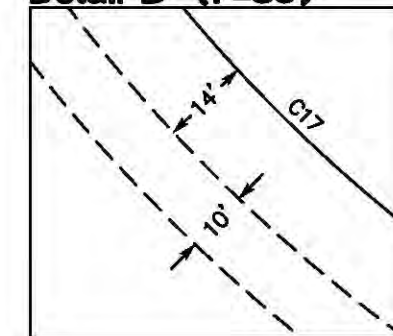
SOUTHEAST CORNER SECTION 23
NORTHEAST CORNER SECTION 26
FOUND #6 REBAR WITH 3 1/4"
ALUMINUM CAP IN RANGE BOX,
"MATRIX DESIGN GROUP 6 PM T3S
R64W 23 24 26 25 2008 PLS
34977"
PER MONUMENT RECORD
DATED DECEMBER 1, 2014

TRACT H
302,901 SQ. FT.
6.95 ACRES,
MORE OR LESS

10' RESERVED
RIGHT-OF-WAY
RECEPTION NO.

TRACT I
788,322 SQ. FT.
18.10 ACRES,
MORE OR LESS

Detail B (T=30')



SEE DETAIL B

N89°13'01"E 861.27'

TRACT F
228,117 SQ. FT.
5.24 ACRES,
MORE OR LESS

TRACT A
938,005 SQ. FT.
21.53 ACRES, MORE OR LESS

S89°13'01"W 1170.21'

TRACT C
148,755 SQ. FT.
3.41 ACRES,
MORE OR LESS

TRACT K
595,709 SQ. FT.
13.68 ACRES,
MORE OR LESS

UNPLATTED LAND
RECEPTION NO. 2016000089167
(12/11/2013)
<ADAMS COUNTY>

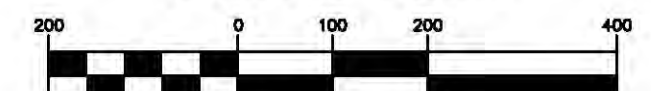
TRACT J
998,767 SQ. FT.
22.93 ACRES,
MORE OR LESS

TRACT K
595,709 SQ. FT.
13.68 ACRES,
MORE OR LESS

UNPLATTED LAND
RECEPTION NO. 2018000074987
(09/12/2018)
<WESTERN TRANSPORT LLC>

10' RESERVED
RIGHT-OF-WAY
RECEPTION NO.

GRAPHIC SCALE



(IN FEET)
1 inch = 200 ft.

See Sheet 6

Legend

- FOUND ALIQUOT MONUMENT AS DESCRIBED
- FOUND MONUMENT AS DESCRIBED
- SET 18" #5 REBAR WITH 1 1/2" ALUMINUM CAP "FLATIRONS SURV 16406"

PARCEL LINE TABLE

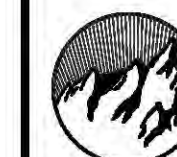
LINE #	LENGTH	DIRECTION
L11	165.31	N00°00'09"W
L12	196.80	N89°59'51"E
L13	107.47	N87°57'39"E
L14	35.72	S00°00'09"E
L15	35.92	S00°00'09"E

CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C12	630.14	794.49	45°26'36"	N65°13'45"E	613.75
C13	1041.41	794.49	75°06'09"	N45°16'09"W	968.44
C17	379.50	242.00	89°51'00"	N45°51'28"W	341.79

Interior Lot Configuration

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BOL/JZG/XXX

ROCKY MOUNTAIN RAIL PARK

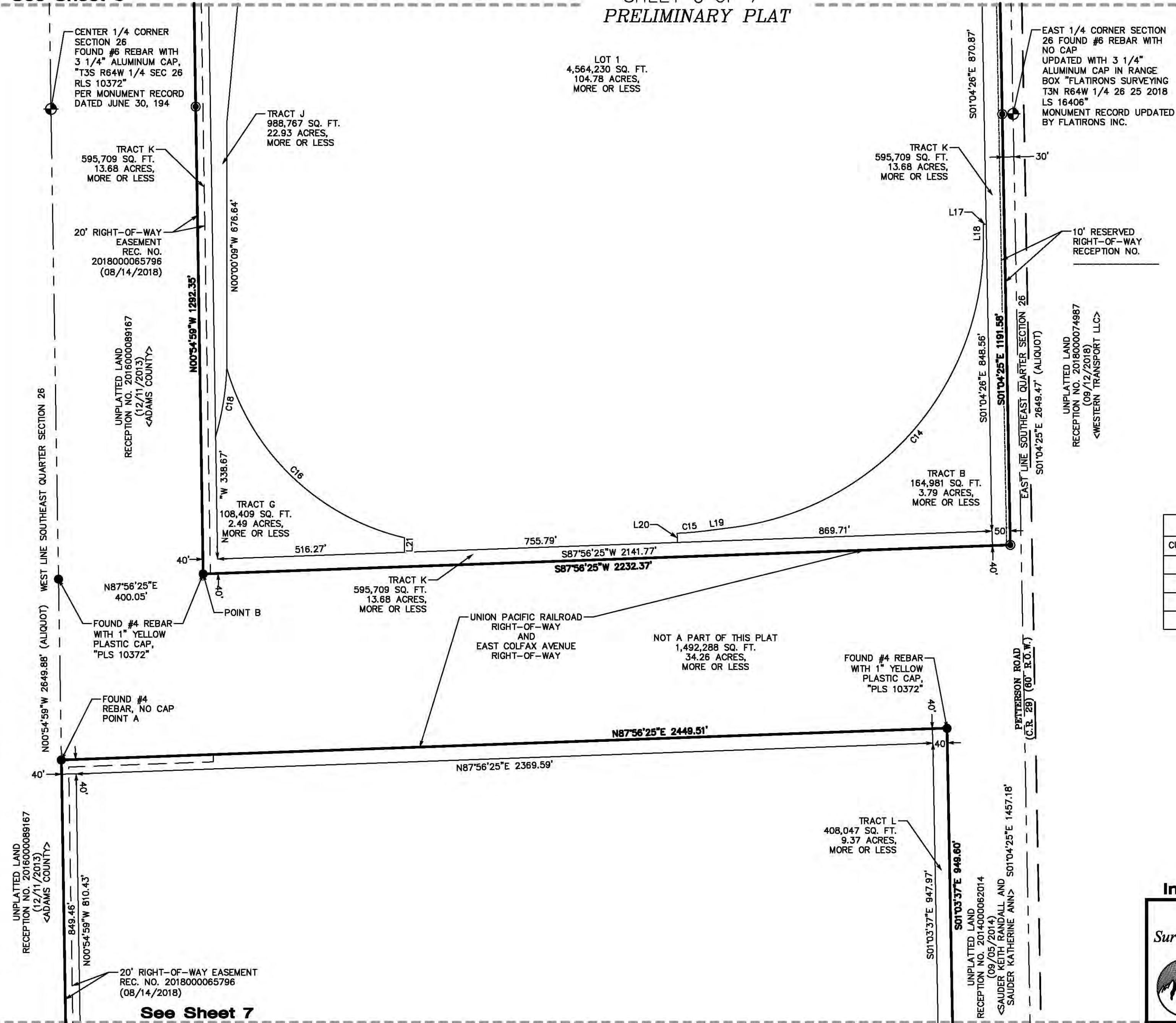
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COUNTY OF ADAMS, STATE OF COLORADO

PRC2018-00006

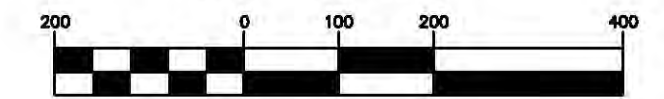
Key Map

See Sheet 5

SHEET 6 OF 7
PRELIMINARY PLAT



GRAPHIC SCALE



(IN FEET)
1 inch = 200 ft.

PARCEL LINE TABLE

LINE #	LENGTH	DIRECTION
L17	7.95	S88°33'46"W
L18	48.75	S00°05'19"E
L19	82.45	S82°42'47"W
L20	25.35	S02°02'21"E
L21	40.14	S00°29'59"W

CURVE TABLE

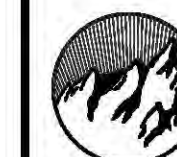
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C14	1148.17	794.49	82°48'06"	S41°18'44"W	1050.83
C15	71.03	779.49	5°13'15"	S85°19'24"W	71.00
C16	712.05	670.45	60°51'03"	S46°17'25"E	679.05
C18	192.27	779.49	14°07'58"	N09°15'13"E	191.79

Legend

- FOUND ALIQUOT MONUMENT AS DESCRIBED
- FOUND MONUMENT AS DESCRIBED
- SET 18" #5 REBAR WITH 1 1/2" ALUMINUM CAP "FLATIRONS SURV 16406"

Interior Lot Configuration

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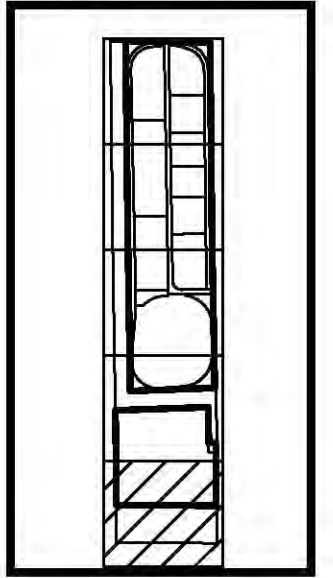
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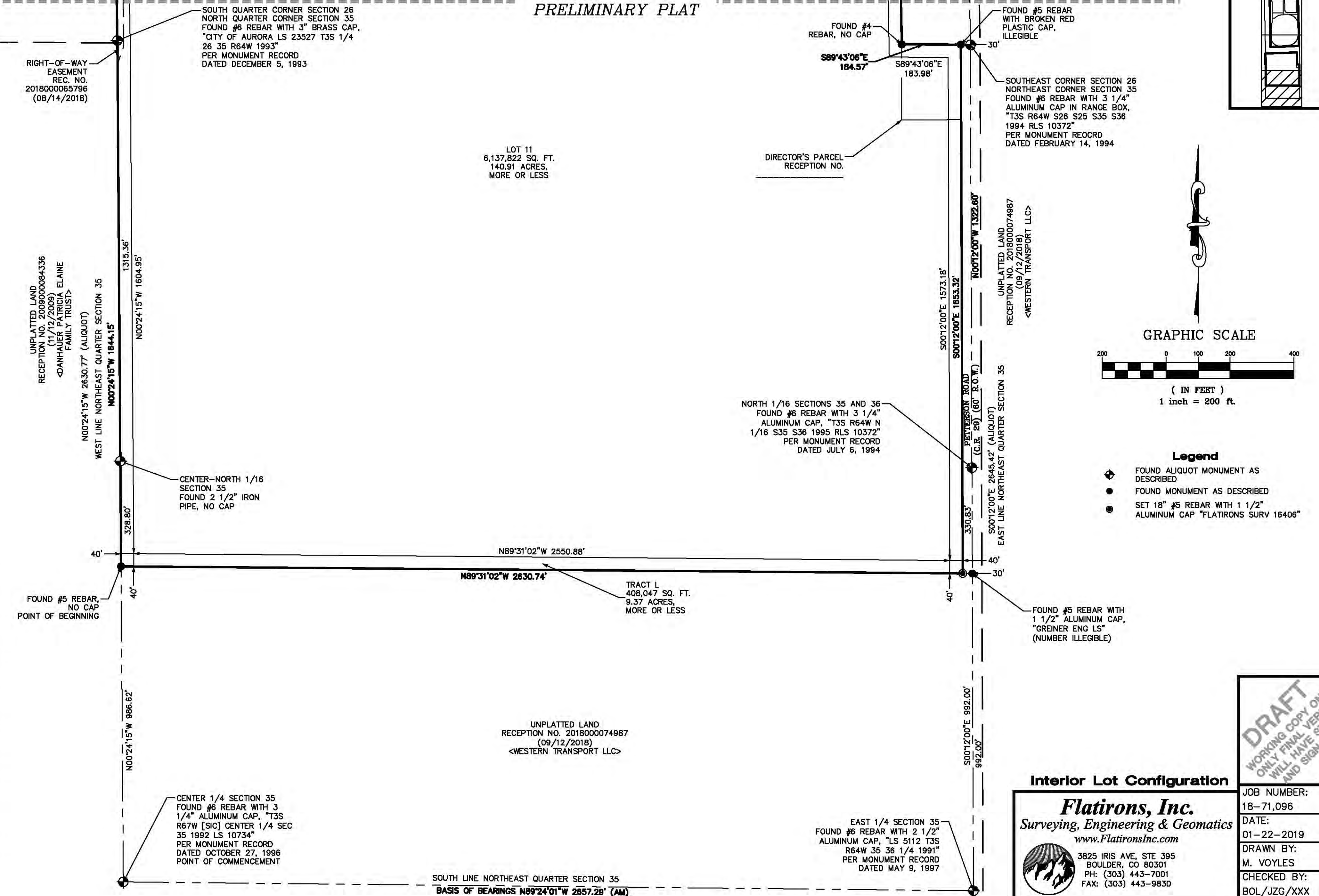
PRC2018-00006

Key Map



See Sheet 6

SHEET 7 OF 7
PRELIMINARY PLAT



ROCKY MOUNTAIN RAIL PARK PLANNED UNIT DEVELOPMENT

PARCEL 1: LOCATED IN THE EAST HALF OF SECTIONS 26 AND 23, TOWNSHIP 3 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN
PARCEL 2: LOCATED IN THE SOUTHEAST QUARTER OF SECTION 26 AND THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 3 SOUTH,
RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF ADAMS, STATE OF COLORADO

Rocky Mountain Resources
4601 DTC Blvd, Suite 120
Denver, Colorado 80237

Attest:

Gregory Dangler, Vice President

State of Colorado

City and County of _____
The foregoing instrument was acknowledged by me
this _____ day of _____, 2019,

By: _____

My Commission Expires _____, 20__

LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE EAST HALF OF SECTIONS 26 AND 23, TOWNSHIP 3 SOUTH, RANGE 64 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

CONSIDERING THE SOUTH LINE OF THE NORTHEAST QUARTER OF SECTION 35 AS BEARING NORTH 89°24'01" WEST, A DISTANCE OF 2657.29 FEET BETWEEN THE EAST QUARTER CORNER OF SECTION 35, BEING FOUND A #6 REBAR WITH 2 1/2 " ALUMINUM CAP, LS 5112 T3S R64W 35 36 1/4 1991" AND THE CENTER QUARTER OF SECTION 35, BEING FOUND A #6 REBAR WITH 3 3/4" ALUMINUM CAP, "T3S R67W [SIC] CENTER 1/4 SEC 35 1992 LS 10734" WITH ALL BEARINGS SHOWN HEREON ARE RELATIVE THERETO.

COMMENCING AT SAID CENTER QUARTER CORNER OF SECTION 35; THENCE ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF SECTION 35, NORTH 00°24'15" WEST, A DISTANCE OF 2630.77 FEET TO THE SOUTH QUARTER CORNER OF SECTION 26; THENCE ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF SECTION 26, NORTH 00°54'59" W, A DISTANCE OF 1349.52 FEET TO POINT ON THE NORTH RIGHT-OF-WAY LINE OF THE UNION PACIFIC RAILROAD, THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE, NORTH 87°56'25"E, A DISTANCE OF 400.05 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00°54'59"W, A DISTANCE OF 1292.35 FEET, THENCE NORTH 00°54'42"W, A DISTANCE OF 2647.11 FEET, THENCE NORTH 00°38'12"W, A DISTANCE OF 2646.37 FEET, THENCE NORTH 00°38'12"W, A DISTANCE OF 2643.27 FEET; TO A POINT ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 23, THENCE ALONG SAID NORTH LINE, THENCE SOUTH 89°37'39"E, A DISTANCE OF 2229.51 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF PETERSON ROAD; THENCE ALONG SAID WEST RIGHT-OF-WAY LINE THE FOLLOWING FOUR COURSES:

- 1)SOUTH 00°33'11"E, A DISTANCE OF 2646.70 FEET
- 2)THENCE SOUTH 00°33'13"E, A DISTANCE OF 2646.16 FEET
- 3)THENCE SOUTH 01°04'21"E, A DISTANCE OF 2650.03 FEET
- 4)THENCE SOUTH 01°04'25"E, A DISTANCE OF 1191.58 FEET TO A POINT ON SAID NORTH RIGHT-OF-WAY LINE OF THE UNION PACIFIC RAILROAD; THENCE ALONG SAID RIGHT-OF-WAY LINE, SOUTH 87°56'25" WEST, A DISTANCE OF 2232.37 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING 20,437,415 SQ. FT OR 469.18 ACRES MORE OR LESS.

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 26 AND THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 3 SOUTH, RANGE 64 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO.

CONSIDERING THE SOUTH LINE OF THE NORTHEAST QUARTER OF SECTION 35 TO BEAR NORTH 89°24'01" WEST, A DISTANCE OF 2657.29 FEET BETWEEN THE EAST QUARTER CORNER OF SECTION 35, BEING A FOUND #6 REBAR WITH 2 3/4" ALUMINUM CAP, "LS 5112 T3S R64W 35 36 1/4 1991" AND THE CENTER QUARTER OF SECTION 35, BEING FOUND A #6 REBAR WITH 3 3/4" ALUMINUM CAP, "T3S R67W [SIC] CENTER 1/4 SEC 35 1992 LS 10734" WITH ALL BEARINGS SHOWN HEREON ARE RELATIVE THERETO.

COMMENCING AT SAID CENTER QUARTER CORNER OF SECTION 35; THENCE ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF SECTION 35, NORTH 00°24'15" WEST, A DISTANCE OF 986.62 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID WEST LINE, NORTH 00°24'15" WEST, A DISTANCE OF 1644.15 FEET TO THE SOUTH QUARTER CORNER OF SECTION 26; THENCE ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF SECTION 2, NORTH 00°54'59" WEST, A DISTANCE OF 849.46 FEET TO THE POINT ON THE SOUTH RIGHT-OF-WAY LINE OF EAST COLFAX AVENUE; THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE, NORTH 87°56'25" EAST, A DISTANCE OF 2449.51 FEET; THENCE SOUTH 01°03'37" EAST, A DISTANCE OF 949.60 FEET TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 26; THENCE ALONG SAID SECTION LINE, SOUTH 89°43'06" EAST, A DISTANCE OF 184.57 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF PETERSON ROAD, THENCE ALONG SAID RIGHT-OF-WAY LINE, SOUTH 00°12'00" EAST, A DISTANCE OF 1653.32 FEET; THENCE DEPARTING SAID RIGHT-OF-WAY LINE, NORTH 89°31'02" WEST, A DISTANCE OF 2630.74 FEET TO A POINT ON THE WEST LINE OF THE NORTHEAST QUARTER OF SECTION 35, SAID POINT ALSO BEING THE POINT OF BEGINNING.

SAID PARCEL CONTAINING 6,545,869 SQ. FT OR 150.27 ACRES MORE OR LESS.

ADAMS COUNTY NOTE

PUBLIC IMPROVEMENTS SHALL CONFORM TO ADAMS COUNTY STANDARDS AND SPECIFICATIONS AND LATEST EDITION OF COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

SUPPLEMENTAL REPORTS

DRAINAGE, UTILITY, AND TRAFFIC STUDIES HAVE BEEN PREPARED FOR THE ROCKY MOUNTAIN RAIL PARK PUD. THESE DOCUMENTS ARE INCLUDED FOR SUBMISSION TO ADAMS COUNTY AND SHALL BE INCORPORATED HEREIN BY THIS REFERENCE.



VICINITY MAP

SCALE 1" = 3000'

SHEET INDEX

SHEET #	DESCRIPTION
1	COVER SHEET
2	PHASING PLAN & TRACT DEVELOPMENT
3	LOT DEVELOPMENT STANDARDS
4	CROSS SECTIONS

OWNERSHIP AND MAINTENANCE

TRACT	AREA	OWNERSHIP	DEDICATION	MAINTENANCE	USE
TRACT A	21.53 AC	RAIL LAND COMPANY LLC	RMRPMD	RMRPMD	PRIVATE ROADWAY
TRACT B	3.79 AC	RAIL LAND COMPANY LLC	RMRPMD	RMRPMD	LANDSCAPE/OPEN SPACE
TRACT C	3.41 AC	RAIL LAND COMPANY LLC	RMRPMD	RMRPMD	ACTIVE RECREATION
TRACT D	2.38 AC	RAIL LAND COMPANY LLC	RMRPMD	RMRPMD	ACTIVE RECREATION
TRACT E	2.12 AC	RAIL LAND COMPANY LLC	RMRPMD	RMRPMD	ACTIVE RECREATION
TRACT F	5.24 AC	RAIL LAND COMPANY LLC	RMRPMD	RMRPMD	ACTIVE RECREATION
TRACT G	2.49 AC	RAIL LAND COMPANY LLC	RMRPMD	RMRPMD	LANDSCAPE/OPEN SPACE
TRACT H	6.95 AC	RAIL LAND COMPANY LLC	RMRPMD	RMRPMD	ACTIVE RECREATION
TRACT I	18.10 AC	RAIL LAND COMPANY LLC	RMRPMD	RMRPMD	RAILROAD
TRACT J	22.93 AC	RAIL LAND COMPANY LLC	RMRPMD	RMRPMD	RAILROAD
TRACT K	13.68 AC	RAIL LAND COMPANY LLC	RMRPMD	RMRPMD	ACTIVE RECREATION
TRACT L	9.37 AC	RAIL LAND COMPANY LLC	RMRPMD	RMRPMD	ACTIVE RECREATION

** RMRPMD = ROCKY MOUNTAIN RAIL PARK METRO DISTRICT

DEVELOPER

ROCKY MOUTAIN RESOURCES
4601 DTC BOULEVARD, SUITE 120
DENVER, COLORADO 80237
CONTACT: GREGORY DANGLER
(720) 459-8675

SU

FLA
382
BOI
COI
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APPROVALS

Planning and Zoning Commission Certificate:

This PLANNED UNIT DEVELOPMENT (PUD) and PF Planning and Zoning Commission

on this _____ day of _____, 2019.

Chairman

Secretary

Board of County Commissioners:

This PLANNED UNIT DEVELOPMENT (PUD) and PF on this _____ day of _____, 2019.

Chair

Clerk

PROJECT INTENT

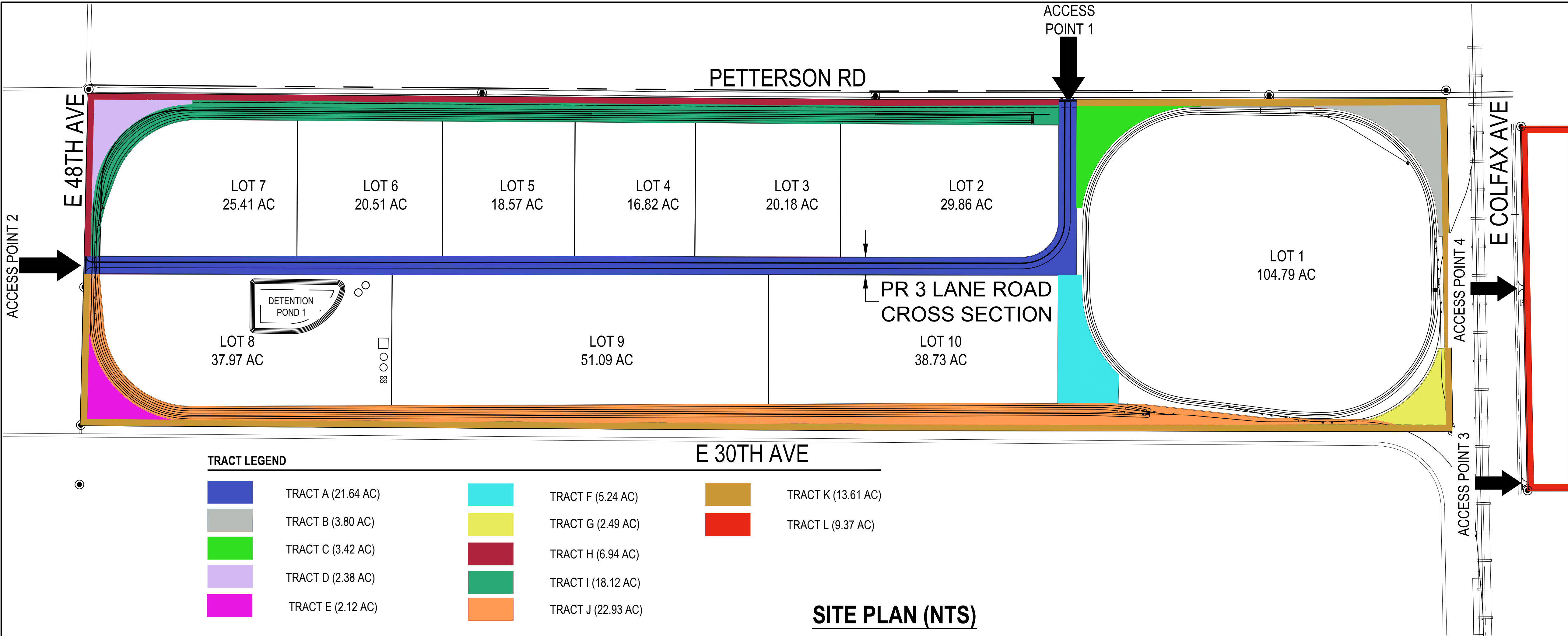
THE ROCKY MOUNTAIN RAIL PARK PLANNED UNIT ACRES OF LAND LOCATED IN ADAMS COUNTY.

1. TO CREATE A RAIL PARK, THAT IS MIXED USE INTERNAL LOTS.
2. TO ENABLE AND ENCOURAGE THE PLANNED INDIVIDUAL OWNERSHIP OR CONTROL SO AS TC MAINTAIN AND ENHANCE THE PHYSICAL, SOCIAL
3. TO PROVIDE A DEVELOPMENT THAT IS A COA OPPORTUNITIES FOR AVIATION COMPANIES TH
4. TO CREATE A DEVELOPMENT THAT OFFERS / THE INCORPORATION OF A VARIETY OF INDUST
5. TO PROVIDE ADEQUATE EXTERIOR AND INTE COMMUNITY AND NEIGHBORS ADJACENT ROAD
5. TO INCORPORATE EXISTING RESOURCE ARE DESIGN.

PROJECT CONCEPT

ROCKY MOUNTAIN RAIL PARK IS DESIGNED AS A ECONOMY OF THE GREATER ADAMS COUNTY AI RAIL PARK FORMS THE BASIS OF A MIXED USE I SUPPORTING COMMUNITY FOR THE FRONT RAI FOLLOWING IN ORDER TO ENHANCE THE LOCAL

1. OFFER A VARIETY OF EMPLOYMENT OPPORT SCALES TO MEET GROWING DEMANDS IN ADAM
2. CREATING A DIVERSITY OF INDUSTRIAL, COM VARIETY AND INTEREST.
3. MAINTAINING ACCESSIBILITY TO MULTI-MOD/
4. TO PROVIDE AN ANCHOR FOR ADAMS COUNT INDUSTRIAL AND COMMERCIAL USE IN THE REG
5. SERVING AS A MAGNET TO ATTRACT A DIVER ECONOMIC BACKGROUNDS.



OVERVIEW

IN ACCORDANCE WITH THE PLANNED UNIT DEVELOPMENT ACT OF 1972, THE OBJECTIVE OF A PLANNED UNIT DEVELOPMENT IS TO ESTABLISH AN AREA OF LAND, CONTROLLED BY ONE OR MORE LANDOWNERS, TO BE DEVELOPED UNDER UNIFIED CONTROL OR UNIFIED PLAN OF DEVELOPMENT FOR A NUMBER OF DWELLING UNITS, COMMERCIAL, EDUCATIONAL, RECREATIONAL, OR INDUSTRIAL USES, OR ANY COMBINATION FOREGOING, THE PLAN WHICH DOES NOT CORRESPOND IN LOT SIZE, BULK, OR TYPE OF USE, DENSITY, LOT COVERAGE, OPEN SPACE, OR OTHER RESTRICTION TO THE EXISTING LAND USE REGULATIONS.

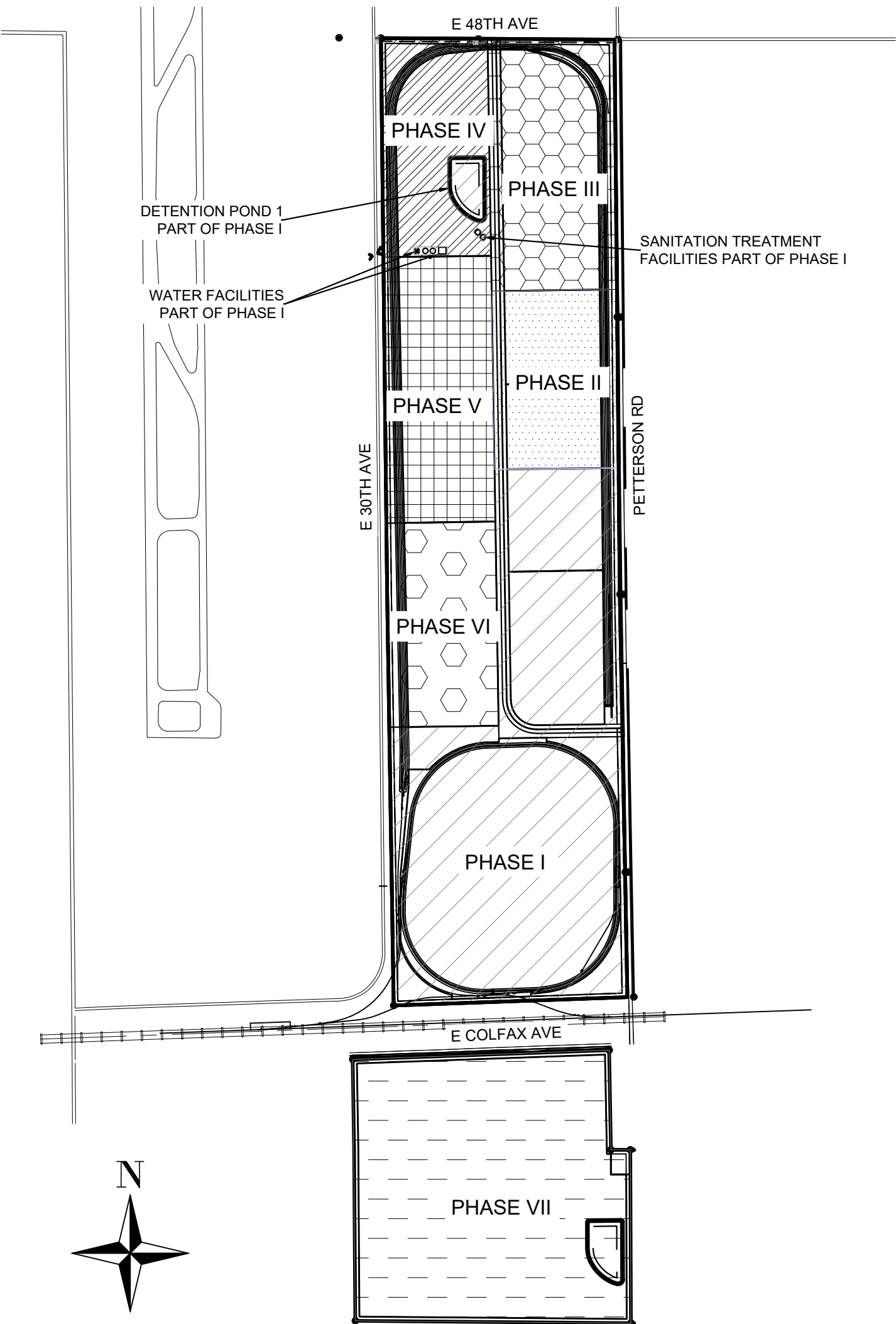
PHASING/TENTATIVE PROJECT SCHEDULE

ROCKY MOUNTAIN RESOURCES CURRENTLY ANTICIPATES THAT THE PROJECT WILL BE SEVEN PHASES OVER A 10 YEAR PERIOD. AN ANTICIPATED PRELIMINARY PHASING PLAN IS INCLUDED. THIS PHASING PLAN INDICATES MULTIPLE TRACTS AND INTERIOR LOTS WITHIN EACH PHASE THAT WILL LIKELY BE DEVELOPED INDEPENDENTLY OF EACH OTHER. PHASE I WILL LIKELY INCLUDE THE DEVELOPMENT OF LOTS 1, 2 AND 3 AS WELL AS UTILITY INFRASTRUCTURE DEVELOPMENT. UTILITY INFRASTRUCTURE DEVELOPMENT WILL INCLUDE THE CONSTRUCTION OF THE WATER, SANITARY, AND STORM DRAINAGE SYSTEMS. ROCKY MOUNTAIN RAIL PARK WILL HAVE ITS OWN SANITARY AND WATER DISTRICT. DURING PHASE I, WATER WELLS AND STORAGE TANKS, SANITARY PACKAGE PLANT AND EFFLUENT WATER STORAGE WILL BE CONSTRUCTED ON LOT 8. DETENTION POND 1, THAT WILL SERVE PHASE I THROUGH VI, WILL BE CONSTRUCTED AS PART OF PHASE I WHILE DETENTION POND II WILL BE CONSTRUCTED UPON FULL FUTURE DEVELOPMENT OF LOT 11. PHASE VII INCLUDES THE DEVELOPMENT OF INDIVIDUAL LOTS BASED ON MARKET DEMAND. PLEASE REFER TO THE LAND USE TABLE FOR ALL POTENTIAL DEVELOPMENTS OF INDIVIDUAL LOTS.

DEVELOPMENT OF TRACTS WILL BE IN ACCORDANCE WITH THE PHASING SCHEDULE. TRACT A REPRESENTS THE PROPOSED PRIVATE ROADWAY DEVELOPMENT AND WILL BE CONSTRUCTED WITHIN PHASES WITH TRACT A BEING FULLY DEVELOPED WITH THE DEVELOPMENT OF LOT 7 OR LOT 8 (PHASE III AND IV). TRACTS B,C,D,E,F,G,H,K AND L ARE LANDSCAPING TRACTS FOR EXTERIOR LANDSCAPING TO PROVIDE SCREENING OF ROCKY MOUNTAIN RAIL PARK. EACH LANDSCAPING TRACT WILL BE DEVELOPED, OR PLANTED, WHEN THE ADJACENT LOT IS DEVELOPED, AS TO PROVIDE ADEQUATE SCREENING OF THE DEVELOPMENT.

DEVELOPMENT OF PHASE I IS ANTICIPATED TO BEGIN IN THE SECOND QUARTER OF 2019 AND TAKE UP TO TWO (2) YEARS TO DEVELOP. DEPENDING ON MARKET DEMAND, PHASE II MAY BEGIN IN 2020. FULL DEVELOPMENT OF ROCKY MOUNTAIN RAIL PARK IS ANTICIPATED TO TAKE APPROXIMATELY TEN YEARS.

Rocky Mountain Rail Park Open Space Table	
Overall Site Area	619.45
Required Open Space (30% of Overall Area)	185.85
Required Active Recreation (25% of Open Space)	46.5
Provided Open Space (Tracts A through L)	111.99
Provided Open Space (Lots 1-11 per 10% Open Space Requirement in PUD)	50.49
Total Provided Open Space	162.48 (26%)
Provided Active Recreation	43.08 (23%)



SITE PLAN (NTS)

TRACTS

FOR THE PURPOSES OF THIS PUD ONLY, THE SITE PLAN ABOVE ILLUSTRATES TWELVE (12) PROPOSED DEVELOPMENT AREAS OR TRACTS FOR THE PROJECT. FOR THE ROCKY MOUNTAIN RAIL PARK PUD, THE TERM "TRACT" SHALL BE DEFINED AS A GENERALLY DESCRIBED AREA OF LAND FOR THE PURPOSES OF ZONING, LOCATED WITHIN THE PROJECT BOUNDARY THAT HAS NOT YET BEEN FINAL PLATTED OR SUBDIVIDED INTO SPECIFIC BLOCKS AND LOTS. TRACTS SHOWN ARE "GENERAL ONLY" IN SHAPE AND SIZE AND MAY BE MODIFIED DURING SUBSEQUENT SITE SPECIFIC FDPs. MODIFICATIONS TO TRACT BOUNDARIES SHALL NOT REDUCE THE OVERALL SITE ACREAGE OR REVERSE ANY COMMITMENTS TO PRESERVING UNIQUE SITE FEATURES INCLUDING DRAINAGE DITCHES.

TRACT DEVELOPMENT GUIDELINES

TRACT A SHALL BE DEVELOPED PER THE CROSS SECTIONS OUTLINED FURTHER IN THE PLANNED UNIT DEVELOPMENT.

TRACTS B,C,D,E,F,G,H,K AND L WILL BE DEVELOPED AS LANDSCAPING TRACTS THAT WILL BE DEVELOPED IN ACCORDANCE WITH THE PHASING SCHEDULE. IMPROVEMENTS ON THE SITE SHALL BE SIGHT-SCREENED WITH ADEQUATE LANDSCAPING SO AS TO PROVIDE A COMPATIBLE VISUAL EFFECT AS SEEN FROM THE ADJOINING PROPERTIES.

TRACTS B THROUGH G SHALL BE REQUIRED TO LANDSCAPE A MINIMUM OF TEN (10) PERCENT OF THE TRACT AREA. AT LEAST FIFTY (50) PERCENT OF THE REQUIRED LANDSCAPING SHALL BE PLACE SO IT ABUTS THE ADJOINING PUBLIC RIGHT-OF-WAYS AND/OR TRACT A, EXCLUDING ALLEYS AND DRIVES. THE REMAINDER OF THE TRACTS SHALL BE NATIVE GRASSES THAT SHALL BE MAINTAINED AS NOT TO EXCEED TWO (2) FOOT IN HEIGHT.

TRACT H, K AND L (40' EXTERIOR LANDSCAPE BUFFERS) SHALL BE REQUIRED TO LANDSCAPE TWO (2) TREES PER 60 LINEAL FEET AS TO PROVIDE ADEQUATE SCREENING TO ADJACENT PROPERTIES ALONG E 48TH AVENUE, PETTERSON RD, COLFAX AVE, AND E 30TH AVE. THE EASTERN SIDE OF TRACT L (ALONG PETTERSON RD) WILL SHALL HAVE A LANDSCAPING REQUIREMENT OF THREE (3) TREES PER SIXY LINEAL FEET. TRACTS B,C,D,E,G SHALL BE REQUIRED TO LANDSCAPE ONE (1) TREE AND FIVE (5) SHRUBS PER 60 LINEAL FEET. REFER TO SECTION FIVE (5) OF THE ROCKY MOUTAIN RAIL PARK DESIGN STANDARDS FOR FURTHER LANDSCAPING DETAILS.

TRACTS C,D,E,F,H,K AND L SHALL BE REQUIRED TO PROVIDE A FIVE (5) FOOT SOFT SURFACE TRAIL FOR ACTIVE RECREATION PURPOSES AS SHOWN AND DETAILED ON THE LANDSCAPE CONCEPT PLAN IN THE ROCKY MOUNTAIN RAIL PARK DESIGN STANDARDS.

THESE GUIDELINES MUST BE MET BY EACH TRACT OR DEVELOPMENT AREA WITHIN ROCKY MOUNTAIN RAIL PARK. LANDSCAPE, LIGHTING, AND SIGNAGE PLANS SHALL BE SUBMITTED FOR INDIVIDUAL LOT DEVELOPMENTS DURING THE SITE-SPECIFIC FDP FOR EACH LOT OR DEVELOPMENT AREA IN CONFORMANCE WITH THE DESIGN GUIDELINES AND SUBJECT TO ADAMS COUNTY APPROVAL.

LANDSCAPE CONCEPT

THE LANDSCAPE CONCEPT FOR ROCKY MOUNTAIN RAIL PARK REFLECTS THE NATURAL LANDSCAPES OF BOTH THE SITE AND ITS CONTEXT WITHIN THE ADJACENT AGRICULTURAL PROPERTIES. THESE CHARACTERISTICS WILL BE EMPHASIZED THOROUGHOUT THE DEVELOPMENT'S OPEN LAND AND LANDSCAPE AREAS. STREETSCAPES WILL GENERALLY CONSIST OF PLANTINGS TO COMPLEMENT THE CHARACTER OF EACH DEVELOPMENT TYPE AND THE CROSS SECTIONS OUTLINED WITHIN THIS PLANNED UNIT DEVELOPMENT. NATURAL CORRIDORS AND PERIMETER LANDSCAPING WILL REFLECT A MORE INFORMAL AND NATURAL CHARACTER TO BLEND IN WITH THE SITE'S NATIVE LANDSCAPE SETTING AND TO PROVIDE ADEQUATE SCREENING TO ADJACENT PROPERTY OWNERS. PLEASE REFER TO THE ROCKY MOUNTAIN RAIL PARK DESIGN STANDARDS SECTION 5.0 (LANDSCAPE STANDARDS) FOR FURTHER DETAILED LANDSCAPING REQUIREMENTS FOR THE ROCKY MOUNTAIN RAIL PARK DEVELOPMENT.

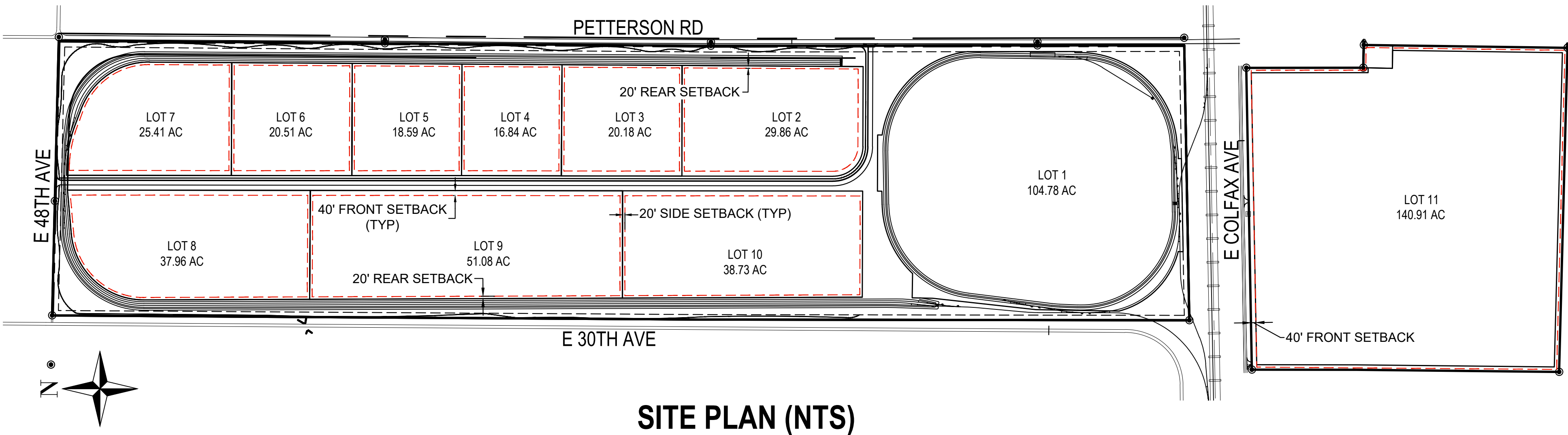
ACCESS

ACCESS ARROWS SHOWN ON LOCATIONS AS ANTICIPATED I ADDITIONAL ACCESS POINTS

ACCESS POINT 1 WILL BE DEV INTERNAL LOTS. ACCESS POI ACCESS POINTS 3 AND 4 WILL

ADDITIONAL NOTES

- THE PROVISIONS OF THE F PARK; PROVIDED, HOWEVE SUBJECT, THE RELEVANT F REGULATIONS SHALL APPL
- THE TRACT ACREAGES CA BE DETERMINED AT THE TI
- DIFFERING USES OF INTE
- ACCESS LOCATIONS SHOV TRAFFIC ANALYSIS. SPECII SYSTEMS. ACTUAL ACCES FOR EACH INTERNAL LOT A CDOT STANDARDS FOR LO



SITE PLAN (NTS)

LOT DEVELOPMENT STANDARDS

FLOOR AREA RATIO

BUILDING FLOOR AREA OR FLOOR AREA RATIO (FAR) - FAR IS THE TOTAL BUILDING FLOOR AREA IN SQUARE FEET DIVIDED BY THE BUILDING SITE AREA IN SQUARE FEET EXPRESSED AS A RATIO OF FLOOR AREA OF BUILDING TO SITE AREA, OVERHANGS, SOFFITS, AND COVERED OPEN ENTRIES/PORCHES ARE EXCLUDED. ALL STRUCTURES AND AUTHORIZED IMPROVEMENTS SHALL BE LOCATED ENTIRELY WITHIN THE BUILDING ENVELOPE, EXCLUDING BUILDING ROOF OVERHANGS.

PARKING

MINIMUM PARKING REQUIREMENTS WILL BE IN ACCORDANCE WITH ADAMS COUNTY DEVELOPMENT STANDARDS AND REGULATIONS SECTION 3-27-06-03-02 TITLE REQUIRED PARKING FOR EACH INTENDED USE.

OPEN AREA

OPEN AREA MAY INCLUDE WALKS AND LANDSCAPING. THIS AREA DOES NOT INCLUDE BUILDING FOOTPRINTS OR THE HARD SURFACE OF PARKING LOTS OR DRIVEWAYS. MINIMUM OPEN AREA REQUIRED FOR INDIVIDUAL LOT DEVELOPMENT IS 10% OF TOTAL LOT AREA.

AN OPEN AREA MAINTENANCE PLAN SHALL BE SUBMITTED WITH THE DEVELOPMENT OF EACH LOT AS PART OF THE SDP PROCESS. THE MAINTENANCE PLAN SHALL MEET THE LANDSCAPE AND OPEN SPACE MAINTENANCE REQUIREMENTS CONTAINED IN CHAPTER 4 OF THE ADAMS COUNTY DEVELOPMENT STANDARDS AND REGULATIONS.

OF THE 10% REQUIRED OPEN SPACE FOR INDIVIDUAL LOTS, 10% SHOULD BE ALLOCATED FOR REQUIRED INTERIOR LANDSCAPING. AT LEAST SEVENTY-FIVE (75) PERCENT OF THE REQUIRED LANDSCAPE AREA SHALL INCLUDE LIVING PLANT MATERIAL. ALL INTERIOR LANDCAPING DESIGN FROM A PLANT SPECIES STANDPOINT IS FURTHER OUTLINED IN THE ROCKY MOUTAIN RAIL PARK DESIGN STANDARDS.

THE REQUIRED 10' LANDSCAPE BUFFER FOR EACH INDIVIDUAL LOT ALONG TRACT A MAY BE COUNTED TOWARDS THE REQUIRED 10% OPEN SPACE. PLANTING REQUIREMENTS FOR THE 10' LANDSCAPE BUFFER ARE FURTHER OUTLINED IN THE DESIGN STANDARDS AND ARE CALCULATED SEPARATELY FROM INTERIOR LOT LANDSCAPING.

SETBACKS

ALL SETBACKS ARE MEASURED FROM THE PROPERTY LINE. ALL STRUCTURES AND AUTHORIZED IMPROVEMENTS SHALL BE LOCATED ENTIRELY WITHIN THE BUILDING FOOTPRINT WITH THE FOLLOWING EXCEPTIONS:

- EAVES, ROOF PROJECTIONS, AWNINGS, WINDOW WELLS, CHIMNEYS, PROJECTING SIGNS, AND OTHER FEATURES MAY PROJECT INTO REQUIRED SETBACKS A MAXIMUM OF THREE (3) FEET, PROVIDED SUCH APPENDAGES ARE SUPPORTED AT, OR BEHIND, THE BUILDING SETBACK OR OFFSET LINE.
- ENCROACHMENTS AND PROJECTIONS INTO EASEMENTS MUST BE APPROVED BY THE EASEMENT HOLDER AND ADAMS COUNTY.
- IN THE CASE OF MULTIPLE ADJACENT LOTS THAT ARE OWNED BY THE SAME OWNER, THE SETBACKS AND BUILDING ENVELOPES SHALL APPLY TO THE OUTERMOST BOUNDARY OF THE CONTIGUOUS LOTS. IF CONSTRUCTED STRUCTURES CROSS A CONTIGUOUS BOUNDARY, THE OWNER SHALL EITHER COMBINE THE LOTS THROUGH A LOT CONSOLIDATION PLAT OR RECTIFY THE STRUCTURE SUCH THAT SETBACK REQUIREMENTS ARE MET.
- A PUD AMENDMENT WILL NOT BE REQUIRED TO FURTHER SUBDIVIDE THE LOTS SHOWN WITHIN THE PUD.

INDIVIDUAL LOT MINIMUM SETBACK REQUIREMENTS ARE AS FOLLOWS:

SIDE SETBACK: 20 FEET
REAR SETBACK (ADJACENT TO RAIL LINE): 20 FEET
FRONT SETBACK (ALONG TRACT A): 40 FEET

PLEASE REFER TO SITE PLAN ABOVE FOR SETBACK ORIENTATION.

**SETBACKS DO NOT APPLY TO LOT 1 OF ROCKY MOUNTAIN RAIL PARK DUE TO TRACTS B, C, F AND G BEING LOCATED ON THE PERIMETER OF LOT 1 THAT PROVIDE NATURAL, LANDSCAPED SETBACKS FROM ALL ADJACENT PROPERTIES AND ROADWAYS.

OUTDOOR STORAGE

LOCATION: NO OUTDOOR STORAGE, LOADING, OR GARBAGE COLLECTION OR COMPACTION AREAS SHALL BE LOCATED WITHIN TWENTY (20) FEET OF ANY PUBLIC ROAD.

INCORPORATION INTO OVERALL DESIGN: LOADING DOCKS, TRUCK PARKING, OUTDOOR STORAGE, UTILITY METERS, HVAC AND OTHER MECHANICAL EQUIPMENT, GARBAGE COLLECTION, GARBAGE COMPACTION, AND OTHER SERVICE FUNCTIONS SHALL BE INCORPORATED INTO THE OVERALL DESIGN OF THE SITE AND THE LANDSCAPE. IF AREAS ARE TO BE COVERED, THEN THE COVERING SHALL CONFORM TO THOSE USED AS PREDOMINANT MATERIALS AND COLORS OF THE PRINCIPAL STRUCTURE.

OUTDOOR STORAGE AREA RESTRICTIONS: ON AN INDIVIDUAL LOT BASIS, OUTDOOR STORAGE IS LIMITED TO A MAXIMUM OF EIGHTY (80) PERCENT OF THE OVERALL LOT AREA.

NO ITEMS MEANT FOR DISPOSAL SHALL BE STORED OUTDOORS EXCEPT AS OTHERWISE AUTHORIZED IN THIS PLANNED UNIT DEVELOPMENT. HEIGHT RESTRICTIONS ARE OUTLINED IN THE ROCKY MOUNTAIN RAIL PARK DESIGN STANDARDS.

ARCHITECTURAL DESIGN

ALL ARCHITECTURAL DESIGN SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN THE ROCKY MOUNTAIN RAIL PARK DESIGN STANDARDS.

SIGNAGE

ROCKY MOUNTAIN RAIL PARK SIGNAGE SHALL HAVE A CONSISTENT AND COMMON THEME MADE UP OF SIMILAR MATERIALS, MASSING, AND STYLE THAT FOLLOW THE ADAMS COUNTY DEVELOPMENT STANDARDS AND REGULATIONS FOR INDIVIDUAL LOT SIGNAGE AND MUTCD FOR SIGNAGE LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY. A SIGNAGE PLAN, INCLUDING BOTH IDENTITY AND DIRECTIONAL SIGNAGE, SHALL BE INCLUDED IN THE SITE SPECIFIC FDP SUBMITTAL FOR EACH TRACT/DEVELOPMENT AREA THAT CONFORMS TO THE ADAMS COUNTY DESIGN GUIDELINES. AT A MINIMUM, THE FOLLOWING SHALL BE CONSIDERED IN THE SIGNAGE PLAN:

- PROPOSED OR ALLOWED LOCATIONS FOR ALL GROUND AND BUILDING MOUNTED COMMERCIAL OR INDUSTRIAL SIGNAGE. COMPUTATION OF TOTAL MAXIMUM SIGN AREA AS ALLOWED BY THE ADAMS COUNTY DEVELOPMENT STANDARDS. SIGN HEIGHTS, SIZES, AND TYPES OF ILLUMINATION
- STANDARDS FOR CONSISTENCY AMONG ALL SIGNS AFFECTED BY THE PLAN WITH REGARD TO LOCATIONS ON BUILDINGS, COLORS/ARCHITECTURE, AND ILLUMINATION
- NO ADVERTISEMENTS SHALL BE PERMITTED ON FENCES. NO ADVERTISEMENTS OTHER THAN IDENTIFICATION SIGNS FOR OWNERS AND TENANTS SHALL BE PERMITTED ON WALLS.
- SIGNS SHALL BE CAREFULLY INTEGRATED WITH THE SITE, LANDSCAPE AND ARCHITECTURAL DESIGN CONTEXT WITHIN WHICH THEY ARE LOCATED. SIZE, SHAPE AND PROPORTIONS SHALL BE COMPTABLE WITH THE SIZE AND SCALE OF THE SURROUNDINGS AND SHALL NOT COMPETE WITH OR OBSCURE OTHER DESIGN FEATURES OF THE SITE, LANDSCAPE, OR STRUCTURES. SIGNS SHALL BE OF COMPATIBLE COLORS AND MATERIALS.
- FREESTANDING MONUMENT SIGNS ARE LIMITED TO ONE FOR EACH STREET FRONT ON WHICH THE LOTS INCLUDED IN THE SITE PLAN HAVE STREET FRONTAGE.
- ROOF SIGNS SHALL NOT BE ALLOWED.

ALL PROPOSED DEVELOPMENTS SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN SECTION 6 OF THE ROCKY MOUNTAIN RAIL PARK ARCHITECTURAL DESIGN STANDARDS.

LIGHTING

ROCKY MOUNTAIN RAIL PARK SHALL HAVE A CONSISTENT AND COMMON LIGHTING THEME AS IDENTIFIED IN THE ADAMS COUNTY DEVELOPMENT STANDARDS AND REGULATIONS. PROPOSED LIGHTING SHALL HAVE A CONSISTENT AND COMMON THEME MADE UP OF SIMILAR MATERIALS, HEIGHT, COLOR, AND STYLE THAT FOLLOW THE DESIGN GUIDELINES. A LIGHTING PLAN SHALL BE INCLUDED IN EACH SITE-SPECIFIC SDP SUBMITTAL FOR EACH INDIVIDUAL LOT. IT IS IMPORTANT TO CONSIDER LIGHTING AS AN INTEGRAL COMPONENT OF THE SITE DESIGN. CAREFUL LIGHTING DESIGN IS AN EFFECTIVE TOOL FOR THE CREATION OF COHESIVE ENVIRONMENTS AND FOR CREATING AN IMAGE AND SENSE OF PLACE. IN GENERAL TERMS, LIGHTING MUST BE SCALED TO USE AND DESIGNED TO BE APPROPRIATE FOR VARIED APPLICATIONS. AT A MINIMUM, THE FOLLOWING SHOULD BE CONSIDERED:

- PARKING AND INTERIOR DRIVES SHALL BE LIGHTED TO PROVIDE FUNCTIONAL, ATTRACTIVE, AND UNIFIED LIGHTING SYSTEM THROUGHOUT THE LOT THAT PROVIDES ADEQUATE LIGHTING COVERAGE TO PARKING AREAS.
- FIXTURES SHALL BE FLUSH LENS DESIGN TO MINIMIZE SPILL LIGHT AND GLARE ONTO ADJACENT PROPERTIES.
- MAXIMUM HEIGHT OF PARKING LOT LIGHT FIXTURES SHALL BE 30 FEET. EXCEPT ON LOTS GREATER THAN 10 ACRES WHERE INCREASED POLE HEIGHT MAY BE PERMITTED IF AN APPLICANT DEMONSTRATES THROUGH A PHOTOMETRIC STUDY THAT ADJACENT OFFSITE LOTS WILL NOT BE NEGATIVELY IMPACTED BY SPILLOVER OR GLARE.
- PARKING AREA LIGHTING SHALL COMPLEMENT THE LIGHTING OF ADJACENT STREETS AND PROPERTIES AND SHALL USE CONSISTENT FIXTURES, SOURCE COLORS AND ILLUMINATION LEVELS
- POLES SHALL BE PLACED TO PROVIDE A UNIFIED, ORGANIZED APPEARANCE THROUGHOUT THE PARKING AREA OR DEVELOPMENT AND SHALL PROVIDE EVEN AND UNIFORM LIGHT DISTRIBUTION.

ALL PROPOSED DEVELOPMENTS SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN SECTION 3.4.1 OF THE ARCHITECTURAL DESIGN STANDARDS.

ALL PROPOSED DEVELOPMENTS WITHIN THE ROCKY MOUNTAIN RAIL PARK SHALL ADHERE TO SECTION 4-13 (OPERATIONAL STANDARDS) OF THE ADAMS COUNTY DEVELOPMENT STANDARDS AND REGULATIONS WITH THE EXCEPTION OF SECTION 4-13-01 ITEM THREE (3).

ALL LIGHTING FIXTURE REQUIREMENTS ARE FURTHER OUTLINED IN THE ROCKY MOUNTAIN RAIL PARK DESIGN STANDARDS.

AIRPORT RESTRICTIONS

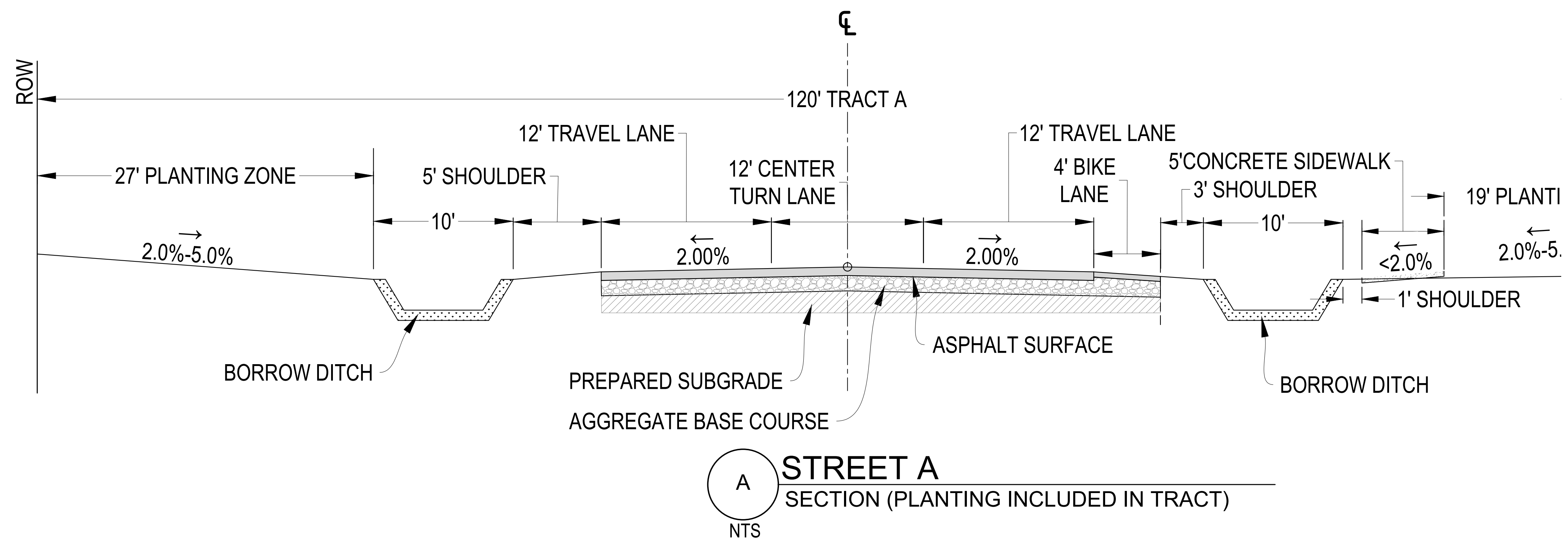
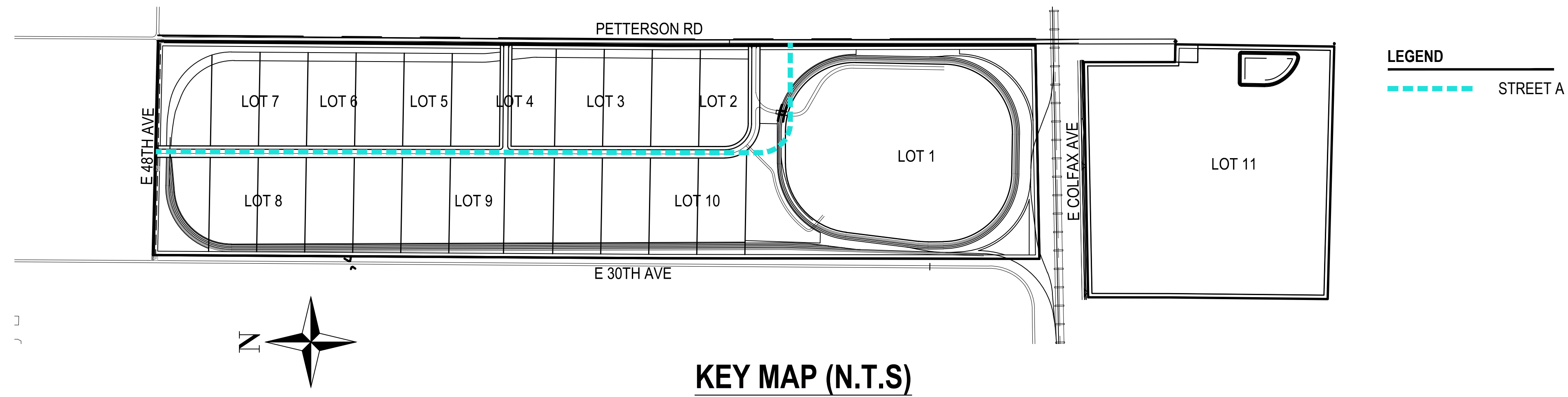
ALL PROPOSED DEVELOPMENTS WITHIN THE ROCKY MOUNTAIN RAIL PARK SHALL ADHERE TO SECTIONS 3-34 (AIRPORT INFLUENCE ZONE) AND 3-35 (AIRPORT NOISE OVERLAY) OF THE ADAMS COUNTY DEVELOPMENT STANDARDS AND REGULATIONS.

FIRE PROTECTION

- SINGLE ACCESS POINT TO INTERIOR LOTS WILL REQUIRE THE BUILDING TO SPRINKLED. DUAL ACCESS TO INTERIOR LOTS ELIMINATES THE SPRINKLED BUILDING REQUIREMENT.
- ALL FIRE HYDRANTS WILL BE THE MUELLER SUPER CENTURION 250 HYDRANT MODEL AND WILL BE ORDERED IN YELLOW. THE CAP AND TOP COLORS ARE PAINTED AFTER INSTALL PER THE NFPA 291.
- ALL ACCESS POINTS TO INTERIOR LOTS SHALL BE DESIGNED PER THE 2012 IFC ROADWAY DIMENSIONS - APPENDIX D.
- INTERIOR LOT DEVELOPMENT REQUIRES AT LEAST ONE (1) FIRE HYDRANT WITHIN 150' OF RAIL LINE ASSOCIATED WITH SPECIFIC LOT.
- ALL FIRE PROTECTION DESIGN SHALL BE PER THE BENNETT-WATKINS FIRE RESCUE AND IFC STANDARDS AND REGULATIONS.

PERMITTED LAND USE

Rocky Mountain Rail Park Permitted Land Use Table (Lots 1-11)		
Zoning	Land Use Category	Permit Restriction
PUD	Abrasive Manufacturing	P
PUD	Aggregate products, storage and sales	P
PUD	Alcoholic beverage manufacturing	P
PUD	Antenna arrays (satellite dishes)	P
PUD	Apparel and other finished products made from fabrics and similar materials	P
PUD	Arrangement of transportation of freight and cargo	P
PUD	Asbestos products manufacturing	SR
PUD	Ashpalt and concrete production facilities	PA
PUD	Auto towing and storage yards	P
PUD	Auto/truck rental, leasing	PA
PUD	Automobile dealers	P
PUD	Automobile manufacturing	PA
PUD	Automotive repair except top, body, upholstery, repair, paint, and tire retreading shops	PA
PUD	Automotive repair, including top, body, upholstery repair, paint, and tire re-treading shops	P
PUD	Automotive services except wrecking or towing storage yards	P
PUD	Aviation related uses	PA
PUD	Bakeries	P
PUD	Beverage manufacturing	P
PUD	Boiler or tank manufacturing	P
PUD	Bone reduction	SR
PUD	Book binding	P
PUD	Bus repair	P
PUD	Cabinet manufacturing with sales	P
PUD	Can manufacturing	PA
PUD	Candy product manufacturing	P
PUD	Canvas products manufacturing	P
PUD	Caustic soda manufacturing	SR
PUD	Celluloid manufacturing	P
PUD	Cement, cinder block, concrete, lime or plaster manufacturing	PA
PUD	Chemical manufacturing	PA
PUD	Chemicals and allied products manufacturing except drugs	PA
PUD	Clothing or cloth manufacturing	P
PUD	Coal, coke yards, or coal classifications	SR
PUD	Cold storage	P
PUD	Communications	PA
PUD	Cosmetic and perfume manufacturing	PA
PUD	Creosote manufacturing or treatment plant	P
PUD	Dairy and food processing and manufacturing facilities	P
PUD	Detergent, soap, and by-products manufacturing using animal fat	SR
PUD	Development and testing services	P
PUD	Disinfectant, insecticide, or poison manufacturing	SR
PUD	Distillation of bone, refuse, grain, and wood	SR
PUD	Drug manufacturing	P
PUD	Dry cleaning plants	PA
PUD	Dye manufacturing	SR
PUD	Electric and electronic equipment including electronic distribution and electrical industrial	PA
PUD	Electronics manufacturing	PA
PUD	Fabricated metal, sheet metal shops, metal products manufacturing	P
PUD	Farm machinery sales and services	P
PUD	Farm supply sales	P
PUD	Fat rendering production	P
PUD	Felt manufacturing	P
PUD	Fertilizer manufacturing and processing	P
PUD	Flour mill	P
PUD	Forging plant and foundry	P
PUD	Fossil fuel manufacturing	SR
PUD	Fuel and ice dealers	P
PUD	Fuel, oil, gasoline, and petroleum products (bulk storage and/or sale)	P
PUD	Furnace installation, repair, and cleaning	P
PUD	Furniture and fixtures	P
PUD	Gas station	P
PUD	General building contractors	P
PUD	Glass or glass product manufacturing	PA
PUD	Grain elevators	P
PUD	Greenhouses	P
PUD	Hazardous waste treatment facility	SR
PUD	Heavy construction contractors	P
PUD	Hosiery manufacturing	P



ROCKY MOUNTAIN RAIL PARK DESIGN STANDARDS

DESIGN STANDARDS



Revised April 2019
Revised January 2019
Revised December 2018
Revised October 2018
August 2018
Owner
c/o Rocky Mountain
Resources 4601 DTC
Boulevard, Suite 120 Denver,
CO 80237

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

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ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

1.0 INTRODUCTION

1.1 Project Team

1.2 Project Overview

1.3 Vicinity Map

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

1.0 INTRODUCTION

1.1 Project Team

- A. Owner
Rocky Mountain Resources
4601 DTC Boulevard, Suite 120
Denver, Colorado 80237
Phone: 720.638.9602
Contact: Greg Blais, P.E.
- B. Architectural
Intergroup Architects
2000 West Littleton Boulevard
Littleton, Colorado 80120
Phone: 303.738.8877
Fax: 303.738.2294
Contact: Tony Casey, Assoc. AIA
- C. Civil Engineer
Enertia
1529 Market Street, Suite 200
Denver, Colorado 80202
Phone: 720.473.3131
Contact: Bonner Gilmore, John Crochet
- D. Traffic Engineer
Kimley-Horn
4582 South Ulster Street, Suite 1500
Denver, Colorado 80237
Phone: 303.228.2304
Contact: Curtis Rowe
- E. Landscape Architect
Outside L.A., LLC
Boulder/Steamboat Springs, CO
Phone: 303.517.9256
Fax: 970.367.5180
Contact: Sandi Gibson

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

1.2 PROJECT OVERVIEW

Project Intent

The Rocky Mountain Rail Park Planned Unit Development Plan (PUD) comprises approximately 619.45 acres of land located in Adams County. The intent of this PUD is:

1. To create a rail park, that is mixed use development at its core, that contains rail access for internal lots.
2. To enable and encourage the planned development of large tracts of land which are under an individual ownership or control so as to achieve cohesive land development patterns which will maintain and enhance the physical, social, and economic values of the area.
3. To provide a development that is a conduit for the front range airport that provides opportunities for aviation companies that can utilize the adjacency to Front Range Airport.
4. To create a development that offers Adams County a mix of uses and tax base generation through the incorporation of a variety of industrial, commercial, and agricultural uses.
5. To provide adequate exterior and interior landscaping to enhance the overall aesthetics for the community and neighbors' adjacent roadways.
6. To incorporate existing resource areas, topographic features, and drainage canals into the design.
7. Rocky mountain Rail Park will adhere to sections 3-34, 3-35, and 4-13 Adams County Development Standards and Regulations. Exception: light pole height.

Project Concept

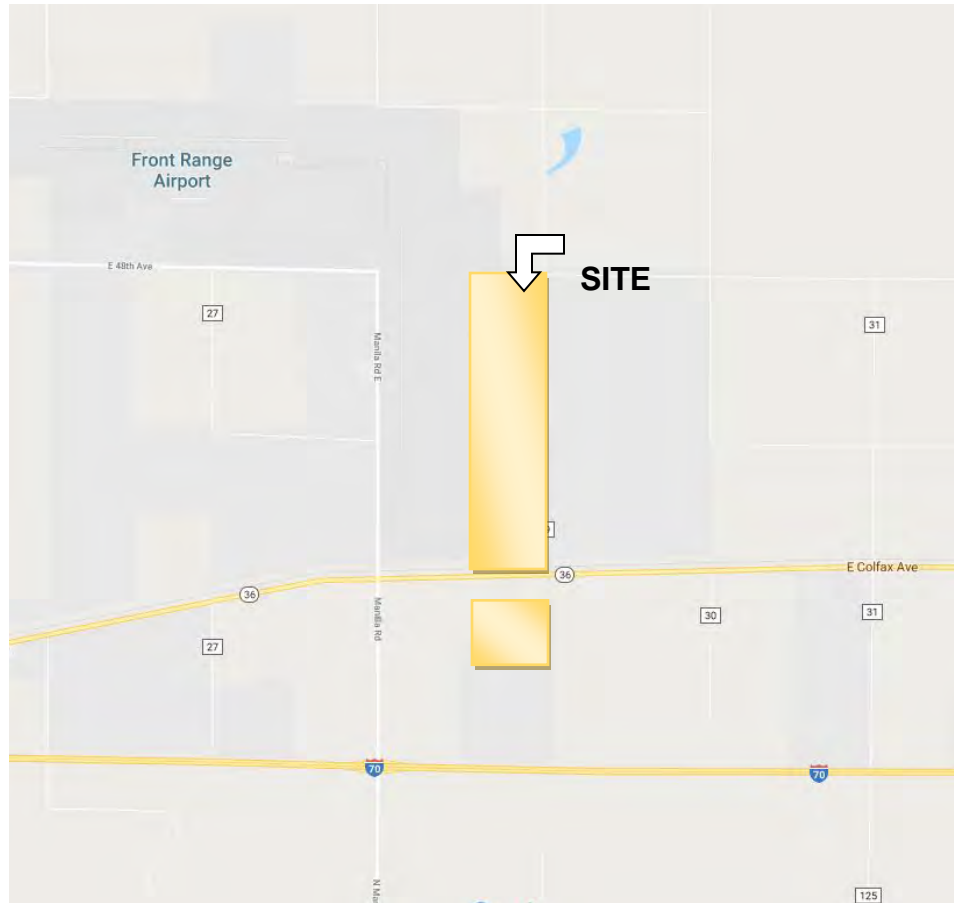
Rocky Mountain Rail Park is designed as a self-sustaining, mixed-use development that will enrich the economy of the greater Adams County. Rocky Mountain Rail Park will incorporate the following in order to enhance the County and local community:

1. Offer a variety of industrial based business and employment opportunities at varying scales to meet growing demands in Adams County and to serve a broad range of users.
2. Creating a diversity of industrial offerings to enhance community variety and interest.
3. Maintaining accessibility to multi-modal forms of transportation.
4. To provide an anchor for Adams County to facilitate the growth in the region.
5. Serving as a magnet to attract a diverse group of users from a wide spectrum of social and economic backgrounds.

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

1.3 VICINITY MAP



ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

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2.1 Zoning

2.1.1 Context Map

2.2 Major Planning Issues

2.2.1 Traffic and Access Points

2.2.2 Pedestrian Circulation

2.2.3 Building Design

2.2.4 Building Orientation and Architecture

2.3 Permitted Uses

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

2.0 GENERAL PROJECT INFORMATION

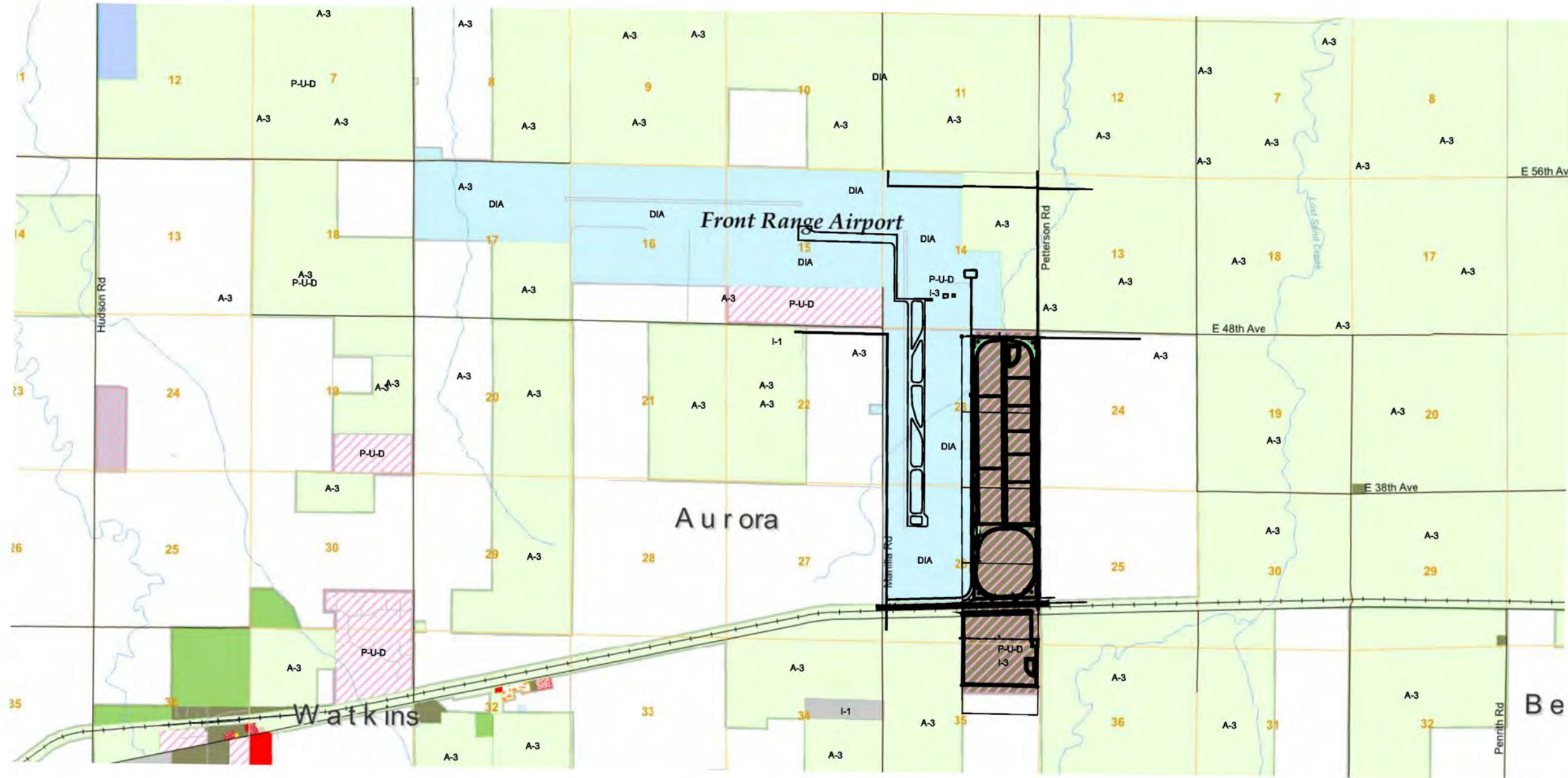
2.1 Zoning

This site is zoned PUD.
Permitted and Conditional Uses: See
PUD. Gross Land Area: 619.45 AC

2.1.1 Context Map

ROCKY MOUNTAIN RAIL PARK DESIGN STANDARDS

CONTEXT MAP



ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

2.2 Major Planning Issues

2.2.1 Traffic and Access Points

Petterson Road will provide Access Point #1. East 48th Ave. will provide Access Point #2. East Colfax Ave. will provide Access Point #3 & #4. Circulation within the site will be on newly developed private streets.

2.2.2 Pedestrian Circulation

Pedestrian access is provided throughout the site by soft-surfaced trails and perimeter sidewalks along private roadway.

2.2.3 Building Design

Rocky Mountain Rail Park is planned to be a contemporary mixed-use industrial park. The intent is to establish standards that create buildings with different architectural elements but with unified color schemes and concepts that reduce the scale of large structures. Building architecture will be four-sided and incorporate design and relief features such as changing colors, reveals and/or changes in height or depth.

2.2.4 Building Orientation and Architecture

The intent of these standards is to create a high quality contemporary industrial park which addresses neighborhood compatibility, Adams County Development Standards and Regulations and provides functional industrial buildings. Building will be oriented to private roadway (Tract A). Dock and service areas shall be oriented away from streets to minimize impact of loading docks and truck activity. If this is unavoidable docks and service areas shall be screened with one or more of the following: Screen walls that complement the building architecture, significant berming and/or significantly dense landscaping. Increased setbacks at these areas are also encouraged. Truck courts that face each other for adjacent lots and share common access drives are encouraged.

Building architecture shall reflect a contemporary palette of elements that reduce the scale of large buildings and long monolithic walls. See Section 3.2 for building placement and

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

setbacks and Section 4.3 for forms, images and massing requirements. Architectural Review Committee approval is required prior to submission to city for building permit.

2.3 Permitted Uses

See Rocky Mountain Rail Park PUD for permitted uses.

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

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ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

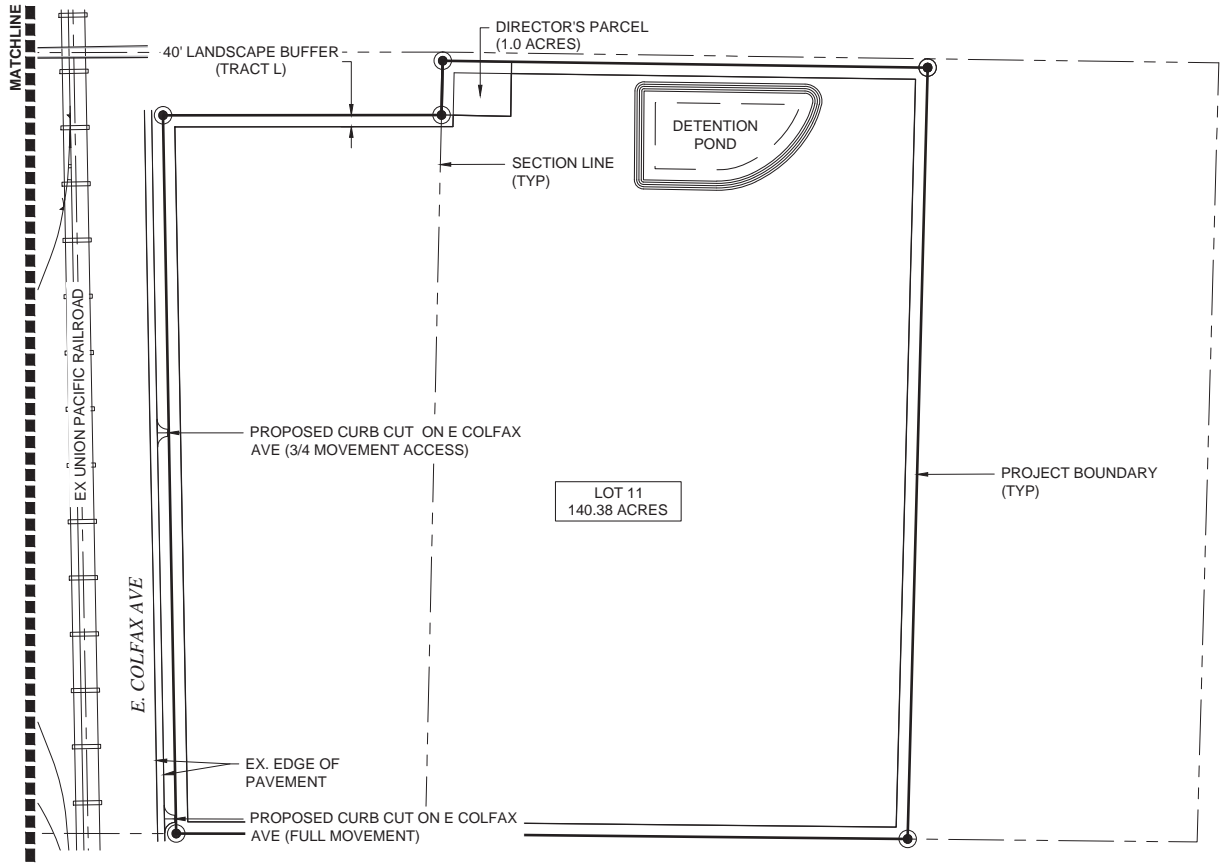
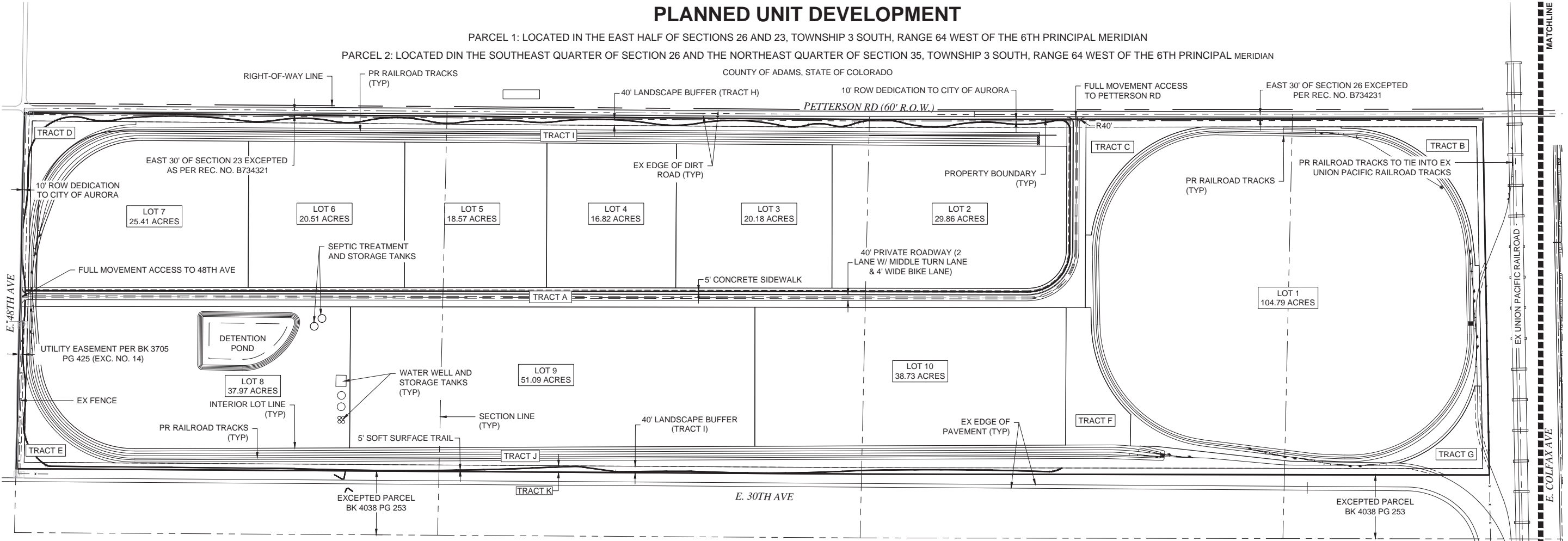
3.1 Site Plan

ROCKY MOUNTAIN RAIL PARK
PLANNED UNIT DEVELOPMENT

CASE #: PRC2018-00006

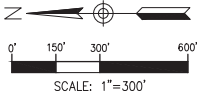
PARCEL 1: LOCATED IN THE EAST HALF OF SECTIONS 26 AND 23, TOWNSHIP 3 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN
PARCEL 2: LOCATED DIN THE SOUTHEAST QUARTER OF SECTION 26 AND THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 3 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN

COUNTY OF ADAMS, STATE OF COLORADO



NOTES

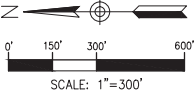
1. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTORS SHALL BE RESPONSIBLE FOR LOCATION, SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES, WHETHER SHOWN OR NOT SHOWN ON THE APPROVED COSTRUCTION DOCUMENTS.
2. PROVIDING NOTIFICATION AND RECEIVING MARKINGS OF UNDERGROUP MEMBER UTILITIES IN NO WAY CONSTITUTES PESSION TO PERFORM CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND REPAIR OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION, WHETHER SHOWN ON THESE PLANS OR NOT. THE CONTRACTOR SHALL CONTACT ALL RESPECTIVE UTILITIES AND HAVE ALL UTILITIES FIELD LOCATED PRIOR TO CONSTRUCTION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES SHOWN ON THE DRAWINGS, TO ASCERTAIN WHETHER ANY STRUCTURES AND UTILITIES MAY EXIST, AND TO REPAIR OR REPLACE ANY STRUCTURES AND UTILITIES THAT MIGHT BE DAMAGED.
4. LOCATIONS OF UTILITIES REPRESENT THE BEST KNOWN LOCATIONS AT THE TIME OF PREPARATION OF THE DRAWINGS. THE CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES IN ADVANCE OF EXCAVATION. RELOCATION OF UTILITIES IS NOT ANTICIPATED FOR THIS PROJECT. IF REQUIRED, THE CONTRACTOR SHALL COOPERATE WITH COMPANIES TRYING TO COORDINATE THE RELOCATION EFFORT. LINES NOT RELOCATED SHALL BE PROTECTED BY THE CONTRACTOR. NO ADDITIONAL PAYMENT WILL BE ALLOWED FOR THE MINOR ADJUSTMENT OF STRUCTURES IN ORDER TO CLEAR A CONFLICTING UTILITY.



LEGEND

	PROPERTY BOUNDARY
	ROAD CENTER LINE
	PROPERTY BUFFER
	EX FENCE
	EX EDGE OF PAVEMENT
	PR EDGE OF PAVEMENT
	LOT LINE
	EX EDGE OF DIRT ROAD
	RIGHT OF WAY LINE
	SECTION LINE

Rocky Mountain Rail Park Open Space Table	
Overall Site Area	619.45
Required Open Space (30% of Overall Area)	185.85
Required Active Recreation (25% of Open Space)	46.5
Provided Open Space (Tracts A through L)	111.99
Provided Open Space (Lots 1 11 per 10% Open Space Requirement: in PUD)	50.49
Total Provided Open Space	162.48 (26%)
Provided Active Recreation	43.08 (23%)



PR RAILROAD TRACKS TO TIE INTO EX UNION PACIFIC RAILROAD TRACKS



FOR BURIED UTILITY INFORMATION
THREE (3) BUSINESS DAYS BEFORE YOU DIG
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(OR 1-800-922-1987)
UTILITY NOTIFICATION
CENTER OF COLORADO (UNCC)
WWW.UNCC.ORG



1529 MARKET STREET, SUITE 200
DENVER, COLORADO 80202



4601 DTC BLVD., SUITE 120
DENVER, CO 80237

ROCKY MOUNTAIN RESOURCES
RAIL PARK
CONSTRUCTION DOCUMENTS
ADAMS COUNTY, COLORADO

SITE PLAN

VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING. 0 1"	DATE Dec. 18, 2018
FILE	
DWG	
SHEET	1 OF 1

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

3.2 Building Placement and Setbacks

3.2.1 Building Setbacks

Front: 40' (Located along Tract A)

Side: 20' (the space between the secondary building façade and neighboring buildings, streets, open space, and parking areas).

Rear: 20'.

3.2.2 Landscape Buffer

Landscape buffer defined as a section where hardscape and building are restricted and an area that can be used to meet individual lot planting requirements.

Front: 10' to front property line

3.3 Parking Guidelines and Standards

Effort shall be made to minimize the visibility of parking from the street and to encourage the sharing of spaces between users when possible. Large areas of surface parking are to be separated by landscaped islands and medians that also organize the parking layouts. Parking lots can be separated in scale and in visual impact. Berming shall be used to add a dimension of texture and interest to the landscaping.

3.3.1 Standards

The following parking standards apply to the development of this project:

- a. All parking requirements will comply with the minimum current Adams County use requirements for industrial use.
- b. A pedestrian system for circulation throughout the site has been designed to connect various buildings, parking areas and sidewalks on and off-site. The primary sidewalks are to be 5' minimum width and are bordered on both sides by an 8'-6" minimum width landscaped area or tree lawn to provide separation from vehicular traffic where possible. Where the pedestrian sidewalk crosses the drives; the walk must be striped to distinguish itself from the drive surface. Provide handicap ramps at curbs on accessible routes.

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

- c. All drives, parking and vehicular circulation areas shall be asphalt or concrete paving. Outdoor storage may be recycled concrete.
- d. Handicap parking spaces must comply with Americans with Disabilities Act (ADA) and the Adams County Development Standards and Regulations in both layout, size and quantity.
- e. Parking stall dimensions must be in conformance with the current Adams County code requirements.

3.3.2 Guidelines

The following guidelines shall apply to this development:

- a. Shared parking use and adjacent-property connections within Rocky Mountain Rail Park are encouraged to promote local access between use areas.
- b. The placement of landscaped islands, plazas, and building groupings promote safe vehicular circulation routes throughout the site. Arterial drives establish organized vehicular traffic and segment parking blocks.
- c. Bicycle racks and parking shall be provided, with bicycle parking spaces equal to 3% of required parking spaces per Adams County code. Bicycle racks shall be separated with a 3' separation distance and a curb or other physical barrier from drives and parking areas on the site.

3.3.3 Minimum Parking Standards

The criteria for minimum parking spaces will be in accordance with Adams County Development Standards and Regulations Sections for the required parking for each intended use.

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

3.4 LIGHTING

Site lighting shall be designed using quality Lithonia Lighting or equal site luminaires according to the attached drawings. The site lighting will provide light levels to meet the Adams County requirements. The lighting will be consistent throughout the project and the luminaires will complement the Architectural design. Lighting fixtures will be coordinated with landscaping and sign fixtures where needed.

The site lighting will minimize impact to the surrounding neighboring properties by directing the light towards Rocky Mountain Rail Park. Luminaire reflector cutoff characteristics will accomplish this.

3.4.1 Lighting Requirements

All fixtures on any building side shall have cut off design to prevent light spill over at the property line.

The building mounted fixtures – Will complement the overall character of the project. The wall mounted light source will be a Lithonia Lighting – D-Series LED, Size 0 cutoff luminaire. Photos of the luminaire are attached. The Wall Director provides high quality lighting for building mounted applications with exceptional cutoff features to direct the light onto the walkways and parking areas while avoiding glare and preventing light onto adjacent properties.

The pole fixture for the Rocky Mountain Rail Park project will be a with a 30' pole unless modified by a photometric study per the requirements of the PUD. Details of the luminaire are included in the attached pole base detail and Lithonia Lighting luminaire cutsheets. The fixture is high quality with exceptional lighting control and cutoff for parking and roadway area illumination while providing appropriate optics for minimizing light onto adjacent properties.

D-Series LED, Size 0

Area Luminaire

Minimum Scale. Maximum Results.

Pedestrian in scale only, the D-Series LED Area, Size 0 is an extraordinary luminaire that can be configured to meet any site's lighting needs. The versatility and power of this luminaire prove big things really do come in small packages.

Key Features:

- Energy savings of 70% vs. comparable metal halide luminaires; saves \$141 per luminaire, per year over 400W metal halide
- 20+ years expected service life (with lumen maintenance up to L99/100,000 hours, 25°C)
- Proprietary precision optics deliver exceptional uniformity and allow for increased spacing, resulting in fewer poles and lower overall cost
- Control options from Acuity Controls include standalone photocell, switched bi-level, part-night scheduled dimming, multi-level motion sensor, and ROAM® wireless monitoring and control

DSX0

Model	Input Watts	Lumens	Metal Halide Replacement
DSX0 LED P1 40K T3M	38W	4,577	175W
DSX0 LED P3 40K T3M	71W	8,205	250W
DSX0 LED P5 40K T3M	89W	11,346	400W
DSX0 LED P7 40K T3M	166W	17,832	620W



Quick Facts:

- Up to 400W MH replacement
- Lumen packages from 3,000 - 19,000 lumens up to L92/50,000 hours
- Efficacies up to 139 lumens per watt
- 14 factory-rotatable distributions available
- Available in 3000K, 4000K & 5000K CCT and Amber LED
- Weight: 16 lbs; EPA: 0.95 ft²

D-Series LED Area Luminaire, Size 0

Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA DDBXD

DSX0 LED									
Series	LEDs	Color temperature		Distribution			Voltage	Mounting	
DSX0 LED	Forward optics	30K	3000 K	T1S	Type I short	T5S	Type V short	MVOLT	Shipped included
	P1 P4 P7	40K	4000 K	T2S	Type II short	T5M	Type V medium	120	SPA Square pole mounting
	P2 P5	50K	5000 K	T2M	Type II medium	T5W	Type V wide	208	RPA Round pole mounting
	P3 P6	AMBPC	Amber phosphor converted	T3S	Type III short	BLC	Backlight control	240	WBA Wall bracket
	Rotated optics			T3M	Type III medium	LCCO	Left corner cutoff	277	SPUMBA Square pole universal mounting adaptor
	P10 P12			T4M	Type IV medium	RCCO	Right corner cutoff	347	RPUMBA Round pole universal mounting adaptor
	P11 P13			TFTM	Forward throw medium			480	Shipped separately
				TSVS	Type V very short				KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish)
Control options								Other options	Finish (required)
Shipped installed				BL30 Bi-level switched dimming, 30%				Shipped installed	DDBXD Dark bronze
PER	NEMA twist-lock receptacle only (control ordered separate)			BL50 Bi-level switched dimming, 50%				HS House-side shield	DBLXD Black
PER5	Five-wire receptacle only (control ordered separate)			PNMTDD3 Part night, dim till dawn				SF Single fuse (120, 277, 347V)	DNAXD Natural aluminum
PER7	Seven-wire receptacle only (control ordered separate)			PNMT5D3 Part night, dim 5 hrs				DF Double fuse (208, 240, 480V)	DWHXD White
DMG	0-10V dimming extend out back of housing for external control (no controls) (leads exit fixture)			PNMT6D3 Part night, dim 6 hrs				L90 Left rotated optics	DDBTXD Textured dark bronze
PIR	Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc			PNMT7D3 Part night, dim 7 hrs				R90 Right rotated optics	DBLBXD Textured black
PIRH	Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc			FAO Field adjustable output				DDL Diffused drop lens	DNATXD Textured natural aluminum
PIR1FC3V	Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc							BS Bird spikes	DWHGXD Textured white
PIRH1FC3V	Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc								

Accessories Ordered and shipped separately.

Controls & Shields

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V)
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V)
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V)
DSHORT SBK U	Shorting cap
DSX0HS 20C U	House-side shield for 20 LED unit
DSX0HS 30C U	House-side shield for 30 LED unit
DSX0HS 40C U	House-side shield for 40 LED unit
DSX0DDL U	Diffused drop lens (polycarbonate)
PUMBA DDBXD U	Square and round pole universal mounting bracket adaptor (specify finish)
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish)

Please use the spec sheet at www.acuitybrands.com when ordering to ensure component compatibility for your desired configuration.

DSX2

400W - 1000W MH Replacement



DSX1

250W - 750W MH Replacement



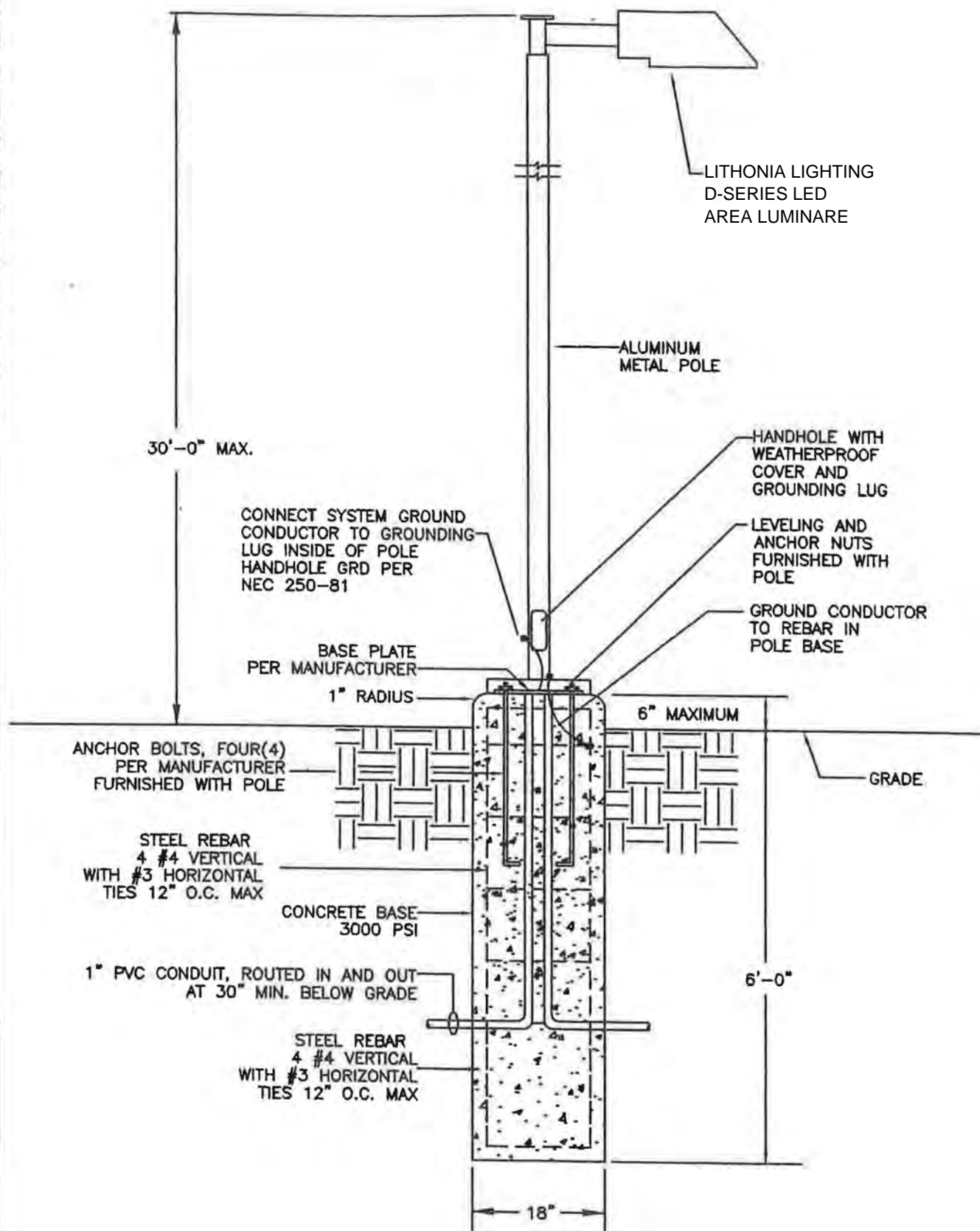
DSX0

175W - 400W MH Replacement



DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

Visit www.lithonia.com for more information



TYPE A
POLE BASE DETAIL

NO SCALE

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

3.5 Screening, Outdoor Storage and Display

3.5.1 Loading Areas

Buildings shall be oriented to provide service and loading areas that are not visible from adjacent public streets. If this orientation is not practical they must be screened from view by the use of berms, fences, landscaping, walls, or any combination of these. The layout and function of the loading areas must conform to Adams County Development Standards and Regulations.

3.5.2 Trash Enclosures

Trash containers shall be shielded from visibility by being enclosed behind solid walls or fences at least 6 feet in height. Trash containers shall not project above the screening or enclosure. Materials used for all walls or fencing that enclose trash enclosures shall be identical or complementary to the materials used for the building it serves. Access to the enclosures are to be with gates that are metal painted to match primary building color or galvanized finish.

3.5.3 Outdoor Storage

Location: No outdoor storage, loading, or garbage collection or compaction areas shall be located within twenty (20) feet of any public road.

Incorporation into Overall Design: Loading docks, truck parking, outdoor storage, utility meters, HVAC and other mechanical equipment, garbage collection, garbage compaction, and other service functions shall be incorporated into the overall design of the site and the landscape. If areas are to be covered, then the covering shall conform to those used as predominant materials and colors of the principal structure.

Outdoor Storage Area Restrictions: On an individual lot basis, outdoor storage is limited to a maximum of eighty (80) percent of the overall lot area. Maximum outdoor storage area height are as follows:

- Aggregate = 70 feet
- Miscellaneous outdoor storage = 30 feet

All stacked material must meet applicable industry standards for best practice.

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

No items meant for disposal or animals shall be stored or kept in the open or exposed to the view from adjacent properties except as otherwise authorized in this planned unit development.

3.5.4 Dust Mitigation

All dirt roads shall be sprayed with water periodically to prevent migrant dust emissions from individual lot boundaries and the Rail Park. All aggregate materials processed and stockpiled on site shall be sprayed with water during any processing or transfer activity. Aggregate stockpiles shall be sprayed with water periodically to prevent migrant dust emissions. In addition best practice shall be used for all aggregate processing, handling and stockpiling in order to prevent dust emissions. Best practices include optimizing conveyor belt heights to minimize free fall of material and orienting stockpiles to counteract the affects of wind, including use of elongated flat-topped stockpiles running parallel to the predominant wind direction.

4.0 INDUSTRIAL ARCHITECTURAL DESIGN STANDARDS

4.1 Architectural Statement of Intent

4.2 Architectural Review Requirements

4.2.1 Architectural Committee

4.2.2 Design Review Procedure

4.2.3 Construction

4.3 Forms, Images, Massing

4.4 Materials

4.5 Building Colors

4.6 Roof Shapes, Materials, and Mechanical Screens

4.7 Building Design Standards

4.7.1 Four-Sided Design

4.7.2 Building Form

4.7.3 Façade

4.7.4 Building Height

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

4.0 INDUSTRIAL ARCHITECTURAL DESIGN STANDARDS

4.1 Architectural Statement of Intent

Rocky Mountain Rail Park will provide a master planned business and industrial park that is designed with a contemporary style. The exterior designs shall reflect the industrial nature of the project and provide a pleasing facade to the street.

The designs shall emphasize elements that reduce the scale of large buildings and emphasize office and entry areas.

4.2 Architectural Review Requirements

4.2.1 Architectural Committee

In an effort to assure current and future owners at Rocky Mountain Rail Park that the adopted covenants, codes and restrictions are being enforced and that the overall design theme will be adhered to by future development, the Architectural Control Committee (ACC) has been put in place by Rocky Mountain Rail Park owners' administration. The committee shall consist of a minimum of three (3) people and a maximum of five (5) people each appointed by the Rocky Mountain Rail Park developer.

The ACC is responsible for reviewing plans for all development, including construction of any type, landscaping, lighting, signage, deed restrictions, zoning changes, additions, repairs and all other improvements. All plans must be reviewed by the ACC, prior to submission to the county to determine their compliance with the project covenants and this master plan.

4.2.2 Design Review Procedure

All plans for construction must be submitted to the Architectural Control Committee (ACC) for approval. ACC final action will take place within 30 days from the submission of final working drawings to the committee. Three copies of the required information must be submitted unless the ACC requires additional copies. One copy shall remain on file with one copy returned to the applicant with ACC comments. The county requires approval by the ACC before any site plan submission preliminary to the County.

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

4.2.3 Construction

Construction Precautions:

In order to minimize soil erosion by water and wind, practical combinations of the following shall be used:

1. Expose smallest practical area of cleared land during construction.
2. Temporary ditches, dikes, vegetation and/or mulching shall be used to protect critical areas exposed during development or construction.
3. Sediment basins (debris basins, desilting basins or silt traps) shall be installed and maintained to remove the sediment from runoff waters during development.
4. The permanent landscaping shall be installed as soon as practical after construction activities.
5. Temporary mulching shall be used for imported fill subject to erosion, construction projects over six months duration.
6. Site watering for dust control is required as necessary to prevent dust migration to the adjacent residential zones.

All construction storage, equipment yards and on-site trailer and san-o-lets shall be fenced or segregated in a manner approved by the ACC and shall be located on the site in a manner to minimize their impact on adjacent properties and public streets. Construction sites shall be maintained in a neat and orderly manner. All trash shall be kept in enclosed containers and emptied frequently.

Construction access shall be limited to Petterson Road and streets within Rocky Mountain Rail Park and coordinated with and approved by the ACC. Special care shall be taken to protect existing pavements from damage and removal of site soil tracked onto streets shall be removed at least weekly.

4.3 Forms, Images, Massing

Overall building design shall reduce the scale of large buildings through careful massing breaks in form and design offsets in or out and articulated parapet lines. Building entries shall be focal points created by change in patterns, planes, materials, colors or offsets. Window and entry treatments shall focus attention to the entry while clearly identifying office areas.

Dock and service areas shall be designed as secondary elements that utilize design elements consistent with the rest of the building.

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

Each building shall demonstrate a clean, unified design solution which incorporates simple forms and careful attention to scale.

Material changes may be used to enhance or focus attention at key design features or entry locations.

Long façades shall be designed with elements, color shades and details to reduce the scale and provide visual interest as specified by Adams County Development Standards and Regulations as follows:

- 4.3.1 Intent. Provide a high-quality architectural character in all non-residential developments.
 1. Requirement for Four-Sided Design. A building's special architectural features and treatments shall not be restricted to a single façade. All sides of a building open to view by the public, whether viewed from public or private property, shall display a similar level of quality and architectural interest.
 2. Building Form. The design of all buildings shall employ a combination of some of the following: textured surfaces, projections, recesses, shadow lines, color, window patterns, overhangs, reveals, changed in parapet heights, and similar architectural devices to avoid monolithic shapes and surfaces and to emphasize building entries. Designs shall avoid long, uninterrupted, flat walls of 150' feet or greater for buildings exceeding 30,000 SF. For buildings under 30,000 SF these elements shall occur each 100' feet.
 - a. Buildings having single walls exceeding 150' feet in length shall incorporate one or more of the following for every 150' feet in length:
 - i. Changes in color, graphical patterning, changes in texture, or changes in material;
 - ii. Projections, recesses, and reveals, expressing structural bays or other aspects of the architecture with a minimum change of plane of 8 inches;
 - iii. Windows and fenestration;
 - iv. Arcades and pergolas;
 - v. Towers;
 - vi. Gable projections;
 - vii. Horizontal/vertical breaks; or
 - viii. Other similar techniques.

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

3. Exterior Building Materials and Colors

- a. Intense, bright, or fluorescent colors shall not be used as the predominant color on any wall or roof of any primary or accessory structure. Bright colors may be used as building accent colors but shall not constitute more than 10 percent of the area of each elevation of a building. Permitted sign areas shall be excluded from this calculation.
- b. Highly reflective or glare producing glass with a reflectance factor of .25 or higher is prohibited on all facades. Such prohibition shall apply regardless of whether the glass is used in window or spandrels areas.

4. Roof materials. All sloping roof areas with a pitch of 3:12 (14 degree angle) or greater, and visible from any public or private right-of-way, shall be surfaced with attractive and durable materials such as concrete, clay, or slate tiles, or seamed architectural metals such as tin or copper. Asphalt shingles and membrane system roofs shall not be permitted in such areas.

5. Roof Design and Colors.

- a. Intense, bright, or fluorescent colors shall not be used on any roof areas.
- b. When sloping roofs are used, at least one of the following elements shall be incorporated into the design for each 60 lineal feet of roof:
 - i. Projecting gables,
 - ii. Hips,
 - iii. Horizontal/vertical breaks, or
 - iv. Other similar techniques.
- c. Where flat roofs are used, the design or height of the parapet shall include at least one change in setback or height of at least three feet along each 60 lineal feet of façade.
- d. On all structures exceeding 40' in height, roofs shall be internally drained, and external scuppers and wall drains shall be prohibited.

6. Rooftop Equipment and Screening. All rooftop mechanical equipment and vents greater than 8 inches in diameter shall be screened. Screening may be done either with an extended parapet wall or a screen wall. Screens shall be at least as high as the equipment they

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

hide. They shall be of a color and material matching or compatible with the dominant colors and materials found on the facades of the primary building and shall match the materials and color of a primary façade of the building.

7. Service Area and Loading Dock Screening. Loading docks, on-site storage yards, and all other service areas shall be fully screened from view from public streets by walls or fences. The screen height shall be of sufficient height to hide the equipment, vehicles, materials, or trash being screened from public view, but in no case shall exceed a height of 8 feet. Chain link fences, with slats and 80% opacity, may be used to satisfy this screening requirement.

4.3.2 Additional Standards Applicable to Industrial, Warehouse & Manufacturing Uses. In addition to design standards required for all non-residential development, industrial, warehouses and manufacturing structures shall comply with the following special standards.

1. Concrete Tilt-Up Buildings. Concrete tilt-up panels are allowed subject to the following standards:
 - a. Panels shall be embossed with reveals that repeat a common pattern.
 - b. All elevations visible from a public or private street shall include variable parapet heights and projections with the distance between not to exceed the requirements of FAA Part 77 or other articulation in design through reveals, patterns, offsets or changes in color.
 - c. All main entries (or storefronts) shall be identified by utilization of an arcade, covered entry, spandrel glass or other similar architectural feature.
2. Metal Buildings. Metal is allowed as a primary exterior surface material on industrial, manufacturing, storage, distribution or assembly of buildings.

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

4.4 Materials

Appropriate primary building materials shall include concrete wall panels (pre-cast or tilt-up), brick and concrete masonry. Architectural metal panels, stucco and EIFS may be used as accents or in isolated areas not to exceed 10% of the exterior façade.

Appropriate accent materials include, but are not limited to; stone, glass, curtain wall assemblies, painted steel and the like.

Wood is not allowed.

4.5 Building Colors

Color is important to accent or highlight the building architecture. Colors for architecture shall be coordinated to provide a continuity of design and consistency of quality level.

Colors may be varied and need not be limited to earth tones; however, the tones and values of colors used must be subtle and compatible. The following are acceptable within the development: Sherwin Williams to match: ICI#380 Light Taupe, ICI#369 Tomorrow's Taupe, ICI#548 Beachcomber, ICI#527 Camel Tan, ICI#427 Deerfield, ICI#321 Turret Brown.

Any additional colors not included within those specified above shall be subject for review as part of the Architectural review. The primary building color shall be light in shade with additional color added that would blend with the primary color. The additional colors can be used to emphasize horizontal or vertical articulation.

Accent colors can be used that will blend with the basic building color (i.e. horizontal stripes, accent panels, accent color in reveals, or colored mullion system). The following colors may be used only as accent colors: Sherwin Williams to match: ICI#163 Coach Lamp Copper, ICI#1290 Western Sky Blue, ICI#1025 Bunker Hill, ICI#1493, ICI1493 Charcoal Slate.

The color of all site elements and furnishings, such as walls, fences, light standards, signs, etc. shall be coordinated with the building architecture.

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

4.6 Roof Shapes, Materials, and Mechanical Screens

Roof shapes and elements shall be integrated into the overall architectural concept.

Roof shapes must be generally flat. Sloped or curved forms may be used with discretion, if they are not the dominant roof theme. Residential roof forms are not permitted.

All roof mounted equipment and vents greater than 8" in diameter shall be screened to the height of the equipment. Screening may be done either with extended parapet or freestanding screen wall. If equipment is visible because screens don't meet this minimum height requirement, the director of planning may require construction modifications prior to the issuance of permanent certificate of occupancy.

Satellite dishes and antennas shall not be roof mounted, unless technically necessary and such installations shall be screened from view of pedestrian areas and adjacent streets. Each satellite dish and antenna must be approved by the Architectural Control Committee prior to installation.

Downspouts and overflows shall be painted to match adjacent wall material or enclosed within the structure whenever possible. All flashing, sheet metal, vent stack pipes and other minor roof projections shall be painted to match adjacent building or roof surfaces unless used as a design element.

4.7 Building Design Standards

4.7.1 Four-Sided Design:

Each building shall be designed with four (4) sided architecture. That is design elements must be expressed to some degree on each elevation.

4.7.2 Building Form:

Each building shall include design features such as reveals, change in parapet height, change in planes, textures, materials, or overhangs to minimize long unbroken walls and emphasize revised scale.

4.7.3 Façade

For buildings over 30,000 SF, each building façade over 150' long shall incorporate one or more of the following for each 150'. For buildings under 30,000 SF these elements shall occur each 100'.

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

1. Change in color, graphic patterns, change in texture, or changes in material
2. Reveals, projections, recesses expressing the architectural character
minimum change in plane shall be 8"
3. Windows or fenestration
4. Horizontal or vertical elements
5. Spandrel panels set away from building face.

4.7.4 Building Height

Development with Rocky Mountain Rail Park will adhere to maximum building heights as allowed under FAA Part 77 regulation. Maximum building heights are as follows:

- Occupied structures = 90 feet
- Unoccupied industrial facilities = 150 feet

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

5.0 LANDSCAPE REQUIREMENTS

- 5.1 General Landscape Requirements for Industrial Development
 - 5.1.1 Overall
 - 5.1.2 Applicability
- 5.2 Landscape Master Plan
 - 5.2.1 Landscape Master Plan Plant List
- 5.3 Landscape Details
 - 5.3.1 Buffer Landscape Elevation
 - 5.3.2 Section 1-1
 - 5.3.3 Section 2-2
 - 5.3.4 Section 3-3
- 5.4 Site Landscape Standards
 - 5.4.1 Property Line Landscape Buffers

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

5.0 LANDSCAPE REQUIREMENTS

5.1 General Landscape Requirements for Industrial Development

5.1.1 Overall

Mix of landscape materials including evergreen, deciduous, and flowering trees, evergreen and deciduous shrubs, perennials, ground covers and mulches shall be utilized throughout the site to provide special definitions, season interest, texture, and contrast. The landscape design shall respond to the site plan elements including building locations, signs, sight lines, site utilities, sight distance triangles, view corridors, and parking. Plant material type, growth rates, hardiness, and canopy sizes shall be considered. Drought tolerant plant material shall be used to the greatest extent possible.

5.1.2 Applicability

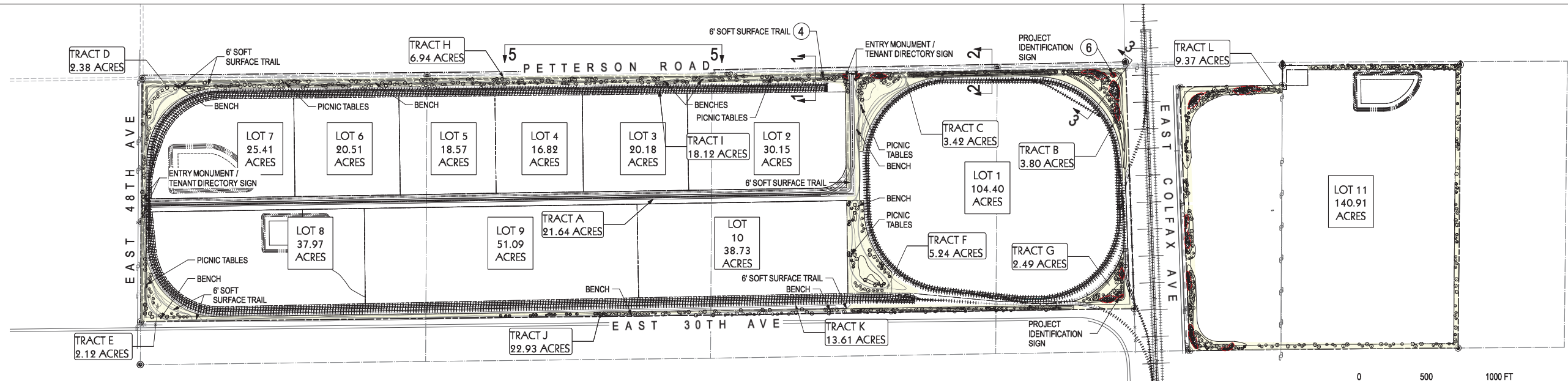
Wherever the locations for two or more required types of landscaping standards overlap, the stricter requirement shall be enforced.

5.2 Landscape Master Plan

5.2.1 Landscape Master Plan Plant List

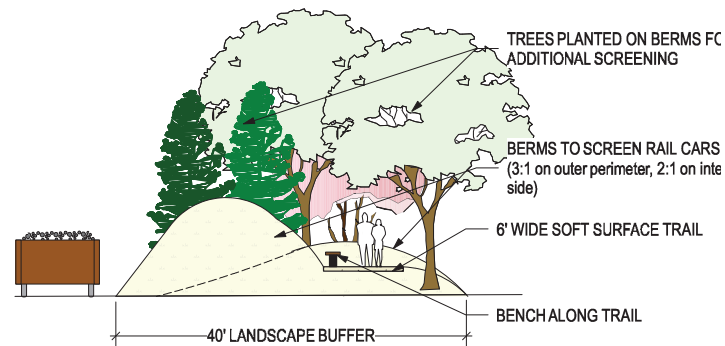
Refer to Adams County for approved plant list. Xeric plants are highly encouraged.

5.3 Landscape Details

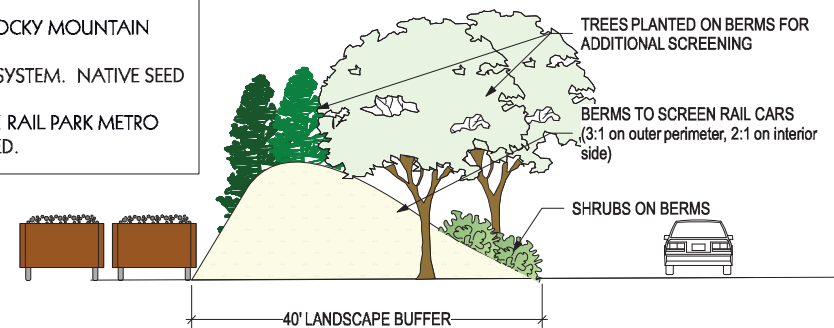


LANDSCAPE MASTER PLAN
SCALE: 1"= 500'-0"

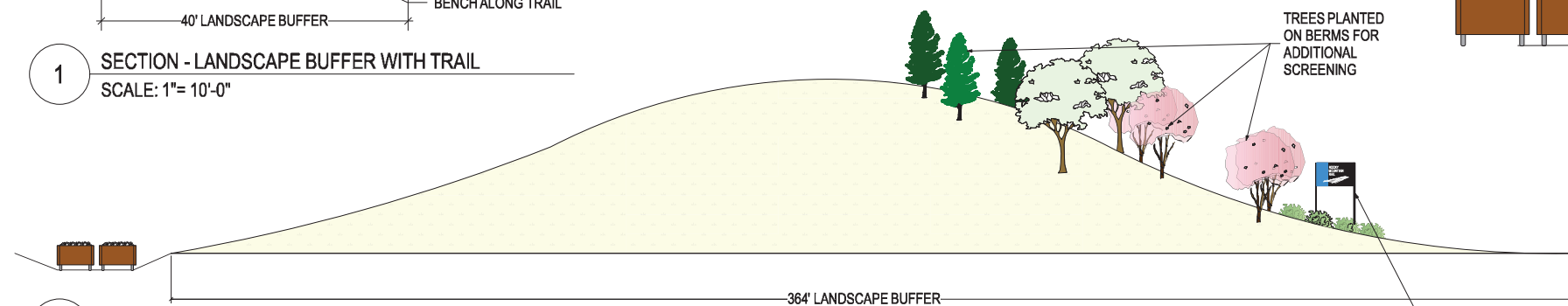
- NOTE:
1. ALL PERIMETER LANDSCAPE TO BE INSTALLED AND MAINTAINED BY ROCKY MOUNTAIN RAIL PARK METRO DISTRICT.
 2. ALL TREES & SHRUBS TO HAVE PERMANENT AUTOMATIC IRRIGATION SYSTEM. NATIVE SEED MAY HAVE TEMPORY SYSTEM TO ACHIEVE ADEQUATE ESTABLISHMENT.
 3. SOFT SURFACE TO BE REGULARLY MAINTAINED BY ROCKY MOUNTAIN RAIL PARK METRO DISTRICT TO BE SURE TRAIL REMAINS ACCESSABLE AND PROPERLY DRAINED.



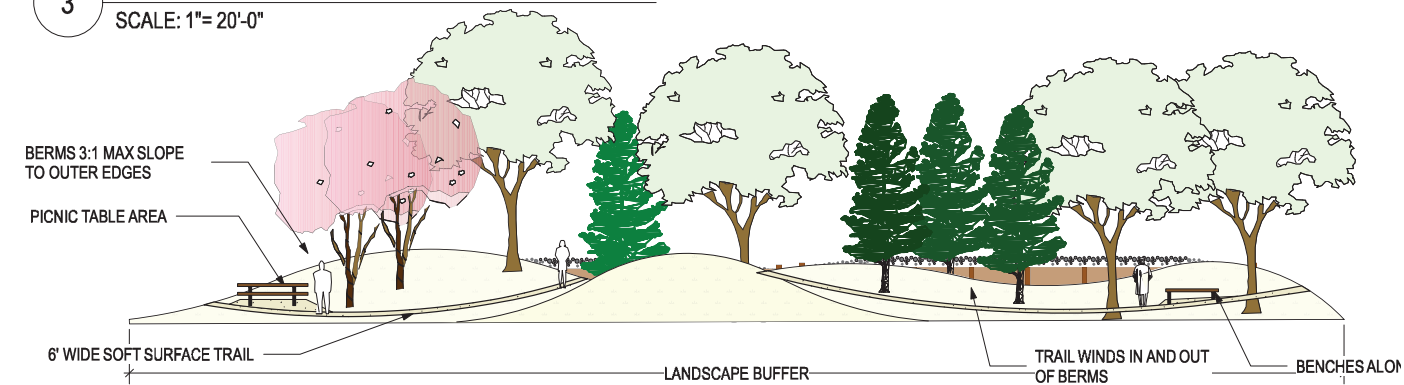
1 SECTION - LANDSCAPE BUFFER WITH TRAIL
SCALE: 1"= 10'-0"



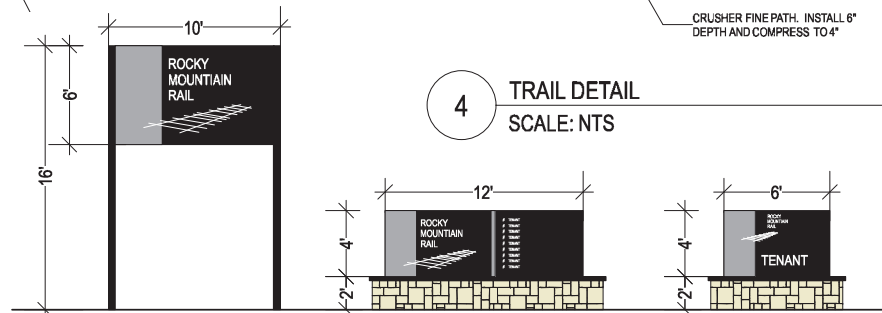
2 SECTION - LANDSCAPE BUFFER
SCALE: 1"= 10'-0"



3 SECTION - LANDSCAPE BUFFER AT ENTRY CORNER
SCALE: 1"= 20'-0"



5 ELEVATION - LANDSCAPE BUFFER WITH TRAIL
SCALE: 1"= 10'-0"



4 TRAIL DETAIL
SCALE: NTS

6 PROJECT SIGNAGE
SCALE: 3/16"= 1'-0"



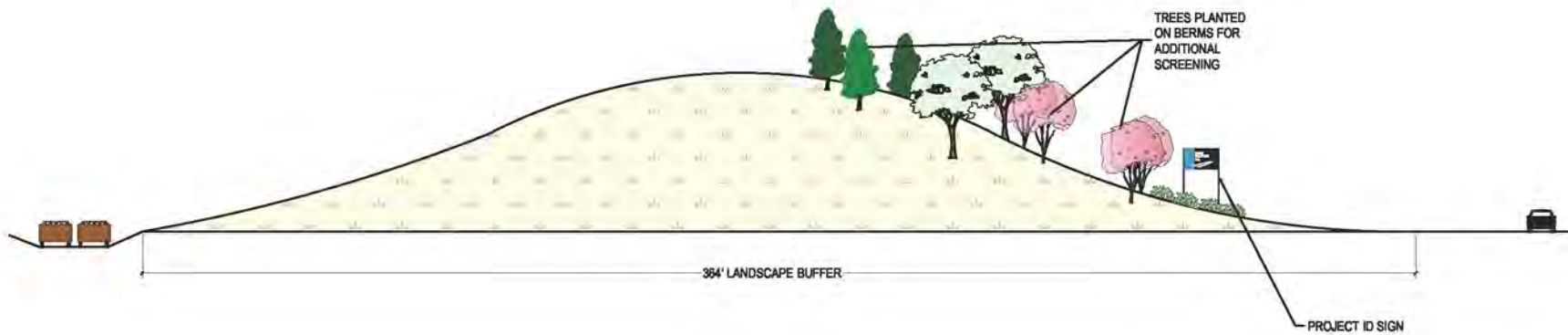
NO.	DATE	DSGN	DR	CHK	APVD	BY	APVD



ROCKY MOUNTAIN RAIL PARK
PLANNED UNIT DEVELOPMENT
ADAMS COUNTY, CO

LANDSCAPE CONCEPT

NOT FOR CONSTRUCTION
VERIFY SCALE
BAR IS ONE INCH ON
ORIGINAL DRAWING
DATE: DECEMBER 6, 2018
SHEET



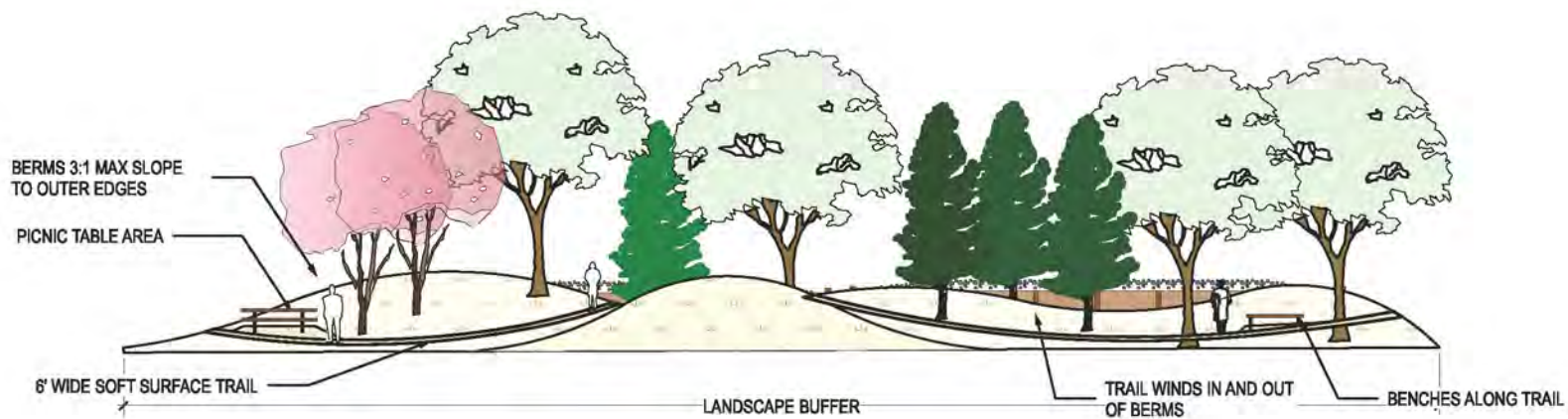
3

SECTION - LANDSCAPE BUFFER AT ENTRY CORNER

SCALE: 1"= 50'-0"

5.3.4

SECTION 3.3



4

ELEVATION - LANDSCAPE BUFFER WITH TRAIL

SCALE: 1"= 20'-0"

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

5.4 Interior Lot Landscape Standards

5.4.1 Landscape Buffer: All interior development lots shall provide have a min. of 10' landscape buffer along internal street (Tract A).

5.4.2 Plant Quantities: These areas shall be planted at a minimum one (1) tree and five (5) shrubs per 1500 square feet. Trees shall consist of mixed-use deciduous shade trees, ornamental trees, and evergreen trees. Evergreen tree quantities must equal 25% of the total trees planted. Shrubs may consist of mixed tall deciduous species and evergreen species. Shrubs can be massed and planted adjacent to lot entries, building entries, and warehouse dock doors.

Landscaping shall also include a minimum of fifty (50) percent living groundcover in accordance with the landscaping standards contained in the performance standards section of these standards and regulations.

i. All plant materials should conform to the American Association of Nurserymen and the State of Colorado standards, Grade A, and should be installed per industry standards

ii. All tree sizes are required to meet Rocky Mountain Rail Park standards:

Deciduous Shade Tree Species	2" Caliper
Deciduous Ornamental Tree Species	1-1/2" Cal.
	8' ht., multi-stem
Evergreen Tree Species	5' height
Shrubs	#5 container

5.4.3 Mulch - River rock mulch is only permitted in building foundation planting beds and parking lot landscaping islands. All other planting beds shall have wood mulch.

5.4.4 Irrigation: All landscaped areas, including islands in parking lots, are to automatically irrigated by an underground system providing one hundred (100%) irrigation coverage. The entire irrigation system must be designed and constructed in accordance with all local building code requirements and irrigation specifications.

5.4.5 Completion: All portions of a Building Site, shall be landscaped by the owner within 90 days from issuance of Certificate of Occupancy between March 1 and September 1 and/or 180 days

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

from the issuance of the Certificate of Occupancy between September 2 and February 28. Areas shall be installed and maintained by the Owner.

5.4.6 Maintenance and Material Replacement

- i. Owners shall be responsible for regular maintenance of all landscaping and irrigation improvements, exclusive of Frontage Landscape Easements and monumentation. All landscaping shall be maintained in a neat and attractive condition. Minimum maintenance requirements include watering, mowing, edging, pruning, removal and replacement of dead or dying plants, elimination of weeds and undesirable grasses, fertilization, and irrigation system maintenance.
- ii. Owner shall be responsible for replacing all dead landscaping within the building site (unless seasonal) and repairing damage to the landscaping within thirty (30) days of damage

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

6.0 SIGN DESIGN STANDARDS

6.1 Design and Quality Guidelines

The following is a uniform sign program for a multi-use/multi-building development called Rocky Mountain Rail Park. The purpose of this program is to:

1. Achieve a reasonable degree of sign uniformity and coordination.
2. Enhance the visual quality of the area through compatibility of the signs in color, shape and materials.
3. Provide clarity and legibility for the visitors to the project.

6.2 General Design Standards

1. *Architectural and visual compatibility.* There shall be architectural harmony and unity of signs within the center. Sign type, color scheme, size and illumination within the center shall be coordinated and compatible with the site's architectural character.
2. *Informational signage.* Within each development, information signage and way-finding systems shall be of a unified graphical system. They shall be placed in consistent locations near site entries, key points on the internal automobile circulation systems, building entries, seating areas and sidewalk intersections.
3. *Sign shape.* The silhouette of signs shall be simple and compatible with the building or façade they relate to. Signs of excessively complicated design, composed of many different connected shapes, or that disrupt the architectural order and composition of a building shall not be allowed.
4. *Illumination.* Illumination shall be shielded so there is no glare in the public right-of-way and adjacent residential properties and directed so light does not stray above the light source horizontally. Illumination shall be steady and even over the entire sign face. All lighting elements shall be kept in working condition. Exposed bulbs may be up to 15 watts in power.
5. *Materials.* Materials and textures of signs shall be consistent with the architectural character of the site and building. Supporting sign

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

structures of monument signs shall match the primary finish and colors of the associated building(s).

6. *Placement.* Attached signs shall not disrupt the architectural composition of the building façade. Attached signs shall not overlap or cover features of the building such as cornices, eaves, window and doorframes, columns and other decorative elements.
7. *Views.* Ground or freestanding signs shall not be placed where they obscure important architectural features such as entrances, display windows, or decorative elements when viewed from the public right-of-way.

6.2.1 Sign Type A- Project Identification Sign

Use: To identify the entry to the project from a major street

Sign Type: Ground Mounted

Quantity: (2) double faced

Size: Maximum of 60 s.f. per sign face, size of the sign shall be compatible with the scale and design of the building architecture and the project.

Height: Maximum 16 feet above finished grade

Illumination: Yes. Internal

6.2.2 Sign Type B- Entry Monument/Tenant Directory Sign

Use: To identify the entry of the common entrance to multiple single tenant buildings

Sign Type: Ground Mounted

Quantity: (4) double faced sign

Size: Maximum of 87 s.f. per sign face,
Height: Maximum 10 feet above finished grade

Illumination: Yes. Internal

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

6.2.3 Sign Type C- Building ID Sign

- Use: To identify an individual tenant or building owner in a single use building
- Sign Type: Ground Mounted
- Quantity: (1) double faced sign per single tenant/owner/use building
- Size: Maximum of 24 s.f. per sign face. Sign shall be compatible with the scale and design of the building architecture and the project.
- Height: Maximum 6 feet above finished grade
- Illumination: Yes. Internal

6.2.4 Sign Type D – Major Tenant ID Sign

- Use: To identify a major tenant in the large multi-tenant building on the end cap of the building in which the tenant resides.
- Sign Type: Wall Mounted
- Quantity: (2) Single faced signs per building.
- Size: Maximum of 200 S.F. per sign face. Sign shall be compatible with the scale and design of the building architecture and the project.
- Height: Maximum equal to height of parapet wall
- Illumination Yes- Internal

6.2.5 Sign Type E Tenant Entry ID Sign

- Use: To identify a tenant in the large multi-tenant building neighborhood Sign
- Type: Wall Mounted
- Quantity: (1) single faced sign per tenant entry

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

Size: Maximum of 32 S.F. per sign. Sign shall be compatible with the scale and design of the building architecture and the project.

Height: Located in pre determined location that is compatible with the building entry architecture.

Illumination: No

6.2.6 Sign Type F Temporary Event Sign/ Banner

Use: Special Events

Sign Type: Ground Mounted

Quantity: As approved by ACC

Size: Maximum 32 S.F.

Height: Maximum 10 feet above finished grade

Illumination: No

Duration: Maximum 90 days per calendar year

6.2.7 Temporary Signage

Use: Special Events

Sign Type: Ground Mounted

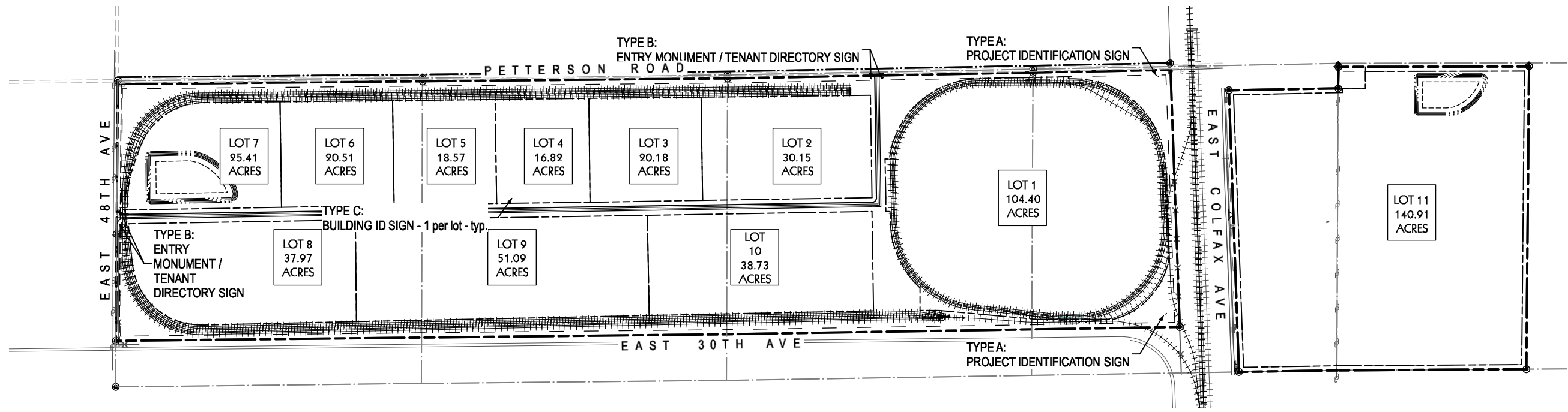
Quantity: As approved by ACC

Size: Maximum of 50 S.F.

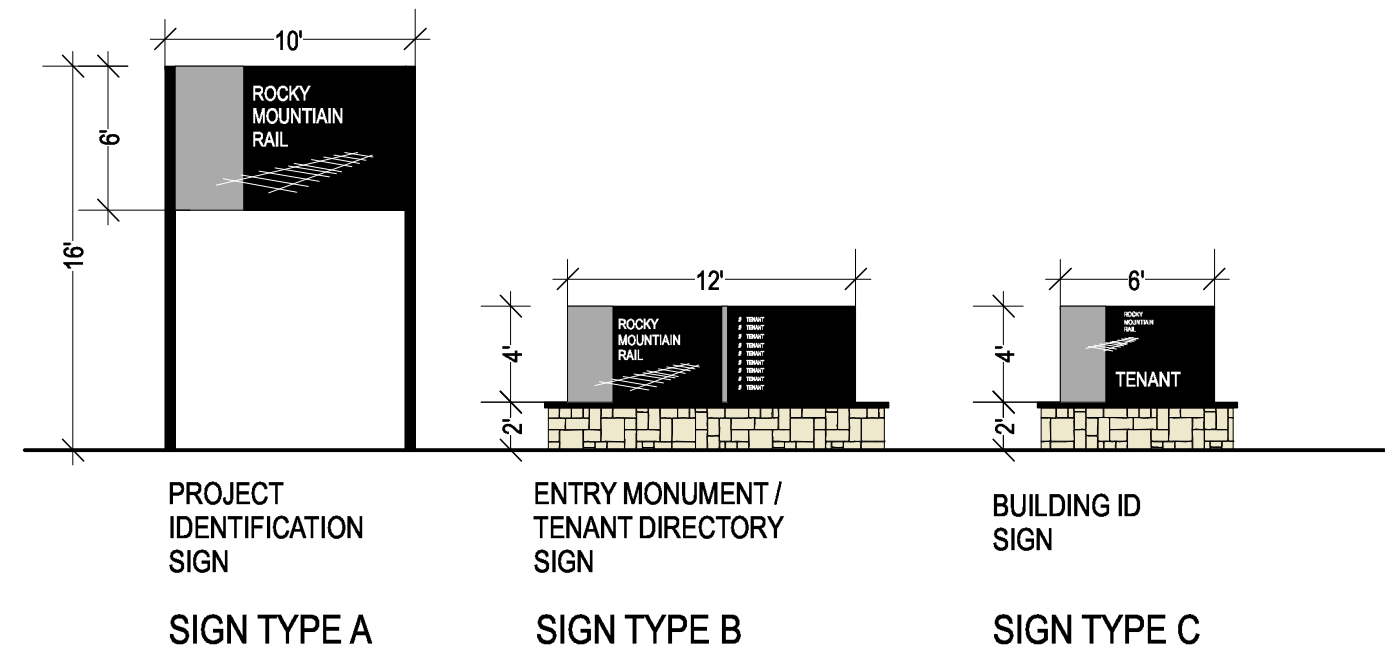
Height: Maximum 10 feet above finished grade

Illumination: No

Duration: Maximum 90 days per calendar year



SIGNAGE MASTER PLAN
SCALE: 1"= 1000'-0"



1 PROJECT SIGNAGE
SCALE: 1/8"= 1'-0"

REVISION	
NO.	DATE

ROCKY MOUNTAIN RAIL PARK
PLANNED UNIT DEVELOPMENT
ADAMS COUNTY, CO

SIGNAGE MASTER PLAN

NOT FOR CONSTRUCTION

VERIFY SCALE
BAR IS ONE INCH ON
ORIGINAL DRAWING.
0 1"

DATE OCTOBER 19, 2018
SHEET

X OFX

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

7.0 FENCING, RETAINING WALLS AND SCREEN WALL STANDARDS

7.1 Fencing

7.2 Retaining Walls

7.3 Screen Walls

7.4 Fence Detail

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

7.0 FENCING/RETAINING WALLS/SCREEN WALLS STANDARDS

7.1 Fencing

All fencing shall meet Adams County Development Standards and regulations and fencing shall be open style, black vinyl chain link fence. It shall not exceed 8' in height. Provide black privacy chain link slats – 80% min. privacy opacity. See attached typical detail of fencing.

7.2 Retaining Walls

Retaining walls will be required when slopes exceed 3:1. Retaining walls will be a maximum of 60 inches. Where more grade-uptake is required, it will be constructed of several walls of a maximum height of 60 inches unless reviewed and approved by the Architectural Committee. Each wall may be separated by a horizontal distance of no less than 48 inches. All terraces between walls will be landscaped.

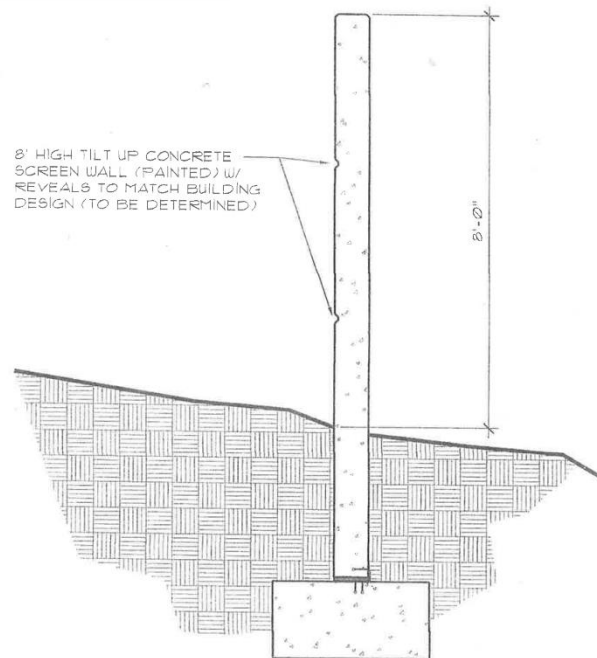
7.3 Screen Walls

Screen walls must be constructed with materials that are complimentary to the style of adjacent buildings, incorporating similar materials, finishes and colors. See attached Detail 7.5 for buffer screen wall detail.

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

7.5
SCREEN WALL

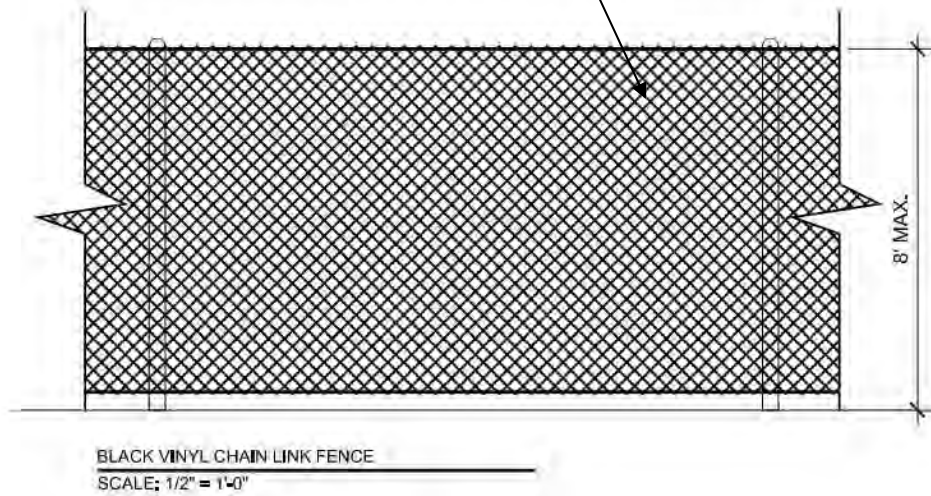


SCREEN WALL
SCALE: 1/2" = 1'-0"

ROCKY MOUNTAIN RAIL PARK

DESIGN STANDARDS

Black privacy chain link slats —
80% privacy opacity min.





Development Review Team Comments

Date: 7/2/2018

Project Number: PRC2018-00006

Project Name: Rocky Mountain Rail Park

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for the land use applications regarding Rocky Mountain Rail Park. A resubmittal is being required. All comments should be responded to in writing. One paper and one digital copy of all resubmittal material must be provided to our One-Stop Customer Service Center. In addition, please provide the attached "Resubmittal Form" with your resubmittal package. The Development Review Team review comments may change if you provide different information during the resubmittal. Please contact the case manager if you have any questions:

Commenting Division: Development Engineering Review

Name of Reviewer: Matthew Emmens

Date: 07/02/2018

Email: memmens@adcogov.org

Complete

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0695H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required.

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is not within the County's MS4 Stormwater Permit area. The installation of erosion and sediment control BMPs are expected.

ENG3: Prior to scheduling the final plat/FDP BOCC hearing, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, two (2) copies of all construction documents. The development review fee for this project will be \$7,500.

ENG4: The Traffic Impact Study (TIS) for this site should include a signal warrant analysis for the intersection of E 30th Ave and Manilla Rd and, Manilla Rd and E Colfax Ave.

ENG5: The roadways adjacent to this site and leading to I -70 access ramp are in need of repair/maintenance and, were not constructed with the intent of carrying heavy truck traffic. The TIS for this site should address the impacts of the truck traffic generated for this site and, any additional maintenance that could be required for the roadways within the TIS study area. As a result of this finding of the TIS, the developer may be required to improve the roadways leading to I-70.

ENG6: The developer is required to construct roadway improvements adjacent to the proposed site. Roadway improvements will consist of constructing the adjacent roadways to the approved County street cross section adjacent to the site and, any roadway improvements as required by the approved traffic impact study. This requirement applies to Petterson Rd, E. 48 Ave. and, and improvements to E 30th Ave as required by the Front Range Airport authority

ENG7: Prior to the issuance of any construction or building permits, the developer shall enter into a Subdivision Improvements Agreement (SIA) with the County and provide a security bond for all public improvements.

ENG8: No building permits will be issued until all public improvements have been constructed, inspected and preliminarily accepted by the County's Transportation Dept.

ENG9: The developer is responsible for the repair or replacement of any broken or damaged section of roadway that are damaged as a result of the construction process.

Commenting Division: Addressing Review

Name of Reviewer: Marissa Hillje

Date: 06/15/2018

Email: mhillje@adcogov.org

Under Review

Pending

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 07/02/2018

Email: gjbarnes@adcogov.org

Resubmittal Required

Please see the attached document. It is eDocs # 5805895

Commenting Division: ROW Review

Name of Reviewer: Marissa Hillje

Date: 06/26/2018

Email: mhillje@adcogov.org

Resubmittal Required

ROW1.Remove the words Preliminary Plat from the title of each page

ROW2.Add case # PRC2018-00006 to the top right of each page

ROW3.Petterson Road is incorrectly spelled several times throughout plat. Fix.

ROW4.The statement about utility easements being dedicated to Adams County will need to be discussed and reviewed. There were no utility easements shown on the plat. Also, Adams County will not take on easements that the county will not maintain ex. Sanitary sewer and water.

ROW5.All tracts shown need dimensions labeled clearly throughout the plat. There also needs to be a table or notes on the plat explaining what each tract is to be used for and who will maintain it and own it. Suggest putting the private street in its own tract.

ROW6.Add note about private streets.

ROW7.Add Storm Drainage Facilities Statement and O& M manual note

ROW8.Add Flood plain note

ROW9.The contours are usually not shown on a subdivision plat unless there is a nexus for it.

ROW10. Right of way dedication will be required to City of Aurora by separate instrument for Petterson Road and possible E 48th Ave. Please contact City of Aurora.

ROW11. An access easement for the private road on Adams County property used to get to the site (E 30th Ave) will need an agreement granted by the BOCC prior to plat approval, rec# of agreement should be shown on the plat. A legal description and exhibit of the access road easement will be required. Go to <http://www.adcogov.org/documents/adams-county-easement-or-right-way-dedication-packet> for more information.

ROW12. See all redlines on plat attached

Commenting Division: Addressing Review

Name of Reviewer: Marissa Hillje

Date: 06/26/2018

Email: mhillje@adcogov.org

Resubmittal Required

1. Will discuss addressing the lots once a private road has been established in the PUD.
2. E 30th Ave naming may need to be changed

Comprehensive Plan Amendment

- PLN01: Although unclear from the submittal, I believe that request is to change the future land use designation on the property from Mixed-Use Employment to Industrial. Please confirm.
- PLN02: At this time, it may be best to table the review of the comprehensive plan amendment until we have designed the Planned Unit Development a bit further. Evaluation of the proposed development will help us to further assess whether the proposed future land use designation change is appropriate and/or necessary for the entirety of the site. *No response is needed for this comment.*
- PLN03: Please evaluate the criteria for approval of a comprehensive plan amendment. The criteria can be found in section 2-02-13-06-03 of the Adams County development standards and regulations (DSR). *No response is needed for this comment.*

Preliminary Plat

- PLN04: The preliminary plat for major subdivision is required to meet all of the criteria found in Section 2-02-17-03-05 of the DSR. *No response is needed for this comment.*
- PLN05: The plat's consistency with the comprehensive plan will be attained by a comprehensive plan amendment. In addition, the plat's consistency with the standards of the zone district will be attained through the rezoning and development plan process. *No response is needed for this comment.*
- PLN06: At this time, it may be best to table the specific design review of the preliminary plat until we have designed the Planned Unit Development a bit further. Evaluation and layout of the proposed development plan will likely change through the review of the preliminary development plan. *No response is needed for this comment.*
- PLN07: The preliminary design of lots appears to provide adequate space for design of the lots. The lots are large and can adequately sustain development. The configurations of these lots appear to have access to streets, and are drawn at right-angles to the adjacent roadways. *No response is needed for this comment.*
- PLN08: Please review Section 5-03-06-03 of the DSR. This section refers to dead-end streets. It is unclear if the proposed access to 30th Avenue into the site creates a dead-end into the property identified as "Tract A" on the plat.
- PLN09: Sidewalks and trails appear to be missing from the development plan. It will be unlikely that a planned unit development can be approved without meeting the County's standards for active recreation open space. This may affect the roadways design, and may potentially affect the design of your plat. *No response is needed for this comment.*
- PLN10: The proposed subdivision plat is not consistent with the development plan in terms of number of lots and tracts. Please explain.
- PLN11: The preliminary plat should include greater specificity regarding the uses and purposes of the specified tracts.

Rezoning

- PLN12: The proposed rezoning to PUD shall comply with the criteria for approval found in Section 2-02-13-06-02 of the DSR. *No response is needed for this comment.*

Preliminary Development Plan (PDP)

- PLN13: The PDP must meet the criteria for approval found in Section 2-02-10-03-05 of the DSR.
- PLN14: The overall goal of the industrial PUD is to provide an employment center to the area. Has there been any contemplation to where these employees will eat lunch or shop? Has any consideration been given to provide outparcels that can serve commercial uses?

- PLN15: What are the overall architectural standards and theme for the proposed PUD? A baseline of architectural standards should be provided. Will there be any minimum façade percentages of masonry material. How will large expanses of walls be broken-up? Is there a minimum amount of transparency? Please discuss colors, and consider this in the overall architectural theme. You'll need to justify how this project has superior design standards to justify the flexibility allowed by the regulations (See section 3-30-03-01, DSR)
- PLN16: Based on the setbacks that have been provided, it appears that the "rear" of buildings will be oriented toward 30th Avenue and Petterson Road. However, it is likely that these roads will be the primary public view of the development. Has any consideration been given toward orienting the "front" toward these perimeter streets and allowing for the rear" to serve more like an alley for the overall development.
- PLN17: Staff will not be supportive of allowing any use as "permitted by right" in this PUD that is only allowed through "Conditional Use Permit" in the I-3 zone district according to the DSR. These uses include, but are not limited to: asbestos product manufacturing, bone reduction, caustic soda manufacturing, insecticide manufacturing, scrap processing yards, and smelting or refining metal. It is recommended that you reconsider the use table carefully, and determine which of these uses are appropriate for the area.
- PLN18: Uniform fencing is required for this development plan. What do you propose?
- PLN19: An overall open space and active recreation plan should accompany this PDP. Active recreation space is a requirement of PDP approval, and although modifications can be made on a lot-by-lot basis, it is expected that an overall plan will be considered at this time. It should also be noted that based on the size of this development plan, you are required to provide at least 185.85 acres (30%) open space (please read the definition of what classifies as "open space" in Chapter 11 of the DSR), and at least 46.5 acres (25% of overall open space) for active recreation. Your resubmittal shall include calculations and information on how these areas will be maintained.
- PLN20: An overall landscaping and buffering plan should be incorporated into the design. Of particular concern is how the uses will mitigate impacts on the property owners to the southeast. Concerns that have been raised from these property owners and occupants should be carefully considered. Buffering around the perimeter and in between lots should be considered, with minimum buffer standards.
- PLN21: Please read Section 3-30-03-02-01 of the DSR. Private roads are not permitted within a PUD unless specific criteria are met. In your resubmittal, please justify the use of private roads.
- PLN22: Internal pedestrian and bicycle amenities are required throughout the site. Please review Section 3-30-03-03, and resubmit with a development plan that incorporates these transportation modes.
- PLN23: Since the development plan and plat are being processed concurrently, all references to "Parcel 1" and "Parcel 2" should be changed. This may get confusing for staff to review in the future, if parcels that no longer exist are mentioned.
- PLN24: Staff has concern regarding the allowance of 90% of lots to be utilized for outdoor storage. Please consider the impact of large storage yards, how these uses will be screened.
- PLN25: The development plan refers back to the DSR for parking requirements. Please consider how parking will be situated in relation to streets and buildings. Will parking be located behind buildings? To the side? In the rear? What type of materials will be used for access and parking? Will this material be uniform throughout the site?
- PLN26: A uniform sign plan is discussed as part of the FDP. Why is this being considered at this stage? Branding and a uniform sign plan will be important to consider for the development as a whole. Uniform signage should include not only commercial signage, but directional and informational, as well.



Development Review Team Comments

Date: 11/20/2018

Project Number: PRC2018-00006

Project Name: Rocky Mountain Rail Park

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for the development applications associated with Rocky Mountain Rail Park. The Development Review Team review comments may change if you provide different information during the resubmittal. I have highlighted new comments in yellow. Please contact the case manager if you have any questions:

Commenting Division: Application Intake 3rd Review

Name of Reviewer: Kevin Mills

Date: 10/29/2018

Email:

Complete

Commenting Division: Development Engineering Review

Name of Reviewer: Matthew Emmens

Date: 07/02/2018

Email: memmens@adcogov.org

Complete

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0695H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required.

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is not within the County's MS4 Stormwater Permit area. The installation of erosion and sediment control BMPs are expected.

ENG3: Prior to scheduling the final plat/FDP BOCC hearing, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, two (2) copies of all construction documents. The development review fee for this project will be \$7,500.

ENG4: The Traffic Impact Study (TIS) for this site should include a signal warrant analysis for the intersection of E 30th Ave and Manilla Rd and, Manilla Rd and E Colfax Ave.

ENG5: The roadways adjacent to this site and leading to I -70 access ramp are in need of repair/maintenance and, were not constructed with the intent of carrying heavy truck traffic. The TIS for this site should address the impacts of the truck traffic generated for this site and, any additional maintenance that could be required for the roadways within the TIS study area. As a result of this finding of the TIS, the developer may be required to improve the roadways leading to I-70.

ENG6: The developer is required to construct roadway improvements adjacent to the proposed site. Roadway improvements will consist of constructing the adjacent roadways to the approved County street cross section adjacent to the site and, any roadway improvements as required by the approved traffic impact study. This requirement applies to Petterson Rd, E. 48 Ave. and, and improvements to E 30th Ave as required by the Front Range Airport authority

ENG7: Prior to the issuance of any construction or building permits, the developer shall enter into a Subdivision Improvements Agreement (SIA) with the County and provide a security bond for all public improvements.

ENG8: No building permits will be issued until all public improvements have been constructed, inspected and preliminarily accepted by the County's Transportation Dept.

ENG9: The developer is responsible for the repair or replacement of any broken or damaged section of roadway that are damaged as a result of the construction process.

Commenting Division: Development Engineering Review 3rd Review

Name of Reviewer: Matthew Emmens

Date: 11/19/2018

Email: memmens@adcogov.org

Complete

See attached comments

Commenting Division: Addressing Review

Name of Reviewer: Marissa Hillje

Date: 06/15/2018

Email: mhillje@adcogov.org

Under Review

Pending

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 07/02/2018

Email: gjbarnes@adcogov.org

Resubmittal Required

Please see the attached document. It is eDocs # 5805895

Commenting Division: Parks Review 3rd Review

Name of Reviewer: Aaron Clark

Date: 11/16/2018

Email: aclark@adcogov.org

Complete

PRK1: Please consider widening the crusher fines trail to 6' to allow trail users to safely and easily pass one another.

PRK2: Please provide information on how the trail will be maintained, and by whom.

Commenting Division: Development Engineering Review 2nd Review

Name of Reviewer: Matthew Emmens

Date: 09/28/2018

Email: memmens@adcogov.org

Resubmittal Required

Comments included in attached document.

Commenting Division: Plan Coordination 2nd Review

Name of Reviewer: Greg Barnes

Date: 09/28/2018

Email: gjbarnes@adcogov.org

Resubmittal Required

Commenting Division: ROW Review

Name of Reviewer: Marissa Hillje

Date: 06/26/2018

Email: mhillje@adcogov.org

Resubmittal Required

ROW1.Remove the words Preliminary Plat from the title of each page

ROW2.Add case # PRC2018-00006 to the top right of each page

ROW3.Petterson Road is incorrectly spelled several times throughout plat. Fix.

ROW4.The statement about utility easements being dedicated to Adams County will need to be discussed and reviewed. There were no utility easements shown on the plat. Also, Adams County will not take on easements that the county will not maintain ex. Sanitary sewer and water.

ROW5.All tracts shown need dimensions labeled clearly throughout the plat. There also needs to be a table or notes on the plat explaining what each tract is to be used for and who will maintain it and own it. Suggest putting the private street in its own tract.

ROW6.Add note about private streets.

ROW7.Add Storm Drainage Facilities Statement and O& M manual note

ROW8.Add Flood plain note

ROW9.The contours are usually not shown on a subdivision plat unless there is a nexus for it.

ROW10. Right of way dedication will be required to City of Aurora by separate instrument for Petterson Road and possible E 48th Ave. Please contact City of Aurora.

ROW11. An access easement for the private road on Adams County property used to get to the site (E 30th Ave) will need an agreement granted by the BOCC prior to plat approval, rec# of agreement should be shown on the plat. A legal description and exhibit of the access road easement will be required. Go to <http://www.adcogov.org/documents/adams-county-easement-or-right-way-dedication-packet> for more information.

ROW12. See all redlines on plat attached

Commenting Division: Addressing Review

Name of Reviewer: Marissa Hillje

Date: 06/26/2018

Email: mhillje@adcogov.org

Resubmittal Required

1. Will discuss addressing the lots once a private road has been established in the PUD.
2. E 30th Ave naming may need to be changed

Commenting Division: ROW Review 2nd Review

Name of Reviewer: Marissa Hillje

Date: 09/25/2018

Email: mhillje@adcogov.org

Resubmittal Required

ROW1. Submit a title commitment which should be used to depict the applicable recordings on the plat. Send Adams County a copy of the title commitment with your application dated no later than 30 days to review in order to ensure that any other party's interests are not encroached upon.

ROW2. Owner on record is Rail Land Company LLC. Revise plat to match or update records at the County.

ROW3. Right of way dedication is required along Petterson Road and 48th Ave. City of Aurora is the grantee. Contact City of Aurora for dedication process.

ROW5. Edit statement :

Have (Has) by these presents laid out, platted and subdivided the same into lots, tracts and easements as shown on this plat under the name and style of (subdivision name).

ROW7. Railroad ROW should be in a tract or lot.

ROW8. Label all adjacent property:

a. Names of adjacent platted areas along with the reception and/or plat book and page number shall be shown. If unplatted, so indicate. Existing street rights of way that intersect the subdivision boundary or are adjacent to said boundary lines shall be clearly labeled with the street name, right of way width and appropriate deed or plat recording information wherein the right of way is defined. Show and label all existing lots and blocks that are immediately adjacent to the subdivision boundary.

ROW9. The last paragraph in the dedication statement should be revised and may have to approved by the County attorney's office.

ROW10. See all redlines on plat attached.

Commenting Division: Application Intake 2nd Review

Name of Reviewer: Amanda Buesgens

Date: 09/11/2018

Email:

Complete

Commenting Division: Planner Review 3rd Review

Name of Reviewer: Greg Barnes

Date: 11/19/2018

Email: gjbarnes@adcogov.org

Resubmittal Required

See attached comment notes

Commenting Division: Parks Review 2nd Review

Name of Reviewer: Aaron Clark

Date: 09/27/2018

Email: aclark@adcogov.org

Resubmittal Required

PRK01: In terms of active recreation space, we had a couple of thoughts on what might be done. First, that walking loop along the outside edge is going to be quite long, longer than could be comfortably done in a standard lunch break. A figure-8 would break that up in to a couple of smaller loops and make it more accessible. I'm aware that would affect up the lot layout—just a thought. Secondly, would be to include some outdoor fitness equipment.

Commenting Division: Planner Review 2nd Review

Name of Reviewer: Greg Barnes

Date: 09/28/2018

Email: gjbarnes@adcogov.org

Resubmittal Required

Comments provided in separate document

Comprehensive Plan Amendment

PLN01: Although unclear from the submittal, I believe that request is to change the future land use designation on the property from Mixed-Use Employment to Industrial. Please confirm.

09/27/2018: You have indicated that the proposed future land use category is "PUD". This is not accurate. PUD is the proposed zone district. I believe the proposed future land use designation is "Industrial". I will need for you to confirm this prior to moving your case forward for notification of public hearings.

PLN02: At this time, it may be best to table the review of the comprehensive plan amendment until we have designed the Planned Unit Development a bit further. Evaluation of the proposed development will help us to further assess whether the proposed future land use designation change is appropriate and/or necessary for the entirety of the site. *No response is needed for this comment.*

09/27/2018: Comment still open.

PLN03: Please evaluate the criteria for approval of a comprehensive plan amendment. The criteria can be found in Section 2-02-13-06-03 of the Adams County Development Standards and Regulations (DSR). *No response is needed for this comment. Comment closed.*

Preliminary Plat

PLN04: The preliminary plat for major subdivision is required to meet all of the criteria found in Section 2-02-17-03-05 of the DSR. *No response is needed for this comment.*

09/27/2018: Please see the comments from the Colorado Division of Water Resources. This continues to cause heavy concern for your proposal.

PLN05: The plat's consistency with the comprehensive plan will be attained by a comprehensive plan amendment. In addition, the plat's consistency with the standards of the zone district will be attained through the rezoning and development plan process. *No response is needed for this comment. Comment closed.*

PLN06: At this time, it may be best to table the specific design review of the preliminary plat until we have designed the Planned Unit Development a bit further. Evaluation and layout of the proposed development plan will likely change through the review of the preliminary development plan. *No response is needed for this comment.*

09/27/2018: Comment still open.

PLN07: The preliminary design of lots appears to provide adequate space for design of the lots. The lots are large and can adequately sustain development. The configurations of these lots appear to have access to streets, and are drawn at right-angles to the adjacent roadways. *No response is needed for this comment. Comment closed.*

PLN08: Please review Section 5-03-06-03 of the DSR. This section refers to dead-end streets. It is unclear if the proposed access to 30th Avenue into the site creates a dead-end into the property identified as "Tract A" on the plat. *Comment resolved and closed.*

PLN09: Sidewalks and trails appear to be missing from the development plan. It will be unlikely that a planned unit development can be approved without meeting the County's standards for active recreation open space. This may affect the roadways design, and may potentially affect the design of your plat. *No response is needed for this comment.*

09/27/2018: Comment still open.

PLN10: The proposed subdivision plat is not consistent with the development plan in terms of number of lots and tracts. Please explain. *Comment resolved and closed.*

PLN11: The preliminary plat should include greater specificity regarding the uses and purposes of the specified tracts. *Comment resolved and closed.*

Rezoning

PLN12: The proposed rezoning to PUD shall comply with the criteria for approval found in Section 2-02-13-06-02 of the DSR. *No response is needed for this comment. Comment closed.*

Preliminary Development Plan (PDP)

PLN13: The PDP must meet the criteria for approval found in Section 2-02-10-03-05 of the DSR. *No response is needed for this comment. Comment closed.*

PLN14: The overall goal of the industrial PUD is to provide an employment center to the area. Has there been any contemplation to where these employees will eat lunch or shop? Has any consideration been given to provide outparcels that can serve commercial uses?

09/27/2018: Your response is noted. I do think that one to three smaller outparcels of commercial along Highway 36th could benefit the area. Thank you for considering this. In addition, do you want to add restaurant as a permitted use, so that a user has the option of providing some sort of café within their facility as an accessory use? Just a thought.

PLN15: What are the overall architectural standards and theme for the proposed PUD? A baseline of architectural standards should be provided. Will there be any minimum façade percentages of masonry material. How will large expanses of walls be broken-up? Is there a minimum amount of transparency? Please discuss colors, and consider this in the overall architectural theme. You'll need to justify how this project has superior design standards to justify the flexibility allowed by the regulations (See Section 3-30-03-01, DSR)

09/27/2018: Thank you for providing the architectural standards. *Comment closed.*

PLN16: Based on the setbacks that have been provided, it appears that the "rear" of buildings will be oriented toward 30th Avenue and Petterson Road. However, it is likely that these roads will be the primary public view of the development. Has any consideration been given toward orienting the "front" toward these perimeter streets and allowing for the rear" to serve more like an alley for the overall development. *Comment resolved and closed.*

PLN17: Staff will not be supportive of allowing any use as "permitted by right" in this PUD that is only allowed through "Conditional Use Permit" in the I-3 zone district according to the DSR. These uses include, but are not limited to: asbestos product manufacturing, bone reduction, caustic soda manufacturing, insecticide manufacturing, scrap processing yards, and smelting or refining metal. It is recommended that you reconsider the use table carefully, and determine which of these uses are appropriate for the area.

09/27/2018: We should continue to refine our conversation on allowed uses. I am going to divide the proposed uses into three categories:

- 1) Permitted by-right, (however we support the inclusion of specific performance standards);
- 2) Permitted by-right by Adams County, (however we support the inclusion of specific performance standards) and are subject to solid waste/recycling or hazard waste regulations by CDPHE OR FAA regulations for broadcasting or telecommunications towers;
- 3) Requires some form of special review (whether it be administrative or Board-approved) by Adams County and subject to solid waste/recycling or hazard waste regulations by CDPHE.

I have included an attached chart, which will show each proposed use divided into these three categories. The next step in this process will be for our staff to provide you with a clear path for approval of the uses in the third category. We are targeting mid-October to have clarity on how these uses will be considered. In addition, please begin to contemplate specific performance standards for the uses in the third category. Inclusion of specific performance standards for these uses may strengthen your position that these uses can be allowed through an administrative approval process.

PLN18: Uniform fencing is required for this development plan. What do you propose?

09/27/2018: Thank you for providing uniform fencing standards. *Comment closed.*

PLN19: An overall open space and active recreation plan should accompany this PDP. Active recreation space is a requirement of PDP approval, and although modifications can be made on a lot-by-lot basis, it is expected that an overall plan will be considered at this time. It should also be noted that based on the size of this development plan, you are required to provide at least 185.85 acres (30%) open space (please read the definition of what classifies as "open space" in Chapter 11 of the DSR), and at least 46.5 acres (25% of overall open space) for active recreation. Your resubmittal shall include calculations and information on how these areas will be maintained.

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- PLN33: Are there typos in Sections 4.3.1(4) and the last paragraph of 5.4.1(3)? I'm having a difficult time understanding these sections.
- PLN34: Please evaluate Section 4.3.1(7). How will you propose to screen anything with chain link fencing that does not include slats? I do not see how this will be effective. In addition, I do not see any reference to slats mentioned in Section 7.1. What will the slats look like? What percentage of opacity will be provided?
- PLN35: Section 4.7 does not include any information on maximum building height. What will this be? Please keep in mind that you are proposing broadcasting and telecommunications towers as allowed uses. In addition, is there any requirement for the vertical architectural separation on a building (i.e. base, body, cap)?
- PLN36: What's the material proposed for the soft-surface trail along the perimeter of the PUD. This should be specified.
- PLN37: Adams County has specific Operational Standards found in Section 4-13 of the DSR. Please consider, either: including language stating that the requirements of Section 4-13 apply to this PUD, OR draft your own operational standards for this development proposal. Of primary concern, is how these heavy industrial uses may affect property owners in the surrounding areas.
- PLN38: Two additional typos can be found in the permitted use table: "bakeries" and "paint manufacturing".
- PLN39: These properties are within the Airport influence Zone and the Airport Noise Overlay. Please review Section 3-34 and 3-5 of the Adams County DSR, and incorporate these requirements into the building design standards (for noise reduction measures) and the operational standards described in PLN37 (for emissions, glare, and wildlife attraction uses).

Commenting Division: ROW Review 3rd Review

Name of Reviewer: Eden Steele

Date: 11/16/2018

Email:

Resubmittal Required

ROW1. Submit a title commitment which should be used to depict the applicable recordings on the plat. Send Adams County a copy of the title commitment with your application dated no later than 30 days to review in order to ensure that any other party's interests are not encroached upon.

ROW2. Right of way dedication is required along Petterson Road and E 48th Ave. City of Aurora is the grantee. Contact City of Aurora for dedication process.

ROW3. Label all adjacent properties: Names of adjacent platted areas along with the reception and/or plat book and page number shall be shown. If unplatted, so indicate. Existing street rights of way that intersect the subdivision boundary or are adjacent to said boundary lines shall be clearly labeled with the street name, right of way width and appropriate deed or plat recording information wherein the right of way is defined. Show and label all existing lots and blocks that are immediately adjacent to the subdivision boundary.

ROW4. See ROW 3rd review redlines.

Commenting Division: Environmental Analyst Review 3rd Review

Name of Reviewer: Jen Rutter

Date: 11/16/2018

Email: jrutter@adcogov.org

Complete

ENV1. In accordance with the comments provided by CDPHE in their September 26, 2018 letter, please modify the language on the PUD to make it clear that any of the proposed uses may be subject to State regulations.

ENV2. Regarding the proposal to include "Recycling" as a Permitted-By-Right use (PLN18), that could be allowed with the caveat being only the recycling of concrete, asphalt, and associated metal. The recycling of any other material will require a Special Review by Adams County.

ENV3. The process of the "Special Review by Adams County" remains to be defined and should allow for approval, approval with conditions, or denial of the proposal.

ENV4. Many of the listed uses may have associated outdoor storage, which is addressed in the Lot Development Standards. The lot coverage is listed as 80%, but there is no height limit, which would default to the height of the fence. If this is not the desired outdoor storage height limit, one needs to be designated.

Development Engineering Review Comments - 3rd submittal review

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0695H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required.

APPLICANT RESPONSE: Comment noted.

County Comment: Comment Closed.

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is not within the County's MS4 Stormwater Permit area. The installation of erosion and sediment control BMPs are expected.

APPLICANT RESPONSE: Site will be designed to all Federal, State, and local water quality construction requirements including UDFCD. Installation of erosion and sediment control BMPs will be shown on GESC plan in construction documents and will be installed prior to commencement of construction.

County Comment: Comment Closed.

ENG3: Prior to scheduling the final plat/FDP BOCC hearing, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports).

Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, two (2) copies of all construction documents. The development review fee for this project will be \$7,500.

APPLICANT RESPONSE: Comment noted

County Comment: Comment Closed.

ENG4: The Traffic Impact Study (TIS) for this site should include a signal warrant analysis for the intersection of E 30th Ave and Manilla Rd and, Manilla Rd and E Colfax Ave.

APPLICANT RESPONSE: A traffic signal warrant analysis is provided for the intersections of E 30th Ave and Manilla Rd and, Manilla Rd and E Colfax Ave. in the included revised traffic study completed by Kimley Horn.

County Comment: The TIS submitted satisfied the comment above (ENG4). See additional comments below. Comment Closed

ENG5: The roadways adjacent to this site and leading to I -70 access ramp are in need of repair/maintenance and, were not constructed with the intent of carrying heavy truck traffic. The TIS for this site should address the impacts of the truck traffic generated for this site and, any additional maintenance that could be required for the roadways within the TIS study area. As a result of this finding of the TIS, the developer may be required to improve the roadways leading to I-70.

APPLICANT RESPONSE: Existing condition observations of the adjacent roadways are included in the report provided by Ground Engineering which is included in this resubmittal package.

County Comment: The "Roadway Conditions" report, prepared by Ground Engineering, satisfies the comment above. The County is in agreement with the conclusions of the roadway conditions. Based on the conclusions of this report and, the project traffic volumes and type of traffic (i.e. trucks) identified in the Traffic Impact Study (TIS), the developer should be prepared to improve these roadways at the time of site development. Construction plans for these

roadway improvements will be required to be included in the final site development construction plan set(s).

RESPONSE: Comment Noted. Changes outlined in "Roadway Conditions" report, prepared by Ground Engineering will be included in the construction plan sets as part of the final site development plan.

County Comment: Comment Closed

ENG6: The developer is required to construct roadway improvements adjacent to the proposed site. Roadway improvements will consist of constructing the adjacent roadways to the approved County street cross section adjacent to the site and, any roadway improvements as required by the approved traffic impact study. This requirement applies to Petterson Rd, E. 48 Ave. and, and improvements to E 30th Ave as required by the Front Range Airport authority

APPLICANT RESPONSE: Noted. The developer and design team intend to meet with Aurora to discuss improvements required on Petterson Rd subsequent to this submittal.

County Comment: The City of Aurora is the permitting authority for Petterson Rd and E 48th Ave. All roadway improvement requirements from the City of Aurora will be included in the overall site improvements required by Adams County. The applicant should also contact CDOT to discuss any required roadway improvements to Colfax Avenue, as it is adjacent to the site and is part of the roadway connection to I-70. In addition to the above comment, the developer will be required to construct roadway improvements per the TIS. These roadway improvements may include improvements that are not adjacent to the site.

RESPONSE: Meeting with CDOT took place on 10/9 and formal submittal will be made to them directly. Off-site improvements to Colfax Ave will be included as part of the construction plan sets as part of the final site development plan. The applicant and engineers have contacted City of Aurora to schedule a meeting and anticipate that occurring within the next week. Any off-site changes requested by City of Aurora to Petterson Ave and E 48th Ave will be included in construction plan sets as part of the final site development plan.

County Comment: Comment Closed

ENG7: Prior to the issuance of any construction or building permits, the developer shall enter into a Subdivision Improvements Agreement (SIA) with the County and provide a security bond for all public improvements.

APPLICANT RESPONSE: Comment noted.

County Comment: Comment Closed.

ENG8: No building permits will be issued until all public improvements have been constructed, inspected and preliminarily accepted by the County's Transportation Dept.

APPLICANT RESPONSE: Comment noted.

County Comment: Comment Closed.

ENG9: The developer is responsible for the repair or replacement of any broken or damaged section of roadway that are damaged as a result of the construction process.

APPLICANT RESPONSE: Comment noted.

County Comment: Comment Closed.

ENG10: The most recent site plan shows only one access point for the parcel south of the railroad tracks and E Colfax Avenue. The applicant should confirm with the Fire district that one access will be sufficient (generally, two are required).

RESPONSE: Site plan has been updated to include a secondary ¾ movement

access to Lot 11 (southern parcel). TIS has been updated to reflect this secondary access as well.

County Comment: Comment Closed.

ENG11: The TIS is using the year 2025 as the short term and the year 2040 as the long term horizon for this study; with the year 2025 being the project year of project completion (i.e., occupancy). Section 8-02-05 of the County's Development Standards and Regulations (DRS) requires the short term horizon to be 5 years after completion/occupancy and, the long term horizon to be an additional 20 to 25 years after that. The TIS will need to be revised to reflect the required planning horizons.

RESPONSE: TIS has been revised to reflect the required planning horizons of 2030 and 2045. The revised planning horizon did not impact TIS conclusions.

County Comment: Comment Closed.

ENG12: The TIS, if revised per comment ENG11 above, will show the scope of the traffic impacts from this proposed site and, will be sufficient for the preliminary plan and rezoning/PUD phase of this development. Upon submittal of the final development and construction plans, the Engineering Review may include additional technical comments to the TIS that may require additional revisions.

RESPONSE: Comment Noted.

Comprehensive Plan Amendment

PLN01: Although unclear from the submittal, I believe that request is to change the future land use designation on the property from Mixed-Use Employment to Industrial. Please confirm.

09/27/2018: You have indicated that the proposed future land use category is "PUD". This is not accurate. PUD is the proposed zone district. I believe the proposed future land use designation is "Industrial". I will need for you to confirm this prior to moving your case forward for notification of public hearings.

11/19/2018: Perhaps we should have a conversation about this to clarify? Your resubmittal indicates that the request is to change the designation to Industrial AND Commercial. I was always under the impression that your intent was for only Industrial. Lots may only have one designation.

PLN02: At this time, it may be best to table the review of the comprehensive plan amendment until we have designed the Planned Unit Development a bit further. Evaluation of the proposed development will help us to further assess whether the proposed future land use designation change is appropriate and/or necessary for the entirety of the site. *No response is needed for this comment.*

09/27/2018: Comment still open.

11/19/2018: Comment still open. Although, the request for Industrial future land use is likely to be supported.

PLN03: Please evaluate the criteria for approval of a comprehensive plan amendment. The criteria can be found in Section 2-02-13-06-03 of the Adams County Development Standards and Regulations (DSR). *No response is needed for this comment. Comment closed.*

Preliminary Plat

PLN04: The preliminary plat for major subdivision is required to meet all of the criteria found in Section 2-02-17-03-05 of the DSR. *No response is needed for this comment.*

09/27/2018: Please see the comments from the Colorado Division of Water Resources. This continues to cause heavy concern for your proposal.

11/19/2018: Comment still open. We still do not have notice from CDWR that water is available to serve the subdivision. **RESUBMITTAL REQUIRED TO RESOLVE**

PLN05: The plat's consistency with the comprehensive plan will be attained by a comprehensive plan amendment. In addition, the plat's consistency with the standards of the zone district will be attained through the rezoning and development plan process. *No response is needed for this comment. Comment closed.*

PLN06: At this time, it may be best to table the specific design review of the preliminary plat until we have designed the Planned Unit Development a bit further. Evaluation and layout of the proposed development plan will likely change through the review of the preliminary development plan. *No response is needed for this comment.*

09/27/2018: Comment still open.

11/19/2018: Comment still open. Although, the proposed preliminary plat appears to provide a layout and road network that is acceptable to County standards.

PLN07: The preliminary design of lots appears to provide adequate space for design of the lots. The lots are large and can adequately sustain development. The configurations of these lots appear to have access to streets, and are drawn at right-angles to the adjacent roadways. *No response is needed for this comment. Comment closed.*

PLN08: Please review Section 5-03-06-03 of the DSR. This section refers to dead-end streets. It is unclear if the proposed access to 30th Avenue into the site creates a dead-end into the property identified as "Tract A" on the plat. *Comment resolved and closed.*

PLN09: Sidewalks and trails appear to be missing from the development plan. It will be unlikely that a planned unit development can be approved without meeting the County's standards for active recreation open space. This may affect the roadways design, and may potentially affect the design of your plat. *No response is needed for this comment.*

09/27/2018: *Comment still open.*

11/19/2018: *Comment closed and resolved.*

PLN10: The proposed subdivision plat is not consistent with the development plan in terms of number of lots and tracts. Please explain. *Comment resolved and closed.*

PLN11: The preliminary plat should include greater specificity regarding the uses and purposes of the specified tracts. *Comment resolved and closed.*

Rezoning

PLN12: The proposed rezoning to PUD shall comply with the criteria for approval found in Section 2-02-13-06-02 of the DSR. *No response is needed for this comment. Comment closed.*

Preliminary Development Plan (PDP)

PLN13: The PDP must meet the criteria for approval found in Section 2-02-10-03-05 of the DSR. *No response is needed for this comment. Comment closed.*

PLN14: The overall goal of the industrial PUD is to provide an employment center to the area. Has there been any contemplation to where these employees will eat lunch or shop? Has any consideration been given to provide outparcels that can serve commercial uses?

09/27/2018: *Your response is noted. I do think that one to three smaller outparcels of commercial along Highway 36th could benefit the area. Thank you for considering this. In addition, do you want to add restaurant as a permitted use, so that a user has the option of providing some sort of café within their facility as an accessory use? Just a thought.*

11/19/2018: *Comment closed and resolved*

PLN15: What are the overall architectural standards and theme for the proposed PUD? A baseline of architectural standards should be provided. Will there be any minimum façade percentages of masonry material. How will large expanses of walls be broken-up? Is there a minimum amount of transparency? Please discuss colors, and consider this in the overall architectural theme. You'll need to justify how this project has superior design standards to justify the flexibility allowed by the regulations (See Section 3-30-03-01, DSR)

09/27/2018: *Thank you for providing the architectural standards. Comment closed.*

PLN16: Based on the setbacks that have been provided, it appears that the "rear" of buildings will be oriented toward 30th Avenue and Petterson Road. However, it is likely that these roads will be the primary public view of the development. Has any consideration been given toward orienting the "front" toward these perimeter streets and allowing for the rear" to serve more like an alley for the overall development. *Comment resolved and closed.*

PLN17: Staff will not be supportive of allowing any use as "permitted by right" in this PUD that is only allowed through "Conditional Use Permit" in the I-3 zone district according to the DSR. These uses include, but are not limited to: asbestos product manufacturing, bone reduction, caustic soda manufacturing, insecticide manufacturing, scrap processing yards, and smelting or refining

metal. It is recommended that you reconsider the use table carefully, and determine which of these uses are appropriate for the area.

09/27/2018: We should continue to refine our conversation on allowed uses. I am going to divide the proposed uses into three categories:

- 1) Permitted by-right, (however we support the inclusion of specific performance standards);
- 2) Permitted by-right by Adams County, (however we support the inclusion of specific performance standards) and are subject to solid waste/recycling or hazard waste regulations by CDPHE OR FAA regulations for broadcasting or telecommunications towers;
- 3) Requires some form of special review (whether it be administrative or Board-approved) by Adams County and subject to solid waste/recycling or hazard waste regulations by CDPHE.

I have included an attached chart, which will show each proposed use divided into these three categories. The next step in this process will be for our staff to provide you with a clear path for approval of the uses in the third category. We are targeting mid-October to have clarity on how these uses will be considered. In addition, please begin to contemplate specific performance standards for the uses in the third category. Inclusion of specific performance standards for these uses may strengthen your position that these uses can be allowed through an administrative approval process.

11/19/2018: Thanks for the recent changes to the table. We are still refining how Adams County will process these special reviews. We hope to have clarity on a formalized process before you are scheduled for public hearings for the preliminary approvals. Please note the proposed changes requested by Jennifer Rutter, the County's Senior Environmental Analyst. In addition, the use table could possibly be better organized, either alphabetically or by category groupings. Both are acceptable. Let's also discuss the phrasing of the three categories. I may be able to suggest some refinement. **RESUBMITTAL REQUIRED FOR THIS ITEM**

PLN18: Uniform fencing is required for this development plan. What do you propose?

09/27/2018: Thank you for providing uniform fencing standards. *Comment closed.*

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11/19/2018: Thank you for the thoughtful response. Planning has no further comment; although, please consider and respond to the Parks Department request for 6' trails. *Comment resolved and closed.*

PLN20: An overall landscaping and buffering plan should be incorporated into the design. Of particular concern is how the uses will mitigate impacts on the property owners to the southeast. Concerns that have been raised from these property owners and occupants should be carefully considered. Buffering around the perimeter and in between lots should be considered, with minimum buffer standards.

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09/27/2018: Thank you for changing this. There is still a reference to 90% in Section 3-5-3 of the design standards. Please revise.

11/19/2018: I do not believe that this comment was resolved. Please refer to the last paragraph of Section 3-5-3 of the Design Standards. **RESUBMITTAL REQUIRED FOR THIS ITEM**

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09/27/2018: Thank you for including a uniform sign plan. Does this mean that building-mounted and temporary event signage is not allowed in this PUD? I think some language should be included to provide clarity on these two issues.

11/19/2018: Entry monuments are shown as having a maximum height of 32 feet. This seems extreme. The drawing submitted shows a 6' height. Please clarify.

Temporary signage and banners should have tougher restrictions. A maximum size, height, and duration should be considered. **RESUBMITTAL REQUIRED FOR THESE ITEMS**

PLN27: Please consider changing the title of the "Architectural Design Standards" to "Design Standards". Since landscaping, outdoor storage, signage, and other elements are included, I believe that this change in title will assist Adams County staff in processing future permits.

11/19/2018: *Comment resolved and closed.*

PLN28: Adams County's Development Standards defines a front property line as any side of a lot that faces a street right-of-way. Because of this, you may need to amend the setback section of your design guidelines to specifically define what constitutes front, side, and rear setbacks, particularly for lots with frontage along two or more streets.

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11/19/2018: *Comment resolved and closed.*

PLN33: Are there typos in Sections 4.3.1(4) and the last paragraph of 5.4.1(3)? I'm having a difficult time understanding these sections.

11/19/2018: This section is still very confusing. Perhaps we can discuss it before you resubmit back to us.

PLN34: Please evaluate Section 4.3.1(7). How will you propose to screen anything with chain link fencing that does not include slats? I do not see how this will be effective. In addition, I do not see any reference to slats mentioned in Section 7.1. What will the slats look like? What percentage of opacity will be provided?

11/19/2018: Let's discuss this in greater detail in the upcoming week. I believe the slats and 80% opacity may be okay, but want some assurance that the fencing will not become an eyesore along Tract A.

PLN35: Section 4.7 does not include any information on maximum building height. What will this be? Please keep in mind that you are proposing broadcasting and telecommunications towers as allowed uses. In addition, is there any requirement for the vertical architectural separation on a building (i.e. base, body, cap)?

11/19/2018: Let's discuss this in greater detail in the upcoming week. I have concerns with the overall building heights being proposed.

PLN36: What's the material proposed for the soft-surface trail along the perimeter of the PUD. This should be specified.

11/19/2018: *Comment resolved and closed.*

PLN37: Adams County has specific Operational Standards found in Section 4-13 of the DSR. Please consider, either: including language stating that the requirements of Section 4-13 apply to this PUD, OR draft your own operational standards for this development proposal. Of primary concern, is how these heavy industrial uses may affect property owners in the surrounding areas.

11/19/2018: *Comment resolved and closed.*

PLN38: Two additional typos can be found in the permitted use table: "bakeries" and "paint manufacturing".

11/19/2018: *Comment resolved and closed.*

PLN39: These properties are within the Airport influence Zone and the Airport Noise Overlay. Please review Section 3-34 and 3-5 of the Adams County DSR, and incorporate these requirements into the building design standards (for noise reduction measures) and the operational standards described in PLN37 (for emissions, glare, and wildlife attraction uses).

11/19/2018: *Comment resolved and closed.*

Comprehensive Plan Amendment

PLN01: Although unclear from the submittal, I believe that request is to change the future land use designation on the property from Mixed-Use Employment to Industrial. Please confirm.

09/27/2018: You have indicated that the proposed future land use category is "PUD". This is not accurate. PUD is the proposed zone district. I believe the proposed future land use designation is "Industrial". I will need for you to confirm this prior to moving your case forward for notification of public hearings.

11/19/2018: Perhaps we should have a conversation about this to clarify? Your resubmittal indicates that the request is to change the designation to Industrial AND Commercial. I was always under the impression that your intent was for only Industrial. Lots may only have one designation.

PLN02: At this time, it may be best to table the review of the comprehensive plan amendment until we have designed the Planned Unit Development a bit further. Evaluation of the proposed development will help us to further assess whether the proposed future land use designation change is appropriate and/or necessary for the entirety of the site. *No response is needed for this comment.*

09/27/2018: Comment still open.

11/19/2018: Comment still open. Although, the request for Industrial future land use is likely to be supported.

PLN03: Please evaluate the criteria for approval of a comprehensive plan amendment. The criteria can be found in Section 2-02-13-06-03 of the Adams County Development Standards and Regulations (DSR). *No response is needed for this comment. Comment closed.*

Preliminary Plat

PLN04: The preliminary plat for major subdivision is required to meet all of the criteria found in Section 2-02-17-03-05 of the DSR. *No response is needed for this comment.*

09/27/2018: Please see the comments from the Colorado Division of Water Resources. This continues to cause heavy concern for your proposal.

11/19/2018: Comment still open. We still do not have notice from CDWR that water is available to serve the subdivision. **RESUBMITTAL REQUIRED TO RESOLVE**

PLN05: The plat's consistency with the comprehensive plan will be attained by a comprehensive plan amendment. In addition, the plat's consistency with the standards of the zone district will be attained through the rezoning and development plan process. *No response is needed for this comment. Comment closed.*

PLN06: At this time, it may be best to table the specific design review of the preliminary plat until we have designed the Planned Unit Development a bit further. Evaluation and layout of the proposed development plan will likely change through the review of the preliminary development plan. *No response is needed for this comment.*

09/27/2018: Comment still open.

11/19/2018: Comment still open. Although, the proposed preliminary plat appears to provide a layout and road network that is acceptable to County standards.

PLN07: The preliminary design of lots appears to provide adequate space for design of the lots. The lots are large and can adequately sustain development. The configurations of these lots appear to have access to streets, and are drawn at right-angles to the adjacent roadways. *No response is needed for this comment. Comment closed.*

PLN08: Please review Section 5-03-06-03 of the DSR. This section refers to dead-end streets. It is unclear if the proposed access to 30th Avenue into the site creates a dead-end into the property identified as "Tract A" on the plat. *Comment resolved and closed.*

PLN09: Sidewalks and trails appear to be missing from the development plan. It will be unlikely that a planned unit development can be approved without meeting the County's standards for active recreation open space. This may affect the roadways design, and may potentially affect the design of your plat. *No response is needed for this comment.*

09/27/2018: *Comment still open.*

11/19/2018: *Comment closed and resolved.*

PLN10: The proposed subdivision plat is not consistent with the development plan in terms of number of lots and tracts. Please explain. *Comment resolved and closed.*

PLN11: The preliminary plat should include greater specificity regarding the uses and purposes of the specified tracts. *Comment resolved and closed.*

Rezoning

PLN12: The proposed rezoning to PUD shall comply with the criteria for approval found in Section 2-02-13-06-02 of the DSR. *No response is needed for this comment. Comment closed.*

Preliminary Development Plan (PDP)

PLN13: The PDP must meet the criteria for approval found in Section 2-02-10-03-05 of the DSR. *No response is needed for this comment. Comment closed.*

PLN14: The overall goal of the industrial PUD is to provide an employment center to the area. Has there been any contemplation to where these employees will eat lunch or shop? Has any consideration been given to provide outparcels that can serve commercial uses?

09/27/2018: *Your response is noted. I do think that one to three smaller outparcels of commercial along Highway 36th could benefit the area. Thank you for considering this. In addition, do you want to add restaurant as a permitted use, so that a user has the option of providing some sort of café within their facility as an accessory use? Just a thought.*

11/19/2018: *Comment closed and resolved*

PLN15: What are the overall architectural standards and theme for the proposed PUD? A baseline of architectural standards should be provided. Will there be any minimum façade percentages of masonry material. How will large expanses of walls be broken-up? Is there a minimum amount of transparency? Please discuss colors, and consider this in the overall architectural theme. You'll need to justify how this project has superior design standards to justify the flexibility allowed by the regulations (See Section 3-30-03-01, DSR)

09/27/2018: *Thank you for providing the architectural standards. Comment closed.*

PLN16: Based on the setbacks that have been provided, it appears that the "rear" of buildings will be oriented toward 30th Avenue and Petterson Road. However, it is likely that these roads will be the primary public view of the development. Has any consideration been given toward orienting the "front" toward these perimeter streets and allowing for the rear" to serve more like an alley for the overall development. *Comment resolved and closed.*

PLN17: Staff will not be supportive of allowing any use as "permitted by right" in this PUD that is only allowed through "Conditional Use Permit" in the I-3 zone district according to the DSR. These uses include, but are not limited to: asbestos product manufacturing, bone reduction, caustic soda manufacturing, insecticide manufacturing, scrap processing yards, and smelting or refining

metal. It is recommended that you reconsider the use table carefully, and determine which of these uses are appropriate for the area.

09/27/2018: We should continue to refine our conversation on allowed uses. I am going to divide the proposed uses into three categories:

- 1) Permitted by-right, (however we support the inclusion of specific performance standards);
- 2) Permitted by-right by Adams County, (however we support the inclusion of specific performance standards) and are subject to solid waste/recycling or hazard waste regulations by CDPHE OR FAA regulations for broadcasting or telecommunications towers;
- 3) Requires some form of special review (whether it be administrative or Board-approved) by Adams County and subject to solid waste/recycling or hazard waste regulations by CDPHE.

I have included an attached chart, which will show each proposed use divided into these three categories. The next step in this process will be for our staff to provide you with a clear path for approval of the uses in the third category. We are targeting mid-October to have clarity on how these uses will be considered. In addition, please begin to contemplate specific performance standards for the uses in the third category. Inclusion of specific performance standards for these uses may strengthen your position that these uses can be allowed through an administrative approval process.

11/19/2018: Thanks for the recent changes to the table. We are still refining how Adams County will process these special reviews. We hope to have clarity on a formalized process before you are scheduled for public hearings for the preliminary approvals. Please note the proposed changes requested by Jennifer Rutter, the County's Senior Environmental Analyst. In addition, the use table could possibly be better organized, either alphabetically or by category groupings. Both are acceptable. Let's also discuss the phrasing of the three categories. I may be able to suggest some refinement. **RESUBMITTAL REQUIRED FOR THIS ITEM**

PLN18: Uniform fencing is required for this development plan. What do you propose?

09/27/2018: Thank you for providing uniform fencing standards. *Comment closed.*

PLN19: An overall open space and active recreation plan should accompany this PDP. Active recreation space is a requirement of PDP approval, and although modifications can be made on a lot-by-lot basis, it is expected that an overall plan will be considered at this time. It should also be noted that based on the size of this development plan, you are required to provide at least 185.85 acres (30%) open space (please read the definition of what classifies as "open space" in Chapter 11 of the DSR), and at least 46.5 acres (25% of overall open space) for active recreation. Your resubmittal shall include calculations and information on how these areas will be maintained.

09/27/2018: Thank you for the response. I think you have made great strides in meeting this requirement. Staff will have to find a common-sense balance here that will best serve the development and the community as a whole. 46 acres of active recreation space may be too heavy of a requirement when considering the number of users that will likely be using the space. It is more important that we address the quality of the active recreation space, than the actual volume. I would like to recommend the following:

- A. I think that we need to refine what is being considered as "active recreation areas". Much of the space at the corners of the project, are questionable as to whether they are actually meeting this threshold. Spaces with trails,

should certainly count. Areas with landscaping, but no recreational amenities will not count as "active recreation".

- B. Additional active recreation could be obtained with inclusion of recreation amenities like outdoor exercise equipment, soft-surface trails, and perhaps even benches and picnic tables. This may be a good option for you, if you want to get the active recreation area as close to our standards, as possible. Typically, we define "active recreation components as "jogging, cycling, tot lots, playing fields, playgrounds, outdoor swimming pools, tennis courts, public campgrounds, publicly-operated golf courses, arboretums; areas for hiking; nature areas; wildlife sanctuaries; picnic areas; garden plots; recreation-oriented parks". See what you guys can reasonably come up with, and if there's a deficiency in the meeting the requirement, we will discuss whether we can support the request for a reduction.
- C. The perimeter trail is extremely long, and could be enhanced by creating two east-west trails through the development. I would recommend creating access easements or tracts through the development for these two-east-west trails. This will allow pedestrians to select the length of their walk by crossing through portions of the development. Ideal locations of east-west connections could cluster the following lots together: Northern Loop (around Lots 6, 7, and 8), Central Loop (around Lots 3, 4, 5, and 9); Southern Loop (around Lots 1, 2, and 10).

11/19/2018: Thank you for the thoughtful response. Planning has no further comment; although, please consider and respond to the Parks Department request for 6' trails. *Comment resolved and closed.*

PLN20: An overall landscaping and buffering plan should be incorporated into the design. Of particular concern is how the uses will mitigate impacts on the property owners to the southeast. Concerns that have been raised from these property owners and occupants should be carefully considered. Buffering around the perimeter and in between lots should be considered, with minimum buffer standards.

09/27/2018: I recommend that we include a more intense minimum planting standard for the buffer in Tract J abutting the residential community. This standard should (at a minimum) include three trees per sixty linear feet.

11/19/2018: Thank you for your response. *Comment resolved and closed.*

PLN21: Please read Section 3-30-03-02-01 of the DSR. Private roads are not permitted within a PUD unless specific criteria are met. In your resubmittal, please justify the use of private roads.

09/27/2018: Your response is noted. *Comment closed.*

PLN22: Internal pedestrian and bicycle amenities are required throughout the site. Please review Section 3-30-03-03, and resubmit with a development plan that incorporates these transportation modes.

09/27/2018: Very impressed on this one. The users of this site will benefit greatly by this. Good job. *Comment closed.*

PLN23: Since the development plan and plat are being processed concurrently, all references to "Parcel 1" and "Parcel 2" should be changed. This may get confusing for staff to review in the future, if parcels that no longer exist are mentioned. *Comment resolved and closed.*

PLN24: Staff has concern regarding the allowance of 90% of lots to be utilized for outdoor storage. Please consider the impact of large storage yards, how these uses will be screened.

09/27/2018: Thank you for changing this. There is still a reference to 90% in Section 3-5-3 of the design standards. Please revise.

11/19/2018: I do not believe that this comment was resolved. Please refer to the last paragraph of Section 3-5-3 of the Design Standards. **RESUBMITTAL REQUIRED FOR THIS ITEM**

PLN25: The development plan refers back to the DSR for parking requirements. Please consider how parking will be situated in relation to streets and buildings. Will parking be located behind buildings? To the side? In the rear? What type of materials will be used for access and parking? Will this material be uniform throughout the site?

09/27/2018: Requesting a little clarity on surface material for parking areas. I do not see that addressed in the standards. Perhaps the language of Section 3.3.1(a) is intended to cover this? If so, maybe the language needs to be re-worded for clarity.

11/19/2018: *Comment resolved and closed.*

PLN26: A uniform sign plan is discussed as part of the FDP. Why is this being considered at this stage? Branding and a uniform sign plan will be important to consider for the development as a whole. Uniform signage should include not only commercial signage, but directional and informational, as well.

09/27/2018: Thank you for including a uniform sign plan. Does this mean that building-mounted and temporary event signage is not allowed in this PUD? I think some language should be included to provide clarity on these two issues.

11/19/2018: Entry monuments are shown as having a maximum height of 32 feet. This seems extreme. The drawing submitted shows a 6' height. Please clarify.

Temporary signage and banners should have tougher restrictions. A maximum size, height, and duration should be considered. **RESUBMITTAL REQUIRED FOR THESE ITEMS**

PLN27: Please consider changing the title of the "Architectural Design Standards" to "Design Standards". Since landscaping, outdoor storage, signage, and other elements are included, I believe that this change in title will assist Adams County staff in processing future permits.

11/19/2018: *Comment resolved and closed.*

PLN28: Adams County's Development Standards defines a front property line as any side of a lot that faces a street right-of-way. Because of this, you may need to amend the setback section of your design guidelines to specifically define what constitutes front, side, and rear setbacks, particularly for lots with frontage along two or more streets.

11/19/2018: *Comment resolved and closed.*

PLN29: Define "Landscape setbacks" of Section 3.2.2. I'm unclear what this actually means.

11/19/2018: *Comment resolved and closed.*

PLN30: In the design standards, there are multiple examples of the words "shall" and "should" being used. To me, "shall" indicates a firm requirement that is not negotiable; and "should" indicates more flexibility in interpretation. Please review the use of these two words carefully, and strengthen language for more clarity.

11/19/2018: *Comment resolved and closed.*

PLN31: Section 3.5.3 pertains to outdoor storage. The last paragraphs states that "no junk or waste" is permitted. Please define what these terms mean, for clarity.

11/19/2018: *Comment resolved and closed.*

PLN32: Sections 4.3.1(2) and 4.7.3 discuss the design requirements to avoid long, interrupted flat walls. Would you consider reducing this metric to 100 feet for buildings exceeding 30,000 sf and 50 feet for buildings smaller than 30,000 sf?

11/19/2018: *Comment resolved and closed.*

PLN33: Are there typos in Sections 4.3.1(4) and the last paragraph of 5.4.1(3)? I'm having a difficult time understanding these sections.

11/19/2018: This section is still very confusing. Perhaps we can discuss it before you resubmit back to us.

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11/19/2018: *Comment resolved and closed.*



Bennett-Watkins Fire Rescue

District Office: 303-644-3572 Fax: 303-644-3401

825 Shari's Court, Bennett, CO 80102

Email: Info@BennettFireRescue.org

"Striving to Preserve Life and Property"

June 7th, 2018

Greg Barnes
Adams County Planning & Development
4430 South Adams County Parkway
1st Floor - Suite W2000A
Brighton, CO 80601-8216

Re: PRC2018-00006 Rocky Mountain Rail Park

Manager Barnes,

In regards to the case PRC2018-00006 Rocky Mountain Rail Park, Bennett –Watkins Fire Rescue (BWFR) is providing this letter of comments for Adams County as follows:

- Bennett-Watkins Fire Rescue (BWFR) has no objections to the proposed development.
- All development shall be submitted to BWFR for required fire plan review and permitting processes.
- The developer shall ensure the proposed water systems pertaining to hydrant distribution fire suppression is adequate to protect the proposed development as well as meet design expectations of both Adams County as well as Bennett-Watkins Fire Rescue. Considerations for design requirement shall include adopted codes and standards as well as ISO distribution and fire flow requirements.
- Fire Hydrant distribution shall confirm to design requirements from the adopted International Fire Code 2012 edition and be submitted to BWFR for review and approval in a separate water line development exhibit.
- Fire hydrant installation shall conforming to the painting and color coding system outlined in NFPA 291. The developer/install contractor is responsible for ensuring all hydrants are painted conforming to BFPD standards.
- It is recommended that the developer work directly with BWFR, ISO, and Adams County Staff to provide and review information pertaining to the needed fire flows for the proposed development. This information should be vetted against International Fire Code Requirements as well as ISO requirements. It is also likely that this information will also be required by ISO/BWFR to include for hydraulic system modeling.
- The developer shall confer with BWFR and ensure that the proposed development conforms to all other adopted (IFC) fire code standards.
- It is recommended the developer continue direct dialogue with BWFR through the planning and development process to ensure all requirements are reviewed and to provide the developer with access to fire related staff support through the planning phase of the development.

If you have any other questions or concerns, please feel free to contact me. Thanks!

Thank You

A handwritten signature in black ink, appearing to read 'Caleb J. Connor', with a stylized flourish extending from the end.

Captain Caleb J. Connor

Fire Marshal

Life Safety Division

Bennett-Watkins Fire Rescue

303-644-3572 - Headquarters / 720-893-7672 - Direct

www.BennettFireRescue.org

Greg Barnes

From: Ingram, Porter [pingrum@auroragov.org]
Sent: Thursday, June 13, 2019 3:37 PM
To: Greg Barnes
Subject: FW: Rocky Mountain Rail Park
Attachments: FW: Pam's (at PUC) Contact Information

Please be cautious

This email was sent from outside Adams County

Hi Greg...sorry for the late delay in getting this to you. Hopefully some of this is familiar to you and Adams County. – Porter

Porter,

Looks like engineering wasn't included in the string below, note that we have been working with the developer / the developer's engineers since late 2018. A meeting with COA was held on 11/29/18 at which time the roadway, PUC, and other PW concerns were discussed.

I've attached an email regarding the PUC, for your use and reference.

Let me know if you have any questions.

Thanks,

Victor A. Rachael Jr., P.E., PTOE

City Engineer | City of Aurora

email vrachael@auroragov.org | office 303.739.7300



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From: Ingram, Porter
Sent: Tuesday, June 11, 2019 9:39 AM
To: Rodriguez, Stephen E <srodrigu@auroragov.org>; Irvin, Vinessa <Vlrvn@auroragov.org>; Adam, Vern <Vadam@auroragov.org>; Akrie, Darren <DAKRIE@auroragov.org>
Subject: FW: Rocky Mountain Rail Park
Importance: High

Hi all...sorry this is fairly urgent from Adams County. I never received any comments on this one and Adams County wants to make sure we don't have any concerns based on the citizen input they have received.

Thanks,

Porter

From: Greg Barnes <GJBarnes@adcogov.org>
Sent: Tuesday, June 11, 2019 9:22 AM
To: Ingrum, Porter <pingrum@auroragov.org>
Subject: Rocky Mountain Rail Park
Importance: High

Porter,

I have a fairly major case going to the Planning Commission on Thursday. It's called the Rocky Mountain Rail Park. During the referral periods, we never received comments from Aurora. Just recently, a public commenter is claiming that Aurora is potentially opposed to the project and is claiming that everyone is unaware of the upcoming hearing. I have correspondence from you on the establishment of their metro district, but nothing in regard to this particular case. I was hoping you could let me know if Aurora is in fact opposed to this project, or has concerns?

https://adams.granicus.com/MetaViewer.php?view_id=9&event_id=650&meta_id=147678



Greg Barnes

Planner III, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

Greg Barnes

From: Greg Blais [gblais@rmrholdings.com]
Sent: Thursday, December 06, 2018 10:53 AM
To: pamela.fishhaber@state.co.us
Cc: Rowe, Curtis; Bonner Gilmore; John Crochet; rob.martindale@state.co.us; Michelle M. Huckfeldt; Accounting; Rachael, Victor; Bunce, Anna
Subject: FW: Pam's (at PUC) Contact Information
Attachments: image001.png; image002.png; image003.jpg; Rocky Mountain Rail Park _ 2Pager.pdf; RMR Site Plan RR Xing.pdf; Rocky Mountain Rail Park TIS 11-27-2018.pdf

Good morning Pam, Curtis Rowe forwarded me the email below. I work for Rocky Mountain Resources, the developer on the Rail Park project in question. I've attached a high level overview of our project. We are 80% through the permitting process with the County and now working with City of Aurora, CDOT and the UP regarding off-site road improvements.

Access to our Rail Park utilizes E. Colfax Ave (owned by CDOT) and then Petterson Rd (owned by City of Aurora). There is an at grade crossing on Petterson Rd. I have attached a site plan showing location of the crossing. We received the following comment from CDOT upon their review of our project:

Comment: We have also noted that the at-grade RR crossing of Petterson does not appear to be as fortified or as recent as the Manila crossing. Whereas neither of these crossings are signal or gate controlled, we anticipate potential and occasional delays of traffic & large trucks which must safely cross over the tracks to and from SH 36. We recommend that the traffic consultant for this project contact Rob Martindale, CDOT RR Program Manager to coordinate and work with the UPRR and PUC. We have also recently learned that top management at the UPRR, including the staff who was overseeing Colorado operations, was recently downsized, therefore Rob is your best resource in the interim. Whether RR sidings for this Planned Development can be accommodated without additional tracks impacting or affecting the intersections of both Manila & Petterson at SH 36 should be addressed as early as possible.

We recognize coordination between City of Aurora, CDOT, PUC and UPRR is no easy task and I want to spearhead moving this dialogue forward. Our contact with the UP is Michelle Huckfeldt who is helping us coordinate a call and/or meeting with Chris Keckeisen at UP responsible for road crossings. I've looped Anna Bunce and Victor Rachael at Aurora, Rob Martindale at CDOT and Michelle Huckfeldt at UP on this email.

I have also attached a traffic study for your review.

Is there a good time to have a quick call to discuss the role of PUC on this issue as well as availability for a larger conference call? Thank for your time and consideration on this matter.

Regards,
Greg Blais, PE
Managing Director, Business Development
Rocky Mountain Resources
4601 DTC Blvd. Ste 130
Denver, CO 80237
(720) 638-9602 office
(303) 903-1359 mobile

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From: Rowe, Curtis <Curtis.Rowe@kimley-horn.com>
Sent: Thursday, December 6, 2018 8:17 AM
To: Greg Blais <gblais@rmrholdings.com>; Bonner Gilmore <bonner.gilmore@enertiagc.com>; John Crochet <john.crochet@enertiagc.com>
Subject: FW: Pam's (at PUC) Contact Information

From: Fischhaber - DORA, Pam <pamela.fischhaber@state.co.us>
Sent: Thursday, December 6, 2018 6:02 AM
To: Rowe, Curtis <curtis.rowe@kimley-horn.com>
Cc: Anna Bunce <abunce@auroragov.org>
Subject: Re: Pam's (at PUC) Contact Information

Good Morning Curtis and Anna,

Thanks for looping me in on this project.

Curtis, so you have any plans that you can send me so I can get some idea of what the project entails?

Thanks,
Pam

Pamela Fischhaber, Ph.D., P.E., WSO-CSS
Section Chief - Rail and Transit Safety



P 303.894.2529 | F 303.894.2065
1560 Broadway, Suite 250, Denver, CO 80202
pamela.fischhaber@state.co.us | www.colorado.gov/dora/puc

On Wed, Dec 5, 2018 at 6:42 PM Rowe, Curtis <Curtis.Rowe@kimley-horn.com> wrote:

Thank you Anna and nice to meet you Pam. We look forward to working with you on this project. I believe that Greg Blais from Rocky Mountain Resources is close to having a meeting set up with UPRR and with your contact information provided Pam, please expect to hear from him about possibly attending that meeting too. We appreciate it!

Thanks,

Curtis

Curtis Rowe, P.E., PTOE

(P.E. in CO, ID, KS, MT, NE, NV, UT, and WY)

Kimley-Horn | 4582 South Ulster Street, Suite 1500, Denver, CO 80237
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From: Bunce, Anna <abunce@auroragov.org>
Sent: Wednesday, December 5, 2018 4:34 PM
To: Rowe, Curtis <curtis.rowe@kimley-horn.com>
Cc: Fischhaber - DORA, Pam <pamela.fischhaber@state.co.us>
Subject: RE: Pam's (at PUC) Contact Information

Hey, Curtis—

Thanks for the follow up—I'm sorry you haven't had the pleasure of working with Pam yet! I'd like to introduce you to Dr. Pam Fischhaber, Chief of Rail/Transit Safety of the Colorado Public Utilities Commission.

Here's her contact info:

Contact Information

[Public Colorado Public Utilities Commission](#)

1560 Broadway, Suite 250

Denver, CO 80202

Pamela Fischhaber, Ph.D., P.E., WSO-CSS

Phone: [303.894.2529](tel:303.894.2529)

Email: Pamela.Fischhaber@state.co.us

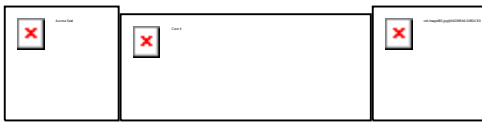
And I have copied her on this email as well—Pam, the project Curtis references below is a potential development project I think not quite within the City but the public roadway adjacent is. I've attached a location aerial for reference, and Curtis can provide additional conceptual layout and information for the project. They have already reached out to UPRR but I'm not sure how far that's gotten—wanted to loop you/your staff in before the project got too far along.

Curtis, you may also find this helpful: <https://www.colorado.gov/pacific/dora/rail>

Either or both of you please let me know with any additional questions in the meantime!

Thanks,

Anna L. Bunce, P.E.
Traffic Manager | City of Aurora
office 303.739.7300 | email abunce@auroragov.org



[Facebook](#) | [Twitter](#) | [Instagram](#) | [Nextdoor](#) | [AuroraTV.org](#)

From: Rowe, Curtis [<mailto:Curtis.Rowe@kimley-horn.com>]
Sent: Friday, November 30, 2018 2:44 PM
To: Bunce, Anna <abunce@auroragov.org>
Subject: Pam's (at PUC) Contact Information

Hi Anna,

It was nice to see you yesterday! • Thanks for the information and input for the project team on the Rocky Mountain Rail Park project. As discussed, please provide Pam's contact information at the PUC. As you mentioned, it would be good to start our coordination with her as soon as possible related to the Petterson Road at-grade rail crossing for the project. We appreciate you offering to provide her contact information for us.

Thanks and have a great weekend!

Curtis

Curtis Rowe, P.E., PTOE

(P.E. in CO, ID, KS, MT, NE, NV, UT, and WY)

Kimley-Horn | 4582 South Ulster Street, Suite 1500, Denver, CO 80237
Direct: 303 228 2304 | Mobile: 720 480 9036 | www.kimley-horn.com

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Celebrating 11 years as one of FORTUNE's 100 Best Companies to Work For

Submitted via email to: gjbarnes@adcogov.org

September 26, 2018

Greg Barnes
Community and Economic Development Department
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601-8218

Re: Case No. PRC2018-00006

Dear Greg Barnes:

The Colorado Department of Public Health and Environment (CDPHE) has reviewed the preliminary project information associated with the Rocky Mountain Rail Park (Case No. PRC2018-00006) and submits the following comments. In particular, CDPHE has reviewed the proposed “Permitted Land Uses” listed on PDF page 29 of the applicant’s second resubmittal and has identified specific requirements from CDPHE’s Air Pollution Control Division (APCD), Hazardous Materials and Waste Management Division (HMWMD) and Water Quality Control Division (WQCD) which may apply. However, the following requirements are not intended to be an exhaustive list and it is ultimately the responsibility of the applicant to comply with all applicable rules and regulations.

Air Pollution Control Division

In Colorado, most businesses that are or will be emitting air pollutants above certain levels are required to report those emissions to the Division by completing an Air Pollutant Emissions Notice (APEN). This is a two in one form for reporting air emissions and to obtain an air permit, if a permit will be required. While only businesses that exceed the AQCC reporting thresholds are required report their emissions, all businesses - regardless of emission amount - must always comply with the Colorado AQCC regulations.

APCD supports the stated construction precautions to prevent and minimize dust migration during project activities and notes that land development construction activities (earth moving) that are greater than **25 acres** or more than **six months in**

duration require an APEN from the Division and may be required to obtain an air permit depending on estimated emissions. In addition, a start-up notice must be submitted thirty days prior to beginning a land development project.

Additional information on APENs and air permits can be found at <https://www.colorado.gov/pacific/cdphe/apen-and-permitting-guidance>. This site explains the process to obtain APENs and air quality permits, as well as information on calculating emissions, exemptions, and additional requirements. You may also view AQCC Regulation Number 3 at <https://www.colorado.gov/pacific/cdphe/aqcc-regs> for the complete regulatory language.

If you have any questions regarding Colorado's APEN or air permitting requirements or are unsure whether your business operations emit air pollutants, please call the Small Business Assistance Program (SBAP) at 303- 692-3175 or 303-692-3148.

Hazardous Materials and Waste Management Division

The following "Permitted Land Uses" are likely to be subject to solid waste/recycling (SW) regulations (6 CCR 1007-2 available here: <https://www.colorado.gov/pacific/cdphe/solid-waste-regulations>) or hazardous waste (HAZ) regulations (6 CCR 1007-3, available here: <https://www.colorado.gov/pacific/cdphe/hazardous-waste-regulations>) overseen by HMWMD:

- Railroad yards- HAZ
- Auto/truck rental/leasing- SW
- Automotive repair except top, body, upholstery repair, paint, and tire retreating shops- HAZ
- Communications- SW and HAZ
- Measuring, analyzing, and controlling instrument manufacturing- HAZ
- Medical and optical goods- HAZ
- Photographic- HAZ
- Space and technology- HAZ
- Asphalt and concrete production facilities- HAZ
- Automobile manufacturing- HAZ
- Chemical manufacturing- HAZ
- Chemicals and allied products manufacturing except drugs- HAZ
- Paper, pulp or paperboard mills- SW
- Rubber and miscellaneous plastics manufacturing- SW
- Salvage yards- HAZ
- Storage and disassembly of vehicles and the re-assembly of various parts- HAZ
- Asbestos products manufacturing- SW and HAZ
- Coal, coke yards, or coal classifications- SW
- Disinfectant, insecticide or poison- HAZ
- Distillation of bone, refuse, grain and wood- SW



- Fossil fuel manufacturing- HAZ
- Hazardous waste treatment facility- HAZ
- Licensed oil, shellac and turpentine manufacturing and refinery- HAZ
- Lubrication and grease manufacturing- HAZ
- Oil compounding- HAZ
- Paint and enamel manufacturing- HAZ
- Recycling facilities- SW
- Smelting or refining of metal- HAZ
- Landscape storage yards- SW
- Dry cleaning plants- HAZ
- Electric and electronic equipment- SW and HAZ
- Lumber, building materials and wood products- HAZ
- Miscellaneous manufacturing industries- HAZ
- Printing and publishing- HAZ
- Recreational vehicle storage- SW
- Special warehousing and storage- SW
- Textiles and apparel- SW
- Transportation services- SW
- Trucking and general warehousing- SW
- Office and computing machines- SW and HAZ
- Electronics manufacturing- SW and HAZ
- Public utility storage yards and service- SW
- Can manufacturing- HAZ
- Cement, cinder block, concrete, lime or plaster manufacturing- SW
- Cosmetic and perfume manufacturing- HAZ
- Creosote manufacturing or treatment plant- HAZ
- Glass or glass product manufacturing- SW
- Metal ingots, casting sheets or bearings, forging or rolling mills- HAZ
- Mobile homes manufacturing and storage- SW
- Vacation camper manufacturing- SW

Water Quality Control Division

All of the proposed “Permitted Land Uses” will need to address potable and process water needs, wastewater treatment or service and stormwater management. These uses may require design submittals and/or permits prior to construction or use.

Please contact Sean Hackett at [303-692-3662](tel:303-692-3662) with any questions.

Sincerely,



Sean Hackett
Environmental Protection Specialist
Colorado Department of Public Health and Environment





May 2, 2019

Greg Blais, P.E.
Rail Land Company, LLC / Managing Director
4601 DTC Blvd. Ste 120
Denver, CO 80237

Subject: Request for Information - Site Location Application
Rail Land Company, LLC, New Wastewater Treatment Facility
Colorado Discharge Permit System (CDPS) No. COUT00133
Adams County
ES Project No. ES.19.SA.04736

Dear Mr. Blais:

The Water Quality Control Division (Division) has reviewed the Wastewater Treatment Facility Site Application submission by FEI Engineers on behalf of the Rail Land Company, LLC. Based on the Division's initial review, the site location application does not meet the requirements of the Water Quality Control Commission's *Site Location and Design Approval Regulations for Domestic Wastewater Treatment Works, 5 CCR 1002-22* (Regulation 22) and cannot be approved at this time. For additional information, please refer to the *Guidance Document for the Site Location and Design Approval Regulations for Domestic Wastewater Treatment Works, 5 CCR 1002-22* (Regulation 22 Guidance Document). The review process for this project has been placed on hold pending resolution of the following issues:

1. In accordance with Section 22.3(1)(b) of Regulation 22, the Division must evaluate whether the proposed domestic wastewater treatment works can be managed to minimize the potential adverse impact on water quality and in accordance with the preliminary effluent limits. The engineering report indicates that the facility will, at times, discharge to groundwater, regulated under Regulation 41 - The Basic Standards for Ground Water. In accordance with Table 4 in Regulation 41, the total dissolved solids (TDS) limit is 400 mg/L or 1.25 times the background level, whichever is least restrictive. The engineering report did not appear to address the design influent TDS concentration, or the proposed facility's ability to meet the TDS limitation described in the Preliminary Effluent Limits (PELs). Please provide justification and/or preliminary sample data for TDS to demonstrate whether or not additional treatment processes should be considered in the design.
2. In accordance with Section 22.3(2)(e) of Regulation 22, each application for site location approval of a domestic wastewater treatment works shall be reviewed to ensure that the proposed treatment works can be operated and managed at the proposed site location to minimize foreseeable potential adverse impacts on the public health, welfare, and safety, as related to wastewater treatment and/or water quality. As discussed in the Regulation 22 Guidance Document, the Division shall consider potential concerns of neighboring property owners and as such, shall consider distances to neighboring habitable structures and any associated considerations for odor control. The engineering report appears to indicate that the wastewater facility will be constructed greater than 300 ft from the groundwater well



that will be used for drinking water, but does not appear to address the setback to the nearest habitable structure. Please clarify the setback distance proposed between the wastewater facility boundary and the nearest habitable structure. Also, please discuss how the project will either meet the odor control and aerosol setback requirements or provide specific mitigating elements to alleviate any concerns associated with odor and public health related impacts.

3. In accordance with Section 22.4(1)(b) of Regulation 22, accompanying the application shall be an adequate engineering report describing the proposed new domestic wastewater treatment works. In accordance with Section 22.4(1)(b) of the Regulation 22 Guidance Document, the engineering report shall be prepared, signed, and sealed by a State of Colorado licensed professional engineer in accordance with the *Bylaws, Rules and Policies of the State Board of Licensure for Architects, Professional Engineers, and Professional Land Surveyors* issued by the Colorado Department of Regulatory Agencies. The engineering report did not appear to be sealed by a Professional Engineer registered in the State of Colorado. Please provide a copy of the engineering report that includes a seal from a qualified Professional Engineer registered in the State of Colorado.
4. In accordance with Section 22.4(2)(d) through 22.4(2)(f) of Regulation 22, the applicant is responsible for obtaining all necessary signatures on the site application form before sending it to the Division. These agencies may include the Management Agency (if different from other entities in the list), County, City or Town, Local Health Authority, 208 Planning Agency, and any other State or Federal Agency. These agencies shall review and recommend approval or denial of the site location application by the Division. Although the submitted engineering report included a copy of the Application Certification and Review Agencies Recommendation form, the form is unsigned and it is not clear if the application was reviewed or approved by required agencies. The following items require clarification:
 - a. The engineering report indicates that the facility is located in unincorporated Adams County. However, it is unclear as to if the Adams County Planning Department was notified and/or is an applicable review agency. Please clarify if the Adams County Planning Department is an applicable review agency. If so, please provide an updated Application Certification and Review Agencies Recommendation form with the signature of, and accompanied by any comments, from Adams County Planning Department.
 - b. It is unclear if any comments and/or approval was provided from the Tri-County Health Department, who is listed on the Site Application form as an applicable reviewer. Please provide an updated Application Certification and Review Agencies Recommendation form with the signature of, and accompanied by any comments, from Tri-County Health Department.
5. According to Section 22.4(1)(b)(iii) of Regulation 22, the engineering report shall address the preliminary effluent limitations (PELs) developed in coordination with the Division. The following items require clarification:
 - a. The Ground Water PELs for Rocky Mountain Resources Rail Park Wastewater Treatment Facility (PEL200564, dated July 23, 2018) allows for two options for the determination of compliance points; 1) end of pipe, or 2) up and down gradient monitoring wells. The engineering report did not appear to indicate the type of compliance point that will be utilized to determine compliance. Please clarify if the facility plans to measure compliance at the end of pipe or via monitoring wells.
 - b. Please note, it is Division policy, that if limits are achieved at the end of pipe, than the percolation rate (based on percolation testing) plus a safety factor can be used as the design basis for the percolation basin sizing (i.e. 120 mpi or 7.5 gpd/sf). However, if the percolation basins are used for treatment to meet specific

- parameters in the PELs (i.e., ammonia, TIN, etc.), then the application rate must meet those cited in Regulation 43. Please clarify if the percolation basins are proposed for treatment credit.
- c. The Groundwater PELs for Rocky Mountain Resources Rail Park Wastewater Treatment Facility (PEL200564, dated July 23, 2018) was drafted based on a maximum month average daily flow (MMADF) of 0.0469 MGD. However, the engineering report appears to request a MMADF design capacity of 0.052 MGD. Please clarify the proposed MMADF design flow. If different than what is included in the PELs, please verify with the Division's Permits Section that the values listed will remain unchanged.
6. In accordance with Section 22.4(1)(b)(viii) of Regulation 22, the engineering report shall include a detailed description of selected alternatives including legal description of the site of the proposed treatment works, treatment system description, design capacities, and operational staffing needs. The following items require clarification:
- a. The submittal appears to describe the liquid treatment processes associated with each alternative, but does not appear to address solids handling and processing. Please clarify how the project will address solids handling and processing.
- b. The engineering report does not appear to identify any flow contributions from infiltration and inflow (I&I). While I&I may be smaller during start up and early years, I&I may grow much larger as the facility reaches its proposed 10-year planning period or during significant wet weather events. Please clarify if and how I&I has been considered in determining design flows.
- c. The submittal indicates, "The Water Treatment Plant and groundwater well(s) will be constructed on Lot 8 adjacent to the WWTF as shown in Figure 2 (Page 8). The groundwater well is greater than 300 feet from the percolation basin as required by Regulation 43". Please note, Section 1.2.2(b) of the State of Colorado Design Criteria for Potable Water Systems requires a separation distance of 500-ft between a groundwater source and a source of contamination, and/or justification to demonstrate the drinking water source will not be impacted by contamination. Please clarify if Rail Land Company LLC has already submitted the design for the potable water system. Additionally, please clarify how the water system intends to mitigate risk from contamination from the percolation basin (e.g. direction of groundwater flow, end of pipe compliance, etc).
- d. Please note, Section 2.3.2 of the State of Colorado Design Criteria for Domestic Wastewater Treatment Works states "Influent measurements shall be representative of the volume of all influent wastes received at the facility, including septage biosolids, etc. and shall be taken before the influent waste stream joins or is diluted by any other wastestream or substance (e.g., internal recycle flows). Additionally, individual domestic permit language indicates that all influent sampling shall be representative of the influent flow stream. Based on the process flow diagram for the selected alternative (SBR), there appears to be a return stream (filter backwash) being introduced to the influent flow, upstream of flow measurement and sampling. Please clarify the how influent flow measurement and samples will be collected, while not being influenced by the return stream.
7. In accordance with Section 22.4(1)(b)(xii) of Regulation 22, the engineering report must address the financial system which has been developed to provide for necessary capital and continued operation, maintenance, and replacement through the life of the project. Based on the engineering report, the estimated construction cost is unclear. Section 12.1 appears to show a construction cost of \$3,000,000 (including ~1,000,000 in soft costs), while

Section 4 appears to show an estimated cost of \$900,000. Please clarify the construction cost for which the financial budget and phased construction schedule is based.

Please submit a written response to this letter that addresses the identified issues. Following receipt of your response submission, the Division will resume review work on the project. Thank you for your time and cooperation in this matter. Please contact me by telephone at 303-692-3566 or by electronic mail at Jeffrey.Hlad@state.co.us if you have any questions.

Sincerely,



Jeffrey Hlad, P.E.
Senior Review Engineer
Engineering Section | Water Quality Control Division
Colorado Department of Public Health and Environment

cc: Bob Lonergan, P.E., FEI Engineers
Mike Weakley, Tri-County Health Department
Greg Barnes, Adams County Planning Department
Site Application File (ES.19.SA.04736)
Discharge Permit File (New Facility, COUT00133)
Doug Camrud, WQCD ES Engineering Review Unit, Unit Manager
CDPHE.WQEngReview@state.co.us

STATE OF COLORADO

Traffic & Safety

Region 1

2829 W. Howard Place

Denver, Colorado 80204



COLORADO
Department of Transportation

Project Name: **Rocky Mountain Rail Park**

Print Date: 12/19/2018

Highway:

036

Mile Marker:

84.465

Environmental Comments:

Environmental will need to see environmental tech memos for the area of CDOT ROW that will become an access point(s), will have work or staging. If the EA and supporting findings will include this CDOT ROW area a copy of the EA would be sufficient.

Traffic Comments:

I have no comments on the TIS.

Ronnie

Maintenance Comments:

Resident Engineer Comments:

The residency will need to review the plans for any modifications made to SH36. The TIS lists several modifications that will need to be made to the state highway, and CDOT will need to review these plans to ensure they were designed to our standards and specifications. --kdd 11/13

No comments on Revision #3. --kdd 12/14/18

Permits Comments:

~~I have a number of issues and questions, too long to place in this form box. Please see attached memo dated 11-02-18. Seeking the favor of a reply letter with the next submittal outlining if how CDOT issues have been addressed -- RS 11-02-18~~

No further comments. Consultant has acknowledged concerns previously raised. They are aware that permits will be per code (spacing & design) along SH 36 and what the TIS to accompany them will need to address. RS 12-17-18

Greg Barnes

From: Loeffler - CDOT, Steven [steven.loeffler@state.co.us]
Sent: Tuesday, June 11, 2019 11:17 AM
To: Matthew Emmens
Cc: Greg Barnes; Bradley Sheehan - CDOT; Marilyn Cross
Subject: Re: FW: Rocky Mtn Rail Park
Attachments: Rocky Mountain Rail Park-036_comments 12-19-18.pdf

Please be cautious

This email was sent from outside Adams County

Matt,

The good news is that we have been in contact with this developer and have reviewed an earlier version of the TIS back at the end of 2018. It would be unlikely to get any comments back on the revised TIS in the short amount of time left, so I will provide our prior comments and also some basic review comments. I have also attached a copy of our last review to this email.

State Highway Access Permits will be required for this development. It appears that three Access Permits will be needed. One will be needed for Petterson Rd on the north side, which will service the development north of Highway 36 (E. Colfax Ave.). The Permittee for this permit will need to be Adams County since it is for a County Road connection to Highway 36. For the south development we will require two State Highway Access Permits. Point of contact for these permits is Steve Loeffler who can be reached at 303-757-9891 or steven.loeffler@state.co.us

For the south development we provided the following comments to Curtis Rowe at Kimley Horn:

We are in agreement that the proposed east access can move west to 660 feet spacing from the proposed west access with the following provisions:

- The spacing will accommodate any required auxiliary lanes. No design waivers will be given for substandard required lanes.
- The east access will be limited to Right-in, Right-out only.
- We also want to stress that the west, full-movement access should be on the property line. A provision of this permit would be that the full-movement access would become a shared access with the adjacent property at the time it develops.

We will need to review a drainage report for both the north and south developments to confirm that there will be no negative impact to State Highway 36.

Any signing on these developments that will be visible to the State Highway must be on-premise in nature and only advertise goods or services that are available on that property and must comply with any other applicable rules governing outdoor advertising in Colorado per **2 CCR 601-3**.

Thank you for the opportunity to provide comments for this development.

Steve Loeffler
Permits Unit- Region 1



P 303.757.9891 | F 303.757.9886
2829 W. Howard Pl. 2nd Floor, Denver, CO 80204
steven.loeffler@state.co.us | www.codot.gov | www.cotrip.org

On Tue, Jun 11, 2019 at 10:04 AM Matthew Emmens <MEmmens@adcogov.org> wrote:

Good morning Steve,

We have an applicant at the County who is proposing a large rail shipping yard out near the Colorado Air and Space Port (see attached PDF). The application(s) is for a Preliminary Development Plan, preliminary plat, rezoning and, comprehensive plan amendment. The application has been in for a several months and is scheduled for a hearing with the Planning Commission this Thursday. Unfortunately, we just discovered that your office was not included on the original referral list. However, this project is going to affect CDOT roadways so, we definitely want CDOT's input.

The project is basically a rail yard where materials will be brought in on rail, offloaded to trucks and shipped around the metro area. The applicant chose this location very specifically because of its proximity to US-36, I-70 and, the Air and Space Port. The development will generate a significant amount of traffic (3,100+ vpd), with a lot of heavy truck traffic. We have made them very aware that roadway improvements above and beyond the norm will be required; which they understand and agree too.

I do apologize for the last minute referral. However, they are only in the preliminary stages and, construction documents have not been created yet; so, there is still plenty of time to make sure they are mitigating for all impacts. If you could get me some comments by Thursday (5pm), that would be great. However, I realize this is last minute so; I'll take anything I can get. I've already assumed they will be doing some sort of improvements to the US-36 and I-70 accesses and, the applicant does acknowledge that in their Traffic Study (see attached).

There is a link to the referral packet below. Please feel free to call or email me if you have any questions.

Sincerely,

Matt Emmens

Senior Engineer, *Community and Economic Development*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, W2000B

Brighton, CO 80601

O: 720.523.6826 | memmens@adcogov.org

www.adcogov.org

From: Greg Barnes
Sent: Tuesday, June 11, 2019 9:17 AM
To: Matthew Emmens
Subject: Rocky Mtn Rail Park

https://adams.granicus.com/MetaViewer.php?view_id=9&event_id=650&meta_id=147678



Greg Barnes

Planner III, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org



COLORADO

Parks and Wildlife

Department of Natural Resources

Northeast Region
6060 Broadway
Denver, CO 80216
P 303.291.7227 | F 303.291.7114

June 10, 2018

Greg Barnes
Adams County
Community and Economic Development Department
4430 South Adams County Parkway
Suite W2000A
Brighton, CO 80601-8216

RE: Rocky Mountain Rail Park (Case Number PRC 2018-00006)

Dear Mr. Barnes:

Thank you for the opportunity to comment on the Rocky Mountain Rail Center preliminary development plan. The mission of Colorado Parks and Wildlife (CPW) is to perpetuate the wildlife resources of the state, to provide a quality state parks system, and to provide enjoyable and sustainable outdoor recreation opportunities that educate and inspire current and future generations to serve as active stewards of Colorado's natural resources. Our goal in responding to land use proposals such as this is to provide complete, consistent, and timely information to all entities who request comment on matters within our statutory authority.

The preliminary development plan proposes an industrial rail park that consists of two separate parcels, on approximately 620 acres, that are adjacent to the Front Range Airport, Adams County, Colorado (parcel numbers 0181700000289, 0181700000108, and 0181700000290). Parcel 1 is bound by East 48th Avenue to the north, Peterson Road to the east, and East 30th Avenue to the west. Parcel 2 is bound by East Colfax Avenue to the north and Peterson Road to the east. The project location is surrounded by the Front Range Airport and agricultural lands.

District Wildlife Manager Serena Rocksund recently visited this site. The main impacts to wildlife from this development include fragmentation and loss of habitat. Fragmentation of wildlife habitat has been shown to impede the movement of wildlife across the landscape. Open space areas are more beneficial to wildlife if they connect to other natural areas. The areas of wildlife habitat that most closely border human development show heavier impact than do areas on the interior of the open space. However, when open space areas are smaller in size, the overall impact of the fragmentation is greater (Odell and Knight, 2001). By keeping open space areas contiguous and of larger size the overall benefit to wildlife increases dramatically.

CPW would expect a variety of wildlife species to utilize this site on a regular basis, most notably, small to mid-sized mammals, song birds, and raptors. The potential also exists for large mammals such as deer and pronghorn to frequent this site. Raptors and other migratory



birds are protected from take, harassment, and nest disruption at both the state and federal levels. If an active nest is discovered within the development area, CPW recommends that buffer zones around nest sites be implemented during any period of activity that may interfere with nesting season. This will prevent the intentional or unintentional destruction of an active nest.

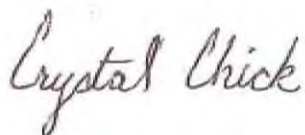
For further information on this topic, a copy of the document "Recommended Buffer Zones and Seasonal Restrictions for Colorado Raptors," is available from your local District Wildlife Manager. Following the recommendations outlined in this document will decrease the likelihood of unintentional take through disturbance.

The potential may also exist for the presence of burrowing owls. Burrowing owls live on flat, treeless land with short vegetation, and nest underground in burrows dug by prairie dogs, badgers, and foxes. These raptors are classified as a state threatened species and are protected by both state and federal laws, including the Migratory Bird Treaty Act. These laws prohibit the killing of burrowing owls or disturbance of their nests. Therefore, if any earth-moving will begin between March 15th and October 31st, a burrowing owl survey should be performed. Guidelines for performing a burrowing owl survey can also be obtained from your local District Wildlife Manager.

CPW recommends consideration be made for using principles of an integrated weed management plan, which Adams County may already have in place, to control and eliminate the spread of any noxious weeds in and around the site. CPW recommends that the planting of any species listed as noxious weeds be avoided throughout the development site and surrounding area. The spread and control of noxious weeds on the sites is a concern for wildlife in the immediate and surrounding area. Weeds are defined as "a plant that interferes with management objectives for a given area of land at a given point in time" (Whitson, 1999). Invasive plants endanger the ecosystem by disturbing natural processes and jeopardizing the survival of native plants and the wildlife that depend on them. The threat is so severe in the United States that scientist now agree that the spread of invasive species is one of the greatest risks to biodiversity (Nature Conservancy, 2003).

Thank you again for the opportunity to comment on the proposed industrial rail park that consists of two separate parcels, on approximately 620 acres, in Adams County. Please do not hesitate to contact us again about ways to continue managing the property in order to maximize wildlife value while minimizing potential conflicts. If you have any further questions, please contact District Wildlife Manager Serena Rocksund at (303) 291-7132 or serena.rocksund@state.co.us.

Sincerely,

A handwritten signature in cursive script that reads "Crystal Chick".

Crystal Chick
Area 5 Wildlife Manager

Cc: M. Leslie, T. Kroening, S. Rocksund



COLORADO
Division of Water Resources
Department of Natural Resources

John W. Hickenlooper
Governor

Robert Randall
Executive Director

Kevin G. Rein, P.E.
Director/State Engineer

June 26, 2018

Greg Barnes
Weld County Department of Planning Services
Transmitted via email:
GJBarnes@adcogov.com

RE: Rocky Mountain Rail Park Subdivision, Case No. PRC2018-00006
Part of the E ½ of Sections 23, 26, and 35, T3S, R64W, 6th P.M.,
Lost Creek Designated Ground Water Basin
Water Division 1, Water District 1

Dear Mr. Barnes:

We have reviewed your June 1, 2018 submittal concerning the above referenced proposal to subdivide approximately 620 acre of land into 11 lots and various tracts for industrial and commercial uses.

Water Supply Demand

A Water Supply Information Summary Sheet or equivalent report stating the estimated the water supply demand for this subdivision was not provided with your submittal.

Source of Water Supply

Information in the submittal indicates that proposed water supply will be from a new metropolitan district that has not yet been formed. No information on the water rights associated with the district was provided.

While our review of the well permits and water rights in the area found pending applications, receipt nos. 3684737 A-D, for Determination of Water Rights for the Denver, Upper Arapahoe, Lower Arapahoe and Laramie-Fox Hills aquifers underlying a 470 acre portion of the 620 acres property, it is not known whether this water is the anticipated supply to the proposed new district.

State Engineer's Office Opinion

Based on the above and pursuant to Section 30-28-136(1)(h)(I) and 30-28-136(1)(h)(II), C.R.S., the State Engineer's Office has not received enough information to render an opinion regarding the potential for causing material injury to decreed water rights, or the adequacy of the proposed water supply.

Details of necessary information to be included in the subdivision water supply plan can be found on Attachment A of the March 16, 2005 Updated Memorandum Regarding Subdivisions, available online at <http://water.state.co.us/groundwater/GWAdmin/Pages/SubdivisionWSP.aspx>.

Should you or the applicant have any questions, please contact Ioana Comaniciu at (303) 866-3581 x8246.

Sincerely,

Keith Vander Horst, P.E.
Chief of Water Supply, Basins





COLORADO
Division of Water Resources
Department of Natural Resources

John W. Hickenlooper
Governor

Robert Randall
Executive Director

Kevin G. Rein, P.E.
Director/State Engineer

September 20, 2018

Greg Barnes
Adams County Community & Economic Development Department
Transmitted via email:
GJBarnes@adcogov.com

RE: Rocky Mountain Rail Park Subdivision (PRC2018-00006)
Part of the E1/2 of Sections 23, 26, and NE1/4 of Section 35, T3S, R64W, 6th P.M.,
Lost Creek Designated Ground Water Basin
Water Division 1, Water District 1

Dear Mr. Barnes:

We have reviewed your September 11, 2018 submittal concerning the above referenced proposal to subdivide approximately 620 acres of land into 11 lots (and “various tracts”) for an industrial park. This letter updates my June 26, 2018 and July 31, 2018 letters to include our review of the referral information provided.

Water Supply Demand

A Technical Memorandum by FEI Engineers dated May 22, 2018 estimates the water demand for this subdivision is 49.46 AF/yr of potable water, 101.39 AF/yr of non-potable irrigation water and 0.552 AF/yr of potable fire suppression water, for a total estimated water demand of 151.4 AF/yr.

Source of Water Supply

Information in the submittals indicates that proposed water supply will be from a new metropolitan district (“district”) that has not yet been formed. The district’s proposed sources of water are the Denver Basin bedrock aquifers. The submittal indicates that the pending Determination of Water Rights application will be changed to include the entire 620 acre property and the existing Determination of Water Rights nos. 3546-BD, 3547-BD, 3548-BD and 3549-BD will be cancelled.

A review of our files finds that Determination of Water Rights nos. 3546-BD, 3547-BD, 3548-BD and 3549-BD for the Laramie-Fox Hills, Lower Arapahoe, Upper Arapahoe, and Denver aquifers respectively underlying a 470 acre portion of the 620 acre property have been issued to Rail Land Company, LLC and there are pending applications to cancel these Determination of Water Rights. There are also pending applications by Rail Land Company, LLC (receipt nos. 3687235 A-D) for Determinations of Water Rights for these same aquifers underlying the entire 620 acres property. These are the basis of the proposed legal sources of water to the district.

As required by §30-28-136(1)(h)(II), C.R.S., a report from the municipality or quasi-municipality (i.e. the proposed new district) documenting the amount of water that can be supplied to the subdivision must be provided. The report should contain the following:



- i. A summary of the water rights owned and controlled by the district, including documentation of ownership or control of those rights. The district should provide a copy of the deed transferring ownership of the rights claimed, or a copy of the agreement with owner.
- ii. The uses allowed by each of the rights.
- iii. The area on which each of the rights may be used.
- iv. Identification of any other commitments for water the district will have in addition to the estimated demands for water by this subdivision.
- v. A map of the district's service area.

The above information should be provided in a manner that demonstrates that the district has sufficient physical and legal water resources to meet its commitments in terms of an overall water supply, considering annual and longer term availability. The report should address Adams County's 300 year water allocation approach.

In addition, a written commitment of service from the district must be provided referencing the name of the subdivision as submitted to the county and a level of commitment in terms of uses to be served and/or water requirement.

It appears the above report and written commitment of service cannot be provided until the district has been created and been conveyed the water rights it will use to supply its customers.

State Engineer's Office Opinion

Based upon the above and pursuant to §30-28-136(1)(h)(I) and §30-28-136(1)(h)(II), C.R.S., it is our opinion that the proposed water supply is not adequate and cannot be provided without causing injury to decreed water rights.

Please inform the applicant that the required reports and other information as described above should be submitted to the county, and the county is to then forward the information to this office for further review and comment.

Should you or the applicant have any questions, please contact Ailis Thyne at (303) 866-3581 x8216.

Sincerely,



Keith Vander Horst, P.E.
Chief of Water Supply, Basins

KVH/AAT



COLORADO
Division of Water Resources
Department of Natural Resources

John W. Hickenlooper
Governor

Robert Randall
Executive Director

Kevin G. Rein, P.E.
Director/State Engineer

November 14, 2018

Greg Barnes
Adams County Community & Economic Development Department
Transmitted via email:
GJBarnes@adcogov.com

RE: Rocky Mountain Rail Park Subdivision (PRC2018-00006)
Part of the E1/2 of Sections 23, 26, and NE1/4 of Section 35, T3S, R64W, 6th P.M.,
Lost Creek Designated Ground Water Basin
Water Division 1, Water District 1

Dear Mr. Barnes:

We have reviewed your November 2, 2018 submittal concerning the above referenced proposal to subdivide approximately 620 acres of land into 11 lots (and "various tracts") for an industrial park. This office previously commented on the proposal in a letters dated June 26, 2018, July 31, 2018 and September 20, 2018. The new information in the November 2, 2018 submittal indicates the new metropolitan district will be formed in early December 2018. The comments from the attached letter dated September 20, 2018 are still valid.

Should you or the applicant have any questions, please contact Ailis Thyne at (303) 866-3581 x8216.

Sincerely,

Keith Vander Horst, P.E.
Chief of Water Supply, Basins

KVH/AAT





COLORADO
Division of Water Resources
Department of Natural Resources
Colorado Ground Water Commission

April 18, 2019

Greg Barnes
Adams County Community & Economic Development Department
Transmitted via email:
GJBarnes@adcogov.com

RE: Rocky Mountain Rail Park Subdivision (PRC2018-00006)
Part of the E1/2 of Sections 23, 26, and NE1/4 of Section 35, T3S, R64W, 6th P.M.,
Lost Creek Designated Ground Water Basin
Water Division 1, Water District 1

Dear Mr. Barnes:

We have reviewed your March 26, 2019 submittal concerning the above referenced proposal to subdivide approximately 620 acres of land into 11 lots (and “various tracts”) for an industrial park. This office previously commented on the proposal in a letters dated June 26, 2018, July 31, 2018, September 20, 2018, November 14, 2018 and January 3, 2019.

Water Supply Demand

A Technical Memorandum by FEI Engineers dated May 22, 2018 estimates the water demand for this subdivision is 49.46 AF/yr of potable water, 101.39 AF/yr of non-potable irrigation water and 0.552 AF/yr of potable fire suppression water, for a total estimated water demand of 151.4 AF/yr.

Source of Water Supply

The proposed water supplier is the Rocky Mountain Rail Park Metropolitan District (“District”). The new information submitted indicates the District was approved by the Board of the County Commissioners and in the November election and the order by Adams County District Court approving the District is awaiting approval. The District’s proposed sources of water are the Denver Basin bedrock aquifers. The submittal indicates that the Determination of Water Rights nos. 3625-BD, 3626-BD, 3627-BD and 3628-BD is the proposed source of water for the District. The applicant has submitted draft deeds for transferring the water rights from Rail Land Company, LLC to the District once the District has officially been formed. The District’s boundaries are the 620 acres associated with the Determination of Water Rights nos. 3625-BD, 3626-BD, 3627-BD and 3628-BD and the District will have no additional commitments beside the commitments for this subdivision.

Determination of Water Rights nos. 3625-BD, 3626-BD, 3627-BD and 3628-BD were issued for the Laramie-Fox Hills, Lower Arapahoe, Upper Arapahoe, and Denver aquifers respectively underlying the 620 acre property to Rail Land Company, LLC for the uses of domestic, livestock watering, irrigation, commercial, replacement, recreation, industrial, mechanical and fire protection.



Table 1 below shows the amount of water in the Determination of Water Rights for a 100 year and 300 year allocation approach.

Table 1

Aquifer	Determination of Water Right	Based on 100 year allocation approach	Based on 300 year allocation approach
Denver (NNT 4%)	3628-BD	208.6	69.53
Upper Arapahoe (NT)	3627-BD	105.3	35.1
Lower Arapahoe (NT)	3626-BD	52.8	17.6
Laramie-Fox Hills (NT)	3625-BD	142.8	47.6
Total		509.5	169.83

In the Adams County Development Standards and Regulations, Effective April 15, 2002, Section 5-04-05-06-04 states:

“Prior to platting, the developer shall demonstrate that...the water supply is dependable in quantity and quality based on a minimum useful life of three-hundred (300) years. A minimum 300-year useful life means the water supply from both a static and dynamic basis will be viable for a minimum 300-year period. The static analysis shall include evaluation of the volume of water that is appropriable for the proposed subdivision. The dynamic analysis shall evaluate whether the appropriable water supply is sustainable for three-hundred (300) years, giving consideration to the location and extent of the aquifer, as well as impacts caused by both current and future pumping by others from the aquifer.”

The State Engineer’s Office does not have evidence regarding the length of time for which this source will be “dependable in quantity and quality.” However, treating Adam County’s requirement as an allocation approach based on three hundred years, the allowed average annual amount of withdrawal of 509.5 acre-feet/year would be reduced to one third of that amount, or 169.83 acre-feet/year. The State Engineer’s Office has no comment on the quality of the water supply or the required ‘dynamic analysis’ to evaluate whether the appropriable water supply is sustainable for three hundred years.

State Engineer’s Office Opinion

Based upon the above and pursuant to Section 30-28-136(1)(h)(I) and Section 30-28-136(1)(h)(II), C.R.S., it is our opinion that the proposed water supply is adequate and can be provided without causing injury to decreed water rights **on the condition the District is formed, the Determination of Water Rights Nos. 3625-BD, 3626-BD, 3627-BD and 3628-BD are transferred to the District as described in the referral information and a written commitment of service from the District be provided referencing the name of the subdivision as submitted to the county and a level of commitment in terms of uses to be served and/or water requirement.**

Our opinion that the water supply is adequate is based on our determination that the amount of water required annually to serve the subdivision is currently physically available, based on current estimated aquifer conditions.

Our opinion that the water supply can be provided without causing injury is based on our determination that the amount of water that is legally available on an annual basis, according

to the statutory allocation approach, for the proposed uses on the subdivided land is greater than the annual amount of water required to supply existing water commitments and the demands of the proposed subdivision.

Our opinion is qualified by the following:

The Ground Water Commission has retained jurisdiction over the final amount of water available pursuant to the above-referenced decree, pending actual geophysical data from the aquifer.

The amounts of water in the Denver Basin aquifer, and identified in this letter, are calculated based on estimated current aquifer conditions. For planning purposes the county should be aware that the economic life of a water supply based on wells in a given Denver Basin aquifer may be less than the 100 (or 300) years used for allocation due to anticipated water level declines. We recommend that the county determine whether it is appropriate to require development of renewable water resources for this subdivision to provide for a long-term water supply.

Should you or the applicant have any questions, please contact Ailis Thyne at (303) 866-3581 x8216.

Sincerely,

A handwritten signature in black ink that reads "Keith Vander Horst". The signature is written in a cursive, flowing style.

Keith Vander Horst, P.E.
Chief of Water Supply, Basins

KVH/AAT

COLORADO GEOLOGICAL SURVEY

1801 19th Street
Golden, Colorado 80401



Karen Berry
State Geologist

June 22, 2018

Greg Barnes
Adams County Community and Economic Development
4430 S. Adams County Parkway, Suite W2000A
Brighton, CO 80601-8216

Location:
E½ Sections 23 and 26,
and NE¼ Section 35,
T3S, R64W, 6th P.M.
39.7674, -104.5126

**Subject: Rocky Mountain Rail Park
Comp Plan Amendment, Rezoning to PUD, Major Subdivision Preliminary Plat, and PDP
Case Number PRC2018-00006; Adams County, CO; CGS Unique No. AD-18-0016**

Dear Mr. Barnes:

Colorado Geological Survey has reviewed the Rocky Mountain Rail Park referral. I understand the applicant proposes eleven industrial and commercial lots with rail access on approximately 620 acres located west of Peterson Road, north and south of Colfax, east of Front Range Airport. With this referral we received a request for CGS's review (May 24, 2018), a Project Explanation (Enertia Consulting Group, May 24, 2018), sheets 1 and 2 of the PUD plans (Enertia, May 23, 2018), and a site plan sheet for the Comprehensive Plan Amendment, Subdivision-Major/Preliminary, and Zoning Map Amendment applications (Enertia, May 22, 2018). We understand a new metro district will be created for water and sanitation.

The site does not contain, nor is it exposed to, any geologic hazards that would preclude the proposed industrial/commercial uses and density. **CGS therefore has no objection to approval of eleven-lot subdivision as proposed.**

Mineral resource potential. According to the Atlas of Sand, Gravel, and Quarry Aggregate Resources, Colorado Front Range Counties (Schwochow et al, Colorado Geological Survey Special Publication 5-B, 1974, Manila Quadrangle), the property is **not** mapped as containing a sand, gravel, or aggregate resource. Approximately the southwestern one-third of the site is located within the northeastern area of the Watkins lignite seam as mapped in Kirkham, R.M., 1978, The Watkins Lignite Seam, Adams and Arapahoe Counties, Colorado: Colorado Geological Survey, Open-File Report OF-78-6, scale 1:50,000. The maximum thickness of the lignite seam is approximately 20 feet at the southeastern corner of the property, pinches out toward the northeast, and ranges from approximately 60 to 100 feet below the ground surface. Since the Union Pacific corridor crosses this portion of the site, and the lignite is at a relatively shallow depth where extraction would almost certainly cause subsidence damage at the surface, it is highly unlikely that the lignite would ever be mined. However, a determination regarding whether lignite in general, or this lignite seam specifically, constitutes an economically viable mineral resource is outside the scope of CGS review.

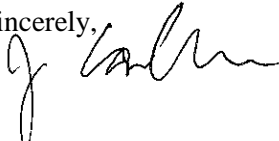
Soil/bedrock engineering properties. According to available geologic mapping, the site is underlain by wind-deposited fine sands, silt and clay. Wind-deposited soils, especially those containing soluble calcareous minerals, tend to be loose, fine-grained, and compressible/hydrocompactive, meaning they can lose strength, settle, compress, or collapse under a structural load and/or when water infiltrates the deposits. Thick columns of compressible or collapsible soils can result in very significant settlement and structural damage. Depending on their clay content, these soils can also exhibit shrink/swell (volume changes in response to changes in water content).

Greg Barnes
June 22, 2018
Page 2 of 2

Site-specific geotechnical investigations and analysis will be needed, once building locations are identified on each lot, to determine depths to bedrock and seasonal groundwater levels, and to characterize soil and bedrock engineering properties such as density, strength, and swell/consolidation potential for use in design of foundations, floor systems, subsurface drainage, and pavements.

Thank you for the opportunity to review and comment on this project. If you have questions or require additional review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jill Carlson', with a stylized, cursive script.

Jill Carlson, C.E.G.
Engineering Geologist

Greg Barnes

From: Jill Carlson [carlson@mines.edu]
Sent: Thursday, September 13, 2018 9:27 AM
To: Greg Barnes
Subject: RE: Resubmittal Rocky Mountain Rail Park (PRC2018-00006)

Hi Greg,

The Rocky Mountain Rail Park resubmittal documents do not include any response from the applicant to our 6/22/2018 review letter (which is fine because our comments were advisory only), and no geologic or geotechnical information, just a Roadway Observations report by Ground Engineering (August 8, 2018).

CGS has no objection to approval of the comp plan amendment, PUD, plat, and PDP as proposed.

Thanks,
Jill Carlson

Engineering geologist
Land Use Review Program
[Colorado Geological Survey](#)
1801 19th Street ([map](#))
Golden, CO 80401
carlson@mines.edu
303-384-2643

From: Greg Barnes [GJBarnes@adcogov.org]
Sent: Tuesday, September 11, 2018 4:24 PM
To: Greg Barnes
Subject: Resubmittal Rocky Mountain Rail Park (PRC2018-00006)

Case Name: Rocky Mountain Rail Park
Case Number: PRC2018-00006

The Adams County Planning Commission is requesting comments on the following resubmittal of applications: **1) Comprehensive Plan Amendment; 2) Rezoning to Planned Unit Development; 3) Major Subdivision Preliminary Plat to create 11 lots and various tracts; 4) Preliminary Development Plan to create an industrial park.**

This request is located on approximately 620 acres of land. The property is located just east of the Front Range Airport, and west of the intersection of Colfax Avenue and Petterson Road. A map has been included. The Assessor's Parcel Numbers are 0181700000289, 0181700000108, and 018170000290.

Applicant Information: RMR Industrials, Inc.
4601 DTC Blvd., #120
Denver, CO 80237

All comments must be received by 09/27/2018 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim, please send your response by way of e-mail to GJBarnes@adcogov.org.

You are receiving this e-mail because you had previous comments on this case. Thank you for your review of this case.

Greg Barnes

From: Brooks Kaufman [BKaufman@Irea.Coop]
Sent: Friday, June 01, 2018 8:57 AM
To: Greg Barnes
Subject: RE: For Review: Rocky Mountain Rail Park (PRC2018-00006)

Mr. Barnes;

We have received the above-referenced referral request. We have reviewed our records, and find that this property is not in our service territory.

Brooks Kaufman
Lands and Rights of Way Director
5496 N. US Hwy 85
Sedalia, CO 80135
Direct : 720.733.5493
Cell : 303.912.0765
bkaufman@irea.coop



From: Greg Barnes [<mailto:GJBarnes@adcogov.org>]
Sent: Thursday, May 24, 2018 4:32 PM
To: Greg Barnes
Subject: For Review: Rocky Mountain Rail Park (PRC2018-00006)

Request for Comments

Case Name: Rocky Mountain Rail Park
Case Number: PRC2018-00006

May 24, 2018

Greg Barnes

From: Brooks Kaufman [BKaufman@Irea.Coop]
Sent: Friday, September 21, 2018 10:50 AM
To: Greg Barnes
Subject: RE: Resubmittal Rocky Mountain Rail Park (PRC2018-00006)

Dear Mr. Barnes;

We have received the above-referenced referral request. We have reviewed our records, and find that this property is not in our service territory.

Respectfully

Brooks Kaufman
Lands and Rights of Way Director
5496 N. US Hwy 85
Sedalia, CO 80135
Direct : 720.733.5493
Cell : 303.912.0765
bkaufman@irea.coop



From: Greg Barnes [<mailto:GJBarnes@adcogov.org>]
Sent: Tuesday, September 11, 2018 4:24 PM
To: Greg Barnes
Subject: Resubmittal Rocky Mountain Rail Park (PRC2018-00006)

CAUTION:

This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Case Name: Rocky Mountain Rail Park
Case Number: PRC2018-00006

The Adams County Planning Commission is requesting comments on the following resubmittal of applications: **1) Comprehensive Plan Amendment; 2) Rezoning to Planned Unit Development; 3) Major Subdivision Preliminary Plat to create 11 lots and various tracts; 4) Preliminary Development Plan to create an industrial park.**

This request is located on approximately 620 acres of land. The property is located just east of the Front Range Airport, and west of the intersection of Colfax Avenue and Petterson Road. A map has been included. The Assessor's Parcel Numbers are 0181700000289, 0181700000108, and 018170000290.

WEST ADAMS CONSERVATION DISTRICT
Serving portions of Adams, Broomfield, Denver, and Weld Counties
57 West Bromley Lane
Brighton, CO 80601
303-659-0525
westadamscd@gmail.com, www.westadamsCD.com

Date: June 28-2018

To: Mr. Greg Barnes, Case Manager
Department of Community and Economic Development
4430 South Adams County parkway, Suite W200A Brighton, CO 80601-8216

Re: Case Number: Rocky Mountain Rail Park
Case Name: PRC2018-00006

Dear Mr. Barnes,

The West Adams Conservation District is in receipt of the above referenced project request for comments.

According to the attached map and information this is consistent with the surrounding area. Therefore the requirements of the Adams County Development Standards and Regulations will apply for this new Planned Unit Development.

Depending on the slope of the existing terrain it would be nice to know where the developed flows of this 620 acres will drain. The assumption is that no surrounding area will be affected. The county standards should be followed for the placement of slit fence for erosion protection.

In the future could the county please provide a topographic map along with these transmittal's

The District is concerned with weed control, so we are asking that the disturbed areas be reseeded back with native grasses that are best suited for this area, and spraying the weeds take place as needed.

Thank you for submitting this for our review and comment.

Bob Olivier
Director with WACD



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571.3284
donna.l.george@xcelenergy.com

June 6, 2018

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Greg Barnes

Re: Rocky Mountain Rail Park, Case # PLN2018-00017

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the preliminary plat, comprehensive plan amendment, and rezone documentation for **Rocky Mountain Rail Park Metropolitan District**. To ensure that adequate utility easements are available within this development, PSCo requests that the following language or plat note be placed on the preliminary and final plats for the subdivision:

Minimum ten-foot (10') wide dry utility easements are hereby dedicated on private property abutting all public streets, and around the perimeter of each commercial/industrial lot in the subdivision or platted area. These easements are dedicated to Adams County for the benefit of the applicable utility providers for the installation, maintenance, and replacement of electric, gas, television, cable, and telecommunications facilities (Dry Utilities). Utility easements shall also be granted within any access easements and private streets in the subdivision. Permanent structures, improvements, objects, buildings, wells, (Interfering Objects) shall not be permitted within said utility easements and the utility providers, as grantees, may remove any Interfering Objects at no cost to such grantees, including, without limitation, vegetation. Public Service Company of Colorado (PSCo) and its successors reserve the right to require additional easements and to require the property owner to grant PSCo an easement on its standard form.

Public Service Company also requests that **all utility easements be depicted graphically on the preliminary and final plats**, and that the tracts are dedicated for utility use for crossings.

In addition, 31-23-214 (3), C.R.S., requires the subdivider, at the time of subdivision platting, to provide for major utility facilities such as electric substation sites, gas or electric transmission line easements and gas regulator/meter station sites as deemed necessary by PSCo. While this provision will not be required on every plat, when necessary, PSCo will work with the subdivider to identify appropriate locations. This statute also requires the subdivider to submit a letter of agreement to the municipal/county commission that adequate provision of electrical and/or gas service has been provided to the subdivisions.

Please be aware PSCo owns and operates existing electric distribution facilities within the subject property. The property owner/developer/contractor must complete the **application process** for any new electric service, or modification to existing facilities via FastApp-Fax-Email-USPS (go to: https://www.xcelenergy.com/start_stop_transfer/new_construction_service_activation_for_builders). It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. While these easements may accommodate certain utilities to be installed in the

subdivision, some additional easements may be required as planning and building progresses.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center** at 1-800-922-1987 for utility locates prior to construction.

Please contact me at donna.l.george@xcelenergy.com or 303-571-3306 if there are any questions with this referral response.

Donna George
Right-of-Way and Permits
Public Service Company of Colorado



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571. 3284
donna.l.george@xcelenergy.com

September 27, 2018

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Greg Barnes

Re: Rocky Mountain Rail Park - 2nd referral, Case # PRC2018-00006

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the second referral documentation for **Rocky Mountain Rail Park** and acknowledges that additional easements will need to be acquired by separate document for new facilities as needed, and that the property owner/developer/contractor is working with the Designer assigned to the project for approval of design details.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center** at 1-800-922-1987 to have all utilities located prior to any construction.

Should there be any questions with this referral response, please contact me at 303-571-3306 or donna.l.george@xcelenergy.com.

Donna George
Right of Way and Permits
Public Service Company of Colorado



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571. 3284
donna.l.george@xcelenergy.com

November 19, 2018

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Greg Barnes

Re: Rocky Mountain Rail Park – 3rd referral, Case # PRC2018-00006

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the third referral documentation for **Rocky Mountain Rail Park** and advises the property owner/developer/contractor to continue working with the Designer assigned to the project for approval of design details, and to work with the Right-of-Way Agent for easements by separate PSCo document.

PSCo also reminds the property owner/developer/contractor to call the **Utility Notification Center** at 1-800-922-1987 to have all utilities located prior to any construction.

PSCo does not need to receive resubmittals for this plan review.

Should there be any questions with this referral response, please contact me at 303-571-3306 or donna.l.george@xcelenergy.com.

Donna George
Right of Way and Permits
Public Service Company of Colorado

Greg Barnes

From: Greg Barnes
Sent: Tuesday, June 19, 2018 9:59 AM
To: Greg Barnes
Subject: Public Comments

Anonymous call received at 9:57 am on Tuesday, June 19th in support of request.



Greg Barnes

Planner II, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

Greg Barnes

From: Walter Bell [bellw@me.com]
Sent: Wednesday, June 06, 2018 9:07 PM
To: Greg Barnes
Subject: Rocky Mountain Rail Park

Mr. Barnes

I looked over the proposal for the development of land adjacent to the Front Range Airport. I have a comment regarding the rail spurs. Front Range Airport Maintains Instrument Landing Systems at each end of the north/south runway. I have a concern about rail cars parked in the vicinity of the runway interfering with the radio signal and would request that you contact the FAA for their input before you approve this PUD.

Sincerely,
Walt Bell

Greg Barnes

From: Funk, Lonnie R NFG NG COARNG (US) [lonnie.r.funk.nfg@mail.mil]
Sent: Friday, June 22, 2018 9:54 AM
To: Greg Barnes
Subject: Watkins-Front Range Industrial Park

After reviewing the letter submitted by Enertia Consulting Group regarding Project Expansion of the Rocky Mountain Rail Park off of E 30th Ave, Manilla Rd, E Colfax Ave. I have the following concerns;

1. Has a comprehensive analysis been conducted by a third party entity to determine both the initial and long term effect on the environment and natural resources due to this action?
2. Has a traffic study been conducted to determine the effect to the local and surrounding communities from this action?
3. Has Adams County taken into account all of the surrounding proposed and/or approved development (residential, commercial, oil exploration, alternative energy) that is expected to take place over the next 1-10 years.
4. Has an accumulative affects analysis been conducted to determine the impact from the proposed action and others?
5. How is this action going to affect parachuting activities at the Front Range Airport?
6. How is this action going to affect rail movement of military equipment in and out of the Front Range Airport?
7. What security measures will be utilized to ensure that there will not be an increase, to surrounding entities, in vandalism and theft?

It seems to me that the Colorado Division of Water is allowing anyone and everyone to utilize water from the various aquifers in this area without completely determining the future impact. There are already major developments being allowed to create their own water district for water and sanitation without determining the accumulative affects from their actions.

Adams and Arapahoe county should be working together to ensure that all future development in and around this area has as little of an impact as possible to the environment, natural resources and local communities.

Sincerely,
Lonnie Funk
Conservation Manager, NEPA Coordinator
Department of Military and Veterans Affairs

Greg Barnes

From: Rhonda Hattar [ronka16@yahoo.com]
Sent: Thursday, June 21, 2018 9:46 AM
To: Greg Barnes
Subject: Rocky mountain rail park at Hwy 36/Manila-Peterson Rd, Bennett

I am writing to express concern about the proposed industrial park (Rocky Mountain Rail Park) on Hwy 36 between Manila Rd and Peterson Rd. While part of the development is bounded by the Front Range Airport, homes are across the street in very close proximity to the development. Since the area is in an unincorporated area, I am concerned that the developers will not consider impacts on these homes. In particular, lighting of Warehouse areas can be problematic. I am asking that the developers building plans be required to meet stringent lighting requirements, including limits on the amount of light, lights with all with reflectors pointing down, and with only the minimum of necessary lighting. These requirements are already in place for warehouses that are near homes in incorporated city areas, and I am asking that the neighbors in Bennett be treated with equal consideration. In more rural areas, there is a misperception that lighting concerns are not as important, however, I would argue that the flat topography of our region and the lack of other buildings actually makes light pollution from a warehouse here have even larger impacts. A warehouse with lights that are not directed and shaded downward, for instance, can and does unpleasantly pollute the night sky for miles.

Thank you for your consideration of this important issue.

Sincerely,
Rhonda Hattar
Bennett, Colorado

Greg Barnes

From: Bill Hauet [bill.hauet@gmail.com]
Sent: Tuesday, June 12, 2018 1:48 PM
To: Greg Barnes
Subject: ROCKY MTN RAIL YARD

I OWN A TRACT IN THE SUBDIVISION THAT THE PROPOSED RAIL YARD THAT IS GOING TO BE DEVELOPED.I HAVE CONCERNS ABOUT THE WHOLE PROJECT.HAS ANY THOUGHT BEEN GIVEN ABOUT HOW THE RAIL YARD WILL EFFECT OUR SUBDIVISION. WHAT WILL HAPPEN TO OUR PROPERTY VALUES. THE TRAFFIC,NOISE AND A INDUSTRIAL PARK WILL DESTROY THE QUIET LIFE WE MOVED OUT HERE FOR. THE OTHER CONCERN I HAVE IS ABOUT THE SIX COMMERCIAL WELLS BEING DRILLED ON THE SOUTH SIDE OF HWY36 ON OUR SIDE OF THE HWY. HOW WILL THAT NOT EFFECT OUR WATER TABLE. WATER IS A BIG ISSUE OUT HERE AND YOU CAN'T TELL ME THAT SIX COMMERCIAL WELLS WILL NOT EFFECT US..I AM NOT IN ANY FAVOR OF THE REZONING TO CREATE A INDUSTRIAL PARK.

WHEN YOUR STAFF WRITTEN REPORT IS MADE I WOULD LIKE YOU TO FORWARD ME A COPY.

THANK YOU
WILLIAM HAUET
41420 US HWY 36
BENNETT CO 80102

Greg Barnes

From: Amber Lopez [all.allsmiles@hotmail.com]
Sent: Friday, June 22, 2018 12:34 PM
To: Greg Barnes
Subject: Rocky Mountain Rail Park (PRC2018-00006)

Dear Greg,

I am writing to you with comments in regard to the Rocky Mountain Rail Park (PRC2018-00006). During the community meeting that was held at Front Range Airport we were told there would be one access point off of Manila, to eliminate an increase of traffic in surrounding areas, and that there may be a second one off of Peterson for emergency vehicles only. In the Phasing Plan and Tract Development you sent out, page 2 of 4, it shows 3 access points. I am concerned about the increase of traffic. We were told, that when the dump went in, to the north on 88th, that dump traffic would be routed on Imboden only. We have dealt with with dump traffic on a regular basis going down Peterson and 48th. We have contacted people about speed limit signs and about the routing issue with the dump traffic, with no results. It is a concern how the traffic will increase in the area as a result of this development, and whether any agreements that are reached will actually be honored.

The gentlemen, who spoke up at Front Range public meeting, responded to a question regarding water consumption, that the businesses going in would have low water use, only for the restrooms or kitchens in their facility. He later stated that one of the businesses interested would be concrete preforms. I don't believe that is minimal water use. I have not researched the exact quantity but am pretty certain that it takes water to make concrete. He went on to say the developers owned adjudicated water rights to 4 aquifers. I am concerned about the water level being depleted to the point that it drops below our own well, and that we will not have the funds to drill as deep as the development because our pockets are not that deep. I would also like to know how the water being removed is monitored to be sure that they are not using our own water, which we have adjudicated water rights to, below surrounding properties. Denver currently practices a form of buy and dry on some Colorado farms in order to get water. I am concerned that this development could be about water or that it might not be taking the limited water into mind. Have the developers spoken to surrounding water boards about their water usage/intent? I am also concerned about the sanitation and storage ponds, what exactly are the detention ponds for? Will there be emissions such as dust or light or smell from any of the businesses on the property. For example, will there be particulates released as part of the concrete preform business. In closing I feel like we already have a commerce city and that by bringing this particular type of development to the area, it will just be a type of industrial urban sprawl. We would far rather see Adams County and Front Range continue to use the area for entertainment as they have previously done. In the very least for businesses who will not consume large amounts of water.

Sincerely,
Amber Lopez
Unincorporated Adams
all.allsmiles@hotmail.com

SAUDER

2526 N Peterson Rd
Bennett, CO 80102

720-717-1216
kksauder@gmail.com

June 7, 2018

Greg Barnes, Case Manager
Adams County Planning Commission
4420 South Adams County Parkway
1st Floor, Suite W2000B
Brighton, CO 80601-8218

RE: Rocky Mountain Rail Park (PRC2018-00006)

Dear Mr. Barnes,

We recently received a request for comments regarding four applications from RMR Industrials, Inc. for the proposed Rocky Mountain Rail Metropolitan District (the District). We have reviewed the documents included with the request, as well as the Service Plan available through the Adams County website. I, Katherine, also attended the informational meeting that Rocky Mountain Resources held on February 27, 2018 at the Front Range Airport, and spoke to Ms. Amy Mohr, Vice President of Human Capital, by phone on March 1, 2018. We have a number of concerns about what is proposed, and request that the Adams County Planning Commission consider our comments during their review of these applications.

First, we would like the Planning Commission to be aware that there are residential neighbors who will be affected by the proposed District. While the RMR application correctly states that the two parcels of interest are currently used for farming and are vacant, it neglects to mention (or even include on the maps) the 13 residential properties on the eastern side of Parcel 2 (see attached **Figure 1**). Each of those properties are approximately 5 acres and all are currently occupied by residents. We live at the western-most property, which will be bound by the District to the south, west, and (across E Colfax) north (see attached **Figure 2**). As such, we will be practically surrounded by the District, and our property and quality of life will be affected by the proposed development.

We are specifically concerned with RMR Industrials' plans for Parcel 2. According to their application, two water storage tanks, a director's plot, six water wells, a water treatment facility, and a detention pond will be located in the north east section of the parcel (see attached **Figure 3**). These facilities will be located in close proximity to our house; in fact, even though 150 acres comprise Parcel 2, RMR has proposed to place these facilities as close as is possible to our house.

The water storage tanks are currently drawn with a radius of approximately 280 feet, and will be less than 200 feet from our house. They will be a monstrous eyesore, obstruct our western view of open fields and the distant mountains, and will consequently diminish the value of our property. Six water wells are planned for the south side of these water storage tanks, again, in close proximity to our house and our own water well. We are concerned that so many wells that close to our own will compromise our water supply, as well as that of our twelve neighbors. A water treatment facility is planned for the west side of the water storage tanks. It is not clear in the application whether this is the type of facility that will emit noxious odors during water treatment, as with waste water treatment facilities; if so, they will be noticeable at our home. A detention pond is planned for the western side of the water treatment facility, and approximately 1200 feet west from our house. This pond will attract mosquitos that, despite elimination and control efforts that the District may make, will migrate to our property. It will be an annoyance and a health risk given the threat of West Nile Virus and other mosquito-borne illnesses in the area, which is particularly concerning because we have young children and many of our neighbors are elderly.

The ground preparation and construction of all of these water facilities so close to our home is going to create ambient dust and noise that will affect us. Moreover, these proposed facilities will affect surface water flow. The ground where the northeast section of Parcel 2 meets the northwest section of our property is the lowest in this area. During and after heavy rains, water runs and stands in this area, and resulting in a small pond that stretches across both the current wheat field (Parcel 2) and our property. The excavation and grading of land and addition of buildings could adversely affect how surface water gathers on our property, namely by increasing the surface water run-off and creating more standing water on our land. RMR Industries' application includes plans to landscape areas along the edges of Parcel 1, but no plans to landscape areas along the edges of Parcel 2, despite the presence of residential neighbors like us. When I spoke with RMR Industries' employees on February 27 (at the informational meeting) and March 1 (via phone), I was assured that they would include berms and other landscaping to the section of the District that bordered our property. They specifically said that they wanted to be good neighbors. We are disappointed that RMR Industries' has not been true to their word, even in these early stages.

We ask that the Planning Commission require changes to the application and proposed development to minimize the adverse effects on the neighboring residential properties. Specifically, we request that the water facilities be moved away from the residential properties to another area of the section. The property that surrounds Parcel 2 on the west and south is agricultural, with no residential buildings within 3000 feet of the boundaries. In contrast, our home is located just 50 feet from the northeast boundary of Parcel 2. Re-locating the facilities to the southwest would decrease the impact on us and our neighbors, reduce the risk of water shortages, limit noxious smells, prevent the migration of mosquitos to residential areas, avoid unnecessary pooling of water run-off, and diminish the ambient dust and noise.

In sum, we are very concerned with the implications that the proposed Rocky Mountain Rail Park and Metropolitan District holds for us, their only true residential neighbors. Our property, our home, is currently a place of peace, quiet, and rural beauty immensely valued by us and our young children. We moved to this rural property that is surrounded by farmland precisely because we do not want to live amidst commercial industries. While we recognize the value that the proposed development may bring to Adams County, we ask that it not be at the cost of our home and quality of life. Please consider our comments and reject any application that will have such a negative impact on current residents like us.

Please contact us if you require anything further. We request that you forward the staff report to us when it becomes available, and notify us when the public hearing is scheduled so that we can again voice our concerns.

Sincerely,



Keith R Sauder



Dr. Katherine A Sauder

P.S. Below is the family picture that we included in our holiday greeting cards for 2017. This picture was taken in the northwest section of our land, only 30 feet from our house, looking toward the west. If the district and developments are approved as currently proposed, future pictures like this would feature towering water storage tanks and facilities in the background, rather than the Eastern Colorado plains.



Figure 1. Proposed Rocky Mountain Rail Park Metropolitan District Parcels 1 and 2, along with 13 adjacent residential properties

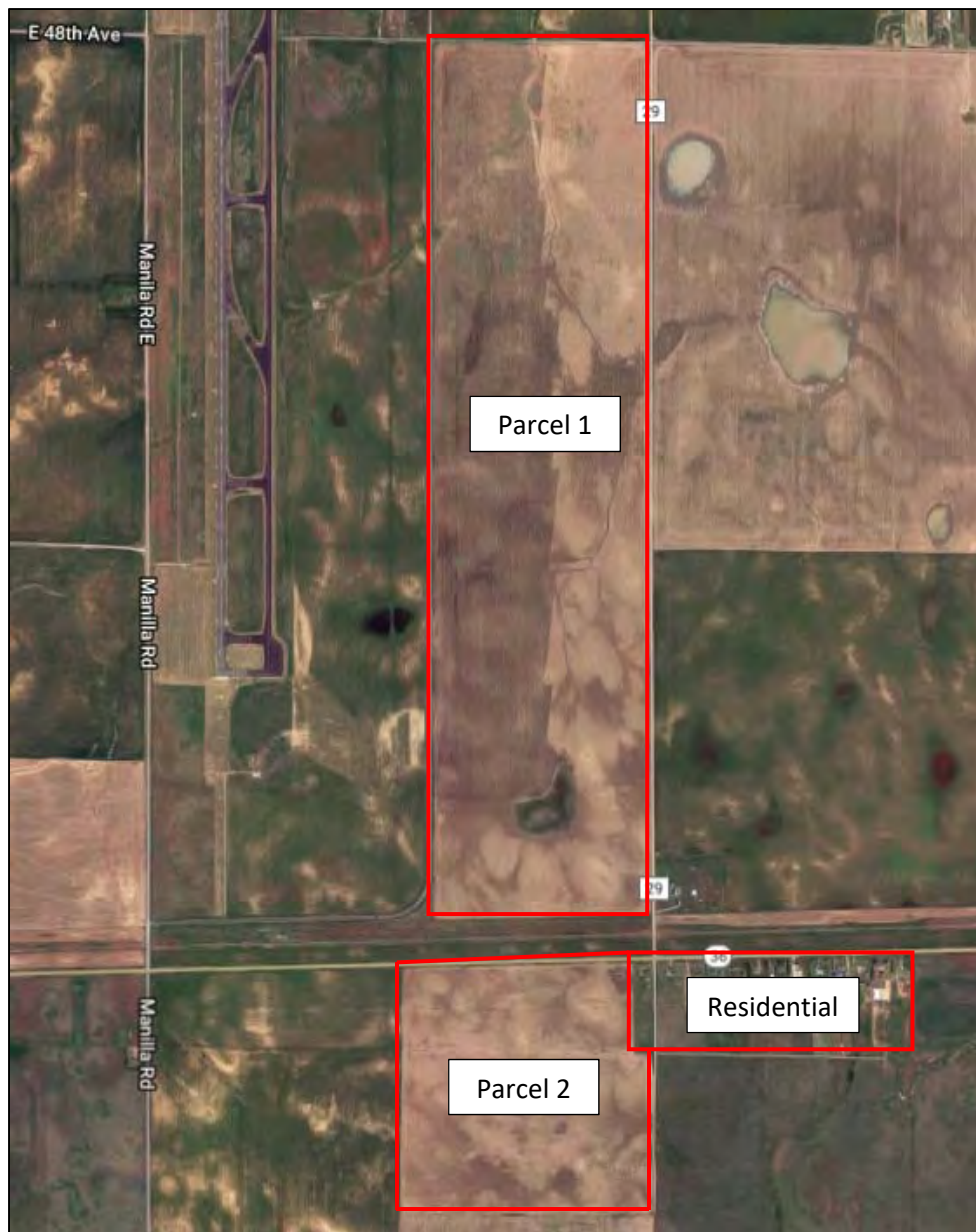


Figure 2. Residential properties adjacent to proposed Rocky Mountain Rail Park Metropolitan District

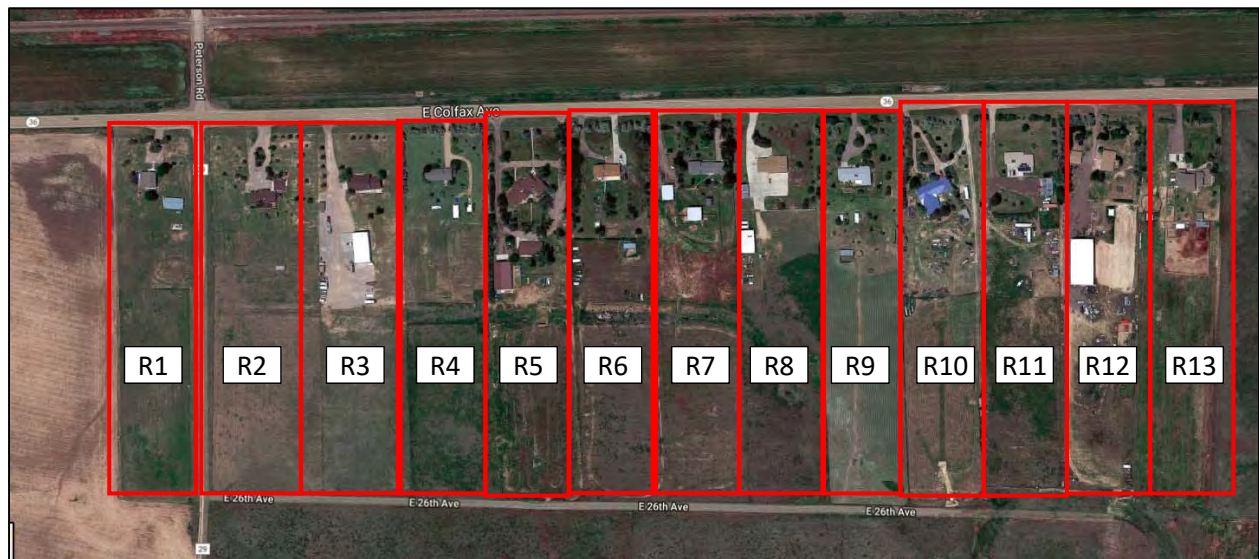
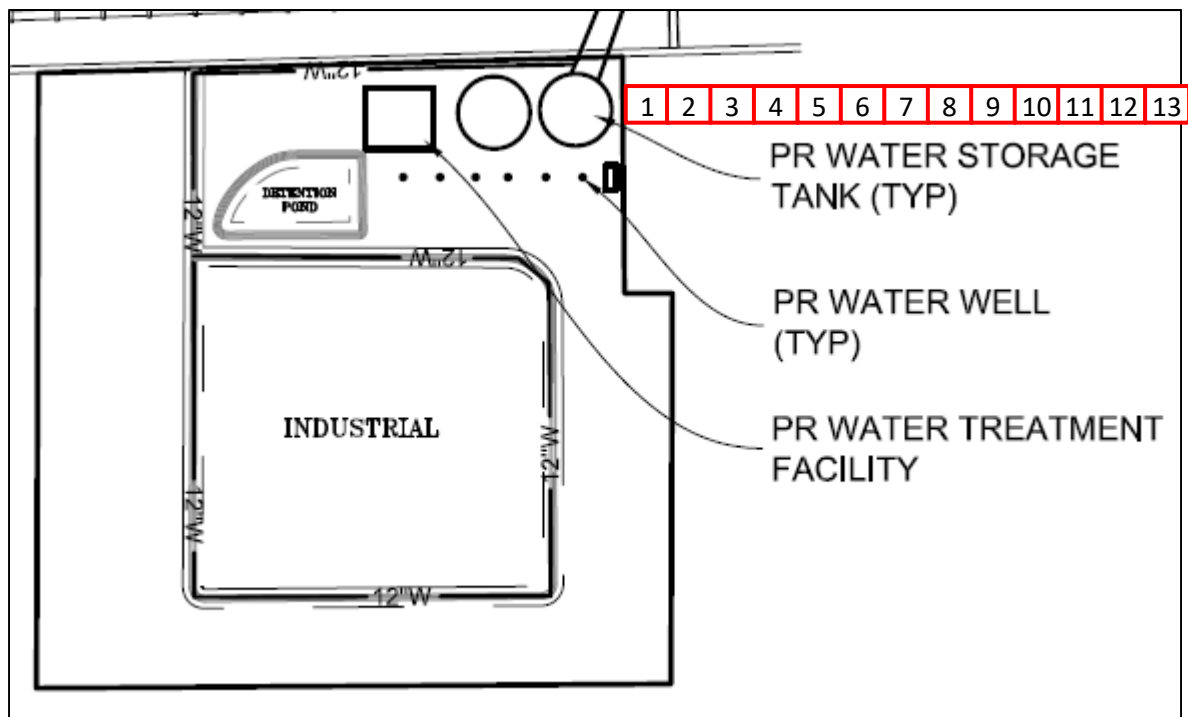


Figure 3. Proposed development for Parcel 2 and neighboring residences.



SAUDER

2526 N Peterson Rd
Bennett, CO 80102

720-717-1216
kksauder@gmail.com

October 7, 2018

Greg Barnes, Case Manager
Adams County Planning Commission
4420 South Adams County Parkway
1st Floor, Suite W2000B
Brighton, CO 80601-8218

RE: Rocky Mountain Rail Park (PRC2018-00006)

Dear Mr. Barnes,

We recently reviewed the Second Submittal for the proposed Rocky Mountain Rail Park (RMRP). We are writing to express appreciation that many of our initial concerns have been addressed, but also now want to draw attention to new concerns that have arisen with the revised proposal.

Our initial concerns focused on the proximity of the South Parcel RMRP water facilities to our home. We are grateful that the County and RMR Industrials has heard these concerns and responded by moving the water facilities to the southeast section of the South parcel. We understand the need for them to remain on the east side of the parcel due to engineering considerations, and agree that the revised location will notably diminish the impact on us and our neighbors. The newly added Tract J will provide a 40-foot landscape buffer around the entire South parcel and will appreciably enhance the area, rather than diminish it. We note that a Director's Parcel is proposed to be located immediately adjacent to the southern border of our property, and are interested in knowing exactly what will be in that location (office building, utility sheds, etc.). Yet, overall, we are pleased with the respect RMR Industrials has shown to their new neighbors, and thank them for mitigating our initial concerns.

The Second Submittal presents a major change to the way that road traffic will enter and exit RMRP. At the February 27, 2018 informational meeting at the Front Range Airport, RMR Industrials representatives stated that all road traffic to/from RMRP would use the Route 70 / Manila Rd / E 30th Ave route. They were clear that their goal was to keep all traffic off of Colfax. The revised plan now states that there will be no access along E 30th Ave; instead, the North Parcel will be accessed via Colfax and Petterson. This change means that RMRP road traffic will pass in close proximity to existing residential properties, much more so than we were initially led to believe. Below we describe the negative impact that we believe this major change will have on us specifically, the only true residential neighbors of the proposed RMRP.

The Kimley-Horn traffic report in the Second Submittal projects that RMRP will “generate approximately 3,170 daily weekday trips, with 470 of these trips occurring during the weekday morning peak hour and 453 trips occurring during the weekday afternoon peak hour.” They estimate that 90% of these trips will use the Colfax/Petterson intersection, resulting in >600 new trips through this intersection each day just during peak hours. The traffic study did not provide current traffic counts for the intersection of Colfax/Petterson for direct comparison. However, we can use the current traffic counts from the Colfax/Manila intersection to estimate the Colfax/Petterson intersection, because all vehicles that enter the Colfax/Manila intersection from the east or exit to the east must also travel through the Colfax/Petterson intersection (with the only exception of vehicles entering/exiting our driveway, which is located ~75 feet to the west of the Colfax/Petterson intersection on the south side of Colfax). While living here for 4 years, we have observed that the majority of current traffic at the Petterson/Colfax intersection travels exclusively on Colfax (i.e., does not enter or exit Petterson). We use these personal observations and the Kimley-Horn report to estimate in the table below how much road traffic passing directly in front of our house will increase as a result of RMRP.

Direction of travel	Current traffic estimated from Manila/Colfax intersection counts am (pm)	New RMRP traffic per Kimley-Horn am (pm)	% increase am (pm)
Westbound Colfax from intersection with Petterson (all entry paths)	90 (50)	61 (235)	67% (470%)
Southbound Petterson to Westbound Colfax only	23 (13) <i>[25% of above]</i>	50 (232)	217% (1784%)
Eastbound Colfax to intersection with Petterson (all exit paths)	28 (93)	256 (72)	914% (77%)
Eastbound Colfax to Northbound Petterson only	7 (23) <i>[25% of above]</i>	64 (18)	914% (78%)
Total vehicles passing in front of our house during peak hours	118 (143)	317 (307)	269% (215%)

We estimate RMRP will increase the number of vehicles passing in front of our house just during peak hours by 200-300%. This will make entering or exiting our driveway more challenging for us and our guests. This increase in traffic brings safety concerns, as there are currently no barriers (no fences or guardrails, only some trees) separating our property and the road. We also note that the Bennett 29J school district bus pick-up/drop-off for our children is where our driveway meets Colfax, and this occurs during morning and afternoon peak traffic hours. The increased traffic flow will likely affect this bus stop, and will be affected by it. We estimate that the number of vehicles traveling southbound on Petterson toward Colfax will increase more than 17-fold during peak hours. We suspect that traffic at non-peak hours will also increase, though to a lesser degree than during peak hours. Again, as there is no barrier except some trees between our house and this intersection, all of the RMRP traffic entering this intersection from the north will shine lights into our windows and send noise into our home. The landscaping and berms

proposed for Tracts B, G, and I will substantially reduce the impact of new train noise and lights on us and our neighbors, but will not reduce the impact of new road noise and lights.

Based on the projected new traffic to the Colfax/Peterson intersection, Kimley-Horn is recommending three new lanes on Colfax: one right turn deceleration lane for vehicles turning from westbound Colfax to northbound Petterson, one acceleration lane for vehicles turning from southbound Petterson to westbound Colfax, and one left turn deceleration lane for vehicles turning from eastbound Colfax to northbound Petterson. The latter two recommendations will result in the two-lane road immediately in front of our home becoming a four-lane road. The report does not specify how this road will be widened; e.g., will the additional lanes be on the south side of Colfax (where our home is), on the north side (where the Union Pacific Railroad land is farmed), or a combination? We understand that Adams County has an easement along county roads that allows them to expand the road as needed, even onto private property. If this easement is used, it will bring the road and increased traffic even closer to our home. We know that the traffic recommendations are meant to reduce congestion and facilitate road transit, but we believe that twice as many travel lanes carrying three times as many vehicles that are potentially even closer to our house will negatively impact our safety and transit to/from our own home.

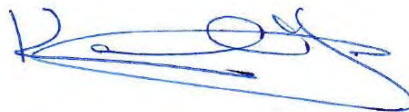
In sum, we appreciate the efforts RMR Industrials has made to mitigate initial concerns voiced by us and our neighbors. However, the revised road traffic plan elicits even more concerns. As stated in our June 8, 2018 letter to the County, we do recognize the value that the proposed development may bring to Adams County, but we ask that it not be at the cost of our home and quality of life. Please consider our comments and reject any application that will adversely affect current residents.

Please contact us if you require anything further. As before, we request that you forward the staff report to us when it becomes available, and notify us when the public hearing is scheduled so that we can publically express our concerns.

Sincerely,



Keith R Sauder



Dr. Katherine A Sauder

Greg Barnes

From: Keith & Kate Sauder [kksauder@gmail.com]
Sent: Wednesday, June 12, 2019 9:06 PM
To: Matthew Emmens
Cc: Greg Labrie; Greg Barnes
Subject: Re: Rocky Mountain Rail Park (PRC2018-00006)

Please be cautious

This email was sent from outside Adams County

Hi Matt,

Thank you for taking the time to carefully and thoughtfully respond to my email. Your clarification and elaboration is most helpful. I do recognize that this project is in early stages, and I appreciate the County keeping in mind concerns such as these that arise even at this stage. Our intention is to be proactive, speaking up early and often. This is a major development occurring immediately beside our home. The potential impact on us is too great to simply wait and see what unfolds without engaging in the process. We are grateful to live in a country, state, and county where this is possible, and the willingness of County staff to answer our questions has kept us from feeling like we are in the dark.

I would like to ask again about the UP rail crossing on Petterson. I suspect that safety improvements to the crossing will be determined as the project moves forward. How can we best express our request that these improvements be constructed so that the crossing can become a quiet (no train horn) zone, which will help mitigate the impact of increased rail traffic on the current residents?

Thank you again for your time and attention.

Sincerely,
Kate

On Jun 12, 2019, at 3:08 PM, Matthew Emmens <MEmmens@adcogov.org> wrote:

Hello Keith and Sauder,

I'd like to clarify a few items from your first paragraph. The applicant for the Rocky Mountain Rail Park (RMRP) will be required to construct all improvements of the approved Traffic Impact Study (TIS). The study included in the second submittal is not necessarily the officially approved copy, though. That project is in the preliminary stages; the report submitted is sufficient to allow the project to move forward to hearing but, is not officially approved. Changes made by the applicant or, even as a result of the hearings, could require revisions to the report and, to the proposed improvements. Also, I didn't say that a traffic signal is "likely" at the intersection of Petterson Rd and Colfax; I said it's a possible improvement. However, the current TIS does not call for a traffic signal at any of the intersections; the proposed development doesn't meet the warrants for a traffic signal. The improvements that are being proposed at this time are acceleration and deceleration turn lanes on Colfax for the entrances to the south part of this project (south of Colfax) and, at the intersections of Colfax and Manilla Rd, Colfax and Petterson Rd. Those recommendations are subject to change prior to the hearing for the final plat.

As I mentioned, the TIS is not officially approved. At this stage of the application/review process we know the impacts that this project will have and we (the County, Colorado Department of Transportation and, the Developer) are still working out the potential measure to mitigate those

impacts. The final decisions on how to mitigate those impacts generally happens during the final platting stages where the site development and public improvement plans are created, reviewed and officially approved. Your input is welcome and will be considered however, any mitigation measure will need to follow the criteria of the County and State regulations.

Here are my responses to your specific questions:

- 1) The County is aware of your concerns about the increase in traffic; as is the Colorado Department of Transportation (CDOT). As with all developments, the developer will have to mitigate those impacts by constructing infrastructure (roadway) improvements. The TIS studies the roadways and intersections and calculates what is called the Level of Service (LOS) at the intersections. The ratings appear like school grades (A, B, C...F). The LOS is essentially how long someone has to wait at an intersection. LOS A is about 10 seconds or less, LOS D is 25 – 35 seconds. When the projected impact of a project lowers the LOS to a D, Adams County (and most other jurisdictions) require intersection improvements to bring the LOS to a C or higher.
- 2) I am not sure how to respond to your comment/question about school buses. School buses have their own stop signs and, traffic must stop whenever a school bus stops to pick up or drop off kids. So, I'm not seeing a noticeable impact to the school bus operations.
- 3) The County does not have any requirements for a developer to mitigate road noise and headlights. You are welcome to bring up your concerns to the Commissioners at the hearings, though.
- 4) As I mentioned above, the current TIS is requiring acceleration and deceleration turn lanes. That will result in a widening of the streets at the intersections but, it is technically not adding a full lane to the roadways. In this case, the acceleration/deceleration lanes range in length from 800 to 1,000 feet, approximately. The acceleration/deceleration lanes are a mitigation measure for the increased traffic at the intersections. They allow the turning vehicles to get out of the travel lanes so that the straight through traffic is not impeded.

I'd also like to point out that Colfax Ave is a CDOT roadway. CDOT will be the agency that approves and permits the work on Colfax. Petterson Rd is in the City of Aurora's Jurisdiction and, they will be the agency that approves and permits the work on Petterson Rd. In addition, Adams County will also be reviewing all of the proposed improvements to make sure they meet all of our standards and, we will be coordinating with both CDOT and Aurora and ensure those improvements are the correct improvements and, that they are all constructed. I contacted the CDOT Access Manager yesterday and, the developer has met with them and, they have provided preliminary comments. My point being is that there will be several agency's reviewing the roadway improvements for this project.

I'd also like to reiterate, this project is in the early stages. At this stage we are mostly trying to figure out the impacts this development will have on the surrounding area and infrastructure and, if they can be properly mitigated. The final decisions and designs for those mitigation measures has not been done yet. I can say that it appears very likely that the impacts to traffic and the roadways can be mitigated properly.

Sincerely,
Matt Emmens

Senior Engineer, *Community and Economic Development*
ADAMS COUNTY, COLORADO
4430 S. Adams County Parkway, W2000B
Brighton, CO 80601
o: 720.523.6826 | memmens@adcogov.org
www.adcogov.org

From: kasauder@gmail.com [<mailto:kasauder@gmail.com>] **On Behalf Of** Keith & Kate Sauder
Sent: Tuesday, June 11, 2019 9:00 AM
To: Matthew Emmens
Subject: Fwd: Rocky Mountain Rail Park (PRC2018-00006)

Please be cautious

This email was sent from outside Adams County

Hi Matt - please see below. I would appreciate your response in advance of Thursday evening's PC public hearing. For reference, I have attached the letter we submitted months ago in response to the second submittal.

Thanks,
Kate

----- Forwarded message -----

From: **Greg Barnes** <GJBarnes@adcogov.org>
Date: Tue, Jun 11, 2019 at 8:39 AM
Subject: RE: Rocky Mountain Rail Park (PRC2018-00006)
To: Keith & Kate Sauder <kksauder@gmail.com>
Cc: Matthew Emmens <MEMmens@adcogov.org>

Hi Kate,

These questions should really be addressed with Matt. He's the engineer, so these questions fall more into his realm.

<image001.jpg>**Greg Barnes**

Planner III, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

From: Keith & Kate Sauder [mailto:kksauder@gmail.com]
Sent: Sunday, June 09, 2019 4:00 PM
To: Greg Barnes
Subject: Re: Rocky Mountain Rail Park (PRC2018-00006)

Hi Greg,

In the last two weeks, I have spoken to Matt Emmens (sp?) twice and several different people at CDOT in order to gather more details about this project. Matt confirmed that RMR will need to follow the traffic recommendations that were included in the second submission, such as adding a turning lane and acceleration lane in the section of highway 36 that is immediately in front of our house. This will result in the two lane road becoming a four lane road. I also understand from Matt that a traffic light will likely be installed at the Colfax/Petterson intersection. As detailed in our comments submitted on October 7, 2018, we have concerns about the negative impact this will have on us. To date, we have not gotten a response from the County or RMR about our concerns and the plans to address them. Specifically, our concerns previously stated include:

- 1) the negative impact of a 3-fold increase in traffic on twice as many lanes on our ability to enter/exit our driveway, particularly ~50 away from a traffic light
- 2) the impact on the school bus stop for our children where our driveway meets the to-be four lane Hwy 36
- 3) the lack of plans to address road noise, lights, and safety resulting from a 17-fold increase in traffic during peak evening hours heading directly south towards our home from Petterson before heading west on Hwy 36
- 4) the likelihood of the Hwy 36 expansion to the south bringing road traffic even closer to our residence

Two additional questions have arisen in the last few weeks:

- 1) Given the increase in traffic on Hwy 36, including the increase in number of vehicles turning onto or off of Petterson, as well as the anticipated traffic light, can the speed limit in this area be reduced from 55 mph to 45, or lower? This would facilitate the new traffic patterns, as well as increase safety for the residents of Manilla Village.
- 2) The rail crossing on Petterson is currently marked with RR crossing signs, but no lights or barriers. What will be done to this crossing to accommodate the increase in traffic - both road and likely rail traffic, given the nature of the RMRP development? Our request would be that this crossing be improved in terms of safety measures, and that RMR pursue a quiet zone for at least the hours of 10pm-7pm, if not the full day. Again, we expect RMRP to increase rail traffic, and

expect that improvements to the crossing would be required. Making this a quiet zone would attenuate the negative impact on the current residents.

I've been updating my neighbors on this process and am hoping that some show up to the meeting on Thursday to publicly express their concerns. I understand that this is a process, and not all details have been worked out yet. But I would appreciate getting answers to these questions and concerns even now at this preliminary phase.

I would appreciate talking this through with you in advance of the meeting on Thursday. Please call me at 720-717-1216 to discuss.

Thanks,
Kate

On Fri, Jun 8, 2018 at 8:42 AM Greg Barnes <GJBarnes@adcogov.org> wrote:

Hi Kate & Keith,

Thank you for your comments. I will be including the letter in my packet of information provided to the Planning Commission and Board of County Commissioners. I will also provide the applicant with a copy, and Adams County staff will evaluate what options are available for mitigating these impacts for you, if the case does get approved. I will keep you informed on the status of this case, as it moves forward.

<image001.jpg>**Greg Barnes**

Planner II, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

From: Keith & Kate Sauder [mailto:kksauder@gmail.com]

Sent: Thursday, June 07, 2018 9:05 PM

To: Greg Barnes

Subject: Rocky Mountain Rail Park (PRC2018-00006)

Dear Mr. Barnes,

Attached are our comments in response to the proposed Rocky Mountain Rail Park Commercial District. Please confirm receipt, and let us know if you have any questions.

Keith and Kate Sauder

720-717-1216

Greg Barnes

From: James Taylor [jtaylor747sme@gmail.com]
Sent: Saturday, June 02, 2018 4:58 PM
To: Greg Barnes
Subject: PRC2018-00006

I, James Taylor, owner of the property located at 37701 E. 51st Ave, Hangar 1East, Watkins, CO, and operated as BEA Hangars LLC, have no objections to the development of the Rocky Mountain Rail Park. As an airport tenant, I attended a meeting some weeks ago presented by the developer and am familiar with their proposal.

However, I have a question about the maps and property description. If E. 48th Ave runs along the north side of the property and is also the east-west entrance road to Front Range Airport, and my hangar is on E. 51st Street, how can the western boundary of the property in question be a north-south road identified as E. 30th Ave?

Regards,
James Taylor
BEA Hangars LLC
13465 W. 7th Drive
Golden, CO 80401

Greg Barnes

From: David VanDoorn [vandoorn77@yahoo.com]
Sent: Wednesday, June 27, 2018 9:24 AM
To: Greg Barnes
Subject: Rocky Mountain Rail Park

To; Community and Economic Development

From; David & Sandra VanDoorn

We have some very serious concerns about the proposed development. We have owned our home at 41540 US Highway 36 since 2002. We are 1 of 12 other residences in this area. We relocated from Thornton to obtain a better and more peaceful quality of life. Also, within the last 5 years have invested over \$100k in some large improvements such as solar, and a large attractive pole barn.

This proposed project raises 3 major concerns. The intersection of Peterson Road and Colfax is a mere .25mi away from our home. 1) We feel the noise level from trains coupling/uncoupling would be excessive. 2) We feel that the water to support this size development would jeopardize our domestic water well. 3) We feel we would realize a significant decrease in our property values being so close to this type of development. While we don't expect our objections to mean much to the outcome, we did feel it was definitely necessary to voice these concerns. Sincerely, David & Sandra VanDoorn

Greg Barnes

From: Kelly Walters [kelwalters@aol.com]
Sent: Monday, June 18, 2018 5:17 PM
To: Greg Barnes
Subject: Rocky Mountain Rail Park Case #PRC2018-00006

Mr Barnes:

I am an impacted neighbor of the proposed Rocky Mountain Rail Park. I have several concerns regarding this proposal.

We moved to rural Bennett in 2001 to find peace and quiet from city life. As the city life encroaches upon us, I have no delusions of stopping it. However, it is imperative that those that represent us in Adams County seek to minimize the disruption in our lives and homes with incoming commercial and industrial development. We didn't move to an area with these types of properties and then complain. They are surrounding us.

The traffic on Highway 36 (Colfax) has increased tremendously in very recent years. Much of the new traffic is due to semis and large trucks. They routinely disobey the 55 mph speed limit which is huge safety concern. There are some days where I wait quite some time to exit my driveway safely. This rail park will only increase the volume of traffic. What are the county's plans for the large increase in vehicles accessing that road?

I would strongly suggest lowering the speed limit to 45 mph, at least in this affected area, and insist that law enforcement patrol the area on a more regular basis.

We are accustomed to some train noises such as horns and the sounds of the train on the tracks. The tracks existed when we moved here. However, I am concerned that the train noise and volume will also increase greatly. What are your plans to minimize the impact to the homeowners? What is the projected increase in rail use?

The letter regarding the proposal indicated the water for the rail park will be via a well. Which aquifer will it draw from, what will be the depth and how much water is this project estimated to consume? Our wells are precious and any impact to our own necessary use will be quite problematic. If this project diminishes our own water supply, we will want recourse.

Lastly, the information provided was quite vague. I request a more detailed explanation of what types of services the rail park will provide, what vendors will utilize the park for business and what is the expected daily traffic amount (per vehicle, per person). Is there a link to a better graphic that shows the proposed final visual? Will it look like an extension of Commerce City or will they provide a pleasing appearance?

Thank you,
Kelly Walters
41280 Highway 36
Bennett, CO 80102



Kelsey B. Hall
Land & Development Manager
Transport Colorado, LLC
Office: 720-547-9781 ext 105
KHall@TransportColorado.com

June 11, 2019

Greg Barnes
Planner III, Community and Economic Development Dept
Adams County, CO
4430 S. Adams County Parkway, 1st Floor, Suite W2000A
Brighton, CO 80601-8216

Greg,

I, Kelsey Hall, am employed by Transport Colorado, LLC. Transport Colorado is a 6,500-acre mixed-use commercial park located within Adams County and neighbors the proposed Rocky Mountain Rail Park ("RMR") on its eastern and western boundaries. More particularly described in RMR's Preliminary Development Plan as City of Aurora "Vacant".

Transport Colorado is not in opposition of the proposed industrial park by RMR, however, is requesting a continuance of the case hearing. Transport Colorado is currently in its development stages with the City of Aurora and has submitted its own Framework Development Plan for review, along with two Sub-Area Master Development Plans. Sub-Area #1 of the submittal consists of 1,154 acres utilizing similar routing between I-70 and Colfax on Manila Road.

In review of RMR's Preliminary Development Plan, Transport Colorado has differing results as to what extent improvements need to be made for development use in the City of Aurora and Adams County. Transport Colorado has completed its own traffic impact analysis and would like the opportunity to share those with the Planning Commission.

Additionally, an important piece of the overall discussion for all projects in the area, needs to be the planning of Manila Road from I-70 as it will impact the ultimate access to the Front Range Airport.

Transport Colorado is requesting the opportunity to meet with the Planning Commission, Board of Commissioners, and RMR to discuss the proper standards for road improvements and development prior to the approval of RMR's Preliminary Development Plan.

Sincerely,

A handwritten signature in blue ink that reads "Kelsey B. Hall".

Kelsey B. Hall

Cc: Transport Colorado - Steven Marshall



MEMORANDUM

TO: Greg Barnes and Adams County Planning Commission Members

FROM: Richard R. Follmer, PE, PTOE
Felsburg Holt & Ullevig
6300 S. Syracuse Way, Suite 600
Centennial, CO 80111 *RF*

DATE: June 11, 2019

SUBJECT: Rocky Mountain Rail Park

Members of the Planning Commission, I am writing this memorandum to you to express a concern I have related to the development of the Rocky Mountain Rail Park. As information, I am the project manager for preparation of the Traffic Impact Analysis (TIA) for Transport Colorado, a project that is directly adjacent to the Rocky Mountain Rail Park and to the Colorado Air and Space Port.

The *Transport Colorado TIA* is currently being reviewed by the City of Aurora for Preliminary Development Plan approval. As such, I have some knowledge of existing and future roadway and traffic conditions in this area. And as you know, the *Northeast Area Transportation Study (NEATS) Refresh* study was completed in October 2018 for which Adams County was a part of the Technical Working Group. *NEATS Refresh* conducted an exhaustive evaluation of traffic projections and it identified roadway, transit, and bicycle/pedestrian facilities to meet the projected development estimates.

My concern regarding the *Rocky Mountain Rail Park Traffic Impact Study (TIS)* is that it does not address the *NEATS Refresh* traffic projections in their estimates of background traffic growth. Their traffic study uses 20-year projected growth rates along US 36 (Colfax Avenue) from the Colorado Department of Transportation (CDOT) that does not reflect the intensity of development that is expected to occur within Transport Colorado and for projects that *NEATS Refresh* evaluated. As such, when Rocky Mountain Rail Park predicts good intersection operations, particularly for the Year 2040, those operational conditions may be overly optimistic when you consider the influence of other projects that will develop within the same timeframe.

Relative to roadway infrastructure improvements, *NEATS Refresh* recommends the widening of Manila Road to four through lanes, something that is not addressed in the *Rocky Mountain Rail Park TIS*. Additionally, while not specifically identified in *NEATS Refresh*, improvements to the I-70/Manila Road interchange will also be required, particularly to accommodate large vehicle movements.

Bearing in mind the information above, it is requested that the Adams County Planning Commission consider a more thorough evaluation of traffic projections, their impacts, and recommended infrastructure improvements that the Rocky Mountain Rail Park should be a partner in.

Thank you for your consideration on this matter. The *Transport Colorado TIA* is attached as reference.



June 7, 2019

Mr. Greg Barnes, Planner II – Adams County
4430 S. Adams County Parkway, 1st Floor Suite W2002A
Brighton, Colorado 80601
gjbarnes@adcogov.org

Re: Objection to proposed Rocky Mountain Rail Park Project

Mr. Barnes,

On behalf of Transport Colorado, LLC ("Transport"), a 6500-acre industrial and logistics park with real estate holdings east and west of the proposed Rocky Mountain Rail Park, we are writing to protest and object to the proposed project. We are requesting that this application be tabled until further review of impacts can be ascertained.

These concerns include, but are not limited to, the following:

- A. Impacts to surrounding City of Aurora land uses. Existing rail served heavy industrial land is already zoned.
- B. Analysis of traffic and impacts on existing infrastructure, as Manilla Road is already in need of improvements and traffic from this project will trigger drainage, road and interchange improvements. No plan appears to exist to solve these necessary impacts.
- C. Consideration for environmental impacts within drainage areas.
- D. Utility services are nonexistent in this area. This project will require sewer and water, which neither urban service exists to support the development. Failure to provide these services will no doubt have extreme environmental impacts to the surrounding landowners.
- E. Infrastructure and urban levels service are nonexistent. No plan to upgrade this area appears to be part of the application for police or fire.
- F. This is a large project and there seems to be no regional coordination for stormwater and drainage with Transport.
- G. Rail Traffic Safety – The property does not have adequate frontage to prevent rail freight trains from blocking street intersection traffic. This will have a major impact on fire safety and access resulting in health safety and welfare concerns for the employees and patrons of the Front Range Airport and surrounding landowners.
- H. No plan is proposed for cost sharing for these impacts on existing infrastructure or proposed infrastructure. This is a serious regional concern that needs to be addressed.

Based on these concerns, we respectfully request that Adams County postpone any action until the applicant works with and resolves the impacts to neighbors, City of Aurora, Front Range Airport and others. They may revisit their application in the future once all stakeholders' concerns, and impacts are fairly shared in the development of the area. Additionally, please send any future notices regarding Transport, to their new office located at 1331 17th Street, Suite 1000, Denver, CO 80202.

Sincerely,

Kenneth J. Puncerelli, CEO

cc: Transport Colorado, LLC – Steven Marshall & Kelsey Hall
CVL Consultants – Karl Knapp
City of Aurora – Jacob Cox

Greg Barnes

From: smmarshall [smarshall@western-energy.com]
Sent: Friday, June 07, 2019 2:34 PM
To: Greg Barnes; Ken Puncerelli
Cc: Cox, Jacob; Jen Carpenter; Kelsey Hall; Karl Knapp; Jason Mann
Subject: Re: Objection to Rocky Mountain Rail Park

Greg

Thanks for your email. I just tried to call you and left a VM.

If you would, please call me at your convenience so that I can try to clear up any ambiguities.

Steven Marshall
858.752.2582

Sent from my Sprint Samsung Galaxy S10+.

----- Original message -----

From: Greg Barnes <GJBarnes@adcogov.org>
Date: 6/7/19 2:24 PM (GMT-07:00)
To: Ken Puncerelli <kpuncerelli@laidesigngroup.com>
Cc: "Cox, Jacob" <jcox@auroragov.org>, Jen Carpenter <jcarpenter@laidesigngroup.com>, Kelsey Hall <khall@transportcolorado.com>, smmarshall <smarshall@western-energy.com>, Karl Knapp <kknapp@cvlinc.net>, Jason Mann <JMann@CVLINC.NET>
Subject: RE: Objection to Rocky Mountain Rail Park

Hi Ken,

Thank you for the comments. Your letter will be shared with the planning Commission and the Board of County Commissioners.

Just for your information:

- Rocky Mountain Rail park is proposed to be 650 acres, not 6,500 acres.
- The City of Aurora was included as a referral agency on the reviews of this project
- I do not believe this project currently proposes any new or revised railroad crossings of public streets
- Traffic studies and review is a part of the County's process
- Drainage studies and review is part of the County's process
- Environmental review is a part of the County's process, and we included many referral agencies to review the project for health and environmental concerns
- A metropolitan district was formed to provide adequate infrastructure to the property.



I hope that you will find this information helpful.

Greg Barnes

Planner III, *Community and Economic Development Dept.*
ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A
Brighton, CO 80601-8216
720.523.6853 gjbarnes@adcogov.org
adcogov.org

From: Ken Puncerelli [<mailto:kpuncerelli@laidesigngroup.com>]
Sent: Friday, June 07, 2019 2:02 PM
To: Greg Barnes
Cc: Cox, Jacob; Jen Carpenter; Kelsey Hall; smarshall; Karl Knapp; Jason Mann; Ken Puncerelli
Subject: Objection to Rocky Mountain Rail Park
Importance: High

Mr. Barnes,

On behalf of Transport Colorado, please see our letter objecting to the project until further analysis and solutions to impacts as well as communication with neighbors have been resolved.

Thank you and we look forward to working with the applicant.

ken



Kenneth J. Puncerelli
CEO

CORPORATE OFFICES
88 Inverness Circle East, Suite J-101
Englewood, Colorado 80112
phone: 303.734.1777 | Fax: 303.734.1778
kpuncerelli@laidesigngroup.com
www.laidesigngroup.com

Architecture | Planning & Entitlements | Visual Media | Landscape Architecture | Real Estate Advisory



MEMORANDUM

TO: Greg Barnes and Adams County Planning Commission Members

FROM: Richard R. Follmer, PE, PTOE
Felsburg Holt & Ullevig
6300 S. Syracuse Way, Suite 600
Centennial, CO 80111

DATE: June 11, 2019

SUBJECT: Rocky Mountain Rail Park

Members of the Planning Commission, I am writing this memorandum to you to express a concern I have related to the development of the Rocky Mountain Rail Park. As information, I am the project manager for preparation of the Traffic Impact Analysis (TIA) for Transport Colorado, a project that is directly adjacent to the Rocky Mountain Rail Park and to the Colorado Air and Space Port.

The *Transport Colorado TIA* is currently being reviewed by the City of Aurora for Preliminary Development Plan approval. As such, I have some knowledge of existing and future roadway and traffic conditions in this area. And as you know, the *Northeast Area Transportation Study (NEATS) Refresh* study was completed in October 2018 for which Adams County was a part of the Technical Working Group. *NEATS Refresh* conducted an exhaustive evaluation of traffic projections and it identified roadway, transit, and bicycle/pedestrian facilities to meet the projected development estimates.

My concern regarding the *Rocky Mountain Rail Park Traffic Impact Study (TIS)* is that it does not address the *NEATS Refresh* traffic projections in their estimates of background traffic growth. Their traffic study uses 20-year projected growth rates along US 36 (Colfax Avenue) from the Colorado Department of Transportation (CDOT) that does not reflect the intensity of development that is expected to occur within Transport Colorado and for projects that *NEATS Refresh* evaluated. As such, when Rocky Mountain Rail Park predicts good intersection operations, particularly for the Year 2040, those operational conditions may be overly optimistic when you consider the influence of other projects that will develop within the same timeframe.

Relative to roadway infrastructure improvements, *NEATS Refresh* recommends the widening of Manila Road to four through lanes, something that is not addressed in the *Rocky Mountain Rail Park TIS*. Additionally, while not specifically identified in *NEATS Refresh*, improvements to the I-70/Manila Road interchange will also be required, particularly to accommodate large vehicle movements.

Bearing in mind the information above, it is requested that the Adams County Planning Commission consider a more thorough evaluation of traffic projections, their impacts, and recommended infrastructure improvements that the Rocky Mountain Rail Park should be a partner in.

Thank you for your consideration on this matter. The *Transport Colorado TIA* is attached as reference.

TRANSPORT COLORADO

Traffic Impact Analysis

Prepared for:

Transport Colorado, LLC
c/o Western Transport, LLC
1331 17th Street, Suite 1000
Denver, CO 80202

Prepared by:

Felsburg Holt & Ullevig
6300 South Syracuse Way, Suite 600
Centennial, CO 80111
303.721.1440

Project Manager: Richard R. Follmer, PE, PTOE
Project Engineer: Philip Dunham, PE



FHU Reference No. 118335-01

April 2019

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I. INTRODUCTION

Transport Colorado is planning to develop a master-planned business environment of approximately 5,378 acres in the City of Aurora, Colorado. The project is known as Transport Colorado and will be developed with industrial, data center, warehousing, and commercial land uses with several parcels having a rail-service component. The project will have access to national highway and rail transportation corridors, and to national and international air infrastructure. Please see **Figure 1** for a vicinity map of the project location.

The project is located adjacent the Colorado Air and Space Port (Space Port), formerly known as Front Range Airport, and it is also within close proximity of Denver International Airport (DEN). The project will have access to I-70, a major east-west interstate highway system, via existing and planned interchanges. I-25 is located approximately 23 miles to the west of the project site and is the primary interstate access route between New Mexico and Montana. Complementing these two vital interstate highway links is the alignment of the Union Pacific Railroad (UPRR) tracks along the north side of United States (US) 36. One of Transport Colorado's economic benefits will be its rail access for rail-served properties and transload facilities.

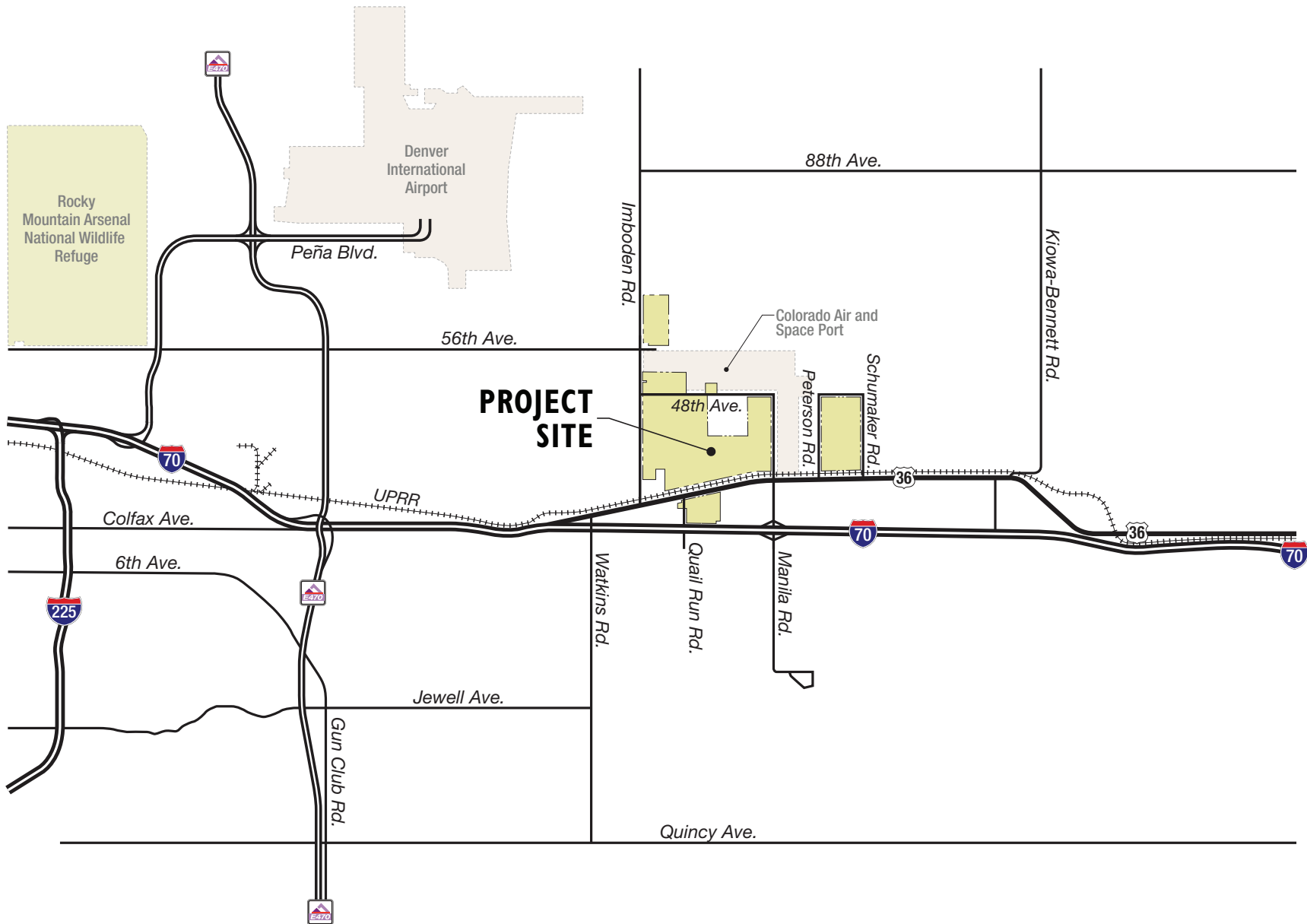
The majority of the project is bounded by US 36, the UPRR, and by I-70 along its south edge, by 48th Avenue to the north, by Imboden Road on the west, and by Manila Road to the east. There are two additional properties included in the development, the largest of which is located to the east of the Space Port north-south runaway. This parcel consists of approximately 1,100 acres and is bounded by US 36 on the south, 48th Avenue to the north, and between Peterson and Schumaker Roads. The second parcel is about 300 acres and is adjacent Imboden Road between 56th and 64th Avenues.

This report provides an assessment of the traffic impacts related to the development of Transport Colorado. Specific elements of this report are based on correspondence with the City of Aurora in 2018, coupled with subarea evaluations that have been requested by Transport Colorado. They include:

- Evaluation of existing operational conditions
- Trip generation estimates for the proposed land uses
- Analysis of project impacts
- Consistency with the *Northeast Aurora Transportation Study Refresh (NEATS Refresh)*
- Discussion of large truck influences primarily regarding potential roundabouts
- Discussion on pedestrian trail construction adjacent Bear Gulch
- Recommendations for public improvements

These analysis elements are structured in several sections of this report. Project impacts focus first on the build-out of all of Transport Colorado, followed by two subarea development scenarios:

- Transport Colorado Build-Out – An assessment of the ultimate planned roadway system that meets the traffic volume projections for complete development of Transport Colorado. The Build-Out scenario references the *NEATS Refresh* recommended roadway network with the understanding that ultimate build-out of Transport Colorado may be beyond the *NEATS Refresh* planning horizon.
- Subarea 1 – A 1,154-acre parcel of land stretching westward from Manila Road. These parcels are proposed for primarily heavily and medium industrial uses, along with a rail-oriented, transload component adjacent US 36 and the UPRR.
- Subarea 2 – A 1,264-acre parcel in the northwest portion of the primary land area adjacent to Imboden Road and 48th Avenue. This property is proposed for data center and warehouse uses.



II. EXISTING CONDITIONS

II.A. Land Use

The area that immediately surrounds the site is largely undeveloped with the exception of the Space Port to the north, the Prairie View housing development along the west side of Imboden Road, and the Galambs Mobile Home community along the south side of US 36. Residential and commercial uses exist in the Towns of Watkins and Bennett, while the Prosper residential and commercial site is developing approximately three miles to the west along the south side of Interstate 70.

II.B. Roadway System

The Transport Colorado site will occupy over eight square miles of land to the east of the Denver metropolitan area. There are several existing roadways that are spaced along one-mile land sections, although most of these roads currently have very little traffic and are somewhat discontinuous. One interstate highway and one United States highway border the project site or are near its southern boundary. Please see **Figure 2** for a representation of the surrounding roadway network, its laneage and speed limit characteristics. Following are more detailed descriptions of the primary roadways adjacent and near the project site.

Interstate 70 (I-70)

Interstate 70 is a major interstate route that bisects the State of Colorado at its approximate north/south midpoint. Not only is this route the primary east/west corridor for interstate travel in Colorado, but this route provides access to numerous states outside Colorado, from Utah to Maryland. I-70 has four concrete travel lanes for vehicle movements and is posted with a speed limit of 75 MPH.

There are two interchanges with I-70 near the project site. The Manila Road interchange is along I-70 near the midpoint of Transport Colorado and is proposed to be one of the primary interstate access routes for the Transport Colorado land uses. Four miles to the west of the Manila Road interchange is the Watkins Road interchange. This interchange will play a role for Transport Colorado access during the earlier stages of development.

United States 36 (US 36)

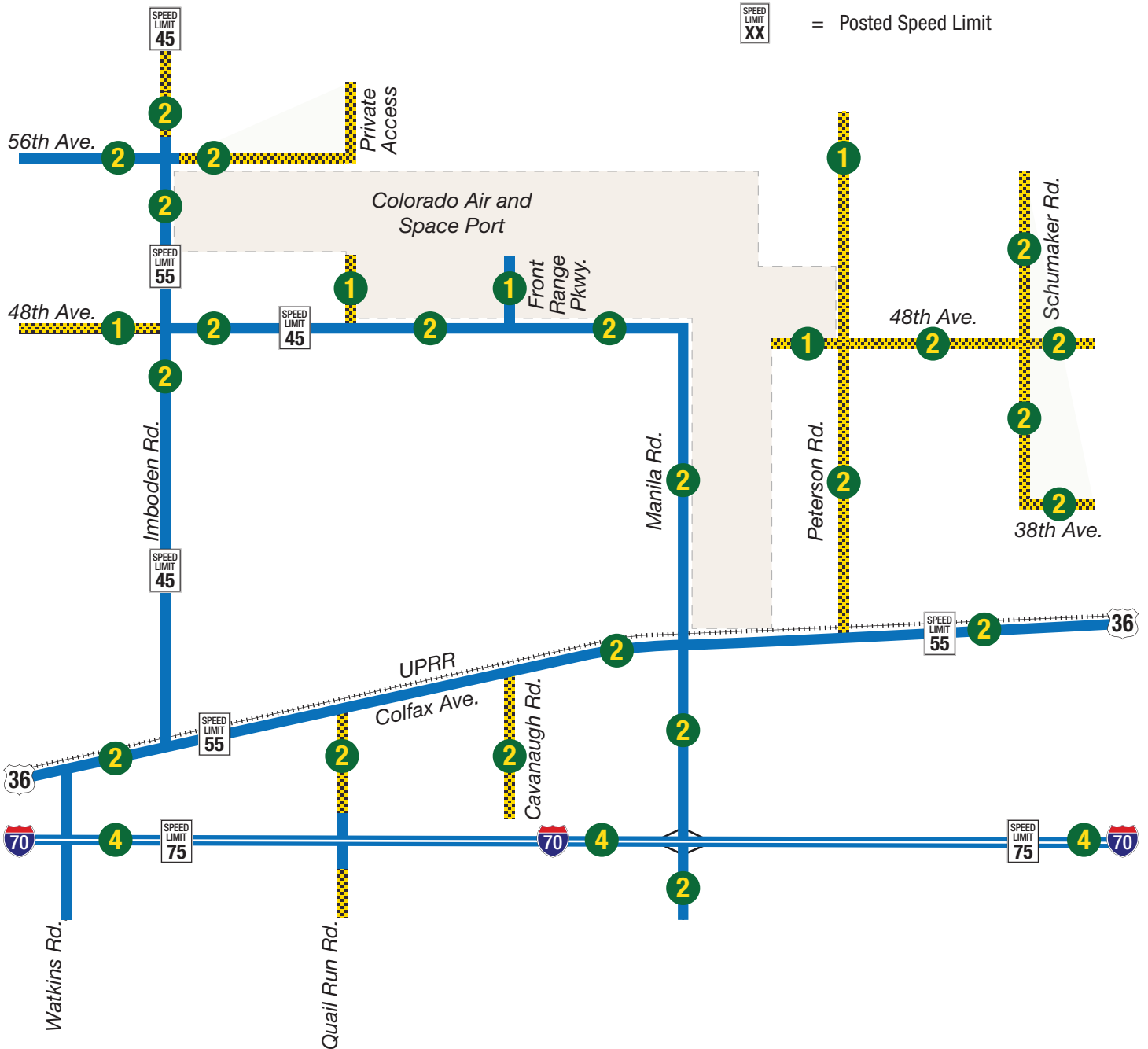
The southern boundary of the project lies along approximately four miles of UPRR trackage that is directly adjacent to the north side of US 36. The UPRR and US 36 parallel each other along the entire length of Transport Colorado's southern boundary. The centerline-to-centerline distance between these two facilities is approximately 100 feet. US 36 is two lanes wide and it has a posted speed limit of 55 MPH. There are several section line roadways that intersect US 36 and each of these intersecting roadways is controlled by stop signs at US 36. US 36 is classified as a Rural Highway (R-B) by the Colorado Department of Transportation (CDOT) in this area.

Imboden, Quail Run, Cavanaugh, Manila, Peterson and Schumaker Roads

Each of these roadways exist at one-mile intervals adjacent, within, or near Transport Colorado, with each having a north/south orientation. Only Imboden and Peterson Roads are continuous for any significant distance adjacent to Transport Colorado, however. Both of these roadways extend from US 36 to the north past the Transport Colorado boundary. Quail Run Road extends from US 36 to the south of I-70 and is grade-separated via an underpass with I-70.

LEGEND

- X = Number of Through Lanes
- = Paved Roadway
- = Gravel Roadway
- SPEED
LIMIT
XX = Posted Speed Limit



Cavanaugh Road is a dead-end street that extends from US 36 southward but does not cross I-70. Manila Road parallels part of the Space Port boundary and continues toward the south, past US 36 and I-70 into Arapahoe County. Schumaker Road is a dead-end street that extends from US 36 southward but does not cross I-70.

Schumaker Road does not exist immediately north of US 36 but is adjacent to the east boundary of Transport Colorado, extending northward from 38th Avenue, midway through the property, and beyond the Transport Colorado boundary to the north. Only Imboden and Manila Roads provide access to the main entryway for the Space Port and they have posted speeds of 45 MPH.

Quail Run, Cavanaugh, Peterson, and Schumaker Roads have roadway sections that are not paved. At-grade crossings of the UPRR exist only at Imboden, Manila and Peterson Roads.

48th and 56th Avenues

48th and 56th Avenues have an east/west orientation and are separated by a one mile distance. 48th Avenue is paved between Imboden and Manila Roads. Most of 48th Avenue in the vicinity of the project is two lanes wide; however, to the west of Imboden Road, it is an unimproved one-lane roadway that provides access only to a private residence.

56th Avenue is a two-lane roadway that extends westward from Imboden Road towards the City and County of Denver, while to the east of Imboden Road, it exists for only an approximate one-mile distance along the northern boundary of the Space Port. 56th Avenue is two lanes wide and part of its alignment (to the east of Imboden Road) is gravel.

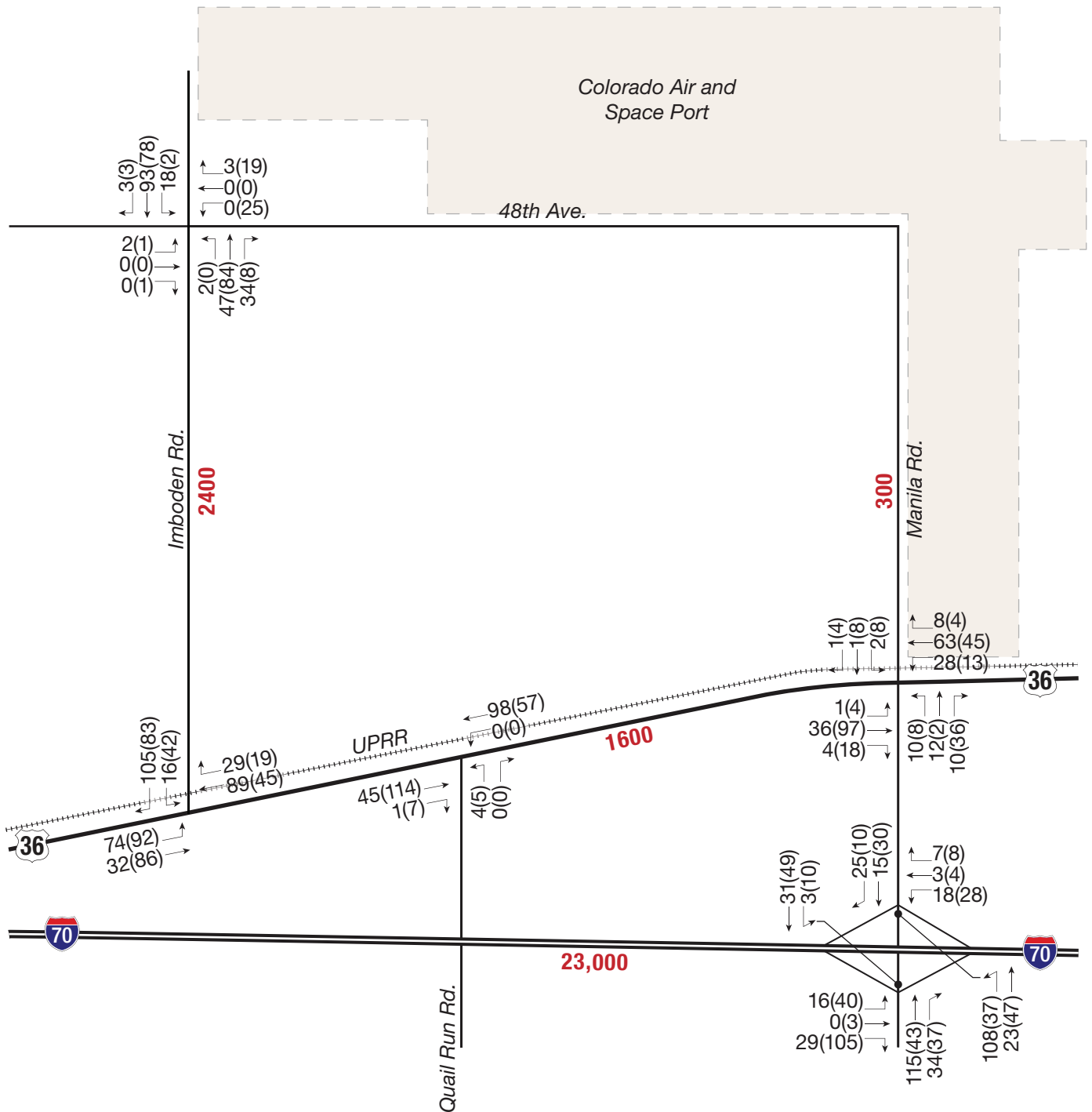
II.C. Rail Facility

The UPRR parallels the southern boundary of Transport Colorado. The UPRR trackage extends from the Denver metropolitan area to the east into Kansas and points beyond. There is only one track within the railroad right-of-way and there are approximately three trains using this track each day.

II.D. Traffic Volumes

Existing traffic volumes were recorded at six intersections adjacent to Transport Colorado in September 2018, including the two interchange ramp terminals with I-70 at Manila Road. These movements were recorded during the AM and PM peak hours, the typical time periods when vehicle activity is greatest. As can be seen on **Figure 3**, vehicle movements along the adjacent roadways and at the interchange ramp terminals are relatively low when compared to traffic volume levels in other parts of the Denver metropolitan area. All left, through and right turn movements are less than 125 vehicles per hour (vph) with only a few movements greater than 100 vph.

In addition to the vehicle turning movements, daily traffic volumes were also recorded. These measurements include the level of vehicle activity on a roadway for a 24-hour period. Referring to **Figure 3**, it can be seen that daily traffic volume levels along Imboden Road are about 2,400 vehicles per day (vpd), while along Manila Road, the level is only about 300 vpd. US 36 traffic volumes are about 1,600 vpd and traffic volume along Interstate 70 is 23,000 vpd adjacent to the site. Daily traffic volumes along I-70 and US 36 were acquired from CDOT's Online Transportation Information System (OTIS). **Appendix A** includes the recorded traffic volume data.



LEGEND

XXX(XXX) = AM(PM) Peak Hour Traffic Volumes

XXXX = Daily Traffic Volumes

II.E. Traffic Control

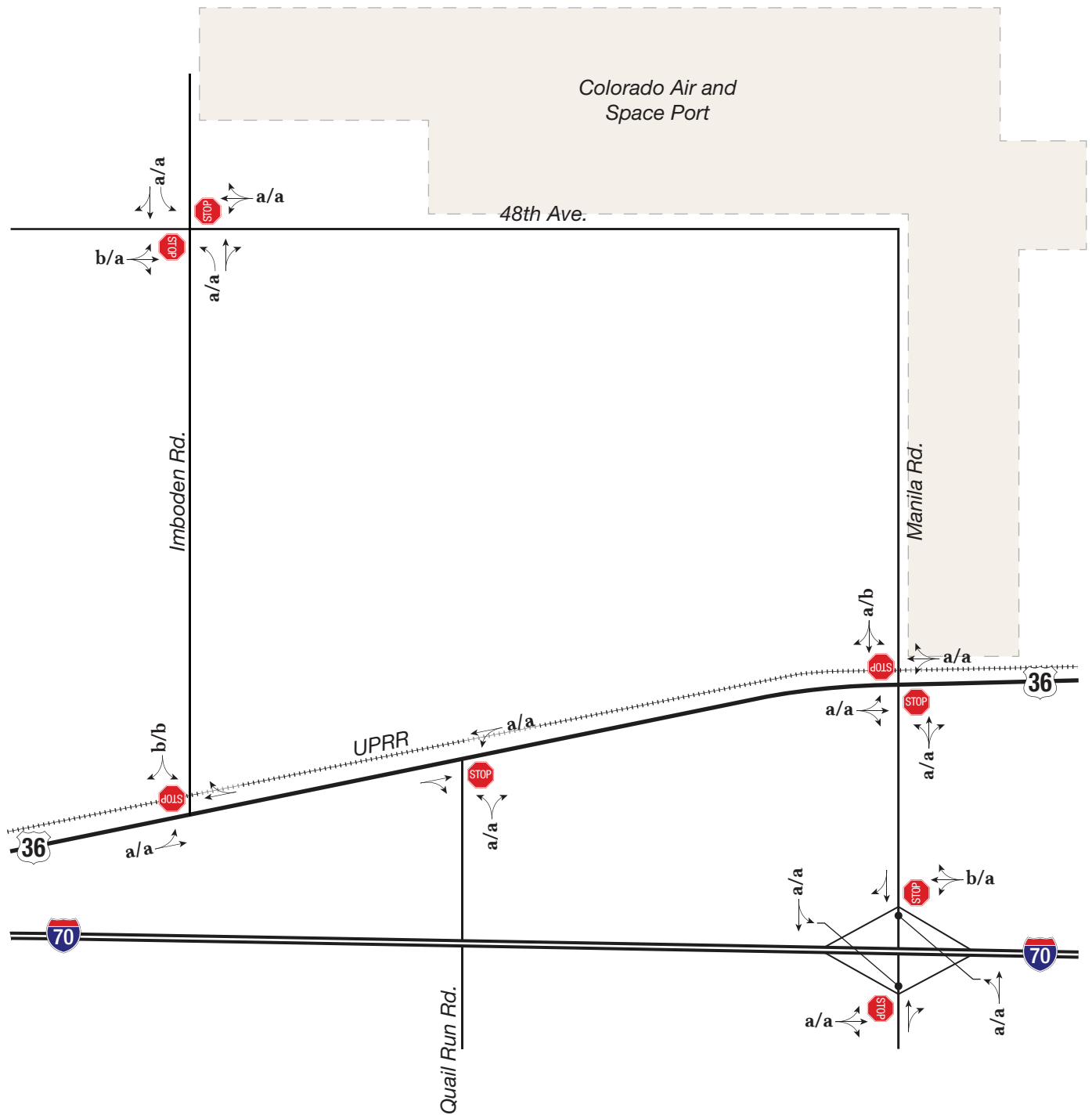
Control of vehicle movements at intersections surrounding Transport Colorado are carried out via stop signs. All stop signs are used on the “minor” street intersection or ramp terminal approaches where vehicle right-of-way assignment is necessary.

II.F. Traffic Operations



Traffic operations within the study area were evaluated according to techniques documented in the *Highway Capacity Manual*, 6th Edition (Transportation Research Board, 2016) using the existing traffic volumes, intersection geometry, and traffic control. Level of Service (LOS) is a qualitative measure of traffic operational conditions based on roadway capacity and vehicle delay. LOS is described by a letter designation ranging from A to F, with LOS A representing almost free-flow travel, while LOS F represents congested conditions.

For stop-controlled intersections, LOS is calculated for each vehicle movement that must yield the right-of-way to an oncoming or crossing vehicle. In urbanized areas, LOS D is typically considered to be acceptable for peak hour traffic operations and is the standard set in the City of Aurora TIS Guidelines.

Figure 4 shows the existing traffic control, intersection geometry, and results of the LOS analyses. **Appendix B** includes the LOS criteria and **Appendix C** includes the analysis worksheets. All intersections currently operate within acceptable parameters, at LOS B or better, during peak hours.



LEGEND

- X/X** = AM/PM Peak Hour Signalized Intersection Level of Service
- x/x** = AM/PM Peak Hour Unsignalized Intersection Level of Service
-  = Stop Sign
-  = Traffic Signal

III. BACKGROUND CONDITIONS

III.A. 2040 Roadway Network Plan

The *Northeast Area Transportation Study Refresh (NEATS Refresh)* was recently updated for the City of Aurora (project completion in October 2018). This publication summarized the build-out transportation recommendations for the NEATS planning area for the roadway, transit and a trail systems. The boundary for this study effort was approximately between Picadilly Road on the west, Schumaker Road on the east, Jewell Avenue and I-70 on the south, and 72nd Avenue on the north.

Besides an assessment of roadway improvement needs, future transit hubs were identified at two locations and a trail element was identified within the Transport Colorado study area. These improvements are graphically depicted on **Figure 5** and they can be summarized as:

Freeway Access

- New interchanges constructed at the Quail Run and Schumaker Road alignments along I-70

Major Arterials

- Imboden Road/Quail Run Road alignment
- Manila Road
- 48th Avenue
- 56th Avenue

Minor Arterials

- Quail Run Road south of 48th Avenue
- Schumaker Road

Collector Streets

- Imboden Road north of US 36

Potential UPRR Grade-Separated Crossings

- Quail Run Road
- Manila Road
- Schumaker Road

Transit Hubs

- Imboden Road/Quail Run Road alignment at US 36
- 48th Avenue/Manila Road intersection

Trail Amenity

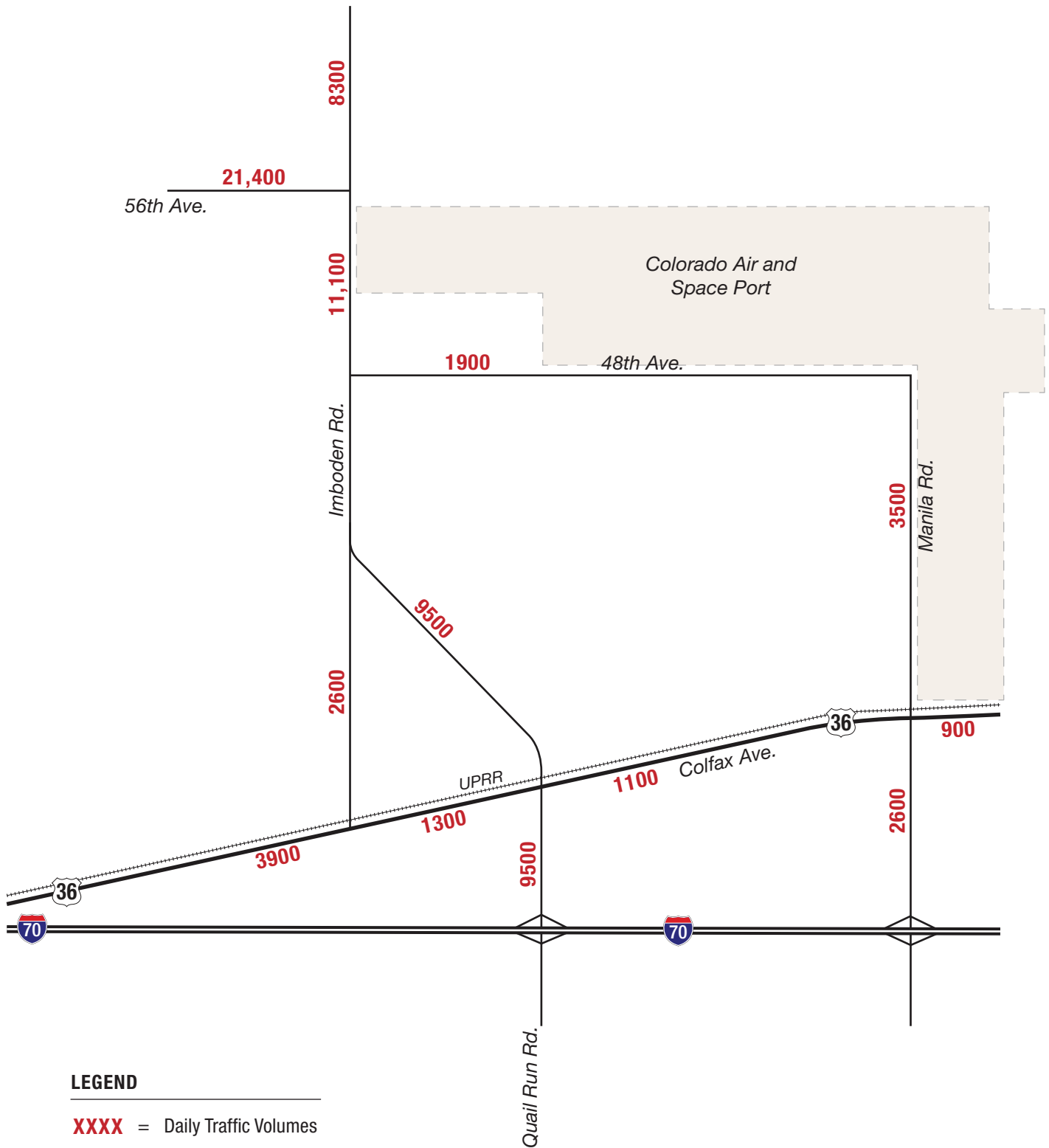
- Bear Gulch Trail

It should be noted that the current development plans for Transport Colorado were not entirely known when *NEATS Refresh* was prepared.

III.B. Background Traffic Volumes

Background traffic volume projections for started with information contained in *NEATS Refresh*. But to truly understand a Background traffic volume scenario, i.e., one without any Transport Colorado development, the *NEATS Refresh* travel demand model was adjusted to reflect zero land use in the Traffic Analysis Zones that encompass the Transport Colorado study area. As such, the traffic volumes represented on **Figure 6** contain projected background traffic volumes for the build-out of the NEATS area without the development of Transport Colorado.





IV. TRANSPORT COLORADO BUILD-OUT CONDITIONS

This section summarizes the daily traffic volume projections and Transport Colorado Build-Out roadway network requirements. This information uses the daily traffic volume projections to reflect the roadway typical section needs so that future improvements can be planned accordingly. As noted previously, Subareas 1 and 2 are described and evaluated in subsequent sections and they evaluate roadway improvement needs at a more finite level. The Transport Colorado Build-Out analyses concentrate on a more holistic understanding of the hierarchy of the roadway network and anticipated roadway laneage.

IV.A. Transport Colorado Land Uses

Transport Colorado is planned for several land uses that require a relatively large number of acres for material storage and industrial uses, while other uses rely on large buildings that may not have a large employee component. Heavy industrial, data center, and warehouse uses are located directly adjacent to the Space Port. These uses are coupled with a commercial component that is situated between I-70 and US 36, and between Quail Run and Cavanaugh Roads, with over 500 acres of mixed-use retail, service, hotel and residential uses.

In summary, the land use division of project acreage once undevelopable land such as right-of-way requirements, power line easements, drainage areas, open space, etc. is removed can be summarized as:

• Industrial =	2,484 acres ±
• Data Center =	562 acres ±
• Warehousing =	1,385 acres ±
• Mixed-Use Commercial =	<u>532 acres ±</u>
TOTAL =	4,963 acres ±

Figure 7 represents the proposed site plan for Transport Colorado. As you can see on this figure, several of the industrial uses form a somewhat inverted “L” shape around non-affiliated parcels directly south of the Space Port. Some of these industrial parcels will be served by rail for bulk inbound deliveries of goods and materials. It is understood that deliveries of these bulk materials, sometimes after processing into other goods for sale, will be delivered to the Denver metropolitan area and beyond by over-the-road vehicles. Subareas 4 and 6 are also slated for industrial uses but will not be served by rail.

The data center and warehousing land areas are identified as Mixed Commercial, their current zoning. They straddle Bear Gulch and are adjacent to Imboden Road and/or 48th Avenue. These uses are expected to include large buildings for the purposes of product storage (warehousing) and for the processing of electronic data (data center). Both uses are not projected to have the same number of employees as is typically expected for a land use with the same size building, but they are projected to have a square foot (sf) to employee ratio that is less.

Subarea 5 is located in the southern portion of Transport Colorado between I-70 and US 36 and it is planned that these parcels will have a variety of retail services that can support not only patrons of Transport Colorado, but those of the surrounding communities and for travelers along I-70. Restaurants, gas stations, banks, tire shops, along with hotels and office components will serve this burgeoning area of the City of Aurora as it develops over time.



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IV.B. Transport Colorado Build-Out Trip Generation Estimates

Table I includes the trip generation estimates for the build-out of the Transport Colorado development. These estimates are based on reasonable floor-area-ratios for the individual land uses and on trip generation categories that were discussed with City of Aurora staff during the preparation of this study. While **Table I** summarizes the trip generation potential for the four land use categories, **Appendix D** includes a more detailed breakdown of trip generation information for each individual Transport Colorado land parcel.

Trip generation estimates for the build-out of Transport Colorado are based on average weekday data contained in *Trip Generation*, 10th Edition, by the Institute of Transportation Engineers (ITE), 2017. Trip generation data is based on the potential for over 38 million square feet of development to occur.

Through correspondence with the City of Aurora, the Light Industrial land use category was used for the trip generation estimates for all of the industrial sites since certain parcels that may be classified as Heavy Industrial lacks sufficient trip generation data.

Additionally, due to the currently unknown mix of office, hotel, and retail uses in planning areas designated for mixed-use development (Subarea 5), land uses that could change over time, the trip generation potential for the mixed-use land areas are based on the ITE Shopping Center category for the purposes of this report. The Shopping Center trip generation category includes a higher retail focus which may result in trip estimates that may be conservative. As such, the trip generation data contained in **Table I** likely reflects a worst-case scenario of the trip generation potential of Transport Colorado.

Table I. Transport Colorado Build-Out Trip Generation Estimates

Trip Generation Category	Acres (±)	Building Square Footage (ksf) ¹	Daily Vehicle-Trips
Industrial ²	2,484	16,024	61,205
Data Center	562	10,440	4,361
Warehousing	1,385	4,405	17,450
Mixed-Use	532	6,954	118,655
Subtotal =			201,671
Mixed Use Internal Capture Reductions ³			-42,715
Mixed Use Pass-By Reductions ⁴			-5,933
NET EXTERNAL TRIP GENERATION =			153,059
¹ Building square footage amounts represent the maximum allowable development. ² Per the City of Aurora, the Light Industrial trip generation category was used for all industrial parcels. ³ Internal Capture reductions were estimated based on mixed-use sites in Planning Areas 30 and 31 at a rate of 36 percent, the average rate reported for mixed-use sites in NCHRP Report 684. ⁴ Pass-by was reductions are at a rate of 5 percent for mixed-use.			

Trip Generation Estimates Discussion

Internal Capture – Internal capture was estimated within the planning areas designated for mixed-use development at a rate of 36 percent, the average percentage reported by the National Cooperative Highway Research Program Report 684. This internal capture rate resulted in the reduction of almost 43,000 daily trips.

Due to both the large size and relative isolation of the Transport Colorado development, it is estimated that there will be additional interactions that take place between the industrial/warehousing/data center uses and the mixed-use parcels that would result in trips to the adjacent roadway network but not to the regional transportation network (i.e., outside of the basic Transport Colorado boundary). Using guidelines from ITE, an additional nine percent of traffic to/from Subarea 5 will interact with the industrial/warehousing/data center planning areas. This results in 10,679 trips between Subarea 5 and the industrial/warehousing/ data center planning areas never leaving the roadway network encompassed by the Transport Colorado development. As a result of this interaction, while the net new trips to the roadway network is about 153,000, only about 132,000 impact the roadway network beyond the Transport Colorado site.

Pass-By Trips – Not all vehicle-trips generated by the 38 million square feet of development will be new. Some trips will have a direct relationship with motorists that are traveling along I-70, ones that will take advantage of the land use mix in Subarea 5. While ITE pass-by percentages can be upwards of 50 percent for some uses, a reduction of only five percent was used for Subarea 5 due to the lack of solidified plans for the mixed-use sites which have direct frontage along I-70. As noted in **Table 1**, there are projected to be nearly 6,000 pass-by trips that will use the development that are not new to the roadway network but that will divert their trip to/from Subarea 5.

IV.C. Trip Assignment

Estimates of vehicle routing to/from Transport Colorado were developed based on information contained in the travel demand model for *NEATS Refresh* as well as on engineering judgment. The industrial, data center and warehousing land uses are projected to have a strong orientation to/from the west along I-70 since the population density of the Denver metropolitan area is in this direction. The *NEATS Refresh* travel demand model was used to make these estimates.

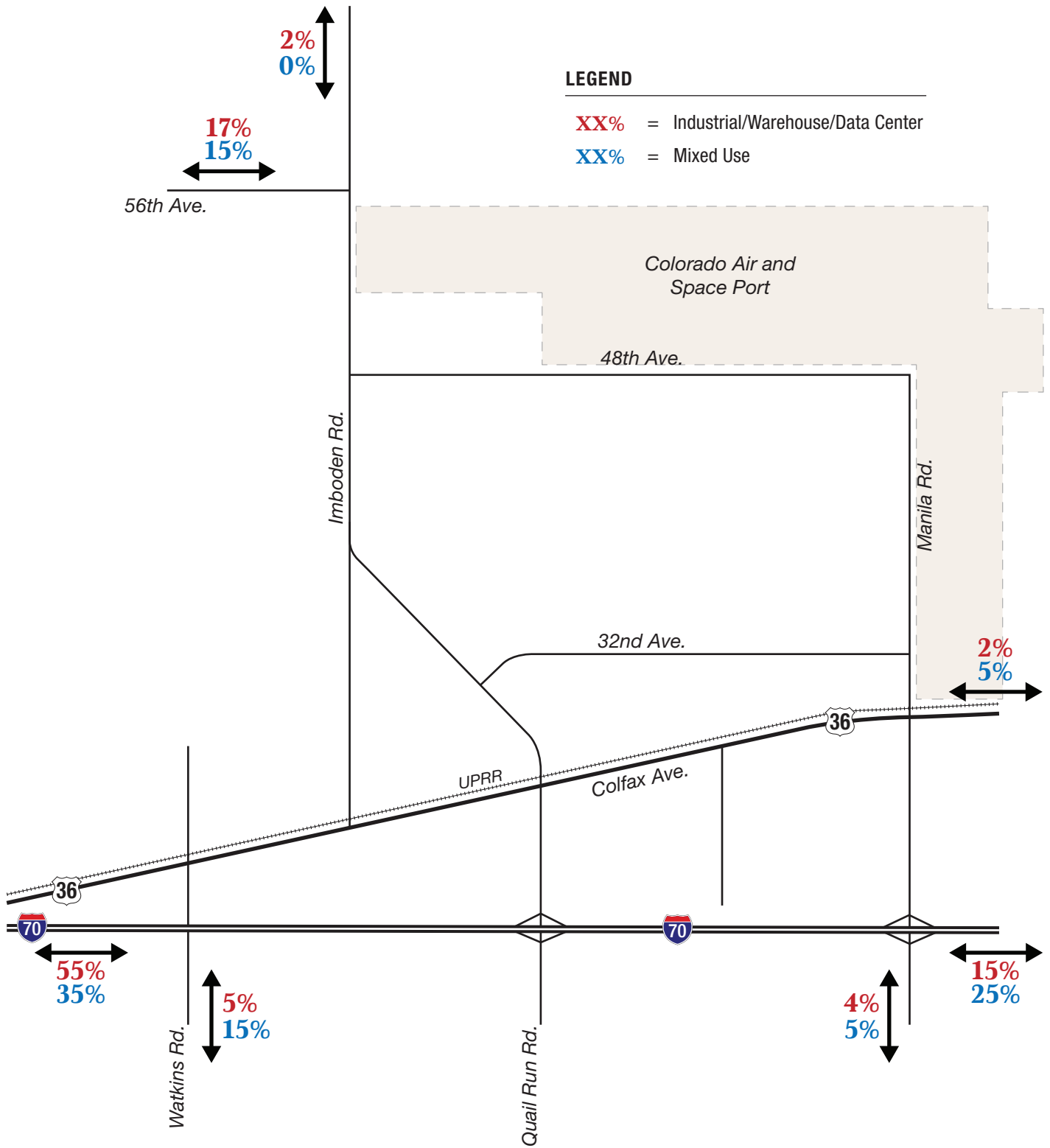
The mixed-use properties in Subarea 5 are expected to have a somewhat different trip assignment since these land uses will serve not only Transport Colorado and motorists along I-70, but the Towns of Watkins and Bennett and nearby developments that are currently being planned or are under construction. A higher distribution of vehicle-trips is oriented to/from the east as a result since Denver metropolitan area residents have other mixed-use options to the west.

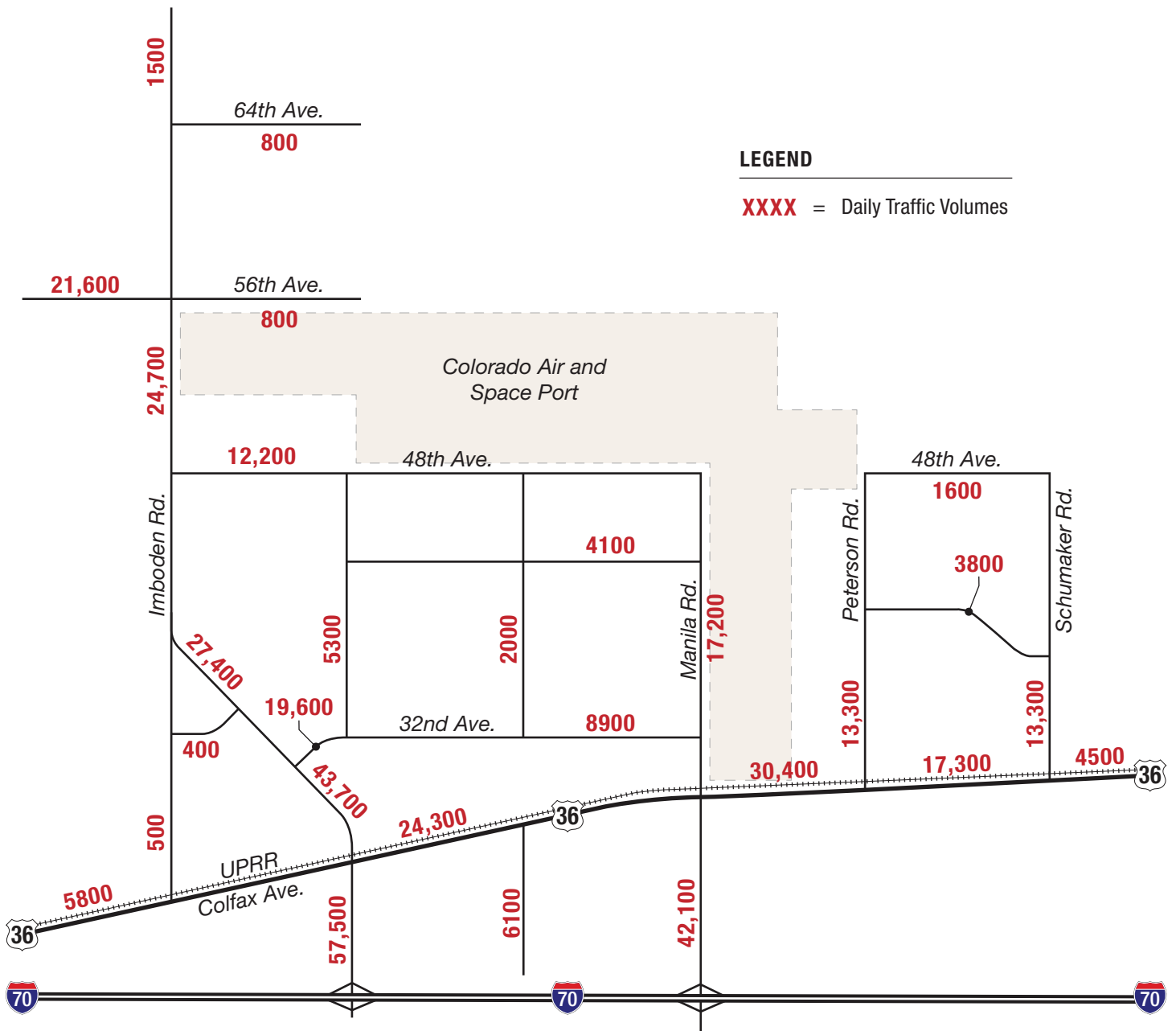
Figure 8 provides a summary of the trip distribution estimates while **Figure 9** illustrates the projected site generated daily traffic volumes for the Transport Colorado Build-Out scenario. **Figure 10** is the combination of Background traffic projections (**Figure 6**) and the Transport Colorado site generated traffic volumes.

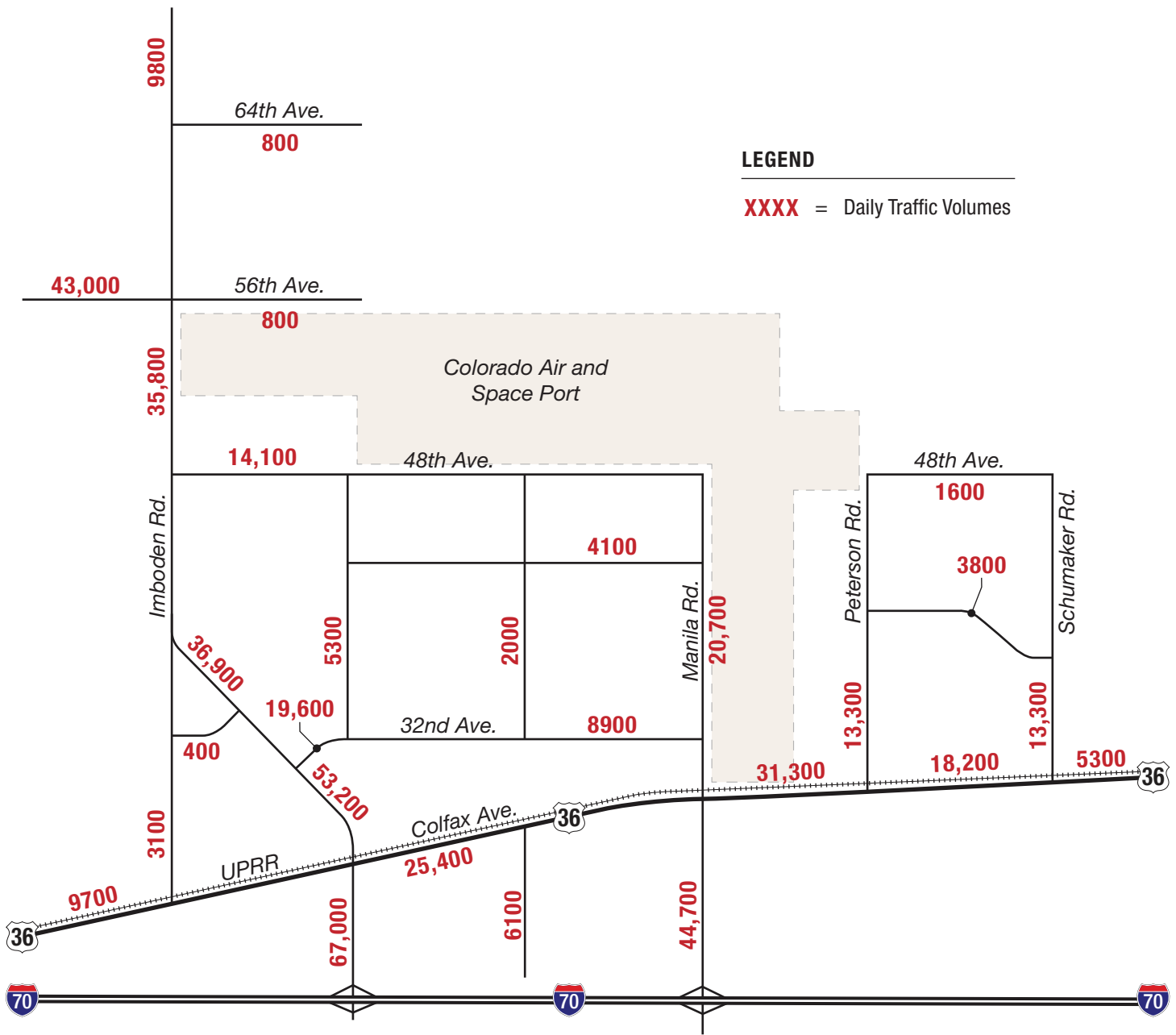
As you can see from these figures, at build-out of the site, Transport Colorado will contribute a significant amount of the projected total traffic volumes on the surrounding roadway network by the time it is completed. At build-out, traffic volumes along the major roadway segments, particularly near I-70, will exceed 44,000 vpd along Manila Road and will be about 67,000 vpd on Quail Run Road. Traffic volumes will gradually decrease towards the north along Imboden Road and eastward along US 36. Given the industrial and data center/warehousing characteristics of the site, several of the internal roadways are projected to be under 10,000 vpd.

LEGEND

- XX%** = Industrial/Warehouse/Data Center
- XX%** = Mixed Use







IV.D. Recommended Roadway Laneage

The Transport Colorado Build-Out roadway laneage assessed in this report is based on the average daily traffic volume projections. This analysis considers the build-out of Transport Colorado in which all planning areas develop to their maximum potential.

Laneage recommendations can be found on **Figure 11**. Several laneage requirements are more robust than outlined in *NEATS Refresh* as a result of the higher trip generation potential of the Transport Colorado site than what was included in the *NEATS Refresh* travel demand model. These laneage revisions include an eight-lane cross-section for Quail Run Road between I-70 and US 36, a six-lane cross-section for Imboden Road from 56th Avenue along its realignment to Quail Run Road at US 36, and a four-lane cross-section along US 36 from Transport Colorado's eastern boundary at Schumaker Road to the west to Imboden Road/Quail/Run Road.

Manila Road between US 36 and I-70 can be planned as a 4-lane roadway. While projected traffic volumes imply that this segment of Manila Road may require six lanes by build-out of Transport Colorado, it doesn't consider the influence that a new interchange on I-70 at the Schumaker Road alignment will have, one that will allow more direct access for Subarea 6 vehicle movements that will provide congestion relief along Manila Road.

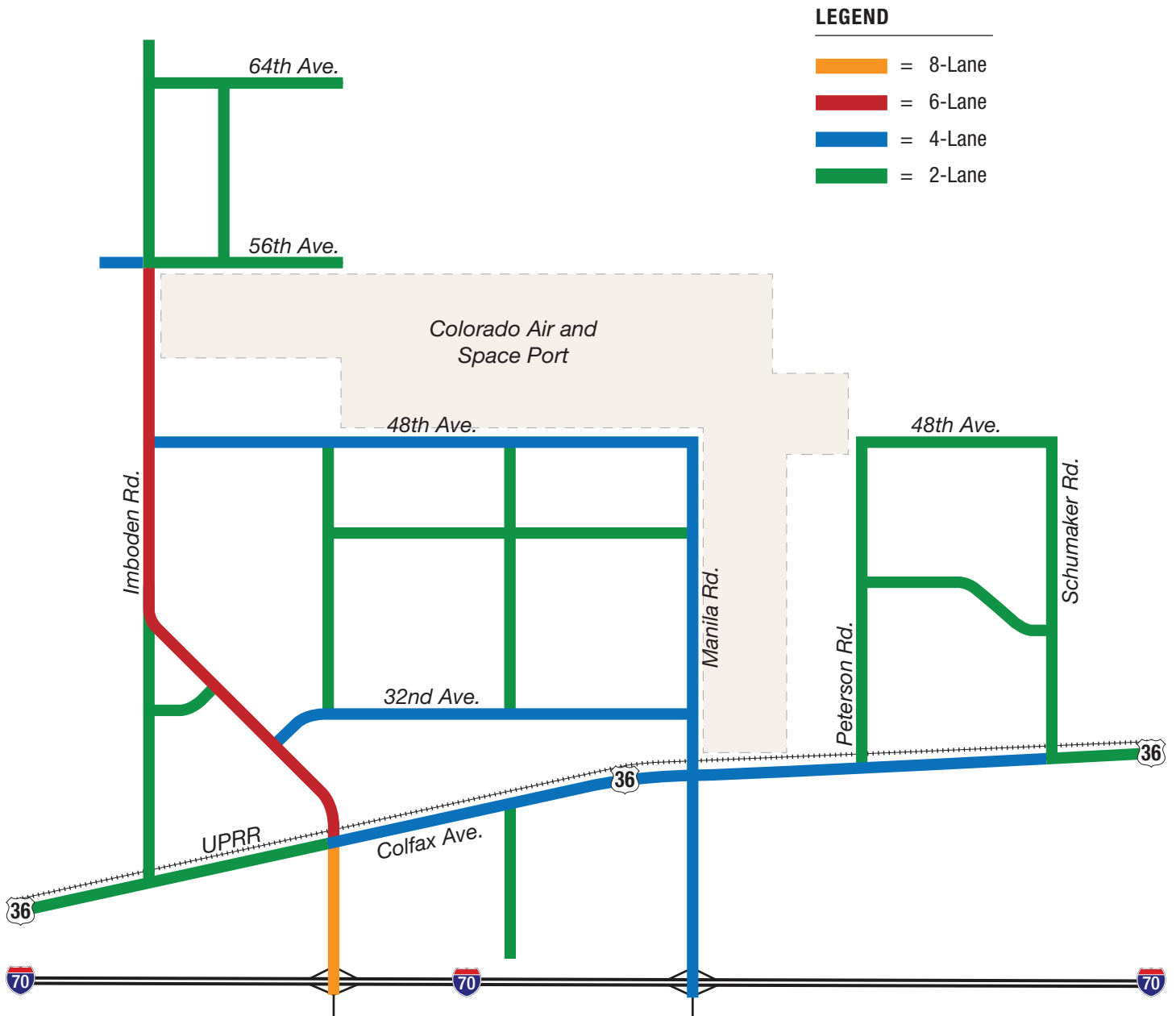
IV.E. Large Truck Influence at Roundabouts

There is the potential that roundabouts can be considered for varying intersections within or adjacent the Transport Colorado development area. Given the level of industrial and warehousing land uses, a higher percentage of large (semi) trucks are anticipated to use the Transport Colorado roadway network. Large trucks can benefit by the installation of roundabouts due to a lessening of start/stop movements and the freer flow of vehicles through a roundabout. As such, roundabouts are viable options in the proper locations.

To succeed, roundabouts will need to be designed correctly for the influence of large vehicles. They may need to be larger than roundabouts at other locations and they potentially will include truck aprons. Analyses of approach geometry, the inside and outside roundabout diameters, circulating movements through the roundabouts, and fastest-path evaluations are all important design issues that will need to be considered if roundabouts are a desired intersection traffic control option.

IV.F. Bear Gulch Trail Connectivity

Bear Gulch extends through the western portion of Transport Colorado between Imboden and Quail Run Roads. Transport Colorado will construct the Bear Gulch Trail through its land area with input from the City of Aurora and will rely on information contained in *NEATS Refresh* as a starting point. Coordination with City staff will occur at the proper time to formalize the trail alignment and its connectivity outside of the Transport Colorado land area boundary.



V. SUBAREA I

As noted in the Introduction, two subareas are evaluated for trip generation estimates and roadway requirements. Since it is unknown exactly where the initial land sales and development will occur in Transport Colorado, it is projected, however, that they will occur within Subareas I or 2. These two subareas are evaluated as if they are completely developed separately from one another. As such, the information contained in this section, Section V, Subarea I and the following section, Section VI, Subarea 2, contain similar information on the projected development types along with trip generation projections, traffic operational data, and roadway network and traffic control recommendations.

V.A. Subarea I Land Uses

Figure 12 is a representation of the land area boundary and parcel locations for Subarea I. The land area abuts Manila Road on the east, 48th Avenue on the north, US 36 and the UPRR on the south, and other Transport Colorado parcels or land areas not part of Transport Colorado on the west.

Subarea I includes a total of 1,154 acres but once non-developable land is removed, the summary of acreage is:

Table 2. Subarea I Land Area

Parcel 10 = 151.1 acres	Parcel 14 = 246.5 acres
Parcel 11 = 116.0 acres	Parcel 15 = 150.0 acres
Parcel 12 = 63.2 acres	Parcel 16 = 171.4 acres
Parcel 13 = 154.2 acres	Parcel 17 = 21.9 acres
TOTAL =	1,074.3 Acres

V.B. Subarea I Trip Generation Estimates & Assignment

As noted previously, Subarea I includes only industrial type land uses. Through discussions with City of Aurora staff, the trip generation for these land uses, regardless of how dense or what the individual uses on each parcel are, have been estimated using the Light Industrial trip generation category in *Trip Generation*. As such, these estimates may be conservative. Regardless, **Table 3** on the following page, summarizes the estimates of vehicle trips for Subarea I. Vehicle-trips are projected to exceed 25,000 vpd and 1,200 vph during the AM and PM peak hours.

The assignment of the projected vehicle-trips of **Table 3** were applied to the projected roadway network using the trip distribution assumptions noted in Section IV.C. See **Figures 13** and **14** for representations of the site generated and total traffic volume projections for Subarea I.

While there are varying levels of projected vehicle-trips at intersections and along the roadway network, two movements should be noted. These are the eastbound to northbound left turn (AM peak hour) and southbound to westbound right turn (PM peak hour) movements at the I-70/Manila Road interchange. Given the location of the development areas for Subarea I and the available roadway network, a large portion of the projected vehicle-trips will use this interchange to movements to/from the Denver metropolitan area. Peak hour vehicle-trips are projected to exceed 800 vph during the AM peak hour and 600 vph during the PM peak hour. Improvements necessary to satisfy this level of vehicle movement is contained in the following section.

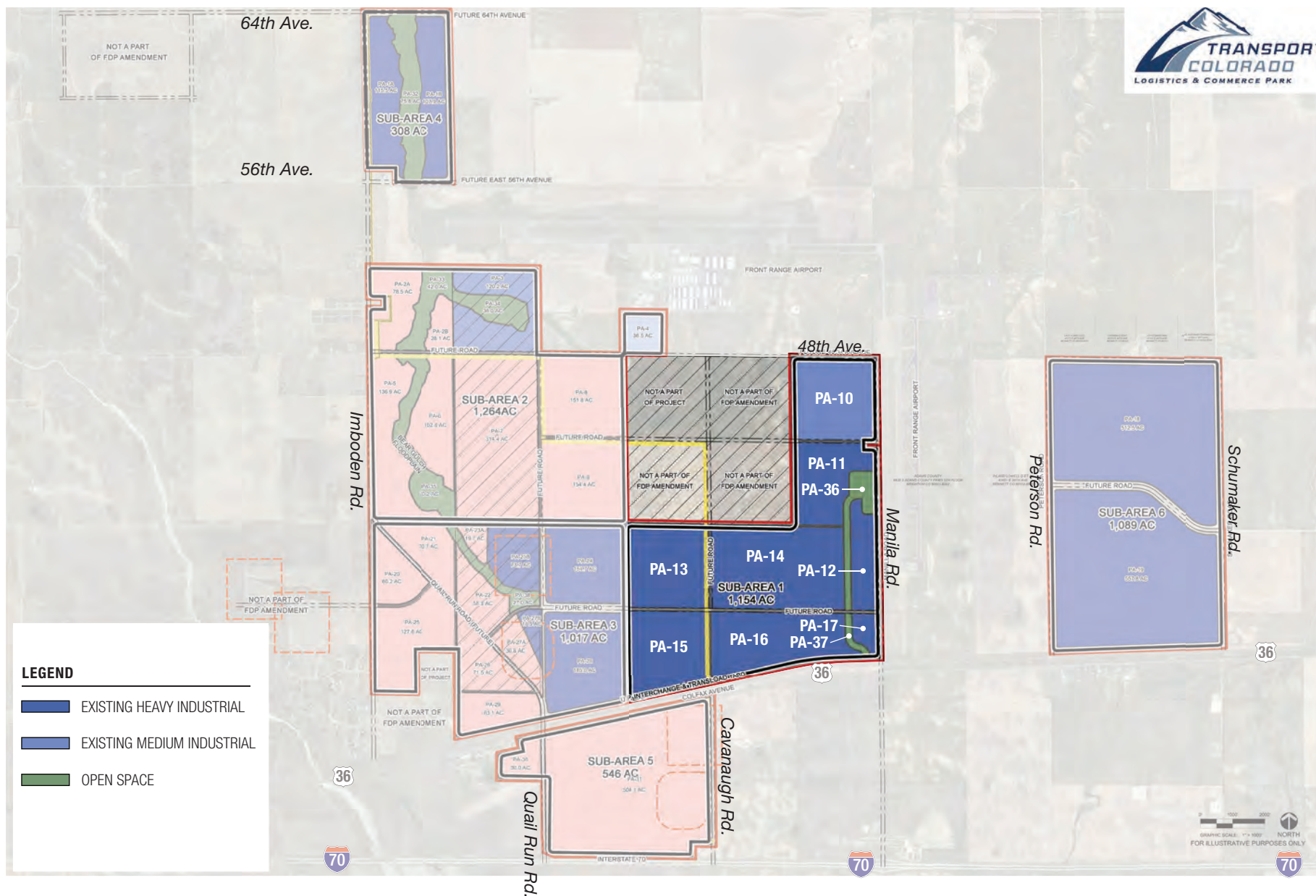


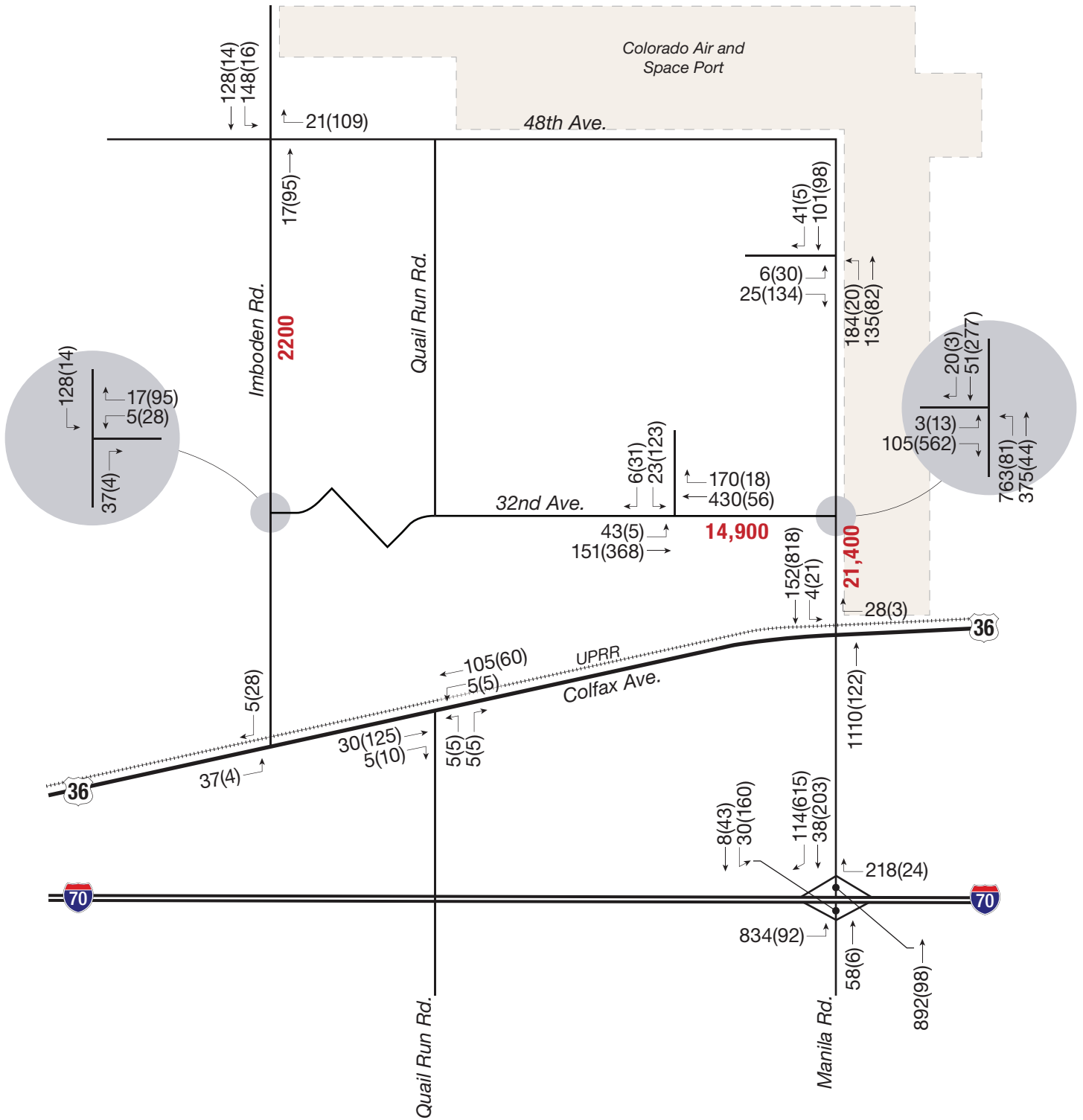
Table 3. Subarea I Trip Generation Estimates

Planning Area	Land Use	ITE Code	Square Footage (KSF)	Daily	AM Peak Hour			PM Peak Hour		
					In	Out	Total	In	Out	Total
PA-10	Industrial	110	987.3	3,800	214	29	243	23	156	179
PA-11	Industrial	110	757.9	2,931	176	24	200	19	130	149
PA-12	Industrial	110	412.9	1,623	112	15	127	13	85	98
PA-13	Industrial	110	1,007.5	3,877	216	30	246	24	158	182
PA-14	Industrial	110	1,610.6	6,162	307	42	349	33	218	251
PA-15	Industrial	110	980.1	3,773	212	29	241	23	155	178
PA-16	Industrial	110	608.3	2,363	149	21	170	16	112	128
	Rail Transload Facility	Custom	101.3	162	14	2	16	2	14	16
	Subtotal		709.7	2,525	163	23	186	18	126	144
PA-17	Industrial	110	143.1	600	51	7	58	6	41	47
Net External Trip Generation				25,291	1,451	199	1,650	159	1,069	1,228

V.C. Subarea I Operational Conditions

An evaluation of intersection operations was conducted for the AM and PM peak hours using the methodologies of the *Highway Capacity Manual* as noted previously in this report. The results of these analyses find that certain improvements will be necessary to provide good vehicle operations during the peak hours. LOS C or better can be achieved with the traffic control recommendations of **Figure 15** which includes the installation of new traffic signals at four intersections. Analysis worksheets for Subarea I are included in **Appendix E**.

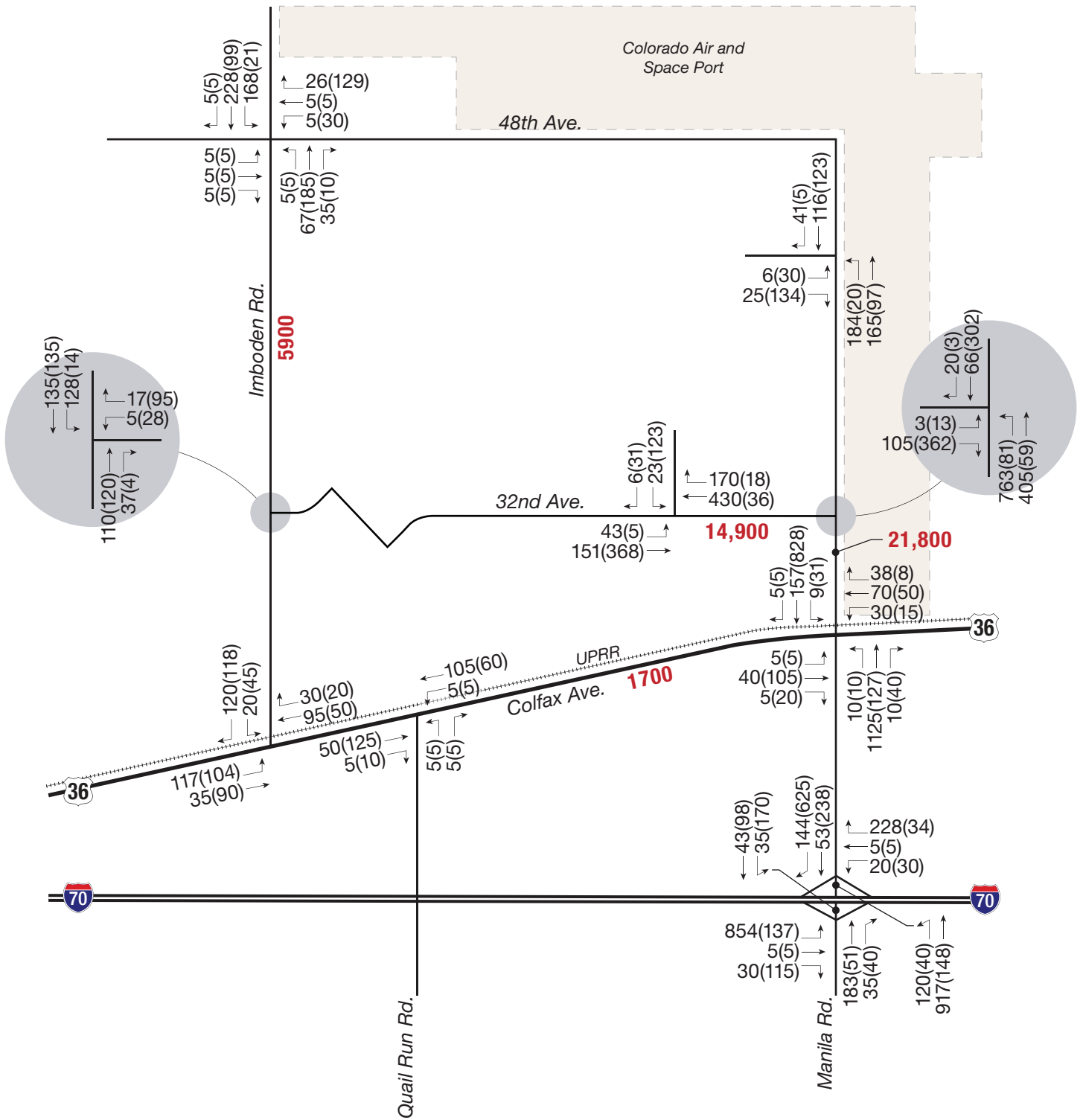
The construction of a roundabout at two intersections were considered for the operational evaluation, being the I-70 ramp terminal intersections at Manila Road. This traffic control method was evaluated in relation to the physical attributes of Manila Road as it proceeds underneath I-70. Recognizing that there is currently only space for two lanes underneath I-70, the installation of roundabouts at the two I-70 ramp terminals can assist in the timeline for replacement of the I-70 bridge until there is a larger nexus of development to support this level of interchange reconstruction that will eventually be needed. It was found, however, that roundabouts can only be a temporary traffic control measure instead of traffic signals since they will fail during the AM peak hour by build-out of Subarea I.

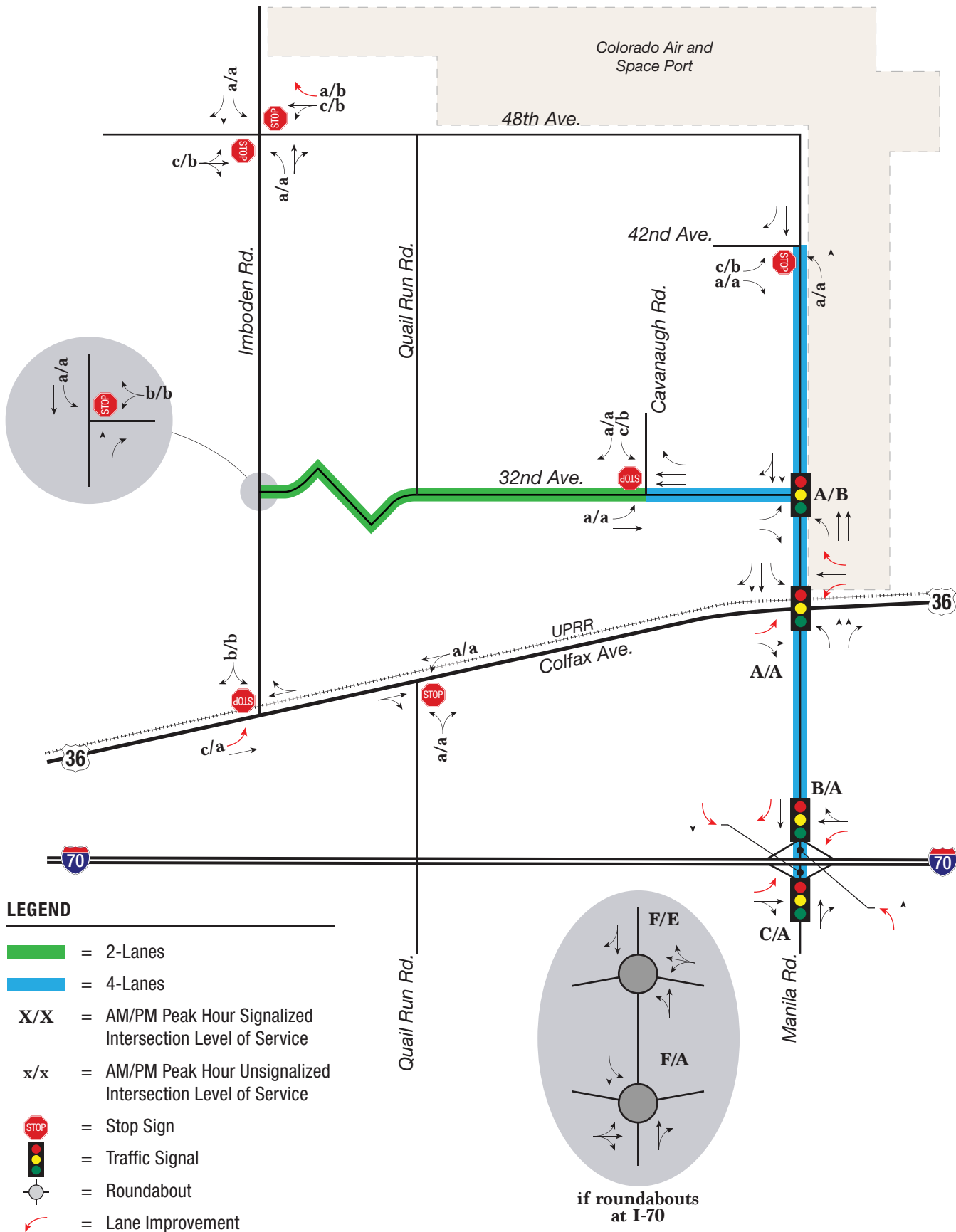


LEGEND

xxx(xxx) = AM(PM) Peak Hour Traffic Volumes

XXXX = Daily Traffic Volumes





V.D. Subarea I Roadway Network & Traffic Control

Some of the operational results included in the previous section rely on the construction of 32nd Avenue between an Imboden Road/Quail Run Road realignment and Manila Road. Only a portion of the Imboden Road/Quail Run Road realignment is necessary and 32nd Avenue will provide an additional east-west travel route to limit unneeded circuitous travel and to provide an alternative life safety route.

New traffic signals are projected to be needed at the I-70 ramp terminals, and at US 36 and 32nd Avenue along Manila Road at varying times during construction of Subarea I. Roundabouts have been considered at the I-70 ramp terminal intersections and they are only a temporary traffic control measure until more significant interchange reconstruction is necessary. All other intersections can continue to have stop sign control for the side street intersection movements.

V.E. Subarea I Improvements

A summary of the projected recommendations needed for the build-out of Subarea I are contained in **Table 4**. The Development Acreage column represents the approximate timeframe on an acreage basis that these improvements are projected to be necessary to provide acceptable vehicle flows and operations.

Table 4. Subarea I Improvement Recommendations

Location	Improvement	Development Acreage
32 nd Avenue	Construct a two-lane cross-section between Imboden Road and Manila Road	With the development of the first parcel adjacent 32 nd Avenue
I-70/Manila Road Interchange	Construct temporary roundabouts at the ramp terminals	220-240 Acres
Manila Road	Widen to four-lanes between 32 nd Avenue and I-70 north ramp terminal and improve the UPRR at-grade crossing; widen north towards 48th Avenue depending on the timing of development of PA's 10, 11, and 12	680-700 Acres
I-70/Manila Road Interchange	Reconstruct I-70 bridge and ramp terminals and install turn lanes for entrance and exit movements; signalize ramp terminal intersections	800-820 Acres
US 36/Manila Road	Signalize intersection; may require a pre-signal and preemption signal timing at the UPRR crossing	800-820 Acres
32 nd Avenue/Manila Road	Signalize intersection	910-930 Acres
32 nd Avenue	Widen to four-lanes between Cavanaugh Road and Manila Road	

VI. SUBAREA 2

As noted previously, Subareas 1 and 2 are evaluated separately since the types of development that may occur in Transport Colorado first are unknown. These subareas are evaluated separately and include information related to the entire build-out of either subarea. Following is information related to the complete development of Subarea 2.

VI.A. Subarea 2 Land Uses

Figure 16 represents the Subarea 2 land area boundary and parcel locations. The land area abuts Imboden Road along its western edge, Space Port property on the north, and other Transport Colorado parcels or land areas not part of Transport Colorado on the east and south. 48th Avenue proceeds through the northern section of Subarea 2.

Subarea 2 includes a total of 1,164 acres; however, once non-developable land is removed, the summary of acreage is:

Table 5. Subarea 2 Land Area

Parcel 2a = 78.5 acres	Parcel 6 = 102.8 acres
Parcel 2b = 28.1 acres	Parcel 7 = 314.4 acres
Parcel 3 = 120.2 acres	Parcel 8 = 151.8 acres
Parcel 4 = 36.5 acres	Parcel 9 = 154.4 acres
Parcel 5 = 136.9 acres	
TOTAL =	1,123.6 Acres

VI.B. Subarea 2 Trip Generation Estimates & Assignment

Subarea 2 will be developed with data center and warehouse land uses and information contained in the current edition of *Trip Generation* was used to estimate the projected vehicle-trips. **Table 6** summarizes the estimates of vehicle trips for this subarea. Daily trips are projected to approach 12,000 vpd and the AM and PM peak hour vehicle movements are projected to be between 1,200 vph and 1,300 vph.

The assignment of the projected vehicle-trips of **Table 6** were applied to the projected roadway network using the trip distribution assumptions noted in Section IV.C. See **Figures 17** and **18** for representations of the site generated and total traffic volume projections for Subarea 2.

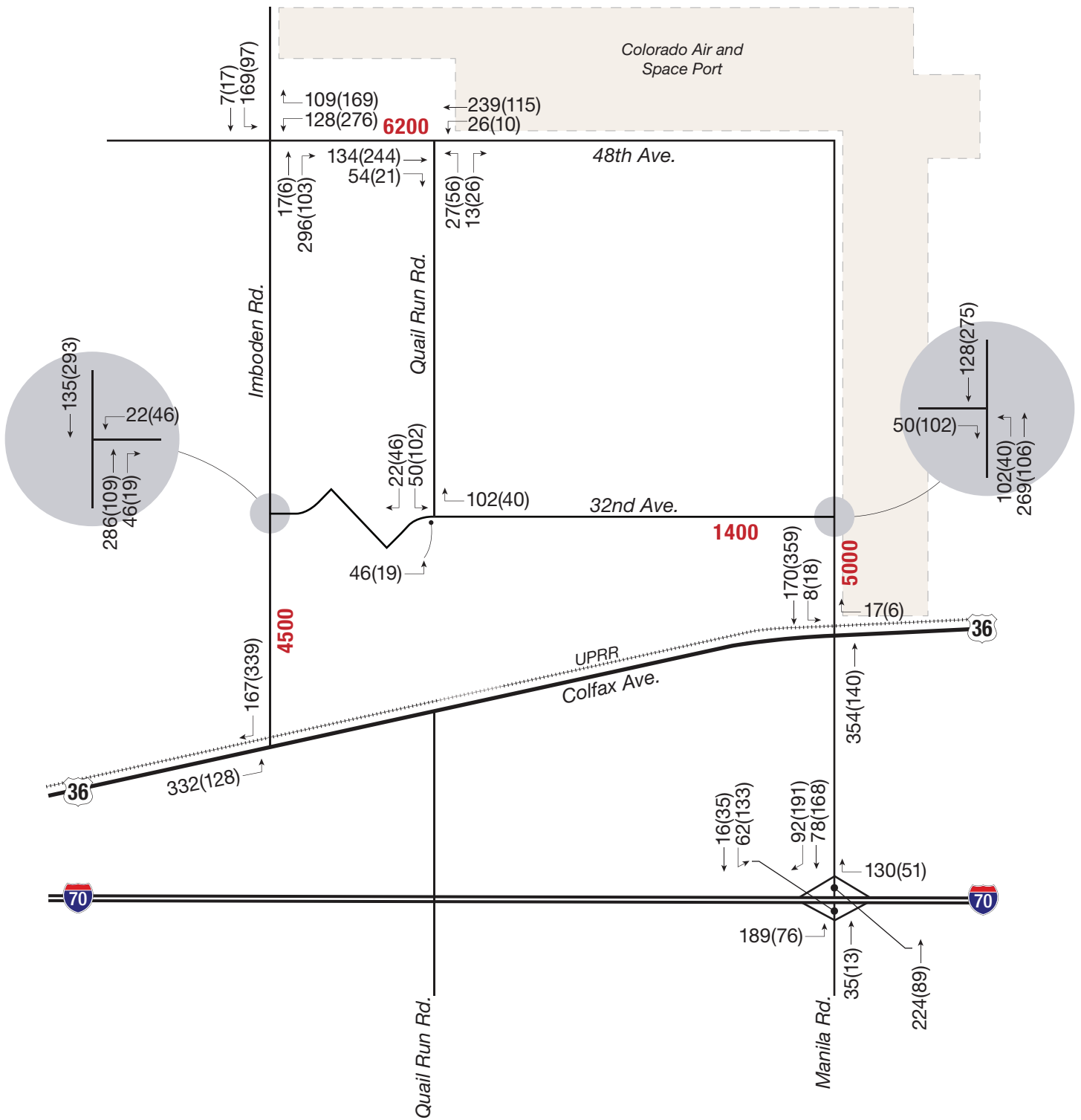
As with Subarea 1, there are varying levels of projected vehicle-trips at intersections and along the roadway network. Several vehicle movements should be noted:

- Imboden Road/48th Avenue Intersection – the westbound left turn lane is projected to reach or exceed 300 vph.
- US 36/Imboden Road Intersection – The eastbound to northbound left turn (AM peak hour) and southbound to westbound right turn (PM peak hour) movements are projected to exceed 400 vph.

Subarea 2 does not have the same level of impact at the I-70/Manila Road interchange as Subarea 1 given the locations of the land areas within these two subareas.

Table 6. Subarea 2 Trip Generation Estimates

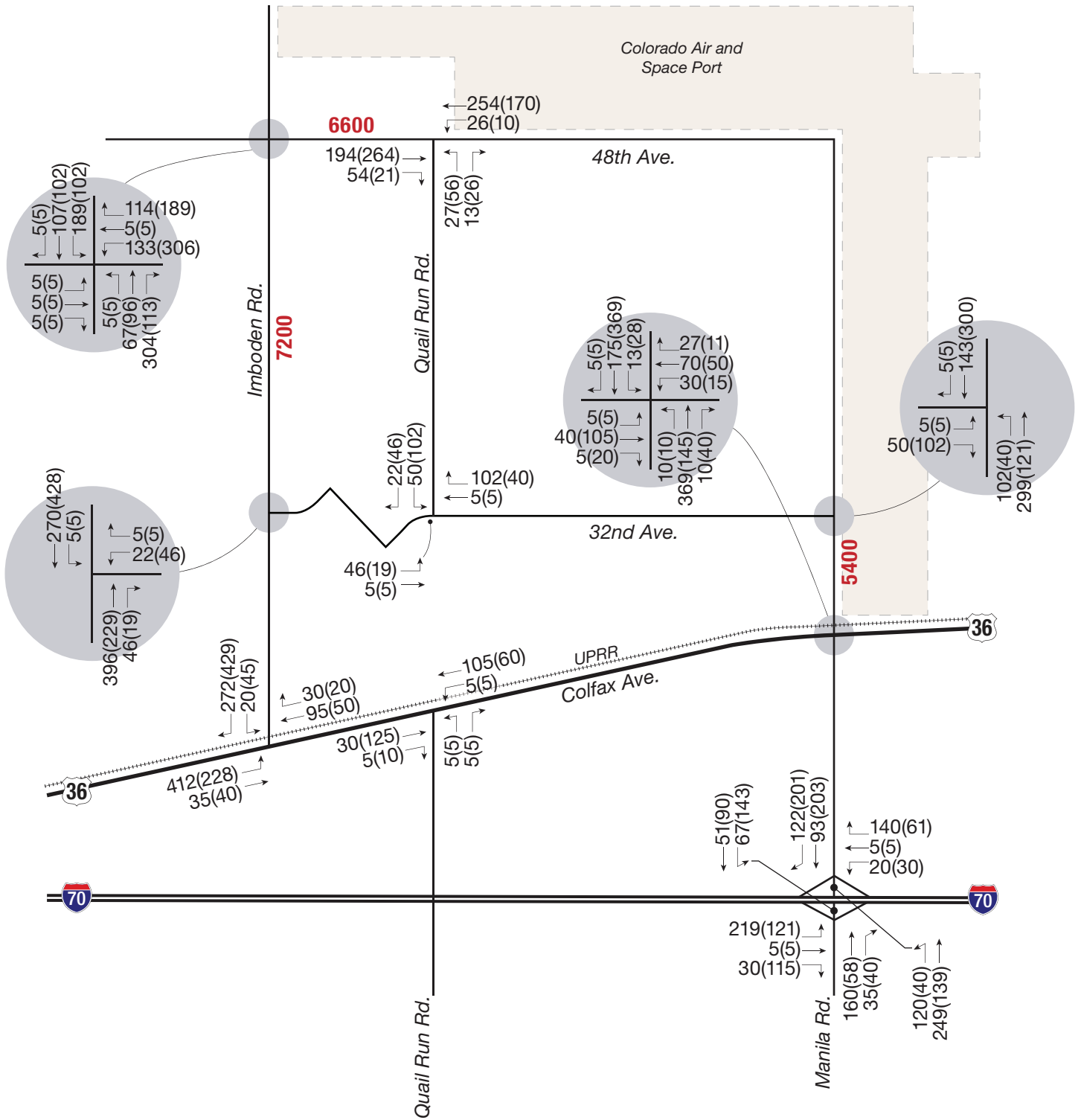
Planning Area	Land Use	ITE Code	Square Footage (KSF)	Daily	AM Peak Hour			PM Peak Hour		
					In	Out	Total	In	Out	Total
PA-2a	Data Center	160	307.8	305	19	15	34	8	20	28
	Warehouse	150	307.8	532	48	14	62	17	48	65
	Subtotal		615.5	837	67	29	96	25	68	93
PA-2b	Data Center	160	110.2	109	5	4	9	1	5	6
	Warehouse	150	110.2	220	30	9	39	11	30	41
	Subtotal		220.3	329	35	13	48	12	35	47
PA-3	Data Center	160	471.2	467	31	25	56	14	32	46
	Warehouse	150	471.2	790	63	19	82	22	62	84
	Subtotal		942.5	1,257	94	44	138	36	94	130
PA-4	Data Center	160	143.1	142	7	6	13	3	7	10
	Warehouse	150	143.1	272	32	10	42	12	33	45
	Subtotal		286.2	414	39	16	55	15	40	55
PA-5	Data Center	160	536.7	531	35	29	64	16	37	53
	Warehouse	150	536.7	894	69	21	90	25	67	92
	Subtotal		1,073.4	1,425	104	50	154	41	114	155
PA-6	Data Center	160	403.0	399	26	21	47	12	27	39
	Warehouse	150	403.0	682	57	17	74	20	56	76
	Subtotal		806.0	1,081	83	38	121	32	83	115
PA-7	Data Center	160	1,232.6	1,220	85	70	155	39	91	130
	Warehouse	150	1,232.6	1,993	133	40	173	47	129	176
	Subtotal		2,465.1	3,213	218	110	328	86	220	306
PA-8	Data Center	160	595.1	589	39	33	72	18	42	60
	Warehouse	150	595.1	986	74	23	97	27	72	99
	Subtotal		1,190.2	1,575	113	56	169	45	114	159
PA-9	Data Center	160	605.3	599	40	33	73	18	43	61
	Warehouse	150	605.3	1,002	75	23	98	27	73	100
	Subtotal		1,201.6	1,601	115	56	171	45	116	161
Net External Trip Generation				11,732	868	412	1,280	337	884	1,221



LEGEND

xxx(xxx) = AM(PM) Peak Hour Traffic Volumes

XXXX = Daily Traffic Volumes



LEGEND

xxx(xxx) = AM(PM) Peak Hour Traffic Volumes

XXXX = Daily Traffic Volumes

VI.C. Subarea 2 Operational Conditions

Intersection operational analyses of Subarea 2 were conducted for the AM and PM peak hours using the methodologies of the *Highway Capacity Manual* also. The results of these analyses find that some improvements will be required to provide good vehicle operations during the AM and PM peak hours. LOS D or better can be achieved with the traffic control recommendations of **Figure 19** which may require the installation of a new traffic signal at the Imboden Road/48th Avenue intersection. Analysis worksheets for Subarea 2 are included in **Appendix F**.

The construction of roundabout at the two I-70/Manila Road intersections was also considered for the operational evaluations. It was found that roundabouts will work very well (LOS A), but they are not considered a requirement or temporary measure as is noted for improvements related to Subarea 1.

VI.D. Subarea 2 Roadway Network & Traffic Control

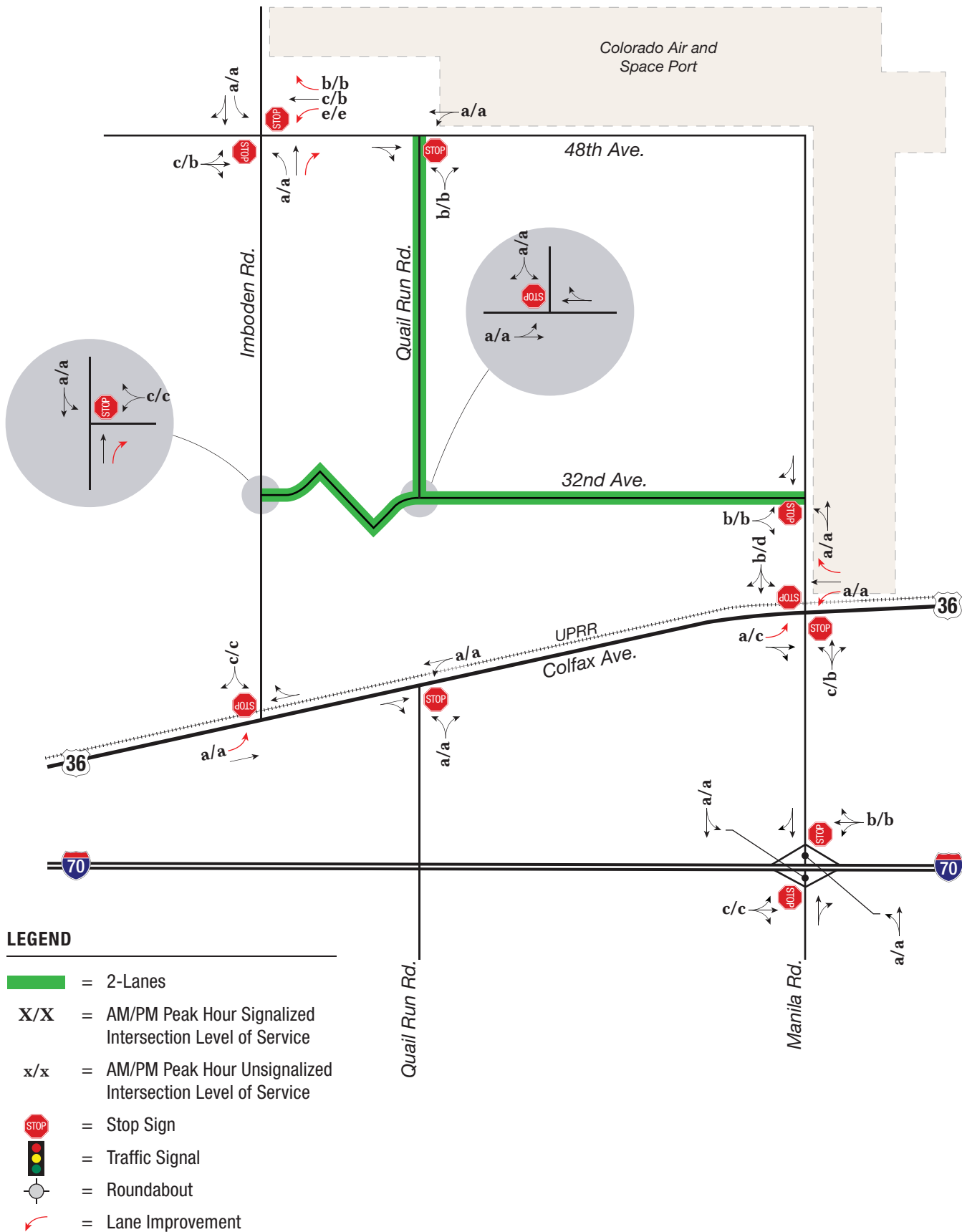
Some of the operational results included in the previous section rely on the construction of 32nd Avenue between an Imboden Road/Quail Run Road realignment and Manila Road. Evaluation on the timing of this improvement will be necessary as development construction proceeds. All intersections are projected to operate well and can continue to have stop sign control for the side street intersection movements except at the Imboden Road/48th Avenue intersection where a new traffic signal may be required by build-out of Subarea 2.

VI.E. Improvements Summary

A summary of the projected recommendations needed for the build-out of Subarea 2 are contained in **Table 7**. The Development Acreage column represents the approximate timeframe on an acreage basis that these improvements are projected to be necessary to provide acceptable vehicle flows and operations.

Table 7. Subarea 2 Improvement Recommendations

Location	Improvement	Development Acreage
32 nd Avenue	Construct a two-lane cross-section between Imboden Road and Manila Road	Concurrent with development of PA's 7 or 9
Quail Run Road	Construct a two-lane cross-section between 32 nd Avenue and 48 th Avenue	Concurrent with development of PA's 7 or 9
US 36/Imboden Road Intersection	Construct eastbound left turn lane	240-260 Acres
Imboden Road/48 th Avenue Intersection	Construct westbound left turn lane	240-260 Acres
Imboden Road/48 th Avenue Intersection	Monitor for installation of a traffic signal	Build-Out



VII. SUMMARY AND RECOMMENDATIONS

Transport Colorado is planning to develop a master-planned business environment of approximately 5,378 acres in the City of Aurora, Colorado. The project is known as Transport Colorado and will be developed with industrial, data center, warehousing, and commercial land uses with several parcels having a rail-service component. The project will have access to national highway and rail transportation corridors, and to national and international air infrastructure.

The project is located adjacent the Colorado Air and Space Port (Space Port), formerly known as Front Range Airport, and it is also within close proximity of Denver International Airport (DEN). The project will have access to I-70, a major east-west interstate highway system, via existing and planned interchanges. I-25 is located approximately 23 miles to the west of the project site and is the primary interstate access route between New Mexico and Montana. Complementing these two vital interstate highway links is the alignment of the Union Pacific Railroad (UPRR) tracks along the north side of United States (US) 36. One of Transport Colorado's economic benefits will be its rail access for rail-served properties and transload facilities.

The majority of the project is bounded by US 36, the UPRR, and by I-70 along its south edge, by 48th Avenue to the north, by Imboden Road on the west, and by Manila Road to the east. There are two additional properties included in the development, the largest of which is located to the east of the Space Port north-south runaway. This parcel consists of approximately 1,100 acres and is bounded by US 36 on the south, 48th Avenue to the north, and between Peterson and Schumaker Roads. The second parcel is about 300 acres and is adjacent Imboden Road between 56th and 64th Avenues.

Transport Colorado will likely take 20 or more years to completely develop. At completion of the project, the site will generate over 200,000 vehicle-trips per day, with about 153,000 of them added to the external roadway network after reductions for internal and pass-by trips.

The existing roadway network surrounding Transport Colorado is somewhat limited with certain roadways still being constructed of gravel. Transport Colorado will construct several new roadways that will serve the proposed land use types and certain improvements replicate information contained in the recently updated *NEATS Refresh*. By build-out of the entire Transport Colorado, the following roadway improvements will be necessary:

- Upgrades to existing roadways or the construction of new ones
- A realigned connection of Imboden Road with Quail Run Road
- A new interchange along I-70 at the Quail Run Road alignment
- A reconstructed I-70/Manila Road interchange
- Construction of roadway grade-separations at the UPRR crossings along Quail Run and Manila Roads
- Installation of traffic signalization or roundabouts at several locations
- Construction of the Transport Colorado portion of the Bear Gulch Trail system

The development of Transport Colorado will be gradual over many years and it is anticipated that traffic operational analyses will continue as parcels develop to support the confirmation and construction timeframes for infrastructure improvements. Analyses of individual parcels will confirm intersection laneage and traffic control recommendations. Particular recommendations for the development of Subareas 1 and 2 are contained in Sections V and VI.

APPENDIX A. RECORDED TRAFFIC VOLUMES

All Traffic Data
Wheat Ridge, CO 80033

Date Start: 06-Sep-18
Date End: 06-Sep-18
Site Code: 7
IMBODEN RD N.O. US 36

Start Time	06-Sep-18 Thu	NB	SB							Total
12:00 AM		8	5							13
01:00		6	0							6
02:00		2	3							5
03:00		6	6							12
04:00		23	8							31
05:00		64	40							104
06:00		99	99							198
07:00		83	99							182
08:00		78	79							157
09:00		96	72							168
10:00		56	53							109
11:00		74	62							136
12:00 PM		82	78							160
01:00		70	51							121
02:00		76	61							137
03:00		82	79							161
04:00		96	121							217
05:00		102	80							182
06:00		51	71							122
07:00		43	32							75
08:00		33	25							58
09:00		24	16							40
10:00		12	21							33
11:00		7	14							21
Total		1273	1175							2448
Percent		52.0%	48.0%							
AM Peak	-	06:00	06:00	-	-	-	-	-	-	06:00
Vol.	-	99	99	-	-	-	-	-	-	198
PM Peak	-	17:00	16:00	-	-	-	-	-	-	16:00
Vol.	-	102	121	-	-	-	-	-	-	217
Grand Total		1273	1175							2448
Percent		52.0%	48.0%							
ADT		ADT 2,448	AADT 2,448							

All Traffic Data

Wheat Ridge, CO 80033

Date Start: 06-Sep-18
Date End: 06-Sep-18
Site Code: 8
N MANILA RD N.O. US 369

Start Time	06-Sep-18	NB	SB								Total
12:00 AM		0	0								0
01:00		0	0								0
02:00		0	0								0
03:00		0	0								0
04:00		0	0								0
05:00		3	1								4
06:00		11	2								13
07:00		19	3								22
08:00		13	5								18
09:00		7	7								14
10:00		8	8								16
11:00		11	8								19
12:00 PM		11	13								24
01:00		13	8								21
02:00		16	6								22
03:00		19	21								40
04:00		3	19								22
05:00		20	13								33
06:00		7	22								29
07:00		2	22								24
08:00		2	9								11
09:00		4	8								12
10:00		1	1								2
11:00		0	1								1
Total		170	177								347
Percent		49.0%	51.0%								
AM Peak	-	07:00	10:00	-	-	-	-	-	-	07:00	
Vol.	-	19	8	-	-	-	-	-	-	22	
PM Peak	-	17:00	18:00	-	-	-	-	-	-	15:00	
Vol.	-	20	22	-	-	-	-	-	-	40	
Grand Total		170	177								347
Percent		49.0%	51.0%								
ADT		ADT 347	AADT 347								



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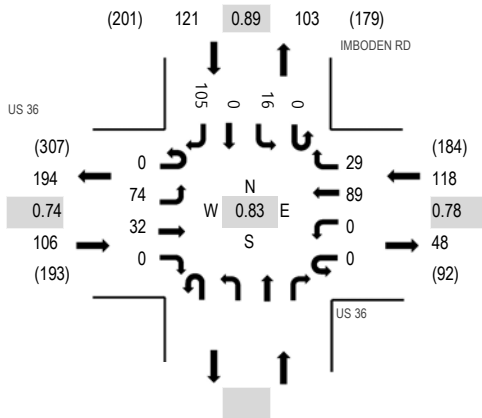
Location: 1 IMBODEN RD & US 36 AM

Date: Thursday, September 6, 2018

Peak Hour: 06:30 AM - 07:30 AM

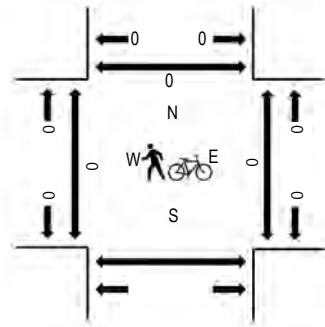
Peak 15-Minutes: 06:30 AM - 06:45 AM

Peak Hour - All Vehicles



Note: Total study counts contained in parentheses.

Peak Hour - Pedestrians/Bicycles on Crosswalk



Traffic Counts

Interval Start Time	US 36 Eastbound				US 36 Westbound				Northbound				IMBODEN RD Southbound				Total	Rolling Hour	Pedestrian Crossings			
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right			West	East	South	North
6:30 AM	0	23	13	0	0	0	0	30	8				0	2	0	28	104	345	0	0	0	0
6:45 AM	0	27	7	0	0	0	0	18	5				0	7	0	27	91	303	0	0	0	0
7:00 AM	0	17	8	0	0	0	0	19	8				0	3	0	21	76	272	0	0	0	0
7:15 AM	0	7	4	0	0	0	0	22	8				0	4	0	29	74	250	0	0	0	0
7:30 AM	0	14	8	0	0	0	0	20	4				0	4	0	12	62	233	0	0	0	0
7:45 AM	0	16	4	0	0	0	0	15	3				0	7	0	15	60		0	0	0	0
8:00 AM	0	10	10	0	0	0	0	7	5				0	5	0	17	54		0	0	0	0
8:15 AM	0	20	5	0	0	0	0	8	4				0	1	0	19	57		0	0	0	0
Count Total	0	134	59	0	0	0	0	139	45				0	33	0	168	578		0	0	0	0
Peak Hour	0	74	32	0	0	0	0	89	29				0	16	0	105	345		0	0	0	0



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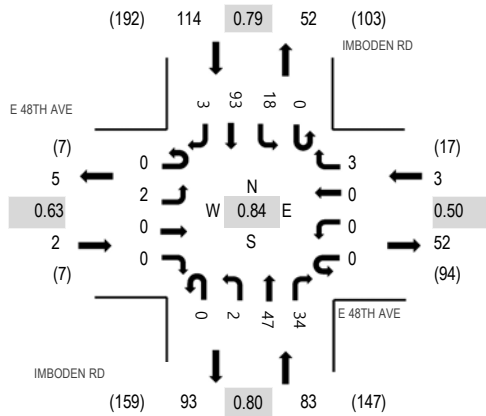
Location: 2 IMBODEN RD & E 48TH AVE AM

Date: Thursday, September 6, 2018

Peak Hour: 06:30 AM - 07:30 AM

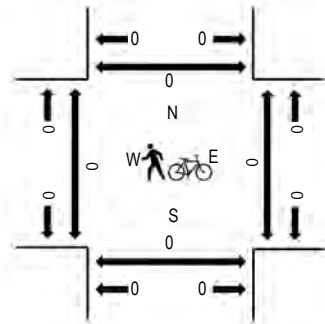
Peak 15-Minutes: 06:45 AM - 07:00 AM

Peak Hour - All Vehicles



Note: Total study counts contained in parentheses.

Peak Hour - Pedestrians/Bicycles on Crosswalk



Traffic Counts

Interval Start Time	E 48TH AVE Eastbound				E 48TH AVE Westbound				IMBODEN RD Northbound				IMBODEN RD Southbound				Total	Rolling Hour	Pedestrian Crossings			
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right			West	East	South	North
6:30 AM	0	0	0	0	0	0	0	2	0	0	9	12	0	5	30	1	59	202	0	0	0	0
6:45 AM	0	0	0	0	0	0	0	0	0	2	13	9	0	5	29	2	60	178	0	0	0	0
7:00 AM	0	0	0	0	0	0	0	0	0	0	17	9	0	5	14	0	45	160	0	0	0	0
7:15 AM	0	2	0	0	0	0	0	1	0	0	8	4	0	3	20	0	38	150	0	0	0	0
7:30 AM	0	2	0	0	0	1	0	1	0	0	12	3	0	4	12	0	35	161	0	0	0	0
7:45 AM	0	0	0	0	0	0	0	3	0	0	10	8	0	6	14	1	42		0	0	0	0
8:00 AM	0	0	0	1	0	2	0	0	0	1	5	5	0	5	16	0	35		0	0	0	0
8:15 AM	0	2	0	0	0	6	0	1	0	0	15	5	0	6	14	0	49		0	0	0	0
Count Total	0	6	0	1	0	9	0	8	0	3	89	55	0	39	149	4	363		0	0	0	0
Peak Hour	0	2	0	0	0	0	0	3	0	2	47	34	0	18	93	3	202		0	0	0	0



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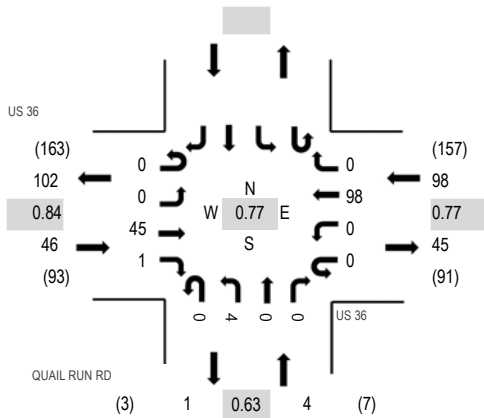
Location: 3 QUAIL RUN RD & US 36 AM

Date: Thursday, September 6, 2018

Peak Hour: 06:30 AM - 07:30 AM

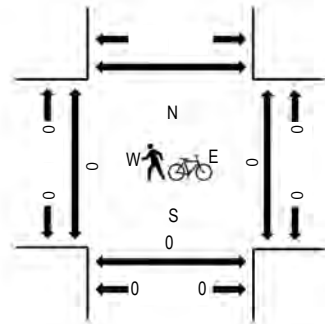
Peak 15-Minutes: 06:30 AM - 06:45 AM

Peak Hour - All Vehicles



Note: Total study counts contained in parentheses.

Peak Hour - Pedestrians/Bicycles on Crosswalk



Traffic Counts

Interval Start Time	US 36 Eastbound				US 36 Westbound				QUAIL RUN RD Northbound				Southbound				Total	Rolling Hour	Pedestrian Crossings			
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right			West	East	South	North
6:30 AM	0	0	15	0	0	0	32	0	0	1	0	0					48	148	0	0	0	
6:45 AM	0	0	16	0	0	0	20	0	0	0	0	0					36	136	0	0	0	
7:00 AM	0	0	9	0	0	0	20	0	0	1	0	0					30	129	0	0	0	
7:15 AM	0	0	5	1	0	0	26	0	0	2	0	0					34	128	0	0	0	
7:30 AM	0	0	14	0	0	0	20	0	0	1	0	1					36	109	0	0	0	
7:45 AM	0	0	10	2	0	0	17	0	0	0	0	0					29		0	0	0	
8:00 AM	0	0	14	0	0	0	14	0	0	1	0	0					29		0	0	0	
8:15 AM	0	0	7	0	0	0	8	0	0	0	0	0					15		0	0	0	
Count Total	0	0	90	3	0	0	157	0	0	6	0	1					257		0	0	0	
Peak Hour	0	0	45	1	0	0	98	0	0	4	0	0					148		0	0	0	



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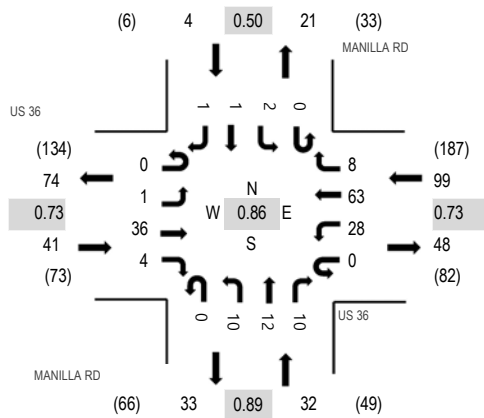
Location: 4 MANILLA RD & US 36 AM

Date: Thursday, September 6, 2018

Peak Hour: 06:45 AM - 07:45 AM

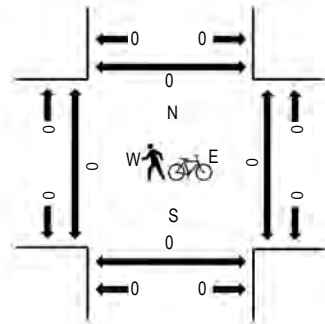
Peak 15-Minutes: 07:30 AM - 07:45 AM

Peak Hour - All Vehicles



Note: Total study counts contained in parentheses.

Peak Hour - Pedestrians/Bicycles on Crosswalk



Traffic Counts

Interval Start Time	US 36 Eastbound				US 36 Westbound				MANILLA RD Northbound				MANILLA RD Southbound				Total	Rolling Hour	Pedestrian Crossings			
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right			West	East	South	North
6:30 AM	0	0	6	0	0	7	27	3	0	0	0	1	0	0	0	0	44	169	0	0	0	0
6:45 AM	0	0	9	2	0	6	14	2	0	3	2	2	0	1	0	0	41	176	0	0	0	0
7:00 AM	0	0	9	1	0	11	13	1	0	2	3	2	0	1	1	0	44	174	0	0	0	0
7:15 AM	0	0	5	1	0	2	20	2	0	3	3	3	0	0	0	1	40	164	0	0	0	0
7:30 AM	0	1	13	0	0	9	16	3	0	2	4	3	0	0	0	0	51	146	0	0	0	0
7:45 AM	0	0	6	3	0	10	13	1	0	1	2	3	0	0	0	0	39		0	0	0	0
8:00 AM	0	0	10	1	0	6	11	2	0	2	0	1	0	0	1	0	34		0	0	0	0
8:15 AM	0	1	5	0	0	4	3	1	0	3	2	2	0	0	1	0	22		0	0	0	0
Count Total	0	2	63	8	0	55	117	15	0	16	16	17	0	2	3	1	315		0	0	0	0
Peak Hour	0	1	36	4	0	28	63	8	0	10	12	10	0	2	1	1	176		0	0	0	0



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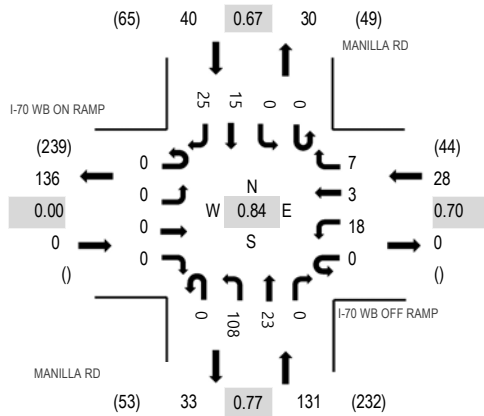
Location: 5 MANILLA RD & I-70 WB OFF RAMP AM

Date: Thursday, September 6, 2018

Peak Hour: 07:00 AM - 08:00 AM

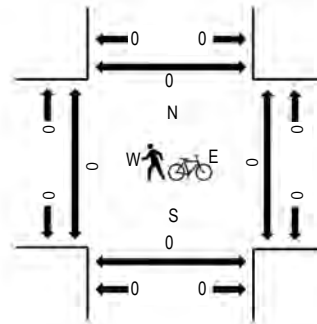
Peak 15-Minutes: 07:15 AM - 07:30 AM

Peak Hour - All Vehicles



Note: Total study counts contained in parentheses.

Peak Hour - Pedestrians/Bicycles on Crosswalk



Traffic Counts

Interval Start Time	I-70 WB ON RAMP				I-70 WB OFF RAMP				MANILLA RD				MANILLA RD				Total	Rolling Hour	Pedestrian Crossings			
	Eastbound				Westbound				Northbound				Southbound						West	East	South	North
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right						
6:30 AM	0	0	0	0	0	3	0	2	0	32	2	0	0	0	0	6	45	194	0	0	0	0
6:45 AM	0	0	0	0	0	2	1	1	0	25	4	0	0	0	2	3	38	192	0	0	0	0
7:00 AM	0	0	0	0	0	3	1	3	0	23	7	0	0	0	6	9	52	199	0	0	0	0
7:15 AM	0	0	0	0	0	7	2	1	0	36	9	0	0	0	1	3	59	182	0	0	0	0
7:30 AM	0	0	0	0	0	1	0	1	0	26	6	0	0	0	3	6	43	147	0	0	0	0
7:45 AM	0	0	0	0	0	7	0	2	0	23	1	0	0	0	5	7	45		0	0	0	0
8:00 AM	0	0	0	0	0	2	1	2	0	19	2	0	0	0	6	3	35		0	0	0	0
8:15 AM	0	0	0	0	0	2	0	0	0	11	6	0	0	0	3	2	24		0	0	0	0
Count Total	0	0	0	0	0	27	5	12	0	195	37	0	0	0	26	39	341		0	0	0	0
Peak Hour	0	0	0	0	0	18	3	7	0	108	23	0	0	0	15	25	199		0	0	0	0



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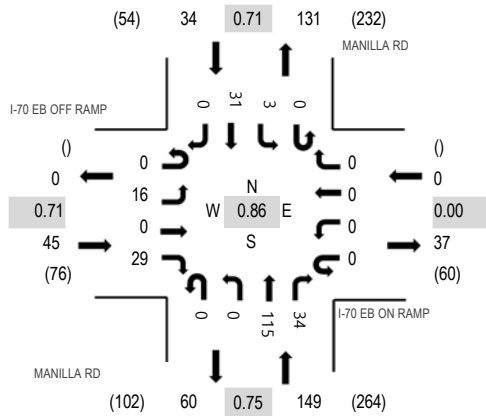
Location: 6 MANILLA RD & I-70 EB ON RAMP AM

Date: Thursday, September 6, 2018

Peak Hour: 07:00 AM - 08:00 AM

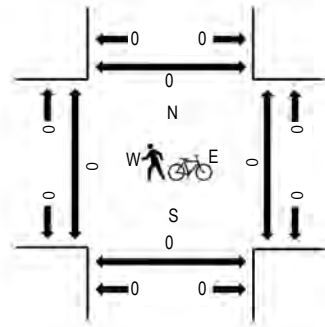
Peak 15-Minutes: 07:15 AM - 07:30 AM

Peak Hour - All Vehicles



Note: Total study counts contained in parentheses.

Peak Hour - Pedestrians/Bicycles on Crosswalk



Traffic Counts

Interval Start Time	I-70 EB OFF RAMP Eastbound				I-70 EB ON RAMP Westbound				MANILLA RD Northbound				MANILLA RD Southbound				Total	Rolling Hour	Pedestrian Crossings			
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right			West	East	South	North
6:30 AM	0	2	0	3	0	0	0	0	0	0	32	2	0	1	2	0	42	200	0	0	0	0
6:45 AM	0	1	0	4	0	0	0	0	0	0	28	3	0	1	2	0	39	212	0	0	0	0
7:00 AM	0	3	0	7	0	0	0	0	0	0	28	5	0	1	9	0	53	228	0	0	0	0
7:15 AM	0	4	0	4	0	0	0	0	0	0	40	10	0	1	7	0	66	225	0	0	0	0
7:30 AM	0	8	0	9	0	0	0	0	0	0	23	10	0	0	4	0	54	194	0	0	0	0
7:45 AM	0	1	0	9	0	0	0	0	0	0	24	9	0	1	11	0	55		0	0	0	0
8:00 AM	0	1	0	12	0	0	0	0	0	0	20	9	0	1	7	0	50		0	0	0	0
8:15 AM	0	1	0	7	0	0	0	0	0	0	16	5	0	1	5	0	35		0	0	0	0
Count Total	0	21	0	55	0	0	0	0	0	0	211	53	0	7	47	0	394		0	0	0	0
Peak Hour	0	16	0	29	0	0	0	0	0	0	115	34	0	3	31	0	228		0	0	0	0



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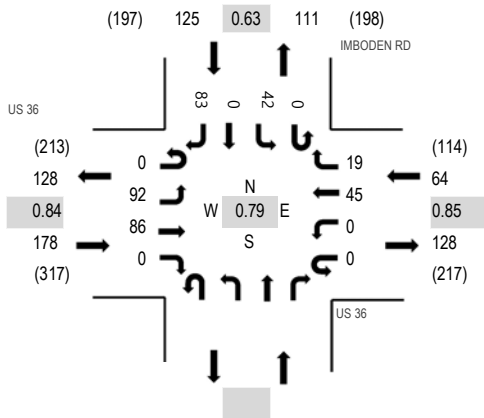
Location: 1 IMBODEN RD & US 36 PM

Date: Thursday, September 6, 2018

Peak Hour: 04:15 PM - 05:15 PM

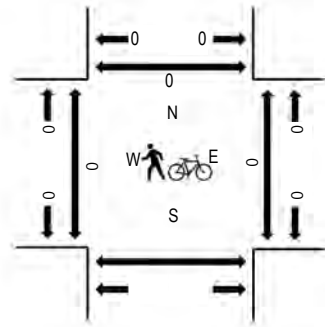
Peak 15-Minutes: 04:45 PM - 05:00 PM

Peak Hour - All Vehicles



Note: Total study counts contained in parentheses.

Peak Hour - Pedestrians/Bicycles on Crosswalk



Traffic Counts

Interval Start Time	US 36 Eastbound				US 36 Westbound				Northbound				IMBODEN RD Southbound				Total	Rolling Hour	Pedestrian Crossings			
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right			West	East	South	North
4:00 PM	0	15	17	0	0	0	0	15	2				0	5	0	14	68	346	0	0	0	0
4:15 PM	0	18	20	0	0	0	0	13	4				0	5	0	15	75	367	0	0	0	0
4:30 PM	0	19	19	0	0	0	0	16	5				0	9	0	19	87	363	0	0	0	0
4:45 PM	0	25	24	0	0	0	0	8	8				0	19	0	32	116	344	0	0	0	0
5:00 PM	0	30	23	0	0	0	0	8	2				0	9	0	17	89	282	0	0	0	0
5:15 PM	0	18	14	0	0	0	0	12	4				0	11	0	12	71		0	0	0	0
5:30 PM	0	21	21	0	0	0	0	5	4				0	5	0	12	68		0	0	0	0
5:45 PM	0	22	11	0	0	0	0	7	1				0	5	0	8	54		0	0	0	0
Count Total	0	168	149	0	0	0	0	84	30				0	68	0	129	628		0	0	0	0
Peak Hour	0	92	86	0	0	0	0	45	19				0	42	0	83	367		0	0	0	0



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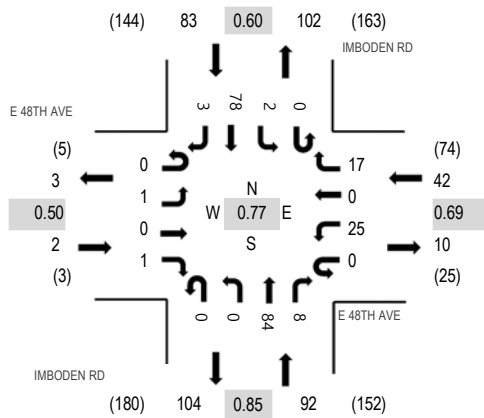
Location: 2 IMBODEN RD & E 48TH AVE PM

Date: Thursday, September 6, 2018

Peak Hour: 04:30 PM - 05:30 PM

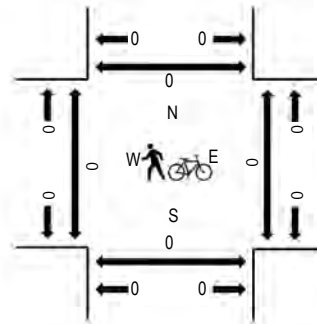
Peak 15-Minutes: 04:45 PM - 05:00 PM

Peak Hour - All Vehicles



Note: Total study counts contained in parentheses.

Peak Hour - Pedestrians/Bicycles on Crosswalk



Traffic Counts

Interval Start Time	E 48TH AVE Eastbound				E 48TH AVE Westbound				IMBODEN RD Northbound				IMBODEN RD Southbound				Total	Rolling Hour	Pedestrian Crossings			
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right			West	East	South	North
4:00 PM	0	0	0	0	0	4	0	1	0	0	11	4	0	4	12	1	37	196	0	0	0	0
4:15 PM	0	0	0	0	0	11	0	2	0	0	7	2	0	0	17	0	39	215	0	0	0	0
4:30 PM	0	0	0	0	0	7	0	3	0	0	23	0	0	1	14	1	49	219	0	0	0	0
4:45 PM	0	0	0	1	0	5	0	2	0	0	23	4	0	1	34	1	71	212	0	0	0	0
5:00 PM	0	0	0	0	0	8	0	9	0	0	25	2	0	0	11	1	56	177	0	0	0	0
5:15 PM	0	1	0	0	0	5	0	3	0	0	13	2	0	0	19	0	43		0	0	0	0
5:30 PM	0	0	0	0	0	2	0	3	0	0	19	3	0	2	13	0	42		0	0	0	0
5:45 PM	0	1	0	0	0	5	0	4	0	1	13	0	0	0	12	0	36		0	0	0	0
Count Total	0	2	0	1	0	47	0	27	0	1	134	17	0	8	132	4	373		0	0	0	0
Peak Hour	0	1	0	1	0	25	0	17	0	0	84	8	0	2	78	3	219		0	0	0	0



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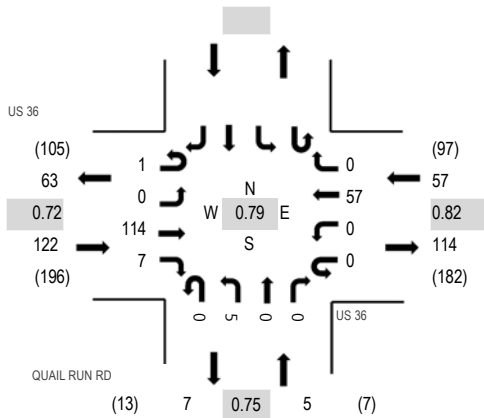
Location: 3 QUAIL RUN RD & US 36 PM

Date: Thursday, September 6, 2018

Peak Hour: 04:15 PM - 05:15 PM

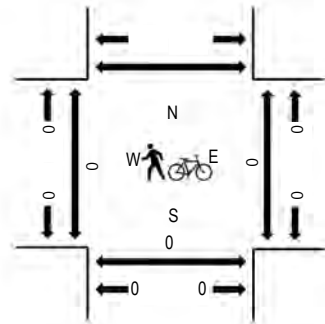
Peak 15-Minutes: 04:45 PM - 05:00 PM

Peak Hour - All Vehicles



Note: Total study counts contained in parentheses.

Peak Hour - Pedestrians/Bicycles on Crosswalk



Traffic Counts

Interval Start Time	US 36 Eastbound				US 36 Westbound				QUAIL RUN RD Northbound				Southbound				Total	Rolling Hour	Pedestrian Crossings			
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right			West	East	South	North
4:00 PM	0	0	14	3	0	0	13	0	0	1	0	0					31	175	0	0	0	
4:15 PM	0	0	18	3	0	0	14	0	0	2	0	0					37	184	0	0	0	
4:30 PM	1	0	25	3	0	0	18	0	0	2	0	0					49	181	0	0	0	
4:45 PM	0	0	42	1	0	0	14	0	0	1	0	0					58	165	0	0	0	
5:00 PM	0	0	29	0	0	0	11	0	0	0	0	0					40	125	0	0	0	
5:15 PM	0	0	22	0	0	0	11	0	0	1	0	0					34		0	0	0	
5:30 PM	0	0	21	3	0	0	9	0	0	0	0	0					33		0	0	0	
5:45 PM	0	0	11	0	0	0	7	0	0	0	0	0					18		0	0	0	
Count Total	1	0	182	13	0	0	97	0	0	7	0	0					300		0	0	0	
Peak Hour	1	0	114	7	0	0	57	0	0	5	0	0					184		0	0	0	



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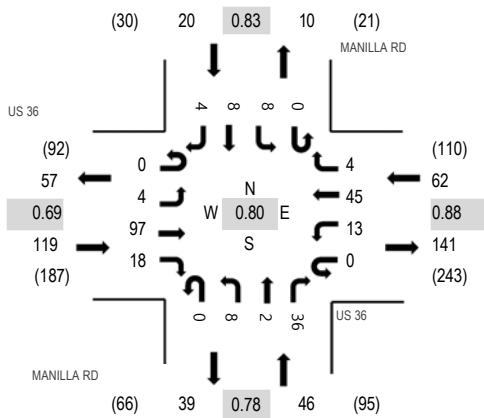
Location: 4 MANILLA RD & US 36 PM

Date: Thursday, September 6, 2018

Peak Hour: 04:30 PM - 05:30 PM

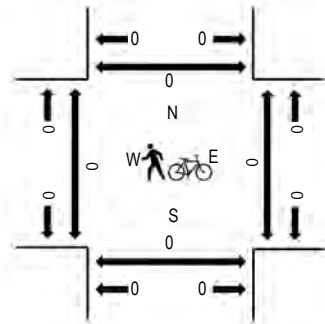
Peak 15-Minutes: 04:45 PM - 05:00 PM

Peak Hour - All Vehicles



Note: Total study counts contained in parentheses.

Peak Hour - Pedestrians/Bicycles on Crosswalk



Traffic Counts

Interval Start Time	US 36 Eastbound				US 36 Westbound				MANILLA RD Northbound				MANILLA RD Southbound				Total	Rolling Hour	Pedestrian Crossings			
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right			West	East	South	North
4:00 PM	0	0	17	0	0	6	7	0	0	2	2	8	0	3	1	0	46	227	0	0	0	0
4:15 PM	0	0	20	0	0	6	11	0	0	0	1	7	0	0	4	0	49	239	0	0	0	0
4:30 PM	0	0	22	2	0	3	15	0	0	2	0	5	0	3	1	2	55	247	0	0	0	0
4:45 PM	0	2	32	9	0	5	8	0	0	4	0	13	0	2	2	0	77	235	0	0	0	0
5:00 PM	0	0	19	6	0	3	10	2	0	2	0	10	0	3	2	1	58	195	0	0	0	0
5:15 PM	0	2	24	1	0	2	12	2	0	0	2	8	0	0	3	1	57		0	0	0	0
5:30 PM	0	0	16	3	0	2	6	1	0	1	2	11	0	0	1	0	43		0	0	0	0
5:45 PM	0	0	12	0	0	3	5	1	0	3	4	8	0	0	1	0	37		0	0	0	0
Count Total	0	4	162	21	0	30	74	6	0	14	11	70	0	11	15	4	422		0	0	0	0
Peak Hour	0	4	97	18	0	13	45	4	0	8	2	36	0	8	8	4	247		0	0	0	0



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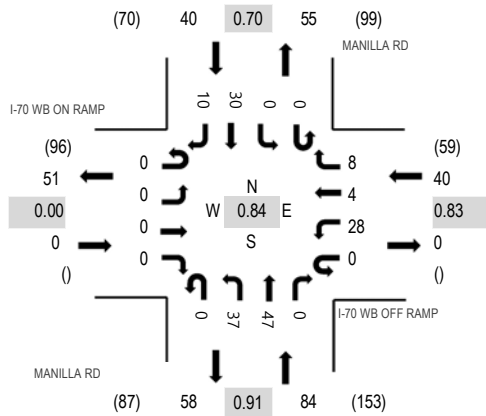
Location: 5 MANILLA RD & I-70 WB OFF RAMP PM

Date: Thursday, September 6, 2018

Peak Hour: 04:45 PM - 05:45 PM

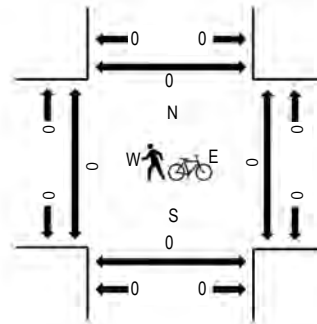
Peak 15-Minutes: 04:45 PM - 05:00 PM

Peak Hour - All Vehicles



Note: Total study counts contained in parentheses.

Peak Hour - Pedestrians/Bicycles on Crosswalk



Traffic Counts

Interval Start Time	I-70 WB ON RAMP Eastbound				I-70 WB OFF RAMP Westbound				MANILLA RD Northbound				MANILLA RD Southbound				Total	Rolling Hour	Pedestrian Crossings			
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right			West	East	South	North
4:00 PM	0	0	0	0	0	5	0	1	0	6	14	0	0	0	3	5	34	140	0	0	0	0
4:15 PM	0	0	0	0	0	1	0	0	0	11	8	0	0	0	6	4	30	149	0	0	0	0
4:30 PM	0	0	0	0	0	3	1	1	0	8	7	0	0	0	4	3	27	152	0	0	0	0
4:45 PM	0	0	0	0	0	7	0	3	0	9	14	0	0	0	13	3	49	164	0	0	0	0
5:00 PM	0	0	0	0	0	8	1	0	0	9	13	0	0	0	10	2	43	142	0	0	0	0
5:15 PM	0	0	0	0	0	5	2	2	0	12	7	0	0	0	1	4	33		0	0	0	0
5:30 PM	0	0	0	0	0	8	1	3	0	7	13	0	0	0	6	1	39		0	0	0	0
5:45 PM	0	0	0	0	0	5	0	2	0	4	11	0	0	0	2	3	27		0	0	0	0
Count Total	0	0	0	0	0	42	5	12	0	66	87	0	0	0	45	25	282		0	0	0	0
Peak Hour	0	0	0	0	0	28	4	8	0	37	47	0	0	0	30	10	164		0	0	0	0



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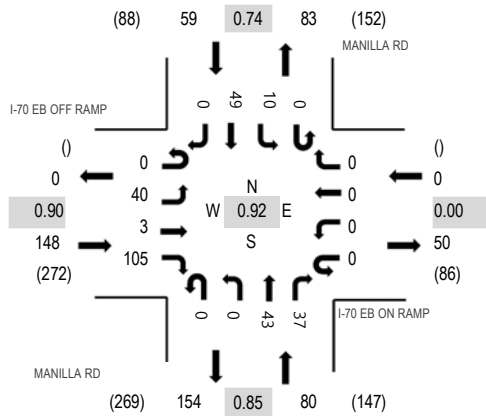
Location: 6 MANILLA RD & I-70 EB ON RAMP PM

Date: Thursday, September 6, 2018

Peak Hour: 04:45 PM - 05:45 PM

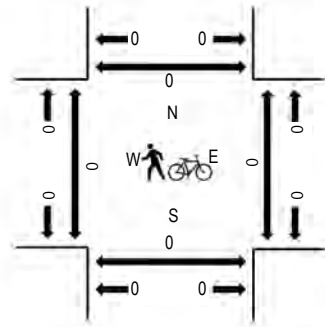
Peak 15-Minutes: 04:45 PM - 05:00 PM

Peak Hour - All Vehicles



Note: Total study counts contained in parentheses.

Peak Hour - Pedestrians/Bicycles on Crosswalk



Traffic Counts

Interval Start Time	I-70 EB OFF RAMP Eastbound				I-70 EB ON RAMP Westbound				MANILLA RD Northbound				MANILLA RD Southbound				Total	Rolling Hour	Pedestrian Crossings			
	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right	U-Turn	Left	Thru	Right			West	East	South	North
4:00 PM	0	10	0	21	0	0	0	0	0	0	10	8	0	2	6	0	57	241	0	0	0	0
4:15 PM	0	9	0	24	0	0	0	0	0	0	10	7	0	3	3	0	56	261	0	0	0	0
4:30 PM	0	5	0	24	0	0	0	0	0	0	9	4	0	0	8	0	50	267	0	0	0	0
4:45 PM	0	12	3	26	0	0	0	0	0	0	11	6	0	2	18	0	78	287	0	0	0	0
5:00 PM	0	11	0	23	0	0	0	0	0	0	11	13	0	5	14	0	77	266	0	0	0	0
5:15 PM	0	7	0	30	0	0	0	0	0	0	12	7	0	1	5	0	62		0	0	0	0
5:30 PM	0	10	0	26	0	0	0	0	0	0	9	11	0	2	12	0	70		0	0	0	0
5:45 PM	0	9	0	22	0	0	0	0	0	0	7	12	0	0	7	0	57		0	0	0	0
Count Total	0	73	3	196	0	0	0	0	0	0	79	68	0	15	73	0	507		0	0	0	0
Peak Hour	0	40	3	105	0	0	0	0	0	0	43	37	0	10	49	0	287		0	0	0	0

APPENDIX B. LEVEL OF SERVICE CRITERIA

TABLE B1
LEVEL OF SERVICE CRITERIA FOR
TWO-WAY STOP CONTROLLED (TWSC) INTERSECTIONS

Level of Service	Delay Range (sec/veh)
A	0.0 - 10.0
B	>10.0 - 15.0
C	>15.0 - 25.0
D	>25.0 - 35.0
E	>35.0 - 50.0
F	> 50.0
Adapted from: <i>Highway Capacity Manual</i> , Transportation Research Board, 2010.	

TABLE B2
LEVEL OF SERVICE CRITERIA FOR SIGNALIZED INTERSECTIONS

Level of Service	Control Delay (sec/veh)	Qualitative Description
A	≤ 10.0	Good progression, short cycles, very few vehicle-stops.
B	>10.0 - 20.0	Good progression, and/or short cycle lengths, more vehicle-stops.
C	>20.0 - 35.0	Fair progression and/or longer cycle lengths, some individual cycle failures, many vehicle-stops
D	>35.0 - 55.0	Noticeable congestion and cycle failures, unfavorable progression, high v/c ratios, several stops.
E	>55.0 - 80.0	Limit of acceptable delay, poor progression, long cycles, high v/c ratios, frequent cycle failures.
F	> 80.0	Delay is unacceptable to most drivers, volume exceeds capacity, breakdown of traffic flow.
Adapted from: <i>Highway Capacity Manual</i> , Transportation Research Board, 2010.		

APPENDIX C. ANALYSIS WORKSHEETS – EXISTING CONDITIONS

Intersection												
Int Delay, s/veh	1											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕		↕	↕		↕	↕	
Traffic Vol, veh/h	2	0	0	0	0	3	2	47	34	18	93	3
Future Vol, veh/h	2	0	0	0	0	3	2	47	34	18	93	3
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	100	-	-	150	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	84	84	84	84	84	84	84	84	84	84	84	84
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	2	0	0	0	0	4	2	56	40	21	111	4




Major/Minor	Minor2		Minor1		Major1		Major2					
Conflicting Flow All	237	255	113	235	237	76	115	0	0	96	0	0
Stage 1	155	155	-	80	80	-	-	-	-	-	-	-
Stage 2	82	100	-	155	157	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	717	649	940	720	664	985	1474	-	-	1498	-	-
Stage 1	847	769	-	929	828	-	-	-	-	-	-	-
Stage 2	926	812	-	847	768	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	706	639	940	711	654	985	1474	-	-	1498	-	-
Mov Cap-2 Maneuver	706	639	-	711	654	-	-	-	-	-	-	-
Stage 1	846	758	-	928	827	-	-	-	-	-	-	-
Stage 2	921	811	-	835	757	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	10.1		8.7		0.2		1.2	
HCM LOS	B		A					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1474	-	-	706	985	1498	-
HCM Lane V/C Ratio	0.002	-	-	0.003	0.004	0.014	-
HCM Control Delay (s)	7.4	-	-	10.1	8.7	7.4	-
HCM Lane LOS	A	-	-	B	A	A	-
HCM 95th %tile Q(veh)	0	-	-	0	0	0	-

Intersection




Int Delay, s/veh 5.1

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	74	32	89	29	16	105
Future Vol, veh/h	74	32	89	29	16	105
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	83	83	83	83	83	83
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	89	39	107	35	19	127

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	142	0	0 342 125
Stage 1	-	-	- 125 -
Stage 2	-	-	- 217 -
Critical Hdwy	4.12	-	- 6.42 6.22
Critical Hdwy Stg 1	-	-	- 5.42 -
Critical Hdwy Stg 2	-	-	- 5.42 -
Follow-up Hdwy	2.218	-	- 3.518 3.318
Pot Cap-1 Maneuver	1441	-	- 654 926
Stage 1	-	-	- 901 -
Stage 2	-	-	- 819 -
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	1441	-	- 613 926
Mov Cap-2 Maneuver	-	-	- 613 -
Stage 1	-	-	- 844 -
Stage 2	-	-	- 819 -

Approach	EB	WB	SB
HCM Control Delay, s	5.3	0	10
HCM LOS			B

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1441	-	-	-	867
HCM Lane V/C Ratio	0.062	-	-	-	0.168
HCM Control Delay (s)	7.7	0	-	-	10
HCM Lane LOS	A	A	-	-	B
HCM 95th %tile Q(veh)	0.2	-	-	-	0.6

Intersection						
Int Delay, s/veh	0.3					
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations						
Traffic Vol, veh/h	45	1	0	98	4	0
Future Vol, veh/h	45	1	0	98	4	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	77	77	77	77	77	77
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	58	1	0	127	5	0

Major/Minor	Major1	Major2	Minor1
Conflicting Flow All	0	0	59
Stage 1	-	-	-
Stage 2	-	-	-
Critical Hdwy	-	-	4.12
Critical Hdwy Stg 1	-	-	-
Critical Hdwy Stg 2	-	-	-
Follow-up Hdwy	-	-	2.218
Pot Cap-1 Maneuver	-	-	1545
Stage 1	-	-	-
Stage 2	-	-	-
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	-	-	1545
Mov Cap-2 Maneuver	-	-	-
Stage 1	-	-	-
Stage 2	-	-	-







Approach	EB	WB	NB
HCM Control Delay, s	0	0	9.5
HCM LOS			A




Minor Lane/Major Mvmt	NBLn1	EBT	EBR	WBL	WBT
Capacity (veh/h)	803	-	-	1545	-
HCM Lane V/C Ratio	0.006	-	-	-	-
HCM Control Delay (s)	9.5	-	-	0	-
HCM Lane LOS	A	-	-	A	-
HCM 95th %tile Q(veh)	0	-	-	0	-




Intersection												
Int Delay, s/veh	3.2											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	1	36	4	28	63	8	10	12	10	2	1	1
Future Vol, veh/h	1	36	4	28	63	8	10	12	10	2	1	1
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	86	86	86	86	86	86	86	86	86	86	86	86
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	1	42	5	33	73	9	12	14	12	2	1	1
Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	82	0	0	47	0	0	192	195	45	204	193	78
Stage 1	-	-	-	-	-	-	47	47	-	144	144	-
Stage 2	-	-	-	-	-	-	145	148	-	60	49	-
Critical Hdwy	4.12	-	-	4.12	-	-	7.12	6.52	6.22	7.12	6.52	6.22
Critical Hdwy Stg 1	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Follow-up Hdwy	2.218	-	-	2.218	-	-	3.518	4.018	3.318	3.518	4.018	3.318
Pot Cap-1 Maneuver	1515	-	-	1560	-	-	768	700	1025	754	702	983
Stage 1	-	-	-	-	-	-	967	856	-	859	778	-
Stage 2	-	-	-	-	-	-	858	775	-	951	854	-
Platoon blocked, %		-	-		-	-						
Mov Cap-1 Maneuver	1515	-	-	1560	-	-	753	684	1025	721	686	983
Mov Cap-2 Maneuver	-	-	-	-	-	-	753	684	-	721	686	-
Stage 1	-	-	-	-	-	-	966	855	-	858	761	-
Stage 2	-	-	-	-	-	-	837	758	-	924	853	-
Approach	EB			WB			NB			SB		
HCM Control Delay, s	0.2			2.1			9.8			9.8		
HCM LOS							A			A		
Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1				
Capacity (veh/h)	789	1515	-	-	1560	-	-	762				
HCM Lane V/C Ratio	0.047	0.001	-	-	0.021	-	-	0.006				
HCM Control Delay (s)	9.8	7.4	0	-	7.4	0	-	9.8				
HCM Lane LOS	A	A	A	-	A	A	-	A				
HCM 95th %tile Q(veh)	0.1	0	-	-	0.1	-	-	0				

Intersection												
Int Delay, s/veh	5.5											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations					↕			↕			↕	
Traffic Vol, veh/h	0	0	0	18	3	7	108	23	0	0	15	25
Future Vol, veh/h	0	0	0	18	3	7	108	23	0	0	15	25
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	2	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	84	84	84	84	84	84	84	84	84	84	84	84
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	0	0	21	4	8	129	27	0	0	18	30
Major/Minor				Minor1		Major1		Major2				
Conflicting Flow All				318	333	27	48	0	-	-	-	0
Stage 1				285	285	-	-	-	-	-	-	-
Stage 2				33	48	-	-	-	-	-	-	-
Critical Hdwy				6.42	6.52	6.22	4.12	-	-	-	-	-
Critical Hdwy Stg 1				5.42	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2				5.42	5.52	-	-	-	-	-	-	-
Follow-up Hdwy				3.518	4.018	3.318	2.218	-	-	-	-	-
Pot Cap-1 Maneuver				675	587	1048	1559	-	0	0	-	-
Stage 1				763	676	-	-	-	0	0	-	-
Stage 2				989	855	-	-	-	0	0	-	-
Platoon blocked, %								-			-	-
Mov Cap-1 Maneuver				618	0	1048	1559	-	-	-	-	-
Mov Cap-2 Maneuver				618	0	-	-	-	-	-	-	-
Stage 1				699	0	-	-	-	-	-	-	-
Stage 2				989	0	-	-	-	-	-	-	-
Approach				WB		NB		SB				
HCM Control Delay, s				10.4		6.2		0				
HCM LOS				B								
Minor Lane/Major Mvmt		NBL	NBTWBLn1	SBT	SBR							
Capacity (veh/h)		1559	-	698	-	-						
HCM Lane V/C Ratio		0.082	-	0.048	-	-						
HCM Control Delay (s)		7.5	0	10.4	-	-						
HCM Lane LOS		A	A	B	-	-						
HCM 95th %tile Q(veh)		0.3	-	0.1	-	-						

Intersection												
Int Delay, s/veh	1.9											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕						↕			↕	
Traffic Vol, veh/h	16	0	29	0	0	0	0	115	34	3	31	0
Future Vol, veh/h	16	0	29	0	0	0	0	115	34	3	31	0
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	16979	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	86	86	86	86	86	86	86	86	86	86	86	86
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	19	0	34	0	0	0	0	134	40	3	36	0
Major/Minor	Minor2						Major1			Major2		
Conflicting Flow All	196	216	36				-	0	0	174	0	0
Stage 1	42	42	-				-	-	-	-	-	-
Stage 2	154	174	-				-	-	-	-	-	-
Critical Hdwy	6.42	6.52	6.22				-	-	-	4.12	-	-
Critical Hdwy Stg 1	5.42	5.52	-				-	-	-	-	-	-
Critical Hdwy Stg 2	5.42	5.52	-				-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318				-	-	-	2.218	-	-
Pot Cap-1 Maneuver	793	682	1037				0	-	-	1403	-	0
Stage 1	980	860	-				0	-	-	-	-	0
Stage 2	874	755	-				0	-	-	-	-	0
Platoon blocked, %								-	-	-		
Mov Cap-1 Maneuver	791	0	1037				-	-	-	1403	-	-
Mov Cap-2 Maneuver	791	0	-				-	-	-	-	-	-
Stage 1	980	0	-				-	-	-	-	-	-
Stage 2	872	0	-				-	-	-	-	-	-
Approach	EB						NB			SB		
HCM Control Delay, s	9.1						0			0.7		
HCM LOS	A											
Minor Lane/Major Mvmt		NBT	NBR	EBLn1	SBL	SBT						
Capacity (veh/h)		-	-	934	1403	-						
HCM Lane V/C Ratio		-	-	0.056	0.002	-						
HCM Control Delay (s)		-	-	9.1	7.6	0						
HCM Lane LOS		-	-	A	A	A						
HCM 95th %tile Q(veh)		-	-	0.2	0	-						

Intersection												
Int Delay, s/veh	2											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Vol, veh/h	1	0	1	25	0	17	0	84	8	2	78	3
Future Vol, veh/h	1	0	1	25	0	17	0	84	8	2	78	3
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	100	-	-	150	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	77	77	77	77	77	77	77	77	77	77	77	77
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	1	0	1	32	0	22	0	109	10	3	101	4
Major/Minor	Minor2		Minor1			Major1			Major2			
Conflicting Flow All	234	228	103	224	225	114	105	0	0	119	0	0
Stage 1	109	109	-	114	114	-	-	-	-	-	-	-
Stage 2	125	119	-	110	111	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	721	671	952	732	674	939	1486	-	-	1469	-	-
Stage 1	896	805	-	891	801	-	-	-	-	-	-	-
Stage 2	879	797	-	895	804	-	-	-	-	-	-	-
Platoon blocked, %								-	-		-	-
Mov Cap-1 Maneuver	703	670	952	730	673	939	1486	-	-	1469	-	-
Mov Cap-2 Maneuver	703	670	-	730	673	-	-	-	-	-	-	-
Stage 1	896	803	-	891	801	-	-	-	-	-	-	-
Stage 2	858	797	-	892	802	-	-	-	-	-	-	-
Approach	EB		WB			NB			SB			
HCM Control Delay, s	9.5		9.8			0			0.2			
HCM LOS	A		A									
Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1WBLn1	SBL	SBT	SBR					
Capacity (veh/h)	1486	-	-	809	802	1469	-	-				
HCM Lane V/C Ratio	-	-	-	0.003	0.068	0.002	-	-				
HCM Control Delay (s)	0	-	-	9.5	9.8	7.5	-	-				
HCM Lane LOS	A	-	-	A	A	A	-	-				
HCM 95th %tile Q(veh)	0	-	-	0	0.2	0	-	-				





Intersection						
Int Delay, s/veh	5.6					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	92	86	45	19	42	83
Future Vol, veh/h	92	86	45	19	42	83
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	79	79	79	79	79	79
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	116	109	57	24	53	105
Major/Minor	Major1	Major2	Minor2			
Conflicting Flow All	81	0	-	0	410	69
Stage 1	-	-	-	-	69	-
Stage 2	-	-	-	-	341	-
Critical Hdwy	4.12	-	-	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	2.218	-	-	-	3.518	3.318
Pot Cap-1 Maneuver	1517	-	-	-	598	994
Stage 1	-	-	-	-	954	-
Stage 2	-	-	-	-	720	-
Platoon blocked, %		-	-	-		
Mov Cap-1 Maneuver	1517	-	-	-	550	994
Mov Cap-2 Maneuver	-	-	-	-	550	-
Stage 1	-	-	-	-	877	-
Stage 2	-	-	-	-	720	-
Approach	EB	WB		SB		
HCM Control Delay, s	3.9	0		10.8		
HCM LOS				B		
Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1	
Capacity (veh/h)	1517	-	-	-	782	
HCM Lane V/C Ratio	0.077	-	-	-	0.202	
HCM Control Delay (s)	7.6	0	-	-	10.8	
HCM Lane LOS	A	A	-	-	B	
HCM 95th %tile Q(veh)	0.2	-	-	-	0.8	




Intersection						
Int Delay, s/veh	0.3					
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations						
Traffic Vol, veh/h	114	7	0	57	5	0
Future Vol, veh/h	114	7	0	57	5	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	75	75	75	75	75	75
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	152	9	0	76	7	0

Major/Minor	Major1	Major2	Minor1
Conflicting Flow All	0	0	161
Stage 1	-	-	-
Stage 2	-	-	-
Critical Hdwy	-	-	4.12
Critical Hdwy Stg 1	-	-	-
Critical Hdwy Stg 2	-	-	-
Follow-up Hdwy	-	-	2.218
Pot Cap-1 Maneuver	-	-	1418
Stage 1	-	-	-
Stage 2	-	-	-
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	-	-	1418
Mov Cap-2 Maneuver	-	-	-
Stage 1	-	-	-
Stage 2	-	-	-

Approach	EB	WB	NB
HCM Control Delay, s	0	0	9.8
HCM LOS			A

Minor Lane/Major Mvmt	NBLn1	EBT	EBR	WBL	WBT
Capacity (veh/h)	755	-	-	1418	-
HCM Lane V/C Ratio	0.009	-	-	-	-
HCM Control Delay (s)	9.8	-	-	0	-
HCM Lane LOS	A	-	-	A	-
HCM 95th %tile Q(veh)	0	-	-	0	-

Intersection												
Int Delay, s/veh	3.1											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Vol, veh/h	4	97	18	13	45	4	8	2	36	8	8	4
Future Vol, veh/h	4	97	18	13	45	4	8	2	36	8	8	4
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	83	83	83	83	83	83	83	83	83	83	83	83
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	5	117	22	16	54	5	10	2	43	10	10	5
Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	59	0	0	139	0	0	234	229	128	250	238	57
Stage 1	-	-	-	-	-	-	138	138	-	89	89	-
Stage 2	-	-	-	-	-	-	96	91	-	161	149	-
Critical Hdwy	4.12	-	-	4.12	-	-	7.12	6.52	6.22	7.12	6.52	6.22
Critical Hdwy Stg 1	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Follow-up Hdwy	2.218	-	-	2.218	-	-	3.518	4.018	3.318	3.518	4.018	3.318
Pot Cap-1 Maneuver	1545	-	-	1445	-	-	721	671	922	703	663	1009
Stage 1	-	-	-	-	-	-	865	782	-	918	821	-
Stage 2	-	-	-	-	-	-	911	820	-	841	774	-
Platoon blocked, %		-	-		-	-						
Mov Cap-1 Maneuver	1545	-	-	1445	-	-	702	661	922	660	653	1009
Mov Cap-2 Maneuver	-	-	-	-	-	-	702	661	-	660	653	-
Stage 1	-	-	-	-	-	-	862	779	-	914	812	-
Stage 2	-	-	-	-	-	-	886	811	-	796	771	-
Approach	EB			WB			NB			SB		
HCM Control Delay, s	0.2			1.6			9.5			10.3		
HCM LOS							A			B		
Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1				
Capacity (veh/h)	860	1545	-	-	1445	-	-	706				
HCM Lane V/C Ratio	0.064	0.003	-	-	0.011	-	-	0.034				
HCM Control Delay (s)	9.5	7.3	0	-	7.5	0	-	10.3				
HCM Lane LOS	A	A	A	-	A	A	-	B				
HCM 95th %tile Q(veh)	0.2	0	-	-	0	-	-	0.1				

Intersection												
Int Delay, s/veh	4											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Vol, veh/h	0	0	0	28	4	8	37	47	0	0	30	10
Future Vol, veh/h	0	0	0	28	4	8	37	47	0	0	30	10
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	2	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	84	84	84	84	84	84	84	84	84	84	84	84
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	0	0	33	5	10	44	56	0	0	36	12
Major/Minor				Minor1		Major1		Major2				
Conflicting Flow All				186	192	56	48	0	-	-	-	0
Stage 1				144	144	-	-	-	-	-	-	-
Stage 2				42	48	-	-	-	-	-	-	-
Critical Hdwy				6.42	6.52	6.22	4.12	-	-	-	-	-
Critical Hdwy Stg 1				5.42	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2				5.42	5.52	-	-	-	-	-	-	-
Follow-up Hdwy				3.518	4.018	3.318	2.218	-	-	-	-	-
Pot Cap-1 Maneuver				803	703	1011	1559	-	0	0	-	-
Stage 1				883	778	-	-	-	0	0	-	-
Stage 2				980	855	-	-	-	0	0	-	-
Platoon blocked, %								-			-	-
Mov Cap-1 Maneuver				780	0	1011	1559	-	-	-	-	-
Mov Cap-2 Maneuver				780	0	-	-	-	-	-	-	-
Stage 1				857	0	-	-	-	-	-	-	-
Stage 2				980	0	-	-	-	-	-	-	-
Approach				WB		NB		SB				
HCM Control Delay, s				9.6		3.2		0				
HCM LOS				A								
Minor Lane/Major Mvmt		NBL	NBTWBLn1	SBT	SBR							
Capacity (veh/h)		1559	-	822	-	-						
HCM Lane V/C Ratio		0.028	-	0.058	-	-						
HCM Control Delay (s)		7.4	0	9.6	-	-						
HCM Lane LOS		A	A	A	-	-						
HCM 95th %tile Q(veh)		0.1	-	0.2	-	-						

Intersection												
Int Delay, s/veh	5.2											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕						↕			↕	
Traffic Vol, veh/h	40	3	105	0	0	0	0	43	37	10	49	0
Future Vol, veh/h	40	3	105	0	0	0	0	43	37	10	49	0
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	16979	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	43	3	114	0	0	0	0	47	40	11	53	0
Major/Minor	Minor2						Major1		Major2			
Conflicting Flow All	142	162	53				-	0	0	87	0	0
Stage 1	75	75	-				-	-	-	-	-	-
Stage 2	67	87	-				-	-	-	-	-	-
Critical Hdwy	6.42	6.52	6.22				-	-	-	4.12	-	-
Critical Hdwy Stg 1	5.42	5.52	-				-	-	-	-	-	-
Critical Hdwy Stg 2	5.42	5.52	-				-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318				-	-	-	2.218	-	-
Pot Cap-1 Maneuver	851	730	1014				0	-	-	1509	-	0
Stage 1	948	833	-				0	-	-	-	-	0
Stage 2	956	823	-				0	-	-	-	-	0
Platoon blocked, %								-	-	-		
Mov Cap-1 Maneuver	844	0	1014				-	-	-	1509	-	-
Mov Cap-2 Maneuver	844	0	-				-	-	-	-	-	-
Stage 1	948	0	-				-	-	-	-	-	-
Stage 2	948	0	-				-	-	-	-	-	-
Approach	EB						NB		SB			
HCM Control Delay, s	9.5						0		1.3			
HCM LOS	A											
Minor Lane/Major Mvmt		NBT	NBR	EBLn1	SBL	SBT						
Capacity (veh/h)		-	-	961	1509	-						
HCM Lane V/C Ratio		-	-	0.167	0.007	-						
HCM Control Delay (s)		-	-	9.5	7.4	0						
HCM Lane LOS		-	-	A	A	A						
HCM 95th %tile Q(veh)		-	-	0.6	0	-						

APPENDIX D. TRIP GENERATION ESTIMATES

Transport Colorado Build-Out Trip Generation Estimates

Planning Area	Land Use	Developable Acreage	Potential Building Square Footage (KSF) ¹	Land Use % of SF	Land Use Size (KSF)	Daily Vehicle-Trips
PA-1a	Warehouse	115.5	754.7	100%	754.7	1,238
PA-1b	Warehouse	107.9	705.0	100%	705.0	1,159
PA-2a	Data Center	39.3	615.5	50%	307.8	305
	Warehouse	39.3		50%	307.8	532
	Sub Total	78.5		100%	615.5	837
PA-2b	Data Center	14.1	220.3	50%	110.2	109
	Warehouse	14.1		50%	110.2	220
	Sub Total	28.1		100%	220.3	329
PA-3	Data Center	60.1	942.5	50%	471.2	467
	Warehouse	60.1		50%	471.2	790
	Sub Total	120.2		100%	942.5	1,257
PA-4	Data Center	18.3	286.2	50%	143.1	142
	Warehouse	18.3		50%	143.1	272
	Sub Total	36.5		100%	286.2	414
PA-5	Data Center	68.5	1,073.4	50%	536.7	531
	Warehouse	68.5		50%	536.7	894
	Sub Total	136.9		100%	1,073.4	1,425
PA-6	Data Center	51.4	806.0	50%	403.0	399
	Warehouse	51.4		50%	403.0	682
	Sub Total	102.8		100%	806.0	1,081
PA-7	Data Center	157.2	2,465.1	50%	1,232.6	1,220
	Warehouse	157.2		50%	1,232.6	1,993
	Sub Total	314.4		100%	2,465.1	3,213
PA-8	Data Center	75.9	1,190.2	50%	595.1	589
	Warehouse	75.9		50%	595.1	986
	Sub Total	151.8		100%	1,190.2	1,575
PA-9	Data Center	77.2	1,210.6	50%	605.3	599
	Warehouse	77.2		50%	605.3	1,002
	Sub Total	154.4		100%	1,210.6	1,601
PA-10	Industrial	151.1	987.3	100%	987.3	3,800
PA-11	Industrial	116.0	757.9	100%	757.9	2,931
PA-12	Industrial	63.2	412.9	100%	888.6	1,623
PA-13	Industrial	154.2	1,007.5	100%	1,007.5	3,877
PA-14	Industrial	246.5	1,610.6	100%	1,610.6	6,162
PA-15	Industrial	150.0	980.1	100%	980.1	3,773

Planning Area	Land Use	Developable Acreage	Potential Building Square Footage (KSF) ¹	Land Use % of SF	Land Use Size (KSF)	Daily Vehicle-Trips
PA-16	Industrial	93.1	709.7	86%	608.3	2,363
	Rail Transload Facility	78.3		14%	101.3	162
	Sub Total	171.4		100%	709.7	2,525
PA-17	Industrial	21.9	143.1	100%	143.1	600
PA-18	Industrial	512.5	3,348.7	100%	3,348.7	12,749
PA-19	Industrial	557.8	3,644.7	100%	3,644.7	13,871
PA-20	Warehouse	60.2	472.0	100%	472.0	791
PA-21	Warehouse	70.7	554.3	100%	554.3	921
PA-22	Warehouse	58.3	457.1	100%	457.1	768
PA-23a	Warehouse	19.7	128.7	100%	128.7	249
PA-23b	Warehouse	73.7	481.6	100%	481.6	806
PA-24	Industrial	154.7	1,213.0	100%	1,213.0	4,655
PA-25	Warehouse	127.6	1,000.5	100%	1,000.5	1,626
PA-26	Warehouse	71.5	560.6	100%	560.6	931
PA-27a	Warehouse	36.8	288.5	100%	288.5	501
PA-27b	Warehouse	17.5	137.2	100%	137.2	262
PA-28	Industrial	185.0	1,208.8	100%	1,208.8	4,639
PA-29	Warehouse	63.1	494.8	100%	494.8	827
PA-30	Mixed Use	29.7	388.1	100%	405.1	15,199
PA-31	Mixed Use	502.4	6,565.4	100%	483.5	103,456
Totals		4,962.5	37,822.7			201,671
Industrial =		2,484.3	16,024.3			61,205
Data Center =		561.8	10,440.0			4,361
Warehouse =		1,384.3	4,405.0			17,450
Mixed Use =		532.1	6,953.5			118,655
Mixed Use Internal Capture Reductions ²						-42,715
Mixed Use Pass-By Reductions ³						-5,933
Net External Trip Generation						153,059
¹ Potential square footage amounts and percentage breakout were estimated by LAI Design Group and represent the maximum allowable development. Floor-Area-Ratios are 0.15 for Industrial, 0.18 for Data Center and Warehouse, and 0.3 for Mixed-Use.						
² Internal Capture reductions for the mixed-use sites in Planning Areas 30 and 31 are at a rate of 36 percent, the average rate reported for mixed-use sites in NCHRP Report 684.						
³ Pass-by reductions for Planning Areas 30 and 31 are at a rate of 5 percent.						

APPENDIX E. ANALYSIS WORKSHEETS – SUBAREA I

Intersection												
Int Delay, s/veh	3.6											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕	↕	↕	↕		↕	↕	
Traffic Vol, veh/h	5	5	5	5	5	26	5	67	35	168	228	5
Future Vol, veh/h	5	5	5	5	5	26	5	67	35	168	228	5
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	100	0	-	-	150	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	85	85	85	85	85	85	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	6	6	6	6	6	31	6	79	41	198	268	6





Major/Minor	Minor2		Minor1		Major1		Major2					
Conflicting Flow All	797	799	271	785	782	100	274	0	0	120	0	0
Stage 1	667	667	-	112	112	-	-	-	-	-	-	-
Stage 2	130	132	-	673	670	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	305	319	768	310	326	956	1289	-	-	1468	-	-
Stage 1	448	457	-	893	803	-	-	-	-	-	-	-
Stage 2	874	787	-	445	455	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	260	275	768	270	281	956	1289	-	-	1468	-	-
Mov Cap-2 Maneuver	260	275	-	270	281	-	-	-	-	-	-	-
Stage 1	446	395	-	889	799	-	-	-	-	-	-	-
Stage 2	836	783	-	376	394	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	16.1		11.6		0.4		3.3	
HCM LOS	C		B					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1WBLn1WBLn2	SBL	SBT	SBR
Capacity (veh/h)	1289	-	-	342 275 956	1468	-	-
HCM Lane V/C Ratio	0.005	-	-	0.052 0.043 0.032	0.135	-	-
HCM Control Delay (s)	7.8	-	-	16.1 18.7 8.9	7.8	-	-
HCM Lane LOS	A	-	-	C C A	A	-	-
HCM 95th %tile Q(veh)	0	-	-	0.2 0.1 0.1	0.5	-	-

Intersection

Int Delay, s/veh 5.7

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	117	35	95	30	20	120
Future Vol, veh/h	117	35	95	30	20	120
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	100	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	138	41	112	35	24	141




Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	147	0	0 447 130
Stage 1	-	-	- - 130 -
Stage 2	-	-	- - 317 -
Critical Hdwy	4.12	-	- - 6.42 6.22
Critical Hdwy Stg 1	-	-	- - 5.42 -
Critical Hdwy Stg 2	-	-	- - 5.42 -
Follow-up Hdwy	2.218	-	- - 3.518 3.318
Pot Cap-1 Maneuver	1435	-	- - 569 920
Stage 1	-	-	- - 896 -
Stage 2	-	-	- - 738 -
Platoon blocked, %		-	- -
Mov Cap-1 Maneuver	1435	-	- - 514 920
Mov Cap-2 Maneuver	-	-	- - 514 -
Stage 1	-	-	- - 810 -
Stage 2	-	-	- - 738 -

Approach	EB	WB	SB
HCM Control Delay, s	6	0	10.4
HCM LOS			B

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1435	-	-	-	827
HCM Lane V/C Ratio	0.096	-	-	-	0.199
HCM Control Delay (s)	7.8	-	-	-	10.4
HCM Lane LOS	A	-	-	-	B
HCM 95th %tile Q(veh)	0.3	-	-	-	0.7

Intersection

Int Delay, s/veh 0.7

Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations						
Traffic Vol, veh/h	50	5	5	105	5	5
Future Vol, veh/h	50	5	5	105	5	5
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	59	6	6	124	6	6



















Major/Minor	Major1	Major2	Minor1
Conflicting Flow All	0	0	65
Stage 1	-	-	-
Stage 2	-	-	-
Critical Hdwy	-	-	4.12
Critical Hdwy Stg 1	-	-	-
Critical Hdwy Stg 2	-	-	-
Follow-up Hdwy	-	-	2.218
Pot Cap-1 Maneuver	-	-	1537
Stage 1	-	-	-
Stage 2	-	-	-
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	-	-	1537
Mov Cap-2 Maneuver	-	-	-
Stage 1	-	-	-
Stage 2	-	-	-

Approach	EB	WB	NB
HCM Control Delay, s	0	0.3	9.1
HCM LOS			A

Minor Lane/Major Mvmt	NBLn1	EBT	EBR	WBL	WBT
Capacity (veh/h)	883	-	-	1537	-
HCM Lane V/C Ratio	0.013	-	-	0.004	-
HCM Control Delay (s)	9.1	-	-	7.4	0
HCM Lane LOS	A	-	-	A	A
HCM 95th %tile Q(veh)	0	-	-	0	-

Timings 4: Manila Rd & E Colfax Ave

TransPort
04/22/2019

									
Lane Group	EBL	EBT	WBL	WBT	WBR	NBL	NBT	SBL	SBT
Lane Configurations									
Traffic Volume (vph)	5	40	30	70	38	10	1125	9	157
Future Volume (vph)	5	40	30	70	38	10	1125	9	157
Turn Type	Perm	NA	Perm	NA	Perm	pm+pt	NA	pm+pt	NA
Protected Phases		4		8		5	2	1	6
Permitted Phases	4		8		8	2		6	
Detector Phase	4	4	8	8	8	5	2	1	6
Switch Phase									
Minimum Initial (s)	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0
Minimum Split (s)	22.5	22.5	22.5	22.5	22.5	9.5	22.5	9.5	22.5
Total Split (s)	25.0	25.0	25.0	25.0	25.0	12.0	53.0	12.0	53.0
Total Split (%)	27.8%	27.8%	27.8%	27.8%	27.8%	13.3%	58.9%	13.3%	58.9%
Yellow Time (s)	3.5	3.5	3.5	3.5	3.5	3.5	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	4.5	4.5	4.5	4.5	4.5	4.5	4.5	4.5	4.5
Lead/Lag						Lead	Lag	Lead	Lag
Lead-Lag Optimize?						Yes	Yes	Yes	Yes
Recall Mode	None	None	None	None	None	None	Min	None	Min
Act Effect Green (s)	8.4	8.4	8.5	8.5	8.5	33.9	34.5	33.8	34.5
Actuated g/C Ratio	0.17	0.17	0.17	0.17	0.17	0.68	0.70	0.68	0.70
v/c Ratio	0.03	0.17	0.15	0.26	0.14	0.01	0.54	0.03	0.08
Control Delay	22.6	21.1	23.5	23.8	4.7	3.2	7.0	3.3	4.5
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	22.6	21.1	23.5	23.8	4.7	3.2	7.0	3.3	4.5
LOS	C	C	C	C	A	A	A	A	A
Approach Delay		21.3		18.4			7.0		4.4
Approach LOS		C		B			A		A

Intersection Summary

Cycle Length: 90

Actuated Cycle Length: 49.5

Natural Cycle: 65

Control Type: Actuated-Uncoordinated

Maximum v/c Ratio: 0.54

Intersection Signal Delay: 8.2


Intersection LOS: A

Intersection Capacity Utilization 51.0%

ICU Level of Service A

Analysis Period (min) 15























Splits and Phases: 4: Manila Rd & E Colfax Ave

		
Ø1	Ø2	Ø4
12 s	53 s	25 s
		
Ø5	Ø6	Ø8
12 s	53 s	25 s

HCM 6th Signalized Intersection Summary







4: Manila Rd & E Colfax Ave

TransPort
04/22/2019

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	5	40	5	30	70	38	10	1125	10	9	157	5
Future Volume (veh/h)	5	40	5	30	70	38	10	1125	10	9	157	5
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	6	47	6	35	82	45	12	1324	12	11	185	6
Peak Hour Factor	0.85	0.85	0.85	0.85	0.85	0.85	0.85	0.85	0.85	0.85	0.85	0.85
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	251	175	22	276	201	170	839	2043	19	321	1985	64
Arrive On Green	0.11	0.11	0.11	0.11	0.11	0.11	0.02	0.57	0.57	0.01	0.56	0.56
Sat Flow, veh/h	1264	1625	208	1351	1870	1585	1781	3609	33	1781	3513	114
Grp Volume(v), veh/h	6	0	53	35	82	45	12	652	684	11	93	98
Grp Sat Flow(s),veh/h/ln	1264	0	1833	1351	1870	1585	1781	1777	1864	1781	1777	1850
Q Serve(g_s), s	0.2	0.0	1.1	1.1	1.8	1.1	0.1	10.9	10.9	0.1	1.0	1.1
Cycle Q Clear(g_c), s	2.0	0.0	1.1	2.2	1.8	1.1	0.1	10.9	10.9	0.1	1.0	1.1
Prop In Lane	1.00		0.11	1.00		1.00	1.00		0.02	1.00		0.06
Lane Grp Cap(c), veh/h	251	0	197	276	201	170	839	1006	1055	321	1004	1045
V/C Ratio(X)	0.02	0.00	0.27	0.13	0.41	0.26	0.01	0.65	0.65	0.03	0.09	0.09
Avail Cap(c_a), veh/h	714	0	869	771	886	751	1120	1992	2091	604	1992	2074
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	18.9	0.0	17.7	18.8	18.0	17.7	3.8	6.4	6.4	5.2	4.3	4.3
Incr Delay (d2), s/veh	0.0	0.0	0.7	0.2	1.3	0.8	0.0	0.7	0.7	0.0	0.0	0.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.0	0.0	0.4	0.3	0.7	0.3	0.0	2.4	2.5	0.0	0.2	0.2
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	19.0	0.0	18.5	19.0	19.3	18.5	3.9	7.1	7.1	5.3	4.4	4.4
LnGrp LOS	B	A	B	B	B	B	A	A	A	A	A	A
Approach Vol, veh/h		59			162			1348			202	
Approach Delay, s/veh		18.5			19.0			7.1			4.4	
Approach LOS		B			B			A			A	
Timer - Assigned Phs	1	2		4	5	6		8				
Phs Duration (G+Y+Rc), s	5.1	29.0		9.1	5.2	28.9		9.1				
Change Period (Y+Rc), s	4.5	4.5		4.5	4.5	4.5		4.5				
Max Green Setting (Gmax), s	7.5	48.5		20.5	7.5	48.5		20.5				
Max Q Clear Time (g_c+I1), s	2.1	12.9		4.0	2.1	3.1		4.2				
Green Ext Time (p_c), s	0.0	11.6		0.1	0.0	1.0		0.5				
Intersection Summary												
HCM 6th Ctrl Delay			8.3									
HCM 6th LOS			A									

Timings 5: Manila Rd & I-70 WB Ramp

TransPort
04/22/2019

	WBL	WBT	NBL	NBT	SBT	SBR
Lane Group	WBL	WBT	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Volume (vph)	20	5	120	917	53	144
Future Volume (vph)	20	5	120	917	53	144
Turn Type	Perm	NA	pm+pt	NA	NA	Perm
Protected Phases		8	5	2	6	
Permitted Phases	8		2			6
Detector Phase	8	8	5	2	6	6
Switch Phase						
Minimum Initial (s)	5.0	5.0	5.0	5.0	5.0	5.0
Minimum Split (s)	22.5	22.5	9.5	22.5	22.5	22.5
Total Split (s)	28.0	28.0	12.0	62.0	50.0	50.0
Total Split (%)	31.1%	31.1%	13.3%	68.9%	55.6%	55.6%
Yellow Time (s)	3.5	3.5	3.5	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0	1.0	1.0	1.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	4.5	4.5	4.5	4.5	4.5	4.5
Lead/Lag			Lead		Lag	Lag
Lead-Lag Optimize?			Yes		Yes	Yes
Recall Mode	None	None	None	Min	Min	Min
Act Effect Green (s)	13.4	13.4	45.9	45.9	36.8	36.8
Actuated g/C Ratio	0.19	0.19	0.67	0.67	0.53	0.53
v/c Ratio	0.07	0.68	0.16	0.87	0.06	0.18
Control Delay	26.0	25.5	5.3	19.7	10.1	2.5
Queue Delay	0.0	0.0	0.0	1.3	0.0	0.0
Total Delay	26.0	25.5	5.3	21.1	10.1	2.5
LOS	C	C	A	C	B	A
Approach Delay		25.6		19.2	4.5	
Approach LOS		C		B	A	

Intersection Summary



















Cycle Length: 90	
Actuated Cycle Length: 68.9	
Natural Cycle: 75	
Control Type: Actuated-Uncoordinated	
Maximum v/c Ratio: 0.87	
Intersection Signal Delay: 18.4	Intersection LOS: B
Intersection Capacity Utilization 89.4%	ICU Level of Service E
Analysis Period (min) 15	

Splits and Phases: 5: Manila Rd & I-70 WB Ramp



HCM 6th Signalized Intersection Summary 5: Manila Rd & I-70 WB Ramp

TransPort
04/22/2019

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	0	0	0	20	5	228	120	917	0	0	53	144
Future Volume (veh/h)	0	0	0	20	5	228	120	917	0	0	53	144
Initial Q (Qb), veh				0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)				1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj				1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach				No			No				No	
Adj Sat Flow, veh/h/ln				1870	1870	1870	1870	1870	0	0	1870	1870
Adj Flow Rate, veh/h				24	6	268	141	1079	0	0	62	169
Peak Hour Factor				0.85	0.85	0.85	0.85	0.85	0.85	0.85	0.85	0.85
Percent Heavy Veh, %				2	2	2	2	2	0	0	2	2
Cap, veh/h				380	7	332	800	1210	0	0	945	801
Arrive On Green				0.21	0.21	0.21	0.07	0.65	0.00	0.00	0.51	0.51
Sat Flow, veh/h				1781	35	1556	1781	1870	0	0	1870	1585
Grp Volume(v), veh/h				24	0	274	141	1079	0	0	62	169
Grp Sat Flow(s),veh/h/ln				1781	0	1590	1781	1870	0	0	1870	1585
Q Serve(g_s), s				0.7	0.0	10.5	2.2	31.0	0.0	0.0	1.1	3.8
Cycle Q Clear(g_c), s				0.7	0.0	10.5	2.2	31.0	0.0	0.0	1.1	3.8
Prop In Lane				1.00		0.98	1.00		0.00	0.00		1.00
Lane Grp Cap(c), veh/h				380	0	340	800	1210	0	0	945	801
V/C Ratio(X)				0.06	0.00	0.81	0.18	0.89	0.00	0.00	0.07	0.21
Avail Cap(c_a), veh/h				650	0	580	881	1670	0	0	1322	1120
HCM Platoon Ratio				1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)				1.00	0.00	1.00	1.00	1.00	0.00	0.00	1.00	1.00
Uniform Delay (d), s/veh				20.2	0.0	24.1	5.5	9.5	0.0	0.0	8.1	8.8
Incr Delay (d2), s/veh				0.1	0.0	4.5	0.1	5.0	0.0	0.0	0.0	0.1
Initial Q Delay(d3),s/veh				0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln				0.3	0.0	4.1	0.5	7.6	0.0	0.0	0.3	1.0
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh				20.3	0.0	28.6	5.6	14.5	0.0	0.0	8.2	8.9
LnGrp LOS				C	A	C	A	B	A	A	A	A
Approach Vol, veh/h					298			1220			231	
Approach Delay, s/veh					27.9			13.4			8.7	
Approach LOS					C			B			A	
Timer - Assigned Phs	2			5		6	8					
Phs Duration (G+Y+Rc), s	46.1			9.1		37.0	18.3					
Change Period (Y+Rc), s	4.5			4.5		4.5	4.5					
Max Green Setting (Gmax), s	57.5			7.5		45.5	23.5					
Max Q Clear Time (g_c+I1), s	33.0			4.2		5.8	12.5					
Green Ext Time (p_c), s	8.6			0.1		0.9	1.3					
Intersection Summary												
HCM 6th Ctrl Delay				15.3								
HCM 6th LOS				B								

HCS7 Roundabouts Report

General Information

Analyst	PJD
Agency or Co.	FHU
Date Performed	4/17/2019
Analysis Year	2025
Time Analyzed	AM Subarea 1 Total
Project Description	

Site Information

Intersection	I-70 WB Ramp/Manila Rd
E/W Street Name	I-70 WB Ramp
N/S Street Name	Manila Rd
Analysis Time Period (hrs)	0.25
Peak Hour Factor	0.85
Jurisdiction	City of Aurora

Volume Adjustments and Site Characteristics

Approach	EB				WB				NB				SB			
Movement	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Number of Lanes (N)	0	0	0	0	0	0	1	0	0	0	1	0	0	0	1	0
Lane Assignment							LTR				LT				TR	
Volume (V), veh/h					0	20	5	228	0	120	917		0		53	144
Percent Heavy Vehicles, %					25	25	25	25	25	25	25		25		25	25
Flow Rate (v_{pce}), pc/h					0	29	7	335	0	176	1349		0		78	212
Right-Turn Bypass	None				None				None				None			
Conflicting Lanes					1				1				1			
Pedestrians Crossing, p/h					0				0				0			

Critical and Follow-Up Headway Adjustment

Approach	EB			WB			NB			SB		
Lane	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass
Critical Headway (s)					4.9763			4.9763			4.9763	
Follow-Up Headway (s)					2.6087			2.6087			2.6087	

Flow Computations, Capacity and v/c Ratios











Approach	EB			WB			NB			SB		
Lane	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass
Entry Flow (v_e), pc/h					371.00			1525.00			290.00	
Entry Volume veh/h					296.80			1220.00			232.00	
Circulating Flow (v_c), pc/h	107			1525			0			212		
Exiting Flow (v_{ex}), pc/h	0			395			1684			107		
Capacity (C_{pce}), pc/h					291.30			1380.00			1111.65	
Capacity (c), veh/h					233.04			1104.00			889.32	
v/c Ratio (x)					1.27			1.11			0.26	

Delay and Level of Service

Approach	EB			WB			NB			SB		
Lane	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass
Lane Control Delay (d), s/veh					194.4			78.6			6.8	
Lane LOS					F			F			A	
95% Queue, veh					15.3			29.8			1.0	
Approach Delay, s/veh				194.4			78.6			6.8		
Approach LOS				F			F			A		
Intersection Delay, s/veh LOS	88.7						F					

Timings 6: Manila Rd & I-70 EB Ramp

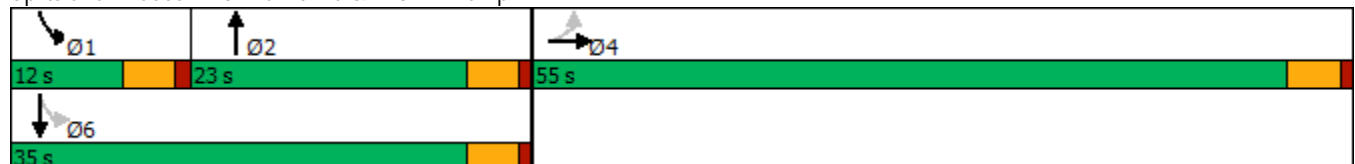
TransPort
04/22/2019

					
Lane Group	EBL	EBT	NBT	SBL	SBT
Lane Configurations					
Traffic Volume (vph)	854	5	183	35	43
Future Volume (vph)	854	5	183	35	43
Turn Type	Perm	NA	NA	pm+pt	NA
Protected Phases		4	2	1	6
Permitted Phases	4			6	
Detector Phase	4	4	2	1	6
Switch Phase					
Minimum Initial (s)	5.0	5.0	5.0	5.0	5.0
Minimum Split (s)	22.5	22.5	22.5	9.5	22.5
Total Split (s)	55.0	55.0	23.0	12.0	35.0
Total Split (%)	61.1%	61.1%	25.6%	13.3%	38.9%
Yellow Time (s)	3.5	3.5	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0	1.0	1.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	4.5	4.5	4.5	4.5	4.5
Lead/Lag			Lag	Lead	
Lead-Lag Optimize?			Yes	Yes	
Recall Mode	None	None	Min	None	Min
Act Effect Green (s)	51.2	51.2	15.1	21.6	21.6
Actuated g/C Ratio	0.63	0.63	0.18	0.26	0.26
v/c Ratio	0.91	0.04	0.74	0.18	0.10
Control Delay	30.5	3.9	45.2	22.6	21.5
Queue Delay	0.0	0.0	0.0	0.0	0.0
Total Delay	30.5	3.9	45.2	22.6	21.5
LOS	C	A	D	C	C
Approach Delay		29.5	45.2		22.0
Approach LOS		C	D		C

Intersection Summary

Cycle Length: 90
Actuated Cycle Length: 81.9
Natural Cycle: 90
Control Type: Actuated-Uncoordinated
Maximum v/c Ratio: 0.91
Intersection Signal Delay: 31.9
Intersection LOS: C
Intersection Capacity Utilization 87.7%
ICU Level of Service E
Analysis Period (min) 15


















Splits and Phases: 6: Manila Rd & I-70 EB Ramp



HCM 6th Signalized Intersection Summary

6: Manila Rd & I-70 EB Ramp

TransPort
04/22/2019

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	854	5	30	0	0	0	0	183	35	35	43	0
Future Volume (veh/h)	854	5	30	0	0	0	0	183	35	35	43	0
Initial Q (Qb), veh	0	0	0				0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00				1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00				1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No						No			No		
Adj Sat Flow, veh/h/ln	1870	1870	1870				0	1870	1870	1870	1870	0
Adj Flow Rate, veh/h	1005	6	35				0	215	41	41	51	0
Peak Hour Factor	0.85	0.85	0.85				0.85	0.85	0.85	0.85	0.85	0.85
Percent Heavy Veh, %	2	2	2				0	2	2	2	2	0
Cap, veh/h	1067	142	829				0	264	50	212	514	0
Arrive On Green	0.60	0.60	0.60				0.00	0.17	0.17	0.04	0.27	0.00
Sat Flow, veh/h	1781	237	1384				0	1527	291	1781	1870	0
Grp Volume(v), veh/h	1005	0	41				0	0	256	41	51	0
Grp Sat Flow(s),veh/h/ln	1781	0	1621				0	0	1818	1781	1870	0
Q Serve(g_s), s	37.0	0.0	0.7				0.0	0.0	9.7	1.3	1.4	0.0
Cycle Q Clear(g_c), s	37.0	0.0	0.7				0.0	0.0	9.7	1.3	1.4	0.0
Prop In Lane	1.00		0.85				0.00		0.16	1.00		0.00
Lane Grp Cap(c), veh/h	1067	0	971				0	0	314	212	514	0
V/C Ratio(X)	0.94	0.00	0.04				0.00	0.00	0.82	0.19	0.10	0.00
Avail Cap(c_a), veh/h	1262	0	1149				0	0	472	330	800	0
HCM Platoon Ratio	1.00	1.00	1.00				1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00				0.00	0.00	1.00	1.00	1.00	0.00
Uniform Delay (d), s/veh	13.2	0.0	5.9				0.0	0.0	28.4	22.1	19.3	0.0
Incr Delay (d2), s/veh	12.6	0.0	0.0				0.0	0.0	6.6	0.4	0.1	0.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0				0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	14.9	0.0	0.2				0.0	0.0	4.3	0.5	0.6	0.0
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	25.7	0.0	5.9				0.0	0.0	35.0	22.5	19.3	0.0
LnGrp LOS	C	A	A				A	A	D	C	B	A
Approach Vol, veh/h	1046						256			92		
Approach Delay, s/veh	25.0						35.0			20.8		
Approach LOS	C						D			C		
Timer - Assigned Phs	1	2	4		6							
Phs Duration (G+Y+Rc), s	7.3	16.8	47.2		24.1							
Change Period (Y+Rc), s	4.5	4.5	4.5		4.5							
Max Green Setting (Gmax), s	7.5	18.5	50.5		30.5							
Max Q Clear Time (g_c+I1), s	3.3	11.7	39.0		3.4							
Green Ext Time (p_c), s	0.0	0.6	3.7		0.2							
Intersection Summary												
HCM 6th Ctrl Delay			26.5									
HCM 6th LOS			C									
Notes												

HCS7 Roundabouts Report

General Information

Analyst	PJD
Agency or Co.	FHU
Date Performed	4/17/2019
Analysis Year	2025
Time Analyzed	AM Subarea 1 Total
Project Description	

Site Information

Intersection	I-70 EB Ramp/Manila Rd
E/W Street Name	I-70 EB Ramp
N/S Street Name	Manila Rd
Analysis Time Period (hrs)	0.25
Peak Hour Factor	0.85
Jurisdiction	City of Aurora

Volume Adjustments and Site Characteristics

Approach	EB				WB				NB				SB			
Movement	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Number of Lanes (N)	0	0	1	0	0	0	0	0	0	0	1	0	0	0	1	0
Lane Assignment	LTR								TR				LT			
Volume (V), veh/h	0	854	5	30					0		183	35	0	35	43	
Percent Heavy Vehicles, %	25	25	25	25					25		25	25	25	25	25	
Flow Rate (v_{pce}), pc/h	0	1256	7	44					0		269	51	0	51	63	
Right-Turn Bypass	None				None				None				None			
Conflicting Lanes	1								1				1			
Pedestrians Crossing, p/h	0								0				0			

Critical and Follow-Up Headway Adjustment

Approach	EB			WB			NB			SB		
Lane	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass
Critical Headway (s)		4.9763						4.9763			4.9763	
Follow-Up Headway (s)		2.6087						2.6087			2.6087	

Flow Computations, Capacity and v/c Ratios






Approach	EB			WB			NB			SB		
Lane	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass
Entry Flow (v_e), pc/h		1307.00						320.00			114.00	
Entry Volume veh/h		1045.60						256.00			91.20	
Circulating Flow (v_c), pc/h	114			1525			1314			0		
Exiting Flow (v_{ex}), pc/h	109			0			1525			107		
Capacity (C_{pce}), pc/h		1228.51						361.25			1380.00	
Capacity (c), veh/h		982.81						289.00			1104.00	
v/c Ratio (x)		1.06						0.89			0.08	

Delay and Level of Service

Approach	EB			WB			NB			SB		
Lane	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass
Lane Control Delay (d), s/veh		67.3						66.2			4.0	
Lane LOS		F						F			A	
95% Queue, veh		24.1						8.0			0.3	
Approach Delay, s/veh	67.3						66.2			4.0		
Approach LOS	F						F			A		
Intersection Delay, s/veh LOS	63.0						F					

Intersection

Int Delay, s/veh 2.8

Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Vol, veh/h	5	17	110	37	128	135
Future Vol, veh/h	5	17	110	37	128	135
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	100	100	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	6	20	129	44	151	159











Major/Minor	Minor1	Major1	Major2
Conflicting Flow All	590	129	0
Stage 1	129	-	-
Stage 2	461	-	-
Critical Hdwy	6.42	6.22	-
Critical Hdwy Stg 1	5.42	-	-
Critical Hdwy Stg 2	5.42	-	-
Follow-up Hdwy	3.518	3.318	-
Pot Cap-1 Maneuver	470	921	-
Stage 1	897	-	-
Stage 2	635	-	-
Platoon blocked, %		-	-
Mov Cap-1 Maneuver	419	921	-
Mov Cap-2 Maneuver	419	-	-
Stage 1	897	-	-
Stage 2	566	-	-

Approach	WB	NB	SB
HCM Control Delay, s	10.2	0	3.8
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	724	1404
HCM Lane V/C Ratio	-	-	0.036	0.107
HCM Control Delay (s)	-	-	10.2	7.9
HCM Lane LOS	-	-	B	A
HCM 95th %tile Q(veh)	-	-	0.1	0.4

Timings 20: Manila Rd & 32nd Ave

TransPort
04/22/2019

					
Lane Group	EBL	EBR	NBL	NBT	SBT
Lane Configurations					
Traffic Volume (vph)	3	105	763	405	66
Future Volume (vph)	3	105	763	405	66
Turn Type	Prot	Perm	pm+pt	NA	NA
Protected Phases	4		5	2	6
Permitted Phases		4	2		
Detector Phase	4	4	5	2	6
Switch Phase					
Minimum Initial (s)	5.0	5.0	5.0	5.0	5.0
Minimum Split (s)	22.5	22.5	9.5	22.5	22.5
Total Split (s)	25.0	25.0	40.0	65.0	25.0
Total Split (%)	27.8%	27.8%	44.4%	72.2%	27.8%
Yellow Time (s)	3.5	3.5	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0	1.0	1.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	4.5	4.5	4.5	4.5	4.5
Lead/Lag			Lead		Lag
Lead-Lag Optimize?			Yes		Yes
Recall Mode	None	None	None	Min	Min
Act Effect Green (s)	6.8	6.8	44.1	45.6	7.1
Actuated g/C Ratio	0.12	0.12	0.77	0.80	0.12
v/c Ratio	0.02	0.42	0.77	0.17	0.23
Control Delay	25.3	10.8	11.5	2.4	22.1
Queue Delay	0.0	0.0	0.0	0.0	0.0
Total Delay	25.3	10.8	11.5	2.4	22.1
LOS	C	B	B	A	C
Approach Delay	11.3			8.4	22.1
Approach LOS	B			A	C

Intersection Summary

Cycle Length: 90

Actuated Cycle Length: 57.1

Natural Cycle: 80

Control Type: Actuated-Uncoordinated

Maximum v/c Ratio: 0.77

Intersection Signal Delay: 9.5

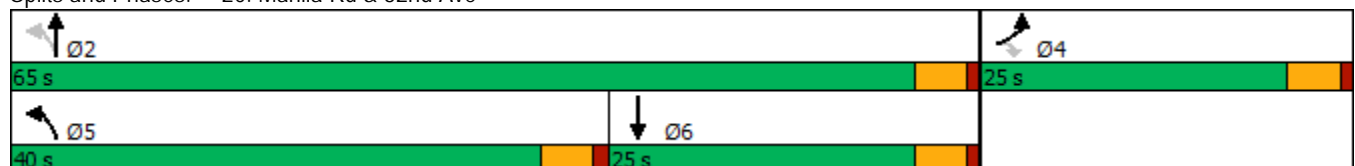
Intersection LOS: A

Intersection Capacity Utilization 60.6%

ICU Level of Service B

Analysis Period (min) 15

Splits and Phases: 20: Manila Rd & 32nd Ave









HCM 6th Signalized Intersection Summary







20: Manila Rd & 32nd Ave








TransPort
04/22/2019










Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Volume (veh/h)	3	105	763	405	66	20
Future Volume (veh/h)	3	105	763	405	66	20
Initial Q (Qb), veh	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00	1.00	1.00			1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No	No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	4	124	898	476	78	24
Peak Hour Factor	0.85	0.85	0.85	0.85	0.85	0.85
Percent Heavy Veh, %	2	2	2	2	2	2
Cap, veh/h	180	160	1131	2474	305	90
Arrive On Green	0.10	0.10	0.48	0.70	0.11	0.11
Sat Flow, veh/h	1781	1585	1781	3647	2798	799
Grp Volume(v), veh/h	4	124	898	476	50	52
Grp Sat Flow(s),veh/h/ln	1781	1585	1781	1777	1777	1727
Q Serve(g_s), s	0.1	3.4	16.3	2.1	1.1	1.2
Cycle Q Clear(g_c), s	0.1	3.4	16.3	2.1	1.1	1.2
Prop In Lane	1.00	1.00	1.00			0.46
Lane Grp Cap(c), veh/h	180	160	1131	2474	200	194
V/C Ratio(X)	0.02	0.77	0.79	0.19	0.25	0.27
Avail Cap(c_a), veh/h	822	732	1696	4842	820	797
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	18.0	19.5	6.1	2.4	18.0	18.0
Incr Delay (d2), s/veh	0.0	7.7	1.6	0.0	0.6	0.7
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.0	0.3	1.2	0.0	0.4	0.4
Unsig. Movement Delay, s/veh						
LnGrp Delay(d),s/veh	18.0	27.1	7.7	2.4	18.6	18.8
LnGrp LOS	B	C	A	A	B	B
Approach Vol, veh/h	128			1374	102	
Approach Delay, s/veh	26.9			5.9	18.7	
Approach LOS	C			A	B	
Timer - Assigned Phs		2		4	5	6
Phs Duration (G+Y+Rc), s		35.4		9.0	25.9	9.5
Change Period (Y+Rc), s		4.5		4.5	4.5	4.5
Max Green Setting (Gmax), s		60.5		20.5	35.5	20.5
Max Q Clear Time (g_c+I1), s		4.1		5.4	18.3	3.2
Green Ext Time (p_c), s		2.9		0.3	3.2	0.4
Intersection Summary						
HCM 6th Ctrl Delay			8.4			
HCM 6th LOS			A			

Intersection						
Int Delay, s/veh	3.4					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	6	25	184	165	116	41
Future Vol, veh/h	6	25	184	165	116	41
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	100	0	0	-	-	100
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	7	29	216	194	136	48
Major/Minor	Minor2	Major1		Major2		
Conflicting Flow All	762	136	184	0	-	0
Stage 1	136	-	-	-	-	-
Stage 2	626	-	-	-	-	-
Critical Hdwy	6.42	6.22	4.12	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	2.218	-	-	-
Pot Cap-1 Maneuver	373	913	1391	-	-	-
Stage 1	890	-	-	-	-	-
Stage 2	533	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	315	913	1391	-	-	-
Mov Cap-2 Maneuver	315	-	-	-	-	-
Stage 1	752	-	-	-	-	-
Stage 2	533	-	-	-	-	-
Approach	EB	NB		SB		
HCM Control Delay, s	10.6	4.3		0		
HCM LOS	B					
Minor Lane/Major Mvmt	NBL	NBT	EBLn1	EBLn2	SBT	SBR
Capacity (veh/h)	1391	-	315	913	-	-
HCM Lane V/C Ratio	0.156	-	0.022	0.032	-	-
HCM Control Delay (s)	8.1	-	16.7	9.1	-	-
HCM Lane LOS	A	-	C	A	-	-
HCM 95th %tile Q(veh)	0.6	-	0.1	0.1	-	-

Intersection						
Int Delay, s/veh	1					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	43	151	430	170	23	6
Future Vol, veh/h	43	151	430	170	23	6
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	100	-	-	100	0	100
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	51	178	506	200	27	7
Major/Minor	Major1	Major2		Minor2		
Conflicting Flow All	706	0	-	0	786	253
Stage 1	-	-	-	-	506	-
Stage 2	-	-	-	-	280	-
Critical Hdwy	4.13	-	-	-	6.63	6.93
Critical Hdwy Stg 1	-	-	-	-	5.83	-
Critical Hdwy Stg 2	-	-	-	-	5.43	-
Follow-up Hdwy	2.219	-	-	-	3.519	3.319
Pot Cap-1 Maneuver	890	-	-	-	345	747
Stage 1	-	-	-	-	571	-
Stage 2	-	-	-	-	767	-
Platoon blocked, %		-	-	-		
Mov Cap-1 Maneuver	890	-	-	-	325	747
Mov Cap-2 Maneuver	-	-	-	-	325	-
Stage 1	-	-	-	-	538	-
Stage 2	-	-	-	-	767	-
Approach	EB	WB		SB		
HCM Control Delay, s	2.1	0		15.6		
HCM LOS	C					
Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1	SBLn2
Capacity (veh/h)	890	-	-	-	325	747
HCM Lane V/C Ratio	0.057	-	-	-	0.083	0.009
HCM Control Delay (s)	9.3	-	-	-	17.1	9.9
HCM Lane LOS	A	-	-	-	C	A
HCM 95th %tile Q(veh)	0.2	-	-	-	0.3	0

Intersection												
Int Delay, s/veh	4.3											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Vol, veh/h	5	5	5	30	5	129	5	185	10	21	99	5
Future Vol, veh/h	5	5	5	30	5	129	5	185	10	21	99	5
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	100	100	-	-	150	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	85	85	85	85	85	85	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	6	6	6	35	6	152	6	218	12	25	116	6
Major/Minor	Minor2		Minor1		Major1		Major2					
Conflicting Flow All	484	411	119	411	408	224	122	0	0	230	0	0
Stage 1	169	169	-	236	236	-	-	-	-	-	-	-
Stage 2	315	242	-	175	172	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	493	531	933	551	533	815	1465	-	-	1338	-	-
Stage 1	833	759	-	767	710	-	-	-	-	-	-	-
Stage 2	696	705	-	827	756	-	-	-	-	-	-	-
Platoon blocked, %								-	-		-	-
Mov Cap-1 Maneuver	391	519	933	533	521	815	1465	-	-	1338	-	-
Mov Cap-2 Maneuver	391	519	-	533	521	-	-	-	-	-	-	-
Stage 1	830	745	-	764	707	-	-	-	-	-	-	-
Stage 2	559	702	-	800	742	-	-	-	-	-	-	-
Approach	EB		WB		NB		SB					
HCM Control Delay, s	11.9		10.8		0.2		1.3					
HCM LOS	B		B									
Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1WBLn1WBLn2	SBL	SBT	SBR					
Capacity (veh/h)	1465	-	-	540 531 815	1338	-	-					
HCM Lane V/C Ratio	0.004	-	-	0.033 0.078 0.186	0.018	-	-					
HCM Control Delay (s)	7.5	-	-	11.9 12.3 10.4	7.7	-	-					
HCM Lane LOS	A	-	-	B B B	A	-	-					
HCM 95th %tile Q(veh)	0	-	-	0.1 0.3 0.7	0.1	-	-					

Intersection						
Int Delay, s/veh	6					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	104	90	50	20	45	118
Future Vol, veh/h	104	90	50	20	45	118
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	100	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	122	106	59	24	53	139
Major/Minor	Major1	Major2	Minor2			
Conflicting Flow All	83	0	-	0	421	71
Stage 1	-	-	-	-	71	-
Stage 2	-	-	-	-	350	-
Critical Hdwy	4.12	-	-	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	2.218	-	-	-	3.518	3.318
Pot Cap-1 Maneuver	1514	-	-	-	589	991
Stage 1	-	-	-	-	952	-
Stage 2	-	-	-	-	713	-
Platoon blocked, %		-	-	-		
Mov Cap-1 Maneuver	1514	-	-	-	541	991
Mov Cap-2 Maneuver	-	-	-	-	541	-
Stage 1	-	-	-	-	875	-
Stage 2	-	-	-	-	713	-
Approach	EB	WB		SB		
HCM Control Delay, s	4.1	0		10.9		
HCM LOS				B		
Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1	
Capacity (veh/h)	1514	-	-	-	806	
HCM Lane V/C Ratio	0.081	-	-	-	0.238	
HCM Control Delay (s)	7.6	-	-	-	10.9	
HCM Lane LOS	A	-	-	-	B	
HCM 95th %tile Q(veh)	0.3	-	-	-	0.9	

Intersection						
Int Delay, s/veh	0.6					
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations						
Traffic Vol, veh/h	125	10	5	60	5	5
Future Vol, veh/h	125	10	5	60	5	5
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	147	12	6	71	6	6



















Major/Minor	Major1	Major2	Minor1
Conflicting Flow All	0	0	159
Stage 1	-	-	-
Stage 2	-	-	-
Critical Hdwy	-	-	4.12
Critical Hdwy Stg 1	-	-	-
Critical Hdwy Stg 2	-	-	-
Follow-up Hdwy	-	-	2.218
Pot Cap-1 Maneuver	-	-	1420
Stage 1	-	-	-
Stage 2	-	-	-
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	-	-	1420
Mov Cap-2 Maneuver	-	-	-
Stage 1	-	-	-
Stage 2	-	-	-

Approach	EB	WB	NB
HCM Control Delay, s	0	0.6	9.5
HCM LOS			A

Minor Lane/Major Mvmt	NBLn1	EBT	EBR	WBL	WBT
Capacity (veh/h)	815	-	-	1420	-
HCM Lane V/C Ratio	0.014	-	-	0.004	-
HCM Control Delay (s)	9.5	-	-	7.5	0
HCM Lane LOS	A	-	-	A	A
HCM 95th %tile Q(veh)	0	-	-	0	-

Timings 4: Manila Rd & E Colfax Ave

TransPort
04/22/2019

									
Lane Group	EBL	EBT	WBL	WBT	WBR	NBL	NBT	SBL	SBT
Lane Configurations									
Traffic Volume (vph)	5	105	15	50	8	10	127	31	828
Future Volume (vph)	5	105	15	50	8	10	127	31	828
Turn Type	Perm	NA	Perm	NA	Perm	pm+pt	NA	pm+pt	NA
Protected Phases		4		8		5	2	1	6
Permitted Phases	4		8		8	2		6	
Detector Phase	4	4	8	8	8	5	2	1	6
Switch Phase									
Minimum Initial (s)	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0
Minimum Split (s)	22.5	22.5	22.5	22.5	22.5	9.5	22.5	9.5	22.5
Total Split (s)	25.0	25.0	25.0	25.0	25.0	12.0	53.0	12.0	53.0
Total Split (%)	27.8%	27.8%	27.8%	27.8%	27.8%	13.3%	58.9%	13.3%	58.9%
Yellow Time (s)	3.5	3.5	3.5	3.5	3.5	3.5	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	4.5	4.5	4.5	4.5	4.5	4.5	4.5	4.5	4.5
Lead/Lag						Lead	Lag	Lead	Lag
Lead-Lag Optimize?						Yes	Yes	Yes	Yes
Recall Mode	None	None	None	None	None	None	Min	None	Min
Act Effect Green (s)	9.6	9.6	9.3	9.3	9.3	23.9	23.0	24.9	25.3
Actuated g/C Ratio	0.23	0.23	0.22	0.22	0.22	0.57	0.55	0.60	0.61
v/c Ratio	0.02	0.37	0.07	0.14	0.02	0.03	0.10	0.05	0.46
Control Delay	16.2	17.9	16.5	16.3	0.1	4.8	6.9	4.7	8.2
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	16.2	17.9	16.5	16.3	0.1	4.8	6.9	4.7	8.2
LOS	B	B	B	B	A	A	A	A	A
Approach Delay		17.9		14.7			6.8		8.0
Approach LOS		B		B			A		A

Intersection Summary

Cycle Length: 90

Actuated Cycle Length: 41.7

Natural Cycle: 60

Control Type: Actuated-Uncoordinated

Maximum v/c Ratio: 0.46

Intersection Signal Delay: 9.3


Intersection LOS: A

Intersection Capacity Utilization 45.7%

ICU Level of Service A













Analysis Period (min) 15

Splits and Phases: 4: Manila Rd & E Colfax Ave

		
Ø1	Ø2	Ø4
12 s	53 s	25 s
		
Ø5	Ø6	Ø8
12 s	53 s	25 s

Timings 5: Manila Rd & I-70 WB Ramp

TransPort
04/22/2019

						
Lane Group	WBL	WBT	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Volume (vph)	30	5	40	148	238	625
Future Volume (vph)	30	5	40	148	238	625
Turn Type	Perm	NA	pm+pt	NA	NA	Perm
Protected Phases		8	5	2	6	
Permitted Phases	8		2			6
Detector Phase	8	8	5	2	6	6
Switch Phase						
Minimum Initial (s)	5.0	5.0	5.0	5.0	5.0	5.0
Minimum Split (s)	22.5	22.5	9.5	22.5	22.5	22.5
Total Split (s)	28.0	28.0	12.0	62.0	50.0	50.0
Total Split (%)	31.1%	31.1%	13.3%	68.9%	55.6%	55.6%
Yellow Time (s)	3.5	3.5	3.5	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0	1.0	1.0	1.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	4.5	4.5	4.5	4.5	4.5	4.5
Lead/Lag			Lead		Lag	Lag
Lead-Lag Optimize?			Yes		Yes	Yes
Recall Mode	None	None	None	Min	Min	Min
Act Effect Green (s)	6.7	6.7	27.5	30.0	26.2	26.2
Actuated g/C Ratio	0.18	0.18	0.72	0.79	0.69	0.69
v/c Ratio	0.11	0.15	0.06	0.12	0.22	0.56
Control Delay	18.0	9.6	3.0	3.0	7.5	3.1
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	18.0	9.6	3.0	3.0	7.5	3.1
LOS	B	A	A	A	A	A
Approach Delay		13.3		3.0	4.3	
Approach LOS		B		A	A	

Intersection Summary

Cycle Length: 90
Actuated Cycle Length: 38.2
Natural Cycle: 60
Control Type: Actuated-Uncoordinated
Maximum v/c Ratio: 0.56
Intersection Signal Delay: 4.6
Intersection LOS: A
Intersection Capacity Utilization 58.3%
ICU Level of Service B
Analysis Period (min) 15



















Splits and Phases: 5: Manila Rd & I-70 WB Ramp



HCM 6th Signalized Intersection Summary

5: Manila Rd & I-70 WB Ramp

TransPort
04/22/2019

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	0	0	0	30	5	34	40	148	0	0	238	625
Future Volume (veh/h)	0	0	0	30	5	34	40	148	0	0	238	625
Initial Q (Qb), veh				0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)				1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj				1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach				No			No				No	
Adj Sat Flow, veh/h/ln				1870	1870	1870	1870	1870	0	0	1870	1870
Adj Flow Rate, veh/h				35	6	40	47	174	0	0	280	735
Peak Hour Factor				0.85	0.85	0.85	0.85	0.85	0.85	0.85	0.85	0.85
Percent Heavy Veh, %				2	2	2	2	2	0	0	2	2
Cap, veh/h				130	15	103	526	1328	0	0	1032	874
Arrive On Green				0.07	0.07	0.07	0.05	0.71	0.00	0.00	0.55	0.55
Sat Flow, veh/h				1781	211	1406	1781	1870	0	0	1870	1585
Grp Volume(v), veh/h				35	0	46	47	174	0	0	280	735
Grp Sat Flow(s),veh/h/ln				1781	0	1617	1781	1870	0	0	1870	1585
Q Serve(g_s), s				0.8	0.0	1.1	0.4	1.2	0.0	0.0	3.3	16.1
Cycle Q Clear(g_c), s				0.8	0.0	1.1	0.4	1.2	0.0	0.0	3.3	16.1
Prop In Lane				1.00		0.87	1.00		0.00	0.00		1.00
Lane Grp Cap(c), veh/h				130	0	118	526	1328	0	0	1032	874
V/C Ratio(X)				0.27	0.00	0.39	0.09	0.13	0.00	0.00	0.27	0.84
Avail Cap(c_a), veh/h				1008	0	915	757	2589	0	0	2049	1736
HCM Platoon Ratio				1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)				1.00	0.00	1.00	1.00	1.00	0.00	0.00	1.00	1.00
Uniform Delay (d), s/veh				18.2	0.0	18.4	3.0	1.9	0.0	0.0	4.9	7.8
Incr Delay (d2), s/veh				1.1	0.0	2.1	0.1	0.0	0.0	0.0	0.1	2.3
Initial Q Delay(d3),s/veh				0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln				0.3	0.0	0.4	0.0	0.0	0.0	0.0	0.6	2.8
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh				19.3	0.0	20.4	3.1	2.0	0.0	0.0	5.1	10.1
LnGrp LOS				B	A	C	A	A	A	A	A	B
Approach Vol, veh/h					81			221			1015	
Approach Delay, s/veh					20.0			2.2			8.7	
Approach LOS					B			A			A	
Timer - Assigned Phs	2			5			6			8		
Phs Duration (G+Y+Rc), s	34.0			6.6			27.4			7.5		
Change Period (Y+Rc), s	4.5			4.5			4.5			4.5		
Max Green Setting (Gmax), s	57.5			7.5			45.5			23.5		
Max Q Clear Time (g_c+I1), s	3.2			2.4			18.1			3.1		
Green Ext Time (p_c), s	0.9			0.0			4.8			0.3		
Intersection Summary												
HCM 6th Ctrl Delay	8.3											
HCM 6th LOS	A											

HCS7 Roundabouts Report

General Information

Analyst	PJD
Agency or Co.	FHU
Date Performed	4/17/2019
Analysis Year	2025
Time Analyzed	PM Subarea 1 Total
Project Description	

Site Information

Intersection	I-70 WB Ramp/Manila Rd
E/W Street Name	I-70 WB Ramp
N/S Street Name	Manila Rd
Analysis Time Period (hrs)	0.25
Peak Hour Factor	0.85
Jurisdiction	City of Aurora

Volume Adjustments and Site Characteristics

Approach	EB				WB				NB				SB			
Movement	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Number of Lanes (N)	0	0	0	0	0	0	1	0	0	0	1	0	0	0	1	0
Lane Assignment							LTR				LT				TR	
Volume (V), veh/h					0	30	5	34	0	40	148		0		238	625
Percent Heavy Vehicles, %					25	25	25	25	25	25	25		25		25	25
Flow Rate (v_{pce}), pc/h					0	44	7	50	0	59	218		0		350	919
Right-Turn Bypass	None				None				None				None			
Conflicting Lanes					1				1				1			
Pedestrians Crossing, p/h					0				0				0			

Critical and Follow-Up Headway Adjustment

Approach	EB			WB			NB			SB		
Lane	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass
Critical Headway (s)					4.9763			4.9763			4.9763	
Follow-Up Headway (s)					2.6087			2.6087			2.6087	

Flow Computations, Capacity and v/c Ratios

Approach	EB			WB			NB			SB		
Lane	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass
Entry Flow (v_e), pc/h					101.00			277.00			1269.00	
Entry Volume veh/h					80.80			221.60			1015.20	
Circulating Flow (v_c), pc/h	394			277			0			110		
Exiting Flow (v_{ex}), pc/h	0			985			268			394		
Capacity (C_{pce}), pc/h					1040.34			1380.00			1233.53	
Capacity (c), veh/h					832.27			1104.00			986.83	
v/c Ratio (x)					0.10			0.20			1.03	

Delay and Level of Service

Approach	EB			WB			NB			SB		
Lane	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass
Lane Control Delay (d), s/veh					5.3			5.1			56.7	
Lane LOS					A			A			F	
95% Queue, veh					0.3			0.7			21.4	
Approach Delay, s/veh				5.3			5.1			56.7		
Approach LOS				A			A			F		
Intersection Delay, s/veh LOS	44.9						E					

Timings 6: Manila Rd & I-70 EB Ramp

TransPort
04/22/2019



Lane Group	EBL	EBT	NBT	SBL	SBT
Lane Configurations					
Traffic Volume (vph)	137	5	51	170	98
Future Volume (vph)	137	5	51	170	98
Turn Type	Perm	NA	NA	pm+pt	NA
Protected Phases		4	2	1	6
Permitted Phases	4			6	
Detector Phase	4	4	2	1	6
Switch Phase					
Minimum Initial (s)	5.0	5.0	5.0	5.0	5.0
Minimum Split (s)	22.5	22.5	22.5	9.5	22.5
Total Split (s)	35.0	35.0	30.0	25.0	55.0
Total Split (%)	38.9%	38.9%	33.3%	27.8%	61.1%
Yellow Time (s)	3.5	3.5	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0	1.0	1.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	4.5	4.5	4.5	4.5	4.5
Lead/Lag			Lag	Lead	
Lead-Lag Optimize?			Yes	Yes	
Recall Mode	None	None	Min	None	Min
Act Effect Green (s)	9.4	9.4	8.3	18.1	18.1
Actuated g/C Ratio	0.25	0.25	0.22	0.49	0.49
v/c Ratio	0.36	0.34	0.25	0.32	0.13
Control Delay	15.4	5.2	11.7	7.0	5.6
Queue Delay	0.0	0.0	0.0	0.0	0.0
Total Delay	15.4	5.2	11.7	7.0	5.6
LOS	B	A	B	A	A
Approach Delay		10.0	11.7		6.5
Approach LOS		A	B		A

Intersection Summary

Cycle Length: 90

Actuated Cycle Length: 37

Natural Cycle: 55

Control Type: Actuated-Uncoordinated

Maximum v/c Ratio: 0.36

Intersection Signal Delay: 8.8

Intersection LOS: A

Intersection Capacity Utilization 58.3%

ICU Level of Service B

Analysis Period (min) 15


















Splits and Phases: 6: Manila Rd & I-70 EB Ramp

Ø1	Ø2	Ø4
25 s	30 s	35 s
Ø6		
55 s		

HCM 6th Signalized Intersection Summary

6: Manila Rd & I-70 EB Ramp

TransPort
04/22/2019

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	137	5	151	0	0	0	0	51	40	170	98	0
Future Volume (veh/h)	137	5	151	0	0	0	0	51	40	170	98	0
Initial Q (Qb), veh	0	0	0				0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00				1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00				1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No						No			No		
Adj Sat Flow, veh/h/ln	1870	1870	1870				0	1870	1870	1870	1870	0
Adj Flow Rate, veh/h	161	6	178				0	60	47	200	115	0
Peak Hour Factor	0.85	0.85	0.85				0.85	0.85	0.85	0.85	0.85	0.85
Percent Heavy Veh, %	2	2	2				0	2	2	2	2	0
Cap, veh/h	380	11	328				0	170	133	655	882	0
Arrive On Green	0.21	0.21	0.21				0.00	0.18	0.18	0.14	0.47	0.00
Sat Flow, veh/h	1781	52	1541				0	972	761	1781	1870	0
Grp Volume(v), veh/h	161	0	184				0	0	107	200	115	0
Grp Sat Flow(s),veh/h/ln	1781	0	1593				0	0	1733	1781	1870	0
Q Serve(g_s), s	2.2	0.0	2.9				0.0	0.0	1.6	2.2	1.0	0.0
Cycle Q Clear(g_c), s	2.2	0.0	2.9				0.0	0.0	1.6	2.2	1.0	0.0
Prop In Lane	1.00		0.97				0.00		0.44	1.00		0.00
Lane Grp Cap(c), veh/h	380	0	340				0	0	303	655	882	0
V/C Ratio(X)	0.42	0.00	0.54				0.00	0.00	0.35	0.31	0.13	0.00
Avail Cap(c_a), veh/h	1902	0	1701				0	0	1547	1686	3306	0
HCM Platoon Ratio	1.00	1.00	1.00				1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(l)	1.00	0.00	1.00				0.00	0.00	1.00	1.00	1.00	0.00
Uniform Delay (d), s/veh	9.7	0.0	10.0				0.0	0.0	10.4	6.4	4.2	0.0
Incr Delay (d2), s/veh	0.8	0.0	1.3				0.0	0.0	0.7	0.3	0.1	0.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0				0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.6	0.0	0.8				0.0	0.0	0.3	0.3	0.1	0.0
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	10.5	0.0	11.3				0.0	0.0	11.1	6.6	4.3	0.0
LnGrp LOS	B	A	B				A	A	B	A	A	A
Approach Vol, veh/h	345						107			315		
Approach Delay, s/veh	10.9						11.1			5.8		
Approach LOS	B						B			A		
Timer - Assigned Phs	1	2	4		6							
Phs Duration (G+Y+Rc), s	8.5	9.5	10.6		18.0							
Change Period (Y+Rc), s	4.5	4.5	4.5		4.5							
Max Green Setting (Gmax), s	20.5	25.5	30.5		50.5							
Max Q Clear Time (g_c+I1), s	4.2	3.6	4.9		3.0							
Green Ext Time (p_c), s	0.5	0.4	1.6		0.6							
Intersection Summary												
HCM 6th Ctrl Delay	8.8											
HCM 6th LOS	A											

HCS7 Roundabouts Report

General Information

Analyst	PJD
Agency or Co.	FHU
Date Performed	4/17/2019
Analysis Year	2025
Time Analyzed	PM Subarea 1 Total
Project Description	

Site Information

Intersection	I-70 EB Ramp/Manila Rd
E/W Street Name	I-70 EB Ramp
N/S Street Name	Manila Rd
Analysis Time Period (hrs)	0.25
Peak Hour Factor	0.85
Jurisdiction	City of Aurora

Volume Adjustments and Site Characteristics

Approach	EB				WB				NB				SB			
Movement	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Number of Lanes (N)	0	0	1	0	0	0	0	0	0	0	1	0	0	0	1	0
Lane Assignment	LTR								TR				LT			
Volume (V), veh/h	0	137	5	115					0		51	40	0	170	98	
Percent Heavy Vehicles, %	25	25	25	25					25		25	25	25	25	25	
Flow Rate (v_{pce}), pc/h	0	201	7	169					0		75	59	0	250	144	
Right-Turn Bypass	None				None				None				None			
Conflicting Lanes	1								1				1			
Pedestrians Crossing, p/h	0								0				0			

Critical and Follow-Up Headway Adjustment






Approach	EB			WB			NB			SB		
Lane	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass
Critical Headway (s)		4.9763						4.9763			4.9763	
Follow-Up Headway (s)		2.6087						2.6087			2.6087	

Flow Computations, Capacity and v/c Ratios

Approach	EB			WB			NB			SB		
Lane	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass
Entry Flow (v_e), pc/h		377.00						134.00			394.00	
Entry Volume veh/h		301.60						107.20			315.20	
Circulating Flow (v_c), pc/h	394			276			458			0		
Exiting Flow (v_{ex}), pc/h	316			0			276			313		
Capacity (C_{pce}), pc/h		923.31						864.96			1380.00	
Capacity (c), veh/h		738.65						691.97			1104.00	
v/c Ratio (x)		0.41						0.15			0.29	











Delay and Level of Service

Approach	EB			WB			NB			SB		
Lane	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass
Lane Control Delay (d), s/veh		10.2						6.9			6.0	
Lane LOS		B						A			A	
95% Queue, veh		2.0						0.5			1.2	
Approach Delay, s/veh	10.2						6.9			6.0		
Approach LOS	B						A			A		
Intersection Delay, s/veh LOS	7.9						A					

Intersection						
Int Delay, s/veh	3.4					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Vol, veh/h	28	95	120	4	14	135
Future Vol, veh/h	28	95	120	4	14	135
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	100	100	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	33	112	141	5	16	159
Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	332	141	0	0	146	0
Stage 1	141	-	-	-	-	-
Stage 2	191	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	663	907	-	-	1436	-
Stage 1	886	-	-	-	-	-
Stage 2	841	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	656	907	-	-	1436	-
Mov Cap-2 Maneuver	656	-	-	-	-	-
Stage 1	886	-	-	-	-	-
Stage 2	832	-	-	-	-	-
Approach	WB	NB	SB			
HCM Control Delay, s	10.2	0	0.7			
HCM LOS	B					
Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT		
Capacity (veh/h)	-	-	834	1436	-	
HCM Lane V/C Ratio	-	-	0.174	0.011	-	
HCM Control Delay (s)	-	-	10.2	7.5	-	
HCM Lane LOS	-	-	B	A	-	
HCM 95th %tile Q(veh)	-	-	0.6	0	-	

Timings 20: Manila Rd & 32nd Ave

TransPort
04/22/2019

					
Lane Group	EBL	EBR	NBL	NBT	SBT
Lane Configurations					
Traffic Volume (vph)	13	362	81	59	302
Future Volume (vph)	13	362	81	59	302
Turn Type	Prot	Perm	pm+pt	NA	NA
Protected Phases	4		5	2	6
Permitted Phases		4	2		
Detector Phase	4	4	5	2	6
Switch Phase					
Minimum Initial (s)	5.0	5.0	5.0	5.0	5.0
Minimum Split (s)	22.5	22.5	9.5	22.5	22.5
Total Split (s)	45.0	45.0	15.0	45.0	30.0
Total Split (%)	50.0%	50.0%	16.7%	50.0%	33.3%
Yellow Time (s)	3.5	3.5	3.5	3.5	3.5
All-Red Time (s)	1.0	1.0	1.0	1.0	1.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	4.5	4.5	4.5	4.5	4.5
Lead/Lag			Lead		Lag
Lead-Lag Optimize?			Yes		Yes
Recall Mode	None	None	None	Min	Min
Act Effect Green (s)	7.6	7.6	16.1	16.1	9.6
Actuated g/C Ratio	0.23	0.23	0.48	0.48	0.28
v/c Ratio	0.04	0.62	0.16	0.04	0.36
Control Delay	13.6	6.7	5.1	4.3	12.9
Queue Delay	0.0	0.0	0.0	0.0	0.0
Total Delay	13.6	6.7	5.1	4.3	12.9
LOS	B	A	A	A	B
Approach Delay	6.9			4.8	12.9
Approach LOS	A			A	B

Intersection Summary

Cycle Length: 90

Actuated Cycle Length: 33.7

Natural Cycle: 55

Control Type: Actuated-Uncoordinated

Maximum v/c Ratio: 0.62

Intersection Signal Delay: 8.8

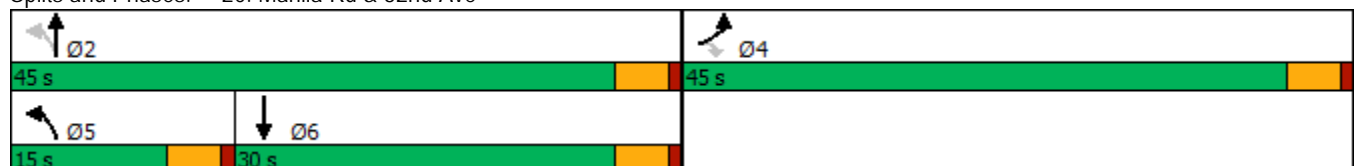
Intersection LOS: A

Intersection Capacity Utilization 38.4%

ICU Level of Service A

Analysis Period (min) 15






Splits and Phases: 20: Manila Rd & 32nd Ave









HCM 6th Signalized Intersection Summary 20: Manila Rd & 32nd Ave

TransPort
04/22/2019









Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Volume (veh/h)	13	362	81	59	302	3
Future Volume (veh/h)	13	362	81	59	302	3
Initial Q (Qb), veh	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00	1.00	1.00			1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No	No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	15	426	95	69	355	4
Peak Hour Factor	0.85	0.85	0.85	0.85	0.85	0.85
Percent Heavy Veh, %	2	2	2	2	2	2
Cap, veh/h	602	535	465	1448	699	8
Arrive On Green	0.34	0.34	0.09	0.41	0.19	0.19
Sat Flow, veh/h	1781	1585	1781	3647	3693	41
Grp Volume(v), veh/h	15	426	95	69	175	184
Grp Sat Flow(s),veh/h/ln	1781	1585	1781	1777	1777	1863
Q Serve(g_s), s	0.2	8.6	1.3	0.4	3.1	3.1
Cycle Q Clear(g_c), s	0.2	8.6	1.3	0.4	3.1	3.1
Prop In Lane	1.00	1.00	1.00			0.02
Lane Grp Cap(c), veh/h	602	535	465	1448	345	362
V/C Ratio(X)	0.02	0.80	0.20	0.05	0.51	0.51
Avail Cap(c_a), veh/h	2043	1818	842	4076	1283	1346
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	7.8	10.6	8.6	6.3	12.7	12.7
Incr Delay (d2), s/veh	0.0	2.7	0.2	0.0	1.2	1.1
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.0	0.4	0.3	0.1	1.0	1.0
Unsig. Movement Delay, s/veh						
LnGrp Delay(d),s/veh	7.8	13.3	8.8	6.3	13.9	13.8
LnGrp LOS	A	B	A	A	B	B
Approach Vol, veh/h	441			164	359	
Approach Delay, s/veh	13.2			7.8	13.9	
Approach LOS	B			A	B	
Timer - Assigned Phs	2		4		5	6
Phs Duration (G+Y+Rc), s	18.9		16.4		7.5	11.4
Change Period (Y+Rc), s	4.5		4.5		4.5	4.5
Max Green Setting (Gmax), s	40.5		40.5		10.5	25.5
Max Q Clear Time (g_c+I1), s	2.4		10.6		3.3	5.1
Green Ext Time (p_c), s	0.3		1.5		0.1	1.7
Intersection Summary						
HCM 6th Ctrl Delay			12.5			
HCM 6th LOS			B			

Intersection						
Int Delay, s/veh	4.3					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	30	134	20	97	123	5
Future Vol, veh/h	30	134	20	97	123	5
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	100	0	0	-	-	100
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	35	158	24	114	145	6
Major/Minor	Minor2	Major1		Major2		
Conflicting Flow All	307	145	151	0	-	0
Stage 1	145	-	-	-	-	-
Stage 2	162	-	-	-	-	-
Critical Hdwy	6.42	6.22	4.12	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	2.218	-	-	-
Pot Cap-1 Maneuver	685	902	1430	-	-	-
Stage 1	882	-	-	-	-	-
Stage 2	867	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	673	902	1430	-	-	-
Mov Cap-2 Maneuver	673	-	-	-	-	-
Stage 1	867	-	-	-	-	-
Stage 2	867	-	-	-	-	-
Approach	EB	NB		SB		
HCM Control Delay, s	9.9	1.3		0		
HCM LOS	A					
Minor Lane/Major Mvmt	NBL	NBT	EBLn1	EBLn2	SBT	SBR
Capacity (veh/h)	1430	-	673	902	-	-
HCM Lane V/C Ratio	0.016	-	0.052	0.175	-	-
HCM Control Delay (s)	7.6	-	10.6	9.8	-	-
HCM Lane LOS	A	-	B	A	-	-
HCM 95th %tile Q(veh)	0.1	-	0.2	0.6	-	-

Intersection

Int Delay, s/veh 3.6

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	5	368	36	18	123	31
Future Vol, veh/h	5	368	36	18	123	31
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	100	-	-	100	0	100
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	6	433	42	21	145	36

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	63	0	0 487 21
Stage 1	-	-	- - 42 -
Stage 2	-	-	- - 445 -
Critical Hdwy	4.13	-	- - 6.63 6.93
Critical Hdwy Stg 1	-	-	- - 5.83 -
Critical Hdwy Stg 2	-	-	- - 5.43 -
Follow-up Hdwy	2.219	-	- - 3.519 3.319
Pot Cap-1 Maneuver	1539	-	- - 524 1052
Stage 1	-	-	- - 976 -
Stage 2	-	-	- - 645 -
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	1539	-	- - 522 1052
Mov Cap-2 Maneuver	-	-	- - 522 -
Stage 1	-	-	- - 972 -
Stage 2	-	-	- - 645 -

Approach	EB	WB	SB
HCM Control Delay, s	0.1	0	13.3
HCM LOS			B





Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1	SBLn2
Capacity (veh/h)	1539	-	-	-	522	1052
HCM Lane V/C Ratio	0.004	-	-	-	0.277	0.035
HCM Control Delay (s)	7.3	-	-	-	14.5	8.5
HCM Lane LOS	A	-	-	-	B	A
HCM 95th %tile Q(veh)	0	-	-	-	1.1	0.1

APPENDIX F. ANALYSIS WORKSHEETS – SUBAREA 2

Intersection												
Int Delay, s/veh	10.3											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕		↕	↕	↕	↕	↕		↕	↕	
Traffic Vol, veh/h	5	5	5	133	5	114	5	67	304	189	107	5
Future Vol, veh/h	5	5	5	133	5	114	5	67	304	189	107	5
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	100	-	100	100	-	-	150	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	85	85	85	85	85	85	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	6	6	6	156	6	134	6	79	358	222	126	6
Major/Minor	Minor2		Minor1		Major1		Major2					
Conflicting Flow All	913	1022	129	849	846	258	132	0	0	437	0	0
Stage 1	573	573	-	270	270	-	-	-	-	-	-	-
Stage 2	340	449	-	579	576	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	254	236	921	281	299	781	1453	-	-	1123	-	-
Stage 1	505	504	-	736	686	-	-	-	-	-	-	-
Stage 2	675	572	-	501	502	-	-	-	-	-	-	-
Platoon blocked, %								-	-		-	-
Mov Cap-1 Maneuver	175	189	921	231	239	781	1453	-	-	1123	-	-
Mov Cap-2 Maneuver	175	189	-	231	239	-	-	-	-	-	-	-
Stage 1	503	404	-	733	683	-	-	-	-	-	-	-
Stage 2	552	570	-	394	403	-	-	-	-	-	-	-
Approach	EB		WB		NB		SB					
HCM Control Delay, s	20.6		30.6		0.1		5.6					
HCM LOS	C		D									
Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1WBLn1WBLn2WBLn3	SBL	SBT	SBR					
Capacity (veh/h)	1453	-	-	248 231 239 781 1123	-	-	-					
HCM Lane V/C Ratio	0.004	-	-	0.071 0.677 0.025 0.172 0.198	-	-	-					
HCM Control Delay (s)	7.5	-	-	20.6 48.1 20.4 10.6 9	-	-	-					
HCM Lane LOS	A	-	-	C E C B A	-	-	-					
HCM 95th %tile Q(veh)	0	-	-	0.2 4.3 0.1 0.6 0.7	-	-	-					

Intersection

Int Delay, s/veh 9.5

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	412	35	95	30	20	272
Future Vol, veh/h	412	35	95	30	20	272
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	100	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	485	41	112	35	24	320




Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	147	0	0 1141 130
Stage 1	-	-	- 130 -
Stage 2	-	-	- 1011 -
Critical Hdwy	4.12	-	- 6.42 6.22
Critical Hdwy Stg 1	-	-	- 5.42 -
Critical Hdwy Stg 2	-	-	- 5.42 -
Follow-up Hdwy	2.218	-	- 3.518 3.318
Pot Cap-1 Maneuver	1435	-	- 222 920
Stage 1	-	-	- 896 -
Stage 2	-	-	- 352 -
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	1435	-	- 147 920
Mov Cap-2 Maneuver	-	-	- 147 -
Stage 1	-	-	- 593 -
Stage 2	-	-	- 352 -

Approach	EB	WB	SB
HCM Control Delay, s	8.1	0	15.7
HCM LOS			C

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1435	-	-	-	676
HCM Lane V/C Ratio	0.338	-	-	-	0.508
HCM Control Delay (s)	8.8	-	-	-	15.7
HCM Lane LOS	A	-	-	-	C
HCM 95th %tile Q(veh)	1.5	-	-	-	2.9

Intersection








Int Delay, s/veh 0.8







Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations						
Traffic Vol, veh/h	30	5	5	105	5	5
Future Vol, veh/h	30	5	5	105	5	5
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	35	6	6	124	6	6

Major/Minor	Major1	Major2	Minor1
Conflicting Flow All	0	0	41
Stage 1	-	-	-
Stage 2	-	-	-
Critical Hdwy	-	-	4.12
Critical Hdwy Stg 1	-	-	-
Critical Hdwy Stg 2	-	-	-
Follow-up Hdwy	-	-	2.218
Pot Cap-1 Maneuver	-	-	1568
Stage 1	-	-	-
Stage 2	-	-	-
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	-	-	1568
Mov Cap-2 Maneuver	-	-	-
Stage 1	-	-	-
Stage 2	-	-	-

Approach	EB	WB	NB
HCM Control Delay, s	0	0.3	9
HCM LOS			A

Minor Lane/Major Mvmt	NBLn1	EBT	EBR	WBL	WBT
Capacity (veh/h)	910	-	-	1568	-
HCM Lane V/C Ratio	0.013	-	-	0.004	-
HCM Control Delay (s)	9	-	-	7.3	0
HCM Lane LOS	A	-	-	A	A
HCM 95th %tile Q(veh)	0	-	-	0	-

Intersection												
Int Delay, s/veh	16.2											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Vol, veh/h	5	40	5	30	70	27	10	369	10	13	175	5
Future Vol, veh/h	5	40	5	30	70	27	10	369	10	13	175	5
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	100	-	-	100	-	100	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	85	85	85	85	85	85	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	6	47	6	35	82	32	12	434	12	15	206	6
Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	114	0	0	53	0	0	336	246	50	437	217	82
Stage 1	-	-	-	-	-	-	62	62	-	152	152	-
Stage 2	-	-	-	-	-	-	274	184	-	285	65	-
Critical Hdwy	4.12	-	-	4.12	-	-	7.12	6.52	6.22	7.12	6.52	6.22
Critical Hdwy Stg 1	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Follow-up Hdwy	2.218	-	-	2.218	-	-	3.518	4.018	3.318	3.518	4.018	3.318
Pot Cap-1 Maneuver	1475	-	-	1553	-	-	618	656	1018	530	681	978
Stage 1	-	-	-	-	-	-	949	843	-	850	772	-
Stage 2	-	-	-	-	-	-	732	747	-	722	841	-
Platoon blocked, %		-	-		-	-						
Mov Cap-1 Maneuver	1475	-	-	1553	-	-	458	638	1018	232	663	978
Mov Cap-2 Maneuver	-	-	-	-	-	-	458	638	-	232	663	-
Stage 1	-	-	-	-	-	-	945	840	-	847	754	-
Stage 2	-	-	-	-	-	-	517	730	-	343	838	-
Approach	EB			WB			NB			SB		
HCM Control Delay, s	0.7			1.7			23.6			14.8		
HCM LOS							C			B		
Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1				
Capacity (veh/h)	638	1475	-	-	1553	-	-	594				
HCM Lane V/C Ratio	0.717	0.004	-	-	0.023	-	-	0.382				
HCM Control Delay (s)	23.6	7.5	-	-	7.4	-	-	14.8				
HCM Lane LOS	C	A	-	-	A	-	-	B				
HCM 95th %tile Q(veh)	6	0	-	-	0.1	-	-	1.8				

Intersection												
Int Delay, s/veh	3.9											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Vol, veh/h	0	0	0	20	5	140	120	249	0	0	93	122
Future Vol, veh/h	0	0	0	20	5	140	120	249	0	0	93	122
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	0	-	-	0	-	-	-	-	0
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	85	85	85	85	85	85	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	0	0	24	6	165	141	293	0	0	109	144
Major/Minor				Minor1		Major1		Major2				
Conflicting Flow All				756	828	293	253	0	-	-	-	0
Stage 1				575	575	-	-	-	-	-	-	-
Stage 2				181	253	-	-	-	-	-	-	-
Critical Hdwy				6.42	6.52	6.22	4.12	-	-	-	-	-
Critical Hdwy Stg 1				5.42	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2				5.42	5.52	-	-	-	-	-	-	-
Follow-up Hdwy				3.518	4.018	3.318	2.218	-	-	-	-	-
Pot Cap-1 Maneuver				376	306	746	1312	-	0	0	-	-
Stage 1				563	503	-	-	-	0	0	-	-
Stage 2				850	698	-	-	-	0	0	-	-
Platoon blocked, %								-			-	-
Mov Cap-1 Maneuver				336	0	746	1312	-	-	-	-	-
Mov Cap-2 Maneuver				336	0	-	-	-	-	-	-	-
Stage 1				503	0	-	-	-	-	-	-	-
Stage 2				850	0	-	-	-	-	-	-	-
Approach				WB		NB		SB				
HCM Control Delay, s				11.9		2.6		0				
HCM LOS				B								
Minor Lane/Major Mvmt	NBL	NBT	WBLn1	WBLn2	SBT	SBR						
Capacity (veh/h)	1312	-	336	746	-	-						
HCM Lane V/C Ratio	0.108	-	0.07	0.229	-	-						
HCM Control Delay (s)	8.1	-	16.5	11.3	-	-						
HCM Lane LOS	A	-	C	B	-	-						
HCM 95th %tile Q(veh)	0.4	-	0.2	0.9	-	-						

HCS7 Roundabouts Report

General Information

Analyst	PJD
Agency or Co.	FHU
Date Performed	4/17/2019
Analysis Year	2025
Time Analyzed	AM Subarea 2 Total
Project Description	

Site Information

Intersection	I-70 WB Ramp/Manila Rd
E/W Street Name	I-70 WB Ramp
N/S Street Name	Manila Rd
Analysis Time Period (hrs)	0.25
Peak Hour Factor	0.85
Jurisdiction	City of Aurora

Volume Adjustments and Site Characteristics

Approach	EB				WB				NB				SB			
Movement	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Number of Lanes (N)	0	0	0	0	0	0	1	0	0	0	1	0	0	0	1	0
Lane Assignment							LTR				LT				TR	
Volume (V), veh/h					0	20	5	140	0	120	249		0		93	122
Percent Heavy Vehicles, %					25	25	25	25	25	25	25		25		25	25
Flow Rate (v_{pce}), pc/h					0	29	7	206	0	176	366		0		137	179
Right-Turn Bypass	None				None				None				None			
Conflicting Lanes					1				1				1			
Pedestrians Crossing, p/h					0				0				0			

Critical and Follow-Up Headway Adjustment






Approach	EB			WB			NB			SB		
Lane	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass
Critical Headway (s)					4.9763			4.9763			4.9763	
Follow-Up Headway (s)					2.6087			2.6087			2.6087	

Flow Computations, Capacity and v/c Ratios

Approach	EB			WB			NB			SB		
Lane	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass
Entry Flow (v_e), pc/h					242.00			542.00			316.00	
Entry Volume veh/h					193.60			433.60			252.80	
Circulating Flow (v_c), pc/h	166			542			0			212		
Exiting Flow (v_{ex}), pc/h	0			362			572			166		
Capacity (C_{pce}), pc/h					793.94			1380.00			1111.65	
Capacity (c), veh/h					635.15			1104.00			889.32	
v/c Ratio (x)					0.30			0.39			0.28	

Delay and Level of Service

Approach	EB			WB			NB			SB		
Lane	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass
Lane Control Delay (d), s/veh					9.7			7.3			7.1	
Lane LOS					A			A			A	
95% Queue, veh					1.3			1.9			1.2	
Approach Delay, s/veh				9.7			7.3			7.1		
Approach LOS				A			A			A		
Intersection Delay, s/veh LOS	7.8						A					

Intersection												
Int Delay, s/veh	8.1											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Vol, veh/h	219	5	30	0	0	0	0	160	35	67	51	0
Future Vol, veh/h	219	5	30	0	0	0	0	160	35	67	51	0
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	0	-	-	-	-	-	-	-	-	0	-	-
Veh in Median Storage, #	-	0	-	-	16979	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	85	85	85	85	85	85	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	258	6	35	0	0	0	0	188	41	79	60	0
Major/Minor	Minor2						Major1			Major2		
Conflicting Flow All	427	447	60				-	0	0	229	0	0
Stage 1	218	218	-				-	-	-	-	-	-
Stage 2	209	229	-				-	-	-	-	-	-
Critical Hdwy	6.42	6.52	6.22				-	-	-	4.12	-	-
Critical Hdwy Stg 1	5.42	5.52	-				-	-	-	-	-	-
Critical Hdwy Stg 2	5.42	5.52	-				-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318				-	-	-	2.218	-	-
Pot Cap-1 Maneuver	584	506	1005				0	-	-	1339	-	0
Stage 1	818	723	-				0	-	-	-	-	0
Stage 2	826	715	-				0	-	-	-	-	0
Platoon blocked, %							-	-				
Mov Cap-1 Maneuver	550	0	1005				-	-	-	1339	-	-
Mov Cap-2 Maneuver	550	0	-				-	-	-	-	-	-
Stage 1	818	0	-				-	-	-	-	-	-
Stage 2	777	0	-				-	-	-	-	-	-
Approach	EB						NB			SB		
HCM Control Delay, s	16						0			4.5		
HCM LOS	C											
Minor Lane/Major Mvmt	NBT	NBR	EBLn1	EBLn2	SBL	SBT						
Capacity (veh/h)	-	-	550	1005	1339	-						
HCM Lane V/C Ratio	-	-	0.468	0.041	0.059	-						
HCM Control Delay (s)	-	-	17.2	8.7	7.9	-						
HCM Lane LOS	-	-	C	A	A	-						
HCM 95th %tile Q(veh)	-	-	2.5	0.1	0.2	-						

HCS7 Roundabouts Report

General Information

Analyst	PJD
Agency or Co.	FHU
Date Performed	4/17/2019
Analysis Year	2025
Time Analyzed	AM Subarea 2 Total
Project Description	

Site Information

Intersection	I-70 EB Ramp/Manila Rd
E/W Street Name	I-70 EB Ramp
N/S Street Name	Manila Rd
Analysis Time Period (hrs)	0.25
Peak Hour Factor	0.85
Jurisdiction	City of Aurora

Volume Adjustments and Site Characteristics

Approach	EB				WB				NB				SB			
Movement	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Number of Lanes (N)	0	0	1	0	0	0	0	0	0	0	1	0	0	0	1	0
Lane Assignment	LTR								TR				LT			
Volume (V), veh/h	0	219	5	30					0		160	35	0	67	51	
Percent Heavy Vehicles, %	25	25	25	25					25		25	25	25	25	25	
Flow Rate (v_{pce}), pc/h	0	322	7	44					0		235	51	0	99	75	
Right-Turn Bypass	None				None				None				None			
Conflicting Lanes	1								1				1			
Pedestrians Crossing, p/h	0								0				0			

Critical and Follow-Up Headway Adjustment

Approach	EB			WB			NB			SB		
Lane	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass
Critical Headway (s)		4.9763						4.9763			4.9763	
Follow-Up Headway (s)		2.6087						2.6087			2.6087	

Flow Computations, Capacity and v/c Ratios





Approach	EB			WB			NB			SB		
Lane	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass
Entry Flow (v_e), pc/h		373.00						286.00			174.00	
Entry Volume veh/h		298.40						228.80			139.20	
Circulating Flow (v_c), pc/h	174			557			428			0		
Exiting Flow (v_{ex}), pc/h	157			0			557			119		
Capacity (C_{pce}), pc/h		1155.58						891.84			1380.00	
Capacity (c), veh/h		924.47						713.47			1104.00	
v/c Ratio (x)		0.32						0.32			0.13	

Delay and Level of Service

Approach	EB			WB			NB			SB		
Lane	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass
Lane Control Delay (d), s/veh		7.4						9.0			4.4	
Lane LOS		A						A			A	
95% Queue, veh		1.4						1.4			0.4	
Approach Delay, s/veh	7.4						9.0			4.4		
Approach LOS	A						A			A		
Intersection Delay, s/veh LOS	7.3						A					

Intersection




Int Delay, s/veh 0.6

Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Vol, veh/h	22	5	396	46	5	270
Future Vol, veh/h	22	5	396	46	5	270
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	100	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	26	6	466	54	6	318

Major/Minor	Minor1	Major1	Major2
Conflicting Flow All	796	466	0
Stage 1	466	-	-
Stage 2	330	-	-
Critical Hdwy	6.42	6.22	-
Critical Hdwy Stg 1	5.42	-	-
Critical Hdwy Stg 2	5.42	-	-
Follow-up Hdwy	3.518	3.318	-
Pot Cap-1 Maneuver	356	597	-
Stage 1	632	-	-
Stage 2	728	-	-
Platoon blocked, %		-	-
Mov Cap-1 Maneuver	354	597	-
Mov Cap-2 Maneuver	354	-	-
Stage 1	632	-	-
Stage 2	723	-	-

Approach	WB	NB	SB
HCM Control Delay, s	15.2	0	0.2
HCM LOS	C		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	383	1046
HCM Lane V/C Ratio	-	-	0.083	0.006
HCM Control Delay (s)	-	-	15.2	8.5
HCM Lane LOS	-	-	C	A
HCM 95th %tile Q(veh)	-	-	0.3	0

Intersection						
Int Delay, s/veh	2.3					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	5	50	102	299	143	5
Future Vol, veh/h	5	50	102	299	143	5
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	6	59	120	352	168	6




Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	763	171	174	0	-	0
Stage 1	171	-	-	-	-	-
Stage 2	592	-	-	-	-	-
Critical Hdwy	6.42	6.22	4.12	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	2.218	-	-	-
Pot Cap-1 Maneuver	372	873	1403	-	-	-
Stage 1	859	-	-	-	-	-
Stage 2	553	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	333	873	1403	-	-	-
Mov Cap-2 Maneuver	333	-	-	-	-	-
Stage 1	768	-	-	-	-	-
Stage 2	553	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	10.2	2	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1403	-	761	-	-
HCM Lane V/C Ratio	0.086	-	0.085	-	-
HCM Control Delay (s)	7.8	0	10.2	-	-
HCM Lane LOS	A	A	B	-	-
HCM 95th %tile Q(veh)	0.3	-	0.3	-	-

Intersection

Int Delay, s/veh 1.2

Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations						
Traffic Vol, veh/h	194	54	26	254	27	13
Future Vol, veh/h	194	54	26	254	27	13
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	228	64	31	299	32	15




Major/Minor	Major1	Major2	Minor1
Conflicting Flow All	0	0	292
Stage 1	-	-	-
Stage 2	-	-	-
Critical Hdwy	-	-	4.12
Critical Hdwy Stg 1	-	-	-
Critical Hdwy Stg 2	-	-	-
Follow-up Hdwy	-	-	2.218
Pot Cap-1 Maneuver	-	-	1270
Stage 1	-	-	-
Stage 2	-	-	-
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	-	-	1270
Mov Cap-2 Maneuver	-	-	-
Stage 1	-	-	-
Stage 2	-	-	-

Approach	EB	WB	NB
HCM Control Delay, s	0	0.7	12.8
HCM LOS			B

Minor Lane/Major Mvmt	NBLn1	EBT	EBR	WBL	WBT
Capacity (veh/h)	511	-	-	1270	-
HCM Lane V/C Ratio	0.092	-	-	0.024	-
HCM Control Delay (s)	12.8	-	-	7.9	0
HCM Lane LOS	B	-	-	A	A
HCM 95th %tile Q(veh)	0.3	-	-	0.1	-

Intersection










Int Delay, s/veh 4.6




Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	46	5	5	102	50	22
Future Vol, veh/h	46	5	5	102	50	22
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	54	6	6	120	59	26

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	126	0	0 180 66
Stage 1	-	-	- 66 -
Stage 2	-	-	- 114 -
Critical Hdwy	4.12	-	- 6.42 6.22
Critical Hdwy Stg 1	-	-	- 5.42 -
Critical Hdwy Stg 2	-	-	- 5.42 -
Follow-up Hdwy	2.218	-	- 3.518 3.318
Pot Cap-1 Maneuver	1460	-	- 810 998
Stage 1	-	-	- 957 -
Stage 2	-	-	- 911 -
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	1460	-	- 780 998
Mov Cap-2 Maneuver	-	-	- 780 -
Stage 1	-	-	- 922 -
Stage 2	-	-	- 911 -

Approach	EB	WB	SB
HCM Control Delay, s	6.8	0	9.8
HCM LOS			A




Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1460	-	-	-	836
HCM Lane V/C Ratio	0.037	-	-	-	0.101
HCM Control Delay (s)	7.6	0	-	-	9.8
HCM Lane LOS	A	A	-	-	A
HCM 95th %tile Q(veh)	0.1	-	-	-	0.3

Intersection												
Int Delay, s/veh	16.2											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Vol, veh/h	5	5	5	306	5	189	5	96	113	102	102	5
Future Vol, veh/h	5	5	5	306	5	189	5	96	113	102	102	5
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	100	-	100	100	-	100	150	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	85	85	85	85	85	85	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	6	6	6	360	6	222	6	113	133	120	120	6
Major/Minor	Minor2		Minor1			Major1			Major2			
Conflicting Flow All	669	621	123	494	491	113	126	0	0	246	0	0
Stage 1	363	363	-	125	125	-	-	-	-	-	-	-
Stage 2	306	258	-	369	366	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	371	403	928	486	478	940	1460	-	-	1320	-	-
Stage 1	656	625	-	879	792	-	-	-	-	-	-	-
Stage 2	704	694	-	651	623	-	-	-	-	-	-	-
Platoon blocked, %								-	-		-	-
Mov Cap-1 Maneuver	260	365	928	443	433	940	1460	-	-	1320	-	-
Mov Cap-2 Maneuver	260	365	-	443	433	-	-	-	-	-	-	-
Stage 1	653	568	-	875	789	-	-	-	-	-	-	-
Stage 2	531	691	-	582	566	-	-	-	-	-	-	-
Approach	EB		WB			NB			SB			
HCM Control Delay, s	14.6		28.3			0.2			3.9			
HCM LOS	B		D									
Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1WBLn1WBLn2WBLn3	SBL	SBT	SBR					
Capacity (veh/h)	1460	-	-	391 443 433 940	1320	-	-					
HCM Lane V/C Ratio	0.004	-	-	0.045 0.813 0.014 0.237 0.091	-	-	-					
HCM Control Delay (s)	7.5	-	-	14.6 39.9 13.4 10 8	-	-	-					
HCM Lane LOS	A	-	-	B E B B A	-	-	-					
HCM 95th %tile Q(veh)	0	-	-	0.1 7.5 0 0.9 0.3	-	-	-					

Intersection						
Int Delay, s/veh	12.2					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	228	40	50	20	45	429
Future Vol, veh/h	228	40	50	20	45	429
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	268	47	59	24	53	505
Major/Minor	Major1	Major2		Minor2		
Conflicting Flow All	83	0	-	0	654	71
Stage 1	-	-	-	-	71	-
Stage 2	-	-	-	-	583	-
Critical Hdwy	4.12	-	-	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	2.218	-	-	-	3.518	3.318
Pot Cap-1 Maneuver	1514	-	-	-	431	991
Stage 1	-	-	-	-	952	-
Stage 2	-	-	-	-	558	-
Platoon blocked, %		-	-	-		
Mov Cap-1 Maneuver	1514	-	-	-	353	991
Mov Cap-2 Maneuver	-	-	-	-	353	-
Stage 1	-	-	-	-	779	-
Stage 2	-	-	-	-	558	-
Approach	EB	WB		SB		
HCM Control Delay, s	6.7	0		17.1		
HCM LOS				C		
Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1	
Capacity (veh/h)	1514	-	-	-	846	
HCM Lane V/C Ratio	0.177	-	-	-	0.659	
HCM Control Delay (s)	7.9	0	-	-	17.1	
HCM Lane LOS	A	A	-	-	C	
HCM 95th %tile Q(veh)	0.6	-	-	-	5.1	

Intersection








Int Delay, s/veh 0.6







Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations						
Traffic Vol, veh/h	125	10	5	60	5	5
Future Vol, veh/h	125	10	5	60	5	5
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	147	12	6	71	6	6

Major/Minor	Major1	Major2	Minor1
Conflicting Flow All	0	0	159
Stage 1	-	-	-
Stage 2	-	-	-
Critical Hdwy	-	-	4.12
Critical Hdwy Stg 1	-	-	-
Critical Hdwy Stg 2	-	-	-
Follow-up Hdwy	-	-	2.218
Pot Cap-1 Maneuver	-	-	1420
Stage 1	-	-	-
Stage 2	-	-	-
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	-	-	1420
Mov Cap-2 Maneuver	-	-	-
Stage 1	-	-	-
Stage 2	-	-	-

Approach	EB	WB	NB
HCM Control Delay, s	0	0.6	9.5
HCM LOS			A

Minor Lane/Major Mvmt	NBLn1	EBT	EBR	WBL	WBT
Capacity (veh/h)	815	-	-	1420	-
HCM Lane V/C Ratio	0.014	-	-	0.004	-
HCM Control Delay (s)	9.5	-	-	7.5	0
HCM Lane LOS	A	-	-	A	A
HCM 95th %tile Q(veh)	0	-	-	0	-

Intersection												
Int Delay, s/veh	17.1											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Vol, veh/h	5	105	20	15	50	11	10	145	40	28	369	5
Future Vol, veh/h	5	105	20	15	50	11	10	145	40	28	369	5
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	100	-	-	100	-	100	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	85	85	85	85	85	85	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	6	124	24	18	59	13	12	171	47	33	434	6
Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	72	0	0	148	0	0	470	256	136	352	255	59
Stage 1	-	-	-	-	-	-	148	148	-	95	95	-
Stage 2	-	-	-	-	-	-	322	108	-	257	160	-
Critical Hdwy	4.12	-	-	4.12	-	-	7.12	6.52	6.22	7.12	6.52	6.22
Critical Hdwy Stg 1	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Follow-up Hdwy	2.218	-	-	2.218	-	-	3.518	4.018	3.318	3.518	4.018	3.318
Pot Cap-1 Maneuver	1528	-	-	1434	-	-	504	648	913	603	649	1007
Stage 1	-	-	-	-	-	-	855	775	-	912	816	-
Stage 2	-	-	-	-	-	-	690	806	-	748	766	-
Platoon blocked, %		-	-		-	-						
Mov Cap-1 Maneuver	1528	-	-	1434	-	-	223	637	913	448	638	1007
Mov Cap-2 Maneuver	-	-	-	-	-	-	223	637	-	448	638	-
Stage 1	-	-	-	-	-	-	852	772	-	908	805	-
Stage 2	-	-	-	-	-	-	312	796	-	551	763	-
Approach	EB			WB			NB			SB		
HCM Control Delay, s	0.3			1.5			14.2			26.8		
HCM LOS							B			D		
Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1				
Capacity (veh/h)	617	1528	-	-	1434	-	-	622				
HCM Lane V/C Ratio	0.372	0.004	-	-	0.012	-	-	0.76				
HCM Control Delay (s)	14.2	7.4	-	-	7.5	-	-	26.8				
HCM Lane LOS	B	A	-	-	A	-	-	D				
HCM 95th %tile Q(veh)	1.7	0	-	-	0	-	-	6.9				

Intersection												
Int Delay, s/veh	2											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Vol, veh/h	0	0	0	30	5	61	40	139	0	0	203	201
Future Vol, veh/h	0	0	0	30	5	61	40	139	0	0	203	201
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	0	-	-	0	-	-	-	-	0
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	85	85	85	85	85	85	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	0	0	35	6	72	47	164	0	0	239	236
Major/Minor				Minor1		Major1		Major2				
Conflicting Flow All				615	733	164	475	0	-	-	-	0
Stage 1				258	258	-	-	-	-	-	-	-
Stage 2				357	475	-	-	-	-	-	-	-
Critical Hdwy				6.42	6.52	6.22	4.12	-	-	-	-	-
Critical Hdwy Stg 1				5.42	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2				5.42	5.52	-	-	-	-	-	-	-
Follow-up Hdwy				3.518	4.018	3.318	2.218	-	-	-	-	-
Pot Cap-1 Maneuver				455	348	881	1087	-	0	0	-	-
Stage 1				785	694	-	-	-	0	0	-	-
Stage 2				708	557	-	-	-	0	0	-	-
Platoon blocked, %								-			-	-
Mov Cap-1 Maneuver				435	0	881	1087	-	-	-	-	-
Mov Cap-2 Maneuver				435	0	-	-	-	-	-	-	-
Stage 1				751	0	-	-	-	-	-	-	-
Stage 2				708	0	-	-	-	-	-	-	-
Approach				WB		NB		SB				
HCM Control Delay, s				10.9		1.9		0				
HCM LOS				B								
Minor Lane/Major Mvmt	NBL	NBT	WBLn1	WBLn2	SBT	SBR						
Capacity (veh/h)	1087	-	435	881	-	-						
HCM Lane V/C Ratio	0.043	-	0.081	0.088	-	-						
HCM Control Delay (s)	8.5	-	14	9.5	-	-						
HCM Lane LOS	A	-	B	A	-	-						
HCM 95th %tile Q(veh)	0.1	-	0.3	0.3	-	-						

HCS7 Roundabouts Report

General Information

Analyst	PJD
Agency or Co.	FHU
Date Performed	4/17/2019
Analysis Year	2025
Time Analyzed	PM Subarea 2 Total
Project Description	

Site Information

Intersection	I-70 WB Ramp/Manila Rd
E/W Street Name	I-70 WB Ramp
N/S Street Name	Manila Rd
Analysis Time Period (hrs)	0.25
Peak Hour Factor	0.85
Jurisdiction	City of Aurora

Volume Adjustments and Site Characteristics

Approach	EB				WB				NB				SB			
Movement	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Number of Lanes (N)	0	0	0	0	0	0	1	0	0	0	1	0	0	0	1	0
Lane Assignment							LTR				LT				TR	
Volume (V), veh/h					0	30	5	61	0	40	139		0		203	201
Percent Heavy Vehicles, %					25	25	25	25	25	25	25		25		25	25
Flow Rate (v_{pce}), pc/h					0	44	7	90	0	59	204		0		299	296
Right-Turn Bypass	None				None				None				None			
Conflicting Lanes					1				1				1			
Pedestrians Crossing, p/h					0				0				0			

Critical and Follow-Up Headway Adjustment






Approach	EB			WB			NB			SB		
Lane	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass
Critical Headway (s)					4.9763			4.9763			4.9763	
Follow-Up Headway (s)					2.6087			2.6087			2.6087	

Flow Computations, Capacity and v/c Ratios

Approach	EB			WB			NB			SB		
Lane	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass
Entry Flow (v_e), pc/h					141.00			263.00			595.00	
Entry Volume veh/h					112.80			210.40			476.00	
Circulating Flow (v_c), pc/h	343			263			0			110		
Exiting Flow (v_{ex}), pc/h	0			362			294			343		
Capacity (C_{pce}), pc/h					1055.30			1380.00			1233.53	
Capacity (c), veh/h					844.24			1104.00			986.83	
v/c Ratio (x)					0.13			0.19			0.48	

Delay and Level of Service

Approach	EB			WB			NB			SB		
Lane	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass
Lane Control Delay (d), s/veh					5.6			5.0			9.4	
Lane LOS					A			A			A	
95% Queue, veh					0.5			0.7			2.7	
Approach Delay, s/veh				5.6			5.0			9.4		
Approach LOS				A			A			A		
Intersection Delay, s/veh LOS	7.7						A					

Intersection												
Int Delay, s/veh	7.5											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Vol, veh/h	121	5	115	0	0	0	0	58	40	143	90	0
Future Vol, veh/h	121	5	115	0	0	0	0	58	40	143	90	0
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	0	-	-	-	-	-	-	-	-	0	-	-
Veh in Median Storage, #	-	0	-	-	16979	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	85	85	85	85	85	85	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	142	6	135	0	0	0	0	68	47	168	106	0

Major/Minor	Minor2			Major1			Major2		
Conflicting Flow All	534	557	106	-	0	0	115	0	0
Stage 1	442	442	-	-	-	-	-	-	-
Stage 2	92	115	-	-	-	-	-	-	-
Critical Hdwy	6.42	6.52	6.22	-	-	-	4.12	-	-
Critical Hdwy Stg 1	5.42	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	5.42	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	-	-	-	2.218	-	-
Pot Cap-1 Maneuver	507	439	948	0	-	-	1474	-	0
Stage 1	648	576	-	0	-	-	-	-	0
Stage 2	932	800	-	0	-	-	-	-	0
Platoon blocked, %				-	-	-	-	-	-
Mov Cap-1 Maneuver	449	0	948	-	-	-	1474	-	-
Mov Cap-2 Maneuver	449	0	-	-	-	-	-	-	-
Stage 1	648	0	-	-	-	-	-	-	-
Stage 2	826	0	-	-	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	13.1	0	4.8
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	NBR	EBLn1	EBLn2	SBL	SBT
Capacity (veh/h)	-	-	449	948	1474	-
HCM Lane V/C Ratio	-	-	0.317	0.149	0.114	-
HCM Control Delay (s)	-	-	16.7	9.5	7.8	-
HCM Lane LOS	-	-	C	A	A	-
HCM 95th %tile Q(veh)	-	-	1.3	0.5	0.4	-

HCS7 Roundabouts Report

General Information

Analyst	PJD
Agency or Co.	FHU
Date Performed	4/17/2019
Analysis Year	2025
Time Analyzed	PM Subarea 2 Total
Project Description	

Site Information

Intersection	I-70 EB Ramp/Manila Rd
E/W Street Name	I-70 EB Ramp
N/S Street Name	Manila Rd
Analysis Time Period (hrs)	0.25
Peak Hour Factor	0.85
Jurisdiction	City of Aurora

Volume Adjustments and Site Characteristics

Approach	EB				WB				NB				SB			
Movement	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Number of Lanes (N)	0	0	1	0	0	0	0	0	0	0	1	0	0	0	1	0
Lane Assignment	LTR								TR				LT			
Volume (V), veh/h	0	121	5	115					0		58	40	0	143	90	
Percent Heavy Vehicles, %	25	25	25	25					25		25	25	25	25	25	
Flow Rate (v_{pce}), pc/h	0	178	7	169					0		85	59	0	210	132	
Right-Turn Bypass	None				None				None				None			
Conflicting Lanes	1								1				1			
Pedestrians Crossing, p/h	0								0				0			

Critical and Follow-Up Headway Adjustment

Approach	EB			WB			NB			SB		
Lane	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass
Critical Headway (s)		4.9763						4.9763			4.9763	
Follow-Up Headway (s)		2.6087						2.6087			2.6087	

Flow Computations, Capacity and v/c Ratios





Approach	EB			WB			NB			SB		
Lane	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass
Entry Flow (v_e), pc/h		354.00						144.00			342.00	
Entry Volume veh/h		283.20						115.20			273.60	
Circulating Flow (v_c), pc/h	342			263			395			0		
Exiting Flow (v_{ex}), pc/h	276			0			263			301		
Capacity (C_{pce}), pc/h		973.60						922.37			1380.00	
Capacity (c), veh/h		778.88						737.89			1104.00	
v/c Ratio (x)		0.36						0.16			0.25	

Delay and Level of Service

Approach	EB			WB			NB			SB		
Lane	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass	Left	Right	Bypass
Lane Control Delay (d), s/veh		9.1						6.6			5.6	
Lane LOS		A						A			A	
95% Queue, veh		1.7						0.6			1.0	
Approach Delay, s/veh	9.1						6.6			5.6		
Approach LOS	A						A			A		
Intersection Delay, s/veh LOS	7.2						A					

Intersection




Int Delay, s/veh 1.2

Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Vol, veh/h	46	5	229	19	5	428
Future Vol, veh/h	46	5	229	19	5	428
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	100	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	54	6	269	22	6	504

Major/Minor	Minor1	Major1	Major2
Conflicting Flow All	785	269	0
Stage 1	269	-	-
Stage 2	516	-	-
Critical Hdwy	6.42	6.22	-
Critical Hdwy Stg 1	5.42	-	-
Critical Hdwy Stg 2	5.42	-	-
Follow-up Hdwy	3.518	3.318	-
Pot Cap-1 Maneuver	361	770	-
Stage 1	776	-	-
Stage 2	599	-	-
Platoon blocked, %		-	-
Mov Cap-1 Maneuver	358	770	-
Mov Cap-2 Maneuver	358	-	-
Stage 1	776	-	-
Stage 2	595	-	-

Approach	WB	NB	SB
HCM Control Delay, s	16.3	0	0.1
HCM LOS	C		




Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	378	1271
HCM Lane V/C Ratio	-	-	0.159	0.005
HCM Control Delay (s)	-	-	16.3	7.8
HCM Lane LOS	-	-	C	A
HCM 95th %tile Q(veh)	-	-	0.6	0

Intersection						
Int Delay, s/veh	0.8					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	0	5	40	121	300	5
Future Vol, veh/h	0	5	40	121	300	5
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	6	47	142	353	6

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	592	356	359	0	-	0
Stage 1	356	-	-	-	-	-
Stage 2	236	-	-	-	-	-
Critical Hdwy	6.42	6.22	4.12	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	2.218	-	-	-
Pot Cap-1 Maneuver	469	688	1200	-	-	-
Stage 1	709	-	-	-	-	-
Stage 2	803	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	449	688	1200	-	-	-
Mov Cap-2 Maneuver	449	-	-	-	-	-
Stage 1	679	-	-	-	-	-
Stage 2	803	-	-	-	-	-




Approach	EB	NB	SB
HCM Control Delay, s	10.3	2	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1200	-	688	-	-
HCM Lane V/C Ratio	0.039	-	0.009	-	-
HCM Control Delay (s)	8.1	0	10.3	-	-
HCM Lane LOS	A	A	B	-	-
HCM 95th %tile Q(veh)	0.1	-	0	-	-

Intersection						
Int Delay, s/veh	2.1					
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations						
Traffic Vol, veh/h	264	21	10	170	56	26
Future Vol, veh/h	264	21	10	170	56	26
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	311	25	12	200	66	31
Major/Minor	Major1		Major2		Minor1	
Conflicting Flow All	0	0	336	0	548	324
Stage 1	-	-	-	-	324	-
Stage 2	-	-	-	-	224	-
Critical Hdwy	-	-	4.12	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	-	-	2.218	-	3.518	3.318
Pot Cap-1 Maneuver	-	-	1223	-	497	717
Stage 1	-	-	-	-	733	-
Stage 2	-	-	-	-	813	-
Platoon blocked, %	-	-		-		
Mov Cap-1 Maneuver	-	-	1223	-	492	717
Mov Cap-2 Maneuver	-	-	-	-	492	-
Stage 1	-	-	-	-	733	-
Stage 2	-	-	-	-	804	-
Approach	EB		WB		NB	
HCM Control Delay, s	0		0.4		13	
HCM LOS					B	
Minor Lane/Major Mvmt	NBLn1	EBT	EBR	WBL	WBT	
Capacity (veh/h)	546	-	-	1223	-	
HCM Lane V/C Ratio	0.177	-	-	0.01	-	
HCM Control Delay (s)	13	-	-	8	0	
HCM Lane LOS	B	-	-	A	A	
HCM 95th %tile Q(veh)	0.6	-	-	0	-	

Intersection

Int Delay, s/veh 7.3

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	19	5	5	40	102	46
Future Vol, veh/h	19	5	5	40	102	46
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	22	6	6	47	120	54

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	53	0	0 80 30
Stage 1	-	-	- 30 -
Stage 2	-	-	- 50 -
Critical Hdwy	4.12	-	- 6.42 6.22
Critical Hdwy Stg 1	-	-	- 5.42 -
Critical Hdwy Stg 2	-	-	- 5.42 -
Follow-up Hdwy	2.218	-	- 3.518 3.318
Pot Cap-1 Maneuver	1553	-	- 922 1044
Stage 1	-	-	- 993 -
Stage 2	-	-	- 972 -
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	1553	-	- 909 1044
Mov Cap-2 Maneuver	-	-	- 909 -
Stage 1	-	-	- 979 -
Stage 2	-	-	- 972 -

Approach	EB	WB	SB
HCM Control Delay, s	5.8	0	9.7
HCM LOS			A

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1553	-	-	-	947
HCM Lane V/C Ratio	0.014	-	-	-	0.184
HCM Control Delay (s)	7.4	0	-	-	9.7
HCM Lane LOS	A	A	-	-	A
HCM 95th %tile Q(veh)	0	-	-	-	0.7



Request for Comments

Case Name: Rocky Mountain Rail Park
Case Number: PRC2018-00006

June 1, 2018

The Adams County Planning Commission is requesting comments on the following applications: **1) Comprehensive Plan Amendment; 2) Rezoning to Planned Unit Development; 3) Major Subdivision Preliminary Plat to create 11 lots and various tracts; 4) Preliminary Development Plan to create an industrial park.**

This request is located on approximately 620 acres of land. The property is located just east of the Front Range Airport, and west of the intersection of Colfax Avenue and Petterson Road. A map has been included. The Assessor's Parcel Numbers are 0181700000289, 0181700000108, and 0181700000290.

Applicant Information: RMR Industrials, Inc.
4601 DTC Blvd., #120
Denver, CO 80237

Please forward any written comments on these applications to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite# W2000A, Brighton, CO 80601-8216. You may also call us at (720) 523-6853. All comments must be received by 06/22/2018 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim, please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report may be forwarded to you, by request, for your information. You will receive further notification when the public hearing dates for this case are scheduled. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Greg Barnes
Case Manager



Public Hearing Notification

Case Name:	Rocky Mountain Rail Park
Case Number:	PRC2018-00006
Planning Commission Hearing Date:	5/23/2019 at 6:00 p.m.
Board of County Commissioners Hearing Date:	6/18/2019 at 9:30 a.m.

May 3, 2019

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following requests:

1) Comprehensive Plan Amendment; 2) Rezoning to Planned Unit Development; 3) Major Subdivision Preliminary Plat to create 11 lots and various tracts; 4) Preliminary Development Plan to create an industrial park.

This request is located on the western half of the intersection of Colfax Avenue (U.S. Hwy 36) and Petterson Road. The Assessor's Parcel Numbers are 0181700000108, 0181700000289, 0181700000290

Applicant Information: RMR Industrials Inc
GREG BLAIS
4601 DTC BLVD., #120
DENVER, CO 80237

The hearing will be held in the Adams County Hearing Room located at 4430 South Adams County Parkway, Brighton CO 80601-8216. This will be a public hearing and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. If you require any special accommodations (e.g., wheelchair accessibility, an interpreter for the hearing impaired, etc.) please contact the Adams County Community and Economic Development Department at (720) 523-6800 (or if this is a long distance call, please use the County's toll free telephone number at 1-800-824-7842) prior to the meeting date.

For further information regarding this case, please contact the Department of Community and Economic Development, 4430 S Adams County Parkway, Brighton, CO 80601, 720-523-6800. This is also the location where maps and/or text certified by the Planning Commission may be viewed.

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Emma Pinter
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Mary Hodge
DISTRICT 5

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

A handwritten signature in cursive script, appearing to read "Greg Barnes".

Greg Barnes

Planner III

PUBLICATION REQUEST

Rocky Mountain Rail Park

Case Number: PRC2018-00006
Planning Commission Hearing Date: 5/23/2019 at 6:00 p.m.
Board of County Commissioners Hearing Date: 6/18/2019 at 9:30 a.m.

Request: 1) Comprehensive Plan Amendment; 2) Rezoning to Planned Unit Development; 3) Major Subdivision Preliminary Plat to create 11 lots and various tracts; 4) Preliminary Development Plan to create an industrial park.

Location: Western half of the intersection of US Hwy 36 (Colfax Avenue) and Petterson Road

Parcel Numbers: 0181700000108, 0181700000289, 0181700000290

Case Manager: Greg Barnes

Applicant: RMR Industrials Inc
GREG BLAIS
4601 DTC BLVD., #120
DENVER, CO 80237

Owner: PILAND LOWELL D ET AL
43651 E 38TH AVE
BENNETT, CO 801028846

Legal Description:

A PARCEL OF LAND LOCATED IN THE EAST HALF OF SECTIONS 26 AND 23, TOWNSHIP 3 SOUTH, RANGE 64 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

CONSIDERING THE SOUTH LINE OF THE NORTHEAST QUARTER OF SECTION 35 AS BEARING NORTH 89°24'01" WEST, A DISTANCE OF 2657.29 FEET BETWEEN THE EAST QUARTER CORNER OF SECTION 35, BEING FOUND A #6 REBAR WITH 2 1/2 " ALUMINUM CAP, LS 5112 T3S R64W 35 36 1/4 1991" AND THE CENTER QUARTER OF SECTION 35, BEING FOUND A #6 REBAR WITH 3 41" ALUMINUM CAP, "T3S R67W [SIC] CENTER 1/4 SEC 35 1992 LS 10734" WITH ALL BEARINGS SHOWN HEREON ARE RELATIVE THERETO.

COMMENCING AT SAID CENTER QUARTER CORNER OF SECTION 35; THENCE ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF SECTION 35, NORTH 00°24'15" WEST, A DISTANCE OF 2630.77 FEET TO THE SOUTH QUARTER

CORNER OF SECTION 26; THENCE ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF SECTION 26, NORTH 00°54'59" W, A DISTANCE OF 1349.52 FEET TO POINT ON THE NORTH RIGHT-OF-WAY LINE OF THE UNION PACIFIC RAILROAD, THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE, NORTH 87°56'25"E, A DISTANCE OF 400.05 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00°54'59"W, A DISTANCE OF 1292.35 FEET, THENCE NORTH 00°54'42"W, A DISTANCE OF 2647.11 FEET, THENCE NORTH 00°38'12"W, A DISTANCE OF 2646.37 FEET, THENCE NORTH 00°38'12"W, A DISTANCE OF 2643.27 FEET; TO A POINT ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 23, THENCE ALONG SAID NORTH LINE, THENCE SOUTH 89°37'39"E, A DISTANCE OF 2229.51 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF PETERSON ROAD; THENCE ALONG SAID WEST RIGHT-OF-WAY LINE THE FOLLOWING FOUR COURSES:

1. SOUTH 00°33'11"E, A DISTANCE OF 2646.70 FEET
2. THENCE SOUTH 00°33'13"E, A DISTANCE OF 2646.16 FEET
3. THENCE SOUTH 01°04'21"E, A DISTANCE OF 2650.03 FEET
4. THENCE SOUTH 01°04'25"E, A DISTANCE OF 1191.58 FEET TO A POINT ON SAID NORTH RIGHT-OF-WAY LINE OF THE UNION PACIFIC RAILROAD; THENCE ALONG SAID RIGHT-OF-WAY LINE, SOUTH 87°56'25" WEST, A DISTANCE OF 2232.37 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING 20,437,415 SQ. FT OR 469.18 ACRES MORE OR LESS.

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 26 AND THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 3 SOUTH, RANGE 64 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO.

CONSIDERING THE SOUTH LINE OF THE NORTHEAST QUARTER OF SECTION 35 TO BEAR NORTH 89°24'01" WEST, A DISTANCE OF 2657.29 FEET BETWEEN THE EAST QUARTER CORNER OF SECTION 35, BEING A FOUND #6 REBAR WITH 2 21" ALUMINUM CAP, "LS 5112 T3S R64W 35 36 1/4 1991" AND THE CENTER QUARTER OF SECTION 35, BEING FOUND A #6 REBAR WITH 3 41" ALUMINUM CAP, "T3S R67W [SIC] CENTER 1/4 SEC 35 1992 LS 10734" WITH ALL BEARINGS SHOWN HEREON ARE RELATIVE THERETO.

COMMENCING AT SAID CENTER QUARTER CORNER OF SECTION 35; THENCE ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF SECTION 35, NORTH 00°24'15" WEST, A DISTANCE OF 986.62 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID WEST LINE, NORTH 00°24'15" WEST, A DISTANCE OF 1644.15 FEET TO THE SOUTH QUARTER CORNER OF SECTION 26; THENCE ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF SECTION 2, NORTH 00°54'59" WEST, A DISTANCE OF 849.46 FEET TO THE POINT ON THE SOUTH RIGHT-OF-WAY LINE OF EAST COLFAX AVENEUE; THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE, NORTH 87°56'25" EAST, A DISTANCE OF 2449.51 FEET; THENCE SOUTH 01°03'37" EAST,

A DISTANCE OF 949.60 FEET TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 26; THENCE ALONG SAID SECTION LINE, SOUTH 89°43'06" EAST, A DISTANCE OF 184.57 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF PETERSON ROAD, THENCE ALONG SAID RIGHT-OF-WAY LINE, SOUTH 00°12'00" EAST, A DISTANCE OF 1653.32 FEET; THENCE DEPARTING SAID RIGHT-OF-WAY LINE, NORTH 89°31'02" WEST, A DISTANCE OF 2630.74 FEET TO A POINT ON THE WEST LINE OF THE NORTHEAST QUARTER OF SECTION 35, SAID POINT ALSO BEING THE POINT OF BEGINNING.

SAID PARCEL CONTAINING 6,545,869 SQ. FT OR 150.27 ACRES MORE OR LESS.



Referral Listing
Case Number PRC2018-00006
Rocky Mountain Rail Park

Agency	Contact Information
Adams County Attorney's Office	Christine Fitch CFitch@adcogov.org 4430 S Adams County Pkwy Brighton CO 80601 720-523-6352
Adams County CEDD Addressing	Marissa Hillje PLN 720.523.6837 mhillje@adcogov.org
Adams County CEDD Development Services Engineer	Devt. Services Engineering 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6800
Adams County CEDD Right-of-Way	Marissa Hillje 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6837 mhillje@adcogov.org
Adams County Construction Inspection	Gordon .Stevens 4430 S. Adams County Pkwy Brighton CO 80601 720-523-6965 gstevens@adcogov.org
Adams County Development Services - Building	Justin Blair 4430 S Adams County Pkwy Brighton CO 80601 720-523-6825 JBlair@adcogov.org
Adams County Parks and Open Space Department	Aaron Clark mpedrucci@adcogov.org (303) 637-8005 aclark@adcogov.org
Adams County Sheriff's Office: SO-HQ	Rick Reigenborn (303) 654-1850 rreigenborn@adcogov.org
Adams County Sheriff's Office: SO-SUB	SCOTT MILLER 720-322-1115 smiller@adcogov.org

Agency	Contact Information
Adams County Treasurer	Lisa Culpepper 4430 S Adams County Pkwy Brighton CO 80601 720.523.6166 lculpepper@adcogov.org
BENNETT FIRE DISTRICT #7	Captain Caleb J Connor 825 SHARIS CT BENNETT CO 80102 303-532-7733 303-644-3572 CalebConnor@BennettFireRescue.org
BENNETT FIRE DISTRICT #7	CHIEF EARL CUMELY 825 SHARIS CT BENNETT CO 80102 303-644-3434 ecumley941@aol.com
BENNETT PARK AND RECREATION	Chris Raines PO BOX 379 455 S. 1ST ST. BENNETT CO 80102-0379 303-644-5041 Director@bennettrec.org
BENNETT SCHOOL DISTRICT 29J	Robin Purdy 615 7TH ST. BENNETT CO 80102 303-644-3234 Ext: 8203 robinp@bsd29j.com
Century Link, Inc	Brandyn Wiedreich 5325 Zuni St, Rm 728 Denver CO 80221 720-578-3724 720-245-0029 brandyn.wiedrich@centurylink.com
CITY OF AURORA - WATER AND SAN. DEPT.	PETER BINNEY 15151 E ALAMEDA PKWY #3600 AURORA CO 80012 303-739-7370 pbinney@ci.aurora.co.us
CITY OF AURORA ATTN: PLANNING DEPARTMENT	Porter Ingrum 15151 E ALAMEDA PKWY 2ND FLOOR AURORA CO 80012 (303) 739-7227 303.739.7000 pingrum@auroragov.org
Code Compliance Supervisor	Eric Guenther eguenther@adcogov.org 720-523-6856 eguenther@adcogov.org
COLO DIV OF MINING RECLAMATION AND SAFETY	ANTHONY J. WALDRON - SENIOR ENV DEPT. OF NATURAL RESOURCES 1313 SHERMAN ST, #215 DENVER CO 80203 303-866-4926 tony.waldron@state.co.us

Agency	Contact Information
COLO DIV OF WATER RESOURCES	Joanna Williams OFFICE OF STATE ENGINEER 1313 SHERMAN ST., ROOM 818 DENVER CO 80203 303-866-3581 joanna.williams@state.co.us
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COLORADO DIVISION OF WILDLIFE	Eliza Hunholz Northeast Regional Engineer 6060 BROADWAY DENVER CO 80216-1000 303-291-7454 eliza.hunholz@state.co.us
COLORADO DIVISION OF WILDLIFE	Serena Rocksund 6060 BROADWAY DENVER CO 80216 3039471798 serena.rocksund@state.co.us
COLORADO GEOLOGICAL SURVEY	Jill Carlson 1500 Illinois Street Golden CO 80401 303-384-2643 CGS_LUR@mines.edu
Colorado Geological Survey: CGS_LUR@mines.edu	Jill Carlson Mail CHECK to Jill Carlson 303-384-2643 CGS_LUR@mines.edu
COMCAST	JOE LOWE 8490 N UMITILLA ST FEDERAL HEIGHTS CO 80260 303-603-5039 thomas_lowe@cable.comcast.com
EAST ADAMS SOIL CONSERVATION	SHERYL WAILES 133 W BIJOU AVE. BYERS CO 80103 303-822-5257 x 101 deertraileastadams@gmail.com
IREA	Brooks Kaufman PO Box Drawer A 5496 North US Hwy 85 Sedalia CO 80135 303-688-3100 x105 bkaufman@intermountain-rea.com

Agency	Contact Information
METRO WASTEWATER RECLAMATION	CRAIG SIMMONDS 6450 YORK ST. DENVER CO 80229 303-286-3338 CSIMMONDS@MWRD.DST.CO.US
NS - Code Compliance	Gail Moon gmoon@adcogov.org 720.523.6833 gmoon@adcogov.org
TRI-COUNTY HEALTH DEPARTMENT	MONTE DEATRICH 4201 E. 72ND AVENUE SUITE D COMMERCE CITY CO 80022 (303) 288-6816 mdeatrich@tchd.org
TRI-COUNTY HEALTH DEPARTMENT	Sheila Lynch 6162 S WILLOW DR, SUITE 100 GREENWOOD VILLAGE CO 80111 720-200-1571 landuse@tchd.org
Tri-County Health: Mail CHECK to Sheila Lynch	Tri-County Health landuse@tchd.org .
UNION PACIFIC RAILROAD	Schia Cloutier 1400 DOUGLAS ST STOP 1690 OMAHA NE 68179 402-544-8552 smcloutier@up.com
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Xcel Energy	Donna George 1123 W 3rd Ave DENVER CO 80223 303-571-3306 Donna.L.George@xcelenergy.com
Xcel Energy	Donna George 1123 W 3rd Ave DENVER CO 80223 303-571-3306 Donna.L.George@xcelenergy.com

4512 HARBACK ROAD LLC
4770 HARBACK RD
BENNETT CO 80102

ASTRA REALTY LLC
C/O MICHAEL J WILLIAMS
10154 RIDGEGATE CIR
LONE TREE CO 80124-5538

ADAMS COUNTY
4430 S ADAMS COUNTY PKWY 5TH FLOOR
BRIGHTON CO 80601-8222

BALDWIN MARVIN
6255 PINE HOLLOW DRIVE
PARKER CO 80134

ADAMS COUNTY
4430 SOUTH ADAMS COUNTY PKWY
BRIGHTON CO 80601-8204

BALKEMA TRUST THE
BALKEMA JAMES L/MONITA J TRUSTEES
2946 W UNION AVE
ENGLEWOOD CO 80110-5321

AIR METHODS CORP
7211 S PEORIA ST
ENGLEWOOD CO 80112-4199

BARANWAY JOHN B
35500 E COLFAX AVE APT H-1
WATKINS CO 80137-9008

AIR SPRAYERS INC
PO BOX 12
TWO BUTTES CO 81084-0012

BARANWAY JOHN B AND
BARANWAY PHYLLIS K
35500 E COLFAX AVE NO H1
WATKINS CO 80137-9014

AIR SPRAYERS INC
PO BOX 35
FRANKTOWN CO 80116-0035

BARANWAY JOHN B AND
BARANWAY PHYLLIS K
35500 E COLFAX AVE NO H-1
WATKINS CO 80137-9014

AIR SPRAYERS, INC
RON DROSSELMAYER
PO BOX 12
TWO BUTTES CO 81084-0012

BARBER JIMMY D AND BARBER TERRI E
4751 N PENRITH MILE ROAD
BENNETT CO 80102

ALBI JOSEPH R AND
ALBI SHAROLYNN D
PO BOX 370754
DENVER CO 80237-0754

BARBO WALTER
12579 E CEDAR AVE
AURORA CO 80012-1304

ALVARADO DONALD H AND ALMA D
31606 BROADMOOR DR
EVERGREEN CO 80439

BEA HANGARS LLC
13465 W 7TH DR
LAKEWOOD CO 80401-4611

ANDERSON MATTHEW J AND
ANDERSON JANELLE M
45255 E 38TH AVE
BENNETT CO 80102

BECKER BRENTON R
5400 N SCHUMAKER RD
BENNETT CO 80102-9103

BENESCH EDWARD J
PO BOX 86
WATKINS CO 80137-0086

BUFFALO AVIATORS LLC
8541 IOWA PL
DENVER CO 80231-2741

BENNETT CLAUDE
421 SCOTT DR
SILVER SPRING MD 20904-1065

BURLACE THOMAS JOSEPH AND
BURLACE DEBORAH ANN
3592 S VENTURA WAY
AURORA CO 80013

BENNETT FIRE PROTECTION
DISTRICT NO 7
825 SHARI S COURT
BENNETT CO 80102-7804

CARDIN JOHN C AND CARDIN DONNA F
41460 US HIGHWAY 36
BENNETT CO 80102-7857

BLACK ANDREW J AND
LEW-BLACK KAREN J
16516 LAS BRISAS DR
BROOMFIELD CO 80023-8071

CARLSON GEORGE B AND
CARLSON MARY F
7561 KELTY TR
FRANKTOWN CO 80116

BLACKMON DAVID G
40392 E ARIZONA AVE
BENNETT CO 80102-8434

CHESTER STEVEN GEORGE
7454 S COOLIDGE WAY
AURORA CO 80016-5231

BLUE SKIES AVIATION LLC
C/O ROBERT EHLINGER
78 KAILA PL
KIHEI HI 96753-6517

CICHOS DOROTHY T 50% INT AND
CICHOS DENNIS A 50% INT
4430 N HARBACK RD
BENNETT CO 80102-8834

BRISTOL BAY CAPITAL LLC
37451 BEECHCRAFT WAY APT 1
WATKINS CO 80137-7134

CISSELL VINCENT J
5860 S GREENWOOD ST
LITTLETON CO 80120-2206

BROOKHAVEN PROPERTIES INC
10049 SOUTHLAWN CIR
COMMERCE CITY CO 80022-8850

CLEM WILLIAM B III
14990 ECHO DRIVE
GOLDEN CO 80401

BROOKLYN LLC
5441 GOLDEN CURRANT WAY
PARKER CO 80134-2708

COLORADO AIRCRAFT HANGARS LLC
24795 KOLSTAD LOOP
ELBERT CO 80106

BRUNNER DEBRA K
45900 HIGHWAY 36
BENNETT CO 80102

COLORADO AIRCRAFT HANGARS LLC
C/O BILLY J WATKINS
16300 YOSEMITE STREET
BRIGHTON CO 80602

CRISMAN E KENT
41775 E 48TH AVE
BENNETT CO 80102

DUNNING DAN C
2555 PIGGOTT ROAD
STRASBURG CO 80136

CROSS COUNTRY PIPELINE SUPPLY
2420 URAVAN ST
AURORA CO 80011

E AND E INVESTMENTS INC
C/O DAVID ENGBRECHT
34450 E 25TH AVE
WATKINS CO 80137-7135

DANHAUER PATRICIA ELAINE FAMILY TRUST
2812 COUNTRYSIDE TRL
KELLER TX 76248-8308

EAGLE HANGAR I CONDO ASSOCIATION
C/O PHILLIP RUTHERFORD
649 MONROE ST
DENVER CO 80206-4450

DENVER ROCK ISLAND RAILROAD
3400 E 56TH AVE
COMMERCE CITY CO 80022-3620

EARL AND MARY CRISMAN LLC
41635 E 48TH AVE
BENNETT CO 80102-9100

DENVER SCHOOL DISTRICT NO 1
780 GRANT STREET
DENVER CO 80203

EHMANN CARL FRANK AKA EHMANN KARL FRANK AND
LAKEY LESTER L/EHMANN FLOYD R REVOCABLE TRUST
7574 JUNIPER STREET
ARVADA CO 80007

DIEHL AND ASSOCIATES LLC
346 BERE A 4
JEFFERSON TX 75657-6524

EISAMAN BEVERLY S
C/O SUSAN GOWAN
AURORA CO 80010-3938

DILLON COMPANIES INC DBA
KING SOOPERS INC
1014 VINE ST 7TH FLOOR
CINCINNATI OH 45202-1148

EL CHUCHO LLC
C/O STAN PETERS
5926 S JASMINE STREET
ENGLEWOOD CO 80111

DILLOW ERIC AND DILLOW STACY
13725 W AUBURN AVE
LAKEWOOD CO 80228

ELLIOTT JAMES C AND
ELLIOTT DIANA L
12974 N TOMAHAWK ROAD
PARKER CO 80138

DODD ARHTUR E AND
DODD WILMA B
3316 KLONDIKE PLACE
CASTLE ROCK CO 80108

END-IRA INC FBO RODNEY W LUECK IRA
RODNEY W LUECK, IRA
PO BOX 749
MORRISON CO 80465-0749

DOUGLASS DONALD R AND
DOUGLASS LINDA K
6870 FOX CREEK TRL
FRANKTOWN CO 80116-9670

EPPERSON GAYLE L
3906 S KALISPELL ST
AURORA CO 80013-2727

EXPLORCO LLC
C/O STEVEN R DAVIS AND AMELIA Y DAVIS
4058 HISTEAD WAY
EVERGREEN CO 80439-8433

FRONT RANGE HANGAR 19 CONDOMINIUM ASSOCIATION
SONNY HIGNITE
7 E PARK
UNIVERSAL CITY TX 78148-5646

FIELDHAND AVIATION LLC
SPAUR CHUCK
3911 S ELKHART ST
AURORA CO 80014-4112

FRONT RANGE HANGAR 20 CONDOMINIUM ASSN
DIANE MARS
3400 E 56TH AVE
COMMERCE CITY CO 80022-3620

FISCHER DALE
12510 E ILIFF AVE SUITE 300
AURORA CO 80014

FRONT RANGE HANGER 8 LLC
RICHARD BACON
280 OLIVE ST
GOLDEN CO 80401-8562

FORRESTER THAD BRENTON AND
FORRESTER TRENTON HUGH
4350 N HARBACK RD
BENNETT CO 80102-8834

FRONT RANGE RV STORAGE LLC
6159 S KINCAID ST
BENNETT CO 80102-8304

FREYTA JOE R AND
FREYTA ORLINDA M
44251 E 38TH AVE
BENNETT CO 80102-8827

FTG HANGAR CONDO VII
FRANK DIEHL
PO BOX 12
TWO BUTTES CO 81084-0012

FRONT RANGE 1-70 CAPITAL ASSETS LLC
C/O JEFFREY SMITH
500 106TH AVE NE UNIT 3815
BELLEVUE WA 98004-8694

GABLEHOUSE DARREL G/JANET L LIVING TRUST
50%/GABLEHOUSE RANDALL L/CYNTHIA L 50%
7233 W CANBERRA ST
GREELEY CO 80634-9798

FRONT RANGE AIRPORT EXECUTIVE
HANGAR NO 1 CONDO ASSOC INC
PO BOX 74
WATKINS CO 80137-0074

GALLEGOS JACK L 1/4/GALLEGOS NICK JR 1/4
GALLEGOS ROBERT E 1/4/GOMEZ BLAS JR 1/4
3914 OAKPARK PL
CINCINNATI OH 45209-2120

FRONT RANGE CO LLC
101 HODENCAMP RD STE 200
THOUSAND OAKS CA 91360-5835

GATES JAY C UND 1/2 INT AND HOLLENDORFER
FREDERICK C/KONECNY DONA M UND 1/2 INT
500 YOSEMITE WAY
DENVER CO 80230-6540

FRONT RANGE CONDO 2 HANGAR ASSN
GAIL JENSEN
13632 SHILOH DR
FRANKTOWN CO 80116

GMJ FAMILY TRUST
7025 S ANDES CIR
CENTENNIAL CO 80016

FRONT RANGE CONDO HANGAR 1
MARK SCHUBERT
PO BOX 130
WATKINS CO 80137-0130

GRESHAM JON D AND
GRESHAM KATHLEEN J
44601 E 38TH AVE
BENNETT CO 80102-8811

GUERNSEY TROY R AND GUERNSEY INGA ASHER
4541 PENRITH RD
BENNETT CO 80102

HOFFMAN FRANK
7428 S OGDEN WAY
CENTENNIAL CO 80122-1473

GUSTTE PHILIP O
8511 THUNDERBIRD RD
PARKER CO 80134-5724

HOOKEER WILLIAM M TRUSTEE
OF HOOKEER FAMILY TRUST
PO BOX 3856
SAN LUIS CA 93403-3856

HALTOM ALAN AND
HALTOM TIFFANY
37800 CESSNA WAY HNGR 4E
WATKINS CO 80137-7186

HOUSTON MARK E/HOUSTON THOMAS W UND 1/3 INT
AND
MUEGGE FARMS LLC AND 2/3 INT INT C/O DAN WAT
TS
2835 S WILLIAMS ST
DENVER CO 80210-6334

HANGAR ENTERPRISES LLC
5927 SADDLE CREEK TR
PARKER CO 80134

HOWELL NICHOLAS A
4001 S CHERRY ST
ENGLEWOOD CO 80113-5082

HANGAR SPACE LLC
C/O PEGGY LONG
PO BOX 65
BLACK HAWK CO 80422-0065

HOWELL NICK AND MITCHELL MATT AND
COLVIN CLU
1550 S DE GAULLE CIR
AURORA CO 80018-6025

HAUET WILLIAM A AND
HAUET VALERIE A
41420 HIWAY 36
BENNETT CO 80102

HUGHBANKS JAMES B
PO BOX 646
EVERGREEN CO 80437

HAYES DAVID M
PO BOX 270042
LITTLETON CO 80127

IRWIN ANDREW J
6044 S MEADOWLARK PL
CASTLE ROCK CO 80109

HB1 LLC
12342 MEADOWLARK LN
DENVER CO 80239-3123

IRWIN ANDREW J
6044 S MEADOWLARK PLACE
CASTLE ROCK CO 80104

HICKEY CHARLES E
7076 BOREAS ROAD
LARKSPUR CO 80118

IVANY HUGH SCOTT AND
IVANY KARI L
7017 S NETHERLAND WAY
AURORA CO 80016-2347

HIGNITE SONNY J
7 E PARK
UNIVERSAL CITY TX 78148-5646

JARVI KENNETH
9138 E STAR HILL LN
LONE TREE CO 80124-5404

JENSEN ART AND
JENSEN GAIL
13632 SHILOH DR
CONIFER CO 80433-5134

KOOKEN THOMAS AND
WOTOVITCH MICHAEL ERIK
783 S YOUNGFIELD CT
LAKEWOOD CO 80228-2812

JENSEN TERRY L KAYNE TRUST 50% INT AND
JENSEN VICKI D LIVING TRUST THE 50% INT
1565 GENESEE RIDGE RD
GOLDEN CO 80401-8000

KOONTZ DENNIS E AND
KOONTZ CELESTE N
2552 E TERRARIDGE DRIVE
HIGHLANDS RANCH CO 80126

JOHNSON CARL R TRUST THE
C/O MELLANY GODWIN
6420 S NEWCASTLE WAY
AURORA CO 80016-2496

L SQUARED PROPERTIES LLC
6825 E HAMPTON AVE SUITE 200
DENVER CO 80224

JOHNSON JAMES
7399 CALHOUN
BYERS CO 80103

LAZY K BAR C LLC
41775 E 48TH AVE
BENNETT CO 80102-9100

JONES JAMES
8643 W 64TH WAY
ARVADA CO 80004-3219

LEMON RICHARD A
2519 MIDDLETON BEACH RD
MIDDLETON WI 53562-2912

JONES JOYCE A
10448 REMMICK RIDGE ROAD
PARKER CO 80134

LEWIS DAVID M AND
LEWIS DEANNA L
1614 MANILLA ROAD
BENNETT CO 80102

KASTENHOLZ DAGMAR
REED SUNDINE
9151 SUGARSTONE CIR
PARKER CO 80134-9551

LEWIS DAVID M AND
LEWIS DEANNA L
1616 MANILLA RD
BENNETT CO 80102-8868

KLAUSNER ERMA M
41070 US HWY 36
BENNETT CO 80102

LIFSEY WALT
800 YORK ST
DENVER CO 80206-3750

KLV INVESTMENTS LLC
4495 W LINDBERGH WAY
CHANDLER AZ 85226-4731

LINKER ELDON AND
LINKER KATHLEEN
5240 SCHUMAKER ROAD
BENNETT CO 80102

KOCH ROBERT W AND
KOCH MARY LOU
4770 HARBACK RD
BENNETT CO 80102-8834

LISCO CARROLL J REVOCABLE TRUST OF THE
430 TANK FARM RD
DOUGLAS WY 82633-9269

LONG MARK D
4959 BAYOU HILLS RD
PARKER CO 80134-5156

MC CLAIN BETTY S AND
MC CLAIN NEIL L
3375 SOUTH ASH STREET
DENVER CO 80222-7254

LOPEZ ANTONIO ALBERTO AND
LOPEZ ALBERTO ANTONIO
18961 E KENT CIR
AURORA CO 80013-3635

MC DEAL INVESTMENTS LLLP
3333 E FLORIDA AVE APT 60
DENVER CO 80210-2518

LOPEZ JAVIER
1960 CAVANAUGH RD
WATKINS CO 80137-6700

MC GOVERN THOMAS F
2285 BEACHAM DRIVE
CASTLE ROCK CO 80104

LOPEZ MARY ANN
41635 E 48TH AVE
BENNETT CO 80102

MC INTOSH THOMAS E AND
MC INTOSH PEGGY S
2500 FAIRPLAY WAY
AURORA CO 80011-2999

LOVES TRAVEL STOPS AND COUNTRY STORES
INC C/O RYAN LLC
15 W 6TH ST STE 2400
TULSA OK 74119-5417

MC MILLAN R SCOTT
21957 MOUNTSFIELD DR
GOLDEN CO 80401-8822

LOWELL BRET I
19520 E DICKENSON PL
AURORA CO 80013

MESTER TAMOIS
5100 N SCHUMAKER RD
BENNETT CO 80102-9148

LUECK RODNEY W AND
LUECK LISA E
PO BOX 749
MORRISON CO 80465-0749

MICHAEL JEFFREY B AND
WOODS ERIK K
23522 GLENMOOR DRIVE
PARKER CO 80138

MARKS JAMES
951 S GENEVA STREET
DENVER CO 80247

MONAGHAN FARMS INC
DELINE THOMAS
7950 E PRENTICE AVE STE 101
GREENWOOD VILLAGE CO 80111-2723

MARTINEZ VICTOR AND
FREYTA PEGGY
44251 E 38TH AVE
BENNETT CO 80102-8827

MORALES-ALEJANDRO HERIBERTO UND 62.5 % AND
AYALA ROBERT AKA AYALA-ROSADO ROBERTO UND 37
.5%
1143 LEWISTON ST
AURORA CO 80011-7415

MAXWELL SHANNON K AND
MAXWELL GREGG A
41660 US HIGHWAY 36
BENNETT CO 80102-7859

MORELOCK KENNETH M AND
MORELOCK E RAYNETTE
41140 HIWAY 36
BENNETT CO 80102

MORTENSON AVIATION LLC
14250 COUNTY ROAD 166
KIOWA CO 80117-9608

NELSON DONALD
13860 E HAMPDEN PLACE
AURORA CO 80014

MP AVIATION INVESTMENTS LLC
JAY MELVEY
3155 CHAMBERS RD UNIT A
AURORA CO 80011-1320

NORLOFF RICH
12342 MEADOWLARK LN
BROOMFIELD CO 80021-4199

MUNDELL JOHN SAMUEL
9910 MANILLA RD
BENNETT CO 80102-9582

NORLOFF RICHARD W
H190 CONDO ASSN
C/O ROBIN MORTENSON
KIOWA CO 80117-9608

MUTZIG STEVEN M
PO BOX 520
WATKINS CO 80137

NORLOFF RICHARD W
12342 MEADOWLARK LN
BROOMFIELD CO 80021-4199

MY HANGAR LLC
22 CHERRY LANE DR
ENGLEWOOD CO 80113-4232

O MALLEY SUZANNE LOUISE
11586 EAST STALLION DRIVE
PARKER CO 80138

NAIMAN HAROLD E
703 DOWNING STREET
DENVER CO 80218

O NEILL PHILIP J AND CATHY S TRUST THE
45700 HIWAY 36
BENNETT CO 80102

NELSON AERO SERVICE LLC
4572 E KENTUCKY AVE
GLENDALE CO 80246-2017

ON-AIR FAMILY LLC
1776 E TUFTS AVENUE
ENGLEWOOD CO 80113

NELSON AERO SERVICE LLC
13860 E HAMPDEN PLACE
AURORA CO 80014

PANNELL BETTIE M LIVING TRUST
45053 E 38TH AVE
BENNETT CO 80102-8808

NELSON DON
C/O STEVE DAVIS
8631 E YALE AVE APT F
DENVER CO 80231-4052

PASCHKE STEPHEN J
11543 W BRIARWOOD DR
LAKEWOOD CO 80226-3711

NELSON DON
13860 E HAMPDEN PL
AURORA CO 80014-4137

PEGASUS AVIATION LLC
ZILIK GARY P
13342 S OMAHA ST
PINE CO 80470-9519

PENNEY JOHN C AND
PENNEY STEPHANIE A
30141 STOWE CT
EVERGREEN CO 80439-9421

PROSPER FARMS INVESTMENTS LLC
5641 BROADWAY
DENVER CO 80216-1021

PENRITH PARK JOINT VENTURE LLC
7108 S ALTON WAY STE M
ENGLEWOOD CO 80112-2125

PUBLIC SERVICE CO OF COLORADO
C/O PROPERTY AND LOCAL TAXES
PO BOX 1979
DENVER CO 80201-1979

PERARO THOMAS A
2524 S DAWSON WAY
AURORA CO 80014-2414

PUCKETT STEVE M AND
PUCKETT DONNA J
4820 SCHUMAKER RD
BENNETT CO 80102-9148

PERARO THOMAS A
2524 S DAWSON WAY
AURORA CO 80014

R AND D AIRCRAFT LLC
1025 BECKY DRIVE
COLORADO SPRINGS CO 80921

PETER WARBALOW LLC
JERRY BALLARD
PO BOX 2548
EVERGREEN CO 80437-2548

RAIL LAND COMPANY LLC
4601 DTC BLVD STE 120
DENVER CO 80237-2575

PILAND LOWELL
43651 E 38TH AVE
BENNETT CO 80102-8846

REAMEY JAMES R JR AND
REAMEY SENIA N
188 N BUCHANAN CT
AURORA CO 80018-1545

PILAND LOWELL D ET AL
43651 E 38TH AVE
BENNETT CO 80102-8846

RED OAKS FARM INC
3092 S GRAY ST
DENVER CO 80227-3817

PINEDO MARCELINO AND
PINEDO BELINDA
41220 E HIGHWAY 36
BENNETT CO 80102

REMINGTON S A
40940 HIWAY 36
BENNETT CO 80102

PRAIRIE GRASS LLC
22735 E BELLEVIEW PL
AURORA CO 80015-6552

REVOCABLE TRUST OF CARROLL J LISCO THE
430 TANK FARM ROAD
DOUGLAS WY 82633

PRENTICE WILLIAM S
15461 FAIRWAY DR
COMMERCE CITY CO 80022-5221

REYNOLDS SHIRLEY A
1200 WEST COLFAX
BENNETT CO 80102

RH CHUAPOCO INVESTMENTS LLC
PO BOX 460850
AURORA CO 80046-0850

SIEGMAN DAVID W
2495 SCHUMAKER ROAD
BENNETT CO 80102

RHOADS MITCHEL E
4755 W 30 N
ANGOLA IN 46703-8725

SIEGMAN THOMAS AND PATRICIA TRUST
PO BOX 234 /475 3RD ST
BENNETT CO 80102

RIOPELLE J F
1011 S VALENTIA ST UNIT 2
DENVER CO 80247-6813

SMIALEK DOUGLAS J AND
SMIALEK DARETH
3535 N HARBACK RD
BENNETT CO 80102-8856

RMI AVIATION INC
4655 COLORADO BLVD
DENVER CO 80216-3217

SMIALEK DOUGLAS JOSEPH
3535 N HARBACK RD
BENNETT CO 80102-8856

RUEHLE JANE L AND
RUEHLE WALTER J
14000 E PROGRESS WAY
AURORA CO 80015-1116

SMIALEK DOUGLAS JOSEPH AND
SMIALEK DARETH PATRINE
3535 N HARBACK RD
BENNETT CO 80102-8856

SANNWALD ADELE B
BOB THOMPSON
8547 E ARAPAHOE RD APT J-424
GREENWOOD VILLAGE CO 80112-1436

SMIALEK LYLE BRYON AND
SMIALEK LYND A
41994 COUNTY ROAD 4
ROGGEN CO 80652-8408

SAUDER KEITH RANDALL AND
SAUDER KATHERINE ANN
2625 N PETERSON RD
BENNETT CO 80102-8813

SNEED ROBERT E
330 JASMINE STREET
DENVER CO 80220-5915

SCHUBERT MARK
ATTN MARK SCHUBERT
PO BOX 130
WATKINS CO 80137-0130

SNIDER JOY MARIE TRUSTEE OF THE JOY
MARIE SNIDER TRUST ET AL
1246 SHELDON DRIVE
BRENTWOOD CA 94513

SCHUBERT MARK J AND
MACKE RONALD J
PO BOX 130
WATKINS CO 80137-0130

STATE OF COLORADO DEPARTMENT OF
MILITARY AFFAIRS
6848 S REVERE PKWY
ENGLEWOOD CO 80112-6709

SHIELDS WILLIAM E
44851 E 38TH AVE
BENNETT CO 80102-8811

STATHOPOULOS ATHANASEA CONSTAN
4014 S NIAGARA WAY
DENVER CO 80237

STOKER KENT E AND
STOKER BRENT A
41340 E HIWAY 36
BENNETT CO 80102

THORNBURG JAMES W
244 JACKSON CT
BENNETT CO 80102-7885

STRICKLIN ROY L
PO BOX 74
WATKINS CO 80137-7134

TOVAR EQUIPMENT SOLUTIONS INC
3886 IRELAND CT
DENVER CO 80249-8108

SUNDINE ALBERT REED AND
SUNDINE CAROLE DIANNE
15928 QUARRY HILL DR
PARKER CO 80134

TOWN OF BENNETT
355 4TH STREET
BENNETT CO 80102

SWENSON JERRY A
41020 US HIGHWAY 36
BENNETT CO 80102-8626

TOWN OF BENNETT
355 4TH STREET
BENNETT CO 80102-7806

T-83 COMPLEX WINDCHASER CONDOMINIUM
C/O T-83 WINDCHASER
ATTN: RON DELCAMP
COMMERCE CITY CO 80022-9328

TOWN OF BENNETT
355 4TH ST
BENNETT CO 80102-7806

TAYLOR DAVID R
9351 ROADRUNNER ST
HIGHLANDS RANCH CO 80129-6408

TRI-PAC AVIATION LLC
1401 WEWATTA ST NO. 607
DENVER CO 80202-1346

TEAGUE ELSBETH L TRUST
14050 E LINEVALE PL NO. 404
AURORA CO 80014

TRUONG TONY
4812 POLO CT
PUEBLO CO 81001-1071

THOMAS JUDY E TRUST THE AND
FREY HAROLD L TRUST THE
5956 S FAIRFAX STREET
LITTLETON CO 80121

TRUPP FAMILY FARM LLLP
45815 E 56TH AVE
BENNETT CO 80102-9107

THOMPSON ROBERT M AND
THOMPSON JILL M
10686 E DORADO PLACE
ENGLEWOOD CO 80111

TRUPP REAL ESTATE III LLLP
45815 E 56TH AVE
BENNETT CO 80102-9107

THOMPSON ROBERT M AND
THOMPSON JILL M
8547 E ARAPAHOE ROAD NO. J-424
GREENWOOD VILLAGE CO 80112

TS BENNETT LLC
C/O LADDER CAPITAL FINANCE LLC
345 PARK AVE FL 8
NEW YORK NY 10154-0017

VAN DYK GERRIT A/DOROTHY M AS TRUSTEES
VANDYK GERRIT A/DOROTHY M JT REVOC TRUST
920 ANTELOPE DR W
BENNETT CO 80102-8676

WEBSTER RONALD C JR AND
WEBSTER JUDY C
2105 ROBB ST
LAKEWOOD CO 80215-1252

VANDOORN DAVID D AND
VANDOORN SANDRA
41540 US HWY 36
BENNETT CO 80102-7858

WEBSTER RONALD C SR REV TRUST 50%
WEBSTER RONALD C JR/JUDY C 50% INT
2105 ROBB ST
LAKEWOOD CO 80215-1252

VANKAY LLC
900 ANTELOPE DR W
BENNETT CO 80102-8676

WEBSTER RONALD C SR UND 1/2 INT AND
WEBSTER RONALD C JR/JUDY C UND 1/2 JT
PO BOX 7
WATKINS CO 80137-0007

VES LLC
7036 NEWCOMBE ST
ARVADA CO 80004-1438

WEP TRANSPORT HOLDINGS LLC UND 80% AND
COLORADO MAVERICK COMPANY LLC 20%
PO BOX 7068
RANCHO SANTA FE CA 92067-7068

VW AIRCRAFT HANGAR LLC
C/O ROBERT E VENOH
4037 S SABLE CIR
AURORA CO 80014-5177

WEST BENNETT ASSOCIATES LTD
7400 E CRESTLINE CIRCLE SUITE 150
GREENWOOD VILLAGE CO 80111

WALTERS ANTHONY L AND
WATLERS KELLY P
41280 E HIWAY 36
BENNETT CO 80102

WESTERN TRANSPORT LLC UND 58.76% AND TREE TO
P LP AND
LP UND 21.24% AND COLORADO MAVERICK COMPANY
LLC UND 20%
625 E MAIN ST STE 1028-303
ASPEN CO 81611-1935

WATKINS DEVELOPMENT ASSOCIATES LLC
1207 ASCOT AVE
LITTLETON CO 80126-3057

WHITEHEAD JAMES E AND
WHITEHEAD BARBARA J
15737 US HWY 186
BENNETT CO 80102

WATKINS STORAGE COMPANY LLC
1565 GENESEE RIDGE RD
GOLDEN CO 80401-8000

WOLFF CHRISTINE
16 S NOME ST UNIT D
AURORA CO 80012-1272

WEBSTER RON
PO BOX 7
WATKINS CO 80137-0007

WOODS KENNETH
7733 SCHUMAKER RD
BENNETT CO 80102

WEBSTER RONALD C
ASSOCIATION INC
PO BOX 7
WATKINS CO 80137-0007

WRIGHT MARK AND
WRIGHT LAURA
4400 N HARBACK RD
BENNETT CO 80102-8834

XTR MIDSTREAM LLC
370 17TH ST STE 5300
DENVER CO 80202-5653

ZUHLKE RONALD L JR AND
ZUHLKE HEIDI
41620 US HIGHWAY 36
BENNETT CO 80102-7859

ZUNDEL DANA J
PO BOX 2908
HOMER AK 99603

CERTIFICATE OF POSTING



I, J. Gregory Barnes do hereby certify that I posted the property at the southwest corner of Colfax Avenue and Petterson Road on April 30, 2019 in accordance with the requirements of the Adams County Development Standards and Regulations.

A handwritten signature in black ink, appearing to read "J. Gregory Barnes".

J. Gregory Barnes

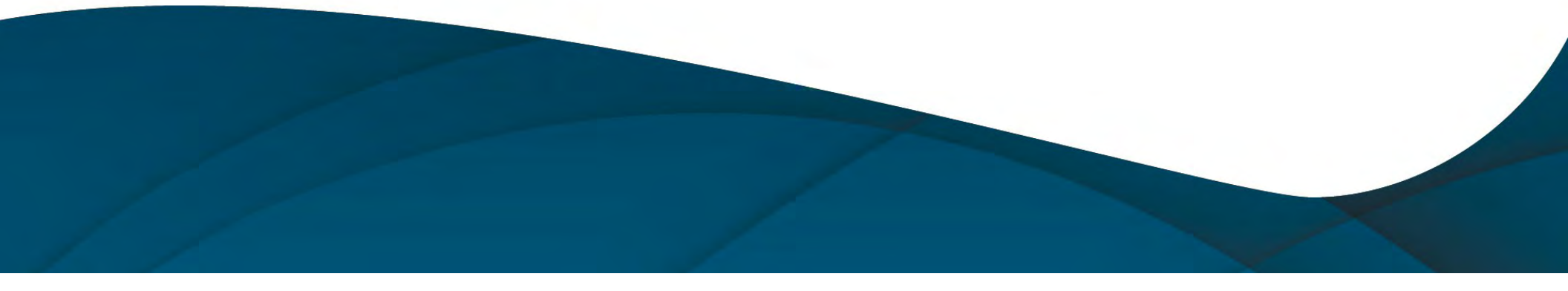
Rocky Mountain Rail Park

PRC2018-00006

NW Corner of U.S. Highway 36 & Petterson Road

June 18, 2019

Board of County Commissioners Public Hearing
Community and Economic Development Department
Case Manager: Greg Barnes



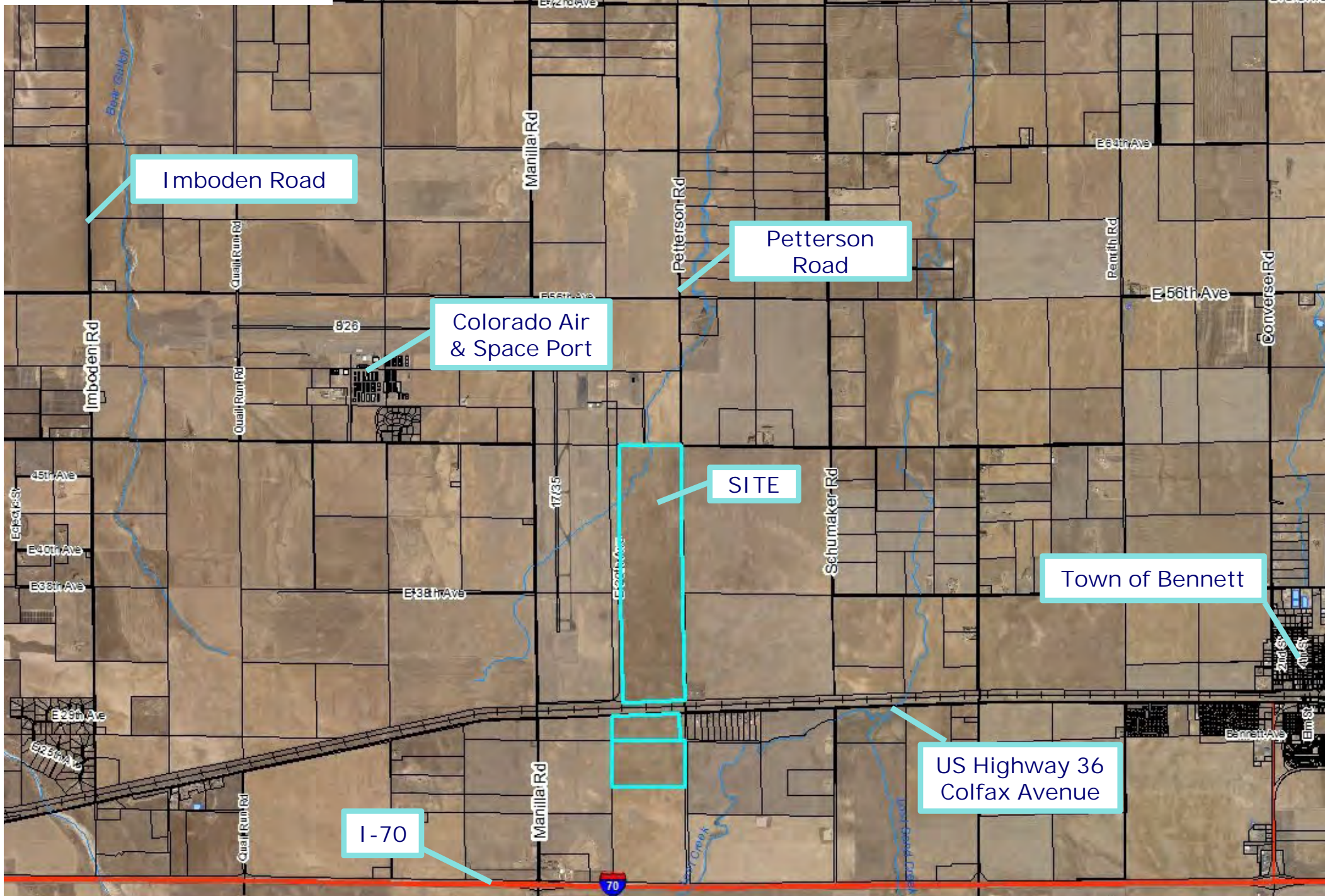
Requests

1. Comprehensive Plan Amendment
2. Zoning Map Amendment (Rezoning)
3. Preliminary Plat for Major Subdivision
4. Preliminary Development Plan

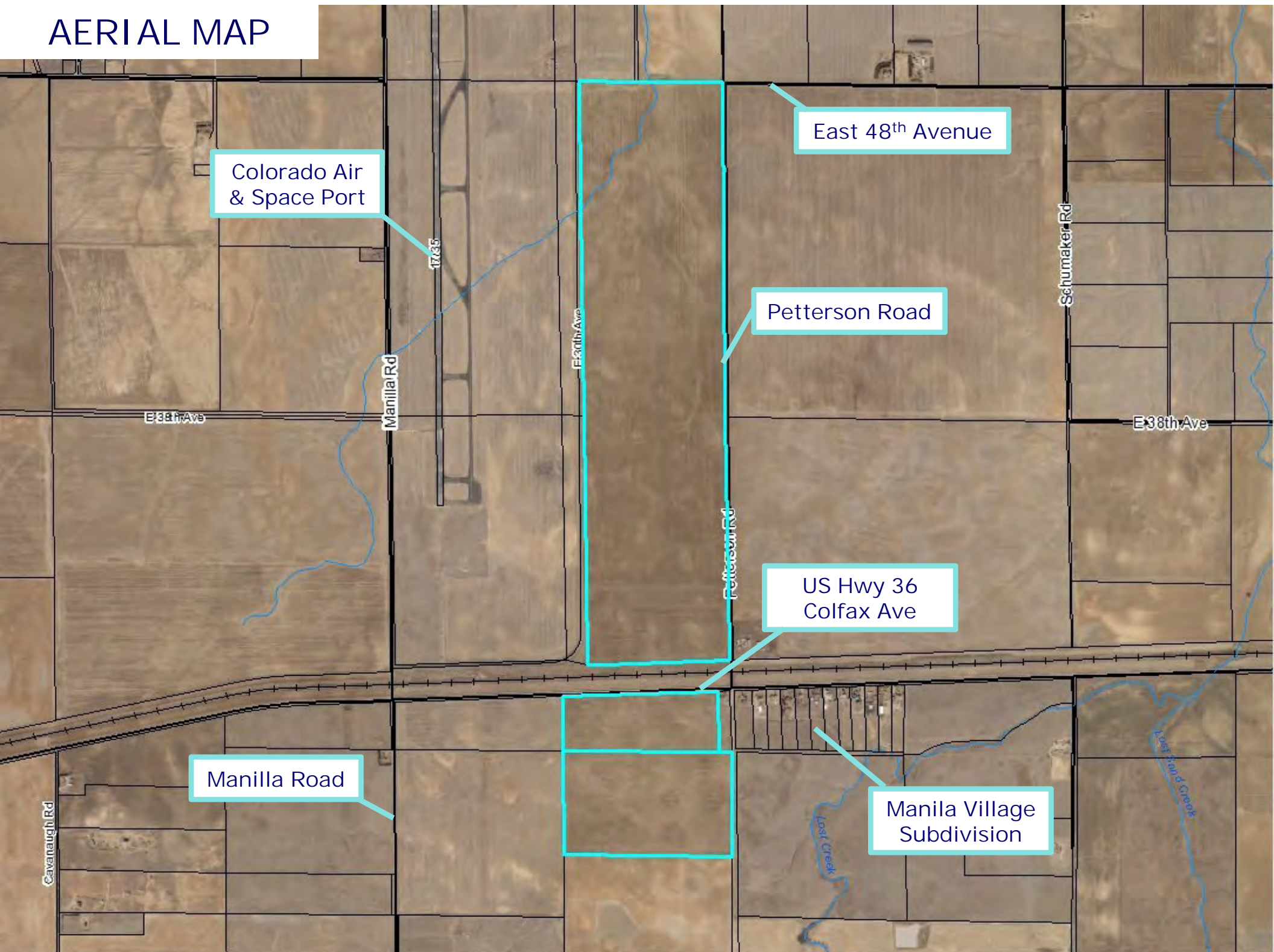
Background

- Proposal for industrial business park connected to railroad
- Approximately 620 acres
- May also serve supporting businesses for Colorado Air and Space Port

AERIAL OVERVIEW



AERIAL MAP



Criteria for Comprehensive Plan Amendment Approval

Section 2-02-13-06-03

1. Consistent with Goals of Comprehensive Plan
2. Consistent with Land Use, Transportation, and Open Space maps of Comprehensive Plan
3. Advances the Health, Safety, Welfare of Community

Mixed-Use Employment vs. Industrial

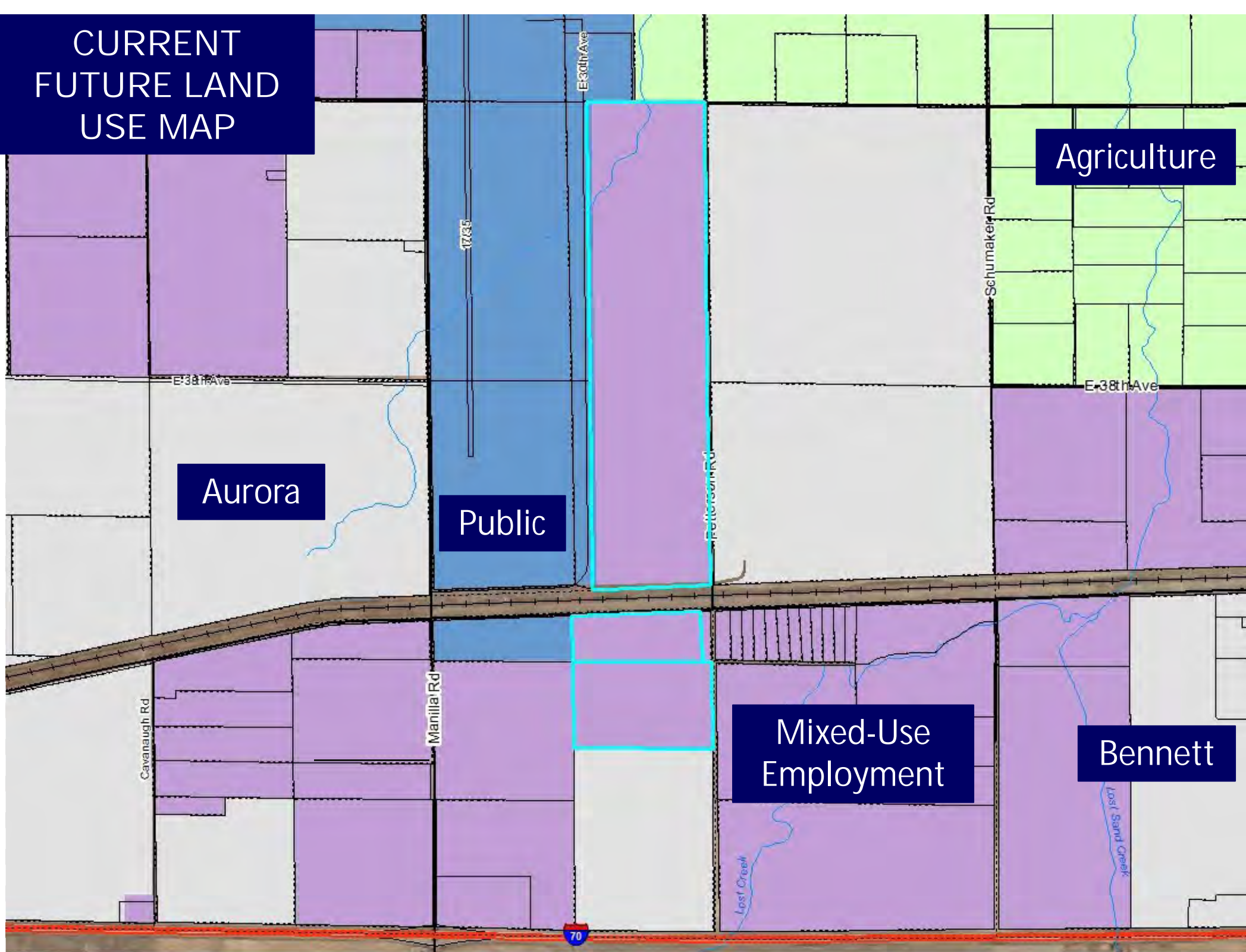
Mixed-Use Employment – Offices, Light Manufacturing, Trucking and Distribution, Airport and Technology Uses, Indoor Warehousing, Clean Industry

Industrial – Manufacturing, Industry, Trucking, Distribution, and Warehousing

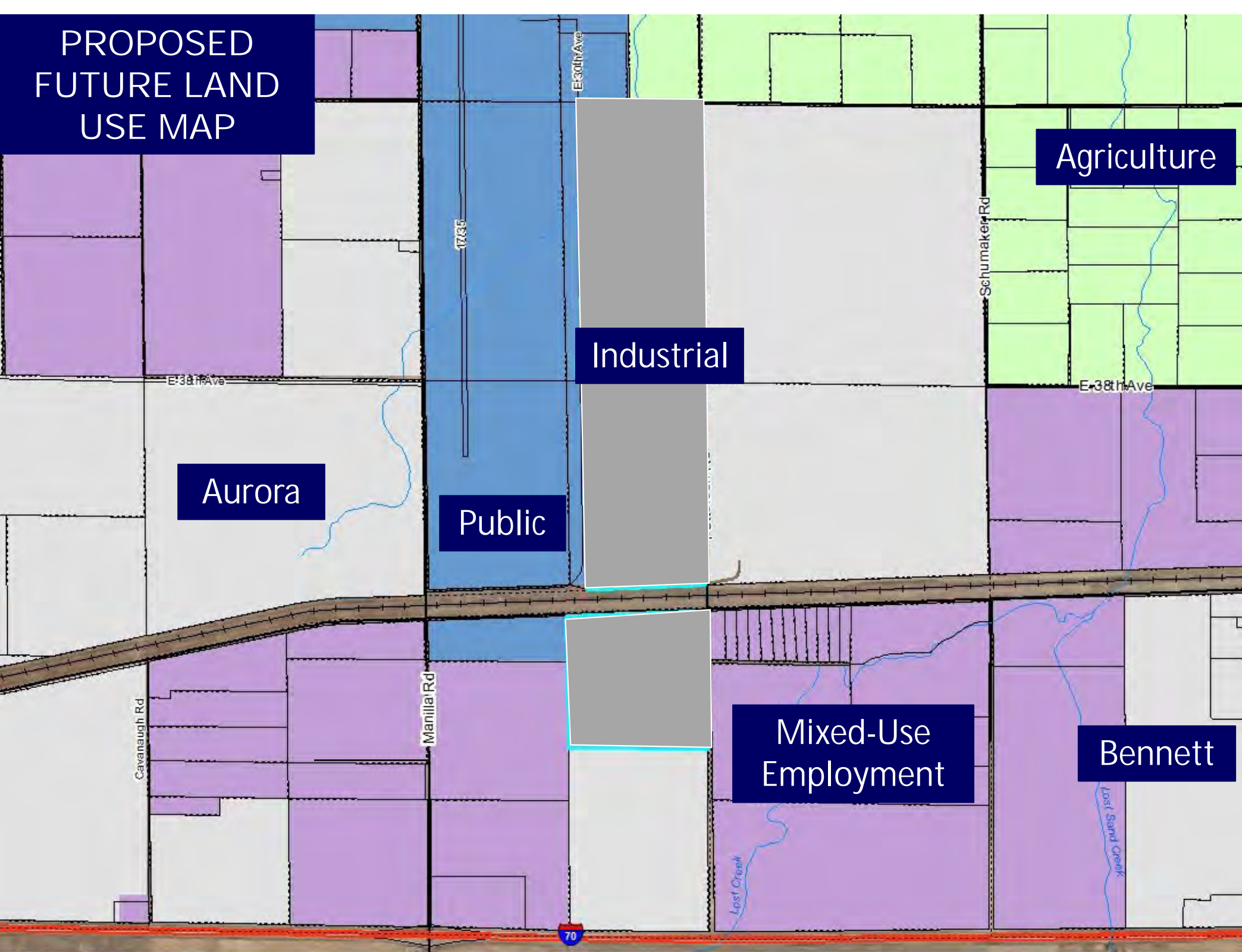
Mixed-Use Employment – Compatible with C-5 and I-1 zones

Industrial – Compatible with I-1, I-2, and I-3 zones

CURRENT FUTURE LAND USE MAP



PROPOSED FUTURE LAND USE MAP



Criteria for Rezoning Approval

Section 2-02-13-06-02

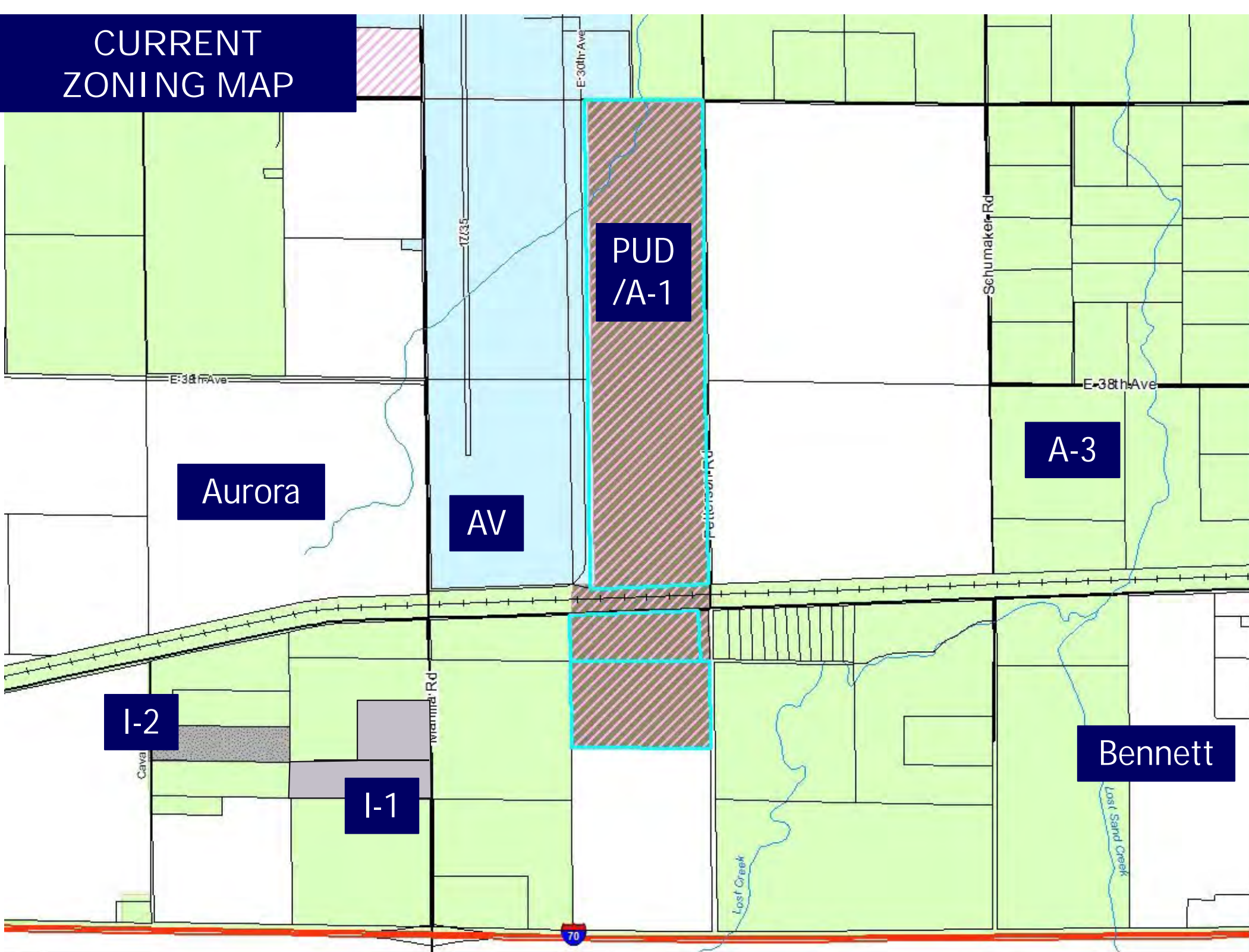
1. Consistent with Comprehensive Plan
2. Consistent with purposes of Standards
3. Complies to Standards
4. Harmonious & Compatible

PUD Zoning Requirements

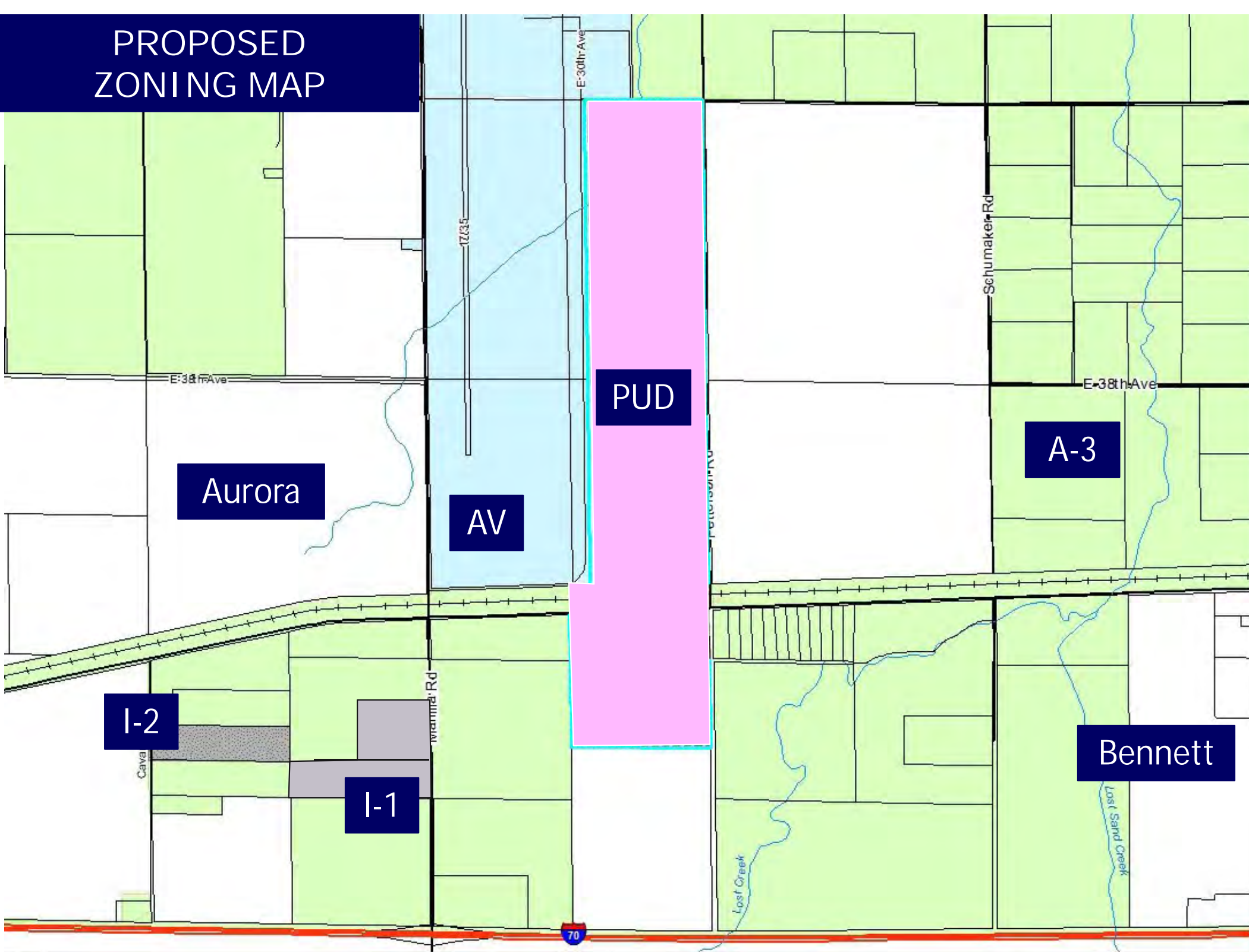
Section 3-30-02-01

- Minimum PUD Site Area: 1 acre
 - Proposed: 620 acres
- All Other Requirements Set by Development Plan Approval
 - Individual Lot Size
 - Individual Lot Width
 - Height and Dimensional Requirements

CURRENT ZONING MAP



PROPOSED ZONING MAP



Criteria for Preliminary Development Plan

Section 2-02-10-03-05

1. Consistent with Comprehensive Plan
2. Consistent with Purposes of Standards
3. Mitigation of Externalities on Adjacent Land Uses
4. Conformance to Transportation Plan
5. Consistent with Drainage Plans
6. Mitigation of Unusual Circumstances by Design
7. Consistent with Overall Development Plan
8. Includes Compatibility Measures



IN ACCORDANCE WITH THE PLANNED UNIT DEVELOPMENT ACT OF 1972, THE OBJECTIVE OF A PLANNED UNIT DEVELOPMENT IS TO ESTABLISH AN AREA OF LAND, CONTROLLED BY ONE OR MORE LANDOWNERS, TO BE USED UNDER UNIFIED CONTROL, OR UNIFIED PLAN OF DEVELOPMENT FOR A NUMBER OF DWELLING, COMMERCIAL, EDUCATIONAL, RECREATIONAL, OR INDUSTRIAL USES, OR ANY COMBINATION THEREOF, WHICH DOES NOT CONSIDERATION AS TO THE SIZE, SHAPE, OR LOCATION OF THE PLANNED UNIT DEVELOPMENT, BUT IS SUBJECT TO THE EXISTING LAND USE REGULATIONS.

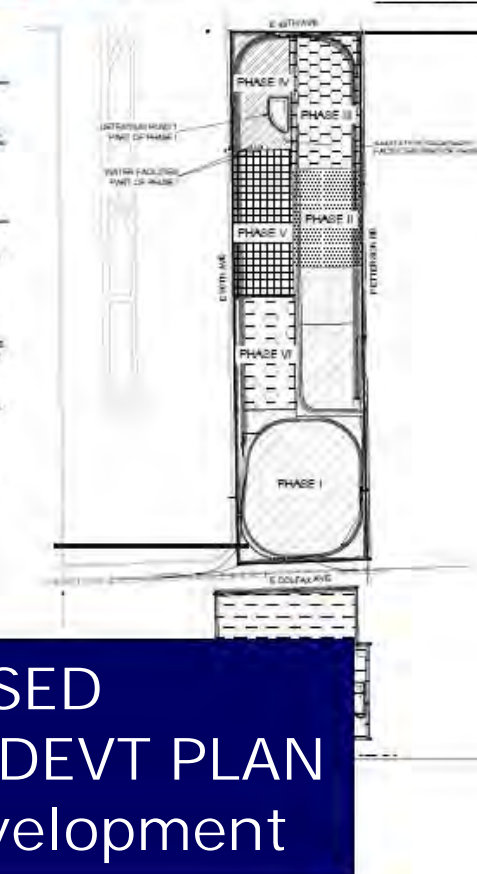
PROPOSED TENTATIVE PROJECT SCHEDULE

ROCKY MOUNTAIN RESOURCES CURRENTLY ANTICIPATES THAT THE PROJECT WILL BE SEVEN PHASES OVER A PERIOD. AN ANTICIPATED PRELIMINARY PHASING PLAN IS INCLUDED. THE PHASING PLAN INDICATES TRACTS AND INTERIOR LOTS WITHIN EACH PHASE THAT WILL LIKELY BE DEVELOPED INDEPENDENTLY OF OTHER. PHASE I WILL LIKELY INCLUDE THE DEVELOPMENT OF LOTS 1, 2 AND 3 AS WELL AS UTILITY UTILITY DEVELOPMENT. UTILITY INFRASTRUCTURE DEVELOPMENT WILL INCLUDE THE CONSTRUCTION OF THE WATER, SANITARY, AND STORM DRAINAGE SYSTEMS, ROCKY MOUNTAIN RAIL PARK PARK, AND SANITARY AND WATER DISTRICT. DURING PHASE I, WATER WELLS AND STORAGE TANKS, PACKAGE PLANT AND EFFLUENT WATER STORAGE WILL BE CONSTRUCTED ON LOT 8. DETENTION POND I WILL SERVE PHASE I THROUGH VI. WILL BE CONSTRUCTED AS PART OF PHASE I (WHILE PHASE II) WILL BE CONSTRUCTED UPON FULL FUTURE DEVELOPMENT OF LOT 11. PHASE VII INCLUDES DEVELOPMENT OF INDIVIDUAL LOTS BASED ON MARKET DEMAND. PLEASE REFER TO THE LAND USE TABLE FOR POTENTIAL DEVELOPMENTS OF INDIVIDUAL LOTS.

PHASEMENT OF TRACTS WILL BE IN ACCORDANCE WITH THE PHASING SCHEDULE. TRACT A REPRESENTS ROSS PRIVATE ROADWAY DEVELOPMENT AND WILL BE CONSTRUCTED WITHIN PHASES WITH TRACT A FULLY DEVELOPED WITH THE DEVELOPMENT OF LOT 7 OR LOT 8 (PHASE II AND VI). TRACTS B, C, D, E, F, G, H, I, J, AND L ARE LANDSCAPING TRACTS FOR EXTERIOR LANDSCAPING TO PROVIDE SCREENING OF ROCKY MOUNTAIN RAIL PARK. EACH LANDSCAPING TRACT WILL BE DEVELOPED, OR PLANTED, WHEN THE LOT IS DEVELOPED, AS TO PROVIDE ADEQUATE SCREENING OF THE DEVELOPMENT.

PHASEMENT OF PHASE I IS ANTICIPATED TO BEGIN IN THE SECOND QUARTER OF 2019 AND TAKE UP TO TWO TO DEVELOP. DEPENDING ON MARKET DEMAND, PHASE I MAY BEGIN IN 2020. FULL DEVELOPMENT OF ROCKY MOUNTAIN RAIL PARK IS ANTICIPATED TO TAKE APPROXIMATELY TEN YEARS.

Rocky Mountain Rail Park Open Space Table	
Overall Site Area	679.45
Required Open Space (30% of Overall Area)	185.85
Used Active Recreation (15% of Overall Area)	46.5



TRACTS

FOR THE PURPOSES OF THIS PUD ONLY, THE SITE PLAN ABOVE ILLUSTRATES TWELVE (12) PROPOSED DEVELOPMENT AREAS OR TRACTS FOR THE PROJECT. FOR THE ROCKY MOUNTAIN RAIL PARK PUD, THE TERM "TRACT" SHALL BE DEFINED AS A GENERALLY DESCRIBED AREA OF LAND FOR THE PURPOSES OF ZONING, LOCATED WITHIN THE PROJECT BOUNDARY THAT HAS NOT YET BEEN FINAL PLATTED OR SUBDIVIDED INTO LOTS, ALIENS, EASEMENTS, AND OTHER INTERESTS. TRACTS ARE NOT TO BE CONSIDERED AS DEVELOPMENT UNITS OR SITE SPECIFIC PUDS. MODIFICATIONS TO TRACT BOUNDARIES SHALL NOT REDUCE THE OVERALL SITE ACREAGE OR REVERSE ANY COMMITMENTS TO PRESERVING UNIQUE SITE FEATURES INCLUDING DRAINAGE PATTERNS.

TRACT DEVELOPMENT GUIDELINES

TRACT A SHALL BE DEVELOPED PER THE CROSS SECTIONS OUTLINED FURTHER IN THE PLANNED UNIT DEVELOPMENT.

TRACTS B, C, D, E, F, G, H, I, J, K, AND L WILL BE DEVELOPED AS LANDSCAPING TRACTS THAT WILL BE DEVELOPED IN ACCORDANCE WITH THE PHASING SCHEDULE. IMPROVEMENTS ON THE SITE SHALL BE SIGHT-SCREENED WITH ADEQUATE LANDSCAPING SO AS TO PROVIDE A COMPATIBLE VISUAL EFFECT AS SEEN FROM THE ADJOINING PROPERTIES.

TRACTS B THROUGH G SHALL BE REQUIRED TO LANDSCAPE A MINIMUM OF TEN (10) PERCENT OF THE TRACT AREA. AT LEAST FIFTY (50) PERCENT OF THE REQUIRED LANDSCAPING SHALL BE PLANTING SO IT ADJUTS THE ADJOINING PUBLIC RIGHT-OF-WAYS AND/OR TRACT A, EXCLUDING ALLEYS AND DRIVES. THE REMAINDER OF THE TRACTS SHALL BE NATIVE GRASSES THAT SHALL BE MAINTAINED AS NOT TO EXCEED TWO (2) FOOT IN HEIGHT.

TRACT H, I, K AND L (NOT EXTERIOR LANDSCAPE BUFFERS) SHALL BE REQUIRED TO LANDSCAPE TWO (2) TREES PER 60 LINEAL FEET AS TO PROVIDE ADEQUATE SCREENING TO ADJACENT PROPERTIES ALONG E 48TH AVENUE, PETTERSEN RD, COLFAX AVE, AND E 30TH AVE. THE EASTERN SIDE OF TRACT L (ALONG PETTERSEN RD) WILL HAVE A LANDSCAPING REQUIREMENT OF THREE (3) TREES PER 60 LINEAL FEET. TRACTS B, C, D, E, F, G SHALL BE REQUIRED TO LANDSCAPE ONE (1) TREE AND FIVE (5) SHRUBS PER 60 LINEAL FEET. REFER TO SECTION FIVE (5) OF THE ROCKY MOUNTAIN RAIL PARK DESIGN STANDARDS FOR FURTHER LANDSCAPING DETAILS.

TRACTS C, D, E, F, H, I, K AND L SHALL BE REQUIRED TO PROVIDE A FIVE (5) FOOT SOFT SURFACE TRAIL FOR ACTIVE RECREATION PURPOSES AS SHOWN AND DETAILED ON THE LANDSCAPE CONCEPT PLAN IN THE ROCKY MOUNTAIN RAIL PARK DESIGN STANDARDS.

THESE GUIDELINES MUST BE MET BY EACH TRACT OR DEVELOPMENT AREA WITHIN ROCKY MOUNTAIN RAIL PARK. LANDSCAPE, LIGHTING, AND DRAINAGE PLANS SHALL BE SUBMITTED FOR INDIVIDUAL LOT DEVELOPMENTS DURING THE SITE-SPECIFIC PUD FOR EACH LOT OR DEVELOPMENT AREA IN CONFORMANCE WITH THE DESIGN GUIDELINES AND SUBJECT TO ADAMS COUNTY APPROVAL.

LANDSCAPE CONCEPT

THE LANDSCAPE CONCEPT FOR ROCKY MOUNTAIN RAIL PARK REFLECTS THE NATURAL LANDSCAPES OF BOTH THE SITE AND ITS CONTEXT WITHIN THE ADJACENT AGRICULTURAL PROPERTIES. THESE CHARACTERISTICS WILL BE EMPHASIZED THROUGHOUT THE DEVELOPMENTS OPEN LAND AND LANDSCAPE AREAS. STREETSCAPES WILL GENERALLY CONSIST OF PLANTINGS TO COMPLEMENT THE CHARACTER OF EACH DEVELOPMENT TYPE AND THE CROSS SECTIONS OUTLINED WITHIN THIS PLANNED UNIT DEVELOPMENT. NATURAL CORRIDORS AND PERMITTER LANDSCAPING WILL REFLECT A MORE INFORMAL AND NATURAL CHARACTER TO BLEND IN WITH THE SITE'S NATIVE LANDSCAPE SETTING AND TO PROVIDE ADEQUATE SCREENING TO ADJACENT PROPERTY OWNERS. PLEASE REFER TO THE ROCKY MOUNTAIN RAIL PARK DESIGN STANDARDS SECTION 5.0 (LANDSCAPE STANDARDS) FOR FURTHER DETAILED LANDSCAPING REQUIREMENTS.

ACCESS

ACCESS ARROWS SHOWN ON THE PUD SITE PLAN ABOVE INDICATE GENERAL MEDIAN AND CURE-OUT LOCATIONS AS ANTICIPATED FROM AN OVERALL TRANSPORTATION AND MASTER-PLANNING STANDPOINT. ADDITIONAL ACCESS POINTS MAY BE IMPLEMENTED PER THE TRAFFIC STUDY.

ACCESS POINT 1 (NORTH) OF PHASE I (PHASE I) SHALL BE REQUIRED TO BE PROVIDED ADEQUATE ACCESS TO INTERNAL LOTS. ACCESS POINT 2 (ONCE PHASING HAS REACHED PHASE II) OR PHASE IV OF THE DEVELOPMENT. ACCESS POINTS 3 AND 4 WILL BE DEVELOPED ONCE PHASE VI OF THE PROJECT COMMENCES.

ADDITIONAL NOTES

- THE PROVISIONS OF THE PUD SHALL PREVAIL AND GOVERN THE DEVELOPMENT OF ROCKY MOUNTAIN RAIL PARK. HOWEVER, THAT WHERE THE PROVISIONS OF THE PUD DO NOT ADDRESS A PARTICULAR SUBJECT, THE RELEVANT PROVISIONS OF THE ADAMS COUNTY DEVELOPMENT STANDARDS AND REGULATIONS SHALL APPLY.
- THE TRACT ACREAGES CALCULATED AND INCLUDED IN THIS PUD ARE APPROXIMATE. FINAL ACREAGES WILL BE DETERMINED AT THE TIME OF SITE-SPECIFIC FINAL PLAT SUBMITTALS.
- DIVERGING USES OF INTERNAL LOTS SHALL BE SUPPORTED BY WAY OF FENCES OR PLANTINGS.
- ACCESS LOCATIONS SHOWN ARE SCHEMATIC. ACTUAL LOCATIONS AND GEOMETRY TO BE DETERMINED PER TRAFFIC ANALYSIS. SPECIFIC ACCESS TO EACH LOT AND PARCEL WILL BE PROVIDED FROM THE ROADWAY SYSTEM. ACTUAL ACCESS LOCATION AND GEOMETRY WILL BE DETERMINED AT SITE DEVELOPMENT PLAN FOR EACH INTERNAL LOT AND WILL BE PER ADAMS COUNTY DESIGN STANDARDS AND REGULATIONS AND PER CODE STANDARDS FOR LOT 11 DUE TO E COLFAX AVE.



PROPOSED PRELIMINARY DEVT PLAN Industrial Development

PDP Overview

- Industrial Development Connected by Rail
- Served by Approved Metro District
 - ❖ Water
 - ❖ Sewer
 - ❖ Open Space Management
 - ❖ Private Road Management
 - ❖ Drainage Facility Management
- Design Standards
- Includes Open Space

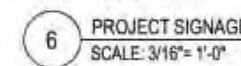
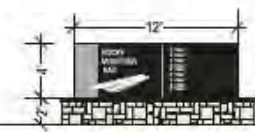
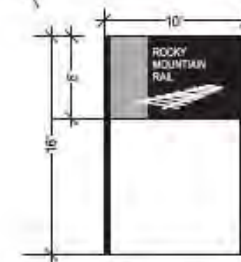
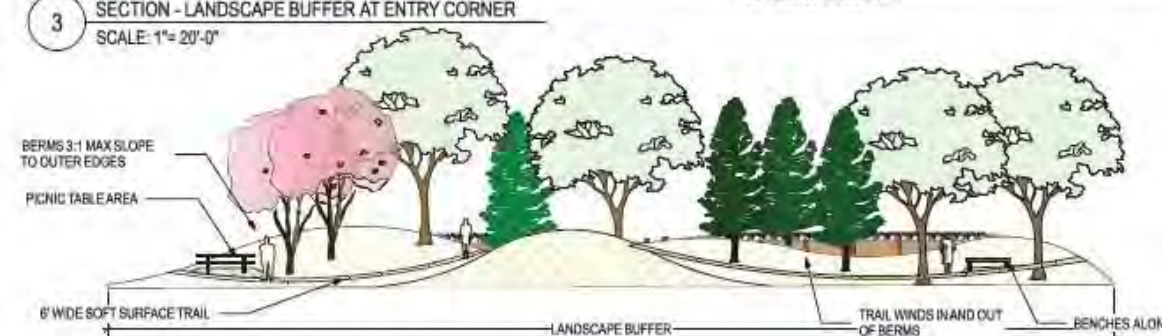
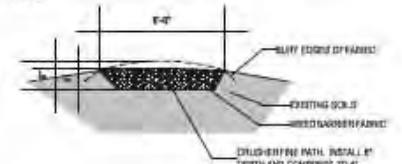
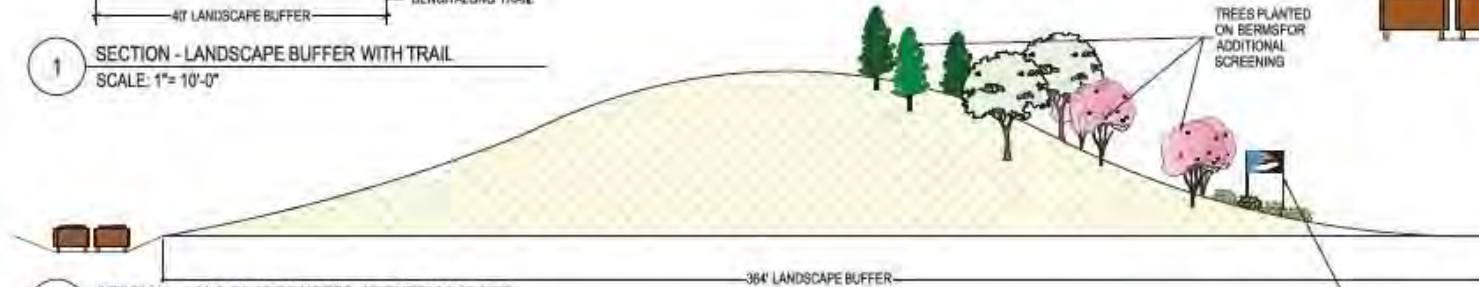
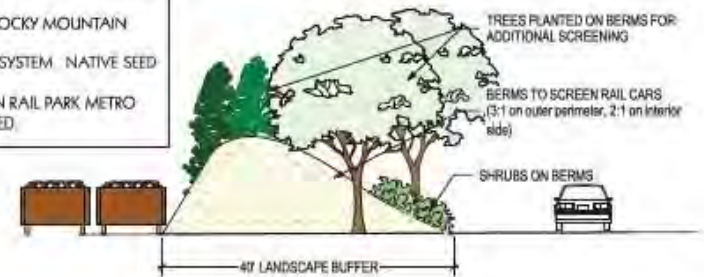
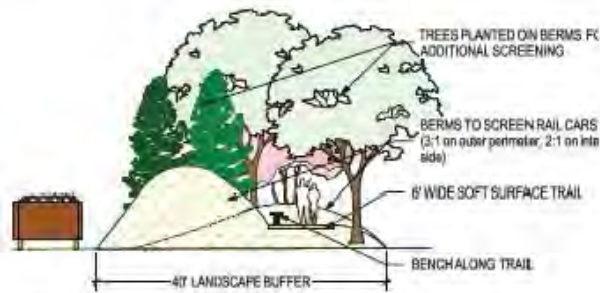
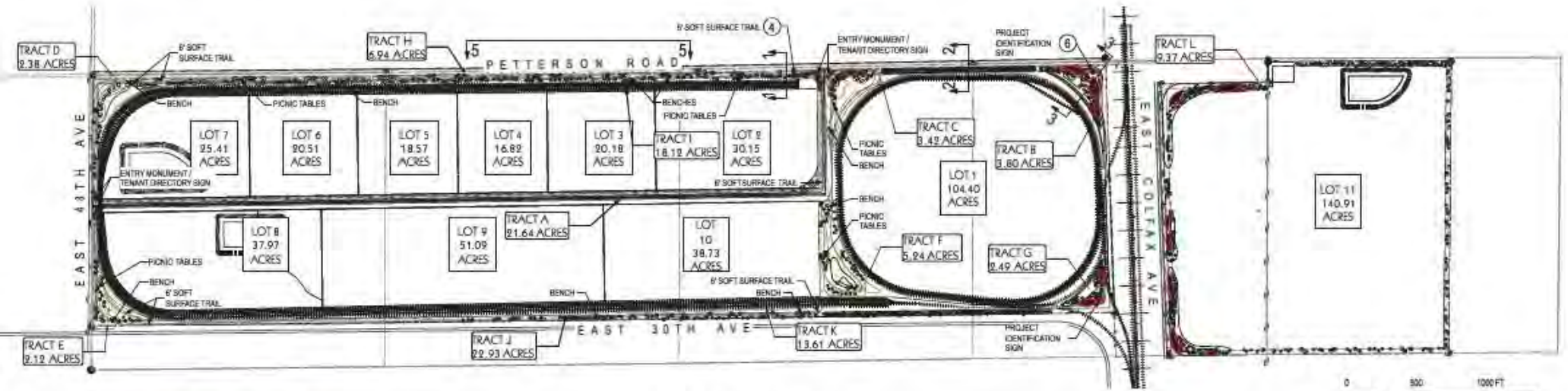
Proposed Zoning Standards

- Setbacks
 - Front (along central private road): 40 feet
 - Side: 20 feet
 - Rear: 20 feet
- Parking
 - Consistent with County's Standards
 - Shared Parking Encouraged
- Lighting
 - Uniform Fixture Design
 - LED Used

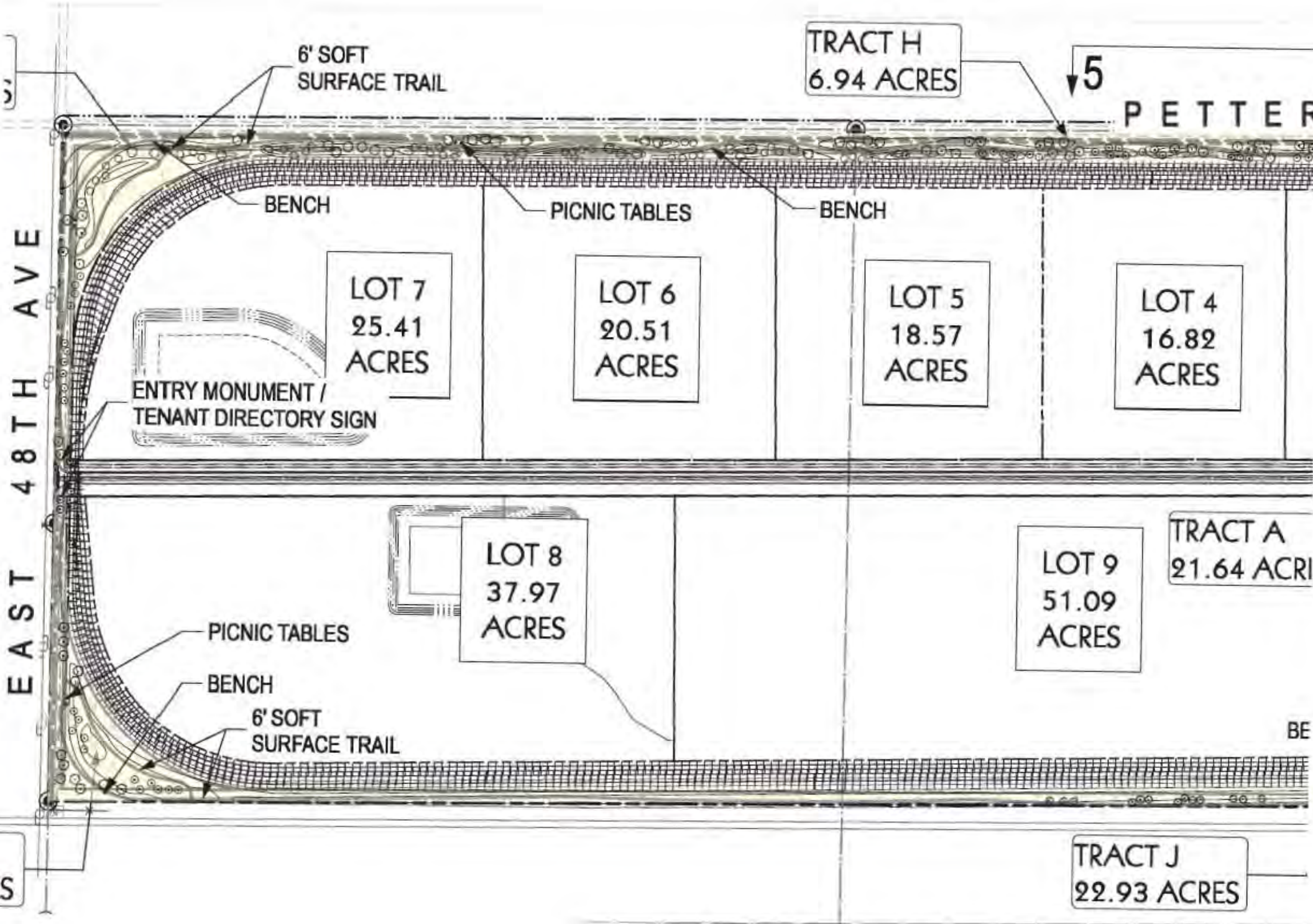
Proposed Zoning Standards

- Loading Areas, Trash Enclosures, & Outdoor Storage
 - Consistent with DSR for I-2 standards
- Architectural Design
 - Massing Breaks every 100-150 feet
 - Color, Glare, Building Material Restriction
 - Rooftop and Equipment Screening
 - Building Height
 - 90 Feet for Occupied Structures
 - 150 Feet for Unoccupied Structures
- Uniform Sign Plan
- Uniform Fencing and Screen Walls

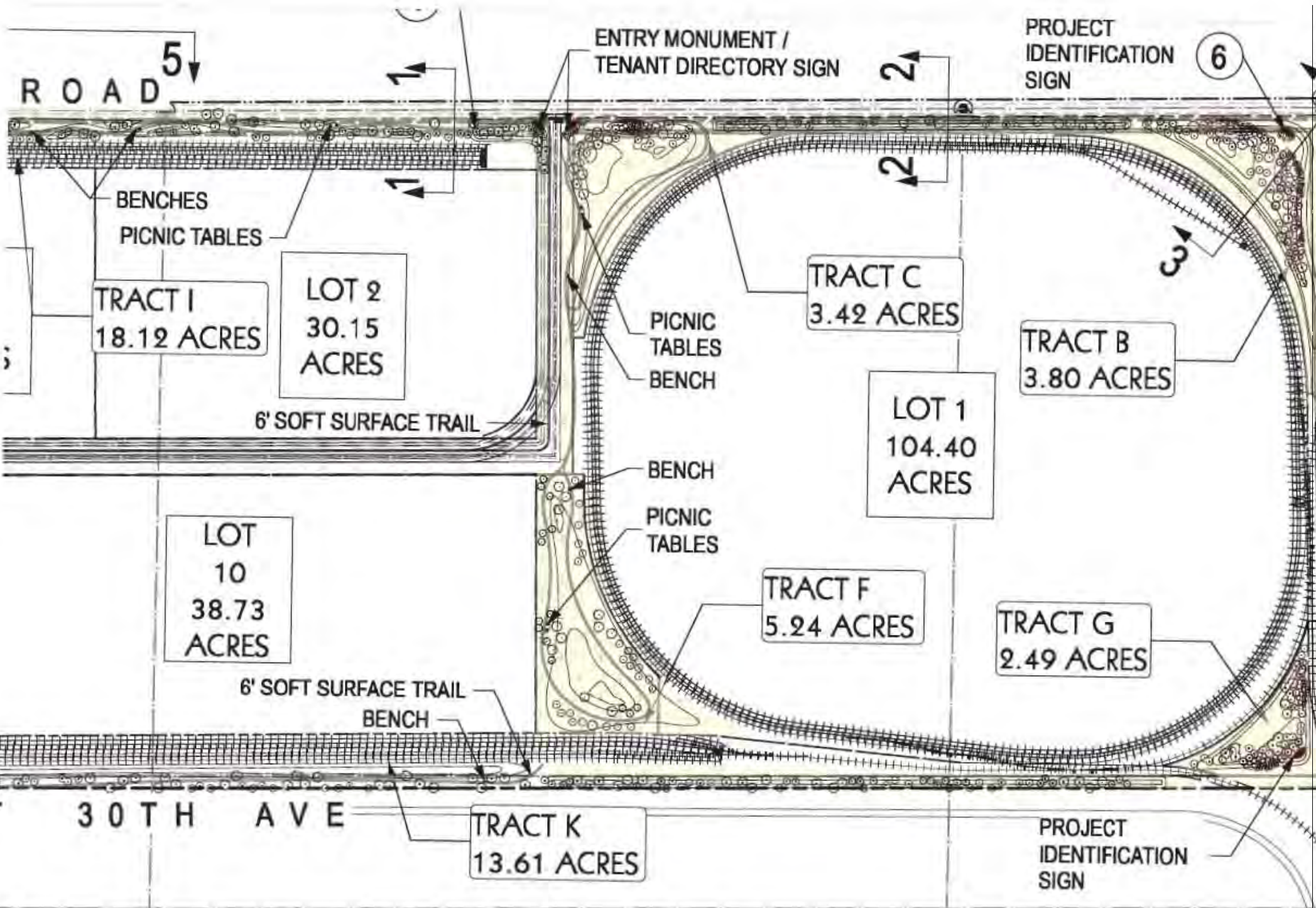
LANDSCAPING AND OPEN SPACE



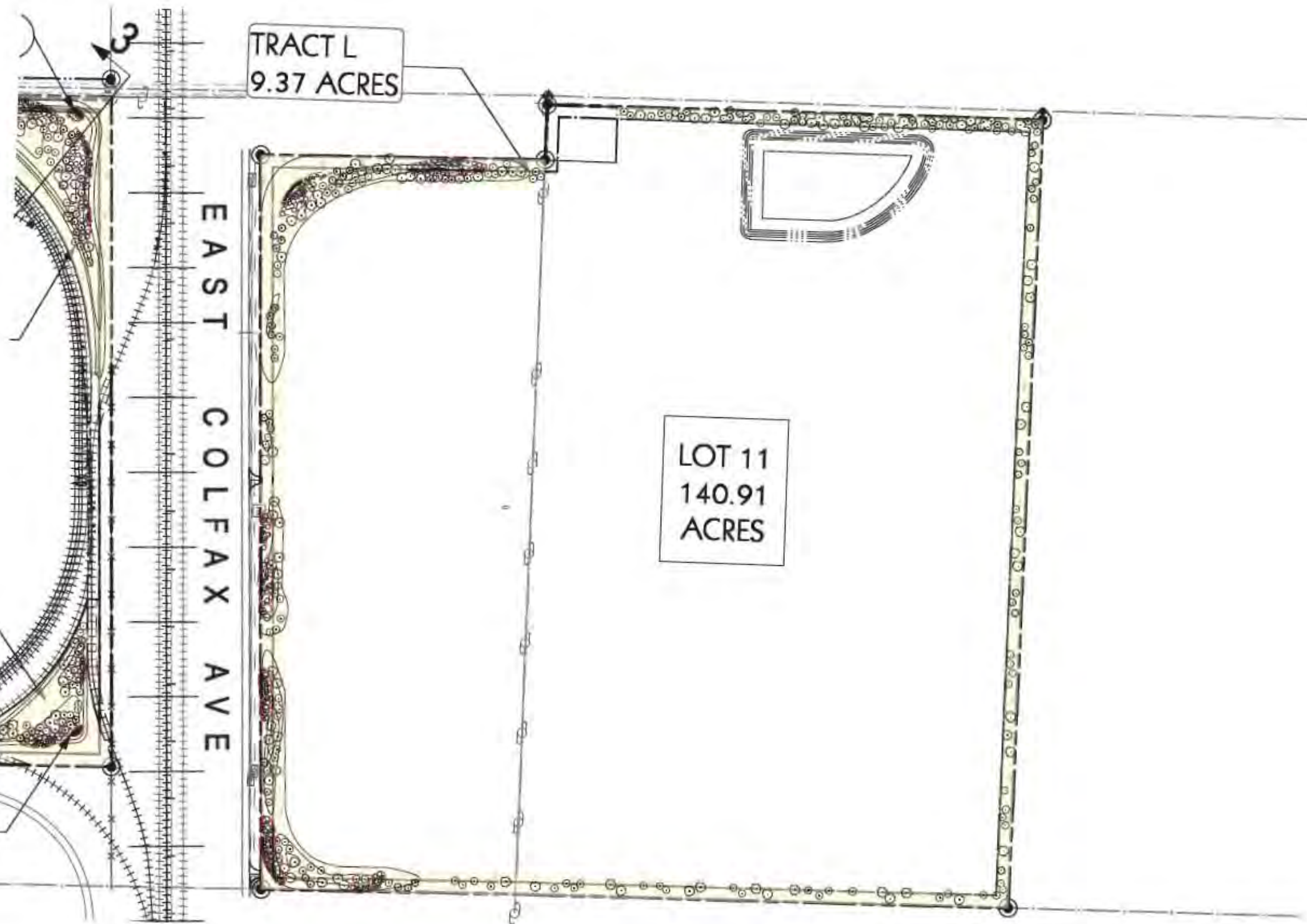
LANDSCAPING AND OPEN SPACE



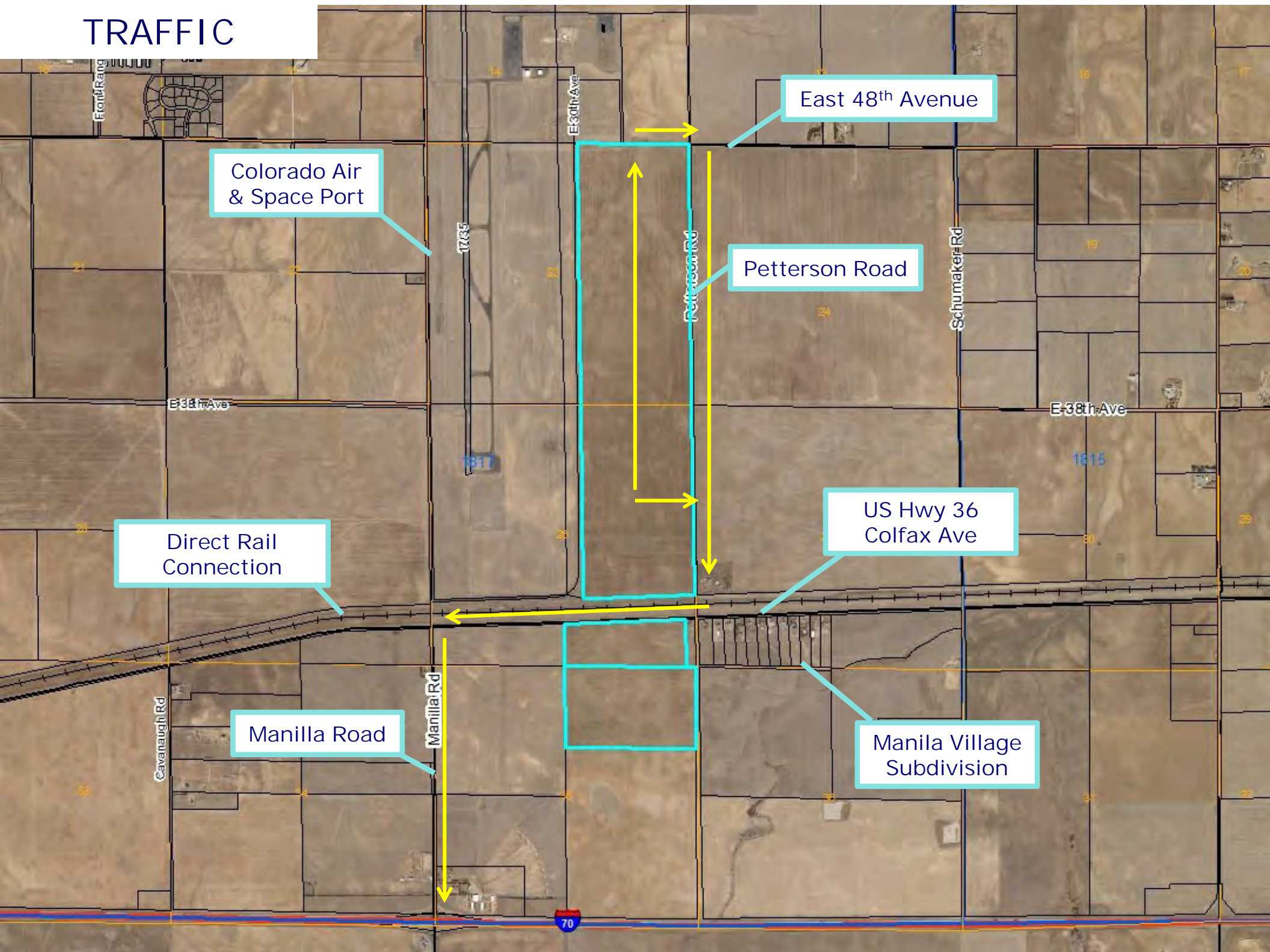
LANDSCAPING AND OPEN SPACE



LANDSCAPING AND OPEN SPACE



TRAFFIC



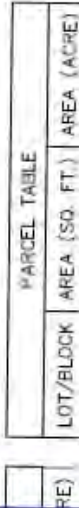
Criteria for Preliminary Plat

Section 2-02-17-03-05

1. Consistent with Comprehensive Plan
2. Consistent with purposes of Standards
3. Complies to Standards
4. Evidence of Sufficient Water Supply
5. Evidence of Sewage Disposal System
6. Identification of Soil or Topographical Hazards
7. Evidence of Adequate Drainage
8. Conforms to Density Standards of Zone District
9. Includes Compatibility Measures

PRC2018-00006

SHEET 2 OF 7
PRELIMINARY PLAT



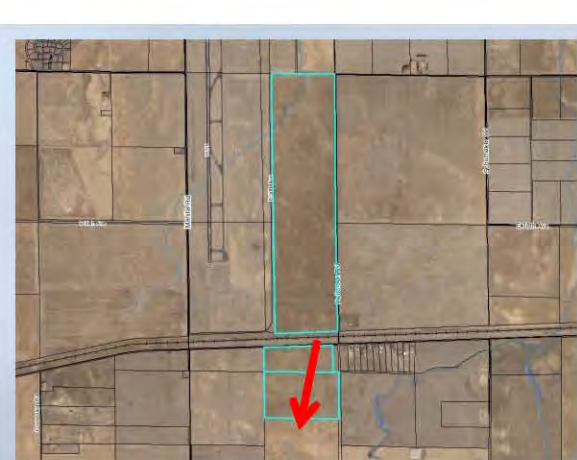
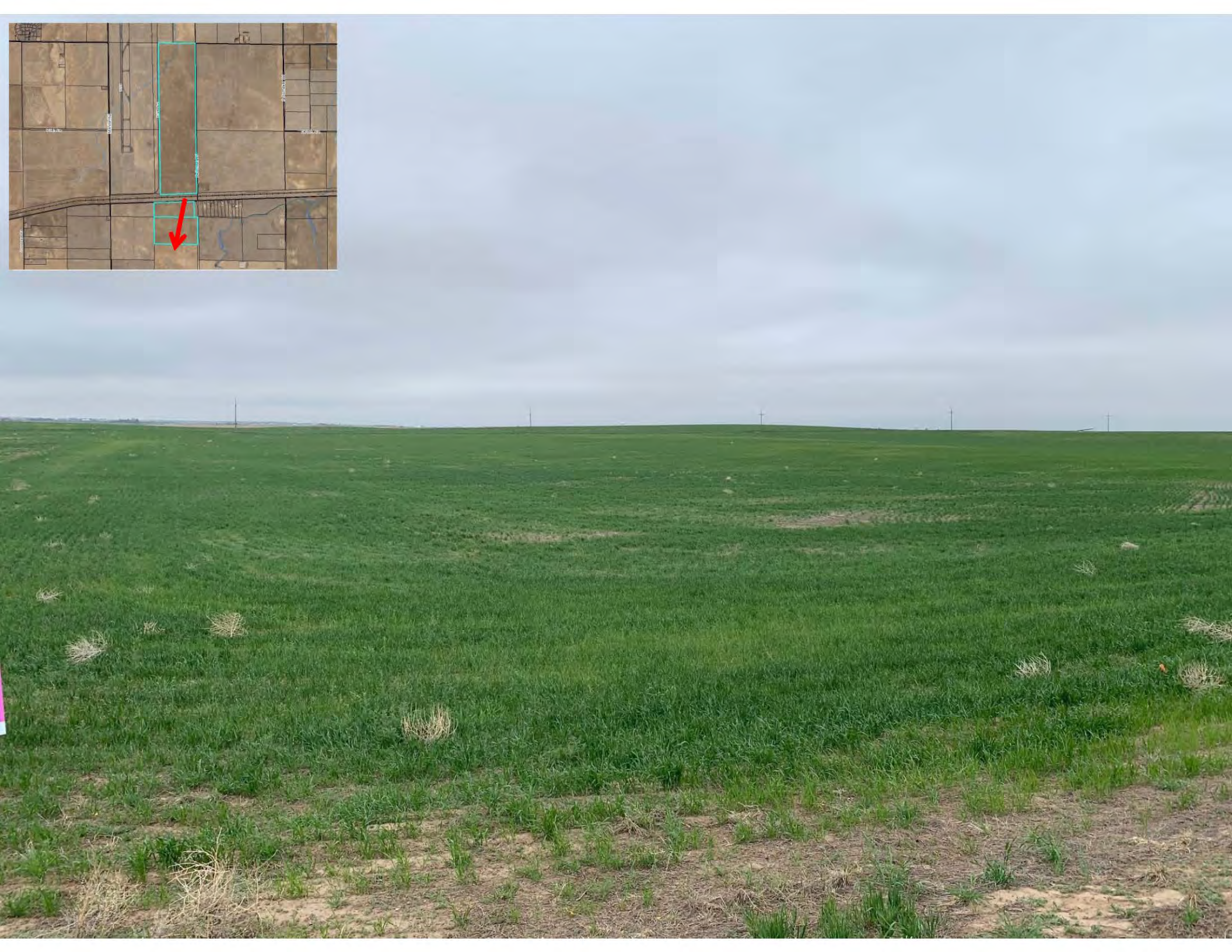
PROPOSED
PRELIMINARY PLAT
Lot Sizes: 16-140 ac.

Criteria for Comprehensive Plan Amendment, Rezoning, Preliminary Plat, Preliminary Development Plan

- Consistent with regulatory purposes
- Not detrimental to surrounding area
- Meets requirements of Development Standards
- Harmonious & compatible
- Conformance to Subdivision Design Standards
- Adequate services
- Absence of topographic concern
- Adequate drainage
- Mitigation of impacts on adjacent land

Services

- Served by Approved Metro District
 - Water
 - Sewer
 - Open Space Management
 - Private Road Management
 - Drainage Facility Management

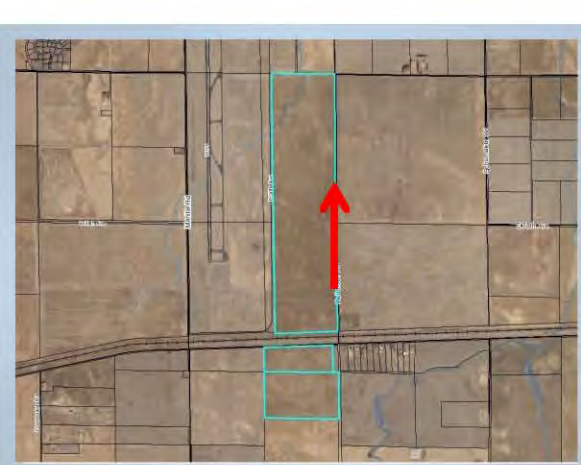






RAILROAD
CROSSING

394



Referral Period

Public Notice

Notices sent*	# of Comments Received
243	10*

* Property owners and residents within 3,500 ft were notified

Public Comments

- Water Availability
- Traffic
- Proximity to Residential Neighborhood
- Lighting

Referral Period

Public Notice

Notices sent*	# of Comments Received
243	10*

* Property owners and residents within 3,500 ft. were notified

Referral Agencies

- Aurora
- Bennett Watkins Fire
- CDOT
- Colorado Div. of Water Resources
- Colorado Dept. of Public Health & Environment
- Colorado Div. Parks & Wildlife
- Colorado Geological Survey
- IREA
- Xcel Energy

Planning Commission Update

- Public Hearing: June 13, 2019
- Public Comments:
 - Reduction of speed limit along US Hwy 36
 - Establishment of Quiet Zone
 - Regional Transportation Focus
 - Cost Sharing For Public Improvements

Planning Commission Update

Approval of the proposed applications (PRC2018-00006) for with:

- 21 Findings-of-Fact
- 6 Conditions
- 5 Notes

And Ratification of the Planning Commission Approval of the Comprehensive Plan Amendment

Recommended Conditions of Approval

1. The applicant shall secure a public sewage disposal system, which complies with state and local laws and regulations.
2. The Final Development Plan shall conform to Section 3-29-03 of the Development Standards and Regulations for General Site Design Standards, including bicycle amenities and open space requirements.
3. Development of the site shall conform to all required public infrastructure outlined in Chapter 7 of the County's Development Standards and Regulations.
4. The applicant shall incorporate results of the Northeast Aurora Transportation Study (NEATS) Refresh Study, which was completed in October 2018 as part of the final plat submittal's traffic study.

Recommended Note to the Applicant:

1. The applicant shall comply with all building, zoning, fire, engineering, and health codes and regulations during the development of the subject site.
2. The PDP approval shall lapse three (3) years from the date of approval (June 18, 2022) if a Final Development Plan is not submitted
3. The preliminary plat approval shall lapse two (2) years from the date of approval (June 18, 2021) if a final plat is not submitted.
4. The applicant shall apply for a waiver from subdivision design standards to allow for lots on a private street. This application shall accompany the application for final plat.
5. A Subdivision Improvement Agreement shall be submitted with the final plat application.



**COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT**

STAFF REPORT

**CASE NAME: A&A OUTSIDE STORAGE
CASE NUMBER: PRC2017-00005**

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COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT
STAFF REPORT

Board of County Commissioners

June 18, 2019

CASE No.: **PRC2017-00005**

CASE NAME: **A&A Outside Storage**

Owner's Name:	A&A Outside Storage, LLC
Applicant's Name:	Robert Hutchinson, Hutchinson Law Firm
Applicant's Address:	3199 East 86 th Avenue, Denver, CO 80202
Location of Requests:	3199 East 86 th Avenue
Nature of Requests:	1) A conditional use permit to allow outdoor storage in excess of 100% of building area, 2) A conditional use permit to allow storage of materials at heights taller than the surrounding privacy fence
Zone Districts:	Industrial-1 (I-1)
Comprehensive Plan:	Mixed-Use Neighborhood
Site Size:	5 acres
Proposed Uses:	Outdoor Storage
Existing Use:	Outdoor Storage
Hearing Date(s):	PC: March 28, 2019 / 6:00 p.m.
	BOCC: June 18, 2019 /9:30 a.m.
Report Date:	April 5, 2019
Case Manager:	Greg Barnes
PC Recommendation:	DENIAL with 8 Findings-of-Fact
Staff Recommendation:	DENIAL with 8 Findings-of-Fact

SUMMARY OF APPLICATION

Background

A conditional use permit was approved by the Adams County Board of County Commissioners (BoCC) to on December 20, 1999 to allow outdoor storage of recreational vehicles (RVs), boats, and trailers. At that time, a landscape buffer along the street frontage of East 86th Avenue and a solid screen fence around the perimeter of the site were both required. A condition of approval was that the conditional use permit not be transferable to a different owner. At that time the conditional use permit was issued to Mr. Ralph Walker.

On January 5, 2009, a new conditional use permit to allow outdoor storage on the property was approved by the BoCC. Conditions of this approval included: a landscape buffer along portions of the site fronting East 86th Avenue; limiting items stored on the property to RVs, boats, trailers, semi-trailers, automobiles, trucks, tractor trailers, dump trucks, backhoes, bobcats, mowers, tools and equipment, mobile homes, building materials, and shipping containers; and that the conditional use permit shall expire after five years.

On December 3, 2013, a conceptual review meeting was scheduled by the applicant to discuss an application for renewal of the conditional use permit. According to County records, no application for conditional use permit was filed. On December 5, 2016, another conceptual review meeting was scheduled to discuss renewal of the conditional use permit. Subsequent to this meeting, an application was filed for the subject conditional use permit. The outdoor storage use has existed on the property since January 5, 2014 without an approved conditional use permit.

Over the last 15 years, ten zoning violations have been identified on the property. These violations include graffiti, weeds, operating with an expired conditional use permit, and people living in recreational vehicles on the property. In addition, no landscaping was present on the site at the time of the most recent conditional use permit application in 20XX and the site is being used for storage of unlicensed and inoperable vehicles.

Site Characteristics:

The subject property is five acres in area and borders East 86th Avenue to the south. The site is surrounded by an eight-foot tall wooden privacy fence. A security gate restricts access into the site from East 86th Avenue. There are is one small shed on the southwest corner of the property, but no other structures are present.

Development Standards and Regulations Requirements:

Per Section 3-07-01 of the Adams County Development Standards and Regulations, a conditional use permit is required for outdoor storage in excess of the building area in the I-1 district. Specific performance standards for the outdoor storage use are outlined in Section 4-10-02-05-09 of the County's Development Standards and Regulations; these include screen fencing. The site plan provided with the application shows an existing eight-foot tall wooden screen fence around the perimeter of the property. Finally, according to the applicant, materials

to be stored on the property will exceed the height of the fence, which requires a second conditional use permit.

Per Section 4-16-18-01 of the County's Development Standards, perimeter buffers may be required along property boundaries to screen the storage use from adjoining uses. A Type "D" landscape buffer is required along the northern property line, because of the adjoining residential use. The type "D" buffer consists of a minimum of three trees per sixty linear feet and fifteen feet in width. The applicant does not wish to provide this buffer because it would require the removal of the existing fence.

In addition to the perimeter buffer, landscaping is also required along any property with a frontage along a public roadway. The property has frontage on East 86th Avenue and therefore, the applicant is required to install a landscaped area along the road right-of-way. This landscape buffer was a condition of approval in 2009 and was not installed until 2018.

Future Land Use Designation/Goals of the Comp-Plan for the Area

The future land use designation on the property is Mixed-Use Neighborhood. Per Chapter 5 of the Adams County Comprehensive Plan, the Mixed-Use Neighborhood designation encourages a range of urban level residential uses, including single and multi-family housing, combined with compatible and supporting uses and activities that serve the neighborhood. These supporting uses should be developed and operated in harmony with the residential characteristics of a neighborhood.

The subject property is located in an area that is subject to the Adams County Southwest Area Framework Plan and Welby Subarea Plan. The goals of the Welby Subarea Plan include the promotion of economic development, creation of a vibrant neighborhood, and stewardship of a clean and healthy environment. Nonresidential uses can be expected in the Mixed-Use Neighborhood designated areas; however they are intended to be compatible with residential uses. In addition, the area has been designated as part of the East Welby neighborhood. This neighborhood has development potential based on proximity to transit and available waterways. The subject property is less than a half-mile from the 88th Avenue N-Line Transit Station and within 1,500 ft. of the N-Line rail corridor. The N-Line is currently under construction.

The request to continue the storage facility on the subject property is inconsistent with the County's Comprehensive Plan and the future goals of the Welby area. The commencement of the N-Line will change the character of the existing neighborhood and thus the use for outdoor storage is no longer an appropriate use of this property.

Surrounding Zoning Designations and Existing Use Activity:

Northwest I-1 Residential	North I-1 Residential	Northeast City of Thornton Outdoor Storage
West I-1 Vacant	Subject Property I-1 Outdoor Storage	East City of Thornton Outdoor Storage
Southwest I-3 Industrial	South I-3 Industrial	Southeast PUD Residential

Compatibility with the Surrounding Land Uses:

The subject property is located near industrial and residential uses. There are single-family dwellings located to the north and southwest of the site. Industrial uses can be found to the south and west of the site. An outdoor storage use is located directly east of this property within the City of Thornton's jurisdiction.

The site has been operating as an unpermitted outdoor storage facility for over a decade with numerous zoning violations. The applicant's conditions of approval from previous permits were not met. These conditions were in place to improve compatibility with the surrounding properties and the applicant's failure to comply with these conditions has resulted in the continuation of this use.

PLANNING COMMISSION UPDATE

The Planning Commission (PC) considered this case on March 28, 2019, and voted (6-1) to recommend denial of the request. The applicant spoke at the meeting and requested an approval for a limited duration to allow the site operator to continue the use until the RTD N-Line begins operating. The Planning Commission expressed concern that several recreational vehicles appeared to have extension cords running to them. In addition, concerns were raised regarding the operator's history of zoning violations. There was no one from the public to speak in favor or in opposition of the request.

Staff Recommendations:

Based upon the application, the criteria for approval of a conditional use permit outlined in Section 2-02-08-06 of the County's Development Standards, the County's Comprehensive Plan, and a recent site visit, staff recommends denial of the request with 8 findings-of-fact.

Findings-of-fact for Denial:

1. The conditional use is not permitted in the applicable zone district.
2. The conditional use is inconsistent with the purposes of these standards and regulations.
3. The conditional use will not comply with the requirements of these standards and regulations, including but not limited to, all applicable performance standards.
4. The conditional use is incompatible with the surrounding area, not harmonious with the character of the neighborhood, detrimental to the immediate area, detrimental to the

future development of the area, and detrimental to the health, safety, or welfare of the inhabitants of the area and the County.

5. The conditional use permit has not addressed all off-site impacts.
6. The site is unsuitable for the proposed conditional use including adequate usable space, adequate access, and absence of environmental constraints.
7. The site plan for the proposed conditional use will not provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
8. Sewer, water, storm water drainage, fire protection, police protection, and roads are unavailable and inadequate to serve the needs of the conditional use as designed and proposed.

PUBLIC COMMENTS

Public Notices Mailed	Number of Responses
460	6

Staff sent 460 notices to owners and residents within 1,000 feet of the subject request, and received six responses. Four of the responses expressed opposition to the request. The main concerns expressed in the letters of opposition related to traffic and incompatibility. In addition, two letters of support for this application were received. There were no justifications provided in the letters of support.

COUNTY AGENCY COMMENTS

County staff reviewed the request and determined that the conditional use permit does not conform to the purposes of the County's Development Standards and Regulations. In addition, the continued usage of this property for outdoor storage does not conform to the goals of the Comprehensive Plan. The applicant has failed to comply with previous conditions of approval, and has not demonstrated that compatibility with the surrounding neighborhood can be expected.

REFERRAL AGENCY COMMENTS

The Tri-County Health Department reviewed the request and had no objection to the application; however, advised the outdoor using on the property to include vector control methods. No further objections or concerns were noted from referral agencies.

Responding with Concerns:

Tri-County Health Department

Responding without Concerns:

CDOT

Thornton Fire District

Xcel Energy

Notified but not Responding / Considered a Favorable Response:

CDPHE

Century Link

City of Thornton

Colorado Division of Wildlife

Comcast

Mapleton School District #1

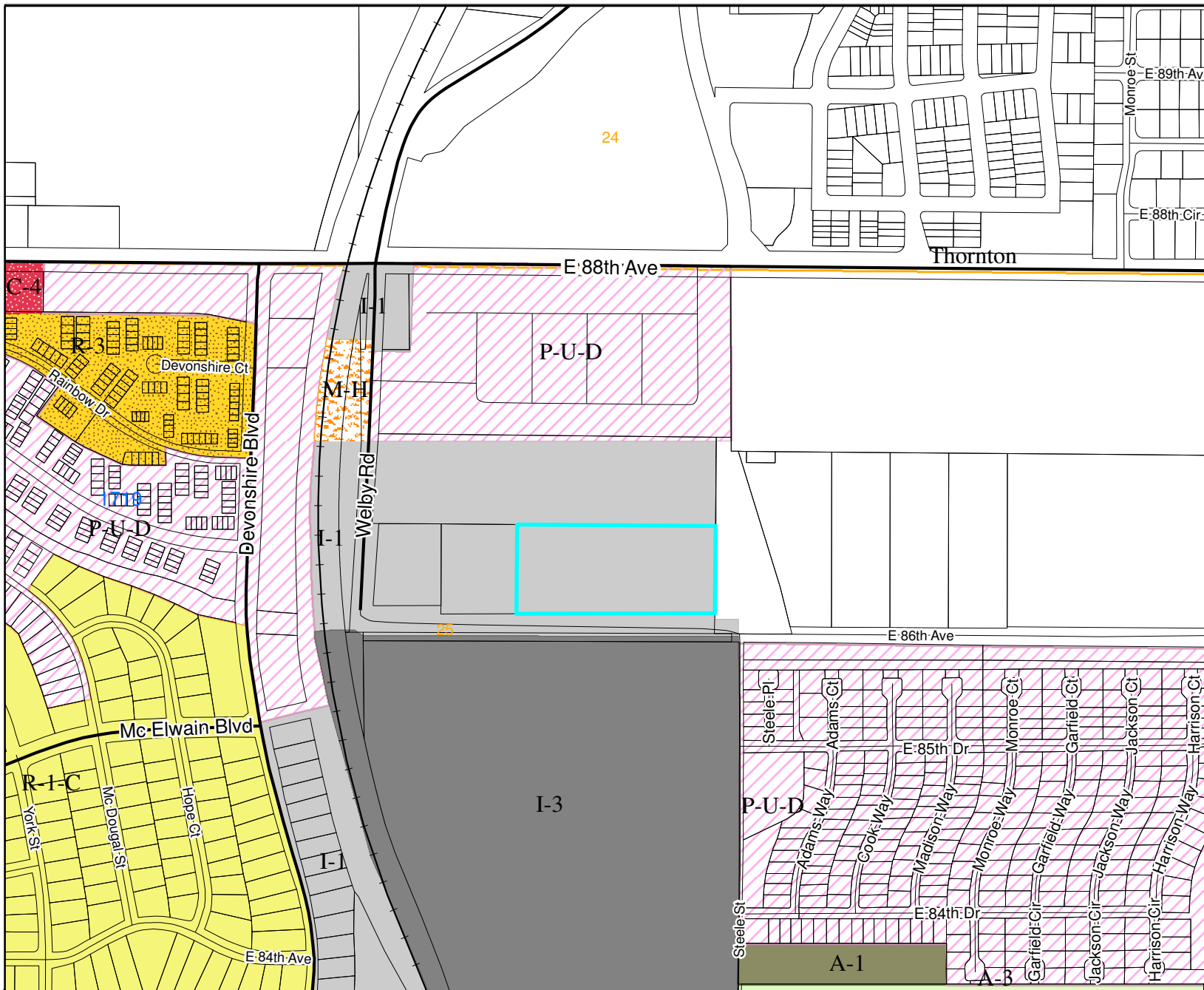
Metro Wastewater Reclamation

North Washington Water & Sanitation District

Regional Transportation District

Union Pacific

Welby Citizen Group



LEGEND

- ★ Special Zoning Conditions
- 3 Section Numbers
- Railroad
- Major Water
- Zoning Line
- Sections
- Zoning Districts**
 - A-1
 - A-2
 - A-3
 - R-E
 - R-1-A
 - R-1-C
 - R-2
 - R-3
 - R-4
 - M-H
 - C-0
 - C-1
 - C-2
 - C-3
 - C-4
 - C-5
 - I-1
 - I-2
 - I-3
 - CO
 - PL
 - AV
 - DIA
 - P-U-D
 - P-U-D(P)
 - Airport Noise Overlay



ADAMS COUNTY
COLORADO

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A&A Outdoor Storage

RCU2017-00005



For display purposes only.



A&A Outdoor Storage

RCU2017-00005

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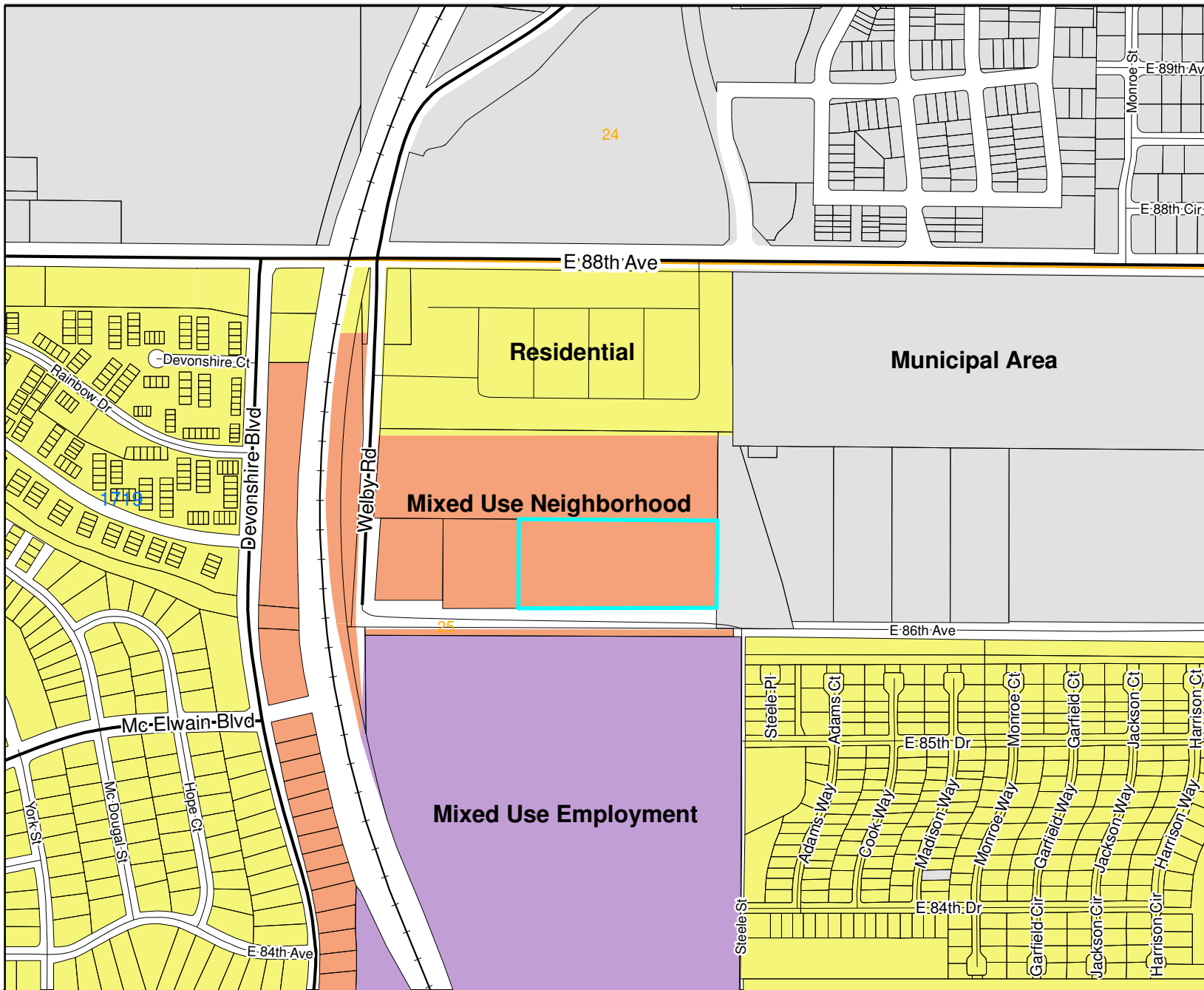
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LEGEND

- Special Zoning Conditions
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 - R-2
 - R-3
 - R-4
 - M-H
 - C-0
 - C-1
 - C-2
 - C-3
 - C-4
 - C-5
 - I-1
 - I-2
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LEGEND

- ★ Special Zoning Conditions
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ADAMS COUNTY
COLORADO

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responsibility for its accuracy

A&A Outdoor Storage

RCU2017-00005



For display purposes only.

DESCRIPTION OF PROPOSAL

REQUEST:

A request is made for a Conditional Use Permit to allow additional items and materials to be stored on the Subject Property and to allow the Property to be used as an accessory outdoor storage area in excess of 100% of the building area.

A Conditional Use Permit was first granted by the County Commissioners in 1999, and the Subject Property has been used as an accessory outdoor storage area in excess of 100% of the building area for the last 17 years.

A&A Outside Storage, LLC, a Colorado limited liability company (the "Current Owner"), the owner of the property located at 86th Avenue between Welby Road and Steele St. (the "Subject Property"), hereby requests a Conditional Use Permit similar to that granted by the County Commissioners on January 5, 2009, which was an amendment to the existing Conditional Use Permit for the Subject Property in order to: (1) change the owner of the current Conditional Use Permit for the Subject Property to the Current Owner, and (2) amend the existing Conditional Use Permit for the Subject Property to allow additional items and materials to be stored on the Subject Property (the "2009 Conditional Use Permit"). It is requested that a Conditional Use Permit be issued for a period of seven years.

- 1. The conditional use is permitted in the applicable zone district.*

Currently the Subject Property is zoned Industrial -1. Chapter 3-24-04-03 of the Adams County Development Standards and Regulations allows for Accessory Outdoor Storage in excess of 100% of the building area as a conditional use for property zoned Industrial -1.

- 2. The conditional use is consistent with the purposes of these standards and regulations:*

The proposed, amended conditional use for the Subject Property consists of outdoor accessory storage. These accessories include, but not limited to, recreational vehicles, boats, trailers, semi-trailers, autos, trucks, tractor/trailers, dump trucks, pickup truck, backhoes, Bobcats, mowers, trailers, tools and equipment, mobile homes, building materials, shipping containers and any other similar type storage which would be allowed under Chapter 3-24-04-03 of the Adams County Development Standards. Additionally, in the storage industry, the term "accessory outdoor storage" generally

refers to the outdoor storage of "accessories" such as the proposed items to be stored on the Subject Property.

The proposed amendment to the conditional use for the Subject Property is consistent with the standards and regulations because the use of the Subject Property as Accessory Outdoor Storage in excess of 100% of the building area, as described in Chapter 3-24-04-03 of the Adams County Development Standards and Regulations, is an expressly permitted use therein as a conditional use for property zoned Industrial-1. As stated above, "accessory storage" generally contemplates the storage of "accessory" vehicles, equipment and materials such as those proposed to be stored on the Subject Property.

Further, in accordance with the 2009 Conditional Use Permit, additional items of storage have included tractor-trailers, dump trucks, pick-up trucks, backhoes, tools and equipment, buses, autos, bobcats, mobile homes, shipping containers building materials, and any other similar type storage which would be allowed under Chapter 3-24-04-03 of the Adams County Development Standards, since January 5, 2009.

3. *The conditional use will comply with the requirements of these standards and regulations including, but not limited to, all applicable performance standards.*

No performance standards are applicable for the proposed Conditional Use Permit for the Subject Property as the use of the Subject Property as outdoor accessory storage does not require the Subject Property to adhere to any formal, regulated performance standards. The Owner of the Subject Property will not use the Subject Property for any purpose other than accessory outdoor storage in excess of 100% of the building area.

4. *The conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. In making this determination, the Planning Commission and the Board of County Commissioners shall find, at a minimum, that the conditional use will not result in excessive traffic generation, noise, vibration, dust, glare, heat, smoke, fumes, gas, odors, or inappropriate hours of operation.*

The Subject Property is located in a neighborhood where the adjacent properties are currently used for purposes similar to the proposed use of the Subject Property as accessory outdoor storage. South of the Subject Property is property owned by Hydro Conduit corporation. Hydro Conduit stores concrete drain pipe and large concrete bridge members on their property. The lot to the west of the Subject Property is vacant and zoned I-1; the lot to the immediate west of that property is used as a landscaping and snowplowing storage and operations facility. The lot to the north of the Subject

Property is also zoned Industrial-1, and is vacant land which is has been used as a horse boarding facility, and for keeping animals, including goats. The lot to the east of the Subject Property is used as an accessory outdoor storage facility, and used in the same manner as the Subject Property. Further to the south are parcels used for tractor-trailer storage and outdoor storage as well.

To the best of the knowledge of the Current Owner, since 1999, when the Subject Property was approved for use as accessory outdoor storage, none of the owners of the surrounding properties, or governmental entities, including the City of Thornton, have made not any objection to the current proposed use of the Subject Property as accessory outdoor storage.

Accordingly, the use of the Subject Property as accessory outdoor storage in excess of 100% of the building area is harmonious and compatible with the character of the surrounding area as the surrounding area us used primarily for storage of similar types of outdoor accessory storage. Also, the use of the Subject Property for accessory outdoor storage does not generate excessive traffic, noise, vibration, dust, glare, heat, smoke, fumes, gas, odors nor inappropriate hours of operation. A traffic engineer evaluated the Property for traffic and found that the daily traffic volume to be 19.8 vehicles per day. A copy of that report is attached

The use of the Subject Property as accessory outdoor storage does not produce any environmental or noxious waste, as the items are only stored on the Subject Property and are not used on the Subject Property. These types or nuisances do not generally occur with the operation of accessory outdoor storage area especially in relation to the storage of the types of vehicles, equipment and materials to be stored on the Subject Property.

The storage facility is an asset to the surrounding area. Several persons in the area use the Property's storage facility to store various items that they otherwise cannot, such as boats, mobile homes, etc. It is anticipated that this facility will be in further demand for these purposes when there is further development for mixed use.

5. The conditional use permit has addressed all off-site impacts.

The requested conditional use of the Subject Property as accessory outdoor storage in excess of 100% of the building area does not create any substantial off-site impacts which have not been address by this application.

6. The site is suitable for the conditional use including adequate space, adequate access, and absence of environmental constraints.

In 1999, the previous owner of the Subject Property was granted a Conditional Use Permit for accessory outdoor storage in excess of 100% of the building area for the Subject Property. Therefore, at the time, the Subject Property must have been

adequate and suitable for the proposed conditional use as accessory outdoor storage in excess of 100% of the building area.

The Current Owner is using the Subject Property for the use requested in this Conditional Use Permit Application.

Following purchase in 2003, the Current Owner has continued to use the Subject Property in exactly the same manner as the previous owner did from 1999 to 2003, as outdoor accessory storage in excess of 100% of the building area. Therefore, because the use of the Subject Property has not substantially changed from the previous owner's approved use for the Subject Property as an accessory outdoor storage area, the Subject Property is still adequate and suitable for this same use by the Current Owner.

The Current Owner does allow some additional items to be stored on the Subject Property which were not stored there by the previous owner, including, but not limited to, automobiles, mobile homes and shipping containers. However, these additional items are of the same general character and nature as the RVs, boats and trailers previously approved for storage on the Subject Property. In the storage industry, these additional items are also generally considered to be "accessories", as they are difficult to store in a covenant controlled community and are not used daily by their owners. As a result, these types of items are generally stored at commercial outdoor accessory storage areas. A major amendment was granted by the County Commissioners for this in connection with the Conditional Use Permit that was granted in 2009.

Finally, there are no environmental constraints preventing the use of the Subject Property as accessory outdoor storage in excess of 100% of the building area because this type of use for the property is not dependent on supportive environmental factors, permits or regulations in order to conduct business.

7. The site plan for the proposed conditional use will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage and lighting.

The Subject Property is screened with an 8' wood/chain link fence set back about 45 feet from the property line along the entire frontage. The area between the street and the fence is landscaped according the Adams County landscaping regulations applicable to the Subject Property, and will continue to be maintained in accordance with any such governing regulations. The Subject Property ingress/egress is blocked by an electronic gate operated by the keypad and numeric code. Patrons of the Subject Property enter and exit the Subject Property only through the electronic gate access area. No permanent buildings are located on the Subject Property.

As the Subject Property has been operating as an outdoor storage area since 1999, the proposed conditional use of the Subject Property as accessory outdoor storage in excess of 100% of the building area, in relation to the Subject Property

fencing, screening, landscaping and traffic, is already the most functional and convenient use for the Subject Property so long as the Subject Property remains for use as an outdoor storage facility.

The Current Owner has installed a 250 gallon water container on the Subject Property for landscaping needs. When empty, the Current Owner fills the water container off-site, and transports the full water container to the Subject Property for use thereon.

8. Sewer, water, storm water drainage, fire protection, police protection, and roads are to be available and adequate to serve the needs of the conditional use as designed and approved.

Fire protection for the Subject Property is adequate because the Current Owner has installed two fire hydrants: an on-site fire hydrant and a street hydrant for the fire department. Accordingly, the North Washington Fire Protection District has no objection to the use of the Subject Property as accessory outdoor storage in excess of 100% of the building area. If the Subject Property is used as an accessory outdoor storage area, ingress/egress to the Subject Property is clearly sufficient for all police and law enforcement related purposes.

The Adams County Public Works/Engineering Department has reviewed the Subject Property, and has determined there may be a need for a right of way along the southern border of the Property for the Hoffman Drainage Project. Specifically, Greg LaBrie indicates that a 30' right of way from the southernmost Property line north 30' would be requested; and has further indicated that an accompanying encroachment agreement would be entered into (concerning the landscaping) as well. The Property owner agrees to this upon the grant of the Conditional Use Permit.

Also, due to the fact there are no permanent buildings on the Subject Property, there is no need or requirement for adequate sewer and water service for the Subject Property, other than for landscaping purposes, as described above.

9. Other Matters

A Conceptual Review was held regarding this matter, and the Staff made comments in two emails dated November 29, 2016 and December 6, 2016, and are attached. Responses to those comments are also attached. The first is a letter dated December 5, 2016 and the second is titled Response to Staff's Final Comments.

LAND DESCRIPTION

(PER WARRANTY DEED RECORDED AT RECEPTION NUMBER C1110852, 3/13/2003)

A PARCEL OF LAND BEING A PORTION OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 25;
THENCE ALONG THE EASTERLY LINE OF SAID NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 25 NORTH 89 DEGREES 18 MINUTES 41 SECONDS EAST 81.80 FEET TO A LINE PARALLEL WITH AND 81.80 FEET NORTHERLY, AS MEASURED AT RIGHT ANGLES, FROM THE SOUTH LINE OF SAID NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 25;
THENCE ALONG SAID PARALLEL LINE NORTH 89 DEGREES 28 MINUTES 22 SECONDS WEST 88.80 FEET TO THE TRUE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID PARALLEL LINE NORTH 89 DEGREES 28 MINUTES 22 SECONDS WEST 486.39 FEET TO THE EASTERLY LINE OF THAT PARCEL OF LAND SHOWN ON THE LAND SURVEY PLAT PREPARED BY N. DOUGLAS HODS L.S. 27288, SIGNED, SEALED AND DATED MARCH 15, 1995;
THENCE ALONG SAID EASTERLY LINE NORTH 29 DEGREES 21 MINUTES 28 SECONDS EAST 321.58 FEET TO THE NORTHEAST CORNER OF SAID PARCEL OF LAND;
THENCE SOUTH 89 DEGREES 18 MINUTES 41 SECONDS EAST 878.88 FEET TO A LINE PARALLEL WITH AND 80.50 FEET WESTERLY, AS MEASURED AT RIGHT ANGLES, FROM THE EASTERLY LINE OF SAID NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 25;
THENCE ALONG SAID PARALLEL LINE SOUTH 89 DEGREES 10 MINUTES 41 SECONDS WEST 314.15 FEET TO THE TRUE POINT OF BEGINNING, COUNTY OF ADAMS, STATE OF COLORADO.

SITE PLAN - EXISTING CONDITIONS

IMPROVEMENT LOCATION CERTIFICATE

3199 E. 86TH AVENUE - A AND A OUTSIDE STORAGE
LOCATED IN THE NW 1/4 OF SECTION 25, TOWNSHIP 2 SOUTH,
RANGE 68 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, STATE OF COLORADO

LEGEND

- XX FIRE HYDRANT
- MANHOLE
- UTILITY POLE
- LIGHT POLE
- DECIDUOUS TREE
- SPRUCE OR CONIFEROUS TREE
- BUSH
- TREE 60"
- SAMPLE



SCALE: 1" = 30' US SURVEY FEET
30 15 0 15 30

NOTES

1. NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS CERTIFICATE WITHIN THREE YEARS YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS CERTIFICATE BE COMMENCED MORE THAN TEN YEARS FROM THE CERTIFICATION DATE SHOWN HEREIN.
2. THIS IMPROVEMENT LOCATION CERTIFICATE DOES NOT ESTABLISH PROPERTY CORNERS AND IS INTENDED ONLY TO GIVE THE GENERAL SITUATION OF THE CURRENT VISUAL IMPROVEMENTS. GILLIANS WILL NOT BE LIABLE FOR MORE THAN THE COST OF THIS IMPROVEMENT LOCATION CERTIFICATE, AND THEN ONLY TO THE PARTY SPECIFICALLY SHOWN HEREIN.
3. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY GILLIANS LAND CONSULTANTS TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD, RIGHT OF WAY, AND TITLE OF RECORD. GILLIANS LAND CONSULTANTS RELIES UPON LAND TITLE GUARANTEE COMPANY ORDER NO. A8888174, POLICY DATE MARCH 13, 2002 AT 3:05 P.M. FOR THIS INFORMATION.
4. SCHEDULE 8, EXCEPTION 10 SHOWN HEREIN AND DESIGNATED.
5. ALL DIMENSIONS SHOWN ARE BASED UPON DEED DESCRIPTION ONLY.

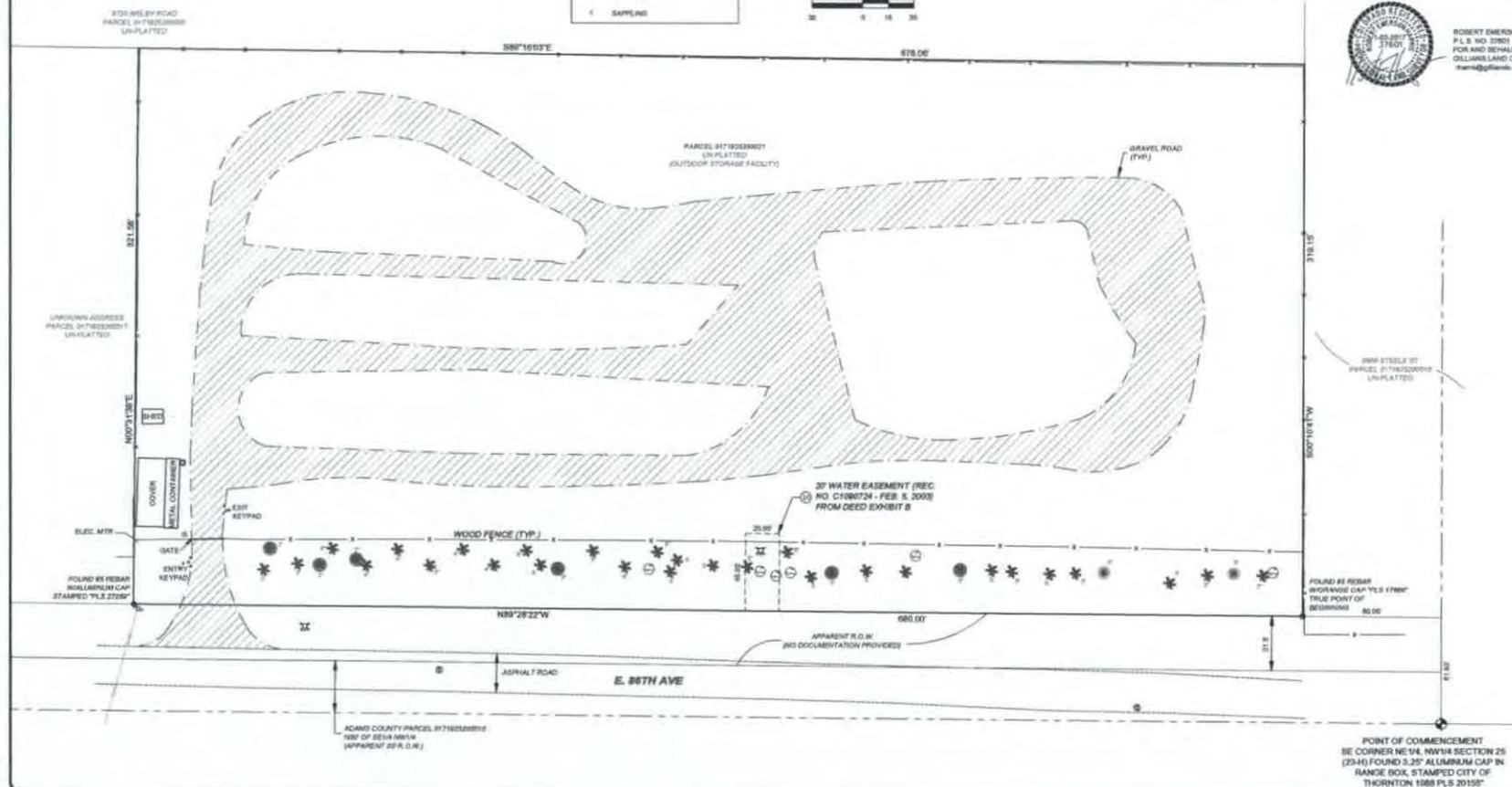
CERTIFICATION

ON THE BASIS OF MY KNOWLEDGE, INFORMATION AND BELIEF, I HEREBY CERTIFY THAT THIS IMPROVEMENT LOCATION CERTIFICATE WAS PREPARED FOR A AND A OUTDOOR STORAGE, UNDER MY SUPERVISION AND THAT IT IS NOT A LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT, AND THAT IT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OF FENCE, BUILDING, OR OTHER FUTURE IMPROVEMENT LINES. THIS CERTIFICATE IS VALID ONLY FOR USE BY A AND A OUTDOOR STORAGE AND DESCRIBES THE PARCEL'S APPEARANCE ON THE DATE SHOWN HEREIN.

I FURTHER CERTIFY THAT THE IMPROVEMENTS ON THE ABOVE DESCRIBED PARCEL, ON THIS DATE, EXCEPT UTILITY CONNECTIONS, FENCES AND LANDSCAPING, ARE ENTIRELY WITHIN THE BOUNDARIES OF THE PARCEL, EXCEPT AS SHOWN, THAT THERE ARE NO ENCROACHMENTS UPON THE DESCRIBED PREMISES BY IMPROVEMENTS ON ANY ADJOINING PREMISES, EXCEPT AS INDICATED, AND THAT THERE IS NO APPARENT EVIDENCE OR SIGN OF ANY EASEMENT CROSSING OR BURDENING ANY PART OF SAID PARCEL, EXCEPT AS NOTED.



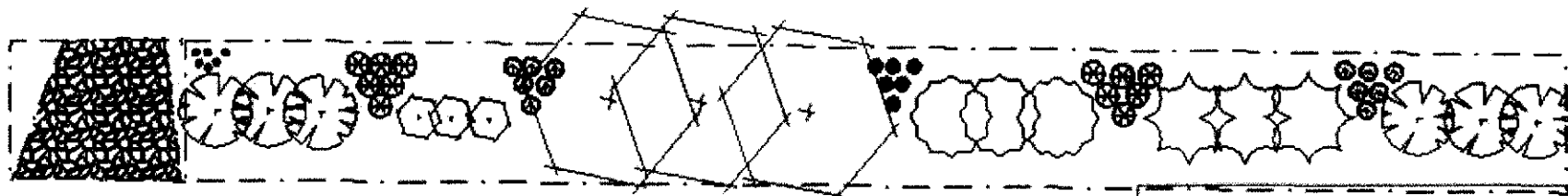
ROBERT EMERSON HARRIS
P.L.S. NO. 37601
FOR AND BEHALF OF
GILLIANS LAND CONSULTANTS
www.gillians.com



SITE PLAN - EXISTING CONDITIONS
3199 E. 86TH AVENUE - A AND A OUTDOOR STORAGE
ADAMS COUNTY, COLORADO

Gillians
GILLIANS LAND CONSULTANTS
LAND SURVEYORS
ALABAMA SURVEYORS
ARIZONA SURVEYORS
ARIZONA CO. 0008-0008
www.gillians.com survey@gillians.com

DATE: 08/15/08
DRAWN: NAD
CHECKED: RY
SCALE: AS SHOWN
DATE: 1-3-2017
SCALE: 1\"/>



Legend

	Common Name	Qty
Shrub, Deciduous		
	Cistena Plum	12
	Lilac, Katherine Havemeyer	12
	Rose, Nearly Wild	6
	Viburnum, Snow ball	6
Tree, Deciduous		
	Catalpa	3
	Chestnut Tree	3
	Hackberry	6
	Maple, Globe Norway	3
	Oak, Red	3

Revision #.	Scale:	Landscape Plan: 1	Landscape Design by: Doug Ferguson
Date: 5/7/2018	1:200	A & A Outdoor Storage LLC.	Martinson Services



Development Review Team Comments

Date: 3/21/2017

Project Number: RCU2017-00005

Project Name: A&A OUTSIDE

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for a Conditional Use Permit application. The Development Review Team asks that you address outstanding comments to better ensure that you are meeting the County's Development Standards and Regulations. Please submit with the attached Resubmittal Form. Please contact the case manager if you have any questions:

Commenting Division: Building Review

Name of Reviewer: Justin Blair

Date: 02/22/2017

Email: jblair@adcogov.org

Complete

Commenting Division: Environmental Analyst Review

Name of Reviewer: Jen Rutter

Date: 02/22/2017

Email: jrutter@adcogov.org

Complete

ENV1. To prevent runoff from the site, I recommend improving the vegetative buffer by ensuring the landscaping is alive and in the appropriate proportions, as required for a parcel this size.

Commenting Division: Parks Review

Name of Reviewer: Aaron Clark

Date: 02/10/2017

Email: aclark@adcogov.org

No Comment

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 03/20/2017

Email: gbarnes@adcogov.org

Complete

PLN01: The property at 3199 E. 86th Avenue is approximately five acres in area. The subject property is zoned Industrial-1 (I-1), and outdoor storage exceeding 100% of building area requires a conditional use permit in the I-1 zone.

PLN02: Outdoor storage uses require a screen fencing to limit views from off site. The fence is required to be a minimum of 6 feet in height, and a maximum of 8 feet. Any storage of materials, which exceeds the height of the fence will require an additional conditional use permit (CUP). Based on the information provided, I believe a second CUP is required. A fee of \$500 is required for additional CUPs with non-residential use.

PLN03: The existing entrance gate on the property does not eliminate views into the site. Screen fencing (including gates) is a requirement.

PLN04: Based on the site plan provided, it appears that the existing fence is within a water easement. Please confirm that you have received permission from the easement owner to locate a fence in this area.

PLN05: All vehicle parking areas shall be covered with County-approved surfaces, per Section 4-12-02-05 of the Development Standards and Regulations (DSR). Please revise your site plan to indicate that you are meeting this requirement.

PLN06: An improved landscape plan is required upon resubmittal. Please refer to Section 4-16-06 of the DSR for guidance. Specific details, such as a plant schedule, caliper and height of existing landscape material, a landscape maintenance plan, and dimensions and area of grasses or lawn, are all required as part of the landscape plan.

PLN07: Outdoor storage is considered an industrial use by the DSR. Industrial uses abutting residential uses require a Type-D buffer. This property abuts residential uses to the north and east. A 15' buffer with 3 trees for every 60 ft section is required. This landscaping should be irrigated, and located on the exterior portions of the fence.

PLN08: A streetscape buffer is required along the frontage of 86th Avenue. Existing landscaping may be utilized toward meeting this requirement. Several options are available for streetscape buffers, however based on the conditions of the site, I would recommend a 20-25' width with 1 tree and 2 shrubs for every 40' section.

PLN09: Adams County landscape standards require that 10% of a development site be landscape. All landscape areas require irrigation, a minimum of 75% living material, and proper maintenance. The aforementioned required buffers will allow you to meet this threshold without further landscaping on the site.

There is an existing shed on the site that does not meet the required setbacks for the I-1 zone district. This shed will need to be relocated. This property requires a minimum 50' front setback and minimum 15' setback from other property lines.

PLN10: How is garbage and waste removal managed on the property?

PLN11: This property is located in an area that is subject to the Adams County Southwest Area Framework Plan and Welby Subarea Plan. The goals of the Welby Subarea Plan include the promotion of economic development, creation of a vibrant neighborhood, and stewardship of a clean and healthy environment. This property is located within the Mixed-Use Neighborhood future land-use area. Nonresidential uses are expected in this area, however they are intended to be compatible with residential uses. This property has been designated as part of the East Welby neighborhood. This neighborhood has development potential based on proximity to transit and available waterways. The subject property is less than a half-mile from the 88th Avenue N-Line Transit Station, and within 1,500 ft. of the N-Line rail corridor. The N-Line is expected to be in 2018.

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 03/20/2017

Email: gbarnes@adcogov.org

Resubmittal Required

PLN12: CUPs are expected to meet the criteria for approval found in Section 2-02-08-06 of the DSR. This criteria includes, consistency and compliance with the purpose and language of the development standards, consistency with the County's Comprehensive Plan (including the Southwest Area Framework plan and the Welby Subarea Plan), and compatibility with the surrounding area. The aforementioned comments and suggestions will guide your proposed development toward better meeting the criteria for approval.

PLN13: A site inspection was performed on March 14, 2017. Litter and garbage was found strewn about the street frontage of 86th Avenue. The landscaping buffer along 86th was inadequate, as landscaping did not meet minimum size requirements. Additionally, portions of the fence were in disrepair.

Commenting Division: ROW Review

Name of Reviewer: Marissa Hillje

Date: 03/06/2017

Email:

Pending

ROW1) No recorded easements on property

ROW2) E 86th Ave appears to have more than 60' of ROW. Need more research to confirm.

Engineering Comments

Greg Labrie

glabrie@adcogov.org

720-523-6824

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0602H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required.

ENG2: The project site is not located in a NRCO district. An environmental assessment is not required.

ENG3; The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is within the County's MS4 Stormwater Permit area. In the event that the disturbed area of the site exceeds 1 acre the applicant shall be responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR-030000.

Eng4: The traffic impact letter submitted by the applicant has met the Adams County Development Standards and Regulations.

ENG5: Applicant will be required to use the existing access to the site. No new access will be allowed.

ENG6: The applicant will be required to dedicate 30 feet of right-of-way along 86th Avenue. This additional right-of-way will support the land requirements for the installation of the Hoffman Storm Drainage Facility and improvements to the public right-of-way along 86th Avenue.



Development Review Team Comments

Date: 8/16/2017

Project Number: PRC2017-00005

Project Name: A&A OUTSIDE

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for the Conceptual Review meeting and applicable to the submitted documents only. The Development Review Team review comments may change if you provide different information during the scheduled Conceptual Review meeting date. Please contact the case manager if you have any questions:

Commenting Division: Building Review

Name of Reviewer: Justin Blair

Date: 07/18/2017

Email: iblair@adcogov.org

Complete

Commenting Division: Engineering Review

Name of Reviewer: Greg Labrie

Date: 08/01/2017

Email: glabrie@adcogov.org

Complete

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0602H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required.

ENG2: The project site is not located in a NRCO district. An environmental assessment is not required.

ENG3; The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is within the County's MS4 Stormwater Permit area. In the event that the disturbed area of the site exceeds 1 acre the applicant shall be responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR-030000.

Eng4: The traffic impact letter submitted by the applicant has met the Adams County Development Standards and Regulations.

ENG5: Applicant will be required to use the existing access to the site. No new access will be allowed.

ENG6: The applicant will be required to dedicate 30 feet of right-of-way along 86th Avenue. This additional right-of-way will support the land requirements for the installation of the Hoffman Storm Drainage Facility and improvements to the public right-of-way along 86th Avenue.

Commenting Division: Environmental Analyst Review

Name of Reviewer: Jen Rutter

Date: 07/19/2017

Email: irutter@adcogov.org

No Comment

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 08/16/2017

Email: gibarnes@adcogov.org

Resubmittal Required

PLN01: The resubmitted landscape plan is difficult to read. The scale is very small, and the symbols are not very large. I have serious concerns over the quality landscaping in the streetscape buffer. Please provide a landscape maintenance plan and a higher-quality landscape plan that can be adequately reviewed.

PLN02: I did not see a response regarding the fencing location in the water easement. Please let me know if this was missed.

PLN03: Please be aware that right-of-way dedication will affect landscaping and fencing along the roadway. Engineering comments should be addressed first, before solid plans for landscaping and fencing are laid out.

Commenting Division: ROW Review

Name of Reviewer: Marissa Hillie

Date: 07/18/2017

Email: mhillie@adcogov.org

Complete

Greg Barnes

From: Loeffler - CDOT, Steven [steven.loeffler@state.co.us]
Sent: Wednesday, August 16, 2017 2:44 PM
To: Greg Barnes
Subject: PRC2017-00005, A&A Outside Storage

Greg,

I have reviewed the referral named above requesting a CUP for outdoor storage in excess of 100% of the building area and a CUP for items stacked above the height of the fence, on property located at 3199 E. 86th Ave. and have no objections.

Thank you for the opportunity to review this referral.

Steve Loeffler
Permits Unit



P 303.757.9891 | F 303.757.9886
2000 S Holly Street, Denver, CO 80222
steven.loeffler@state.co.us | www.codot.gov | www.cotrip.org



August 10, 2017

Greg Barnes
Adams County Department of Community and Economic Development
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601

RE: A&A Outdoor Storage, RCU2017-00005, 3199 E. 86th Avenue
TCHD Case No. 4498

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the resubmittal for a Conditional Use Permit (CUP) renewal for outdoor vehicle storage at 3199 E. 86th Avenue. Tri-County Health Department (TCHD) staff previously reviewed the application for the CUP and responded in letters dated March 13, 2017 and July 26, 2017 with the comments included below. TCHD has no further comments.

Vector Control - Storage

Rodents such as mice and rats carry diseases which can be spread to humans through contact with rodents, rodent feces, urine, or saliva, or through rodent bites. Items stored on the ground, tightly packed, and rarely moved provide potential harborage for rodents. Due to the variety of items to be potentially stored at this site, TCHD recommends that the applicant create a plan for regular pest control. Information on rodent control can be found at <http://www.tchd.org/400/Rodent-Control>

Fugitive Dust

Exposure to air pollution is associated with a number of health problems including asthma, lung cancer, heart disease, and low birth weight. The business being operated on an unpaved lot may contribute to increased fugitive dust emissions. We recommend that the applicant utilize all available methods to minimize fugitive dust. Control measures or procedures that may be employed include, but are not limited to, watering, chemical stabilization, and carpeting the lot with aggregate. The applicant proposes a gravel surface for the business, which should provide sufficient dust control.

Pollution Prevention

Parked vehicles have the potential to leak fluids such as fuels, antifreeze, brake fluids, and cleaning agents. For the safety of site workers and the public, we recommend that the applicant adopt any of the following practices that are not already in place:

Inspect each vehicle for potential leaks. The inspection should be conducted over an impervious area, e.g., a concrete slab with curbs, where spills and leaks will be contained and will not infiltrate into the ground. In addition, drip pans should be placed under leaking

vehicles, and absorbents should be on hand to clean up fluid leaks or spills that might occur.

- 1) Develop a spill response plan to promptly repair any detected leaks. If a leak cannot be repaired, completely drain all fluid(s) from the vehicle before placing it in storage.
- 2) Develop a plan to recover and either recycle or properly dispose of waste automotive fluids and cleaning agents. Waste fluid management should include the following:
 - a) Collection and recycling of waste petroleum-based products including used oil, transmission and brake fluids, and radiator coolants;
 - b) Placement of these fluids in Department of Transportation (DOT) approved waste receptacles;
 - c) Disposal of all waste fluids in accordance with applicable federal, state and local regulations;
 - d) Place absorbents and rags used to clean up spills in DOT approved receptacles, store them so as to prevent fire hazards, and dispose of them regularly in accordance with applicable federal, state and local regulations.

Please feel free to contact me at 720-200-1575 or kboyer@tchd.org if you have any questions on TCHD's comments.

Sincerely,



Kathy Boyer, REHS
Environmental Health Specialist III

cc: Sheila Lynch, Monte Deatrich, TCHD



March 13, 2017

Greg Barnes
Adams County Department of Community and Economic Development
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601

RE: A&A Outdoor Storage, RCU2017-00005, 3199 E. 86th Avenue
TCHD Case No. 4291

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the Conditional Use Permit renewal for outdoor vehicle storage at 3199 E. 86th Avenue. Tri-County Health Department (TCHD) staff reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design, and has the following comments.

Vector Control - Storage

Rodents such as mice and rats carry diseases which can be spread to humans through contact with rodents, rodent feces, urine, or saliva, or through rodent bites. Items stored on the ground, tightly packed, and rarely moved provide potential harborage for rodents. Due to the variety of items to be potentially stored at this site, TCHD recommends that the applicant create a plan for regular pest control. Information on rodent control can be found at <http://www.tchd.org/400/Rodent-Control>

Fugitive Dust

Exposure to air pollution is associated with a number of health problems including asthma, lung cancer, heart disease, and low birth weight. The business being operated on an unpaved lot may contribute to increased fugitive dust emissions. We recommend that the applicant utilize all available methods to minimize fugitive dust. Control measures or procedures that may be employed include, but are not limited to, watering, chemical stabilization, and carpeting the lot with aggregate. The applicant proposes a gravel surface for the business, which should provide sufficient dust control.

Pollution Prevention

Parked vehicles have the potential to leak fluids such as fuels, antifreeze, brake fluids, and cleaning agents. For the safety of site workers and the public, we recommend that the applicant adopt any of the following practices that are not already in place:

Inspect each vehicle for potential leaks. The inspection should be conducted over an impervious area, e.g., a concrete slab with curbs, where spills and leaks will be contained and will not infiltrate into the ground. In addition, drip pans should be placed under leaking

vehicles, and absorbents should be on hand to clean up fluid leaks or spills that might occur.

- 1) Develop a spill response plan to promptly repair any detected leaks. If a leak cannot be repaired, completely drain all fluid(s) from the vehicle before placing it in storage.
- 2) Develop a plan to recover and either recycle or properly dispose of waste automotive fluids and cleaning agents. Waste fluid management should include the following:
 - a) Collection and recycling of waste petroleum-based products including used oil, transmission and brake fluids, and radiator coolants;
 - b) Placement of these fluids in Department of Transportation (DOT) approved waste receptacles;
 - c) Disposal of all waste fluids in accordance with applicable federal, state and local regulations;
 - d) Place absorbents and rags used to clean up spills in DOT approved receptacles, store them so as to prevent fire hazards, and dispose of them regularly in accordance with applicable federal, state and local regulations.

Please feel free to contact me at 720-200-1575 or kboyer@tchd.org if you have any questions on TCHD's comments.

Sincerely,



Kathy Boyer, REHS
Environmental Health Specialist III

cc: Sheila Lynch, Monte Deatrich, TCHD

Greg Barnes

From: Bob Sullivan [Bob.Sullivan@cityofthornton.net]
Sent: Wednesday, March 01, 2017 5:38 PM
To: Greg Barnes
Subject: RE: For Review: A&A Outdoor Storage (RCU2017-00005)

The Thornton Fire Department does not have any comments regarding this submittal.

Bob Sullivan

Interim Fire Marshal
Thornton Fire Department
9500 Civic Center Drive
Thornton, CO 80229

Office: 303-538-7651
Fax: 303-538-7660
Email: bob.sullivan@cityofthornton.net

www.cityofthornton.net



From: Greg Barnes [<mailto:GJBarnes@adcogov.org>]
Sent: Friday, February 24, 2017 4:34 PM
To: Greg Barnes <GJBarnes@adcogov.org>
Subject: For Review: A&A Outdoor Storage (RCU2017-00005)

Case Name: A&A OUTSIDE STORAGE
Case Number: RCU2017-00005

The Adams County Planning Commission is requesting comments on the following request: **Conditional Use Permit application for outdoor storage in excess of 100% of the building area.**

This request is located at 3199 E 86th Avenue. The Assessor's Parcel Number is 0171925200021.

Applicant Information: Hutchinson Law Firm
ROBERT HUTCHINSON
3199 E 86TH AVE
DENVER, CO 80202

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 (720)

523-6800 **by 03/20/2017** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

LEGAL DESCRIPTION

A Parcel Of Land Being A Portion Of The Northeast Quarter Of The Northwest Quarter Of Section 25, Township 2 South, Range 68 West Of The 5th Principal Meridian, County Of Adams, State Of Colorado, Described As Follows:

Commencing At The Southeast Corner Of Said Northeast Quarter Of The Northwest Quarter Of Section 25; Thence Along The Easterly Line Of Said Northeast Quarter Of The Northwest Quarter Quarter Of Section 25 North 00 Degrees 10 Minutes 41 Seconds East 61.50 Feet To A Line Parallel With And 61.50 Feet Northerly, As Measured At Right Angles, From The South Line Of Said Northeast Quarter Of The Northwest Quarter Of Section 25;

Thence Along Said Parallel Line North 89 Degrees 28 Minutes 22 Seconds West 80.00 Feet To The True Point Of Beginning;

Thence Continuing Along Said Parallel Line North 89 Degrees 28 Minutes 22 Seconds West 680.00 Feet To The Easterly Line Of That Parcel Of Land Shown On The Land Survey Plat Prepared By M. Douglas Hoos Ls 27269, Signed, Sealed And Dated March 13, 1995; Thence Along Said Easterly Line North 00 Degrees 31 Minutes 38 Seconds East 321.58 Feet To The Northeast Corner Of Said Parcel Of Land;

Thence South 89 Degrees 16 Minutes 03 Seconds East 678.06 Feet To A Line Parallel With And 80.00 Feet Westerly, As Measured At Right Angles, From The Easterly Line Of Said Northeast Quarter Of The Northwest Quarter Of Section 25;

Thence Along Said Parallel Line South 00 Degrees 10 Minutes 41 Seconds West 319.15 Feet To The True Point Of Beginning, County Of Adams, State Of Colorado.

Thank you for your review of this case.



Greg Barnes
Planner II, Community and Economic Development
ADAMS COUNTY, COLORADO
4430 S. Adams County Parkway
1st Floor, Suite W2000A
Brighton, CO 80601-8216
O: 720-523-6853 | gjbarnes@adcogov.org
www.adcogov.org

Greg Barnes

From: George, Donna L [Donna.L.George@xcelenergy.com]
Sent: Wednesday, August 09, 2017 1:32 PM
To: Greg Barnes
Subject: RE: For Review: A&A Outside Storage (PRC2017-00005)

Hi Greg,

My previous response dated March 15, 2017 applies to this second referral for this project.

Thank you,

Donna George

Xcel Energy

Contract Right-of-Way Referral Processor | Right of Way and Permits

P: 303-571-3306

donna.l.george@xcelenergy.com

From: Greg Barnes [<mailto:GJBarnes@adcogov.org>]

Sent: Tuesday, July 25, 2017 1:53 PM

To: 'gpreston@acfpd.org'; 'paul.lee@state.co.us'; 'patrick.j.pfaltzgraff@state.co.us'; 'brandyn.wiedrich@centurylink.com'; 'Andrew.Todd@state.co.us'; 'developmentsubmittals@cityofthornton.net'; 'steven.loeffler@state.co.us'; 'joe.padia@state.co.us'; 'eliza.hunholz@state.co.us'; 'thomas_lowe@cable.comcast.com'; Charlotte Ciano; 'CSIMMONDS@MWRD.DST.CO.US'; 'james@nwsd.com'; 'chris.quinn@rtd-denver.com'; 'firedept@cityofthornton.net'; 'landuse@tchd.org'; 'caschow@up.com'; 'jemashek@up.com'; George, Donna L

Subject: For Review: A&A Outside Storage (PRC2017-00005)

XCEL ENERGY SECURITY NOTICE: This email originated from an external sender. Exercise caution before clicking on any links or attachments and consider whether you know the sender. For more information please visit the Phishing page on XpressNET.

The Adams County Planning Commission is requesting comments on the following requests: **Conditional Use Permit application for outdoor storage in excess of 100% of the building area, and a Conditional Use Permit for items stacked above the height of the fence.**

An original notice was mailed on February 27, 2017 regarding the request for outside storage. The request has been modified to include the request for stacking height. If you made comments previously, and would like for the previous comments to apply to the new request, please let me know.

This request is located at 3199 E 86th Avenue. The Assessor's Parcel Number is 0171925200021.

Applicant Information: Hutchinson Law Firm
ROBERT HUTCHINSON
3199 E 86TH AVE
DENVER, CO 80202

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 (720) 523-6800 by 08/16/2017 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.



Greg Barnes

Planner II, *Community and Economic Development*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway

1st Floor, Suite W2000A

Brighton, CO 80601-8216

o: 720-523-6853 | gjbarnes@adcogov.org

www.adcogov.org

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Right of Way & Permits
1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571.3284
donna.l.george@xcelenergy.com

March 15, 2017

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Greg Barnes

Re: A&A Outdoor Storage, Case # RCU2017-00005

Public Service Company of Colorado (PSCo) has reviewed the plans for **A&A Outdoor Storage** and has **no apparent conflict**.

Should the project require any new gas or electric service, the property owner/developer/contractor must contact the **Builder's Call Line** at 1-800-628-2121 or <https://xcelenergy.force.com/FastApp> (*register*, application can then be tracked) to complete the application process. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

If you have any questions about this referral response, please contact me at (303) 571-3306.

Donna George
Contract Right of Way Referral Processor
Public Service Company of Colorado

Greg Barnes

From: Allison Balsley [abalsley@mcclone.net]
Sent: Wednesday, October 10, 2018 1:04 PM
To: Greg Barnes
Subject: Case #PRC2017-00005

From McClone Construction Company (3431 E 86th Avenue) – We have no objections to this permit.

Thank you,



Allison Balsley, Office Manager
O (720) 644-6246 | C (720) 393-9980

Jessica Clay
8411 Garfield Way
Thornton, CO 80229

August 7, 2017: Comments regarding: 3199 E. 86th Ave. Storage Area

I am the individual who responded in the past to request for comments and mistakenly thought the house and storage area to the east were part of 3199 E. 86th Ave. It was not apparent from the street that there is a fence between the two properties and I did look when I made my first complaint. However, my complaints about the property at 3199 E. 86th Ave. are the same. Both of these properties are being used for storage as well as trucking companies. I believe the county has been misled. It's obvious that storage is being done, which I don't object to. And if you received no complaints in the past, that's because until recently it was just storage. But now the semi -trucks and trailers, which are also parked there, enter and exit this property (both properties in fact) and have a difficult time pulling onto 86th Ave. As for allowing more height on stored items, I do object, because it will make this property more of an eye-sore. I'm surprised you haven't received recent complaints because residents here have been verbal about it with each other and some say they have complained.

I realize this is supposed to be a response to the height of items in a "storage" facility, and the county may consider a "storage area" harmonious to the area, but it is actually also used as a trucking company. And when it comes to trucking companies, the county has changed what was once a quiet neighborhood with single homes, horses and agriculture to noisy, dirty, dangerous and unattractive truck storage. The air quality is affected daily by diesel exhaust fumes and the noise of air brakes is loud and annoying. The surrounding streets, including 87th Ave, Steele Street and 78th Ave. to Washington are badly damaged by semi trucks. The damage has worsened so much the last few months that the roads are rippled, the shoulders caved in and corners collapsing. Sometimes the only safe place to drive is towards the center of the road.

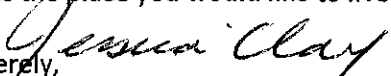
Semi trucks in general do not obey the speed limit. I have been run off the road at least six times, by trucks crossing over the center line and have had too many close calls to even estimate. I have seen passenger vehicles sandwiched between semi truckers, and tailgated so closely it looks like the semis are being towed. It's gotten so bad that when I see semis in the distance and know that we will meet along the S curve north of 78th Ave., I pull onto the shoulder and stop until they pass to avoid passing oncoming trucks so closely. That little white line in the center of the road does nothing to protect passenger vehicles, especially when these truck drivers routinely roar past between 20 and 30 mph over the speed limit.

Maybe the county believes those who have purchased properties in Riverdale Farm (just south of this property between 86th and 84th Drives) have such low standards that surrounding us with trucking companies is acceptable. It isn't. I realize that "trailer parks" have a negative connotation. Riverdale Farm is the only low income housing available to many of us. And many of us take a great deal of pride in our homes and the ownership of our land.

This area was once a little "jewel" with horses and wildlife. The beautiful Platte River is close by but it isn't safe to ride a bike or even walk along the road. The open space, the agriculture and the equestrian nature of Steele Street should have been cherished and preserved. It's a shame that it has been downgraded to one large semi truck parking lot. This is now a trashy and disgusting area to live in.

Honestly, each of you deciding this was a good idea should stand along the side of the road and ask yourselves if this is the place you would like to live.

Sincerely,



Jessica Clay @ 303-286-0337, e-mail RFwatchdog@aol.com

Greg Barnes

From: CenturyLink Customer [ggmacoonts@q.com]
Sent: Sunday, March 19, 2017 7:57 PM
To: Greg Barnes
Cc: Steve O'Dorisio
Subject: Case Name A&A OUTSIDE STORAGE CASE NUMBER RCU-2017-0005

Mr. Greg Barnes
Case Manager

Thank You for asking for the comments of the 285 Property owners in the Riverdale Farm Community in regards to the above mentioned Conditional use application.

Lets start with page 3 of your letter.

Paragraph 1. You forgot to mention Riverdale Farm is located on the south east corner of Steele. St. about a half block south. With 285 Homes.

Paragraph2. I have personally made objections about the traffic ALL of theses supposed outside storage areas have caused and how all these Large semis , rock haulers, cement trucks and other large construction equipment have destroyed the roads and have made them a safety hazard.

Paragraph 3. In this paragraph there is nothing that is correct starting with " does not generate excessive to the amount of vehicles per day'

Paragraph 4. Nothing correct about this paragraph either. You are more than welcome to come set on the chairs and bench in my front yard or if you want front row seats there are picnic tables in the parks bordering Steele St and spend the day listening and smelling supposed non existence nuisances. Remember the people that live here get this 7days a week and 12 months a year not just to do a report. I know Adams County does not like to listen to the people just the corporations because they spend less money on industries than residential.

Second paragraph I think you have forced the private sector and there uses out of here in favor of the large equipment.

Paragraph 5. Do you not consider the damage to the roads (Welby RD., 86th Ave, and Steele Streets) off site impact and I am not talking about "proposed projects" because I will be long gone before any of those happen including putting Steele St. through from 86th to 88th. Ten years ago that was going to happen and it still has not also how do you know that all those Semi trailers and shipping containers donot have anything in them? This morning when I came by there someone was working on a van in there and more than once someone has been working on one thing or another. What if this person needs to use a none existent restroom or there is a fire and there is hazardous material that causes an explosion? This is not exclusive to A&A but all the outside storage that has about gobbled up every bit of vacant land in this area.

Paragraph 3 of #6. This site has become an Eyesore in the last two to three years, What was storage for campers, boats and a few buses is now an unsightly junk yard of large trucks, Semi trailers old buses and other large equipment that lurks over the privacy fence and what was a quiet storage is a noisy constant coming and going of all these trucks etc. causing traffic to have to stop and sometimes having to back up so the large trucks . get in and out the drives and get around the street corners while they break down the corners leaving large chuck holes.

7 paragraph. Incorrect. Here is this thing about traffic again. Next is the thing about the fencing no longer

conceals this eyesore .

8. This area is now protected by Adams County Fire protection district.

I could go on but this is getting repetitive. Bottom line is WAY too much traffic on streets that were not built for such traffic, the storage is now an eyesore. When streets are widened, not just planned but are finished with sidewalks, speed bumps, school bus stops off street, stoplight or round about at 86th and Steele and a rail road crossing gate at 8000 Steele. Then would be the time to talk about renewing conditional use permit for A&A Storage or any other of the numerous out side storage on 86th and on Steele. Thanks for finally deciding for our comments.

Please let me know on your decision of this.

Thank You
Mary Coonts
8420 Adams Way
Welby, CO 80229
303-480-1931

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Greg Barnes

From: Deb Martin [soarwithhim@hotmail.com]
Sent: Monday, October 15, 2018 4:42 PM
To: Greg Barnes
Subject: A&A Outside Storage - Case# PRC2017-00005

Greg,

I do not have issue with this request to store items above the height of the fence

thanks
Deborah Martin
3360 E. 84th Dr.
Denver, CO 80229
Riverdale Farm Community

August 7, 2017

In regard to the storage area at 3199 E 86th Ave. A and A outside storage:

How can anyone call this a storage area when big rigs (trucks) come and go from this area every single day. This is not a storage area. This is a truck stop. Including the property on the east side with the house. Huge semis are coming and going at both these entrances 24-7. This is why 86th ave, and steel streets are always in such disrepair. These trucks are tearing these streets up causing huge pot holes that never seem to get fixed. Then there is the loud noise these vehicles make driving by Riverdale Farm. A home owners community.

As for storing items up to 11 feet high, they are already there. There are trucks higher than that now. Why seek a permit for something that's already there?

The entrance has not been paved. It is loose gravel. And the fence has not been painted or stained. Looks like someone is trying to pull the wool over your eyes.

MW. Riverdale Farm Resident

3250 E 85th Drive

November 3, 2018

Mr. Greg Barnes, Case Manager
Adams County Development Department
4430 South Adams County Parkway
Brighton, CO 806601-8218

RE: Case Name: A&A Outside Storage
Case Number; PRC2017-00005

Mr. Barnes:

This letter is in response to recent correspondence "Request for Comments" regarding the above case and case number.

Please note that we are responding as Homeowners in the Riverdale Farm Community, (yes we are a Community and not a mobile home park) 3250 E. 85th Drive, Thornton CO 80229, and as recent Board Members of the Homeowner Associate for the Riverdale Farm Community. Please note that as Board members we received input from other homeowners and tenants within the community and have included their input as well.

There is a concern from the Riverdale Farm Community regarding the proposed request to expand the storage as the current A&A Outside Storage has created a nuisance and eyesore for our Community in many ways:

Storage:

- 1) The Storage area was originally to be used for storage of recreational vehicles. The facility now includes storage for tractors, trailers and a multitude of different types of vehicles.
- 2) Transients are being allowed to sleep in vehicles within this storage area - witnessed
- 3) It has been witnessed stolen property has been taken into and stored within the storage area
- 4) The current facility is an eyesore for anyone traveling within the area. Trash and junk has been permitted within the storage area and is visible from the street

Traffic:

- 1) The traffic that is entering and exiting this facility on a day to day basis is not acceptable. Trips of residents that use to take 20 minutes are now taking 30-35 minutes and can delay the traffic at the stop lights for up to 3-5 lights to get through the intersection due to the truck traffic.

- 2) The drivers are disrespectful and careless putting normal traffic at risk. They pull out onto the street without giving consideration to other traffic making normal traffic to stop and allow them priority. Normal cars cannot compete with 18 wheelers.

Streets:

- 1) The streets in this area are not designed to be used for the heavy truck traffic. The local residents have had to deal with debris from the trucks, large pot holes, deep ruts, etc.
- 2) Truckers speed all of the time, do not stop at stop signs and put local traffic at risk.

Hazzard:

- 1) The truck traffic is a danger to students that walk to and from school. We have witnessed the trucks pulling to the side of the road almost hitting a child walking.
- 2) There is a danger for residents of the Riverdale Farm Community as many have almost been hit by a trucker when they exit the community, not to mention the school buses dropping off students

Crime:

- 1) The crime in this area has increased. It has been witnessed that many people that are stealing items, store in this storage area.
- 2) Police activity at the storage unit has been witnessed.

Our community consists of children, senior citizens and disabled residents and the increase in traffic, as well as the type of traffic is a hazard for all.

We are against any further expansion and/or areas of storage within this area. In fact, if anything, we would like to see what can be done to remove any existing storage within the area for safety reasons as this storage unit is surrounded by residents and the number one concern is the safety of the children and residents.

We say “no” to any Conditional Use Permits, now or ever and should not be renewed. They have abused the “Conditional Use Permit” and the County is doing nothing to enforce for the safety of our communities and the residents.

Tonya Rodriguez
8460 Harrison Way
Thornton CO 80229
303-288-5704

Lana Espinoza
8502 Monroe Court
Thornton CO 80229

Kenneth M. Trostel
8503 Monroe Court
Thornton CO 80229

Rhonda Vigil
8451 Madison Way
Thornton CO 80229

Peggy and Robert Jones
8502 Cook Court
Thornton CO 80229



Request for Comments

Case Name: A&A OUTSIDE STORAGE
Case Number: PRC2017-00005

October 3, 2018

The Adams County Planning Commission is requesting comments on the following requests: **Conditional Use Permit application for outdoor storage in excess of 100% of the building area, and a Conditional Use Permit for items stacked above the height of the fence.** This request is located at 3199 E 86th Avenue. The Assessor's Parcel Number is 0171925200021.

Applicant Information: Hutchinson Law Firm
ROBERT HUTCHINSON
3199 E 86TH AVE
DENVER, CO 80202

A previous notice was mailed on July 25, 2017 regarding the requests, but since the request has been inactive for more than twelve months, a new notice is being mailed. Any comments previously received are still on-file with the County. Please forward any new comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 (720) 523-6800 by 11/04/2018 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you for your information upon request.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Greg Barnes
Case Manager

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Erik Hansen
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Mary Hodge
DISTRICT 5



Public Hearing Notification

Case Name: A&A Outside Storage
Case Number: PRC2017-00005
Planning Commission Hearing Date: March 28, 2019 at 6:00 p.m.
Board of County Commissioners Hearing Date: April 23, 2019 at 9:30 a.m.

February 28, 2019

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following request: **Conditional Use Permit applications for: 1. Outdoor storage in excess of 100% of the building area; 2.) Material storage over fence height in the Industrial-1 zone district.** The proposed use will be Industrial. This request is located at 3199 East 86th Avenue on five acres. The Assessor's Parcel Number is 0171925200021.

Applicant Information: A AND A OUTSIDE STORAGE LLC
2137 S ZEPHYR STREET
LAKEWOOD CO 80227

The hearing will be held in the Adams County Hearing Room located at 4430 South Adams County Parkway, Brighton CO 80601-8216. This will be a public hearing and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. If you require any special accommodations (e.g., wheelchair accessibility, an interpreter for the hearing impaired, etc.), please contact the Adams County Community and Economic Development Department at (720) 523-6800 (or if this is a long distance call, please use the County's toll free telephone number at 1-800-824-7842) prior to the meeting date.

For further information regarding this case, please contact the Community and Economic Development Department, 4430 S Adams County Parkway, Brighton, CO 80601, 720-523-6800. This is also the location where maps and/or text certified by the Planning Commission may be viewed.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Greg Barnes
Case Manager

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Emma Pinter
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Mary Hodge
DISTRICT 5

PUBLICATION REQUEST

A&A OUTSIDE STORAGE

Case Number: PRC2017-00005

Planning Commission Hearing Date: 3/28/2019 at 6:00 p.m.

Board of County Commissioners Hearing Date: 4/23/2019 at 9:30 a.m.

Hearing Location: 4430 S. ADAMS COUNTY PKWY, BRIGHTON, CO 80601

Request: Conditional Use Permit applications for: 1. Outdoor storage in excess of 100% of the building area; 2.) Material storage over fence height in the Industrial-1 zone district.

Location: 3199 E 86th AVE

Parcel Number: 0171925200021

Case Manager: Greg Barnes

Applicant: ROBERT HUTCHINSON
3199 E 86TH AVE
DENVER, CO 80202

303-861-4242

Owner: A & A OUTSIDE STORAGE, LLC
2137 S ZEPHYR ST
LAKEWOOD, CO 80227

Legal Description:

SECT,TWN,RNG:25-2-68 DESC: PARC OF LAND IN THE NE4 NW4 OF SEC 25 DESC AS FOLS BEG AT THE SE COR OF SD NE4 NW4 OF SEC 25 TH N 00D 10M 41S E 61/50 FT TH N 89D 28M 22S W 80 FT TO THE TRUE POB TH CONT N 89D 28M 22S W 680 FT TH N 00D 31M 38S E 321/58 FT TO THE NE COR TH S 89D 16M 03S E 678/06 FT TH S 00D 10M 41S W 319/15 FT TO THE TRUE POB 4/99A



Referral Listing
Case Number RCU2017-00005
A&A OUTSIDE STORAGE

Agency	Contact Information
Adams County Development Services - Building	Justin Blair 4430 S Adams County Pkwy Brighton CO 80601 720-523-6825 JBlair@adcogov.org
Adams County Fire Protection District	Marshall Fire 8055 N. WASHINGTON ST. DENVER CO 80229 (303) 289-4683 gpreston@acfpd.org
CDPHE - AIR QUALITY	Paul Lee 4300 CHERRY CREEK DRIVE SOUTH DENVER CO 80246-1530 303-692-3127 paul.lee@state.co.us
CDPHE - WATER QUALITY PROTECTION SECT	Patrick Pfaltzgraff 4300 CHERRY CREEK DRIVE SOUTH WQCD-B2 DENVER CO 80246-1530 303-692-3509 patrick.j.pfaltzgraff@state.co.us
CDPHE SOLID WASTE UNIT	Andy Todd 4300 CHERRY CREEK DR SOUTH HMWMD-CP-B2 DENVER CO 80246-1530 303.691.4049 Andrew.Todd@state.co.us
Century Link, Inc	Brandyn Wiedreich 5325 Zuni St, Rm 728 Denver CO 80221 720-508-3724 720-245-0029 brandyn.wiedrich@centurylink.com
CITY OF THORNTON	JASON O'SHEA 9500 CIVIC CENTER DR THORNTON CO 80229 0
CITY OF THORNTON	JIM KAISER 12450 N WASHINGTON THORNTON CO 80241 720-977-6266

Agency	Contact Information
CITY OF THORNTON	Lori Hight 9500 CIVIC CENTER DRIVE THORNTON CO 80229 303-538-7670 developmentsubmittals@cityofthornton.net.
Code Compliance Supervisor	Eric Guenther eguenther@adcogov.org 720-523-6856 eguenther@adcogov.org
COLORADO DEPT OF TRANSPORTATION	Steve Loeffler 2000 S. Holly St. Region 1 Denver CO 80222 303-757-9891 steven.loeffler@state.co.us
COLORADO DIVISION OF WILDLIFE	JOSEPH PADIA 6060 BROADWAY DENVER CO 80216 303-291-7132 joe.padia@state.co.us
COLORADO DIVISION OF WILDLIFE	Eliza Hunholz Northeast Regional Engineer 6060 BROADWAY DENVER CO 80216-1000 303-291-7454 eliza.hunholz@state.co.us
COMCAST	JOE LOWE 8490 N UMITILLA ST FEDERAL HEIGHTS CO 80260 303-603-5039 thomas_lowe@cable.comcast.com
COUNTY ATTORNEY- Email	Christine Francescani CFrancescani@adcogov.org 6884
Engineering Department - ROW	Transportation Department PWE - ROW 303.453.8787
Engineering Division	Transportation Department PWE 6875
ENVIRONMENTAL ANALYST	Jen Rutter PLN 6841
MAPLETON SCHOOL DISTRICT #1	CHARLOTTE CIANCIO 591 E. 80TH AVE DENVER CO 80229 303-853-1015 charlotte@mapleton.us

Agency	Contact Information
METRO WASTEWATER RECLAMATION	CRAIG SIMMONDS 6450 YORK ST. DENVER CO 80229 303-286-3338 CSIMMONDS@MWRD.DST.CO.US
North Washington Street Water & San Dist	Joe James 3172 E 78th Ave Denver CO 80229 303-288-6664 jjames@nwsbsd.com 303-594-4392
NS - Code Compliance	Augusta Allen 720.523.6206
Parks and Open Space Department	Nathan Mosley mpedrucci@adcogov.org aclark@adcogov.org (303) 637-8000 nmosley@adcogov.org
REGIONAL TRANSPORTATION DIST.	CHRIS QUINN 1560 BROADWAY SUITE 700 DENVER CO 80202 303-299-2439 chris.quinn@rtd-denver.com
SHERIFF'S OFFICE: SO-HQ	MICHAEL McINTOSH nblair@adcogov.org; aoverton@adcogov.org; mkaiser@adcogov.org snielson@adcogov.org (303) 654-1850 aoverton@adcogov.org; mkaiser@adcogov.org; snielson@adcogov.org
Sheriff's Office: SO-SUB	SCOTT MILLER TFuller@adcogov.org, smiller@adcogov.org aoverton@adcogov.org; mkaiser@adcogov.org 720-322-1115 smiller@adcogov.org
THORNTON FIRE DEPARTMENT	Chad Mccollum 9500 Civic Center Drive THORNTON CO 80229-4326 303-538-7602 firedept@cityofthornton.net
TRI-COUNTY HEALTH DEPARTMENT	MONTE DEATRICH 4201 E. 72ND AVENUE SUITE D COMMERCE CITY CO 80022 (303) 288-6816 mdeatrich@tchd.org
TRI-COUNTY HEALTH DEPARTMENT	Sheila Lynch 6162 S WILLOW DR, SUITE 100 GREENWOOD VILLAGE CO 80111 720-200-1571 landuse@tchd.org
Tri-County Health: Mail CHECK to Sheila Lynch	Tri-County Health landuse@tchd.org

Agency	Contact Information
UNION PACIFIC RAILROAD	CHERYL SCHOW PO BOX 398 PAXTON NE 69155 308-239-2427 caschow@up.com
UNION PACIFIC RAILROAD	Jason Mashek 1400 DOUGLAS ST STOP 1690 OMAHA NE 68179 402-544-8552 jemashek@up.com
WELBY CITIZEN GROUP	NORMA FRANK 7401 RACE STREET DENVER CO 80229 (303) 288-3152
Xcel Energy	Donna George 1123 W 3rd Ave DENVER CO 80223 303-571-3306 Donna.L.George@xcelenergy.com
Xcel Energy	Donna George 1123 W 3rd Ave DENVER CO 80223 303-571-3306 Donna.L.George@xcelenergy.com

8440 ADAMS WAY TRUST
90 W 84TH AVE
DENVER CO 80260-4808

CITY OF THORNTON
9500 CIVIC CENTER DR
THORNTON CO 80229

8460 MADISON WAY TRUST
90 W 84TH AVE
DENVER CO 80260-4808

COUNTY OF ADAMS THE
4430 S ADAMS COUNTY PKWY
BRIGHTON CO 80601-8222

8496 COOK WAY TRUST
90 W 84TH AVE
DENVER CO 80260-4808

FREEMAN TIFFANY COLETTE
12813 EMERSON ST
THORNTON CO 80241-1803

A AND A OUTSIDE STORAGE LLC
2137 S ZEPHYR STREET
LAKEWOOD CO 80227

GEOLFOS TOD A
7340 W MEXICO DR
LAKEWOOD CO 80232-2101

ACTION ASPHALT AND SEALING INC
8431 BRIGHTON ROAD
COMMERCE CITY CO 80022

GRANILLO JESUS
822 DEUEL ST
FORT MORGAN CO 80701-2524

ADAMS COUNTY
4430 SOUTH ADAMS COUNTY PKWY
BRIGHTON CO 80601-8204

HART RONALD J
15840 RIVERDALE RD
BRIGHTON CO 80602-8217

BARBOUR DAVID
1312 NAKOMIS DR NE APT C
ALBUQUERQUE NM 87112-6006

HILL JAMES J
9110 WASHINGTON ST
THORNTON CO 80229-4305

BROWNLEE ROBERT D
13315 MONROE WAY
DENVER CO 80241-1438

HILL JAMES J AND
HILL KATHLEENA M
13830 FRANKLIN STREET
BRIGHTON CO 80602

CABANAS NORBERTO G AND
VARGAS RIOS JAVIER
6125 E 123RD WAY
BRIGHTON CO 80602-4607

HILL JAMES J AND
HILL KATHLEENA M
13830 FRANKLIN ST
BRIGHTON CO 80602-6358

CHAPARRAL VILLAGE ASSOCIATES LLC
ATTN OFFICE
320 N PARK VISA STREET
ANAHEIM CA 92806

HILL RACHEL K
13830 FRANKLIN ST
BRIGHTON CO 80602-6358

HOFFMAN CLARA ANN
3042 MOUNTAIN SHADOWS DR
WHEAT RIDGE CO 80215-6517

MUNOZ ROGELIO AND
MUNOZ ALICIA
PO BOX 39170
DENVER CO 80229

IGLESIA EVANGELICA CRISTIANA ESPIRITUAL
8525 STEELE ST
THORNTON CO 80229-4295

NEITENBACH BRYAN D AND
NEITENBACH KIM P
3855 E 151ST AVE
BRIGHTON CO 80602

JONES JUDY E
PO BOX 2026
COMMERCE CITY CO 80037

PETERS CRISTINE C
9212 ALBION ST
THORNTON CO 80229-4129

KOCOL THADDEUS M AND
KOCOL SUSAN M
11101 BRIGHTON ROAD
HENDERSON CO 80640

POPEJOY MICHAEL L AND
MC CABE EMMETT J
PO BOX 1029
ARVADA CO 80001-1029

KP PROPERTY LLC
1704 ASPEN ST
BROOMFIELD CO 80020-1322

RIVERDALE FARM HOMEOWNERS
ASSOCIATION INC
1776 S JACKSON ST STE 300
DENVER CO 80210-3803

LEGER INVESTMENTS LLC
C/O MERGER PROPERTY MANAGEMENT
303 S BROADWAY STE 200-350
DENVER CO 80209-1558

RODRIGUEZ VIDAL
6390 E 63RD PL
COMMERCE CITY CO 80022-3421

MARTINEZ DANIEL
PO BOX 5211
GYPSUM CO 81637-5211

SHARMA N K
2920 RANCH RESERVE LN
DENVER CO 80234-2686

MC KIM BRYAN
5026 BEAR PAW DR
CASTLE ROCK CO 80109-8610

SILVA MANUEL
3158 LARIMER STREET
DENVER CO 80205

MCCLONE CONSTRUCTION COMPANY
5170 HILLSDALE CIR STE B
EL DORADO HILLS CA 95762

STEEL STREET LIMITED
9873 W HAWAII DR
LAKEWOOD CO 80232-6311

MONTIDALE INVESTMENTS LLC
15187 MADISON ST
BRIGHTON CO 80602-7704

TARTARINI JAMES SR
4420 CRESTONE CIR
BROOMFIELD CO 80023-3900

THORNTON ESTATES LLC
31200 NORTHWESTERN HWY
FARMINGTON HILLS MI 48334-5900

BENAVIDES VINCENT AND
BENAVIDES KRYSTAL
OR CURRENT RESIDENT
8498 COOK WAY
DENVER CO 80229-4222

UNLIMITED MOTORS LLC
3902 S JOPLIN WAY
AURORA CO 80013-2766

BROWN BETTY/BUD AND
BROWN CINDY
OR CURRENT RESIDENT
8411 ADAMS WAY
DENVER CO 80229-4219

VIALPANDO MARCUS AND
CASTANEDA MANUEL
135 WINONA CT
DENVER CO 80219-1151

BROWN CINDY L
OR CURRENT RESIDENT
8430 ADAMS WAY
DENVER CO 80229-4220

VONDERWAHL JAMES
8029 S DUDLEY ST
LITTLETON CO 80128-8101

BYERS JEANETTE L
OR CURRENT RESIDENT
8503 COOK COURT
THORNTON CO 80229

WEINBERG CHARLES W
55 FOREST STREET
DENVER CO 80220

CASILLAS-LUEVANO MARGARITA
OR CURRENT RESIDENT
8437 COOK WAY
DENVER CO 80229-4223

WELBY ROAD COMPANY LLC
2140 S IVANHOE ST STE 100
DENVER CO 80222-5749

CHURCH ARTHUR N AND
CHURCH ROSEMARIE V
OR CURRENT RESIDENT
8555 MADISON CT
DENVER CO 80229-4224

WEST DONALD
12418 BELLAIRE DR
THORNTON CO 80241-2926

CONKLIN GEORGE A AND
CONKLIN VIDA
OR CURRENT RESIDENT
8534 MADISON CT
DENVER CO 80229-4224

WESTSIDE WELBY LLC
4100 E MISSISSIPPI AVE STE 500
GLENDALE CO 80246-3053

COONTS MARY
OR CURRENT RESIDENT
8420 ADAMS WAY
DENVER CO 80229-4220

WETMORE MICHAEL F
4835 GROVE STREET
DENVER CO 80221

CYCHOSZ STEVEN D AND
CYCHOSZ DIANA L
OR CURRENT RESIDENT
8504 MADISON CT
DENVER CO 80229-4224

YOUR ROAD HOME LLC
9110 WASHINGTON STREET
THORNTON CO 80229

DE DIOS PAYAN HERNANDEZ JUAN
OR CURRENT RESIDENT
8485 MADISON WAY
DENVER CO 80229-4225

FLORES JAVIER
OR CURRENT RESIDENT
8530 STEELE PL
DENVER CO 80229-4295

LE BARON ALLEN
OR CURRENT RESIDENT
8552 COOK CT
DENVER CO 80229-4221

GARCIA KARLA
OR CURRENT RESIDENT
8471 ADAMS WAY
THORNTON CO 80229-4219

LUJAN SAUL AND
LUJAN BARBARA CHRISTINE
OR CURRENT RESIDENT
8452 COOK WAY
DENVER CO 80229

GARCIA MALCOM O
OR CURRENT RESIDENT
8460 ADAMS WAY
DENVER CO 80229-4220

MANFREDI LOUIS EDWARD
OR CURRENT RESIDENT
8491 COOK WAY
DENVER CO 80229-4223

GROSLEY JOY KIRSTEN AND
STONEHOCKER VICTORIA
OR CURRENT RESIDENT
8585 MADISON CT
DENVER CO 80229-4224

MARTINSON INVESTMENTS LLC
OR CURRENT RESIDENT
8640 WELBY RD
THORNTON CO 80229-5103

HENDERSON ANTHONY D
OR CURRENT RESIDENT
8580 ADAMS CT
DENVER CO 80229

MATTERN MARK
OR CURRENT RESIDENT
8550 ADAMS CT
DENVER CO 80229-4218

JOHNSTON LARRY D
OR CURRENT RESIDENT
8431 ADAMS WAY
DENVER CO 80229-4219

MC TAGGART GARY D
OR CURRENT RESIDENT
8583 COOK CT
THORNTON CO 80229-4221

JONES ROBERT L AND
JONES PEGGY SUE
OR CURRENT RESIDENT
8502 COOK CT
DENVER CO 80229-4221

MCKINLEY ADRIENNE/DAMRAUR LARRY AND
DAMRAUR EDITH
OR CURRENT RESIDENT
8565 STEELE PL
DENVER CO 80229-4295

KNOBLAUCH REJEANNA G
OR CURRENT RESIDENT
8494 ADAMS WAY
DENVER CO 80229-4220

MONTOYA KELLY G
OR CURRENT RESIDENT
8570 STEELE PLACE
THORNTON CO 80229

LAMANNA THOMAS E AND
LAMANNA DIANE L
OR CURRENT RESIDENT
8490 COOK WAY
DENVER CO 80229

MOWRY LANNY R
OR CURRENT RESIDENT
8447 COOK WAY
DENVER CO 80229

LAMMEY CLIFFORD D AND
LAMMEY CATHERINE O
OR CURRENT RESIDENT
8473 COOK WAY
DENVER CO 80229-4223

NEVAREZ MORA ORLANDO ALONSO AND
FLORES RAMOS KAREN
OR CURRENT RESIDENT
8530 ADAMS CT
THORNTON CO 80229-4218

PADILLA CORINE PATRICIA
OR CURRENT RESIDENT
8462 COOK WAY
DENVER CO 80229-4222

SANDERS JOHN W AND
SANDERS DARLENE
OR CURRENT RESIDENT
8441 ADAMS WAY
DENVER CO 80229-4219

PARILLA JAMES F
OR CURRENT RESIDENT
8505 MADISON CT
DENVER CO 80229-4224

SCHLITT ELLEN BETTCHER AND
SCHLITT KACEY
OR CURRENT RESIDENT
8523 COOK CT
DENVER CO 80229-4221

PERENKOVICH MARK A
OR CURRENT RESIDENT
8500 ADAMS COURT
DENVER CO 80229

SECCOMBE ROLAND L
OR CURRENT RESIDENT
8700 DEVONSHIRE BLVD
DENVER CO 80229-5167

PINON ELICEO
OR CURRENT RESIDENT
8550 STEELE PL
DENVER CO 80229-4295

SHAFFSTALL GARY B AND
SHAFFSTALL KAREN J
OR CURRENT RESIDENT
8472 COOK WAY
THORNTON CO 80229

RAMIREZ DAVID OREGEL
OR CURRENT RESIDENT
8463 COOK WAY
DENVER CO 80229-4223

SHAFFSTALL WILLIAM A
OR CURRENT RESIDENT
8482 COOK WAY
DENVER CO 80229-4222

REYNOLDS JODEE R
OR CURRENT RESIDENT
8490 ADAMS WAY
DENVER CO 80229-4220

SHIELS ROBERT J AND
SHIELS JAMIE L
OR CURRENT RESIDENT
8545 STEELE PL
DENVER CO 80229-4295

RIVERA SANJUANA
OR CURRENT RESIDENT
8481 ADAMS WAY
DENVER CO 80229-4219

SMITH DEVON BRADFORD
OR CURRENT RESIDENT
8456 COOK WAY
DENVER CO 80229-4222

ROSE DOUGLAS LE ROY
OR CURRENT RESIDENT
8553 MONROE CT
DENVER CO 80229

SMITH NANCY ANN HALL AND
SMITH LEIGH ELIZABETH
OR CURRENT RESIDENT
8553 COOK CT
DENVER CO 80229-4221

SANCHEZ DAVID D AND
SANCHEZ JOLINE I
OR CURRENT RESIDENT
8525 MADISON CT
DENVER CO 80229-4224

SPARKS NORMAN LEE JR AND
SPARKS SANDRA ANN
OR CURRENT RESIDENT
8497 MADISON WAY
DENVER CO 80229-4225

SANCHEZ DAVID D AND
SANCHEZ JOLINE I
OR CURRENT RESIDENT
8524 MADISON CT
DENVER CO 80229-4224

STRUNK JEFFERY L AND SANDRA D
OR CURRENT RESIDENT
8501 ADAMS CT
DENVER CO 80229-4218

SWANSON FAYE
OR CURRENT RESIDENT
8496 MADISON WAY
THORNTON CO 80229-4226

WOODS DWAYNE EMERSON
OR CURRENT RESIDENT
8510 STEELE PL
DENVER CO 80229-4295

TODOR DAVID MICHAEL
OR CURRENT RESIDENT
8533 COOK CT
DENVER CO 80229-4221

YANCY DEDRICK D
OR CURRENT RESIDENT
8450 ADAMS WAY
DENVER CO 80229-4220

VELASQUEZ NAYELI/PASCUAL KAREN AND
MARTINEZ ROCIO
OR CURRENT RESIDENT
8470 ADAMS WAY
DENVER CO 80229-4220

CURRENT RESIDENT
3250 E 85TH DR
DENVER CO 80229-4210

VETTER DEBRA JO
OR CURRENT RESIDENT
8466 COOK WAY
THORNTON CO 80229

CURRENT RESIDENT
8520 ADAMS CT
DENVER CO 80229-4218

WELSBY MARK ERVEN
OR CURRENT RESIDENT
8499 MADISON WAY
DENVER CO 80229

CURRENT RESIDENT
8541 ADAMS CT
DENVER CO 80229-4218

WELTON LAWRENCE R
OR CURRENT RESIDENT
8584 MADISON CT
DENVER CO 80229-4224

CURRENT RESIDENT
8581 ADAMS CT
DENVER CO 80229-4218

WILKERSON ROBERT G AND
WILKERSON KATHLEEN E
OR CURRENT RESIDENT
8585 STEELE PLACE
THORNTON CO 80229

CURRENT RESIDENT
8451 ADAMS WAY
DENVER CO 80229-4219

WILKINS JOSEPH K AND
WILKINS DANIELLE
OR CURRENT RESIDENT
8505 STEELE PL
THORNTON CO 80229-4295

CURRENT RESIDENT
8461 ADAMS WAY
DENVER CO 80229-4219

WILLIAMS GERALD A AND
WILLIAMS LINDA R
OR CURRENT RESIDENT
8491 ADAMS WAY
DENVER CO 80229-4219

CURRENT RESIDENT
8495 ADAMS WAY
DENVER CO 80229-4219

WISE ANTHONY E AND
WISE DEBORAH A
OR CURRENT RESIDENT
8421 ADAMS WAY
DENVER CO 80229

CURRENT RESIDENT
8440 ADAMS WAY
DENVER CO 80229-4220

CURRENT RESIDENT
8464 ADAMS WAY
DENVER CO 80229-4220

CURRENT RESIDENT
8483 COOK WAY
DENVER CO 80229-4223

CURRENT RESIDENT
8466 ADAMS WAY
DENVER CO 80229-4220

CURRENT RESIDENT
8493 COOK WAY
DENVER CO 80229-4223

CURRENT RESIDENT
8480 ADAMS WAY
DENVER CO 80229-4220

CURRENT RESIDENT
8497 COOK WAY
DENVER CO 80229-4223

CURRENT RESIDENT
8496 ADAMS WAY
DENVER CO 80229-4220

CURRENT RESIDENT
8535 MADISON CT
DENVER CO 80229-4224

CURRENT RESIDENT
8522 COOK CT
DENVER CO 80229-4221

CURRENT RESIDENT
8554 MADISON CT
DENVER CO 80229-4224

CURRENT RESIDENT
8532 COOK CT
DENVER CO 80229-4221

CURRENT RESIDENT
8461 MADISON WAY
DENVER CO 80229-4225

CURRENT RESIDENT
8582 COOK CT
DENVER CO 80229-4221

CURRENT RESIDENT
8475 MADISON WAY
DENVER CO 80229-4225

CURRENT RESIDENT
8496 COOK WAY
DENVER CO 80229-4222

CURRENT RESIDENT
8495 MADISON WAY
DENVER CO 80229-4225

CURRENT RESIDENT
8457 COOK WAY
DENVER CO 80229-4223

CURRENT RESIDENT
8583 MONROE CT
DENVER CO 80229-4227

CURRENT RESIDENT
8467 COOK WAY
DENVER CO 80229-4223

CURRENT RESIDENT
8525 STEELE PL
DENVER CO 80229-4295

CURRENT RESIDENT
8600 WELBY RD
DENVER CO 80229-5103

CURRENT RESIDENT
3600 E 88TH AVE LOT 106
THORNTON CO 80229-5202

CURRENT RESIDENT
8720 WELBY RD
DENVER CO 80229-5104

CURRENT RESIDENT
3600 E 88TH AVE LOT 107
THORNTON CO 80229-5202

CURRENT RESIDENT
8780 WELBY RD
DENVER CO 80229-5104

CURRENT RESIDENT
3600 E 88TH AVE LOT 108
THORNTON CO 80229-5202

CURRENT RESIDENT
3431 E 86TH AVE
THORNTON CO 80229-5200

CURRENT RESIDENT
3600 E 88TH AVE LOT 109
THORNTON CO 80229-5202

CURRENT RESIDENT
3600 E 88TH AVE LOT 100
THORNTON CO 80229-5202

CURRENT RESIDENT
3600 E 88TH AVE LOT 110
THORNTON CO 80229-5202

CURRENT RESIDENT
3600 E 88TH AVE LOT 101
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 111
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 102
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 112
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 103
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 113
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 104
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 79
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 105
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 80
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 81
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 91
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 82
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 92
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 83
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 93
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 84
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 94
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 85
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 95
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 86
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 96
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 87
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 97
THORNTON CO 80229-5202

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THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 98
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 89
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 99
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 90
THORNTON CO 80229-5202

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3600 E 88TH AVE LOT 175
THORNTON CO 80229-5203

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3600 E 88TH AVE LOT 176
THORNTON CO 80229-5203

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3600 E 88TH AVE LOT 186
THORNTON CO 80229-5203

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3600 E 88TH AVE LOT 177
THORNTON CO 80229-5203

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3600 E 88TH AVE LOT 187
THORNTON CO 80229-5203

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THORNTON CO 80229-5203

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THORNTON CO 80229-5203

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THORNTON CO 80229-5203

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THORNTON CO 80229-5203

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THORNTON CO 80229-5203

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3600 E 88TH AVE LOT 191
THORNTON CO 80229-5203

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3600 E 88TH AVE LOT 182
THORNTON CO 80229-5203

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THORNTON CO 80229-5203

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THORNTON CO 80229-5203

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3600 E 88TH AVE LOT 145
THORNTON CO 80229-5208

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3600 E 88TH AVE LOT 197
THORNTON CO 80229-5203

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3600 E 88TH AVE LOT 146
THORNTON CO 80229-5208

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3600 E 88TH AVE LOT 198
THORNTON CO 80229-5203

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3600 E 88TH AVE LOT 147
THORNTON CO 80229-5208

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3600 E 88TH AVE LOT 199
THORNTON CO 80229-5203

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3600 E 88TH AVE LOT 148
THORNTON CO 80229-5208

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3600 E 88TH AVE LOT 139
THORNTON CO 80229-5208

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3600 E 88TH AVE LOT 149
THORNTON CO 80229-5208

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3600 E 88TH AVE LOT 140
THORNTON CO 80229-5208

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3600 E 88TH AVE LOT 1
THORNTON CO 80229-5233

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3600 E 88TH AVE LOT 141
THORNTON CO 80229-5208

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3600 E 88TH AVE LOT 10
THORNTON CO 80229-5233

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3600 E 88TH AVE LOT 142
THORNTON CO 80229-5208

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3600 E 88TH AVE LOT 11
THORNTON CO 80229-5233

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3600 E 88TH AVE LOT 143
THORNTON CO 80229-5208

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3600 E 88TH AVE LOT 12
THORNTON CO 80229-5233

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3600 E 88TH AVE LOT 144
THORNTON CO 80229-5208

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3600 E 88TH AVE LOT 13
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THORNTON CO 80229-5233

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THORNTON CO 80229-5233

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THORNTON CO 80229-5233

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3600 E 88TH AVE LOT 29
THORNTON CO 80229-5233

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THORNTON CO 80229-5233

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THORNTON CO 80229-5233

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THORNTON CO 80229-5233

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THORNTON CO 80229-5233

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THORNTON CO 80229-5233

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THORNTON CO 80229-5233

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THORNTON CO 80229-5233

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THORNTON CO 80229-5233

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THORNTON CO 80229-5233

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THORNTON CO 80229-5233

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THORNTON CO 80229-5233

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THORNTON CO 80229-5233

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THORNTON CO 80229-5233

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THORNTON CO 80229-5233

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THORNTON CO 80229-5233

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THORNTON CO 80229-5233

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THORNTON CO 80229-5233

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THORNTON CO 80229-5233

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THORNTON CO 80229-5233

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3600 E 88TH AVE LOT 6
THORNTON CO 80229-5233

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3600 E 88TH AVE LOT 56
THORNTON CO 80229-5234

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THORNTON CO 80229-5233

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THORNTON CO 80229-5234

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THORNTON CO 80229-5234

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THORNTON CO 80229-5234

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3600 E 88TH AVE LOT 63
THORNTON CO 80229-5234

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3600 E 88TH AVE LOT 55
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THORNTON CO 80229-5234

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3600 E 88TH AVE LOT 78
THORNTON CO 80229-5234

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3600 E 88TH AVE LOT 69
THORNTON CO 80229-5234

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3600 E 88TH AVE LOT 114
THORNTON CO 80229-5235

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3600 E 88TH AVE LOT 70
THORNTON CO 80229-5234

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3600 E 88TH AVE LOT 115
THORNTON CO 80229-5235

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3600 E 88TH AVE LOT 71
THORNTON CO 80229-5234

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3600 E 88TH AVE LOT 116
THORNTON CO 80229-5235

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3600 E 88TH AVE LOT 72
THORNTON CO 80229-5234

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3600 E 88TH AVE LOT 117
THORNTON CO 80229-5235

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3600 E 88TH AVE LOT 73
THORNTON CO 80229-5234

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3600 E 88TH AVE LOT 118
THORNTON CO 80229-5235

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3600 E 88TH AVE LOT 74
THORNTON CO 80229-5234

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3600 E 88TH AVE LOT 119
THORNTON CO 80229-5235

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3600 E 88TH AVE LOT 75
THORNTON CO 80229-5234

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3600 E 88TH AVE LOT 120
THORNTON CO 80229-5235

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3600 E 88TH AVE LOT 121
THORNTON CO 80229-5235

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3600 E 88TH AVE LOT 131
THORNTON CO 80229-5235

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3600 E 88TH AVE LOT 122
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3600 E 88TH AVE LOT 132
THORNTON CO 80229-5235

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3600 E 88TH AVE LOT 123
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3600 E 88TH AVE LOT 133
THORNTON CO 80229-5235

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3600 E 88TH AVE LOT 124
THORNTON CO 80229-5235

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3600 E 88TH AVE LOT 134
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3600 E 88TH AVE LOT 125
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3600 E 88TH AVE LOT 126
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3600 E 88TH AVE LOT 136
THORNTON CO 80229-5235

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3600 E 88TH AVE LOT 127
THORNTON CO 80229-5235

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3600 E 88TH AVE LOT 137
THORNTON CO 80229-5235

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3600 E 88TH AVE LOT 128
THORNTON CO 80229-5235

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3600 E 88TH AVE LOT 138
THORNTON CO 80229-5235

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3600 E 88TH AVE LOT 129
THORNTON CO 80229-5235

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3600 E 88TH AVE LOT 150
THORNTON CO 80229-5236

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3600 E 88TH AVE LOT 130
THORNTON CO 80229-5235

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3600 E 88TH AVE LOT 151
THORNTON CO 80229-5236

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3600 E 88TH AVE LOT 152
THORNTON CO 80229-5236

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THORNTON CO 80229-5236

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3600 E 88TH AVE LOT 153
THORNTON CO 80229-5236

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3600 E 88TH AVE LOT 163
THORNTON CO 80229-5236

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3600 E 88TH AVE LOT 154
THORNTON CO 80229-5236

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3600 E 88TH AVE LOT 164
THORNTON CO 80229-5236

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3600 E 88TH AVE LOT 155
THORNTON CO 80229-5236

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3600 E 88TH AVE LOT 165
THORNTON CO 80229-5236

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3600 E 88TH AVE LOT 156
THORNTON CO 80229-5236

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3600 E 88TH AVE LOT 166
THORNTON CO 80229-5236

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3600 E 88TH AVE LOT 157
THORNTON CO 80229-5236

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3600 E 88TH AVE LOT 167
THORNTON CO 80229-5236

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3600 E 88TH AVE LOT 158
THORNTON CO 80229-5236

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3600 E 88TH AVE LOT 168
THORNTON CO 80229-5236

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3600 E 88TH AVE LOT 159
THORNTON CO 80229-5236

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3600 E 88TH AVE LOT 169
THORNTON CO 80229-5236

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3600 E 88TH AVE LOT 160
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3600 E 88TH AVE LOT 170
THORNTON CO 80229-5236

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3600 E 88TH AVE LOT 161
THORNTON CO 80229-5236

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3600 E 88TH AVE LOT 171
THORNTON CO 80229-5236

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3600 E 88TH AVE LOT 172
THORNTON CO 80229-5236

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3600 E 88TH AVE LOT 207
THORNTON CO 80229-5236

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3600 E 88TH AVE LOT 173
THORNTON CO 80229-5236

CURRENT RESIDENT
3600 E 88TH AVE LOT 208
THORNTON CO 80229-5236

CURRENT RESIDENT
3600 E 88TH AVE LOT 174
THORNTON CO 80229-5236

CURRENT RESIDENT
8600 STEELE ST
THORNTON CO 80229-5708

CURRENT RESIDENT
3600 E 88TH AVE LOT 200
THORNTON CO 80229-5236

CURRENT RESIDENT
3180 E 88TH AVE LOT 1
DENVER CO 80229-5709

CURRENT RESIDENT
3600 E 88TH AVE LOT 201
THORNTON CO 80229-5236

CURRENT RESIDENT
3180 E 88TH AVE LOT 10
DENVER CO 80229-5709

CURRENT RESIDENT
3600 E 88TH AVE LOT 202
THORNTON CO 80229-5236

CURRENT RESIDENT
3180 E 88TH AVE LOT 11
DENVER CO 80229-5709

CURRENT RESIDENT
3600 E 88TH AVE LOT 203
THORNTON CO 80229-5236

CURRENT RESIDENT
3180 E 88TH AVE LOT 12
DENVER CO 80229-5709

CURRENT RESIDENT
3600 E 88TH AVE LOT 204
THORNTON CO 80229-5236

CURRENT RESIDENT
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DENVER CO 80229-5709

CURRENT RESIDENT
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THORNTON CO 80229-5236

CURRENT RESIDENT
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DENVER CO 80229-5709

CURRENT RESIDENT
3600 E 88TH AVE LOT 206
THORNTON CO 80229-5236

CURRENT RESIDENT
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DENVER CO 80229-5709

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DENVER CO 80229-5717

CURRENT RESIDENT
3180 E 88TH AVE LOT 99
DENVER CO 80229-5717

CERTIFICATE OF POSTING



I, J. Gregory Barnes do hereby certify that I posted the property at 3199 East 86th Avenue on March 12, 2019 in accordance with the requirements of the Adams County Development Standards and Regulations.

A handwritten signature in black ink, appearing to read "J. Gregory Barnes".

J. Gregory Barnes



Community & Economic Development Department

4430 South Adams County Parkway,
1st Floor, Suite W2000
Brighton, CO 80601-8205
PHONE 720.523.6800 FAX 720.523.6998

MEMORANDUM

To: Planning Commission

From: J. Gregory Barnes, Planner II *JGB*

Subject: A&A Outside Storage / Case # PRC2017-00005

Date: March 22, 2019

If the Planning Commission does not concur with the Staff recommendation of Denial, the following findings may be adopted as part of a decision of Approval:

ALTERNATIVE RECOMMENDED FINDINGS FOR APPROVAL

1. The conditional use is permitted in the applicable zone district.
2. The conditional use is consistent with the purposes of these standards and regulations.
3. The conditional use will comply with the requirements of these standards and regulations, including but not limited to, all applicable performance standards.
4. The conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
5. The conditional use permit has addressed all off-site impacts.
6. The site is suitable for the proposed conditional use including adequate usable space, adequate access, and absence of environmental constraints.
7. The site plan for the proposed conditional use will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
8. Sewer, water, storm water drainage, fire protection, police protection, and roads are available and adequate to serve the needs of the conditional use as designed and proposed.

Recommended Conditions:

1. The conditional use permit shall expire on April 23, 2021 (2 years).
2. Only licensed and operational vehicles shall be permitted outdoors on the property.
3. A building permit application is required for all structures. The application shall include building elevations which are consistent with the building elevations approved for this conditional use permit depicting similar building materials, window and door openings, color, and scale.



Community & Economic Development Department

4430 South Adams County Parkway,
1st Floor, Suite W2000
Brighton, CO 80601-8205
PHONE 720.523.6800 FAX 720.523.6998

MEMORANDUM

4. Disposal of wastewater and fluids from RV holding tanks shall comply with the Tri-County Health Department requirements.
5. The outdoor storage use shall comply with all requirements mentioned in the Tri-County Health Department letter dated March 13, 2017
6. All outdoor parking surfaces shall be a hard surface, such as asphalt concrete, or other hard surface as approved by Adams County
7. Fugitive dust control mechanisms must be in place and functioning at all times, including weekends.
8. No maintenance or repair of vehicles will be allowed on the property.
9. The site shall not be used residentially, and no electrical service shall be connected to recreational vehicles stored on-site.

Recommended Note to the Applicant:

1. All applicable building, zoning, health, fire, and engineering requirements and codes shall be adhered to with this request.

A&A Outside Storage

PRC2017-00005

3199 East 86th Avenue

June 18, 2019

Board of County Commissioners Public Hearing
Community and Economic Development Department

Case Manager: Greg Barnes



Renewal Requests

1. Conditional Use Permit to allow outdoor storage in excess of 100% of building area on five acres in the Industrial-1 (I-1) zone district.
2. Conditional Use Permit to allow storage of material above the height of the screen fencing

Background

- 01/05/2009: Conditional Use Permit approved for outdoor storage
 - Several conditions of approval were required
- 04/23/2019: Applicant requested continuance from BoCC

AERIAL VIEW

E. 88th Ave.

East 86th Ave.

Welby Road



AERIAL VIEW



East 86th Ave.

Steele St.

E 86th Ave

Steele St

Criteria for Conditional Use

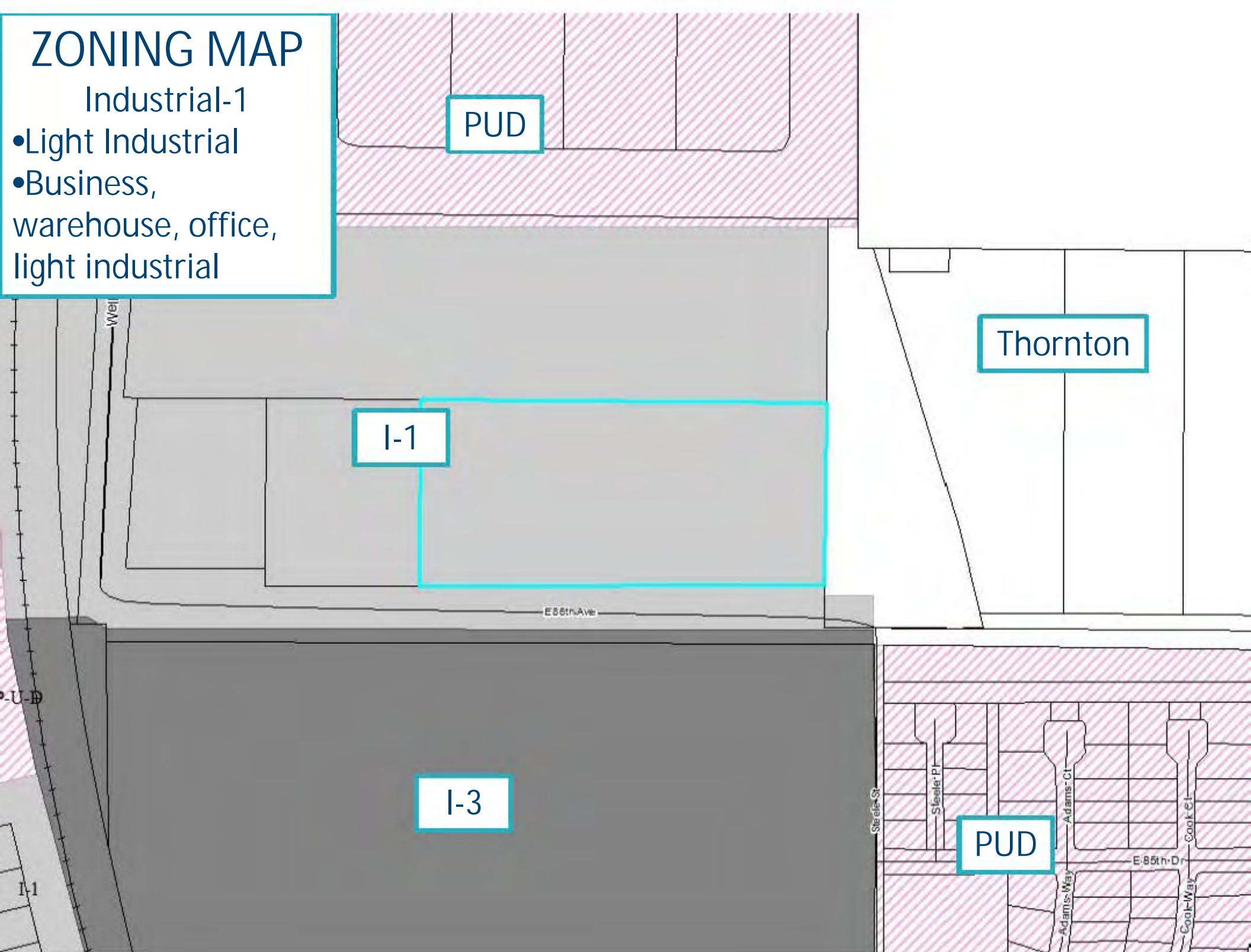
Section 2-02-08-06

1. Permitted in zone district
2. Consistent with regulations
3. Comply with performance standards
4. Harmonious & compatible
5. Addressed all off-site impacts
6. Site suitable for use
7. Site plan adequate for use
8. Adequate services

ZONING MAP

Industrial-1

- Light Industrial
- Business, warehouse, office, light industrial



FUTURE LAND USE MAP

Mixed-Use Neighborhood

- Mixed-use - residential, retail, and office
- Avoid uses incompatible with residential use

Thornton

Mixed-Use
Neighborhood

Mixed-Use
Employment

Urban
Residential

Welby Rd

E 86th Ave

Steele St

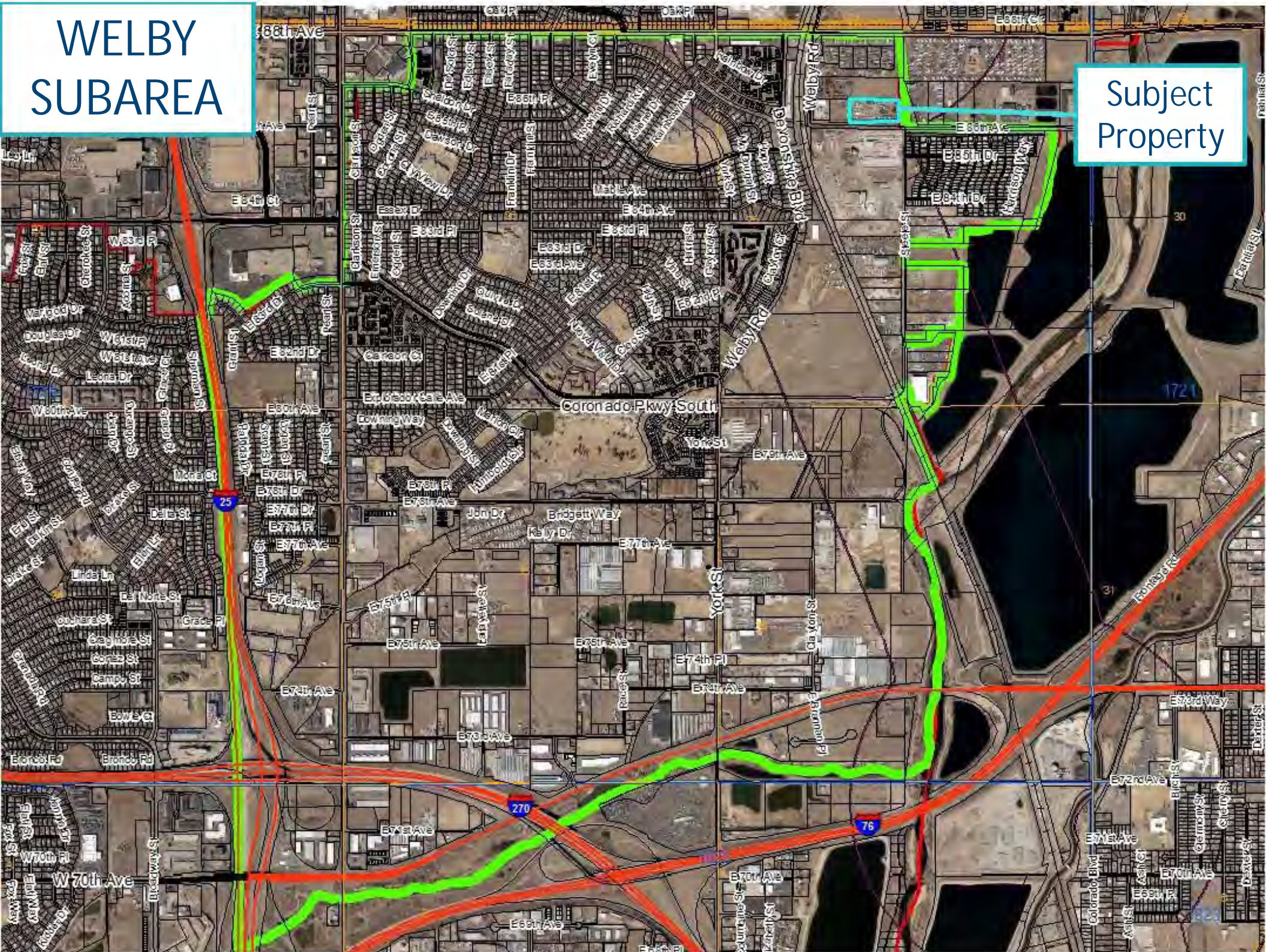
Adams Way

E 85th Dr

Cook St

WELBY SUBAREA

Subject
Property



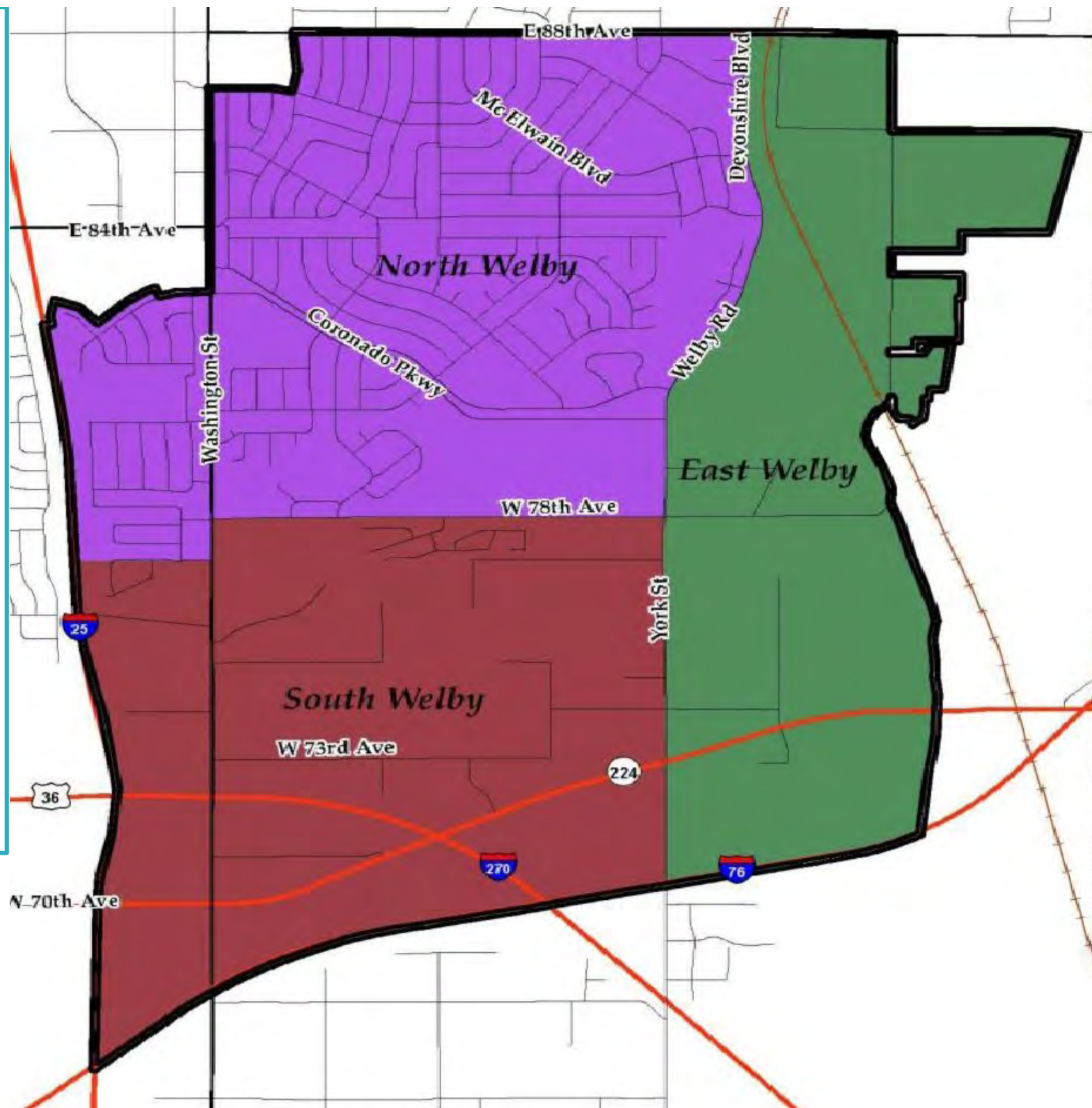
WELBY SUBAREA PLAN

•East Welby Area

✓ Great potential for future development

✓ Two future commuter rail station areas

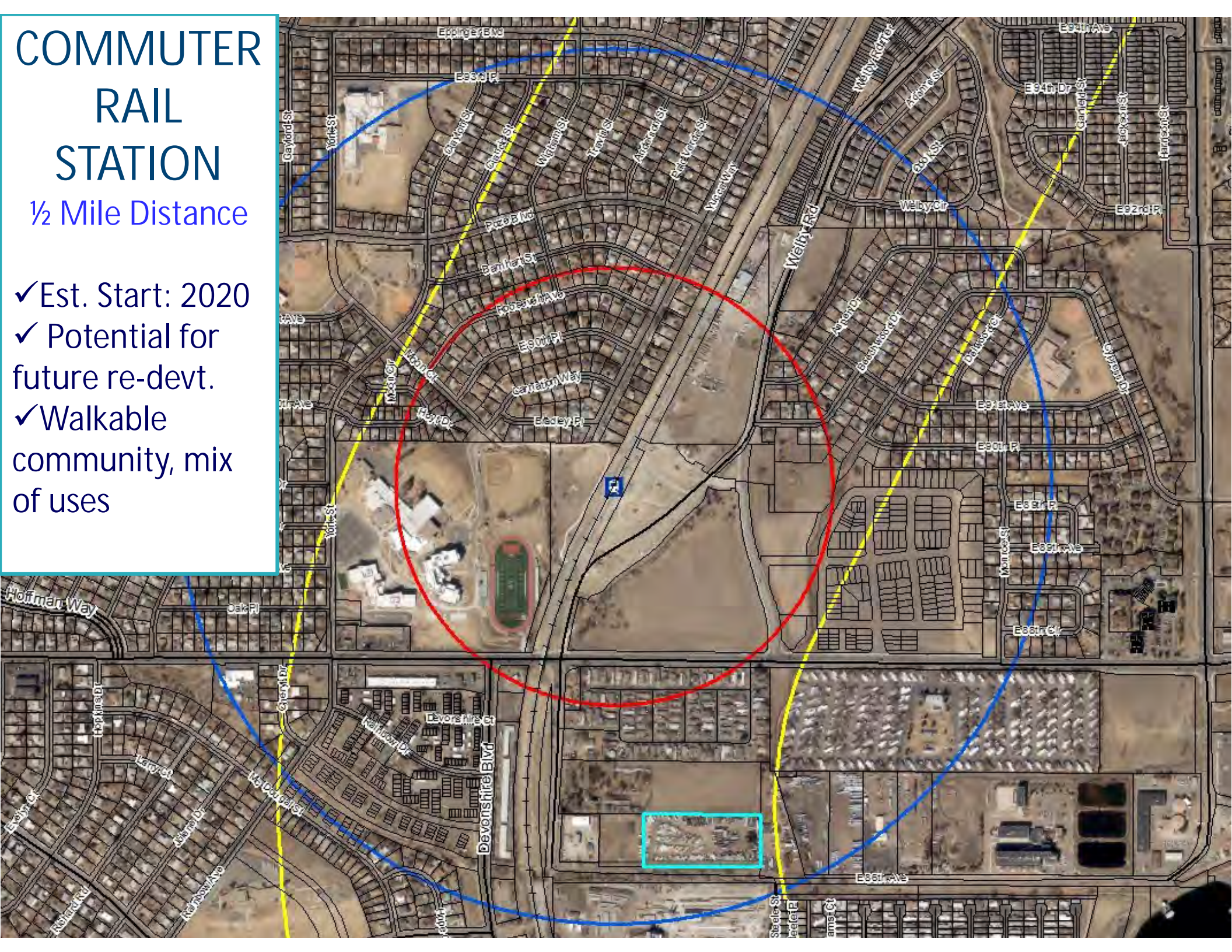
✓ Two important water bodies, Clear Creek and the South Platte River



COMMUTER RAIL STATION

½ Mile Distance

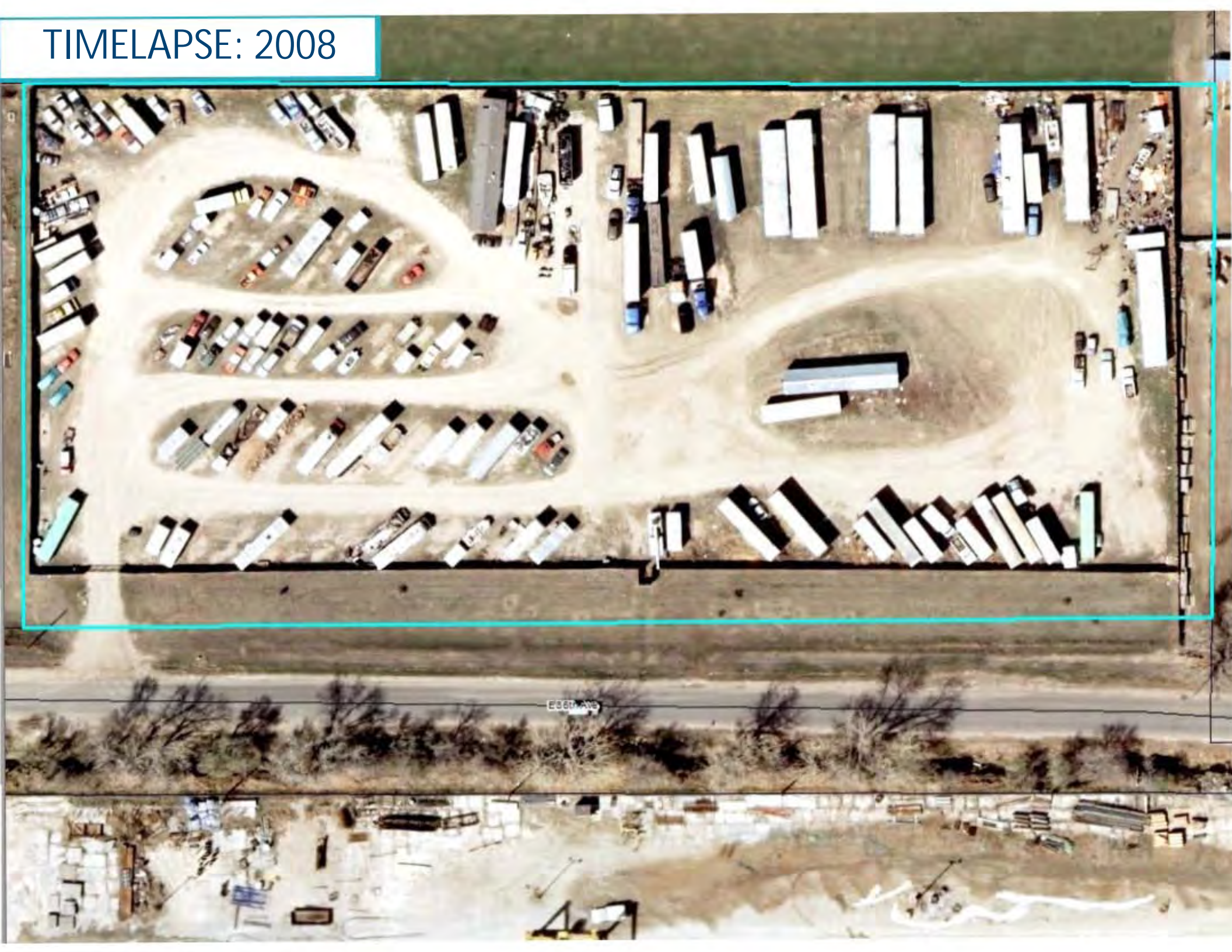
- ✓ Est. Start: 2020
- ✓ Potential for future re-devt.
- ✓ Walkable community, mix of uses



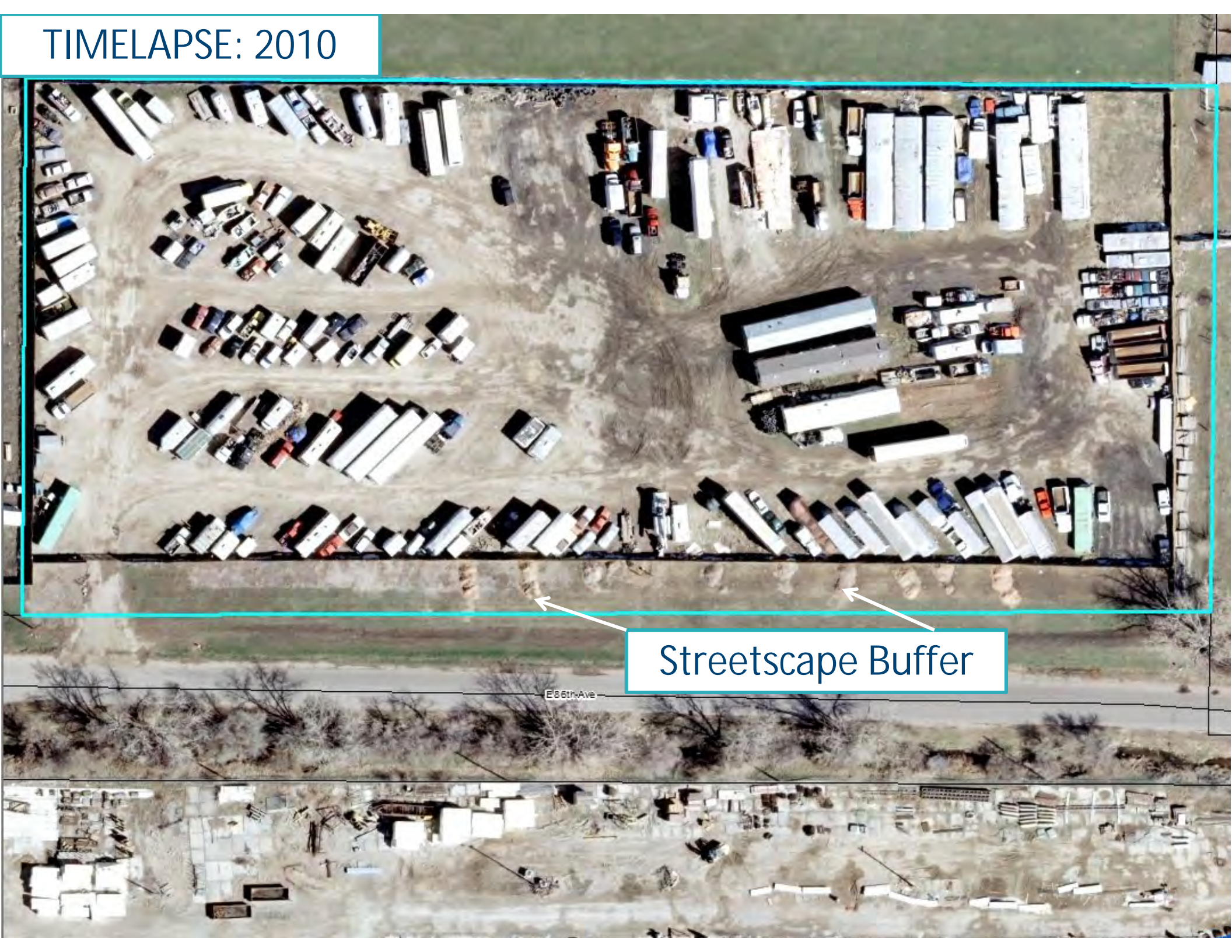
2009 CUP Conditions

Streetscape buffer (31 trees and 28 shrubs) along East 86th Avenue
with maintenance standards

TIMELAPSE: 2008



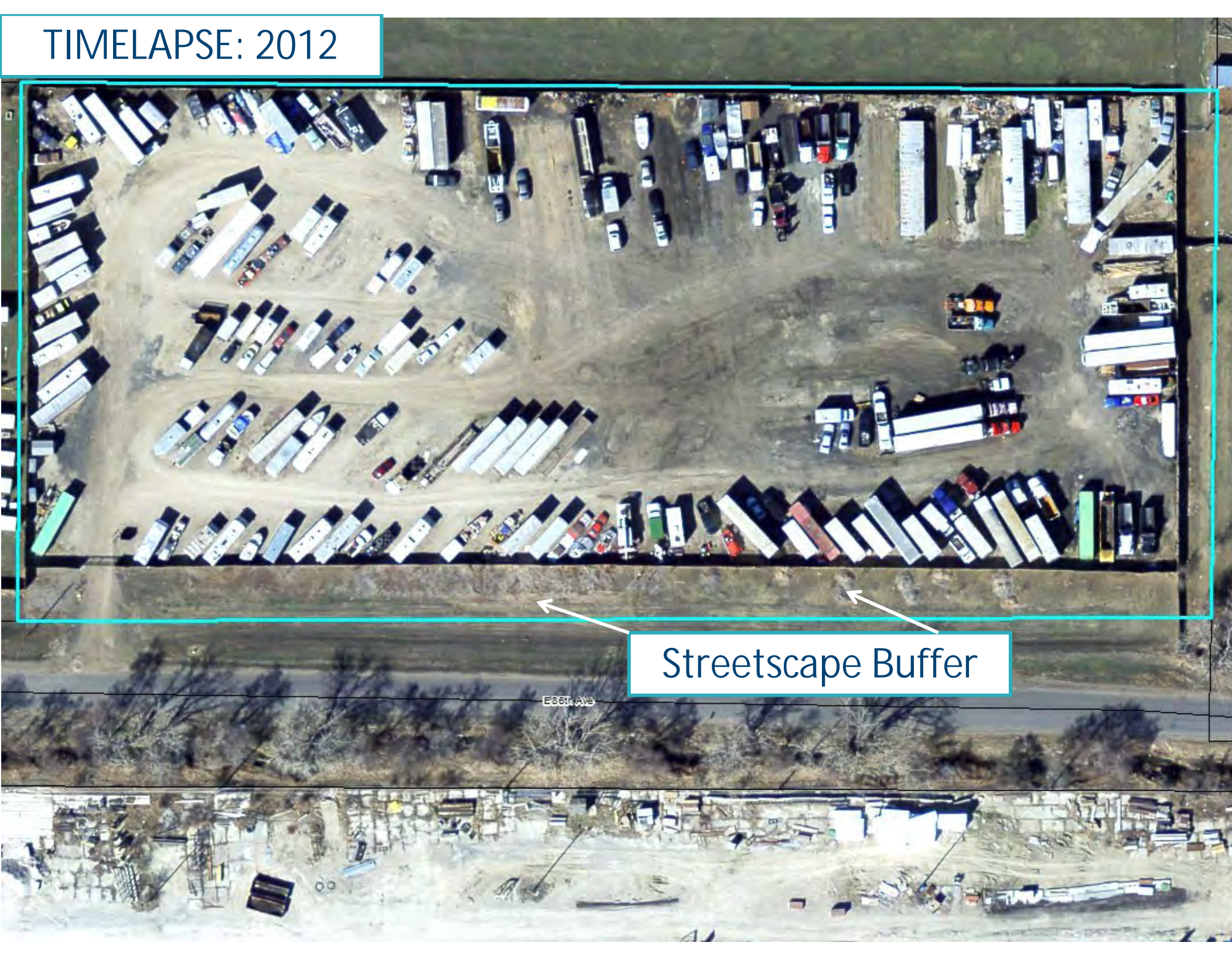
TIMELAPSE: 2010



Streetscape Buffer

E 86th Ave

TIMELAPSE: 2012



Streetscape Buffer

E 86th Ave

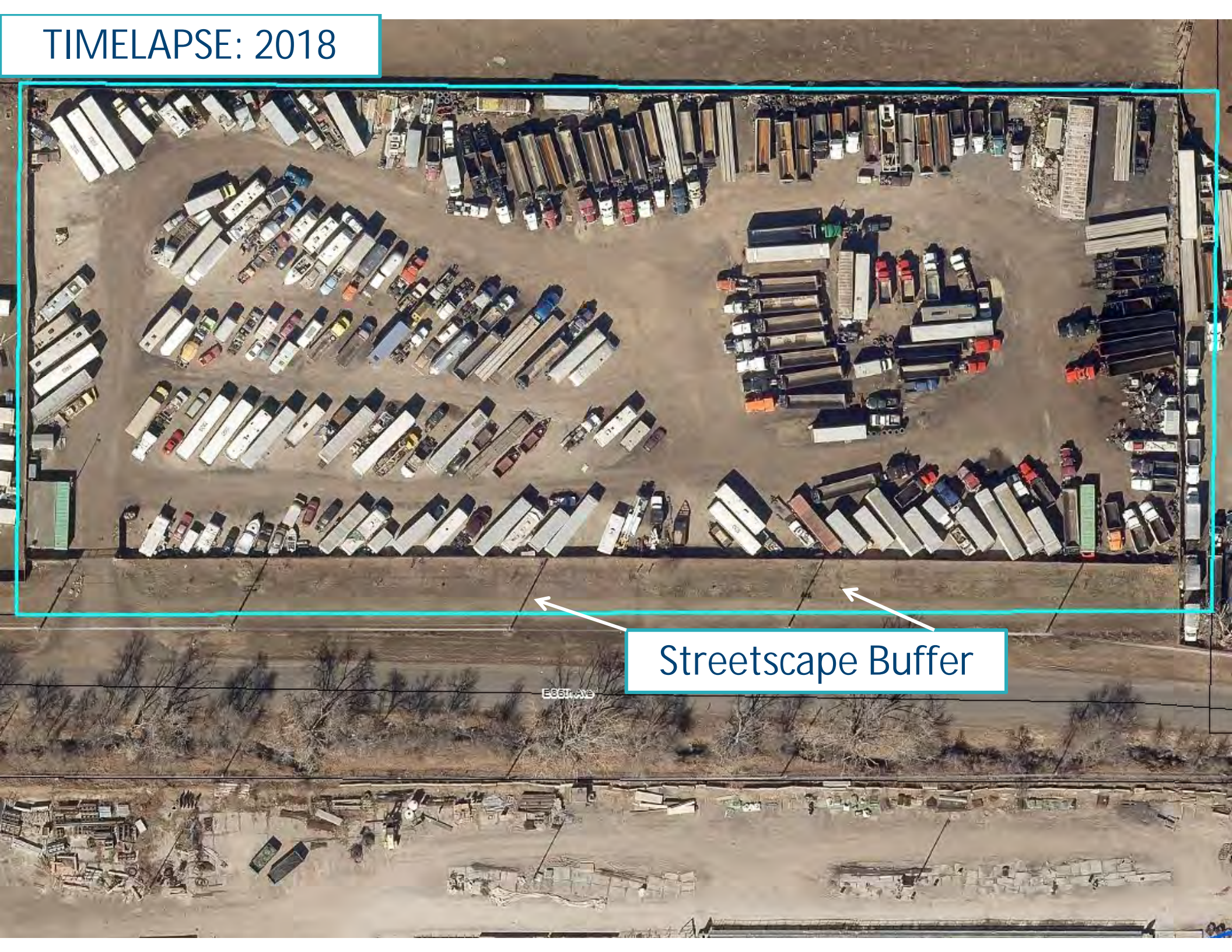
TIMELAPSE: 2014



TIMELAPSE: 2016



TIMELAPSE: 2018



Streetscape Buffer

E861 Ave

2009 CUP Conditions

- Conditions of approval (01/05/2009)
 - Limited the items stored (RVs, boats, trailers, semi-trailers, cars, trucks, tractor trailers, dump trucks, backhoes, mowers, tools, equipment, mobile homes, shipping containers)

Comparison: 2010 & 2018



Comparison: 2012



Comparison: 2018

- 2009 Condition of approval (01/05/2009)
 - Expired 01/05/2014
- Zoning Violations
 - 10 cases since 2004
 - Graffiti
 - Expired Conditional Use Permit
 - Illegal habitation in recreational vehicles on-site





Bracewell
TRUCKS & HEAVY EQUIPMENT
303-777-3037

CHEVROLET

WMH 508







Referral Comments

- Comments:
 - CDOT
 - Xcel
 - Thornton Fire
 - Tri-County Health Department
- Property Owners and Residents within 1,000 feet:

Notifications Sent	Comments Received
460	5

Summary

- Staff determination is the request and the proposed use of the property is inconsistent with:
 - Development Standards & Regulations
 - Not harmonious with surrounding areas
 - Incompatible with a changing neighborhood
 - Failed to address previous conditions addressing off-site impacts

PC Update

Planning Commission: March 28, 2019

Concerns

- Zoning Violations
- Changing neighborhood character
- Late installation of Landscaping
- Compatibility

Voted (6-1) for Denial

PC Recommendations

Denial of both Conditional Use Permit (PRC2017-00005) based on 8 Findings-of-Fact



**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT**

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Exhibit 2- Maps

- 2.1 Zoning Map
- 2.2 Aerial Map
- 2.3 Simple Map
- 2.4 Future Land Use Map

Exhibit 3- Applicant Information

- 3.1 Applicant Written Explanation
- 3.2 Applicant Proposed Site Plan

Exhibit 4- Referral Comments

- 4.1 Development Review Team Comments (Planning, Engineering, Right-of-Way, and Parks)
- 4.2 CDOT
- 4.3 Tri-County Health Department
- 4.4 Welby Citizen Group
- 4.5 Xcel Energy

Exhibit 5- Citizen Comments

- 5.1 No Citizen Comments (see Welby Citizen Group Comment)

Exhibit 6- Associated Case Materials

- 6.1 Certificate of Posting
- 6.2 Public Hearing Notice
- 6.3 Request for Comments
- 6.4 Request for Newspaper Publication
- 6.5 Property Owner and Occupant Labels
- 6.6 Referral Labels



**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT
STAFF REPORT**

Board of County Commissioners

June 18, 2019

CASE No.: RCU2018-00046 CASE NAME: Elevate at 78th	
Owner's Name:	Elaine Perschitte
Applicant's Name:	Dustin Trail c/o 78 th Industrial Park, LLC
Applicant's Address:	12460 1 st Street, P.O. Box 247, Eastlake, CO 80614
Location of Request:	2080 East 78 th Avenue, Denver, CO 80229
Nature of Request:	A request to rezone 5.24 acres from A-1 to I-1
Zone District:	A-1
Site Size:	5.24 acres
Proposed Uses:	Light Industrial
Existing Use:	Vacant
Comprehensive Plan:	Mixed Use Neighborhood
Hearing Date(s):	BOCC: June 18, 2019/ 9:30 a.m.
Report Date:	June 4, 2019
Case Manager:	Libby Tart
Staff Recommendation:	APPROVAL with 4 Findings-of-Fact

SUMMARY OF PREVIOUS APPLICATIONS

In April 2019, a lot line adjustment was approved to make three parcels, totaling 7.89 acres, into two parcels; one parcel is 2.65 acres and the other is 5.24 acres, which is the subject property in this application.

SUMMARY OF APPLICATION

The applicant, 78th Industrial Park LLC, is requesting to rezone the subject property, a 5.24-acre lot, into the Industrial-1 (I-1) zone district. The remaining 2.65-acre lot will retain the Agriculture-1 (A-1) zone district designation. The proposed I-1 zone district would allow the applicant to develop four mixed-use light industrial buildings, with sizes ranging from 7,500-18,000 square-feet.

The surrounding zoning to the north is Planned Unit Development (multi-family), Agriculture-1, and Commercial-0. The zoning to the south, east, and west is Agriculture-1.

The applicant initially requested to rezone the 2.65-acre parcel to R-2 but dropped this request following an initial neighborhood meeting and a lack of support from the surrounding property owners and occupants.

Development Standards and Regulations:

Section 2-02-13-06-02 of the County's Development Standards and Regulations outlines the approval criteria for rezoning a property. These standards include compliance with the requirements and purposes of the Development Standards and Regulations, consistency with the Comprehensive Plan, and compatibility with the surrounding area.

The proposed rezoning is consistent with the purposes and requirements of the County's Development Standards and Regulations. The subject property is currently located within an Agriculture-1 (A-1) zone district, which is intended to provide a rural living experience and limited farming uses. The subject request is to rezone the 5.24-acre parcel to Industrial-1 (I-1). Per Section 3-24 of the Adams County Development Standards and Regulations, the purpose of the I-1 zone district is to "provide a general commercial and restricted industrial district designed to provide for a variety of compatible business, warehouse, wholesale, offices and very limited industrial uses". The Welby Business Park is southeast of the subject property and is zoned I-1.

Future Land Use Designation/Goals of the Comprehensive Plan for the Area:

Adams County's Comprehensive Plan designates the subject property and surrounding area as Mixed-Use Neighborhood. Per Chapter Five of the County's Comprehensive Plan, the primary uses identified for Mixed Use Neighborhood areas include a mix of single and multi-family housing, commercial and office. The proposed rezoning would support the purpose of the future land use designation by allowing for complimentary and supporting uses to serve the neighborhood.

The location also falls into the Welby Plan, specifically South Welby, which is mainly comprised of industrial and agricultural properties, with some residential throughout. The Plan particularly calls out the land south of East 78th Avenue as primarily targeted for industrial development. One of the Economic Development goals in the Welby Implementation Plan is to "develop a strong business community that encourages residential, commercial and industrial development that is appropriate to the Welby area and provides jobs and services for area residents, and optimizes the tax generating potential of commercial and industrial properties". The proposed rezoning from A-1 to I-1 is consistent with the goals and policies of the Welby Plan, as the property is on the border of the residential/industrial interface and would allow for the gentle transition via a general commercial and limited industrial district.

The applicant intends on constructing four mixed-use light industrial buildings. Small industrial condominiums are proposed to be inside each of the buildings and the spaces will be targeted toward a "maker space" demographic – for fabrication, digital, and low-tech, crafters and small businesses.

Surrounding Zoning Designations and Existing Use Activity:

Northwest PUD Multi-Family Housing	North PUD, A-1 and C-O Multi-Family and Single-Family	Northeast C-4 Small Utility Building
West A-1 Single-Family	Site A-1 Single-Family	East A-1 Single-Family
Southwest A-1 Single-Family	South A-1 Single-Family	Southeast A-1/I-1 Vacant/Light Industrial

Compatibility with the Surrounding Land Uses:

The surrounding area to the south, east, and west is developed as single-family residential, while to the north it is mainly multi-family, agriculture, and small commercial. Due southeast is the Welby Business Park, a light-industrial complex that was constructed in 2016. To the southwest is a large wholesale greenhouse/garden center. The request to create a light-industrial park is compatible with the properties to the southeast and southwest of the subject property and is compatible with the Mixed-Use Neighborhood area identified in the Comprehensive Plan.

Any development on the site shall be required to conform to the County's performance standards outlined in Chapter Four of the Development Standards and Regulations. These performance standards are required to ensure compatibility with the surrounding properties, which include building orientation, building materials, adequate parking, landscaping at the right-of-way, landscaping in the parking area, and drainage improvements. Access to the site will be taken from East 77th Avenue. Dimensional requirements, such as front, rear, and side setbacks, will limit the scale of development, ensuring consistency with the surrounding commercial and residential areas.

PLANNING COMMISSION UPDATE:

The Planning Commission considered this case on May 23, 2019 and recommended approval in a 6-0 vote. The applicant was available to answer questions at the hearing and indicated they were supportive of staff's recommendation and proposed conditions. There was no public testimony at the hearing.

PC and Staff Recommendation:

The Rezoning request is consistent with the Comprehensive Plan, is consistent with the general purpose and intent of these standards and regulations, meets the requirements of these standards and regulations, and is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. Staff recommends Approval based on 4 Findings-of-Fact.

Findings of Fact:

Rezoning:

1. The Zoning Map amendment is consistent with the Adams County Comprehensive Plan.
2. The Zoning Map amendment is consistent with the purposes of these standards and regulations.
3. The Zoning Map amendment will comply with the requirements of these standards and regulations.
4. The Zoning Map amendment is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.

PUBLIC COMMENTS

Property Owner and Occupants Notified	Number of Responses
411	0

Staff has received no comments from the initial mailing and notice of public hearing to property owners and occupants within 750-feet of the subject property.

COUNTY AGENCY COMMENTS

Adams County Development Services Engineering

Development Services Engineering reviewed the subject request and stated that the applicant will be responsible for constructing any roadway improvements required by the Traffic Impact Study at the time of the construction of the site. Engineering also acknowledged that the developer is required to submit for review and receive approval for all site construction documents (construction plans and reports) prior to the issuance of any building permits.

Adams County Development Services Environmental and Building

No comments.

Adams County Development Services Addressing and Right-of-Way

Development Services Right-of-Way and Planning required that the applicant submit for an administrative lot line adjustment prior to the case going forward to public hearings. This was due to the A-1 parcel needing to meet the minimum lot size for an A-1 zone, or 2.5 acres.

Adams County Parks

Adams County Parks stated that the subject property is crossed by the Lower Clear Creek Ditch, of which Adams County is a shareholder. They requested that the applicant contact the ditch company prior to developing the property to ensure they are impairing the continued operation and maintenance of the ditch.

REFERRAL AGENCY COMMENTS

Responding with Concerns:

Tri-County Health – The agency stated that light industrial uses should not generate any external effects on the neighboring residential properties.

Welby Citizen Group – The group stated their concerns about potential traffic impacts, the definition of “flex space” and ownership of the units. They requested that the applicant consider monitoring the property with an owner’s association. The applicant acknowledged the comment in a second submission and updated their conceptual site plan to include three access points for the two parcels – one off 78th Avenue and two off East 77th Avenue.

Responding without Concerns:

CDOT

Xcel Energy

Notified but not Responding / Considered a Favorable Response:

Adams County Fire Protection District

Century Link

Colorado Division of Wildlife

CDPHE

Comcast

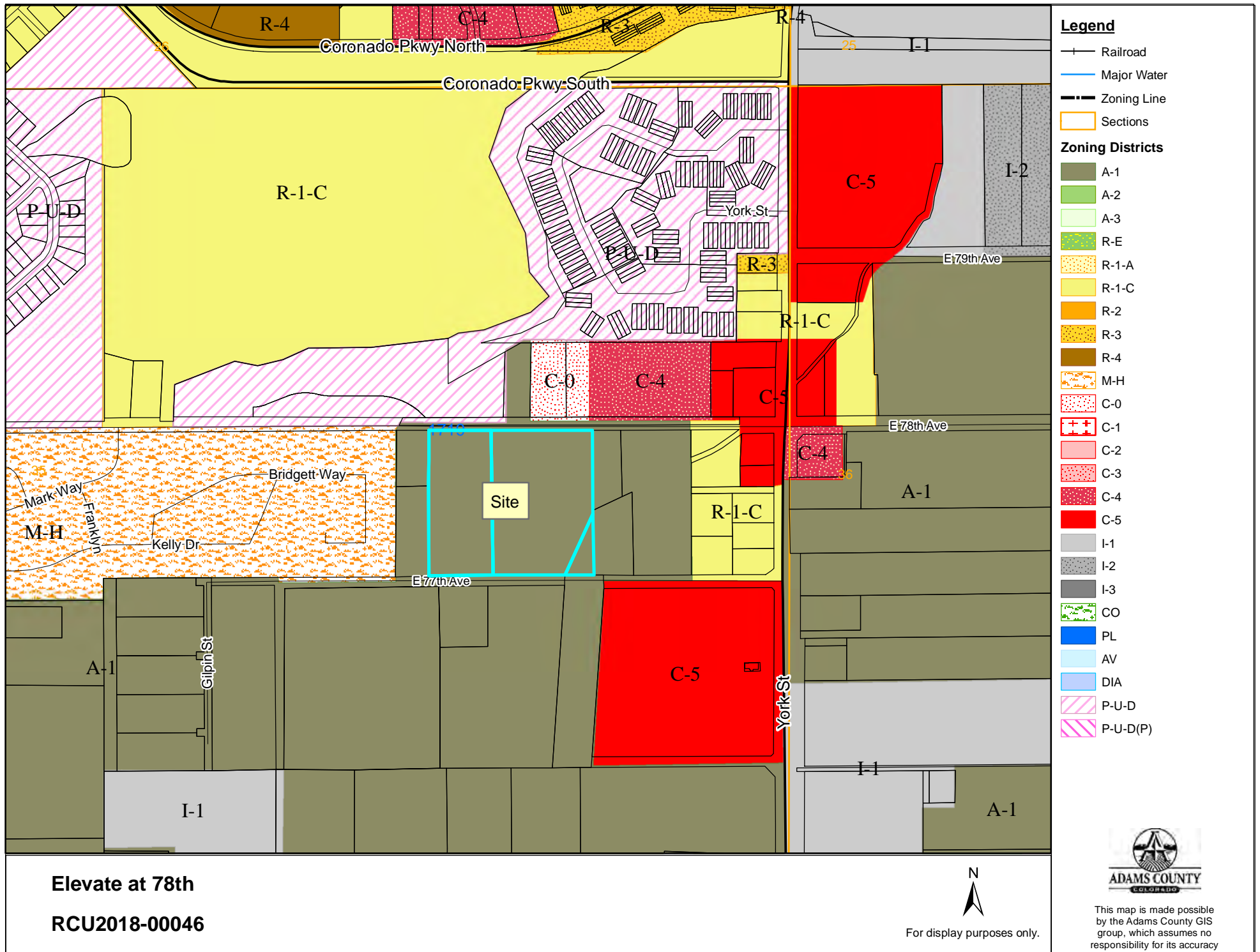
Mapleton School District #1

Metro Wastewater Reclamation

North Washington Street Water and Sanitation District

RTD

Adams County Sheriff’s Office





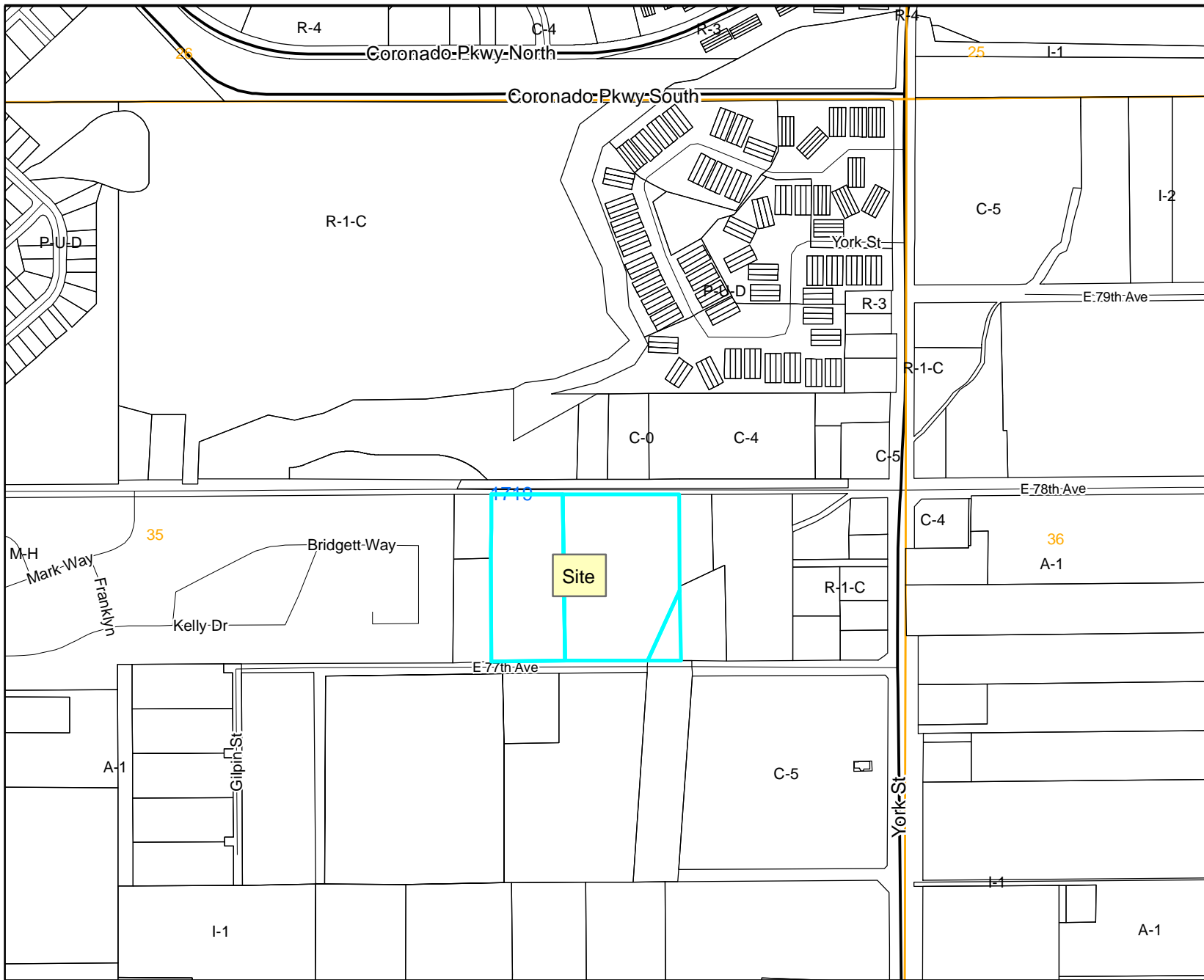
Elevate at 78th
RCU2018-00046



For display purposes only.



This map is made possible
by the Adams County GIS
group, which assumes no
responsibility for its accuracy



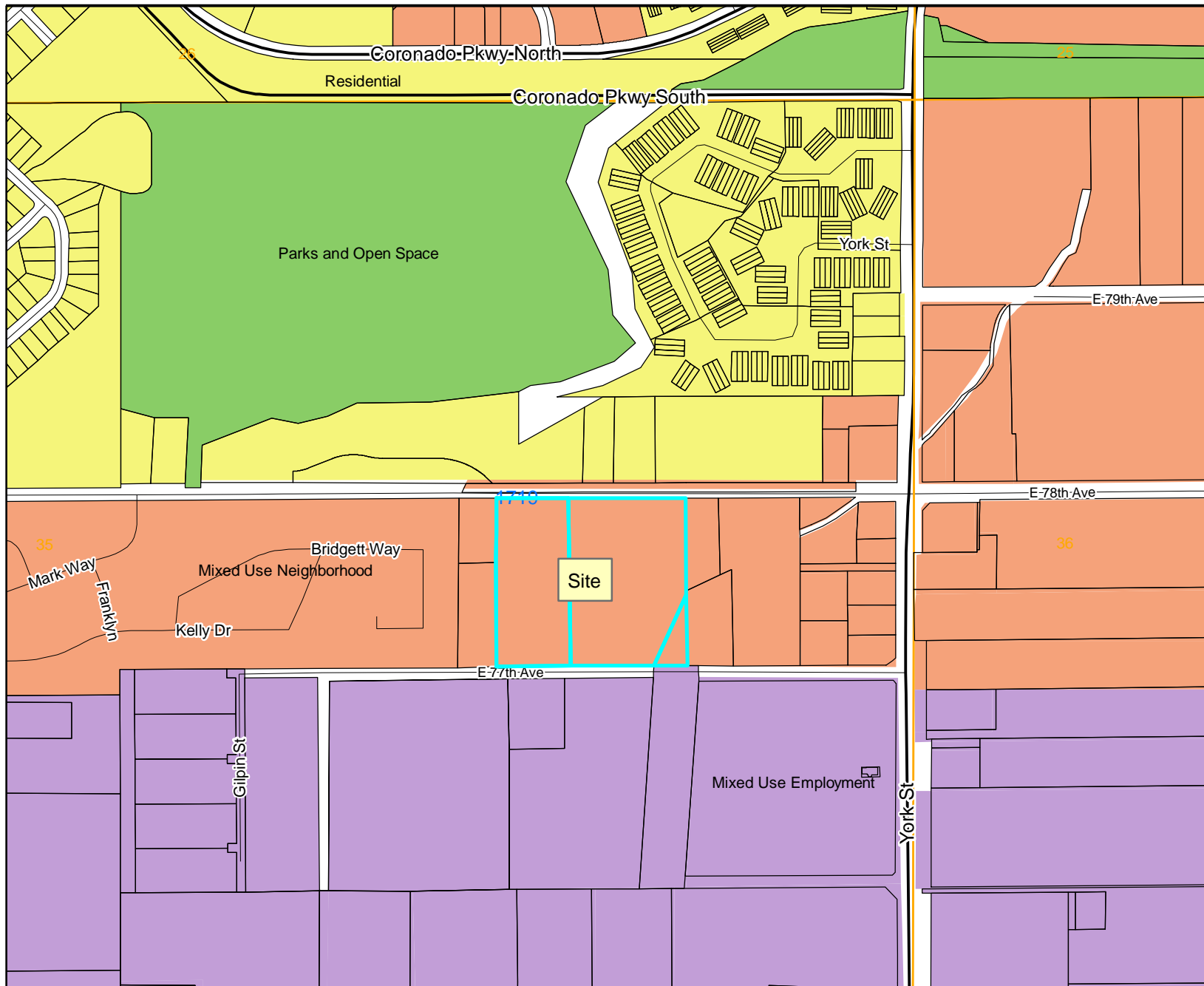
Elevate at 78th
RCU2018-00046



For display purposes only.



This map is made possible
 by the Adams County GIS
 group, which assumes no
 responsibility for its accuracy



Elevate at 78th
RCU2018-00046

N

 For display purposes only.



This map is made possible
 by the Adams County GIS
 group, which assumes no
 responsibility for its accuracy



12460 1st Street
PO Box 247
Eastlake, CO 8014-0247
Office: 303-457-2966
Fax: 303-280-2978

April 24, 2019

Adams County Economic Development
4430 S. Adams County Pkwy. STE 2000
Brighton, CO 80601

RE: Elevate at 78th Rezoning

Dear Development Department Staff:

Enclosed please find the rezoning submittal from Carlson Associates, Inc. ("Applicant") to rezone 8.34+/- acres of land. The parcels are located on East 78th Avenue in the County of Adams (2080 E 78th Ave) (the "Property"). The Property currently has two single-family residences, one of which will be removed for the proposed development.

Applicant's contact information is as follows:

Carlson Associates, Inc.
Attn: Bradley Penwell
PO Box 247
Eastlake, CO 80614-0247
303-457-2966

I. Description of Project

The property is divided along the Lower Clear Creek Canal and will be rezoned along that dividing line. The parcel to the north is approximately 2.5 acres and will remain zoned A-1. The parcel to the south of the lower clear creek canal will be rezoned from A-1 to I-1. Please reference the enclosed ALTA document for more parcel information and associated legal descriptions. The Applicant intends to continue the entitlement process after rezoning in order to ultimately develop four mixed use light industrial buildings with sizes ranging from 7,500 sf to 18,000 sf. The buildings will be subdivided into smaller 750- 1,625 sf industrial condos. Applicant requests confirmation from the Adams County Development Department Staff that the identified uses are consistent with the proposed zoning. The Project's design, parking and landscaping anticipates compliance with the existing and/or proposed zoning and does not anticipate a request for a variance.

II. Jurisdiction and Zoning Summary

The Property is currently located in unincorporated Adams County. Carlson Associates proposes development of the property without annexation. Current zoning of the Property is A-1

(agricultural). Carlson Associates proposes rezoning the property to A-1 and I-1 (light industrial). It is anticipated that the Project's proposed uses are consistent with the zoning and uses of several similar nearby properties.

III. Conclusion

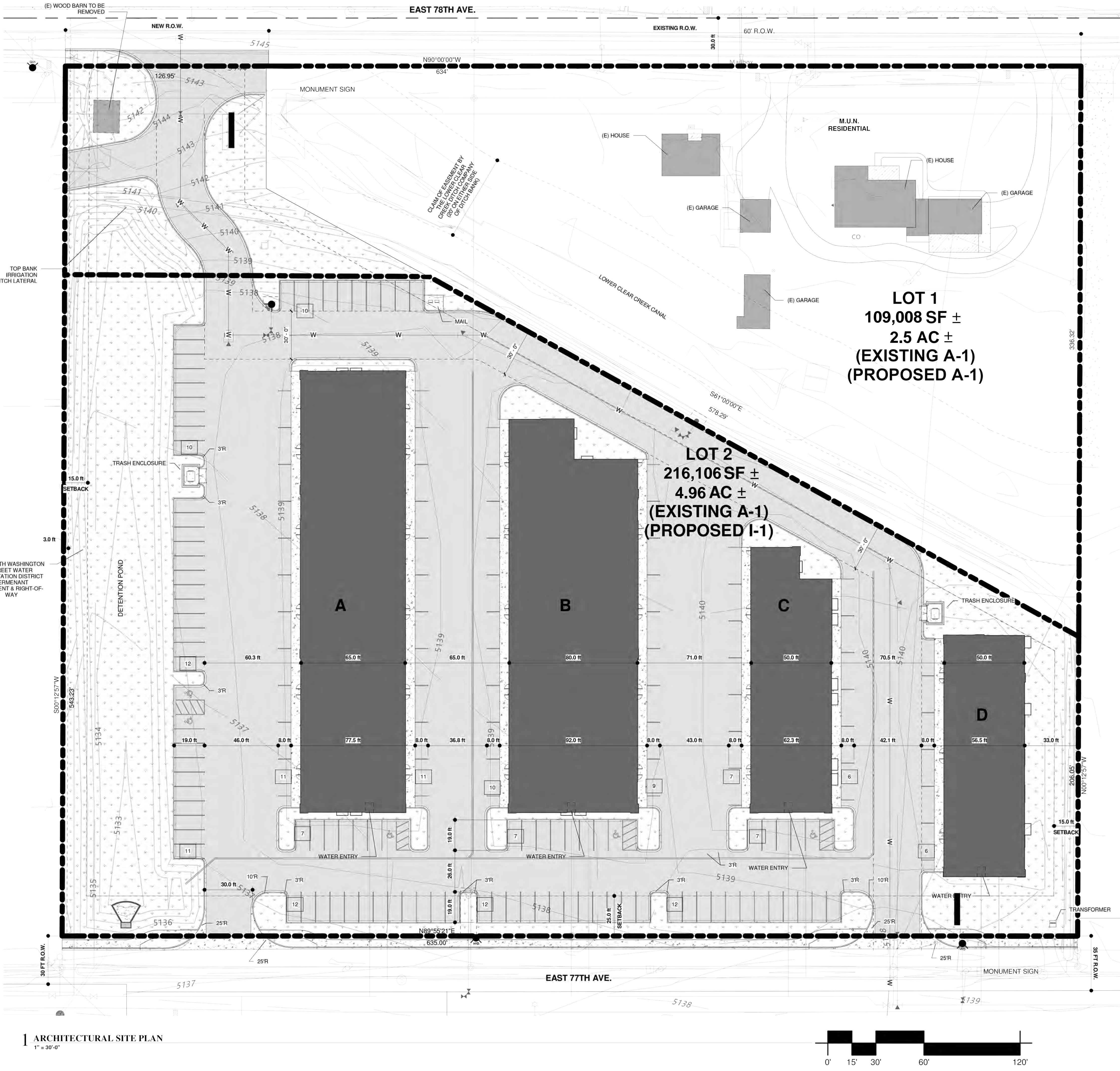
In closing, as evidenced by this letter, we are requesting rezoning of the southern 4.96 acres of this property from A-1 to I-1. Applicant respectfully requests the Adams County Development Department Staff consider the rezoning and development of this property.

Please contact me at 303-457-2966 should you have any questions. Thank you for your time and consideration.

Sincerely,

Bradley Penwell
Project Principal

C:\Users\Curtisk\Documents\Carlson - Elevate - York & 78th Warehouse_curtiskrco.rvt
10/17/2018 5:32:07 PM
Hauser Architects, P.C.



PROJECT DATA

NAME OF PROJECT:	ELEVATE AT 78TH
ADDRESS:	TO BE DETERMINED
ZIP CODE:	80227
PROPOSED USE:	BUSINESS WAREHOUSE
LEGAL DESCRIPTION:	A RESUBDIVISION OF A PORTION OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO

SITE DATA

ZONE DISTRICT EXISTING:	AG-1
PROPOSED ZONE DISTRICT:	INDUSTRIAL-1 (I-1) / AGRICULTURAL 1 (A-1)
INDUSTRIAL-1 LOT AND ZONING INFORMATION	
LOT SIZE:	4.96 ACRES (216,106 SF)
TOTAL BUILDING COVERAGE FOOTPRINT:	51,825 SQUARE FEET
LANDSCAPED AREA:	67,205 SQUARE FEET
PAVING AREA:	115,848 SQUARE FEET
FAR:	.27

ZONING RESTRICTIONS (I-1)	ALLOWED	PROPOSED
BUILDING HEIGHT:	60'	31'-8"
NUMBER OF STORIES:	3	1 STORY W/ MEZZANINE
MINIMUM FRONT SETBACK FROM R.O.W.:	25'	
MINIMUM SIDE SETBACK:	15'	
MINIMUM REAR SETBACK:	15'	
OPEN SPACE REQUIREMENTS:	10%	28%

APPLICABLE CODES

2012 IBC	BUILDING CODE
2006 IECC	ENERGY CONSERVATION
2012 IFGC	FUEL GAS
2012 IPC	PLUMBING
2012 IMC	MECHANICAL
2012 IFC	FIRE CODE
2014 NEC	ELECTRICAL

BUILDING DATA

CONSTRUCTION TYPE	II-B
OCCUPANCY	S-1 & B
SPRINKLERS	NO
FIRE DISTRICT	ADAMS COUNTY FIRE RESCUE
FLOOD HAZARD AREA	NO
BUILDING HEIGHT	31'-8"
GROSS BUILDING AREA	

Area Schedule (Gross Building)		
Name	Area	Comments
BLDG A	17875 SF	BUILDING A
BLDG A - MEZZ.	2000 SF	BUILDING A
	19875 SF	
BLDG B	18600 SF	BUILDING B
BLDG B - MEZZ.	6045 SF	BUILDING B
	24645 SF	
BLDG C	7850 SF	BUILDING C
BLDG C - MEZZ.	2533 SF	BUILDING C
	10383 SF	
BLDG D	7500 SF	BUILDING D
BLDG D - MEZZ.	2431 SF	BUILDING D
	9931 SF	
TOTAL BUILDING SF	64835 SF	

PARKING

TOTAL NUMBER OF SPACES PROVIDED: 158	REQUIRED: 126	NUMBER OF LOADING SPACES PROVIDED: NA	REQUIRED: NA	NUMBER OF ACCESSIBLE SPACES PROVIDED: 5	REQUIRED: 5
REQUIRED PARKING					
WAREHOUSE:	1:1000 (75%)	38 SPACES			
OFFICE:	1:300 (25%)	43 SPACES			
MEZZANINE:	1:300				
TOTAL:		126 SPACES			

Parking Schedule	
Type	PROPOSED
9' x 19' (9' Aisle) 2	5
9' x 19' Standard	93
23'-0" x 8'-0" - PARALLEL	60
Grand total:	158

ELEVATE AT 78th

CARLSON ASSOCIATES

2080 E 78th Ave - Denver, CO - 80229

SITE PLAN

REVISIONS

1	REZONE SUBMITTAL #1	09.14.2018
2	REZONE SUBMITTAL #2	10.31.2018

SHEET A1

CARLSON
12460 First St, Denver, CO 80241
(303) 457-2966

HAUSER
ARCHITECTS
3780 East 15th Street, Suite 201 • Loveland, Colorado 80538
E-mail: info@hauserarchitects.com

Community & Economic
Development Department
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000
Brighton, CO 80601-8204
PHONE 720.523.6800
FAX 720.523.6998

Development Review Team Comments

Date: 10/26/2018

Project Number: RCU2018-00046

Project Name: Elevate at 78th

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for the Rezoning request and applicable to the submitted documents only. The Development Review Team review comments may change if you provide different information throughout the process. Please contact the case manager if you have any questions:

Commenting Division: Planner Review

Name of Reviewer: Anna Gibson

Date: 10/26/2018

Email:

Complete

PLN1: REQUEST: The subject property consists of three separate parcels: 0171935100039, 0171935100023, and 0171935100022. The applicant is currently going through a lot line adjustment with the County to consolidate the three parcels into two and move the lot line to run approximately along the ditch. The proposal is to rezone the northern parcel from A-1 to R-2, and the southern parcel from A-1 to I-1.

PLN2: COMPREHENSIVE PLAN: The future land use designation from the Comprehensive Plan is Mixed Use Neighborhood. The Mixed Use Neighborhood category allows for a range of urban-level residential uses, including single and multi-family housing combined with compatible and supporting uses and activities that serve the neighborhood and are developed and operated in harmony with the residential characteristics of a neighborhood.

PLN3: WELBY SUBAREA PLAN: The property is located in the South Welby area of the Welby Subarea Plan. The southwest area of Welby is primarily comprised of industrial and agricultural properties with some residential homes scattered throughout. This area has seen a significant amount of zoning changes from agriculture to industrial. While residents in this area have expressed their affinity for this diversity in land uses including living near industrial businesses, there are some concerns regarding some unwanted changes to the area both by residents and industrial business owners, i.e. truck traffic, noise, etc. Although flanked by Washington and York Streets, this area lacks internal street connections or any collector street that could connect to these important arterials (Welby Subarea Plan, Page 24).

PLN4: CRITERIA FOR APPROVAL: The Criteria for Approval for a Rezoning can be found in section 2-02-13-06-02 of the Adams County Development Standards and Regulations (ACDSR) and are as follows:

1. The Zoning Map amendment is consistent with the Adams County Comprehensive Plan.
2. The Zoning Map amendment is consistent with the purposes of these standards and regulations.
3. The Zoning Map amendment will comply with the requirements of these standards and regulations.
4. The Zoning Map amendment is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.

A rezoning from A-1 to I-1 would be consistent with the Comprehensive Plan in that the I-1 zone district allows for a multitude of Commercial and Light Industrial Uses to support the residential community. A rezoning from A-1 to R-2 would also be consistent with the Mixed Use Neighborhood future land use designation. The R-2 zone district has smaller required lot sizes and higher density than A-1.

Zone district requirements for I-1 can be found in 3-14 ACDSR. Zone district requirements for R-2 can be found in 3-24 ACDSR. The proposed lots would meet the minimum lot sizes and lot widths as required by code.

Commenting Division: Development Engineering Review

Name of Reviewer: Matthew Emmens

Date: 10/25/2018

Email: memmens@adcogov.org

Complete

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0604H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required.

ENG2: ENG6: The applicant has submitted a trip generation analysis. This analysis states that the site will generate between 50 and 500 vehicle trips per day. A level 2 Traffic Impact Study (TIS), prepared in accordance with the requirement of Chapter 8 of the Adams County Development Standards and Regulations, is required to be submitted to Adams County for review and approval prior to issuance of any construction permits. The applicant will be responsible for constructing any roadway improvements required by the TIS.

The comments below are related to the development/construction of the site.

ENG3: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is within the County's MS4 Stormwater Permit area and development of the site will disturb more than one (1) acre of ground. The applicant shall be responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR-030000. The installation of erosion and sediment control BMPs is expected for any ground disturbance.

ENG4: Applicant is proposing to install over 3,000 square feet of impervious area on the project site. A drainage report and drainage plans in accordance to Chapter 9 of the Adams County Development Review Manual, are required to be completed by a registered professional engineer and submitted to Adams County for review and final approval.

ENG5: The developer is required to construct roadway improvements adjacent to the proposed site. Roadway improvements will consist of curb, gutter and sidewalk adjacent to the site and, any roadway improvements as required by the approved traffic impact study.

ENG6: The applicant has indicated that they would like to have an access onto E 78th Ave. There is an existing access located at the northwest corner of the site that is shared with the neighboring property. Prior to the issuance of construction or building permits they applicant is required enter into an access agreement with the landowner of the property to the west.

ENG7: Prior to the issuance of any building permits, the developer is required to submit for review and receive approval of all site construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, two (2) copies of all construction documents. The development review fee for an Engineering Review is dependent on the type of project and/or the size of the project. The Development Review fee can be found in the Development Services Fee Schedule, located on the following web page:

<http://www.adcogov.org/one-stop-customer-center>.

ENG7: No building permits will be issued until all public improvements have been constructed, inspected and preliminarily accepted by the County's Transportation Dept.

ENG8: The developer is responsible for the repair or replacement of any broken or damaged section of curb gutter and sidewalk.

Commenting Division: Parks Review

Name of Reviewer: Aaron Clark

Date: 10/01/2018

Email: aclark@adcogov.org

Complete

PRK1: The subject property is crossed by the Lower Clear Creek Ditch (LCC), in which Adams County is a shareholder. Future development on the subject property must not impair operation or maintenance of the LCC. Please contact the LCC directly before undertaking any development on this property.

Commenting Division: Addressing Review

Name of Reviewer: Marissa Hillje

Date: 10/16/2018

Email: mhillje@adcogov.org

Complete

A new address will be assigned on the plat case # PLT2018-00037

Commenting Division: ROW Review

Name of Reviewer: Marissa Hillje

Date: 10/16/2018

Email: mhillje@adcogov.org

Resubmittal Required

ROW1: PLT2018-00037 is still in review and should be approved and recorded prior to RCU2018-00046 going to hearings.



Second Submittal Planning Comments

PLN1: REQUEST: The subject property consists of three separate parcels: 0171935100039, 0171935100023, and 0171935100022. The applicant is currently going through a lot line adjustment (Case no. PLT2018-00037) with the County to consolidate the three parcels into two and move the lot line to run approximately along the ditch. The proposal is to rezone the southern parcel from A-1 to I-1, and leave the remaining 2.5 acre northern parcel under its current zoning of A-1.

PLN2: COMPREHENSIVE PLAN: The future land use designation from the Comprehensive Plan is Mixed Use Neighborhood. The Mixed Use Neighborhood category allows for a range of urban-level residential uses, including single and multi-family housing combined with compatible and supporting uses and activities that serve the neighborhood and are developed and operated in harmony with the residential characteristics of a neighborhood.

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1. The Zoning Map amendment is consistent with the Adams County Comprehensive Plan.
2. The Zoning Map amendment is consistent with the purposes of these standards and regulations.
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A rezoning from A-1 to I-1 would be consistent with the Comprehensive Plan in that the I-1 zone district allows for a multitude of Commercial and Light Industrial Uses to support the residential community. Zone district requirements for I-1 can be found in 3-14 ACDSR. The proposed lots would meet the minimum lot sizes and lot widths as required by code.

PLN5: LOT LINE ADJUSTMENT: As the proposed lots have not yet been created, this rezoning case cannot be scheduled for hearing until the corresponding lot line adjustment (PLT2018-00037) is ready for approval and recordation.

Thank you,

Anna Gibson, Planner I

From: [Loeffler - CDOT, Steven](#)
To: [Anna Gibson](#)
Subject: Re: RCU2018-00046 Request for Comments
Date: Wednesday, October 03, 2018 8:33:07 AM

Anna,

I have reviewed the referral named above requesting a rezone from A1 to R-2 and I-1 on property located at 2080 East 78th Ave. and have no objections. This should have negligible impact to any State Highways in the area.

Thank you for the opportunity to review this referral.

Steve Loeffler
Permits Unit



P [303.757.9891](tel:303.757.9891) | F [303.757.9886](tel:303.757.9886)
2829 W. Howard Pl. 2nd Floor, Denver, CO 80204
steven.loeffler@state.co.us | www.codot.gov | www.cotrip.org

On Thu, Sep 27, 2018 at 4:29 PM Anna Gibson <AGibson@adcogov.org> wrote:

Comments for this case are due on Thursday, October 18, 2018 at 9:00 AM.

The Adams County Board of County Commissioners is requesting comments on the following request:

Rezoning of property from A-1 to R-2 and I-1

The Assessor's Parcel Numbers are **0171935100022, 0171935100023, and 0171935100024**

The Property Address is **2080 East 78th Avenue**

Denver, CO 80229

Applicant Information **78th Industrial Park, LLC**

12460 1st Street, P.O. Box 247

Eastlake, CO 80614

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216. (720) 523-6855 by **October 18, 2018** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included please send your response by way of e-mail to AGibson@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.



Anna Gibson

Planner I, *Community and Economic Development*

ADAMS COUNTY, COLORADO

4430 South Adams County Parkway, Suite W200A

Brighton, CO 80601

O: 720-523-6855 | agibson@adcogov.org

www.adcogov.org



October 18, 2018

Anna Gibson
Adams County Community and Economic Development
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601

RE: Elevate at 78th, RCU2018-00046
TCHD Case No. 5207

Dear Ms. Gibson,

Thank you for the opportunity to review and comment on the Rezoning of property from A-1 to R-2 and I-1 located at 2080 E 78th Avenue. Tri-County Health Department (TCHD) staff previously reviewed the application for the Lot Line Adjustment and provided comments in a letter dated October 1, 2018. After reviewing the Rezoning application, TCHD has the following comments.

Air Pollution & Noise

While the proposed warehouse and office buildings may not pose a public health threat, some allowed industrial uses in the I-1 zone district can impact neighboring residential uses in the R-2 zone district in the future should ownership or use change. This can include, but is not limited to, air pollution and noise. Exposure to air pollution is associated with a number of health problems including asthma, lung cancer, and heart disease. Regular exposure to elevated sound levels can have a negative impact on both physical and mental health by increasing the risk of stress, hearing impairment, hypertension, ischemic heart disease, and sleep disturbance. TCHD recommends that the applicant consider how mitigation measures could aid in the mitigation of nuisance noises or other consequences of industrial uses. These measures could include setbacks, sound walls, vegetative barriers, construction design, operational practices, or similar measures.

Please feel free to contact me at 720-200-1585 or aheinrich@tchd.org if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Annemarie Heinrich".

Annemarie Heinrich, MPH/MURP
Land Use and Built Environment Specialist

cc: Sheila Lynch, Monte Deatrich, TCHD

Elevate at 78th

RCU2018-00046

After reviewing the “Elevate at 78th” application a number of community members raised concerns over the way the usage shared in the “Adams County Request for Comments” document has vastly changed in comparison to the information presented at initial community meetings.

Is the main focus “Flex Space” which would equate to storage space or meeting extra garage needs or industrial usage? These different types of usages bring to light the **traffic impact** which was not initially addressed in the community meeting. The two community schools on 78th Avenue that will be directly affected by this additional traffic must be taken into consideration. Per the “Adams County Request for Comments” correspondence an estimated 500 trips per week will result in a huge traffic impact and definitely calls for a strong review, repair or need for expansion of neighborhood roads.

Although this may not be the stage of the application, building materials as well as height should be provided. Another concern is the fact that the units will be sold individually and could create a problem of managing the property without a clear list of expectations. A strong owners association should be created that addresses requirements for the overall maintenance of the project. This should be created with the community input in mind with the confidence that the property would be monitored by the Owner’s Association.

A key selling point of the Elevate at 78th initial presentation was no outdoor storage. That should also be specified and noted.

Lastly, the change to an exit on 78th eliminates another strong selling point to the project of the pocket park which now has been eliminated.

Welby is primed for growth in this booming economic environment. It is critical that development is held responsible for the impacts that they will have on neighborhoods. The basic foundation of a good infrastructure is for the safety of residents as well as successes for businesses in the area. Welby has a long history in Adams County. We rely on the continued support and dedication of Adams County leadership to protect our neighborhoods and have Welby grow into a community we all can be proud of.



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571.3284
donna.l.george@xcelenergy.com

October 18, 2018

Adams County Department of Planning and Development
12200 North Pecos Street
Westminster, CO 80234

Attn: Anna Gibson

Re: Elevate at 78th Rezone, Case # RCU2018-00046

Public Service Company of Colorado has reviewed the request for the **Elevate at 78th Rezone**. Please be advised that Public Service Company has existing electric distribution facilities within the areas indicated in this proposed rezone. Public Service Company has no objection to this proposed rezone, contingent upon Public Service Company of Colorado's ability to maintain all existing rights and this amendment should not hinder our ability for future expansion, including all present and any future accommodations for natural gas transmission and electric transmission related facilities.

The property owner/developer/contractor must complete the **application process** for any new natural gas or electric service, or modification to existing facilities via FastApp-Fax-Email-USPS (go to: https://www.xcelenergy.com/start_stop_transfer/new_construction_service_activation_for_builders). It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

If there are any questions about this referral response, please contact me at 303-571-3306 or donna.l.george@xcelenergy.com.

Donna George
Right of Way and Permits
Public Service Company of Colorado

CERTIFICATE OF POSTING



I, Libby Tart, do hereby certify that I had the property posted at

2080 East 78th Avenue, Denver, CO 80229

on May 13, 2019

in accordance with the requirements of the Adams County Zoning Regulations

Libby Tart, AICP

Libby Tart

Community & Economic
Development Department
Development Services Division
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000B
Brighton, CO 80601-8218
PHONE 720.523.6800
FAX 720.523.6967

Public Hearing Notification

Case Name:	Elevate at 78th
Case Number:	RCU2018-00046
Planning Commission Date	May 23, 2019 at 6:00 p.m.
Board of County Commissioners Date:	June 18, 2019 at 9:30 a.m.

May 2, 2019

A public hearing has been set by the Adams County Board of County Commissioners to consider the following request:

- 1) Rezoning a 5.24 acre portion of a 7.89 acre parcel from A-1 to I-1 and retaining the existing acreage for the home on the A-1 parcel.**

The Assessor's Parcel Numbers are: **0171935100022, 0171935100023, and 0171935100024**

The Property Address is: **2080 East 78th Avenue
Denver, CO 80229**

Applicant Information **78th Industrial Park, LLC
12460 1st Street, P.O. Box 247
Eastlake, CO 80614**

The hearing will be held in the Adams County Hearing Room located at 4430 South Adams County Parkway, Brighton, CO 80601. This will be a public hearing and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. If you require any special accommodations (e.g. wheelchair accessibility, an interpreter for the hearing impaired, etc.) please contact the Adams County Community and Economic Development Department at 720-523-6800 (or if this is a long distance call, please use the County's toll-free telephone number at 1-800-824-7842) prior to the meeting date. For further information regarding this case, please contact the Department of Community and Economic Development, 4430 South Adams County Parkway, Brighton, CO 80601, 720-523-6800. This is also the location where maps and/or text certified by the Planning Commission may be viewed. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Libby Tart AICP
Libby Tart, AICP
Case Manager

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Emma Pinter
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Mary Hodge
DISTRICT 5



Request for Comments

Case Name:	Elevate at 78th
Case Number:	RCU2018-00046

September 27, 2018

The Adams County Board of County Commissioners is requesting comments on the following request:

Rezoning of property from A-1 to R-2 and I-1

The Assessor's Parcel Numbers are **0171935100022, 0171935100023, and 0171935100024**

The Property Address is **2080 East 78th Avenue
Denver, CO 80229**

Applicant Information **78th Industrial Park, LLC
12460 1st Street, P.O. Box 247
Eastlake, CO 80614**

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216. (720) 523-6855 by **October 18, 2018** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included please send your response by way of e-mail to AGibson@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Anna Gibson
Case Manager

To: Amanda Rasmussen
Dept: Westminster Window / Northglenn Thornton Sentinel
Email: adcollegals@ourcoloradonews.com
Fax: 303-426-4209
From: Megan Ulibarri
Date: May 2, 2019

NOTICE OF PUBLIC HEARING FOR LAND USE

NOTICE IS HEREBY GIVEN, that an application has been filed by, DUSTIN TRAIL, Case #RCU2018-00046, requesting: Rezoning a 5.24 acre portion of a 7.89 acre parcel from A-1 to I-1 and retaining acreage for the existing A-1 home on the parcel on the following property:

LEGAL DESCRIPTION:

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH 1/16 CORNER OF SECTION 35 & 36, TOWNSHIP 2 SOUTH, RANGE 68 WEST, FROM WHENCE THE CENTER-NORTH 1/16 CORNER OF SAID SECTION 35 BEARS N90°00'00"W, A DISTANCE OF 2651.38 FEET, ON WHICH ALL BEARINGS HEREON ARE BASED;

THENCE ON THE NORTH LINE OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SAID SECTION 35, N90°00'00"W, A DISTANCE OF 759.00 FEET; THENCE S00°12'57"W, A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING;

THENCE ON THE WEST LINE OF THE PROPERTY DESCRIBED IN RECEPTION NO.08000048478 AND THE WEST LINE OF LOT 2, WILLS SUBDIVISION (RECEPTION NO. 2017000111082) AND THAT LINE EXTENDED, S00°12'57"W, A DISTANCE OF 541.94 FEET; THENCE ON THE NORTH RIGHT-OF-WAY LINE OF EAST 77TH AVENUE, S89°53'36"W, A DISTANCE OF 633.82 FEET; THENCE N00°12'57"E, A DISTANCE OF 543.12 FEET; THENCE ON THE SOUTH RIGHT-OF-WAY LINE OF EAST 78TH AVENUE, ALSO BEING A LINE 30.00 FEET SOUTH OF, AND PARALLEL TO THE NORTH LINE OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 35, S90°00'00"E, A DISTANCE OF 633.81 FEET TO THE POINT OF BEGINNING,

CONTAINING 343,858 SQUARE FEET OR 7.89 ACRES, MORE OR LESS.

(The above legal description was provided by the applicant and Adams County is not responsible for any errors and omissions that may be contained herein and assumes no liability associated with the use or misuse of this legal description.)

APPROXIMATE LOCATION: 2080 E 78TH AVE

NOTICE IS HEREBY GIVEN that a public hearing will be held by the Adams County Planning Commission in the Hearing Room of the Adams County Government Center, 4430 S. Adams County Parkway, Brighton, CO - 1st Floor, on the 23rd of May 2019, at the hour of 6:00 p.m., where and when any person may appear and be heard and a recommendation on this application will be forwarded to the Board of County Commissioners.

NOTICE IS FURTHER GIVEN, that a public hearing will be held by the Adams County Board of County Commissioners in the Hearing Room of the Adams County Government Center, 4430 S. Adams County Parkway, Brighton, CO - 1st Floor, on the 18th of June 2019, at the hour of 9:30 a.m., to consider the above request where and when any person may appear and be heard.

For further information regarding this case, please contact Libby Tart at the Department of Community and Economic Development, 4430 S. Adams County Pkwy, Brighton, CO 80601, 720.523.6800. This is also the location where the maps and/or text certified by the Planning Commission may be viewed.

BY ORDER OF THE BOARD OF COUNTY COMMISSIONERS
JOSH ZYGIELBAUM, CLERK OF THE BOARD

TO BE PUBLISHED IN THE MAY 9, 2019, ISSUE OF THE Westminster Window /
Northglenn Thornton Sentinel

Please reply to this message by email to confirm receipt or call at 720.523.6800.

ADAMS COUNTY
4430 SOUTH ADAMS COUNTY PKWY
BRIGHTON CO 80601-8204

GREGG SHARON K
7883 YORK ST NO. 1
DENVER CO 80229-6112

ARMENDARIZ REYNALDO
13705 SPRUCE WAY
THORNTON CO 80602-8484

HARICK INC
21 INVERNESS WAY EAST
ENGLEWOOD CO 80112-5710

BAECHLER PATRICIA J
7891 YORK STREET
THORNTON CO 80229

HEFFENGER PEPE R
1601 HOPKINS DR
THORNTON CO 80229

CHAVEZ MARIO AND
CHAVEZ MARGARET
739 WCR 47
HUDSON CO 80642

JJM ENTERPRISES INC
6299 S IOLA WAY
ENGLEWOOD CO 80111-6826

CLC LAKE PLAZA LLC
1480 E 73RD AVE
DENVER CO 80229-6902

JMJC TEN LLC
5652 S DELAWARE ST
LITTLETON CO 80120-1635

DDJ PROPERTIES LLC
7900 YORK STREET
DENVER CO 80229

KIM HYEON KI AND
KIM TONG SUK
7929 YORK ST
DENVER CO 80229-6100

EQUITY TRUST OCOMPANY CUSTODIAN FBO
NGUYEN SON IRA
10894 IRVING CT
WESTMINSTER CO 80031-6813

LACOURSE MICHELLE R
2390 S QUEBEC ST APT 306
DENVER CO 80231-6721

FLAMING JANET 50% INT AND
FLAMING LARRY 50% INT
19094 E CHENANGO CIR
AURORA CO 80015-4945

LEWIS MARILYN A TRUST THE
1515 QUAIL LN
CASTLE ROCK CO 80104-2804

FLAMING LARRY M AND
FLAMING JANET L
19094 E CHENANGO CIR
AURORA CO 80015-4945

M AND J DEVELOPMENT LLC
868 GREYSTONE LN
CORVALLIS MT 59828-9332

FOUST GREGORY E/KAREN A AND
HOWARD ROGER L/JANICE C
11462 E LOUISIANA AVE
AURORA CO 80012

MENDOZA FLORENCE AND
MENDOZA RAFAEL
1955 E 75TH AVE
DENVER CO 80229-6513

MENDOZA RAFAEL AND
MENDOZA FLORENCE
1955 E 75TH AVE
DENVER CO 80229

SECURITY REALTY COMPANY
600 JOSEPHINE ST
DENVER CO 80206-3723

MENDOZA RAFAEL AND
MENDOZA FLORENCE
1955 E 75TH AVENUE
DENVER CO 80229

SHEERAN RAY P ET AL
7757 YORK ST
DENVER CO 80229-6612

MENDOZA RAFAEL AND
MENDOZA FLORENCE
1955 E 75TH AVE
DENVER CO 80229-6513

SNYDER LARRY F
PO BOX 211114
DENVER CO 80221

ORR FRED J
5040 ACOMA ST
DENVER CO 80216

SPRINGBROOK LLLP
91 E DARTMOUTH
ENGLEWOOD CO 80113

PERREAULT DAVID M AND
PERREAULT AMANDA M
8306 ZEPHYR ST
ARVADA CO 80005-2540

TERRACE ENTERPRISES LLC
1661 E 77TH AVE
DENVER CO 80229

PERSICHITTE ELAINE L
5269 FOX HALLOW COURT
LOVELAND CO 80537

TOLVO LORETTA AND
PERSICHETTE ELAINE
102 SWEET CLOVER CT
LOVELAND CO 80537-3426

RENDE DANIEL ET AL
102 SWEET CLOVER CT
LOVELAND CO 80537-3426

VOON PATRICK
8995 W GEDDES PL
LITTLETON CO 80128-4108

RENDE ROSE
102 SWEET CLOVER CT
LOVELAND CO 80537-3426

WELBY BUSINESS PARK LLC
1480 E 73RD AVE
DENVER CO 80229-6902

RODRIGUEZ EFRAIN
5021 FILLMORE ST
DENVER CO 80216-2522

YORKTOWN HOMES ASSOC INC
C/O MANAGEMENT SPECIALISTS
8670 WOLFF CT NO. 150
WESTMINSTER CO 80030-3692

ROETS LEANNE
4888 10TH ST
BOULDER CO 80304-4319

YORKTOWN HOMES ASSOCIATION
C/O MANAGEMENT SPECIALISTS
8670 WOLFF CT NO. 150
WESTMINSTER CO 80030-3692

ABEYTA KUSONDRA
OR CURRENT RESIDENT
7925 YORK ST APT 3
DENVER CO 80229-6162

DURON LEOPOLDO
OR CURRENT RESIDENT
7865 YORK ST APT 2
DENVER CO 80229-6191

ALVAREZ ASHLEY A
OR CURRENT RESIDENT
7923 YORK ST APT 3
DENVER CO 80229-6163

ESPINO VIVIANA JUDITH
OR CURRENT RESIDENT
7875 YORK ST APT 3
DENVER CO 80229-6187

BLEYENBERG LARRY AND
BLEYENBERG PATRICIA
OR CURRENT RESIDENT
1955 E 77TH AVE
DENVER CO 80229-6521

ESQUIBEL JOEL
OR CURRENT RESIDENT
7877 YORK ST APT 3
DENVER CO 80229-6186

BRUNS GLORIA J
OR CURRENT RESIDENT
7889 YORK ST UNIT 2
DENVER CO 80229-6112

FAYLOR KATIE JAN
OR CURRENT RESIDENT
7887 YORK ST NO. 2
DENVER CO 80229-6112

CIANCIO JANICE DORIS AND
JONES ALLEN W
OR CURRENT RESIDENT
2251 E 77TH AVE
DENVER CO 80229

FIFER JOHN G
OR CURRENT RESIDENT
7897 YORK ST APT 2
DENVER CO 80229-6177

CORRISTON JESSE AND
ULIBARRI GERALDINE
OR CURRENT RESIDENT
7895 YORK ST APT 1
DENVER CO 80229-6178

FITZHUGH REBECCA
OR CURRENT RESIDENT
7889 YORK ST NO. 3
DENVER CO 80229

CRIGER KEVIN LEE AND
CRIGER SHIRLEY MAE
OR CURRENT RESIDENT
7923 YORK ST APT 1
DENVER CO 80229-6163

FOLEY NANCY E
OR CURRENT RESIDENT
7889 YORK ST NO. 1
DENVER CO 80229

DEL HIERRO RACHEL Y
OR CURRENT RESIDENT
7897 YORK ST APT 1
DENVER CO 80229-6177

GARCIA DEBBY L
OR CURRENT RESIDENT
7893 YORK ST APT 1
THORNTON CO 80229-6179

DELUZIO DANIEL J AND
DELUZIO MURNA
OR CURRENT RESIDENT
2081 E 78TH AVE
DENVER CO 80229

GARCIA RAYMOND L
OR CURRENT RESIDENT
7869 YORK ST NO. 1
DENVER CO 80229

DISHER JAMES W AND
DISHER CHERYL A
OR CURRENT RESIDENT
2160 E 78TH AVE
DENVER CO 80229-6006

HANEL DAVID L
OR CURRENT RESIDENT
7891 YORK ST APT 3
DENVER CO 80229-6180

HERNANDEZ GEORGE D
OR CURRENT RESIDENT
7751 YORK ST
DENVER CO 80229-6612

MAINE DENVER
OR CURRENT RESIDENT
7865 YORK ST APT 3
DENVER CO 80229-6191

HERNANDEZ MARIA
OR CURRENT RESIDENT
7885 YORK STREET NO. 3
DENVER CO 80229

MARLOW DEBRA L
OR CURRENT RESIDENT
7887 YORK ST APT 3
DENVER CO 80229-6182

HINOJOSA HERMAN B
OR CURRENT RESIDENT
7877 YORK ST APT 2
DENVER CO 80229-6186

MARTINEZ GREGORY A JR
OR CURRENT RESIDENT
7931 YORK ST APT 1
DENVER CO 80229-6159

HITE TYLER J
OR CURRENT RESIDENT
7885 YORK ST APT 1
DENVER CO 80229-6183

MARTINEZ SHIRLEY T
OR CURRENT RESIDENT
7879 YORK ST NO. 3
DENVER CO 80229-6112

HOUSINI SAYED S
OR CURRENT RESIDENT
2061 E 78TH AVE
DENVER CO 80229-6004

MAYS KEVIN M
OR CURRENT RESIDENT
7887 YORK ST APT 1
DENVER CO 80229-6182

JENKINS BASIL L TRUST
OR CURRENT RESIDENT
7931 YORK ST NO. 2
DENVER CO 80229

MC CUMISKEY JOANN
OR CURRENT RESIDENT
7875 YORK ST NO. 2
DENVER CO 80229-6112

KELLEY VICTORIA
OR CURRENT RESIDENT
7873 YORK ST NO. 1
DENVER CO 80229-6112

MC WHITE VICKI D
OR CURRENT RESIDENT
7929 YORK ST NO. 2
DENVER CO 80229-6100

LAUDENSLAGER JERE SCOTT
OR CURRENT RESIDENT
2115 E 77TH AVE
DENVER CO 80229-6522

MENDOZA RAFAEL AND
MENDOZA FLORES
OR CURRENT RESIDENT
7591 YORK ST
DENVER CO 80229-6665

LIFKA PHILIP B
OR CURRENT RESIDENT
7895 YORK ST NO. 3
DENVER CO 80229-6112

METCALFE DEREK R AND
LAMOS LAURA
OR CURRENT RESIDENT
7701 YORK ST
DENVER CO 80229-6612

LOBATO LAWRENCE R AND
LOBATO AMY J SANCHEZ
OR CURRENT RESIDENT
7731 YORK ST
DENVER CO 80229-6612

MONTOYA GIGI
OR CURRENT RESIDENT
7865 YORK ST
DENVER CO 80229-6196

NEUMANN FAMILY TRUST THE
OR CURRENT RESIDENT
7927 YORK ST APT 1
DENVER CO 80229-6161

SALZ JOSHUA A
OR CURRENT RESIDENT
2100 E 78TH AVE
DENVER CO 80229-6006

OVIEDO CAROLYN M
OR CURRENT RESIDENT
7867 YORK ST APT 2
THORNTON CO 80229-6190

SANG SOO ENTERPRISES LLC
OR CURRENT RESIDENT
7855 YORK ST
DENVER CO 80229-6195

PEREZ ROBERTO
OR CURRENT RESIDENT
1900 E 78TH AVE
DENVER CO 80229-6003

SARLES NATALIE K AND
SARLES MARK W
OR CURRENT RESIDENT
7875 YORK ST APT 1
DENVER CO 80229-6187

PHOEBUS PAUL
OR CURRENT RESIDENT
7867 YORK ST APT 3
DENVER CO 80229-6190

SCAMMELL CHARLES E JR
OR CURRENT RESIDENT
7879 YORK ST NO. 2
DENVER CO 80229-6112

RADER DANIEL AND
RADER TINA
OR CURRENT RESIDENT
7861 YORK ST
DENVER CO 80229-6112

SILLETTO PIA
OR CURRENT RESIDENT
7757 YORK ST
DENVER CO 80229-6612

RADER LIVING TRUST THE DATED 8-28-2007
RADER BERT W AND DELPHINE M TRUSTEES
OR CURRENT RESIDENT
7871 YORK ST
DENVER CO 80229-6112

TERRACE ENTERPRISES LLC
OR CURRENT RESIDENT
1661 E 77TH AVE
DENVER CO 80229

REID FREDERICK T JR AND
REID DONNA M
OR CURRENT RESIDENT
2150 E 78TH AVE
DENVER CO 80229-6006

VAZQUEZ MARIANO HERNANDEZ
OR CURRENT RESIDENT
7929 YORK ST APT 1
DENVER CO 80229-6160

ROBERTS KYLE J
OR CURRENT RESIDENT
7927 YORK ST APT 3
DENVER CO 80229-6161

CURRENT RESIDENT
1727 E 78TH AVE UNIT 111
DENVER CO 80229-5985

RUKOSUYEV VITALLY AND
RUKOSUYEV ALLA
OR CURRENT RESIDENT
7869 YORK ST APT 3
DENVER CO 80229-6189

CURRENT RESIDENT
1727 E 78TH AVE UNIT 112
DENVER CO 80229-5985

SALDANA ELISA
OR CURRENT RESIDENT
7893 YORK STREET NO. 3
DENVER CO 80229

CURRENT RESIDENT
1727 E 78TH AVE UNIT 113
DENVER CO 80229-5985

CURRENT RESIDENT
1727 E 78TH AVE UNIT 114
DENVER CO 80229-5985

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1727 E 78TH AVE UNIT 126
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1727 E 78TH AVE UNIT 135
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1727 E 78TH AVE UNIT 124
DENVER CO 80229-5985

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1777 E 78TH AVE UNIT 211
DENVER CO 80229-5986

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1727 E 78TH AVE UNIT 125
DENVER CO 80229-5985

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1777 E 78TH AVE UNIT 212
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1777 E 78TH AVE UNIT 225
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1777 E 78TH AVE UNIT 214
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1777 E 78TH AVE UNIT 226
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1777 E 78TH AVE UNIT 215
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1777 E 78TH AVE UNIT 232
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1777 E 78TH AVE UNIT 221
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1777 E 78TH AVE UNIT 222
DENVER CO 80229-5986

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1777 E 78TH AVE UNIT 234
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1777 E 78TH AVE UNIT 223
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1777 E 78TH AVE UNIT 237
DENVER CO 80229-5987

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1855 E 78TH AVE UNIT 321
DENVER CO 80229-5988

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1777 E 78TH AVE UNIT 238
DENVER CO 80229-5987

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1855 E 78TH AVE UNIT 322
DENVER CO 80229-5988

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1855 E 78TH AVE UNIT 311
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DENVER CO 80229-5988

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DENVER CO 80229-5988

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DENVER CO 80229-5988

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DENVER CO 80229-5988

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DENVER CO 80229-5988

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1855 E 78TH AVE UNIT 332
DENVER CO 80229-5988

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1855 E 78TH AVE UNIT 333
DENVER CO 80229-5988

CURRENT RESIDENT
1961 E 78TH AVE UNIT 415
DENVER CO 80229-5990

CURRENT RESIDENT
1855 E 78TH AVE UNIT 334
DENVER CO 80229-5988

CURRENT RESIDENT
1961 E 78TH AVE UNIT 416
DENVER CO 80229-5990

CURRENT RESIDENT
1855 E 78TH AVE UNIT 335
DENVER CO 80229-5989

CURRENT RESIDENT
1961 E 78TH AVE UNIT 417
DENVER CO 80229-5990

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1855 E 78TH AVE UNIT 336
DENVER CO 80229-5989

CURRENT RESIDENT
1961 E 78TH AVE UNIT 418
DENVER CO 80229-5990

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1855 E 78TH AVE UNIT 337
DENVER CO 80229-5989

CURRENT RESIDENT
1961 E 78TH AVE UNIT 421
DENVER CO 80229-5990

CURRENT RESIDENT
1855 E 78TH AVE UNIT 338
DENVER CO 80229-5989

CURRENT RESIDENT
1961 E 78TH AVE UNIT 422
DENVER CO 80229-5990

CURRENT RESIDENT
1961 E 78TH AVE UNIT 411
DENVER CO 80229-5990

CURRENT RESIDENT
1961 E 78TH AVE UNIT 423
DENVER CO 80229-5990

CURRENT RESIDENT
1961 E 78TH AVE UNIT 412
DENVER CO 80229-5990

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1961 E 78TH AVE UNIT 424
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1961 E 78TH AVE UNIT 413
DENVER CO 80229-5990

CURRENT RESIDENT
1961 E 78TH AVE UNIT 425
DENVER CO 80229-5990

CURRENT RESIDENT
1961 E 78TH AVE UNIT 414
DENVER CO 80229-5990

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1961 E 78TH AVE UNIT 426
DENVER CO 80229-5990

CURRENT RESIDENT
1961 E 78TH AVE UNIT 427
DENVER CO 80229-5990

CURRENT RESIDENT
1961 E 78TH AVE UNIT 436
DENVER CO 80229-5993

CURRENT RESIDENT
1961 E 78TH AVE UNIT 428
DENVER CO 80229-5990

CURRENT RESIDENT
1961 E 78TH AVE UNIT 437
DENVER CO 80229-5993

CURRENT RESIDENT
1961 E 78TH AVE UNIT 431
DENVER CO 80229-5990

CURRENT RESIDENT
1961 E 78TH AVE UNIT 438
DENVER CO 80229-5993

CURRENT RESIDENT
1961 E 78TH AVE UNIT 432
DENVER CO 80229-5990

CURRENT RESIDENT
2023 E 78TH AVE UNIT 514
DENVER CO 80229-5994

CURRENT RESIDENT
1961 E 78TH AVE UNIT 433
DENVER CO 80229-5990

CURRENT RESIDENT
2023 E 78TH AVE UNIT 515
DENVER CO 80229-5994

CURRENT RESIDENT
1961 E 78TH AVE UNIT 434
DENVER CO 80229-5990

CURRENT RESIDENT
2023 E 78TH AVE UNIT 516
DENVER CO 80229-5994

CURRENT RESIDENT
1961 E 78TH AVE UNIT 435
DENVER CO 80229-5990

CURRENT RESIDENT
2023 E 78TH AVE UNIT 517
DENVER CO 80229-5994

CURRENT RESIDENT
1727 E 78TH AVE UNIT 136
DENVER CO 80229-5991

CURRENT RESIDENT
2023 E 78TH AVE UNIT 518
DENVER CO 80229-5994

CURRENT RESIDENT
1727 E 78TH AVE UNIT 137
DENVER CO 80229-5991

CURRENT RESIDENT
2023 E 78TH AVE UNIT 521
DENVER CO 80229-5994

CURRENT RESIDENT
1727 E 78TH AVE UNIT 138
DENVER CO 80229-5991

CURRENT RESIDENT
2023 E 78TH AVE UNIT 522
DENVER CO 80229-5994

CURRENT RESIDENT
2023 E 78TH AVE UNIT 523
DENVER CO 80229-5994

CURRENT RESIDENT
2023 E 78TH AVE UNIT 535
DENVER CO 80229-5994

CURRENT RESIDENT
2023 E 78TH AVE UNIT 524
DENVER CO 80229-5994

CURRENT RESIDENT
2023 E 78TH AVE UNIT 536
DENVER CO 80229-5994

CURRENT RESIDENT
2023 E 78TH AVE UNIT 525
DENVER CO 80229-5994

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2023 E 78TH AVE UNIT 537
DENVER CO 80229-5994

CURRENT RESIDENT
2023 E 78TH AVE UNIT 526
DENVER CO 80229-5994

CURRENT RESIDENT
2023 E 78TH AVE UNIT 538
DENVER CO 80229-5994

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2023 E 78TH AVE UNIT 527
DENVER CO 80229-5994

CURRENT RESIDENT
2023 E 78TH AVE UNIT 511
DENVER CO 80229-5995

CURRENT RESIDENT
2023 E 78TH AVE UNIT 528
DENVER CO 80229-5994

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2023 E 78TH AVE UNIT 512
DENVER CO 80229-5995

CURRENT RESIDENT
2023 E 78TH AVE UNIT 531
DENVER CO 80229-5994

CURRENT RESIDENT
2023 E 78TH AVE UNIT 513
DENVER CO 80229-5995

CURRENT RESIDENT
2023 E 78TH AVE UNIT 532
DENVER CO 80229-5994

CURRENT RESIDENT
2080 E 78TH AVE
DENVER CO 80229-6005

CURRENT RESIDENT
2023 E 78TH AVE UNIT 533
DENVER CO 80229-5994

CURRENT RESIDENT
1616 E 78TH AVE LOT 1
DENVER CO 80229-6039

CURRENT RESIDENT
2023 E 78TH AVE UNIT 534
DENVER CO 80229-5994

CURRENT RESIDENT
1616 E 78TH AVE LOT 2
DENVER CO 80229-6039

CURRENT RESIDENT
1616 E 78TH AVE LOT 3
DENVER CO 80229-6039

CURRENT RESIDENT
1616 E 78TH AVE LOT 14
DENVER CO 80229-6040

CURRENT RESIDENT
1616 E 78TH AVE LOT 4
DENVER CO 80229-6039

CURRENT RESIDENT
1616 E 78TH AVE LOT 15
DENVER CO 80229-6040

CURRENT RESIDENT
1616 E 78TH AVE LOT 5
DENVER CO 80229-6039

CURRENT RESIDENT
1616 E 78TH AVE LOT 16
DENVER CO 80229-6040

CURRENT RESIDENT
1616 E 78TH AVE LOT 6
DENVER CO 80229-6039

CURRENT RESIDENT
1616 E 78TH AVE LOT 17
DENVER CO 80229-6040

CURRENT RESIDENT
1616 E 78TH AVE LOT 8
DENVER CO 80229-6039

CURRENT RESIDENT
1616 E 78TH AVE LOT 18
DENVER CO 80229-6041

CURRENT RESIDENT
1616 E 78TH AVE LOT 9
DENVER CO 80229-6039

CURRENT RESIDENT
1616 E 78TH AVE LOT 19
DENVER CO 80229-6041

CURRENT RESIDENT
1616 E 78TH AVE LOT 10
DENVER CO 80229-6040

CURRENT RESIDENT
1616 E 78TH AVE LOT 19A
DENVER CO 80229-6041

CURRENT RESIDENT
1616 E 78TH AVE LOT 11
DENVER CO 80229-6040

CURRENT RESIDENT
1616 E 78TH AVE LOT 19B
DENVER CO 80229-6041

CURRENT RESIDENT
1616 E 78TH AVE LOT 12
DENVER CO 80229-6040

CURRENT RESIDENT
1616 E 78TH AVE LOT 20
DENVER CO 80229-6041

CURRENT RESIDENT
1616 E 78TH AVE LOT 13
DENVER CO 80229-6040

CURRENT RESIDENT
1616 E 78TH AVE LOT 21
DENVER CO 80229-6041

CURRENT RESIDENT
1616 E 78TH AVE LOT 22
DENVER CO 80229-6041

CURRENT RESIDENT
1616 E 78TH AVE LOT 32
DENVER CO 80229-6042

CURRENT RESIDENT
1616 E 78TH AVE LOT 23
DENVER CO 80229-6041

CURRENT RESIDENT
1616 E 78TH AVE LOT 33
DENVER CO 80229-6042

CURRENT RESIDENT
1616 E 78TH AVE LOT 24
DENVER CO 80229-6041

CURRENT RESIDENT
1616 E 78TH AVE LOT 34
DENVER CO 80229-6043

CURRENT RESIDENT
1616 E 78TH AVE LOT 25
DENVER CO 80229-6041

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1616 E 78TH AVE LOT 35
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CURRENT RESIDENT
7927 YORK ST APT 2
DENVER CO 80229-6161

CURRENT RESIDENT
1616 E 78TH AVE LOT 163
DENVER CO 80229-6058

CURRENT RESIDENT
7923 YORK ST APT 2
DENVER CO 80229-6163

CURRENT RESIDENT
1616 E 78TH AVE LOT 164
DENVER CO 80229-6058

CURRENT RESIDENT
7897 YORK ST APT 3
DENVER CO 80229-6177

CURRENT RESIDENT
1616 E 78TH AVE LOT 165
DENVER CO 80229-6058

CURRENT RESIDENT
7895 YORK ST APT 2
DENVER CO 80229-6178

CURRENT RESIDENT
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DENVER CO 80229-6058

CURRENT RESIDENT
7893 YORK ST APT 2
DENVER CO 80229-6179

CURRENT RESIDENT
1616 E 78TH AVE LOT 167
DENVER CO 80229-6058

CURRENT RESIDENT
7891 YORK ST APT 1
DENVER CO 80229-6180

CURRENT RESIDENT
1616 E 78TH AVE LOT 168
DENVER CO 80229-6058

CURRENT RESIDENT
7891 YORK ST APT 2
DENVER CO 80229-6180

CURRENT RESIDENT
1616 E 78TH AVE LOT 116
DENVER CO 80229-6061

CURRENT RESIDENT
7885 YORK ST APT 2
DENVER CO 80229-6183

CURRENT RESIDENT
1805 E 78TH AVE
DENVER CO 80229-6079

CURRENT RESIDENT
7883 YORK ST APT 2
DENVER CO 80229-6184

CURRENT RESIDENT
7929 YORK ST APT 3
DENVER CO 80229-6160

CURRENT RESIDENT
7883 YORK ST APT 3
DENVER CO 80229-6184

CURRENT RESIDENT
7879 YORK ST APT 1
DENVER CO 80229-6185

CURRENT RESIDENT
7761 YORK ST
DENVER CO 80229-6612

CURRENT RESIDENT
7877 YORK ST APT 1
DENVER CO 80229-6186

CURRENT RESIDENT
7873 YORK ST APT 2
DENVER CO 80229-6188

CURRENT RESIDENT
7873 YORK ST APT 3
DENVER CO 80229-6188

CURRENT RESIDENT
7869 YORK ST APT 2
DENVER CO 80229-6189

CURRENT RESIDENT
1760 E 77TH AVE
DENVER CO 80229-6504

CURRENT RESIDENT
1990 E 77TH AVE
DENVER CO 80229-6508

CURRENT RESIDENT
2000 E 77TH AVE
DENVER CO 80229-6509

CURRENT RESIDENT
2001 E 75TH AVE
DENVER CO 80229-6512

CURRENT RESIDENT
7645 YORK ST
DENVER CO 80229-6610

Adams County Development Services - Building
Attn: Justin Blair
4430 S Adams County Pkwy
Brighton CO 80601

COLORADO DEPT OF TRANSPORTATION
Attn: Steve Loeffler
2000 S. Holly St.
Region 1
Denver CO 80222

Adams County Fire Protection District
Attn: Chris Wilder
8055 N. WASHINGTON ST.
DENVER CO 80229

COLORADO DIVISION OF WILDLIFE
Attn: Eliza Hunholz
Northeast Regional Engineer
6060 BROADWAY
DENVER CO 80216-1000

CDPHE
Attn: Sean Hackett
4300 S Cherry Creek Dr
Denver CO 80246

COLORADO DIVISION OF WILDLIFE
Attn: Serena Rocksund
6060 BROADWAY
DENVER CO 80216

CDPHE
Attn: Sean Hackett
4300 S Cherry Creek Dr
Denver CO 80246

COMCAST
Attn: JOE LOWE
8490 N UMITILLA ST
FEDERAL HEIGHTS CO 80260

CDPHE
Attn: Sean Hackett
4300 S Cherry Creek Dr
Denver CO 80246

COUNTY ATTORNEY- Email
Attn: Christine Fitch
CFitch@adcogov.org

CDPHE - AIR QUALITY
Attn: Richard Coffin
4300 CHERRY CREEK DRIVE SOUTH
DENVER CO 80246-1530

Engineering Department - ROW
Attn: Transportation Department
PWE - ROW

CDPHE - WATER QUALITY PROTECTION SECT
Attn: Patrick Pfaltzgraff
4300 CHERRY CREEK DRIVE SOUTH
WQCD-B2
DENVER CO 80246-1530

Engineering Division
Attn: Transportation Department
PWE

CDPHE SOLID WASTE UNIT
Attn: Andy Todd
4300 CHERRY CREEK DR SOUTH
HMWMD-CP-B2
DENVER CO 80246-1530

ENVIRONMENTAL ANALYST
Attn: Jen Rutter
PLN

Century Link, Inc
Attn: Brandyn Wiedreich
5325 Zuni St, Rm 728
Denver CO 80221

MAPLETON SCHOOL DISTRICT #1
Attn: CHARLOTTE CIANCIO
591 E. 80TH AVE
DENVER CO 80229

Code Compliance Supervisor
Attn: Eric Guenther
eguenther@adcogov.org

METRO WASTEWATER RECLAMATION
Attn: CRAIG SIMMONDS
6450 YORK ST.
DENVER CO 80229

North Washington Street Water & San Dist
Attn: Joe James
3172 E 78th Ave
Denver CO 80229

Xcel Energy
Attn: Donna George
1123 W 3rd Ave
DENVER CO 80223

NS - Code Compliance
Attn: Joaquin Flores

Xcel Energy
Attn: Donna George
1123 W 3rd Ave
DENVER CO 80223

Parks and Open Space Department
Attn: Nathan Mosley
mpedrucci@adcogov.org
aclark@adcogov.org

REGIONAL TRANSPORTATION DIST.
Attn: CHRIS QUINN
1560 BROADWAY SUITE 700
DENVER CO 80202

SHERIFF'S OFFICE: SO-HQ
Attn: MICHAEL McINTOSH
nblair@adcogov.org, aoverton@adcogov.org; mkaiser@adcog
snielson@adcogov.org

Sheriff's Office: SO-SUB
Attn: SCOTT MILLER
TFuller@adcogov.org, smiller@adcogov.org
aoverton@adcogov.org; mkaiser@adcogov.org

TRI-COUNTY HEALTH DEPARTMENT
Attn: Sheila Lynch
6162 S WILLOW DR, SUITE 100
GREENWOOD VILLAGE CO 80111

TRI-COUNTY HEALTH DEPARTMENT
Attn: MONTE DEATRICH
4201 E. 72ND AVENUE SUITE D
COMMERCE CITY CO 80022

Tri-County Health: Mail CHECK to Sheila Lynch
Attn: Tri-County Health
landuse@tchd.org

WELBY CITIZEN GROUP
Attn: NORMA FRANK
7401 RACE STREET
DENVER CO 80229

Elevate at 78th

RCU2018-00046

2080 East 78th Avenue

June 18, 2019

Board of County Commissioners Public Hearing
Community and Economic Development Department

Case Manager: Libby Tart



Request

Rezoning:

- Current Zoning: Agricultural-1 (A-1)
- Proposed Zoning: Industrial-1 (I-1)

Background

- In 2019, a lot line adjustment occurred to change three lots into two.
- Lot 1: 2.65 acres remains A-1
- Lot 2: 5.24 acres is the requested rezone to I-1

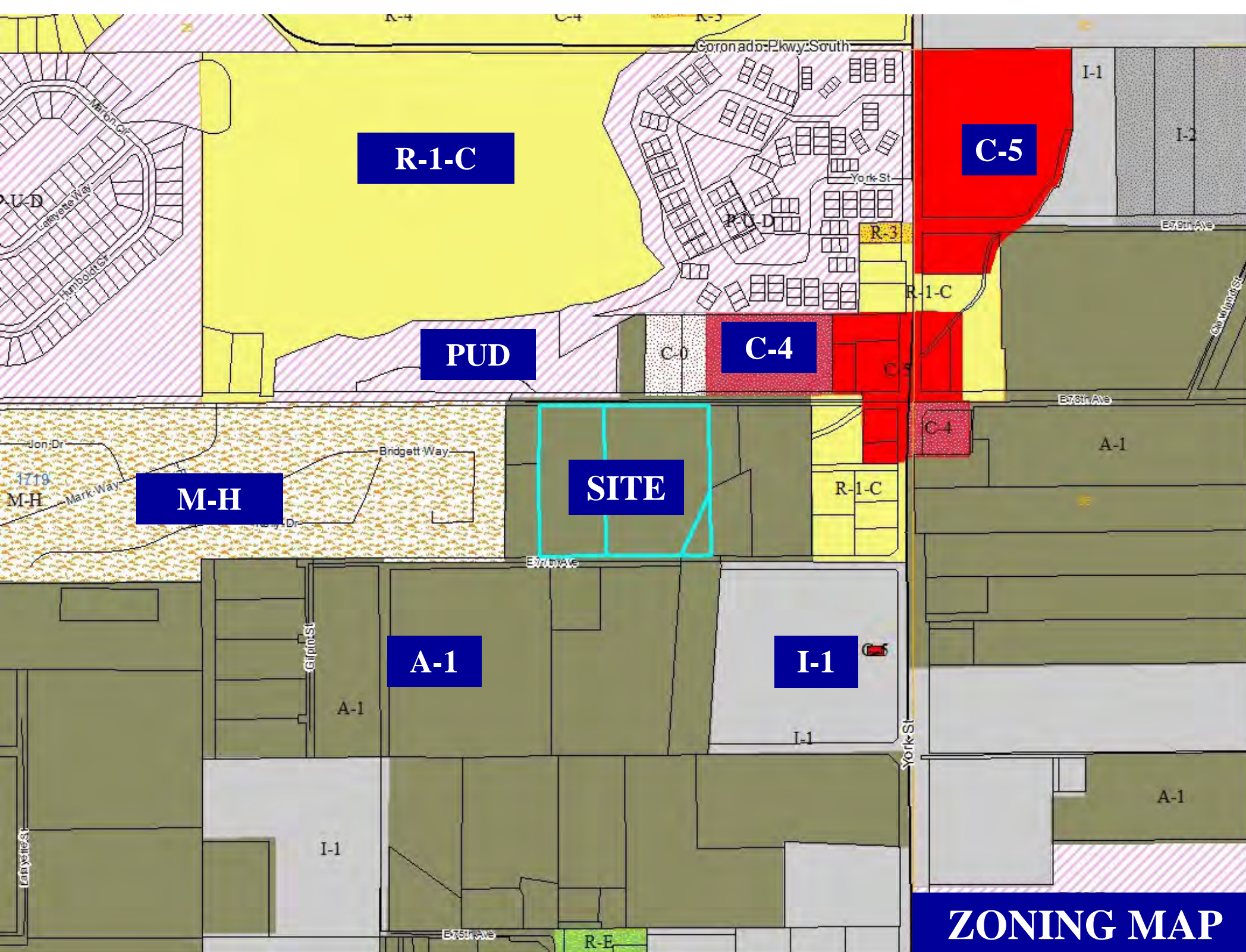


York Street

E. 78th Avenue

E. 77th Avenue

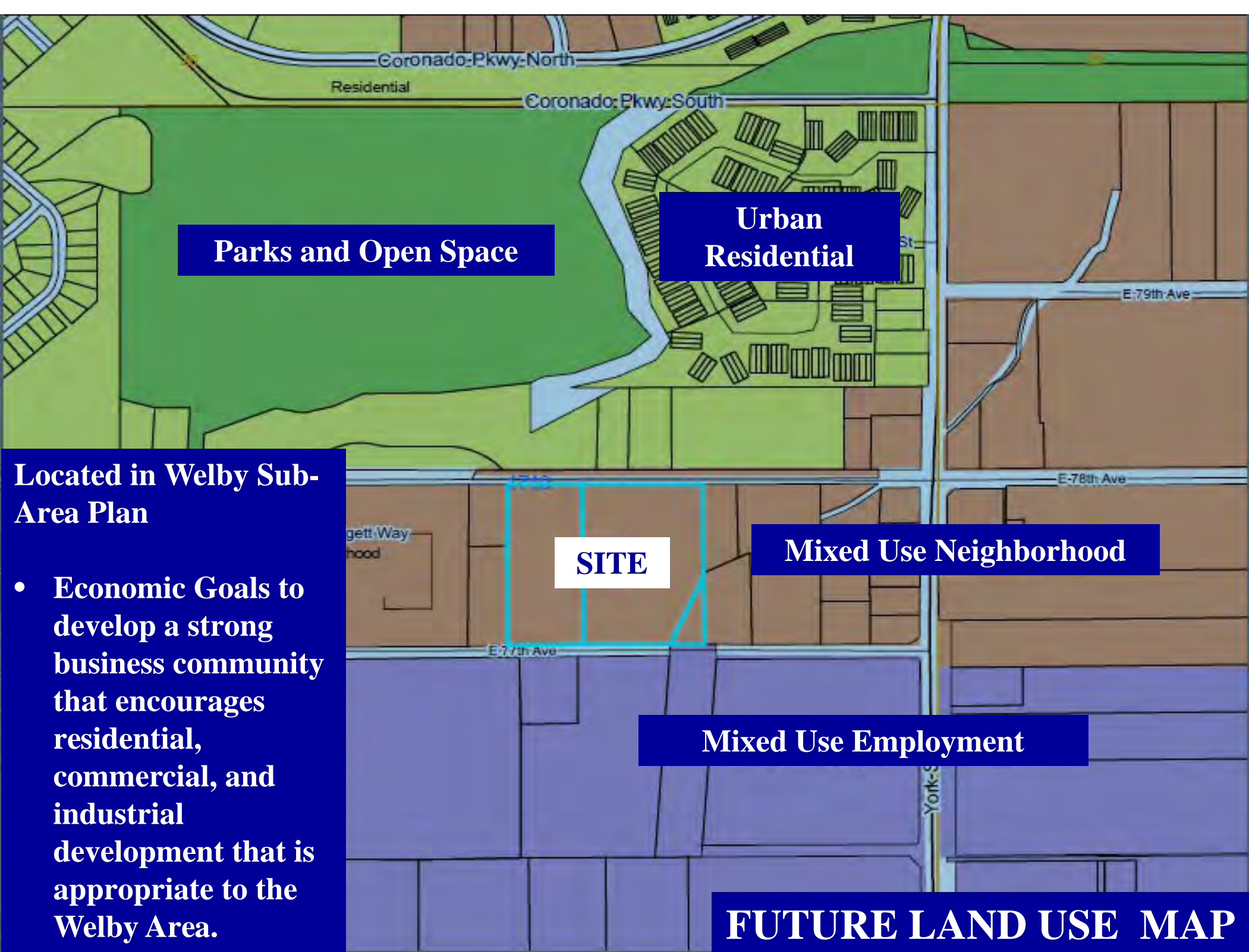
AERIAL MAP



Criteria for Rezoning Approval

Section 2-02-13-06-02

1. Consistent with Comprehensive Plan
2. Consistent with Development Standards
3. Complies to Development Standards
4. Harmonious & Compatible



CONCEPTUAL SITE PLAN

Access Point

LOT 1

2.5 AC ±
(EXISTING A-1)
(PROPOSED A-1)

Ditch in Easement

LOT 2

LOT 2
216,106SF ±
4.93 AC ±

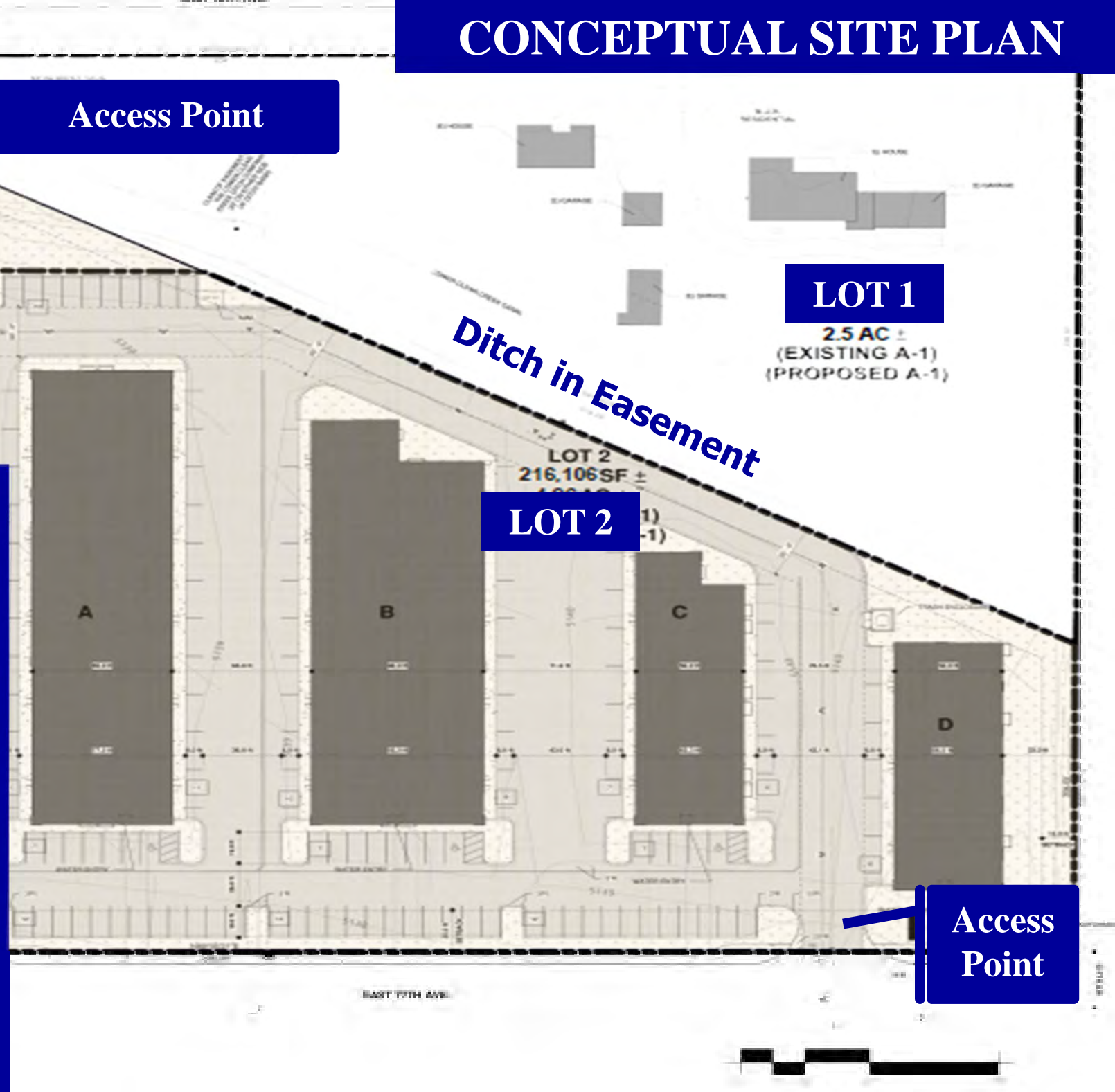
Access Point

LOT 1:

- Remains A-1
- One home to remain

LOT 2:

- 5.24+/- acres
- Proposed for I-1
- 4 Bldgs
- MU- Light Industrial
- Industrial Condos/Maker Space



VIEW LOOKING WEST ALONG 78TH



Shared
access point
along 78th



VIEW LOOKING SOUTH ALONG 78TH



VIEW LOOKING NORTH ALONG 77TH



VIEW LOOKING EAST ALONG 77TH



VIEW LOOKING WEST ALONG 77TH



Referral Period

Notices sent to property owners and occupants*	# of Comments Received
411	0

* Property owners and occupants within 750 feet were notified

Referral Agencies:

- Responding with Concerns:
 - Tri-County Health – stated light industrial uses should not generate external effects on nearby residents
 - Welby Citizens Group – stated concerns about traffic impacts and light industrial uses. Applicant provided more access points in plan to address traffic concerns.
- Responded without concerns:
 - CDOT, Xcel Energy

Planning Commission Update

Public hearing: May 23, 2019

No members of the public testified

PC Recommendation

Approval of the proposed Rezone with 4 Findings of Fact

(RCU2018-00046 – Elevate at 78th)

PC: 6-0 decision

Summary

1. Consistent with Comprehensive Plan
2. Consistent with Development Standards
3. Complies to Development Standards
4. Harmonious & Compatible

PC Recommendation

Recommends approval of the proposed Rezoning (RCU2018-00046 –Elevate at 78th) with 4 Findings-of-Fact.



**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT**

**CASE NAME: Hines Caretaker Dwelling
CASE NUMBER: RCU2019-00013**

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- 2.2 Zoning Map
- 2.3 Future Land Use Map
- 2.4 Simple Map

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- 3.1 Applicant Written Explanation
- 3.2 Applicant Site Plan

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- 4.1 Referral Comments (Adams County)
- 4.2 Referral Comments (CDPHE)
- 4.3 Referral Comments (TCHD)
- 4.4 Referral Comments (Xcel)
- 4.5 Referral Comments (Brighton Fire Rescue)

EXHIBIT 5- Associated Case Materials

- 5.1 Request for Comments
- 5.2 Public Hearing Notice
- 5.3 Newspaper Publication
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- 5.5 Property Occupant and Owner Labels
- 5.6 Certificate of Posting



**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT
STAFF REPORT**

Board of County Commissioners

June 18, 2019

CASE No.: RCU2019-00013	CASE NAME: Hines Caretaker Dwelling
--------------------------------	--

Owner's Name:	Samuel Hines
Applicant's Name:	Samuel Hines
Applicant's Address:	40554 East 136 th Avenue, Hudson, CO 80642
Location of Request:	40554 East 136 th Avenue, Hudson, CO 80642
Nature of Request:	A conditional use permit to allow a caretaker dwelling unit in an A-3 zone district
Zone Districts:	Agricultural – 3 (A-3)
Comprehensive Plan:	Agriculture
Site Size:	36.47 acres
Proposed Accessory Use:	Caretaker Dwelling Unit
Existing Primary Use:	Single-Family Residential
Hearing Date(s):	BOCC: June 18, 2019 /9:30 a.m.
Report Date:	June 7, 2019
Case Manager:	Libby Tart
Staff Recommendation:	APPROVAL with 8 Findings-of-Fact, 3 Conditions, and 2 Notes

SUMMARY OF PREVIOUS APPLICATIONS

The 36.47-acre site is occupied by Mr. Hines and contains one single-family dwelling unit, one outbuilding for farm utilities, and three cattle sheds. The existing single-family dwelling unit and farm utility building were built in 1908, while the other three cattle sheds were constructed in 2007.

SUMMARY OF APPLICATION

Background

Samuel Hines, the applicant, is requesting a conditional use permit (CUP) to allow for a double-wide modular caretaker dwelling unit on slab on the subject property. The proposed caretaker unit is 1,260 square-feet.

Site Characteristics:

The subject property is located approximately 650 feet southwest of the intersection of Petterson Road and East 136th Avenue. The 36.47-acre parcel has access onto East 136th Avenue. Currently, the property contains a 1,012 square-foot primary dwelling unit, a 378 square-foot farm utility outbuilding, and three 288 square-foot cattle sheds.

Development Standards and Regulations Requirements:

The subject site is located in the Agricultural-3 (A-3) zone district and contains an existing single-family dwelling unit and accessory farm outbuildings. The caretaker dwelling unit is under consideration as an accessory structure and is required to meet the accessory structure setback and size standards and regulations, as well as the caretaker dwelling unit standards and regulations.

Per Section 3-10-07-04 of the Adams County Development Standards and Regulations, accessory structures or agricultural buildings in the A-3 zone district “shall be setback at least ten (10) feet to the rear of the front structure line of the principal dwelling, or one hundred (100) feet from the front property line, whichever is less, if a principal dwelling already exists on site.” The side setback for accessory structures in an A-3 zone district is ten (10) feet, or one (1) foot per two (2) feet of height, whichever is greater, and the rear setback is ten (10) feet. The applicant has provided a site plan (see Exhibit 3.2) demonstrating that the accessory structure complies with all setbacks established in the A-3 zone district. The proposed unit is setback 160 feet from the front property line, 300+ feet from each side property line, and 2,300+ feet from the rear property line.

In addition to meeting the required accessory structure setbacks within an A-3 zone district, the applicant is required to meet Section 4-03-04-02-01, or the Caretaker Dwelling Development Standards and Regulations. The minimums for the creation of a Caretaker Dwelling are as follows: permitted dwelling type – an apartment, detached single-family dwelling or mobile home, minimum dwelling size – seven-hundred-fifty (750) square feet, and only one (1) accessory dwelling is allowed per lot. This Section specifies that a Mobile Home as a Caretaker Dwelling shall meet the following: all mobile homes shall be provided with potable water meeting the pressure requirements of the 1997 Uniform Building Code, as amended and meeting the minimum drinking water quality standards established by the Colorado Department of Public Health and Environment; all homes shall be provided with sanitary sewer, sewer or an individual sewage disposal system meeting the requirements of the Tri-County Health Department. Mobile homes shall be in sound condition and shall be placed on a concrete pad, blocked and properly anchored and skirted. The applicant has indicated that they comply with the minimum requirements for square-footage, has adequate well, septic, and electric provisions for the proposed mobile home caretaker dwelling unit, and will be on a concrete pad.

Staff has noted to the applicant that all requests are required to meet the necessary building and fire codes. A separate building permit shall be required for the dwelling unit.

Future Land Use Designation/Goals of the Comp-Plan for the Area

The future land use designation on the property is Agriculture. Per Chapter 5 of the Adams County Comprehensive Plan, an Agriculture designation denotes “the areas that have been identified are those that are not expected to develop, except for limited areas of very low density residential at densities of 1 dwelling per 35 acres, for the foreseeable future. These areas are typically characterized by a lack of urban services”.

The request to develop the property for a caretaker dwelling unit is consistent with the Comprehensive Plan. In addition, the 2017 Adams County Housing Needs Assessment identifies the need for missing middle housing and options to resolve multiple generations living in one unit.

Surrounding Zoning Designations and Existing Use Activity:

Northwest A-3 Agricultural/Single Family Residential	North A-3 Agricultural/Vacant	Northeast A-3 Agricultural/Vacant
West A-3 Agricultural/Single Family Residential	Subject Property A-3 Agricultural/Single Family Residential	East A-3 Agricultural/Single Family Residential
Southwest A-3 Agricultural/Vacant	South A-3 Agricultural/Vacant	Southeast A-3 Agricultural/Vacant

Compatibility with the Surrounding Land Uses:

All the surrounding properties to the site are designated as agricultural. The surrounding area is largely agricultural with single family dwelling unit to the west and east of the subject property.

PLANNING COMMISSION UPDATE:

The Planning Commission considered this case on May 23, 2019, and recommended approval in a 6-0 vote. The applicant was available to answer questions at the hearing and indicated they were supportive of staff’s recommendation and proposed conditions. The Planning Commission, based on the fire district’s comment, did request an extra condition that the applicant complies with all local fire district requirements for fire sprinkler systems. There was no public testimony at the hearing

PC and Staff Recommendation:

Based upon the application, the criteria for approval of a conditional use permit, the County’s Comprehensive Plan, and a recent site visit, staff recommends approval of the request with 8 findings-of-fact, 3 conditions, and 2 notes.

Recommended Findings-of-fact for Approval:

1. The conditional use is permitted in the applicable zone district.
2. The conditional use is consistent with the purposes of these standards and regulations.
3. The conditional use will comply with the requirements of these standards and regulations, including but not limited to, all applicable performance standards.
4. The conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
5. The conditional use permit has addressed all off-site impacts.
6. The site is suitable for the proposed conditional use including adequate usable space, adequate access, and absence of environmental constraints.
7. The site plan for the proposed conditional use will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
8. Sewer, water, storm water drainage, fire protection, police protection, and roads are available and adequate to serve the needs of the conditional use as designed and proposed.

Recommended Conditions:

1. The Conditional Use Permit shall expire on June 18, 2029, ten (10) years from the date of approval by the Board of County Commissioners. Should the Conditional Use Permit expire or not be renewed, the caretaker dwelling unit shall be removed from the site.
2. The applicant shall apply for a separate building permit for the modular dwelling unit.
3. The applicant shall comply with the local fire district's requirements for fire sprinkler systems.

Recommended Notes:

1. The applicant shall adhere to all fire, animal, health, zoning, engineering, and building codes.
2. The conditional use permit shall expire on June 18, 2020 if a building permit has not been issued for the caretaker dwelling.

PUBLIC COMMENTS

Notices Sent	Number of Responses
8	0

Staff sent eight notices to property owners and occupants within 1,250 feet of the subject request. As of writing this report, staff has received no public comments.

COUNTY AGENCY COMMENTS

Staff reviewed the original request for a caretaker dwelling unit and identified that the applicant needed to clarify further information about the size of the modular home and setbacks. The

applicant provided this clarification to staff and it is contained in the exhibit material from the applicant.

Engineering has also indicated there is not an access permit on file for the property and one will be required at the time of a building permit application. Building and Safety also indicated that the current adopted codes for a permit are the 2018 International Building Code and the 2017 National Electric Code.

REFERRAL AGENCY COMMENTS

Responding with Concerns (to be addressed at time of building permit):

Tri-County Health – The agency indicated that they have no objections to the property being served, but they do not have a record of the location of the soil treatment area for the on-site wastewater treatment system and the applicant will need to obtain a Use Permit from Tri-County. The applicant has indicated they will apply for this Permit upon receiving approval from Adams County for the caretaker unit application.

Brighton Fire Rescue – They indicated that the dwelling must comply with the applicable sections of the 2018 International Fire Code. Due to the unit not being within 1,000 feet of a hydrant, Brighton indicates that an automatic fire sprinkler system will be required.

Responding without Concerns:

CDPHE

Xcel Energy

Notified but not Responding / Considered a Favorable Response:

Bennett School District 27J

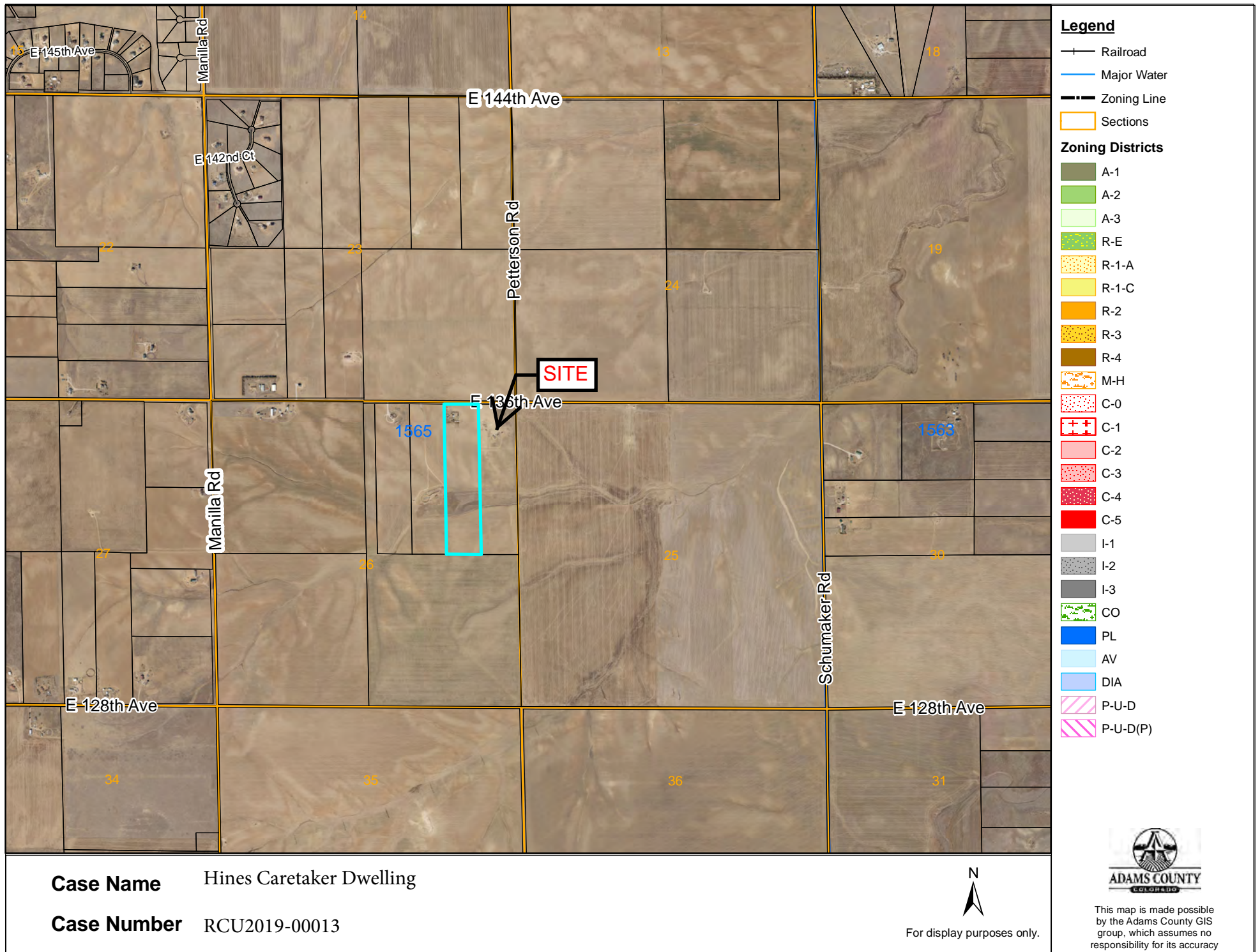
Century Link

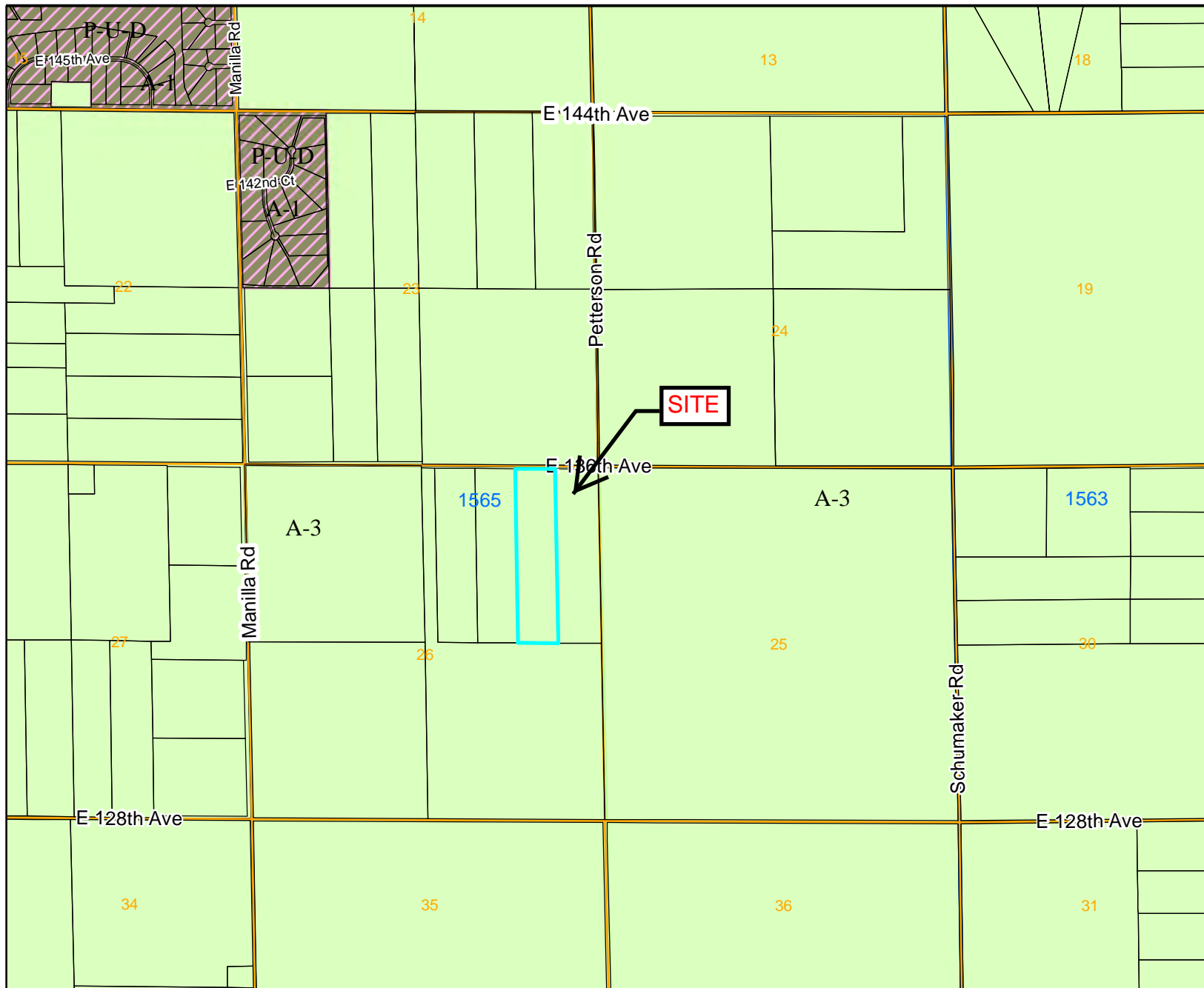
Colorado Division of Wildlife

Comcast

Southeast Weld County Fire

United Power, Inc.





Legend

- Railroad
- Major Water
- Zoning Line
- Sections

Zoning Districts

- A-1
- A-2
- A-3
- R-E
- R-1-A
- R-1-C
- R-2
- R-3
- R-4
- M-H
- C-0
- C-1
- C-2
- C-3
- C-4
- C-5
- I-1
- I-2
- I-3
- CO
- PL
- AV
- DIA
- P-U-D
- P-U-D(P)

Case Name Hines Caretaker Dwelling

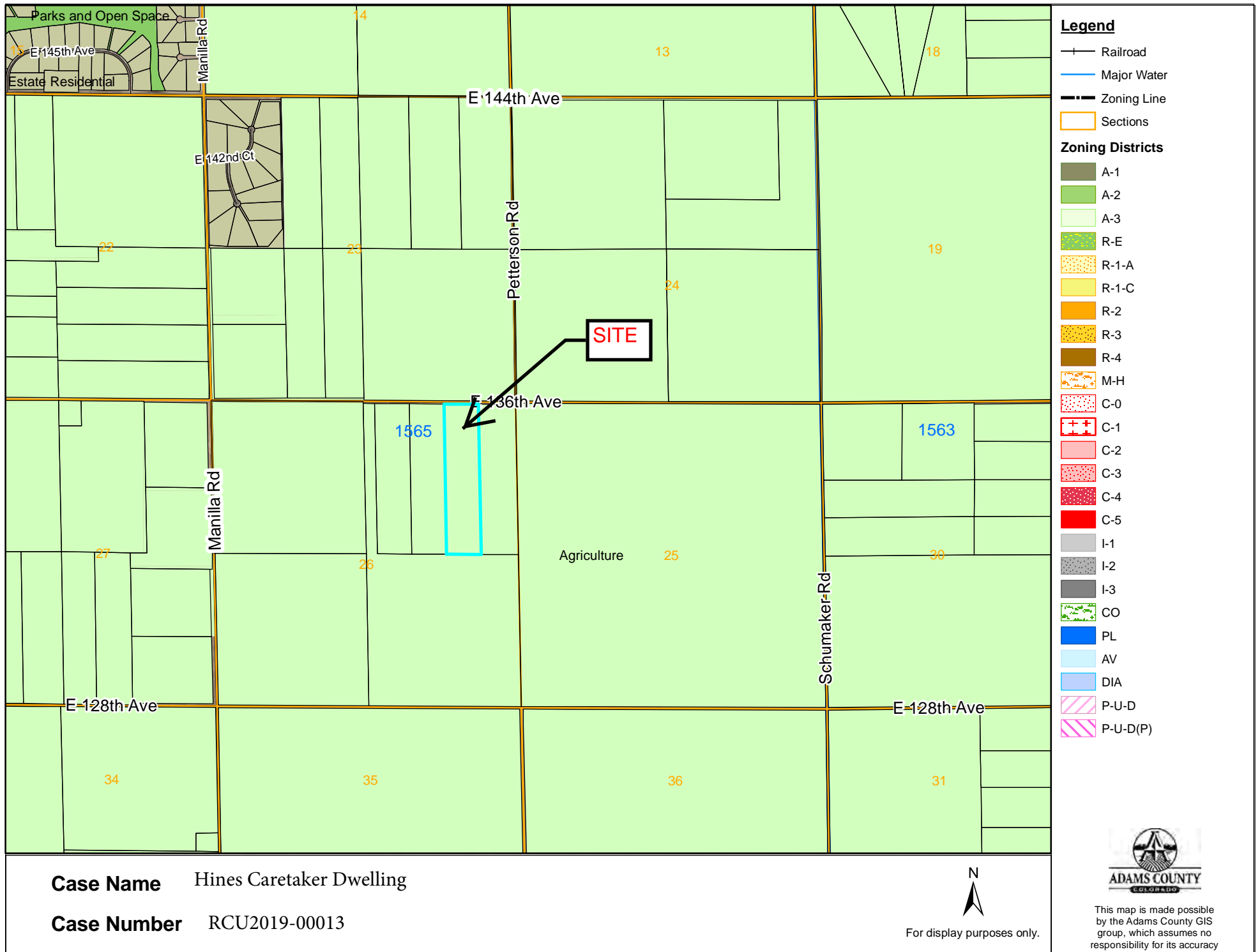
Case Number RCU2019-00013

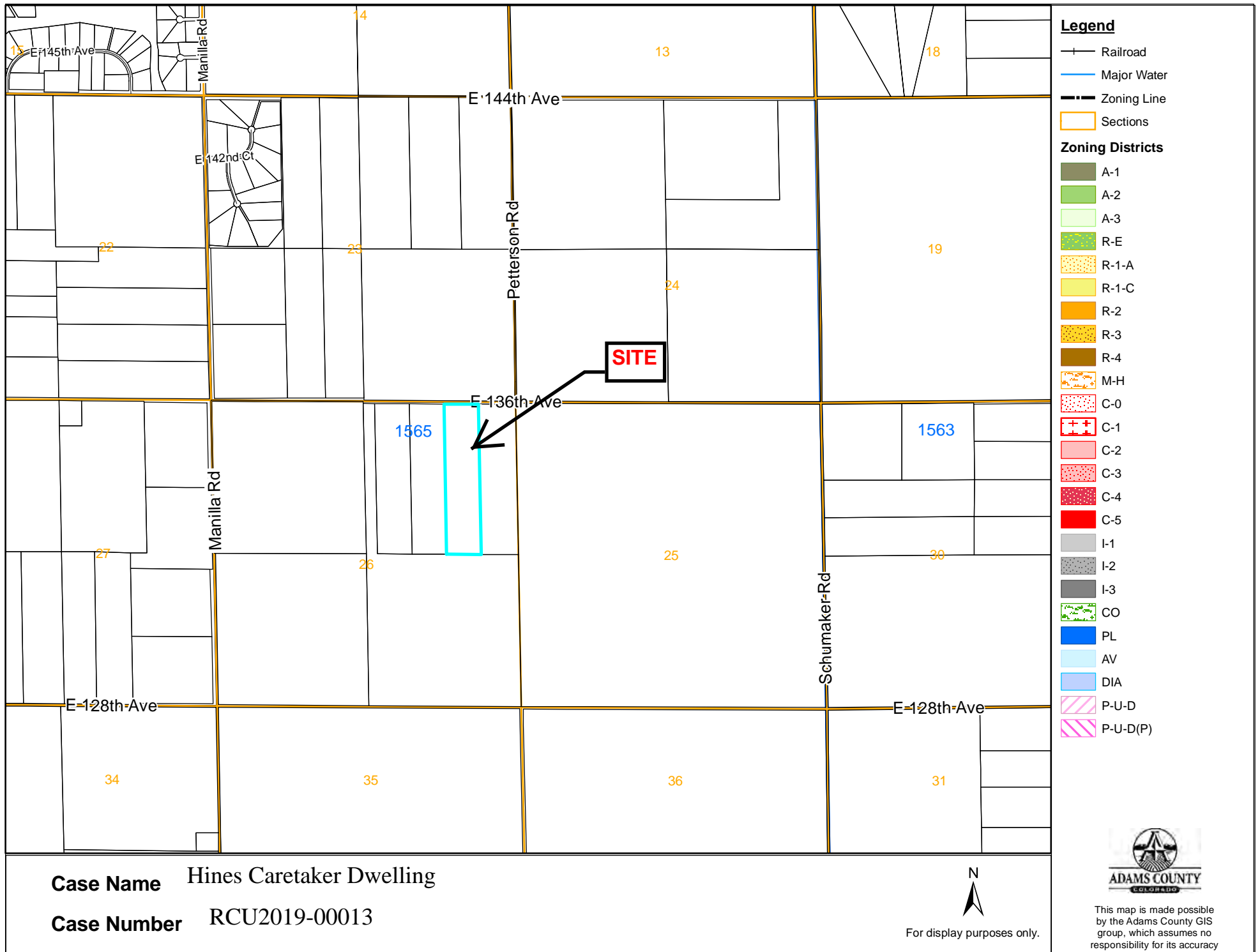


For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy





Samuel Hines

40554 E. 136th Ave

Hudson, CO, 80642

(303) 552-8823 sandsconstruction11@gmail.com

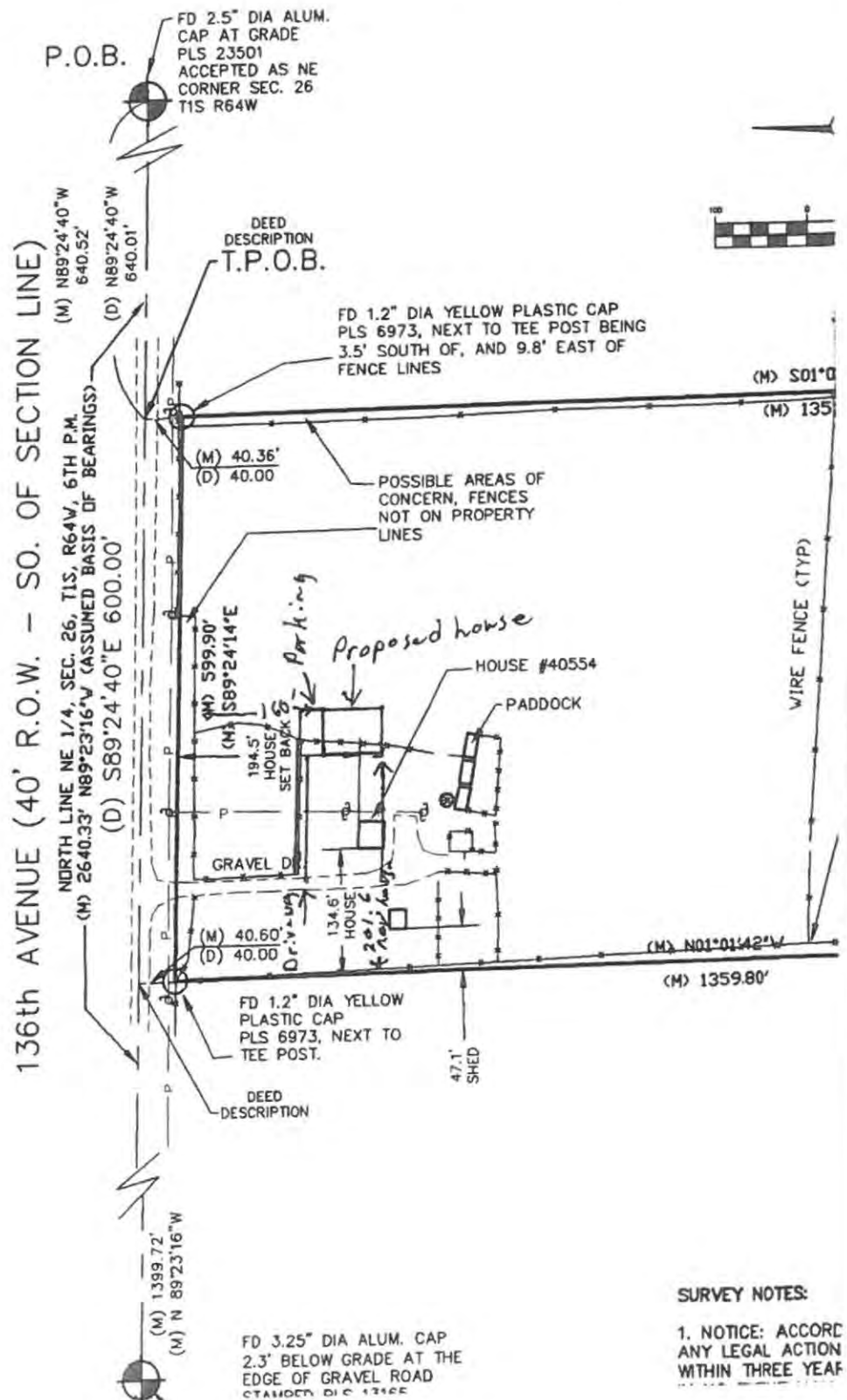
To Whom it may concern:

Greetings: My name is Sam Hines, I am applying for a permit to add a caretaker dwelling to my property. I have 36 acres, so plenty of room to accomplish this. I have spoken with Tri-county and RMG Engineers in regards to a new septic. I have changed my well permit to reflect a second dwelling with the state. I have also received a proposal from United Power to set a new meter and power supply.

The Purpose for this dwelling is for my elderly mother who has recently moved in with us. I have five children, so you can imagine space is rather cramped and with boisterous children it is very necessary for my Mother to have her own space to be able to rest and relax. We didn't feel that a room addition would give her enough distance from the noise to be able to rest properly. We did research the possibility however and found the cost was too exorbitant, and with the age of the existing house would be overly difficult to accomplish.

I would like to be allowed to put a double wide home on a slab, 28 feet by 45 feet, 1260 sq ft not over 12 feet high, with its own owts, electric meter, and water supply from my current well.

I have spoken to my 2 closest neighbors about the possibility this will take place. Thank you for your consideration in this matter.



ADAMS COUNTY COMMENTS

Development Review Comments (1st Review)

PLANNING COMMENTS:

a. Conditional Use Request. The current property has one single-family dwelling unit, one outbuilding for a farming use, and three cattle shed structures. Per Section 4-03-04-02-01 of the Adams County Development Standards and Regulations, “only one accessory dwelling is allowed per lot”. This application request for a modular caretaker unit occurred prior to a new code amendment adoption by the Board of County Commissioners on March 19, 2019, for accessory dwelling units.

The following requirements apply for a modular home as a caretaker unit (per Section 4-03-04-02-01):

- Minimum size of 750-feet square-feet (please state s.f.).
- Meet and demonstrate the requirements for well and septic with Tri-County Health.
- Meet the setbacks for accessory structures in an A-3 zone district. Please show the setback dimensions for the new caretakers unit and indicate the proposed square-footage and maximum height of the unit.

b. Letter of Introduction/Criteria for Approval. At the time of the resubmittal, the applicant needs to provide a response to the conditional use permit criteria of approval found in Section 2-02-08-06. The applicant must also provide more detail in a letter of introduction to introduce the need for the unit and the reason that a building addition to the existing structure is not possible. Note that the applicant’s letter and any attached detail of the location of the unit will be attached to the Planning Commission/Board of County Commissioners hearing packet. Staff will be able to create a more informative staff report if the information provided is detailed and clear and speaks for itself.

c. Building Permit. Please note that if the caretaker unit conditional use permit is approved, the applicant will need to submit separately for a building permit. See Section 2-02-02 for the process for a permit. A plot plan with landscaping and architectural elevations will need to be provided with the permit application.

d. Expiration on Caretaker Dwelling Unit. All Caretaker Dwelling Unit applications have a recommended expiration date on the Conditional Use. Typically, this is a 5-10 year expiration with the option for a renewal. Staff is recommending a 10 year expiration on this particular application.

Commenting Division: Development Services, Engineering:

Name of Review: Greg Labrie

Email: GLabrie@adcogov.org

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0385H & 08001C0395H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required.

ENG2: The project site is not located in a NRCO district. An environmental assessment is not required.

ENG3: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is not within the County's MS4 Stormwater Permit area. The installation of erosion and sediment control BMPs are expected for the construction of any site improvements.

ENG4: The Adams County 2012 Master Transportation plan classifies E 136th Ave as a "Rural Collector". The number of access points is limited to one (1) per parcel on residential lots located along a collector or arterial roadway. No additional (secondary) access can be allowed for the property.

ENG5: There is no access permit on file for this property. If the applicant applies for any building permit(s), they will be required to obtain an access permit for the driveway located on E. 136th Ave. No Certificate of Occupancy (C/O) will be issued, for any building permits, until an access permit has been obtain, the access has been inspected and approved by the County.

Commenting Division: Development Services, Right-of-Way and Addressing

Name of Review: Marissa Hillje

Email: mhillje@adcogov.org

ROW1: No Comment.

ADR1: No Comment.

Commenting Division: Environmental Programs Manager

Name of Review: Jen Rutter

Email: jrutter@adcogov.org / 720-523-6841

ENV1. No comment.

Commenting Division: Development Services Building and Safety

Name of Review: Justin Blair

Email: jblair@adcogov.org / 720-523-6843

BSD1- Building permits would be required. Engineered plans will be required to obtain permits.

BSD2- Applicant should refer to residential submittal requirements.

BSD3- Current adopted codes are the 2018 International Building Codes and the 2017 National Electrical Code.

BSD4- Applicant should contact Fire Department for their requirements.

Commenting Division: Parks

Name of Review: Aaron Clark

Email: aclark@adcogov.org

PRK1- No comment.

2nd Review:

PLANNING COMMENTS:

a. **Scheduling the Hearing.** The application is being recommended for a public hearing before the Planning Commission on Thursday, May 23, 2019, at 6:00 p.m. The recommended Board of County Commissioner public hearing is recommended for Tuesday, June 11, 2019, at 9:30 a.m.

b. **Expiration on Caretaker Dwelling Unit.** All Caretaker Dwelling Unit applications have a recommended expiration date on the Conditional Use. Typically, this is a 5-10 year expiration with the option for a renewal. Staff is recommending a 10 year expiration on this particular application.

c. **Previous Comments.** Many of the previous comments from other reviewers require approvals from the referral agencies at the time of a building permit submission. Please note that a letter of sufficient service must be provided from Tri-County Health and United Power at the time of a future building permit and Brighton Fire will receive a referral on the permit at the time it is under review.

From: [Hackett - CDPHE, Sean](#)
To: [Libby Tart-Schoenfelder](#)
Subject: Re: Request for Comments: RCU2019-00013 Hines Caretaker Dwelling
Date: Wednesday, February 27, 2019 8:24:36 AM

Thank you for the opportunity to review this proposal. CDPHE has no comments.

Sincerely,

Sean Hackett
Energy Liaison



P 303.692.3662 | F 303.691.7702
[4300 Cherry Creek Drive South, Denver, CO 80246](#)
sean.hackett@state.co.us | www.colorado.gov/cdphe

On Tue, Feb 26, 2019 at 10:50 AM Libby Tart-Schoenfelder <LTart-Schoenfelder@adcogov.org> wrote:

Hello - Please see the attached request for comments on a Conditional Use case. **Comments are due by Wednesday, March 20, 2019.**

Thanks so much!

Sincerely,

Libby



Libby Tart, AICP

Planner III, Community & Economic Development

4430 S. Adams County Pkwy, 1st Floor, STE W2000A

Brighton, CO 80601-8213

Main: 720.523.6858 | ltart-schoenfelder@adcogov.org | adcogov.org



March 15, 2019

Libby Tart
Adams County Community and Economic Development
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601

RE: Hines Caretaker Dwelling, RCU2019-00013
TCHD Case No. 5478

Dear Ms. Tart,

Thank you for the opportunity to review and comment on the Conditional Use for a caretaker dwelling located at 40554 East 136th Avenue. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has the following comments.

On-Site Wastewater Treatment System (OWTS)

Use Permit – Existing System

Proper wastewater management promotes effective and responsible water use, protects potable water from contaminants, and provides appropriate collection, treatment, and disposal of waste, which protects public health and the environment. TCHD does not have record of the location of the soil treatment area for the OWTS for the existing home. Tri-County Health Department Regulation Number O-17, Table 6 requires minimum horizontal distances to site features. In order to determine if the proposed dwelling meets required setbacks from the existing OWTS, a Use Permit will be required, in part, to determine the location of the soil treatment area.

To obtain a Use Permit, the OWTS will need to be inspected by a National Association of Wastewater Technicians (NAWT) Certified Use Permit Inspector. A list of Certified Inspectors is available here <http://www.nawt.org/search.html>. If it is determined by the inspector that the system has deficiencies that require repair, these repairs must be completed prior to TCHD issuing a Use Permit.

In order to obtain a Use Permit, the applicant may contact the TCHD Commerce City Office, 4201 East 72nd Avenue, (303)288-6816. More information is available at <http://www.tchd.org/269/Septic-Systems> under the Use Permit tab.

TCHD is not able to provide comment related to the location of the proposed caretaker dwelling until the Use Permit is obtained and the location of the soil treatment area is determined.

Hines Caretaker Dwelling
March 15, 2019
Page 2 of 2

New System for Caretaker Dwelling

TCHD has no objection to the property being served by an OWTS provided that the system is permitted, inspected and operated in accordance with TCHD's current OWTS Regulation. Based on the applicant's description, a permit for the installation and final approval of the OWTS is required. In order to start the process, the applicant may contact the TCHD Commerce City Office, 4201 East 72nd Avenue, (303)288-6816. More information is available at <http://www.tchd.org/269/Septic-Systems>.

Please feel free to contact me at 720-200-1575 or kboyer@tchd.org if you have any questions on TCHD's comments.

Sincerely,

A handwritten signature in grey ink, appearing to read 'K Boyer', followed by a horizontal line.

Kathy Boyer, REHS
Land Use and Built Environment Specialist III

cc: Sheila Lynch, Monte Deatrich, TCHD



Right of Way & Permits
1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571.3284
donna.l.george@xcelenergy.com

March 20, 2019

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Elizabeth "Libby" Tart-Shoenfelder

Re: Hines Caretaker Dwelling, Case # RCU2019-00013

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the plans for **Hines** and has **no apparent conflict**.

Please be aware PSCo owns and operates existing natural gas and electric distribution facilities

The property owner/developer/contractor must complete the **application process** for any new natural gas or electric service, or modification to existing facilities via FastApp-Fax-Email-USPS (go to:

https://www.xcelenergy.com/start_stop_transfer/installing_and_connecting_service/).

The Builder's Call Line is 1-800-628-2121. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center** at 1-800-922-1987 to have all utilities located prior to any construction.

Donna George
Right of Way and Permits
Public Service Company of Colorado / Xcel Energy
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com

FW: Request for Comments: RCU2019-00013 Hines Caretaker Dwelling

1 message

Even, Whitney <weven@brightonfire.org>

Tue, Mar 26, 2019 at 3:36 PM

To: "sandsconstruction11@gmail.com" <sandsconstruction11@gmail.com>

Good afternoon,

This email is to serve as documentation that Sam Hines called on 3/26/2019 at approximately 15:33 hours in regards to RCU2019-00013. He is aware of the comments made below.

Thank you!



Whitney Even
Fire Marshal
Brighton Fire Rescue District
500 S. 4th Ave. 3rd Floor
Brighton, CO 80601
303-659-4101
www.brightonfire.org

From: BFR Plan Reviews

Sent: Thursday, March 14, 2019 1:24 PM

To: 'Libby Tart-Schoenfelder' <LTart-Schoenfelder@adcogov.org>

Subject: RE: Request for Comments: RCU2019-00013 Hines Caretaker Dwelling

Good afternoon Greg,

At this time the comments we have are as follows:

1. The proposed dwelling must comply with the applicable section of the 2018 International Fire Code as adopted by the County. This code can be accessed by going to https://codes.iccsafe.org/content/IFC2018?site_type=public. The amendments adopted by Adams County can be accessed at <http://www.adcogov.org/sites/default/files/ORDINANCE4%20Fire%20Code%20Adoption%20and%20Amendments%20Thereto%20%20%281%29.pdf>.
 - a. Please be aware that Section 903.2.8 requires the installation of an automatic fire sprinkler system when the home exceeds 3,600 sf, is not within 1,000 feet of a hydrant, or not on an approved access road. This property is not within 1,000 feet of a hydrant and therefore would require the installation of an automatic fire sprinkler system.
2. When you apply for building permits with the county, please submit the same documents to us for review.

From: [BFR Plan Reviews](#)
To: [Libby Tart-Schoenfelder](#)
Subject: RE: Request for Comments: RCU2019-00013 Hines Caretaker Dwelling
Date: Thursday, March 14, 2019 1:24:12 PM
Attachments: [image002.png](#)

Good afternoon Greg,

At this time the comments we have are as follows:

1. The proposed dwelling must comply with the applicable section of the 2018 International Fire Code as adopted by the County. This code can be accessed by going to https://codes.iccsafe.org/content/IFC2018?site_type=public. The amendments adopted by Adams County can be accessed at <http://www.adcogov.org/sites/default/files/ORDINANCE4%20Fire%20Code%20Adoption%20and%20Amendments%20Thereto%20%20%281%29.pdf>.
 - a. Please be aware that Section 903.2.8 requires the installation of an automatic fire sprinkler system when the home exceeds 3,600 sf, is not within 1,000 feet of a hydrant, or not on an approved access road. This property is not within 1,000 feet of a hydrant and therefore would require the installation of an automatic fire sprinkler system.
2. When you apply for building permits with the county, please submit the same documents to us for review.
 - a. The county will require documentation that the fire code requirements have been met before releasing the permit. This type of building would require a fire sprinkler permit be issued by us or the county and payment of the emergency services impact fee (\$688.00).

Let me know if there are any questions. Thank you!



From: Libby Tart-Schoenfelder <LTart-Schoenfelder@adcogov.org>
Sent: Tuesday, February 26, 2019 10:46 AM
To: Christine Fitch <CFitch@adcogov.org>; Greg Labrie <GLabrie@adcogov.org>; Eden Steele <ESteele@adcogov.org>; Marissa Hillje <MHillje@adcogov.org>; Justin Blair <jblair@adcogov.org>; Aaron Clark <AClark@adcogov.org>; Rick Reigenborn <RReigenborn@adcogov.org>; 'Scott Miller' <SMiller@adcogov.org>; BFR Plan Reviews <planreviews@brightonfire.org>; kmonti@sd27j.org; Hackett - CDPHE, Sean <sean.hackett@state.co.us>; richard.coffin@state.co.us; patrick.jpfaltzgraff@state.co.us; Andrew.Todd@state.co.us; 'brandyn.wiedrich@centurylink.com' <brandyn.wiedrich@centurylink.com>; Eric Guenther <EGuenther@adcogov.org>; serena.rocksund@state.co.us; eliza.hunholz@state.co.us; 'thomas_lowe@cable.comcast.com' <thomas_lowe@cable.comcast.com>; Gail Moon <GMoon@adcogov.org>; 'LandUse@tchd.org' <LandUse@tchd.org>; 'mdeatrich@tchd.org' <mdeatrich@tchd.org>; sbarwick@UnitedPower.com; George, Donna L <Donna.L.George@xcelenergy.com>
Subject: Request for Comments: RCU2019-00013 Hines Caretaker Dwelling
Importance: High

Hello - Please see the attached request for comments on a Conditional Use case. **Comments are due by Wednesday, March 20, 2019.**

Thanks so much!

Sincerely,
Libby

Libby Tart, AICP

Planner III, Community & Economic Development
4430 S. Adams County Pkwy, 1st Floor, STE W2000A
Brighton, CO 80601-8213
Main: 720.523.6858 | ltart-schoenfelder@adcogov.org | adcogov.org

Community & Economic
Development Department
Development Services Division
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000B
Brighton, CO 80601-8218
PHONE 720.523.6800
FAX 720.523.6967

Request for Comments

Case Name: Hines Caretaker Dwelling
Case Number: RCU2019-00013

February 26, 2019

Adams County Planning Commission and the Board of County Commissioners are requesting comments on the following request:

- 1) A Conditional Use request for a caregiver dwelling unit in an A-3 zone district on 36.47 acres. The applicant is requesting the unit, a double wide modular home on slab, for their elderly parent.**

The Assessor's Parcel Number is: **0156526100002**

Applicant Information: Samuel Hines
40554 East 136th Avenue
Hudson, CO 80642

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216. (720) 523-6858 by **Wednesday, March 20, 2019** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to Ltart-schoenfelder@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Libby Tart, AICP
Case Manager

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Emma Pinter
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Mary Hodge
DISTRICT 5

Community & Economic
Development Department
Development Services Division
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000B
Brighton, CO 80601-8218
PHONE 720.523.6800
FAX 720.523.6967

Public Hearing Notification

Case Name:	Hines Caretaker Dwelling
Case Number:	RCU2019-00013
Planning Commission Date	May 23, 2019 at 6:00 p.m.
Board of County Commissioners Date:	June 18, 2019 at 9:30 a.m

May 2, 2019

A public hearing has been set by the Adams County Board of County Commissioners to consider the following request:

- 1) A Conditional Use request for a caregiver dwelling unit in an A-3 zone district on 36.47 acres. The applicant is requesting the unit, a double wide modular home on slab, for their elderly parent.**

This request is located at approximately: **40554 East 136th Avenue**

The Assessor's Parcel Number is: **0156526100002**

Applicant Information: Samuel Hines
40554 East 136th Avenue
Hudson, CO 80642

The hearing will be held in the Adams County Hearing Room located at 4430 South Adams County Parkway, Brighton, CO 80601. This will be a public hearing and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. If you require any special accommodations (e.g. wheelchair accessibility, an interpreter for the hearing impaired, etc.) please contact the Adams County Community and Economic Development Department at 720-523-6800 (or if this is a long distance call, please use the County's toll-free telephone number at 1-800-824-7842) prior to the meeting date. For further information regarding this case, please contact the Department of Community and Economic Development, 4430 South Adams County Parkway, Brighton, CO 80601, 720-523-6800. This is also the location where maps and/or text certified by the Planning Commission may be viewed. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Libby Tart AICP
Libby Tart, AICP
Case Manager

BOARD OF COUNTY COMMISSIONERS

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DISTRICT 2

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DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Mary Hodge
DISTRICT 5

To: James Dickens
Dept: Eastern Colorado News/ I-70 Scout
Email:jdickens@i-70scout.com
Fax: 303-622-9794
From:ABUESGENS
Date: May 2, 2019

NOTICE OF PUBLIC HEARING FOR LAND USE

NOTICE IS HEREBY GIVEN, that an application has been filed by, SAMUEL HINES, Case # RCU2019-00013, requesting: A Conditional Use request for a caregiver dwelling unit in an A-3 zone district on 36.47 acres. The applicant is requesting the unit, a double wide modular home on slab, for their elderly parent on the following property:

LEGAL DESCRIPTION:

A PART OF THE NORTHEAST ONE-QUARTER OF SECTION 26, TOWNSHIP 1 SOUTH, RANGE 64 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 26; THENCE NORTH 89°24'40" WEST ALONG THE NORTH LINE OF THE NORTHEAST ONE-QUARTER OF SAID SECTION 26, A DISTANCE OF 640.01 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 01°02'15" EAST, A DISTANCE OF 2647.14 FEET TO A POINT ON THE SOUTH LINE OF THE NORTHEAST ONE-QUARTER OF SAID SECTION 26; THENCE NORTH 89°39'46" WEST ALONG SAID SOUTH LINE, A DISTANCE OF 600.00 FEET; THENCE NORTH 01°02'10" WEST, A DISTANCE OF 2649.78 FEET TO A POINT ON THE NORTH LINE OF THE NORTHEAST ONE-QUARTER OF SAID SECTION 26; THENCE SOUTH 89°24'40" EAST, A DISTANCE OF 600.00 FEET TO THE TRUE POINT OF BEGINNING;

SUBJECT TO THE NORTH 40 FEET THEREOF FOR ROAD RIGHT-OF-WAY.

COUNTY OF ADAMS, STATE OF COLORADO.

ALSO KNOWN AS: 40554 EAST 136TH AVENUE, HUDSON, COLORADO 80642

(The above legal description was provided by the applicant and Adams County is not responsible for any errors and omissions that may be contained herein and assumes no liability associated with the use or misuse of this legal description.)

APPROXIMATE LOCATION: 40554 E 136TH AVE

NOTICE IS HEREBY GIVEN that a public hearing will be held by the Adams County Planning Commission in the Hearing Room of the Adams County Government Center, 4430 S. Adams County Parkway, Brighton, CO - 1st Floor, on the 23rd of May 2019, at the hour of 6:00 p.m., where and when any person may appear and be heard and a recommendation on this application will be forwarded to the Board of County Commissioners.

NOTICE IS FURTHER GIVEN, that a public hearing will be held by the Adams County Board of County Commissioners in the Hearing Room of the Adams County Government Center, 4430 S. Adams County Parkway, Brighton, CO - 1st Floor, on the 18th of June 2019, at the hour of 9:30 a.m., to consider the above request where and when any person may appear and be heard.

For further information regarding this case, please contact Libby Tart at the Department of Community and Economic Development, 4430 S. Adams County Pkwy, Brighton, CO 80601, 720.523.6800. This is also the location where the maps and/or text certified by the Planning Commission may be viewed.

BY ORDER OF THE BOARD OF COUNTY COMMISSIONERS
JOSH ZYGIELBAUM, CLERK OF THE BOARD

TO BE PUBLISHED IN THE MAY 10, 2019, ISSUE OF THE Eastern Colorado News/ I-70 Scout

Please reply to this message by email to confirm receipt or call ABUESGENS at 720.523.6800.



Referral Listing
Case Number RCU2019-00013
Hines Caretaker Dwelling

Agency	Contact Information
Adams County Attorney's Office	Christine Fitch CFitch@adcogov.org 4430 S Adams County Pkwy Brighton CO 80601 720-523-6352
Adams County CEDD Development Services Engineer	Devt. Services Engineering 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6800
Adams County CEDD Environmental Services Division	Jen Rutter 4430 S Adams County Pkwy Brighton CO 80601 720-523-6841 jrutter@adcogov.org
Adams County CEDD Right-of-Way	Marissa Hillje 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6837 mhillje@adcogov.org
Adams County Development Services - Building	Justin Blair 4430 S Adams County Pkwy Brighton CO 80601 720-523-6825 JBlair@adcogov.org
Adams County Parks and Open Space Department	Aaron Clark mpedrussi@adcogov.org (303) 637-8005 aclark@adcogov.org
Adams County Sheriff's Office: SO-HQ	Rick Reigenborn (303) 654-1850 rreigenborn@adcogov.org
Adams County Sheriff's Office: SO-SUB	SCOTT MILLER 720-322-1115 smiller@adcogov.org
BRIGHTON FIRE DISTRICT	Whitney Even 500 South 4th Avenue 3rd Floor BRIGHTON CO 80601 (303) 659-4101 planreviews@brightonfire.org

Agency	Contact Information
BRIGHTON SCHOOL DISTRICT 27J	Kerrie Monti 1850 EGBERT STREET SUITE 140, BOX 6 BRIGHTON CO 80601 303-655-2984 kmonti@sd27j.org
CDPHE	Sean Hackett 4300 S Cherry Creek Dr Denver CO 80246 303.692.3662 303.691.7702 sean.hackett@state.co.us
CDPHE	Sean Hackett 4300 S Cherry Creek Dr Denver CO 80246 30 sean.hackett@state.co.us
CDPHE - AIR QUALITY	Richard Coffin 4300 CHERRY CREEK DRIVE SOUTH DENVER CO 80246-1530 303.692.3127 richard.coffin@state.co.us
CDPHE - WATER QUALITY PROTECTION SECT	Patrick Pfaltzgraff 4300 CHERRY CREEK DRIVE SOUTH WQCD-B2 DENVER CO 80246-1530 303-692-3509 patrick.j.pfaltzgraff@state.co.us
CDPHE SOLID WASTE UNIT	Andy Todd 4300 CHERRY CREEK DR SOUTH HMWMD-CP-B2 DENVER CO 80246-1530 303.691.4049 Andrew.Todd@state.co.us
Century Link, Inc	Brandyn Wiedreich 5325 Zuni St, Rm 728 Denver CO 80221 720-578-3724 720-245-0029 brandyn.wiedrich@centurylink.com
Code Compliance Supervisor	Eric Guenther eguenther@adcogov.org 720-523-6856 eguenther@adcogov.org
COLORADO DIVISION OF WILDLIFE	Serena Rocksund 6060 BROADWAY DENVER CO 80216 3039471798 serena.rocksund@state.co.us

Agency	Contact Information
COLORADO DIVISION OF WILDLIFE	Eliza Hunholz Northeast Regional Engineer 6060 BROADWAY DENVER CO 80216-1000 303-291-7454 eliza.hunholz@state.co.us
COMCAST	JOE LOWE 8490 N UMITILLA ST FEDERAL HEIGHTS CO 80260 303-603-5039 thomas_lowe@cable.comcast.com
NS - Code Compliance	Gail Moon gmoon@adcogov.org 720.523.6833 gmoon@adcogov.org
SOUTHEAST WELD COUNTY FIRE	DEBBIE CHUMLEY P.O. BOX 312 KEENESBURG CO 80643 303-732-4281
TRI-COUNTY HEALTH DEPARTMENT	Sheila Lynch 6162 S WILLOW DR, SUITE 100 GREENWOOD VILLAGE CO 80111 720-200-1571 landuse@tchd.org
TRI-COUNTY HEALTH DEPARTMENT	MONTE DEATRICH 4201 E. 72ND AVENUE SUITE D COMMERCE CITY CO 80022 (303) 288-6816 mdeatrich@tchd.org
Tri-County Health: Mail CHECK to Sheila Lynch	Tri-County Health landuse@tchd.org .
United Power, Inc	Steve Barwick PO Box 929 500 Cooperative Way Brighton CO 80601 303-637-1387 720-334-5282 sbarwick@UnitedPower.com
Xcel Energy	Donna George 1123 W 3rd Ave DENVER CO 80223 303-571-3306 Donna.L.George@xcelenergy.com

DAVIS HOWARD A
6880 W VILLA LINDO DR
PEORIA AZ 85383-3252

Exhibit 5.5

HELZER FARMS INC
49001 E 144TH AVE
BENNETT CO 80102

KRUSE JAMES R
11225 IMBODEN RD
HUDSON CO 80642-7614

KRUSE JIM
72 CASCADE AVE
ALAMOSA CO 81101-2626

SANCHEZ-TORRES ADRIANA
6941 COLORADO BLVD
COMMERCE CITY CO 80022-2223

HINES SAMUEL LEE
OR CURRENT RESIDENT
40554 E 136TH AVE
HUDSON CO 80642-7711

NORTON CURT A
OR CURRENT RESIDENT
40200 E 136TH AVE
HUDSON CO 80642-7711

WEIGLE TARA L
OR CURRENT RESIDENT
40700 E 136TH AVE
HUDSON CO 80642-7742

CERTIFICATE OF POSTING



I, Libby Tart, do hereby certify that I had the property posted at

40554 East 136th Avenue, Hudson, CO 80642

on May 13, 2019

in accordance with the requirements of the Adams County Zoning Regulations

Libby Tart, AICP

Libby Tart

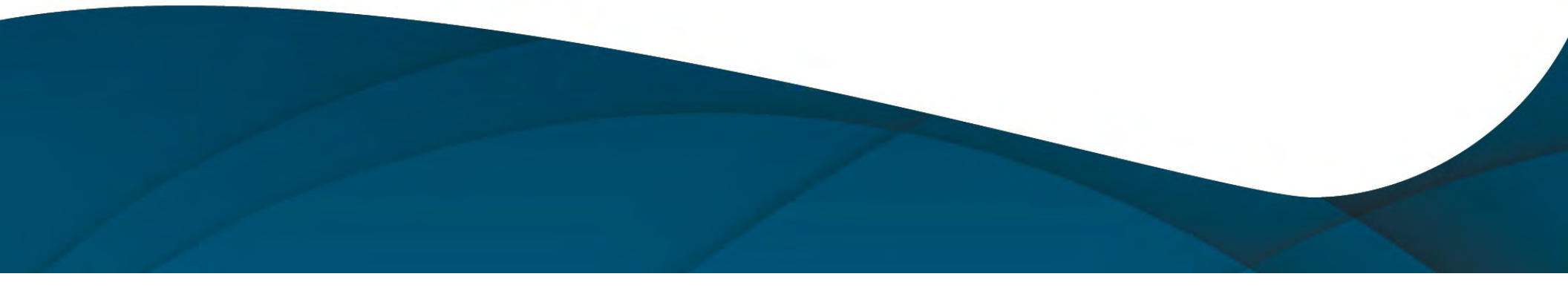
Hines Caretaker Dwelling

RCU2019-00013

40554 East 136th Avenue

June 18, 2019

Board of County Commissioners
Community and Economic Development
Case Manager: Libby Tart



Request

- Conditional Use Permit to allow a caretaker dwelling unit

Background

- Conditional Use requested to add the modular dwelling unit for an elderly mother
- Two generations of family live on the property
- Proposed caretaker unit is on a permanent foundation and is 1,260 s.f.

AERIAL MAP

PETTERSON ROAD

MANILLA ROAD

136th AVENUE

SITE



Schumaker Rd

E 128th Ave

E-136th Ave

E-128th Ave

ZONING MAP

PUD

PETTERSON ROAD

136th AVENUE

MANILLA ROAD

SITE

A-3

E-136th Ave

1563

30

Schumaker Rd

E-128th Ave

28th Ave

565

27

E-142nd Ct

A-1

Manilla Rd

A-3

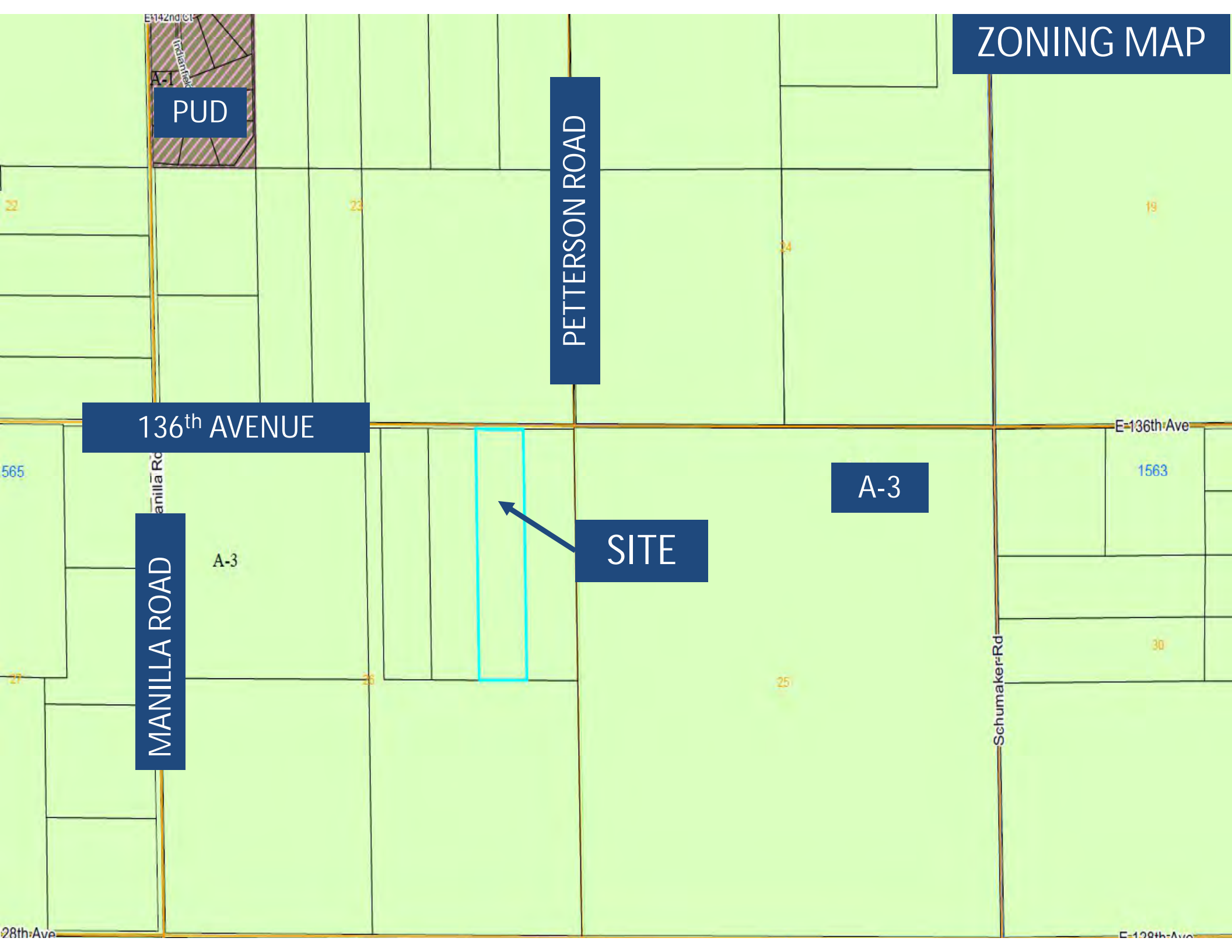
23

28

24

25

19



FUTURE LAND USE MAP

ESTATE
RESIDENTIAL

PETTERSON ROAD

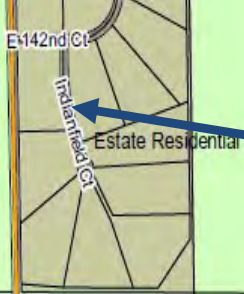
MANILLA ROAD

136th AVENUE

SITE

AGRICULTURE

Schumaker Rd



22

23

24

19

1565

1563

30

E-128th Ave

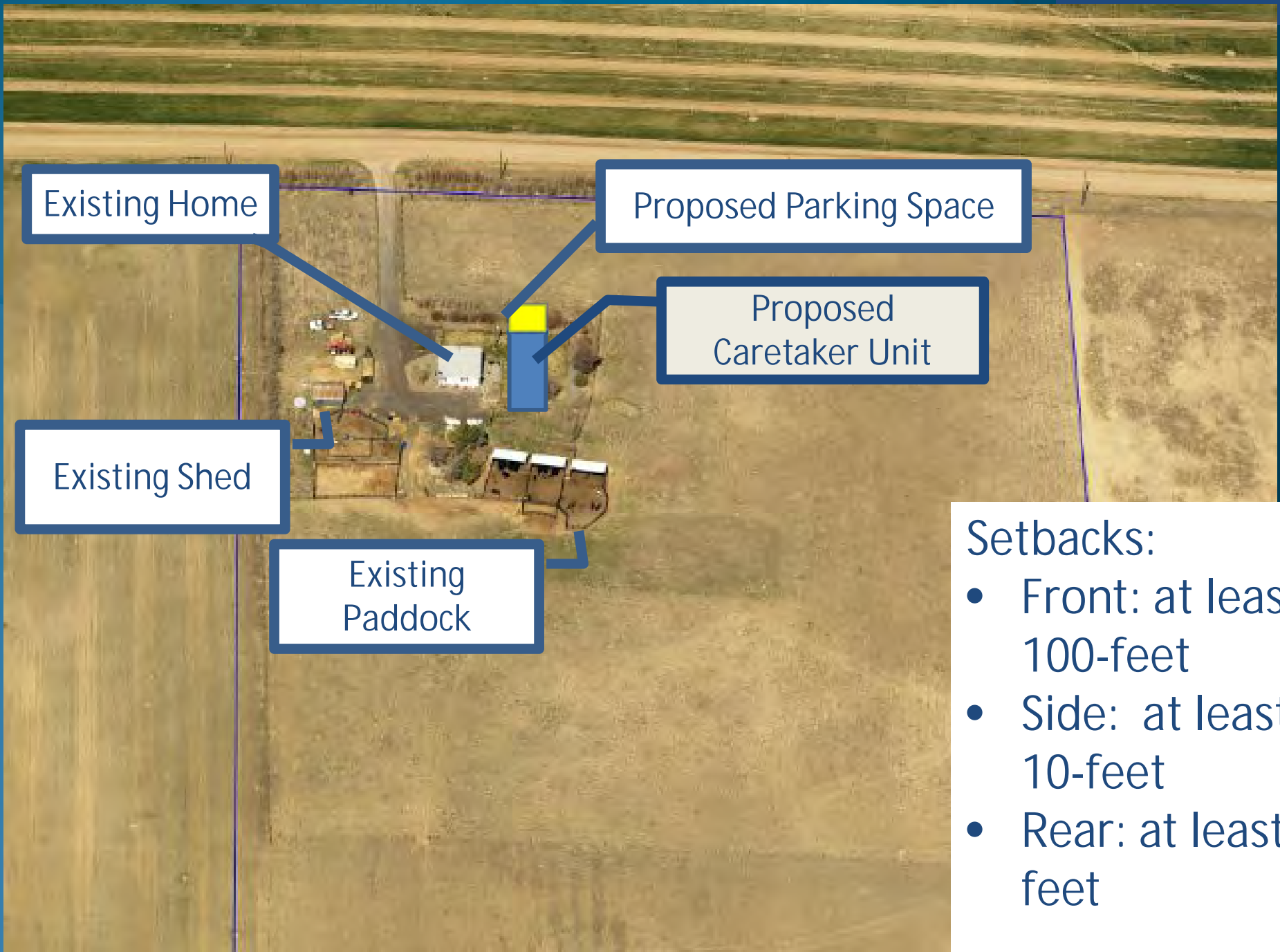
E-128th Ave

Conditional Use Permit Criteria

(Section 2-02-08-06)

1. Permitted in zone district
2. Consistent with regulations
3. Complies with performance standards
4. Compatible with surrounding area
5. Addresses off-site impacts
6. Suitable site
7. Functional site plan
8. Adequate Infrastructure

Site Plan



Setbacks:

- Front: at least 100-feet
- Side: at least 10-feet
- Rear: at least 10-feet

Looking east onto site

View to the North



Looking north along Behrens Rd

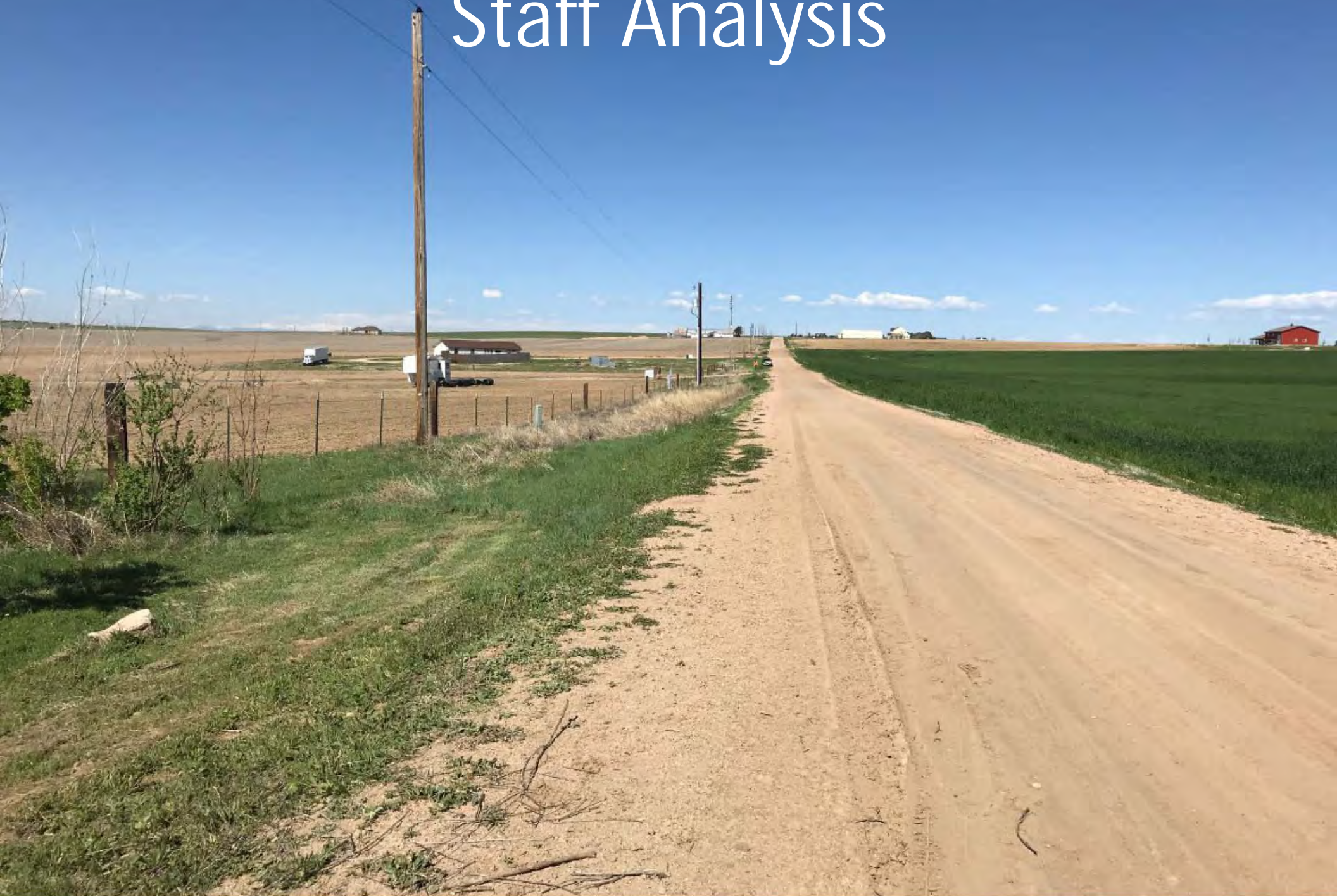
View to the East



Looking west from subject site

View to the West

Staff Analysis



Referral Comments

- Property owners and occupants within 1,250 feet were notified

Property Owner Referrals Sent	Responses From Property Owners
8	0

- Comments occurred from the following referral agencies:
 - Tri-County Health
 - Brighton Fire Rescue
- No outstanding comments from the following referral agencies:
 - Bennett School District 27J, Century Link, Colorado Division of Wildlife, Comcast, Southeast Weld Co. Fire, United Power

Development Standards & Regulations

- Classified as Caretaker dwelling (Section 4-03-04-02-01)
- Must meet mobile home requirements for potable water, sanitary sewer or individual sewage disposal system requirements, and be placed on a concrete pad
- Dwelling shall be at least 750 square feet
- Meet A-3 setback requirements
- Provide water & sewer

Conditional Use Permit Criteria

(Section 2-02-08-06)

1. Permitted in zone district
2. Consistent with regulations
3. Complies with performance standards
4. Compatible with surrounding area
5. Addresses off-site impacts
6. Suitable site
7. Functional site plan
8. Adequate Infrastructure

Planning Commission Update

Public hearing: May 23, 2019

No members of the public testified

PC: 6-0 decision

Additional Condition for meeting fire district sprinkler system requirements.

PC Recommendation

Approval of the proposed Conditional Use with 8
Findings of Fact, 3 Conditions, and 2 Notes

(RCU2019-00013 – Hines Caretaker Dwelling)

Conditions

Recommended Conditions:

1. The Conditional Use Permit shall expire on June 18, 2029, ten (10) years from the date of approval by the Board of County Commissioners. Should the Conditional Use Permit expire or not be renewed, the caretaker dwelling unit shall be removed from the site.
2. The applicant shall apply for separate building permits for the modular dwelling unit.
3. The applicant shall comply with the local fire district's requirements for fire sprinkler systems.

Recommended Notes:

1. The applicant shall adhere to all fire, animal, health, zoning, engineering, and building codes.
2. The conditional use permit shall expire on June 18, 2020 if a certificate of occupancy has not been issued for the caretaker dwelling structure.



**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT**

CASE NO.: RCU2018-00057

CASE NAME: 5317 Federal Blvd Rezone

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**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT
STAFF REPORT**

Planning Commission

June 18, 2019

CASE No.: RCU2018-00057		CASE NAME: 5317 Federal Blvd Rezone
Owner’s Name:	Ronald G. and Kathryn M. Biggerstaff	
Applicant's Name:	Hampton Barclay, Transom West Development	
Applicant's Address:	9776 Keenan Street, Highlands Ranch, CO 80130	
Location of Request:	5317 Federal Boulevard (Parcel #'s 0182517208044, 0182517208045, 0182517208046)	
Nature of Request:	Rezone from Residential-2 (R-2) to Residential-3 (R-3)	
Zone District:	Residential-2 (R-2)	
Future Land Use:	Urban Residential	
Site Size:	0.922 acres (40,141 sq. ft.)	
Proposed Use:	12 Townhomes	
Existing Use:	One lot is Single Family Residential; other two are Vacant	
Hearing Date(s):	PC: May 23, 2019/ 6:00 pm	
	BoCC: June 18, 2019/ 9:30 am	
Report Date:	June 10, 2019	
Case Manager:	Holden Pederson	
Staff Recommendation:	APPROVAL with 4 Findings-of-Fact	

SUMMARY OF PREVIOUS APPLICATIONS

The subject properties are located in the Berkeley Gardens Number Two Subdivision recorded in 2006.

The north property (5317 Federal Boulevard) is currently developed with a single-family dwelling built in 1932. The two properties located to the south are currently vacant.

In September 2018, the applicant met with staff for a conceptual review meeting to discuss requirements to develop townhomes on the subject site.

SUMMARY OF APPLICATION

Background:

The applicant, Transom West Development, is requesting to rezone the subject property from Residential-2 (R-2) to Residential-3 (R-3). Transom West intends to combine and subdivide the three (3) properties in order to create a proposed new townhome community on individual fee simple lots. The intended development will consist of four (4) three-story structures containing three (3) townhome units each on individual lots, for a total of twelve (12) dwellings on the property (4 x 3-plex buildings). Multi-family dwellings and attached residences are a permitted use in the R-3 zone district. Currently, the R-2 district prohibits multi-family dwellings. Together, the three (3) properties are 40,141 square feet or 0.922 acres. The north property is currently developed with a single-family dwelling. The two (2) properties to the south are currently vacant.

Development Standards and Regulations:

Section 2-02-13-06-02 of the County's Development Standards and Regulations outlines the approval criteria for rezoning a property. The criteria include: consistency with the County's Comprehensive Plan and purpose of the Development Standards, compatible and harmonious with the surrounding area, and not detrimental to future development of the area.

Currently, the property is designated as R-2. Per Section 3-14-01 of the County's Development Standards and Regulations, the purpose of the R-2 zone district is to provide for development of single-family and two-family dwellings in a moderate density. The R-2 district prohibits multi-family developments. The properties to the west are developed primarily as single-family dwellings within the Berkeley Gardens Subdivision. The two properties directly to the north are developed with single-family dwellings within the C-2 and C-5 zone districts. Much of the Federal Boulevard corridor that extends north to Interstate-76 is also zoned C-5. The properties to the east are located within the City and County of Denver and are developed as condominium complexes (Aria Denver), apartments for low-income single-parent families (Warren Village First Step), assisted living facilities (Marycrest Assisted Living and Harmony & Serenity Residence), and a Starbucks coffee shop. The property directly to the south is owned by Regis University and is zoned C-1. A number of fast food restaurants, a shopping center, and Regis University itself are located further south in the City and County of Denver.

Due to the location of the property and surrounding developments, rezoning the property to allow townhomes will be consistent with the surrounding neighborhood. The request to rezone the property to R-3 is also consistent with the intent of the R-3 district by providing a moderate density residential transition for the Berkeley Gardens Subdivision from the surrounding commercial and higher density residential uses. Per Section 3-15-01 of the County's Development Standards and Regulations, the purpose of the R-3 zone district is to provide for a moderate-density district which allows three (3) or more single-family attached residences on a single lot or on individually owned lots.

The request also conforms to the dimensional requirements for the R-3 zone district. Per Section 3-14-07 of the County's Development Standards and Regulations, the minimum lot size required in the R-3 zone district is two-thousand five hundred (2,500) square feet per dwelling unit for attached dwellings on individual lots. The minimum lot width required is twenty-five (25) feet per dwelling unit for attached dwellings on individual lots. The three (3) subject properties are 40,141 square feet total and have approximately four-hundred (400) feet total of street frontage along Federal Boulevard. These dimensions conform to the required standards for lot size and width in the R-3 zone district. In addition, the maximum allowable density in the R-3 zone district is fourteen (14) dwelling units per acre. The intended development of the property for twelve (12) dwelling units is consistent with the density standards for the R-3 zone district.

Future Land Use Designation/Comprehensive Plan:

The subject property is designated as Urban Residential in the County's Comprehensive Plan future land use map. Per Chapter 5 of the County's Comprehensive Plan, Urban Residential areas are designated for a variety of housing types at urban densities with adequate urban services and transportation facilities. The request to rezone the property to R-3 is consistent with the goals of the Comprehensive Plan.

The subject request is in conformance with and supported by the Adams County Comprehensive Plan policies, including Policy 2.1.d *Urban Residential Development* (the County has defined unincorporated infill areas and/or municipal and county growth areas as the most desirable location for urban residential development); Policy 4.3.b. *Housing* (institute appropriate programs to provide a variety of housing options for County residents, as identified in the Balanced Housing Plan, including the types of housing needed to attract businesses and new residents); Policy 7.2.c. *Jobs/Housing Balance* (continue to work towards an appropriate jobs/housing balance that will reduce the amount of out-of-county commuting by residents and employees); and 8.2.b *Compact Development* (encourage compact development near transit, employment and services, where possible, to allow for less dependence on automobiles and support for active travel demand management).

In addition, an Issue and Opportunity listed for Commercial Corridors in the Adams County Comprehensive Plan is that major arterial roadways in the southwest area contain a considerable amount of older strip commercial development, much of it underutilized. The stabilization and potential redevelopment of these areas is an ongoing challenge for Adams County, as these areas serve as gateways into the County, reinforcing the need to enhance their appearance. In response to this section, Policy 14.6 is dedicated to encouraging the revitalization of existing commercial corridors by enhancing the quality of development along Federal Boulevard, Lowell Boulevard, Pecos Street, and Washington Street.

The applicant's proposal supports the Adams County Comprehensive Plan by being located in an infill area and developing vacant land along Federal Boulevard, providing a new type of housing option that is largely missing from this region of unincorporated Adams County, adding a moderate density development that will help attract new businesses and residents, and providing more compact development near transit, employment, and services. This proposal will also contribute towards revitalizing the Federal Boulevard commercial corridor and creating a more appealing gateway into the

County. Ideally, this type of new development and the new residents who would move into the neighborhood will help encourage future reinvestment in the existing commercial development along Federal Boulevard.

The Southwest Area Plan states that the need for affordable housing (rental units and for purchase) greatly exceeds the available supply and warrants attention from the County. In response, the Plan suggests that the County should consider regulatory and administrative techniques to remove barriers to the development of attainable housing and to promote the location of such housing proximate to jobsites. It also states that developers should be allowed more room for innovation in creating mixed-use and mixed-income communities.

The applicant's proposal provides an opportunity for Adams County to support the Southwest Area Plan by removing barriers to the development of more affordable housing and supporting new housing stock near jobsites. Although the applicant's proposal is a new concept for the Berkeley neighborhood, it represents a creative technique to add housing in an infill area and to expand possibilities for the creation of mixed-income communities.

The Berkeley Neighborhood Plan states that a major focus of the area residents is to keep the neighborhood's single-family character by limiting new multi-family, commercial, and industrial uses. One goal of the plan is ensuring vacant parcels and redeveloped parcels are developed in a manner consistent with surrounding residential uses. It also discusses the importance of minimizing encroachment of commercial and industrial uses into the neighborhood. Finally, the Plan describes a vision of Berkeley's future: "In the near future, Berkeley neighborhood residents would like to see more pride and home investment, in addition to a diversity of housing options and residents. They want to see low density, but they also want to have the freedom to develop their property as they see fit."

The applicant's proposal supports the Berkeley Neighborhood Plan's stated objectives of maintaining the single-family nature and open character of the neighborhood by providing important protections for the existing single-family homes. The proposal would redevelop vacant parcels in a manner consistent with the surrounding single-family and two-family residential uses by being located on the periphery of the neighborhood rather than encroaching into the heart of the community, thus providing a buffer between the current residents and Federal Boulevard. In addition, it would minimize further encroachment of the commercial and industrial uses that are common along the Federal Boulevard commercial corridor into the existing neighborhood. Through the addition of diverse housing options and residents that otherwise may not have the resources to live in the community, this proposal encourages investment in the neighborhood while relegating moderate density zone districts to the boundaries of the existing neighborhood in a manner that provides a buffer from the more intensive uses and traffic of Federal Boulevard.

The Federal Boulevard Framework Plan states that there has recently been a slight shift in the communities in and around the Study Area to more higher-density housing products (e.g., Aria Denver and Midtown). The presence of transit enhances the opportunity for urban-type housing, representing a significant competitive advantage. One recommendation provided in the summary of findings is that

corridor planning should seek new opportunities for higher density residential development, which will be necessary to attract and support new commercial retail development.

The applicant's proposal supports the Federal Boulevard Framework Plan by providing housing options that are commonly found in Urban Residential areas and by expanding the growing townhome market that exists in other Metro Area communities to this portion of Federal Boulevard and unincorporated Adams County. While the R-3 zone district does not permit the type of high density encouraged by the Framework Plan, it does allow more residents to access diverse housing options in the Berkeley neighborhood. These changes to existing development patterns in unincorporated Adams County are necessary for attracting new commercial retail development and for attracting reinvestment in the existing strip commercial centers.

The Balanced Housing Plan states that thoughtful housing policies should provide support for initiatives that foster housing stock that include smaller, more densely developed units in incorporated areas near transit, job centers, schools, and other amenities. The policies developed to address the County's diverse housing needs include improving and supporting housing opportunities for all residents of Adams County, fostering an environment that promotes "balanced housing," and integrating development practices that increase diversity in housing options. Recommendations provided by this plan include identifying and using infill development as a development method that makes use of existing hard and soft infrastructure investments in established communities, as well as exploring development opportunities to add to the "missing middle" housing stock (defined as housing types that fall between one (1) unit homes and large apartment complexes).

The applicant's proposal supports the Balanced Housing Plan by providing more densely developed housing options in a location that is near transit, job centers, schools, and other amenities. By helping to promote a balanced housing environment, the proposal recognizes the County's current needs and encourages future infill development in existing communities. Supporting the incremental and measured upzoning of residential zone districts in areas designated for Urban Residential development by the Comprehensive Plan will therefore help reduce existing constraints to much needed diverse residential development and will expand housing opportunities in unincorporated Adams County's existing communities.

Site Characteristics:

The north property is developed with a single-family home and the southern two (2) properties are vacant. Currently, the north property has direct access onto Federal Boulevard and the southern two (2) properties do not have any access onto a public roadway. The sidewalk along Federal Boulevard abutting the subject property is in disrepair and the pedestrian ramp connecting West 53rd Avenue to Federal Boulevard was recently demolished by Adams County.

The property will be served by the Berkeley Water and Sanitation District. In addition, the County's Development Review Engineering staff reviewed the request and determined that the developer will be required to construct roadway improvements adjacent to the proposed site. Roadway improvements will consist of curb, gutter, and sidewalk on all roadways adjacent to the site, as well as any roadway improvements required by the approved traffic impact study. If the

disturbed area of the site exceeds one (1) acre (including the offsite work such as roadway improvements and utility street cuts), the applicant will be responsible for preparing a Stormwater Management Plan and obtaining both a County Stormwater Quality Permit and State Permit COR-030000. The installation of erosion and sediment control Best Management Practices are expected for any ground disturbance. These on-site and off-site improvements will be required with the subdivision.

Surrounding Zoning Designations and Existing Use Activity:

Northwest R-2 Single-Family Dwelling	North C-2 Single-Family Dwelling	Northeast City and County of Denver Multi-Family Dwellings
West R-2 Single-Family Dwelling	Subject Properties R-2 Single-Family Dwelling and Vacant	East City and County of Denver Multi-Family Dwellings
Southwest R-2 Vacant	South C-1 Vacant	Southeast City and County of Denver Starbucks Coffee Shop

Compatibility with the Surrounding Area:

A majority of the surrounding properties are designated R-2, Commercial, or are located within the City and County of Denver, with a mix of single-family and multi-family dwellings, vacant lots, and commercial development. The subject properties are located north of Regis University. The proposed townhome development would provide a moderate density residential transition for the Berkeley Gardens Subdivision from Federal Boulevard and the higher density multi-family developments located to the east. In addition, the proposed development located on the periphery of the neighborhood would minimize the encroachment of commercial and industrial uses into the Berkeley Neighborhood, while the allowed R-3 building height would provide a noise buffer from Federal Boulevard for the current residents.

The vacant properties to the south owned by Regis University can currently be developed for duplexes in accordance with the existing R-2 zone district. The R-2 and R-3 zone districts are both described by the Adams County Development Standards and Regulations as moderate density zone districts.

Compatibility of potential development with the existing residential neighborhood must also be considered. Any development on the site will be required to conform to the County's performance standards as outlined in Chapter Four (4) of the Adams County Development Standards and Regulations. These performance standards are required to ensure compatibility with the surrounding properties, which include building orientation, building materials, adequate parking, landscaping at the right-of-way, landscaping in the parking area, and drainage improvements. Dimensional requirements, such as front, rear, and side setbacks, will limit the

scale of development, ensuring that the proposed development acts as a moderate density buffer between the existing neighborhood and Federal Boulevard.

PLANNING COMMISSION UPDATE:

The Planning Commission (PC) considered this case on May 23, 2019, and recommended approval with a 4-2 vote. Commissioners Forest and Dupriest were the dissenting votes. At the hearing, the PC expressed interest in the neighborhood meeting and trip generation for the site. Staff identified that the neighborhood meeting had taken place and provided the PC with the neighborhood meeting summary. Staff responded that a trip generation letter was provided by the applicant, as required with a rezoning request. A full traffic study will be required with the future development of the site. Staff also explained that the applicant would be responsible for adding curb, gutter, and sidewalk along the portion of their site that abutted public right-of-ways as part of a future Subdivision Improvement Agreement. The PC asked if the proposed access from West 53rd Avenue was a Colorado Department of Transportation or Adams County requirement. Staff answered that both organizations would concurrently require any applicant to take access from a lower intensity street than Federal Boulevard, if possible.

The applicants and their representative spoke and had no questions or issues with the staff presentation and report. There were multiple members of the public who spoke in opposition to the request. One member of the public mentioned that the public hearing notice sign had been tampered with. Staff reposted the public hearing signs two weeks before the scheduled Board of County Commissioners meeting and revisited the site a week before the scheduled meeting in order to ensure that the postings remained.

The majority of the PC agreed that there was a need to ensure that any proposed rezoning is evaluated carefully for compatibility with the existing neighborhood, but also that there is a need for new housing options within existing Adams County neighborhoods that will help address affordable housing deficiencies near employment, commercial, and transit centers. The PC acknowledged the public concerns that this development may not fit with the character of the existing neighborhood. The Commissioners encouraged the residents to attend the upcoming Board of County Commissioners public hearing to provide comments.

Staff Recommendation:

Based upon the application, the criteria for rezoning approval, and a recent site visit, staff recommends Approval of this request with 4 findings-of-fact:

RECOMMENDED FINDINGS OF FACT REZONING

1. The Zoning Map amendment is consistent with the Adams County Comprehensive Plan.
2. The Zoning Map amendment is consistent with the purposes of these standards and regulations.
3. The Zoning Map amendment will comply with the requirements of these standards and regulations
4. The Zoning Map amendment is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental

to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.

CITIZEN COMMENTS

Notifications Sent	Comments Received
50	11

All property owners and occupants within 600 feet of the subject properties were notified of the request. As of writing this report, staff received 10 responses from neighboring residents and 1 response from Regis University for a total of 11 responses. Residents who expressed opposition to the request had concerns with the proposed high density and preserving the integrity of nearby residential properties (large yards, historic single-family homes), impact on property values, access (site access, emergency access, traffic congestion, pedestrian and automobile safety), infrastructure (drainage, parking, lighting, lack of sidewalks for pedestrians and walkability), noise, crime, site layout/ design/ architecture of the proposed development, and that the development is not compliant with the Berkeley Neighborhood Plan or the Federal Boulevard Framework Plan.

The property owner who expressed support for the request cited the benefits of much needed housing options for their portion of the Federal Boulevard corridor, positively activating an otherwise blighted site, and improving the awkward access and infrastructure issues currently present on the property.

Regis University provided comment in support and stated that changes in land uses, increased density, and substantial private investment are necessary to catalyze additional investment along the Federal Boulevard corridor; that the request is consistent with the Federal Boulevard Framework Plan and Urban Residential Development Plan; that pricing options for first time home buyer loan programs and a pricing structure must be provided in order to allow middle income families to access the neighborhood; that there is a need for additional housing options for Regis faculty, staff, and alumni; that new residential units will attract additional business and community amenities; and that the development has potential to support multi-modal transit options.

The applicant also held a neighborhood meeting on October 10, 2018. According to the applicant, neighbors were generally not interested in the overall value and potential that the proposed development could bring the area. Attendees expressed concerns about traffic congestion, the conversion of the proposed townhomes to rental units, sidewalks, stormwater control from Regis University and Federal Boulevard, transients, architectural design, dissatisfaction with the lack of communication from Regis University throughout their proposed expansion plans, and lack of communication from the County.

COUNTY AGENCY COMMENTS

Staff reviewed the request and had no concerns with the proposed rezoning. Staff noted that if the request is approved, the applicant will be required to apply for a Major Subdivision and construction plan review, including a traffic impact study and drainage analysis.

REFERRAL AGENCY COMMENTS

Responding with Concerns:

None

Responding without Concerns:

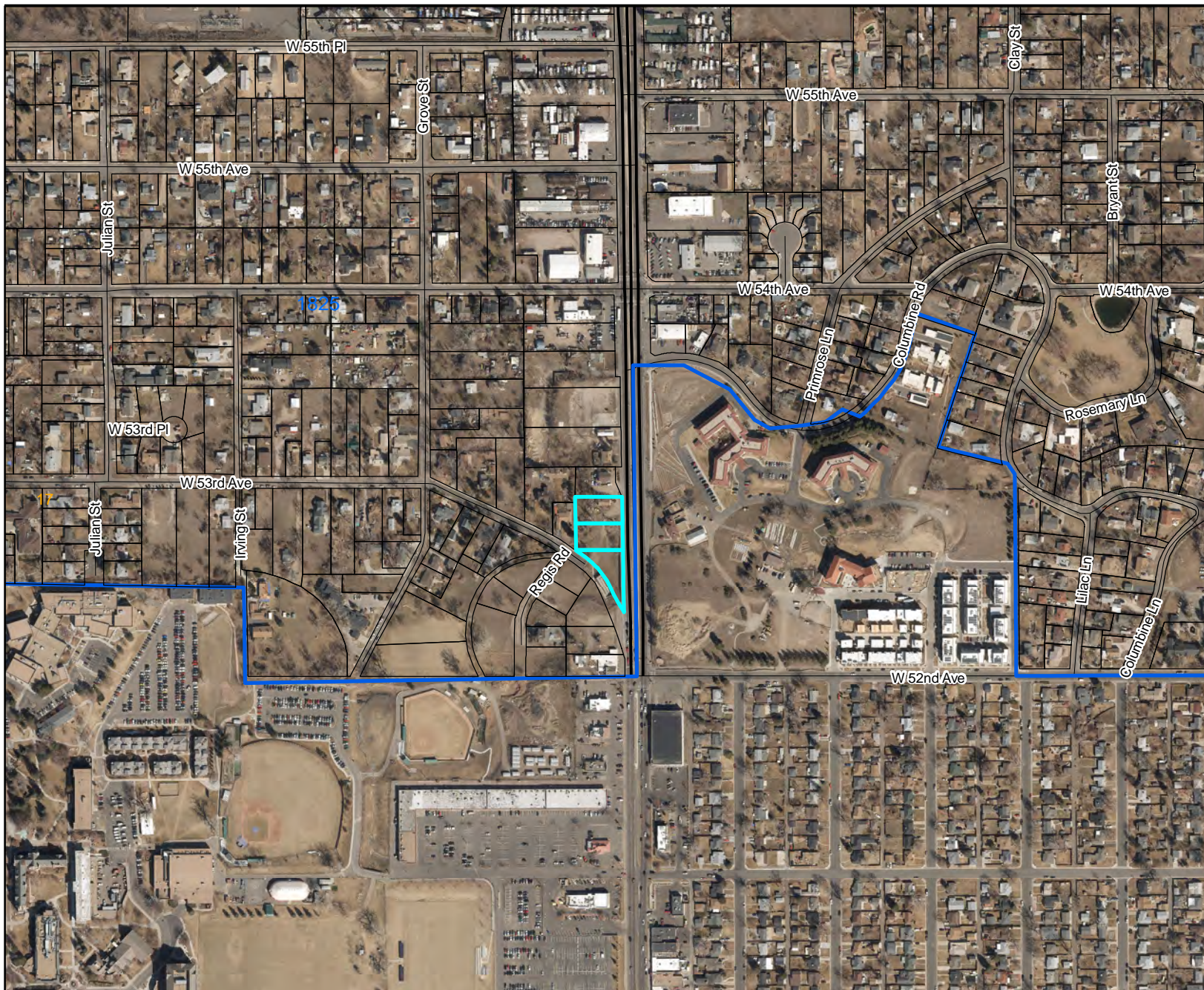
Colorado Department of Transportation (CDOT) has requested that the applicant close access to Federal Boulevard from the north property and that access for the development be taken from West 53rd Avenue. According to CDOT, because this development has frontage to West 53rd Avenue and this is a local residential street, access must be taken at W. 53rd Ave.

Tri-County Health Department commented on the need for community design that makes regular physical activity, such as walking and bicycling, possible for resident's daily routines. Their comments emphasized the provision of detached sidewalks and pedestrian-oriented improvements along Federal Boulevard, building orientations located close to the street with main entrances off the sidewalk, the importance of parking lots located behind buildings, and the need for bicycle parking for residents of the building and visitors.

XCEL Energy
Berkeley Water and Sanitation District
Denver Water

Notified but not Responding / Considered a Favorable Response:

Berkeley Neighborhood Association
Colorado Department of Public Health and Environment (Water Quality Protection, Solid Waste, and Air Quality Units)
Adams County Fire Protection District
Century Link, Inc.
Colorado Division of Wildlife
Comcast
Westminster School District #50
Hyland Hills Park and Recreation District
Metro Wastewater Reclamation
Regional Transportation District



Legend

- Railroad
- Major Water
- Zoning Line
- Sections

Zoning Districts

- A-1
- A-2
- A-3
- R-E
- R-1-A
- R-1-C
- R-2
- R-3
- R-4
- M-H
- C-0
- C-1
- C-2
- C-3
- C-4
- C-5
- I-1
- I-2
- I-3
- CO
- PL
- AV
- DIA
- P-U-D
- P-U-D(P)

Case Name: 5317 Federal Blvd Rezone

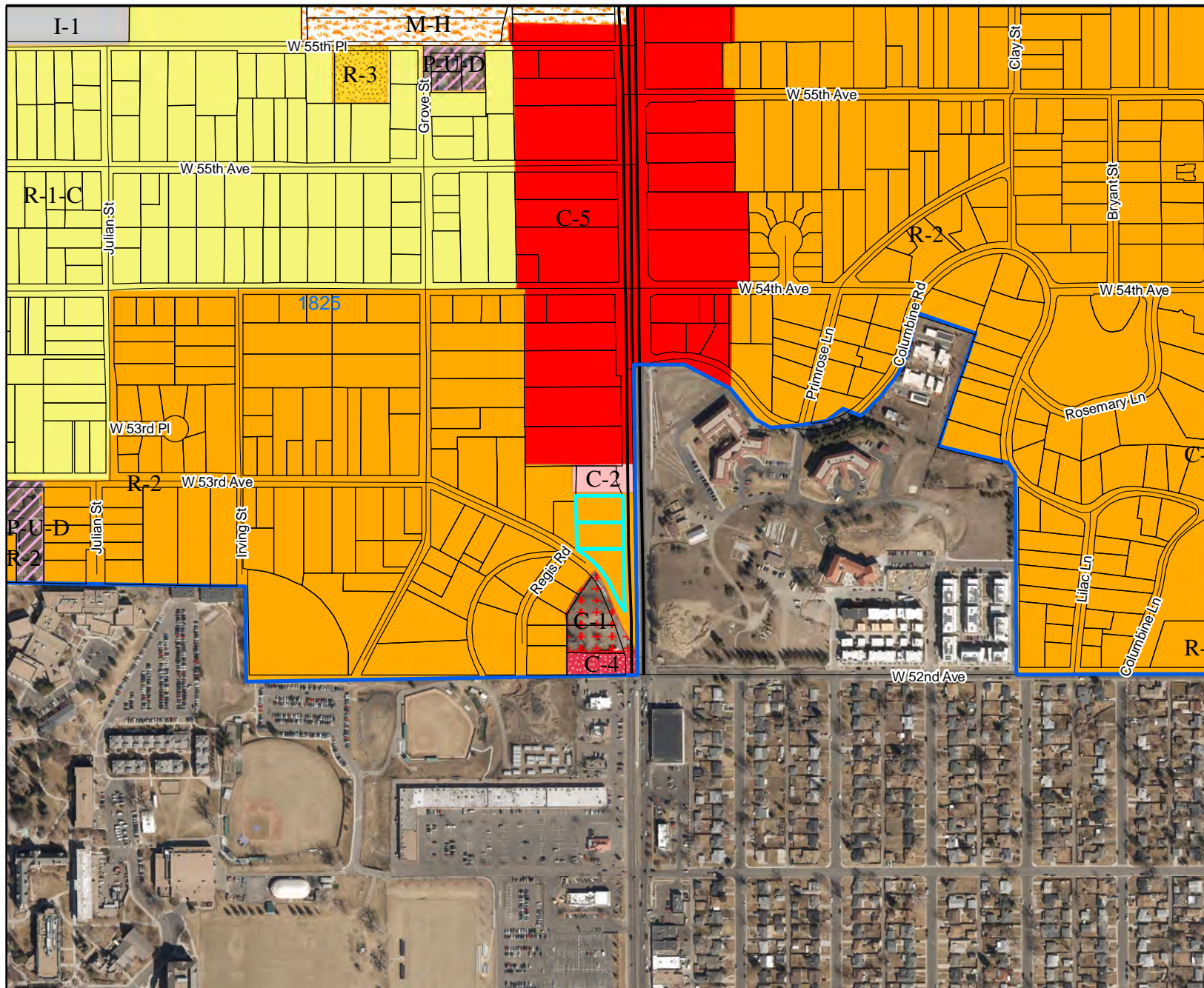
Case Number: RCU2018-00057



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Legend

- Railroad
- Major Water
- Zoning Line
- Sections

Zoning Districts

- A-1
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Case Name: 5317 Federal Blvd Rezone

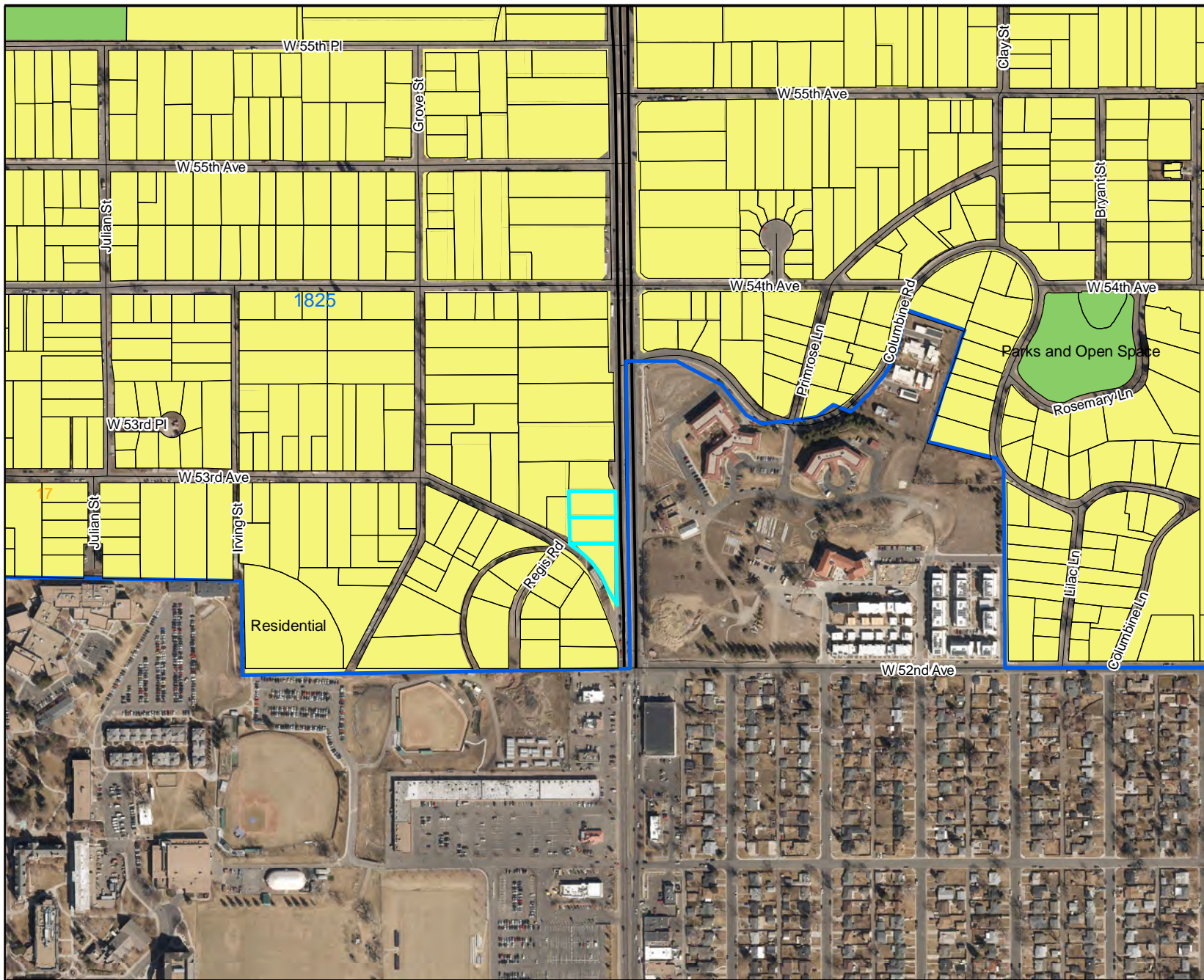
Case Number: RCU2018-00057



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Legend

- Railroad
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- Zoning Line
- Sections

Case Name: 5317 Federal Blvd Rezone

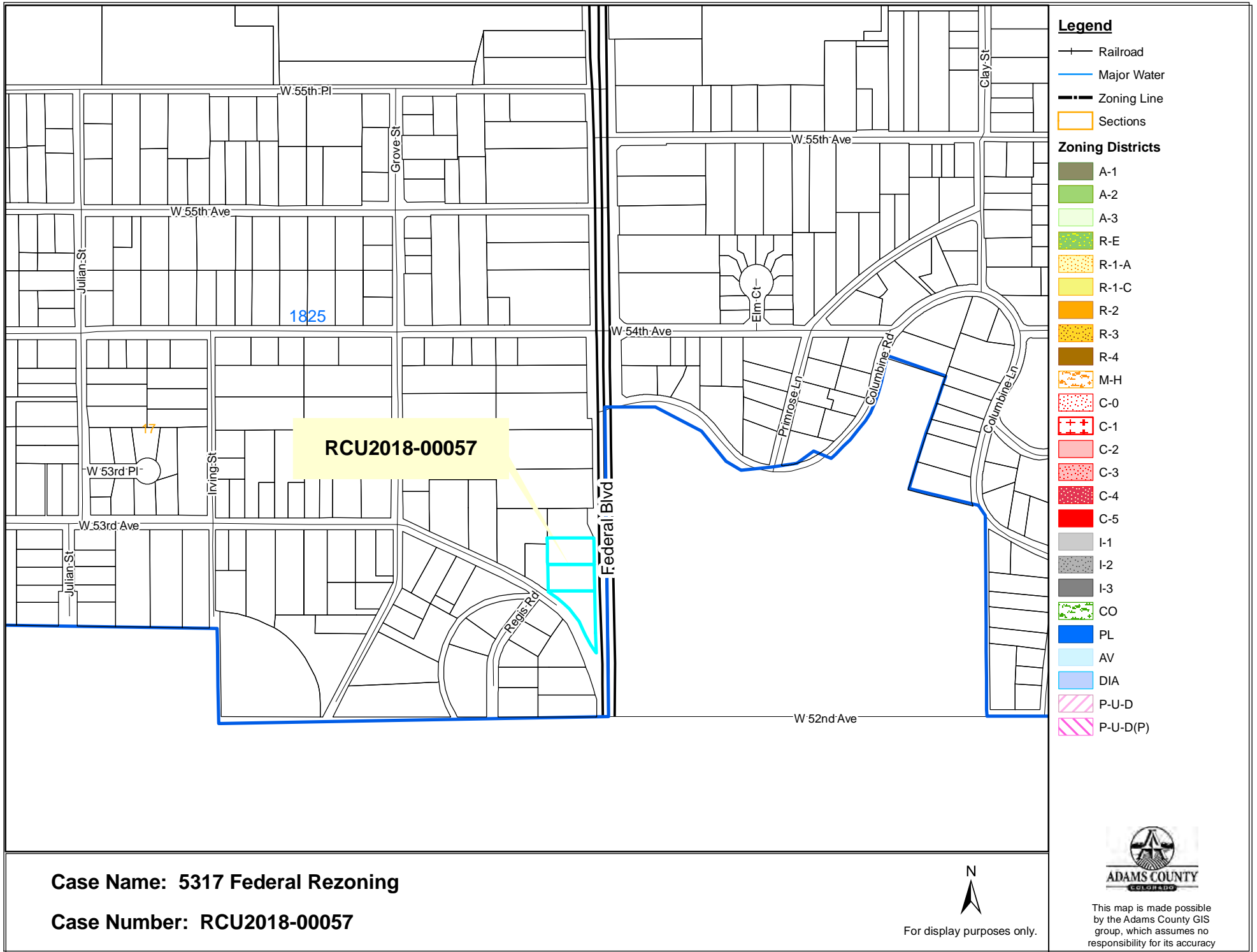
Case Number: RCU2018-00057



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For display purposes only.

2. Written Explanation of the Project

The applicant is proposing to rezone the property at 5317 Federal Boulevard from R-2 to R-3 in order to develop 12 townhome units with an overall density of 13.6 dwellings per acre. This project will be comprised of 3-story buildings with rooftop decks in a 3-plex configuration (4 x 3-plex buildings). Each unit has an attached garage with two parking spaces, and surface guest parking is located within the plan. Parking for the development is provided at a ratio of 2.66 spaces per dwelling unit, including the guest spaces. This addition to the community will not only help to diversify the housing options in Adams County by providing attainable for-sale housing, but it will help to revitalize the existing neighborhood.

The applicant feels this development proposal is appropriate with the surrounding development activity associated with and adjacent to Regis University and the Aria development on the other side of Federal Boulevard. This proposal will help to support recent development by adding an additional housing typology to this quickly evolving neighborhood.

The residences have been arranged on site to take advantage of the unique location. Units have been placed strategically along open space buffers promote a pedestrian friendly environment. A 40' open space buffer along the western boundary of the site provides area for storm water management.

The exterior design of the buildings will promote a distinctive style with materials, massing, and details that are compatible with the surrounding residential and commercial neighborhoods. Visual interest in the 3-story massing is achieved through a variety of materials, colors, and roof forms.

The requested rezoning advances the vision recommended by Imagine Adams County, the county's 2012 Comprehensive Plan in numerous ways. Specifically, it advances Policy 2.1.d - Urban Residential Development, Policy 4.3.b - Institute appropriate programs to provide a variety of housing options for County residents, as identified in the Balanced Housing Plan, and Policy 14.5 - Maintain and enhance the quality of existing residential neighborhoods in the Southwest portion of Adams County.

The proposed zoning is also consistent with the Future Land Use Designation for the Site – Urban Residential, which is defined as those areas designated for single and multiple family housing, typically at urban densities of one dwelling per acre or greater. These areas are intended to provide for development of residential neighborhoods with a variety of housing types, with adequate urban services and transportation facilities. The R-3 zone district fits this description.

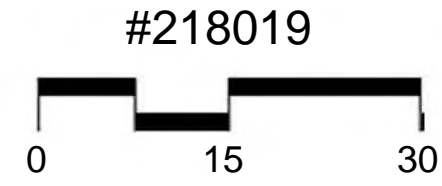


Concept Plan

53RD & FEDERAL TOWNHOMES

Adams County, CO

03.08.2019





Development Review Team Comments

Date: 1/2/19

Review Due Date: 12/29/18

Project Number: RCU2018-00057

Project Name: 5317 Federal Blvd Rezoning

The following comments have been provided by reviewers. A resubmittal is not required at this time. A response to public comment has been requested as noted under Planning Comment PLN5 below.

Planning Review (Jennifer Woods, jwoods@adcogov.org)

PLN1: SUBJECT PROPERTY: The properties consist of three separate parcels (0182517208044, 0182517208045 and 0182517208046) totaling just about 0.93 acres. The properties are adjacent to W 53rd Ave, from which they also have access, as well as Federal Blvd. The properties are generally located midblock and on the westside of Federal Blvd in between W 54th and W 52nd Ave.

PLN2: ZONING AND FUTURE LAND USE: The properties are currently zoned Residential-2 (R-2). The future land use designation is Urban Residential.

PLN3: PROPOSED ZONING: The application is to rezone the properties to Residential-3 (R-3).

PLN4: CRITERIA FOR APPROVAL: Per section 2-02-13-06-02 of the Adams County Development Standards and Regulations (ACDSR), there is four criteria for approval.

1. The first criterion is that the zoning map amendment is consistent with the Comprehensive Plan (Urban Residential).
2. The second and third criteria for approval are that the zoning map amendment is both consistent with the purposes of and can comply with the requirements of the standards and regulations set forth in the ACDSR. Per section 3-24 of the ACDSR the minimum lot size for R-3 for Attached Dwellings on Individual Lots is 2,500 square feet per dwelling or Attached Dwellings on One Lot: 9,500 square feet per three dwellings and maximum

density is 14 dwelling units per acre. The area of the three parcels in this application is less than an acre and should easily be able to meet the width requirement. The setbacks would also include a 40-foot setback from Federal in addition to the 20-foot perimeter setbacks (0-foot in between buildings).

3. The fourth criteria for approval is that the zoning map amendment is compatible with the surrounding area, harmonious with the character of the neighborhood, and not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. Surrounding zone districts include C-1 to the south, R-2 to the west, Denver to the east. The majority of the Federal Blvd corridor in this area is C-5.

PLN5: RESPONSE TO PUBLIC COMMENTS: A response is required addressing the comments from the public prior to scheduling for staff discussion and then public hearing. An email response is adequate.

Engineering Review (Matt Emmens, memmens@adcogov.org)

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0592H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; a floodplain use permit will not be required.

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is within the County's MS4 Stormwater Permit area. In the event that the disturbed area of the site exceeds 1 acre the applicant shall be responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR-030000. The installation of erosion and sediment control BMP's is expected for any ground disturbance.

Although the site itself is less than one acre (0.922 acres), the offsite work, such as roadway improvements and utility street cuts, are included in the area of disturbance. If the area of disturbance is one acre (1.0) or more a SWQ Permit is required.

ENG3: The preliminary drainage report/plan indicates that the stormwater detention pond is proposing a pump system to drain pond. Pump systems are allowed, but discouraged in Adams County. The pump system will require secondary backup pumps for redundancy. The developer will also need to provide a highly detailed operations and maintenance plan (O&M plan). The O&M plan will need to include a pump maintenance schedule, the pump specifications and assign the pump maintenance responsibilities to a qualified entity.

ENG4: The drainage plan indicates that the site detention/water quality pond will outfall to the street curb and gutter. There are known drainage issues (i.e. flooding) in this area and, the crown

of the street is not well defined and, several of the driveways on neighboring properties do not rise up enough to keep flows contained in the street. Daylighting the pond outfall to the street is not an acceptable solution in this case. The developer will need to run the pump effluent pipe down E 53rd Ave and daylight it in the inlet located at the intersection of E 53rd Ave and Grove Street.

ENG5: The Trip Generation letter, included with the rezoning submittal is acceptable. At the time of Development, the applicant will need to include a level 2 TIS with their Engineering Review submittals.

Site Development Comments

ENG6: If the applicant proposes to import soil to this site, additional permitting is required. Per section 4-05-02-07, of the Adams County Development Standards and Regulations, a Temporary or Conditional Use Permit is required to ensure that only clean, inert soil is imported into any site within Un-incorporated Adams County. This regulation applies to ANY amount of soil imported to a site.

ENG7: The developer is required to construct roadway improvements adjacent to the proposed site. Roadway improvements will consist of curb, gutter and sidewalk on all roadways adjacent to the site and, any roadway improvements as required by the approved traffic impact study.

ENG8: Prior to the issuance of any building permit(s), the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, two (2) copies of all construction documents. The development review fee for an Engineering Review is dependent on the type of project and/or the size of the project. The Development Review fee can be found in the Development Services Fee Schedule, located on the following web page:

<http://www.adcogov.org/one-stop-customer-center>.

ENG9: The developer is responsible for the repair or replacement of any broken or damaged section of curb gutter and sidewalk.

Right-Of-Way Review (Eden Steele, esteele@adcogov.org)

ROW1: Applicant should contact CDOT regarding right-of-way dedication along Federal Blvd, which may be required at the time of development.

Reviewers Responding with No Comment:

Addressing Review (Eden Steele, esteele@adcogov.org)

Environmental Review (Jen Rutter, jrutter@adcogov.org)

Building Safety Review (Justin Blair, jblair@adcogov.org)

Parks Review (Aaron Clark, aclark@adcogov.org)



Development Team Review Comments: 2nd Review

Date: 4/26/19

Review Due Date: 4/26/19

Project Number: RCU2018-00057

Project Name: 5317 Federal Blvd Rezone

The following comments have been provided by reviewers. A resubmittal is not required and this application is ready to be scheduled for public hearing. If the applicant receives approval for the Rezone request, a Major Subdivision and Variance will be required afterwards as described in the planner comments.

Planning review (Holden Pederson, HPederson@adcogov.org)

PLN1: Staff believes that the applicant has met the Criteria of Approval for a Rezoning request located in Chapter 2, Section 2-02-13-06-02 of the Adams County Development Standards and Regulations.

PLN2: The process for a Major Subdivision requires approval of a preliminary and final plat, both of which require approval from the Planning Commission and Board of County Commissioners. More information about this process can be found in Chapter 2, Section 2-02-17.

PLN3: A 40' setback from an arterial right-of-way is required in the R-3 zone district. If the conceptual site plan does not change, a variance from that setback will also be required after receiving approval for the major subdivision and rezoning.

Development Engineering review (Matthew Emmens, MEmmens@adcogov.org)

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0592H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; a floodplain use permit will not be required.

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is within the County's MS4 Stormwater Permit area. In the event that the disturbed area of the site exceeds 1 acre the applicant shall be responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR-030000. The installation of erosion and sediment control BMP's is expected for any ground disturbance.

Although the site itself is less than one acre (0.922 acres), the offsite work, such as roadway improvements and utility street cuts, are included in the area of disturbance. If the area of disturbance is one acre (1.0) or more a SWQ Permit is required.

ENG3: The preliminary drainage report/plan indicates that the stormwater detention pond is proposing a pump system to drain pond. Pump systems are allowed but, discourage in Adams County. The pump system will require secondary backup pumps for redundancy. The developer will also need to provide a highly detailed operations and maintenance plan (O&M plan). The O&M plan will need to include a pump maintenance schedule, the pump specifications and assign the pump maintenance responsibilities to a qualified entity.

Applicant Response: This is fine and expected. Not a big deal.

County Response: The County has made note that this is "Not a big deal".

ENG4: The drainage plan indicates that the site detention/water quality pond will outfall to the street curb and gutter. There are known drainage issues (i.e. flooding) in this area and, the crown of the street is not well defined and, several of the driveways on neighboring properties do not rise up enough to keep flows contained in the street. Daylighting the pond outfall to the street is not an acceptable solution in this case. The developer will need to run the pump effluent pipe down E 53rd Ave and daylight it in the inlet located at the intersection of E 53rd Ave and Grove Street.

Applicant Response: Discharge is the area of the land. Smaller release would drive a larger pond. This is a huge red flag. There is no infrastructure to allow this release. Discharge to corner.

County Response: It is not the release rate that is of concern; it's the flooding of neighboring properties due to the topography. After further review, it was discovered that there is an existing storm sewer outfall located at the east end of W 53rd Avenue (south side of the road). The applicant's storm sewer plans will need to direct the detention pond outfall to this location.

ENG5: The Trip Generation letter, included with the rezoning submittal is acceptable. At the time of Development, the applicant will need to include a level 2 TIS with their Engineering Review submittals.

Site Development Comments

ENG6: If the applicant proposes to import soil to this site, additional permitting is required. Per section 4-05-02-07, of the Adams County Development Standards and Regulations, a Temporary or Conditional Use Permit is required to ensure that only clean, inert soil is imported into any

site within Un-incorporated Adams County. This regulation applies to ANY amount of soil imported to a site.

ENG7: The developer is required to construct roadway improvements adjacent to the proposed site. Roadway improvements will consist of curb, gutter and sidewalk on all roadways adjacent to the site and, any roadway improvements as required by the approved traffic impact study.

ENG87: Prior to the issuance of any building permit(s), the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, two (2) copies of all construction documents. The development review fee for an Engineering Review is dependent on the type of project and/or the size of the project. The Development Review fee can be found in the Development Services Fee Schedule, located on the following web page:
<http://www.adcogov.org/one-stop-customer-center>.

ENG8: The developer is responsible for the repair or replacement of any broken or damaged section of curb gutter and sidewalk.

Right-of-Way review (Marissa Hillje, MHillje@adcogov.org)

No ROW comments for the rezoning case.

The following comments are to address the subdivision plat process:

ROW1: Applicant should contact CDOT regarding right-of-way dedication along Federal Blvd. Send Adams County proof of correspondence.

ROW2: The services of a licensed Professional Land Surveyor should be secured to create the plat.

ROW3: Submit a title commitment which should be used to depict the applicable recordings on the plat. Send Adams County a copy of the title commitment with your application dated no later than 30 days to review in order to ensure that any other party's interests are not encroached upon. All applicable easements/exceptions should be accurately shown and labeled on the plat.

ROW4: In the event that the drainage report indicates a need for new drainage infrastructure on site then a drainage easement will need to be created by the plat.

ROW5: OTHER information:

See section 5-02-01 Plat Notes Required: The County will require specific plat notes to be

included on the Final Plat document prior to recording.

See Section 5-04-02-01 and -02 for Easement location standards.

See section 5-04-08 For Monument standards.

Section 5-05 Land Dedication Standards explains standards for required land dedication or public improvements.

Addressing review (Marissa Hillje, MHillje@adcogov.org)

ADR1: The address will need to be changed to reflect the main access point off of W 53rd Ave.
Contact Marissa Hillje for address request form.

Jennifer,

Following review of the referral package for the proposed Rezone of 5317 Federal Blvd. from Residential 2 to Residential 3, we have the following comments:

- We have no objections to the proposed rezone.
- With this new residential development, access to State Highway 287 (Federal Blvd.) should be closed by permit and access for the development should be taken from W. 53rd Avenue. Per the State Highway Access code, section **3.10(2)** *When application is made, one access shall be granted per parcel if reasonable access cannot be obtained from the local street or road system.* Since this development has frontage to W. 53rd Ave. and this is a local residential street, access should be taken at W. 53rd Ave. Contact for the access closure permit is Steve Loeffler, who can be reached at 303-757-9891 or steven.loeffler@state.co.us
- At the time of development we will want to review the drainage plan in order to make sure there will be no negative impact to State Highway 287.
- Any work in the State Highway Right-of-Way will require a permit from our office. This includes, but is not limited to survey, utility, or landscaping work. Application can be made on our website through the following link: <https://www.codot.gov/business/permits/utilitiesspecialuse/online-permit-application>
- Please have the State Highway Right-of-Way line shown and labeled on the site plan.

Thank you for the opportunity to review this referral and my apologies for our comments being late.

Steve Loeffler
Permits Unit



P 303.757.9891 | F 303.757.9886
2829 W. Howard Pl. 2nd Floor, Denver, CO 80204
steven.loeffler@state.co.us | www.codot.gov | www.cotrip.org



December 21, 2018

Jennifer Woods
Adams County Community and Economic Development
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601

RE: 5317 Federal Boulevard Rezoning, RCU2018-00057
TCHD Case No. 5321

Dear Ms. Woods,

Thank you for the opportunity to review and comment on the rezoning from Residential-2 to Residential-3 in order to develop 13 townhome units located at 5317 Federal Boulevard. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has the following comments.

Community design to support walking and bicycling

Because chronic diseases related to physical inactivity and obesity now rank among the country's greatest public health risks, TCHD encourages community designs that make it easy for people to include regular physical activity, such as walking and bicycling, in their daily routines. Because research shows that the way we design our communities can encourage regular physical activity, TCHD strongly supports community plans that incorporate pedestrian and bicycle amenities that support the use of a broader pedestrian and bicycle network.

Sidewalks:

Pedestrian-oriented improvements along Federal Boulevard are described as "integral" (pg. 21) in the Federal Boulevard Framework Plan. While a sidewalk is present along Federal Boulevard along this site, the Framework Plan notes that the attached sidewalks along Federal Boulevard "feel uncomfortable due to the current vehicular speeds and volumes present" (pg. 42). The Framework Plan recommends "strengthen[ing]... alternative mode transportation corridors to increase their presence, personal safety, and integration with the corridor, in order to decrease personal safety issues and crime" (pg. 73).

In 2015, TCHD conducted a Health Impact Assessment (HIA) of the Federal Boulevard Framework Plan which was adopted by the Planning Commission on September 11, 2014. The purpose of the HIA was to assess the potential impact the plan's policies would have on health and to provide recommendations to maximize positive health

outcomes. The HIA recommendations included pedestrian and bicycle infrastructure improvements for the area as a priority in all planning activities.

In alignment with these findings, TCHD strongly encourages the use of detached sidewalks of at least 5 feet in width along Federal Boulevard. Designers of active living communities typically recommend that sidewalks be a minimum width of five (5) feet, the space needed for two people to walk comfortably side by side, with a buffer area like a tree lawn between the sidewalk and the street.

Safe and attractive pedestrian amenities:

Research shows that people are more likely to use pedestrian amenities when they are attractive and feel safe. One way to improve the feeling of safety is by providing pedestrian scale lighting.

Building Orientation:

To help people feel safe and to create a welcoming environment, buildings should be located close to the street with main entrances off of the sidewalk.

Parking Lot Design:

Large parking lots can hinder walkability efforts by creating less-engaging landscapes and safety concerns. Locating parking lots behind buildings can help create a more pedestrian-friendly environment.

Onsite Bicycle Amenities:

TCHD encourages the applicant to incorporate bicycle parking for residents of the building and visitors.

Fugitive Dust – Building Demolition

Exposure to air pollution is associated with a number of health problems including asthma, lung cancer, and heart disease. The Colorado Department of Public Health and Environment Air Pollution Control Division (APCD) regulates air emissions. The application indicates that the existing buildings on the site will be demolished. State air quality regulations require that precautions be taken prior to demolition of buildings to evaluate the presence of asbestos fibers that may present a health risk. If asbestos is present, actions must be taken to prevent their release into the environment. State regulations also address control of ozone depleting compounds (chlorofluorocarbons) that may be contained in air conditioning or refrigerating equipment. The applicant shall contact the APCD at (303) 692-3100 for more information. Additional information is available at <http://www.cdphe.state.co.us/ap/asbestos>.

Buildings constructed prior to 1978 may contain lead paint. Environmental Protection Agency's (EPA) 2008 Lead-Based Paint Renovation, Repair and Painting (RRP) Rule (as amended in 2010 and 2011), aims to protect the public from lead-based paint hazards associated with renovation, repair and painting activities. These activities can create hazardous lead dust when surfaces with lead paint, even from many decades

ago, are disturbed. More information can be found here <https://www.epa.gov/lead/lead-renovation-repair-and-painting-program-rules> and <https://www.epa.gov/lead>. The applicant may contact, and the Environmental Protection Agency EPA at 1-800-424-5323 for more information.

Vector Control – Building Demolition

Rodents such as mice and rats carry diseases which can be spread to humans through contact with rodents, rodent feces, urine, saliva, or through rodent bites. For example, Hantavirus Pulmonary Syndrome (HPS), a rare but potentially lethal viral infection, can be found in the droppings and urine of rodents commonly found in southwestern United States. When buildings are demolished, rodents can spread to surrounding properties and increase the risk of vector exposure to humans. The applicant should plan for vectors and eliminate any known infestations prior to demolition. Information on rodent control can be found at <http://www.tchd.org/400/Rodent-Control>.

Please feel free to contact me at 720-200-1585 or aheinrich@tchd.org if you have any questions.

Sincerely,



Annemarie Heinrich, MPH/MURP
Land Use and Built Environment Specialist

cc: Sheila Lynch, Monte Deatrich, TCHD



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571.3284
donna.l.george@xcelenergy.com

December 14, 2018

Adams County Department of Planning and Development
12200 North Pecos Street
Westminster, CO 80234

Attn: Jennifer Woods

Re: 5317 Federal Boulevard Rezone, Case # RCU2018-00057

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the request for the **5317 Federal Boulevard Rezone**. Please be advised that Public Service Company has existing electric distribution facilities within the areas indicated in this proposed rezone. Public Service Company has no objection to this proposed rezone, contingent upon PSCo's ability to maintain all existing rights and this amendment should not hinder our ability for future expansion, including all present and any future accommodations for natural gas transmission and electric transmission related facilities.

The property owner/developer/contractor must complete the **application process** for any new natural gas or electric service, or modification to existing facilities via FastApp-Fax-Email-USPS (go to: <https://www.xcelenergy.com/start, stop, transfer/new construction service activation for builders>). It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

If there are any questions about this referral response, please contact me at 303-571-3306 or donna.l.george@xcelenergy.com.

Donna George
Right of Way and Permits
Public Service Company of Colorado

**BERKELEY WATER AND SANITATION DISTRICT
4455 WEST 58th AVENUE, UNIT A
ARVADA, COLORADO 80002
303-477-1914
Fax: 303-433-1939
Email: berkeleywater@gmail.com**

August 21, 2018

Hampton Barclay
Principal
Transom West Development, LLC
9776 Keenan Street
Highlands Ranch, CO 80130

Re: 5317 Federal Boulevard, Denver, CO 80221
Availability of sanitary sewer services

Dear Mr. Barclay:

This conditional will serve letter confirms that Berkeley Water and Sanitation District ("District") has the capacity to provide sewer services to above described property (the "Property"), under the following terms and conditions:

1. The District owns an 8" sewer main in Regis Road that is available for tapping for sewer service. The property owner may be required to install sewer main extensions, feeding into this present system, to facilitate development, depending upon design.
2. Each unit served must have its own sewer service lines, on its own land or easement. The engineering design and/or plans must be submitted and approved by the District prior to installation of any sewer service lines or tapping into any District sewer mains.
3. The property owner will be required to pay tap fees, review fees and costs, and all other applicable fees and charges prior to receiving sewer service from the District. The District may require a review deposit for District costs, including engineering and legal reviews, contract development, construction, observation and inspections. If the Developer makes a review deposit with the District, over payments will be refunded and shortages will be billed to the property owner.
4. If the extension of sewer mains is required, the District's engineering firm must review and approve the designs. The District's review and approval of the construction contract for the extension is also required before the work can commence.

A contract must be developed, appropriate Certificates of Insurance presented, and Warranty and Performance Bonds must be posted. In addition, the property owner will be required to dedicate easements for any public improvements.

5. The design specifications for the Project must comply with the District's Rules and Regulations, Adams County Fire Protection District regulations, and Adams County regulations. All sewer service will be subject to the District's Rules and Regulations.

6. Sewer tap fees will be payable to the District, which also collects Metro Wastewater's "connection fees." Fees to all agencies will be at prevailing rates at the time of application.

7. No representations are made regarding the availability of water service to the Property.

To reiterate, all costs incurred by the District and fees charged by the District, including without limitation tap fees, review costs, contract development, construction, observation and inspections, are the responsibility of the property owner as a condition of receipt of sewer service.

This conditional will serve letter is valid through August 21, 2019. If tap fees are not paid by that date, this agreement to service must be renewed through the District.

We look forward to providing services to the Property.

Sincerely,

A handwritten signature in blue ink, appearing to read "J. Stalder", is written over a horizontal line.

District Manager
BERKELEY WATER AND SANITATION DISTRICT

November 2, 2018

Hampton Barclay
Transom West Development, LLC
9776 Keenan St
Highlands Ranch, CO 80130

Re: 5317 Federal Blvd

Legal: (site plan attached)

Dear Mr. Barclay :

The described attached legal description is located in the service area in the City of Denver, CO. This site is eligible to receive water service subject to compliance with Denver Water's Operating Rules, Engineering Standards, regulations and charges and also Berkeley W&S District (T177) Operating Rules, regulations and charges. Please check the fire requirements for the proposed development with the Fire Prevention Bureau and the availability of the fire flow from existing mains with Denver Water's Hydraulics Department prior to proceeding with the project.

If there are any questions or concerns regarding the information being provided, please call me at 303-628-6520.

Sincerely,



Leslie Gomez
Tap Sales Representative
Sales Administration

Hello Jennifer,

By way of virtual introductions, my name is Tim Monkman and I am the homeowner @ 3085 W. 53rd Avenue here in Denver. I was able to get my hands on this document and in talking with my neighbors, it appears that none of us have been communicated with in regards to this rezoning application.

For some brief history, the development firm did hold a brief neighborhood meeting to go over their plan where there was a pretty good turnout. They didn't get a really great reception, mostly because of how they structured their meeting and how they really put it on us that we weren't 100% on board with their plan. We've been checking periodically and hadn't heard anything about an application and thought maybe they dropped this but now that this and other documents have surfaced unbeknownst to us, we wanted to initiate some dialog with you before we start canvassing the neighborhood for awareness and signatures.

Can I first ask you to outline the process for such an application and how it is supposed to work and how the neighborhood/community would be notified/engaged? We'd like to understand the formal process, hearings, etc... so we are all able to attend and voice our concerns, should we have any. Thank you in advance for this.

On a "Concerns" basis, I did want to outline some of the basic concerns we have but certainly not limited to this. First, we all would love to see this area cleaned up and progress made in the neighborhood but we also want to be included in the planning and communication processes. ***Second, we were expecting to hear of a plan of the pedestrian walkway back in July/August but that has fallen off the radar again (Ray & Steve?). I am told by many longtime residents that this is a normal practice for the County to just stop communicating with the neighbors in this area/neighborhood. I for one, who cleans this pedestrian area up regularly would like to know the bigger plan. Not to be rude but it's the least that can be done when making a promise.***

Access:

- Based on the plan outlined, the access to this property addressed on Federal Blvd. is to be on 53rd Ave.
 - 13 Units with a 2 car garage each is 26 new cars coming in and out daily.
 - With the allowance of 1 guest parking space for each is another 13 totally up to 39 potential vehicles in and out of our short street each day.
- This is a significant increase, especially if you consider the following:
 - There are already 2 homes with seniors who don't drive. Once those properties sell, you can add the increase of at least 4 more vehicles
 - The home at 3075 W. 5rd Ave is under significant renovation of with an increase of at least 4-6 cars once complete
 - The builder at this location, that is renovating the property has plans to add at least 1 duplex on the property which would increase to another 4 cars
 - So at this time, we are looking at the potential of another **fifty three (53)** vehicles coming in and out each day on this short street. ***(~530 Feet)***
- We are unclear why the entrance to this property cannot be put on Federal Blvd or adjustments made on Federal to allow for this significant increase to be managed up there.
- The developer made mention that they would do a traffic study soon. That study before all these other units are fully developed/sold, etc.. would be fairly inaccurate to say the least.

Safety:

- With this increase in traffic, you can appreciate the safety concerns for the neighborhood.
 - I live on the corner and watch daily the number of near misses of people traveling through the stop signs without stopping (or slowing down at times)
 - A number of disabled neighbors come up this street to access Federal Blvd., since the sidewalks are either too small or non-existent on 52nd avenue.
 - 9 months out of the year, kids walk through these streets with no sidewalks up and down Grove to enter the Regis Campus or Federal Blvd. for bus rides to their schools.
 - With such a significant increase in the number of vehicles and no safe place for mothers to push their babies, children to walk to and from school I am hoping this team can appreciate the concern we have.

Infrastructure:

- What plans does the County have to improve the infrastructure before something like this goes in?
 - Curb, Gutter, Drainage, Sewer, Lighting, Traffic Management/Enforcement?
 - Adding this much density in such a small space has its implications and is the County prepared for that? Is the County prepared for the fallout of the impact on current residents?
 - We already have a number of drainage issues when there is a heavy rain, why would adding/allowing this be an acceptable alternative to cleaning the area up?

Rezoning:

- Rezoning this from Res2 to Res3 allows for packing in a significant number of homes in a small space.
 - Isn't this what Denver County just put a stop to with the "Concrete Canyons" being developed?
 - This take away from the neighborhood, puts an increased stress on traffic, safety and infrastructure and quite frankly will devalue our homes currently in the neighborhood.
 - Who would want to raise their kids on a small street with only one outlet with the potential 70+ cars in and out every day? (this all the homes on this street when fully developed)
 - On top of this, we already have kids flying through the neighborhood from/to/through Regis and almost no enforcement by the County on traffic and parking related struggles.
- We can't stop someone from building a new contemporary style home in this neighborhood but adding these type of development does not improve the value or quality of our neighborhoods.

Again, I am sure the neighbors have more to add but I wanted to get some dialog started on this so we are fully engaged in our community changes. We look forward to hearing from you on the next steps of this application process and how we can play a role. In the short term, we will be taking this throughout the neighborhood to increase awareness on this matter now that we know it's in motion.

Thank you!

Tim Monkman
tmonkman@gmail.com
630-561-6393

ATTN: Dept of Community and Economic Development

In regards to the zoning change by Transcom West Development at 5317 Federal Blvd. We have lived in Berkley Gardens neighborhood for 46 years. The proposed 13 units planned in such a small area, do not in anyway belong in this neighborhood. Most houses in the immediate area have a fourth acre to an acre per house. In your own letter you projected a 14 unit dwelling per acre. This does not in anyway blend in with the neighborhood.

There is no planned exit or entrance onto Federal for these 13 units. 53RD Ave from Federal to Lowell is overy congested now with Regis University student traffic. The 13 proposed units with likely two cars per unit will add tremendously to the congestion. We cannot leave our house most days with out having to stop and pull over to let an approaching car pass or vice-versa.

Other counties are now dealing with the problems of over building multi-units in certain neighborhoods. Developers have the reputation they have because profit means more to them than a neighborhood. Adams County has a responsibility to its community and their neighborhoods not to the developers.

Lee Swanson Barbara Swanson

Adams County Planning Commission and Board of County Commissioners:

Thank you for taking the time to read and consider our comments. My wife and I own 3070 W 53rd Ave, just a few doors down from this proposed development. As a resident and a licensed civil engineer, I have several concerns about the proposed development.

1) The proposed high density development does not match with the existing neighborhood. Berkely Gardens is made up of single family homes or single duplex's on relatively large lots. This development would be a significant shift from the existing structure and does not fit into the existing properties of Berkely Gardens, or with the intentions of the original planners.

2) The development would require the creation of a new access point via 53rd Avenue. Currently the lots are accessed from Federal Blvd. CDOT has informed the developer that they would not approve access for this large of a development directly onto Federal Blvd. The proposal to change the access to 53rd Ave is unacceptable. Allowing this traffic onto 53rd would more than triple the amount of traffic on 53rd Ave. Previously the neighborhood residents worked with the county to close off 53rd from Federal to improve safety and quality of life in the neighborhood. This effort was very successful and this development would be counter the efforts of the neighborhood and the county.

3) Poor drainage has been an ongoing issue with this property. Neighboring properties have been routinely flooded from water flowing off the proposed development site. High density construction, with limited water permeable areas, would increase the amount of surface water being generated making these drainage problems worse.

4) Parking is a significant concern. Parking problems along 53rd and the surrounding neighborhood are a large issue for residents. Adams county and the sheriff have already demonstrated an inability or unwillingness to enforce parking restrictions in the neighborhood. The proposed development only provides for 8 additional parking places. With 13 units being planned, 8 parking spots is far from enough to accommodate the vehicles this development would attract. Required overflow parking would need to be absorbed by the neighborhood, exacerbating an already troublesome issue.

5) Emergency access is already limited and would be made worse. 53rd Ave east of Grove is a narrow street with limited access for larger vehicles. Garbage and delivery trucks have a tough time navigating the roadway and making the turnaround at the dead end. The developers plan only allows for the minimum required access space for emergency personnel and vehicles. Building a high density development on this small of a lot with limited access creates a hazard and additional risk for the residents of Berkely Gardens.

We are in support of encouraging R-2 development at the proposed site, 5317 Federal Blvd. Rezoning this property to R-3 would be detrimental to the residents and community of this neighborhood. The developer has stated that it would not be profitable enough to develop this property as an R-2. and thus they are seeking this change to R-3. It is not the responsibility of the residents or of the County to provide for the profit margins of private developers. The counties

first responsibility is to the existing residents and to maintain the quality of life that attracts us all to Adams County.

Thank you again for listening to our concerns about this proposed high density development. We, the residents of 3070 W 53rd Ave, are against the proposed rezoning of 5317 Federal Blvd for the above listed reasons. Please feel free to follow up with any additional questions or for clarification on any of the issues.

Marty Fey, PE

3070 W 53rd Ave
Denver, CO 80221

303-819-2042
martyfey@yahoo.com

RE: 5317 Federal Blvd, Case Number RCU2018-00057.

Thank you for taking the time to consider our comments regarding the proposed rezoning of 5317 Federal Blvd, case number RCU2018-00057. My wife and I own the property at 3070 W 53rd Ave and would be directly affected by this proposed rezoning and high density development. I would like to respond to the developers comments in reply to our points of concern in the following areas.

High Density – Rezoning this property from R2 to R3 would allow for a change in the allowable number of dwellings from 7 to 12, representing a significant increase of 71% higher density. A slight reduction from 13 to 12 units does very little to address the communities previously stated concerns about overcrowding too many units onto a small lot.

Site Access – It is the developers position that CDOT states the site must be accessed via 53rd Ave. Because we are not privy to communications between the state and the developer, we don't know the details of these conversations. I believe it is possible that access to Federal may be approved for a R2 development, as it is the high level of traffic generated by this proposed development that is CDOTs primary concern. It has never been the intention of the planners that W 53rd Avenue or any of the surrounding neighborhood streets be used as a frontage road.

If, in fact, the property must be accessed by W 53rd Ave than this rezoning should not be considered for review as a development along Federal Blvd, but rather one on W 53rd Ave. A high density R3 development is inappropriate and out of place for W. 53rd Ave and the Berkley Gardens community. Allowing this change would represent a major reduction in the character of the neighborhood.

Drainage – The developer has not presented a storm water plan. It would be premature to consider a rezone without a fully developed plan for storm water management. However, it is our understanding that part of the developer's storm water plan will be to divert any storm water overflow to the gutters of W 53rd Avenue. Due to the steep grade of 53rd between Federal and Grove, surface storm water is able to achieve significant volume and speed while traveling downhill. We have already experienced some flooding of our yard during large storm events. The additional runoff this development could generate represents a risk to all of the properties downhill.

Parking – High density development parking code requirements are made with the expectation that much of the overflow parking generated by the development will be absorbed by street parking in the surrounding neighborhood. Additionally, the developer's assumptions that two vehicles will be parked in each garage, and that each unit will have no more than two vehicles is unrealistic. There are also no accommodations in the parking plan for oversize vehicles, such as large pickup trucks or campers. This parking load would also need to be absorbed by street parking. W 53rd Ave does not have the capacity to safely handle the additional parking load that this development would attract. A R2 development would have far fewer parking needs, and allow room for more on-site parking per unit.

Due to our proximity to the Regis University, parking issues along W 53rd Ave are already a major concern for residents. The Adams County Sheriff has stated that they are unable or unwilling to address these parking issues, including vehicles clearly parked illegally. Until parking enforcement is made a priority, adding more parking demand will only serve to make a bad problem worse.

Emergency Access – Our concern with emergency access was not just for the property itself, but for the whole of W 53rd Ave. W. 53rd Ave is a narrow street with restricted parking due to its width. Access for delivery trucks and trash trucks is already difficult. The extra traffic and parking load this development would create increases the probability of improperly parked vehicles and dangerous traffic situations.

Traffic – The developer has not present a traffic study for review. We maintain that this development would generate a significant amount of traffic, and the developer themselves have stated their intentions to use our neighborhood as a frontage road. The roads of this portion of Berkeley Gardens are largely in

poor repair and lacking basic features such as curb and gutter or sidewalks. The current infrastructure around this proposed development is not performing well and cannot support this project.

Recently, Adams County removed the pedestrian access ramp connecting W 53rd Ave to Federal Blvd. This was one of the only routes available with a sidewalk. Pedestrians, including families and children, are now forced to use other routes. None of these alternative routes have continuous sidewalks, with most requiring people to walk in the street. These pedestrians would be sharing the same streets this additional traffic would be using. It is reckless for the county to consider any additional development until the provided infrastructure can support the needs of all our residents.

Site Layout / Design / Architecture – High density, modern architecture does not match the neighborhood or character of Berkeley Gardens. The developers keep referring to the architecture of Regis University, Aria, and other Denver developments as examples. These examples are not relevant to developments within Unincorporated Adams County. The residents of Berkeley Gardens chose this neighborhood for its character of large lots with single family homes. This development would represent a large and unwelcome change to the character of the neighborhood.

The developer has stated multiple times that the reason they need the rezoning is that the project wouldn't be profitable enough as a R2. It is not the responsibility of Adams County, Berkeley Gardens, or its residents to ensure a profit for a private developer. Rather, it is the duty of Adams County, the Planning Commission, and the elected Board of County Commissioners, to protect the interests of their residents and the quality of life that makes living in Adams County so great. We cannot allow private developers to determine the future of our neighborhoods, simply to make a profit.

Thank you again for your time in considering our opposition to this proposed rezoning and development, we look forward to hearing back on any future meetings or discussions.

Marty Fey, P.E.

3070 W. 53rd Ave.
Denver, CO 80221

303-819-2042

12/15/2018

Dept. of Community and Economic Development
4430 So. Adams County Parkway
Suite W2000A
Brighton, CO 80601-8216

The following correspondence directly relates to the proposed change of zoning and development proposed by Transom West Development, LLC at 5317 Federal Blvd. Case #RCU2018-00057. Our families, along with Berkeley neighborhood residents hold confidence that Adams County Development and Economic Development along with Adams County Commissioners will defend community safety and due process, and thereby, reach agreement that the integrity of this development is flawed, and needs additional discovery to mediate the best outcome.

On October 10, 2018 at Carl Park Recreation Center Transom West Development presented conceptual plans for the identified zoning and development project. During the session there were several concerns verbalized. Very noticeable was a lack of vital stakeholders present including Berkeley Water and Sanitation, ADCO Public Safety, and Department of Community and Economic Development representation. Below, is the primary rationale for why Adams County officials need to get involved and perform due diligence versus merely "rubber stamping" the project.

The overbuild of thirteen townhouse units on a very small R2 property, along with their architectural design, does not match the integrity of properties along 53rd Ave., nor is it compliant with the last official Adams County Berkeley Neighborhood Plan (2008). Transom West representative stated in the public meeting that this offering matches the ARIA development on the East side of Federal. This is completely inaccurate. It is drastically different and unsafe compared to the ARIA build-out, and I would be happy to walk the area with officials to identify the detailed differences.

The proposal identifies as a "Federal Boulevard" project, however there will be no direct access, either in or out, to the town house "community" from Federal Boulevard. Rather, the project is located at the end of W. 53rd Ave., a dead end residential street with a pedestrian walkway that provides access to Federal Boulevard. Several years ago, Adams County vacated the hazardous intersection at W.53rd and Federal Boulevard as a means to mitigate numerous safety hazards existing at that intersection such as dangerous traffic access as well as speeding through the avenue corridor to Lowell Blvd.

Increased traffic, with turn-around traffic and residential traffic, will present unsafe conditions for pedestrians using the pedestrian walkway up to Federal Blvd. defeating prior Adams County support for safety along with directly conflicting with the recent 2014 Adams County Federal Blvd. Framework Plan conducted with residents, community partners, stakeholders, and county representatives.

Having a single access point for entering and exiting, as well as the required fire lane releasing on to W.53rd Ave., will present tremendous noise and safety issues for both the residents and properties close to the project. Further, lack of sidewalks along the corridor from Grove Street to 54th Ave will exacerbate the already crowded traffic that is present at the intersection of 54th Ave and Federal Blvd. which is on a hill with limited sight access, and will increase the potential for pedestrian/auto accidents.

We welcome the opportunity to participate in a transparent process that will ultimately result in a fair and equitable solution that will be amenable to the entire community.

Thank you for your consideration regarding this matter.

Dennis Skaronea & Jamie Skaronea
3260 W. 53rd Ave & 3280 W. 53rd Ave

Dennis Skaronea Jamie B. Skaronea
DEC 15, 2018 Dec 15, 2018

Proposed Transom West Townhomes at 53rd and Federal Boulevard

OPPOSED

	Name	Street Address	Phone #	Email
1	Michael Valdez	5345 Grove St	720-436-1189	michael.valdez@comcast.net
2	Rebecca Magaña	3060 W. 54th Ave	303-433-6027	
3	Sam Rarny	5380 Grove St	720-749-0717	giggles7@icloud.com
4	Glenn Holloway	5370-5350 Grove St	303-433-7334	
5	Scott Lee	3145 W 53rd	303-856-6394	sckul82@yahoo.com
6	Linda Peltz	5350 Julian St	(3) 641-7159	
7	Scott Davials	5350 Julian St.	303-882-6988	
8	Maggie King	3082 W. 53rd Ave	303-458-8869	mmeagawking@yahoo.com
9	Maynard King	3082 W. 53rd Ave	303-332-2415	maynardeking@gmail.com
10	Barbara Tarango	3033 W. 53rd Ave	303-477-9706	rabltarango@hotmail.com
11	Margaret G. Richardson	3031 W. 53rd Avenue	303-477-2754	
12	Ramon Tarango	3031 W. 53rd Avenue		
13	Marty Fey	3070 W 53rd Ave	303-819-2042	martyfey@yahoo.com
14	Jeri Fey	3070 W. 53rd Ave	303-406-1063	jericfey@gmail.com
15	Lee Swanson	3072 W 53rd Ave	303-433-4086	
16	BARB Swanson	3072 W 53rd Ave	303-433-4086	
17	Marissa Morris	3120 W. 53rd Ave		
18	Jeff E. H.	3140 W 53rd Ave	303-362-1781	
19	James Smith	3269 W 53rd AVE	303-919-5399	
20	Jessica Quirk	3269 W 53rd AVE	303-919-5399	

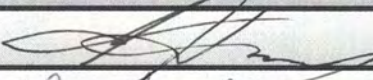
Proposed Transom West Townhomes at 53rd and Federal Boulevard

OPPOSED

	Name	Street Address	Phone #	Email
1	Salvador Castillo	3281 W 53 rd Ave	720-629-9063	
2	Andrew Booth	3285 W 53 rd Ave	423-914-1871	
3	Patrick Mercado	5240 Irving St Denver	720-910-7688	
4	Karen Pantler	5220 Irving St.	455-9691	
5	Myra Smith	3405 W 53 rd Ave	720-209-2580	
6	Loretta Cornett	5281 King St	303-437-3502	
7	Jeff Cornett	5281 King St	303-433-9288	
8	Jeff Cornett	5281 King St	720-217-6328	
9	Loretta Cornett	5271 King St	303-437-3502	
10	Jeff Cornett	5271 King St	720-217-6328	
11	Raemon Gill	3503 W 53 rd Ave	916-714-1593	
12	JEFF NORBERG	3251 W 53 RD AVE	847-899-7757	NORBERGJ09@GMAIL.COM
13	Michael Paganetti	3265 W 53 rd Ave	303-885-9136	Paganetti@Comcast.net
14	Shannon Mallett	3455 W 53 rd Ave	303-550-8006	
15	MARK LOCKMAN	3455 W 53 rd Ave	303-550-8006	
16	Gene Robinson	3380 W 53 rd Ave	303-477-5132	
17	Rebecca Rozale	3076 W 54 th Ave	720-331-8762	rebecca12
18	Uma M. Reed	5355 Grove St	720-244-2138	
19	Tim Monkman	3085 W 53 rd Ave	630-561-6393	tmonkman@gmail.com
20	Briana McCance	PH 720-447-9169 / 3280 W 53 rd Ave Denver 80221		brianam93@yahoo.com

Proposed Transom West Townhomes at 53rd and Federal Boulevard

OPPOSED

	Name	Street Address	Phone #	Email
1		3345 W 53	727-417-781	
2	Lou Barkheit	3445 W 53rd	303-433-1985	
3	Eli Skaronea	3280 W. 53rd Ave	303-458-6128	
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4/23/2019

Case Name: 5317 Federal Blvd. Rezone

Case Number: RCU2018-00057

4/23/2019

Dear Adams County Commissioners, Mr. Holden Pederson, Mr. Ray Gonzalez, Ms. Rebecca Zamora:

I am sending this correspondence with a continuance of concern regarding the rezoning request case number RCU2018-00057 from R2 to R3. While there was not time to canvas the entire community impacted by this project I see many of them day-to-day that feel this proposal is problematic.

West 53rd Ave. and Irving Street residents are looking for Adams County (Commissioner; Planner; Community Liaison) advocacy. The case presents a great opportunity to protect, preserve, and thoughtfully proceed with important decisions that will affect this unique neighborhood and citizens long after the developer has left their imprint, made a profit and moved on.

Below are bulleted and questions are expressed below, however there are probably some that are not included so it would be in the best interest to schedule a public community meeting at Carl Park Recreation Center so there is potential to hear additional concerns before this moves to the next step.

Concerns:

- Long standing and new property owners do not feel they have voice (appropriate representation) and the county “does not care” about safety, traffic and walkability due to lack of infrastructure (sidewalk, drainage, traffic)
 - Traffic study - no specific data provided.
 - I have attached pictures of lack of sidewalk along Irving Street to 54th Blvd.
 - Closure of the pedestrian walkway at the end of 53rd without an adequate notification regarding the rescheduled public meeting.
- This development affects residents that have been living on this street for many years, have tolerated, and have been extremely patient with the lack of county infrastructure (sidewalks, storm drainage, and road maintenance) will now suffer negative consequences of rushed and poor development planning (Towering box development that dwarf surrounding residences)
- Traffic that egresses the neighborhood via 53rd Avenue onto Lowell Blvd is a major threat to the basic safety and wellness of the residents. The intersection gets dangerously congested during rush hours and the layout of the intersection at Lowell, at the bottom of the hill, as well as near a grade school, put both adults and children at risk of the gravest consequences. We would like to see the results of the traffic study regarding this aspect of the proposed development.

- Additionally, new families that have recently moved onto the affected street expect to experience 53rd streets unique characteristics and preserve the ascetics of what the majority of the properties have on 53rd Ave. (Large yards; with single homes; many are historic in nature)
- TransomWest continues to indicate the “need for revitalization and feels the proposal is appropriate with the surrounding development activity with and adjacent to Regis University and Aria development on the other side of Federal Blvd”
 - While Regis is a primary stakeholder, they also are in Denver County and should not bear decision-making influence on Adams County community members, commissioners, and planning department. New and long-standing residents understand Regis considers 53rd their boundary, and in fact, have “many of our properties along the Southside of 53rd removed from their 20 year plan. Regis should not be allowed to influence decision-making, zoning and or “push-out: or on *the flip side* message they “care” about us, when they continue to cause unsafe walking conditions, increased car theft, vandalism and trash, and encourage and or massage problematic development. (Pictures attached of daily unsafe parking that dominates 53rd Ave.)
 - The ARIA development has street access and turn lane off federal and down 52nd Ave. Again, this is a Denver development and is not Unincorporated Adams County.
- The developer states the property is 0.88 acres. What are the exact lot dimensions and orientations?
- The scheduled public meeting at Carl Park to discuss the end of 53rd Avenue Pedestrian Access to Federal cancelled due to snow. There was never public notice of a new meeting date. Work should not be happening without input from the community that will be directly impacted. More voices need to be included in these discussions rather than only TransomWest and Regis University.

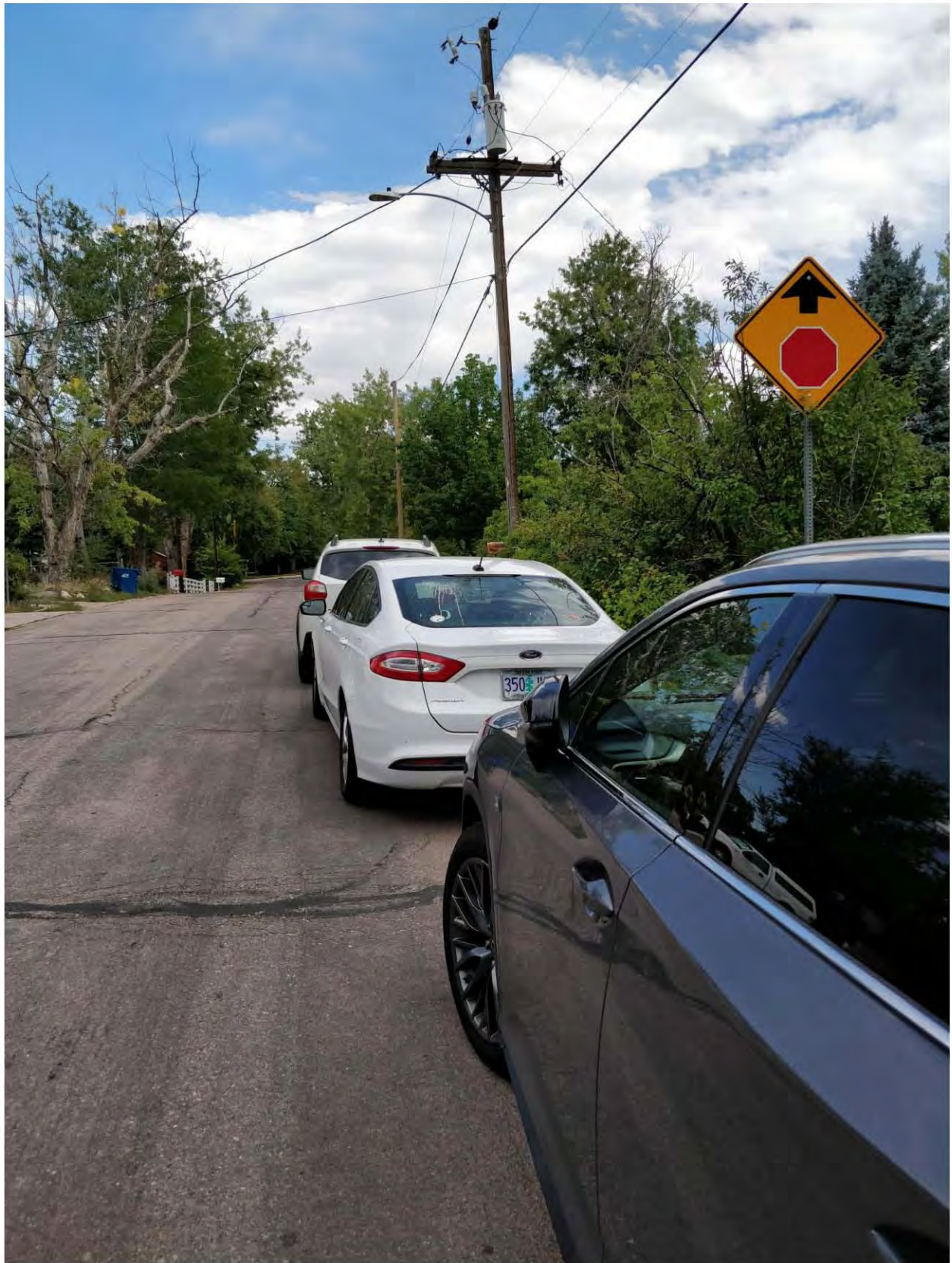
We continue to hope that the proposed development will be a result of a collaboration between TransomWest and the neighborhood residents. We look forward to your guidance as to next steps regarding this goal.

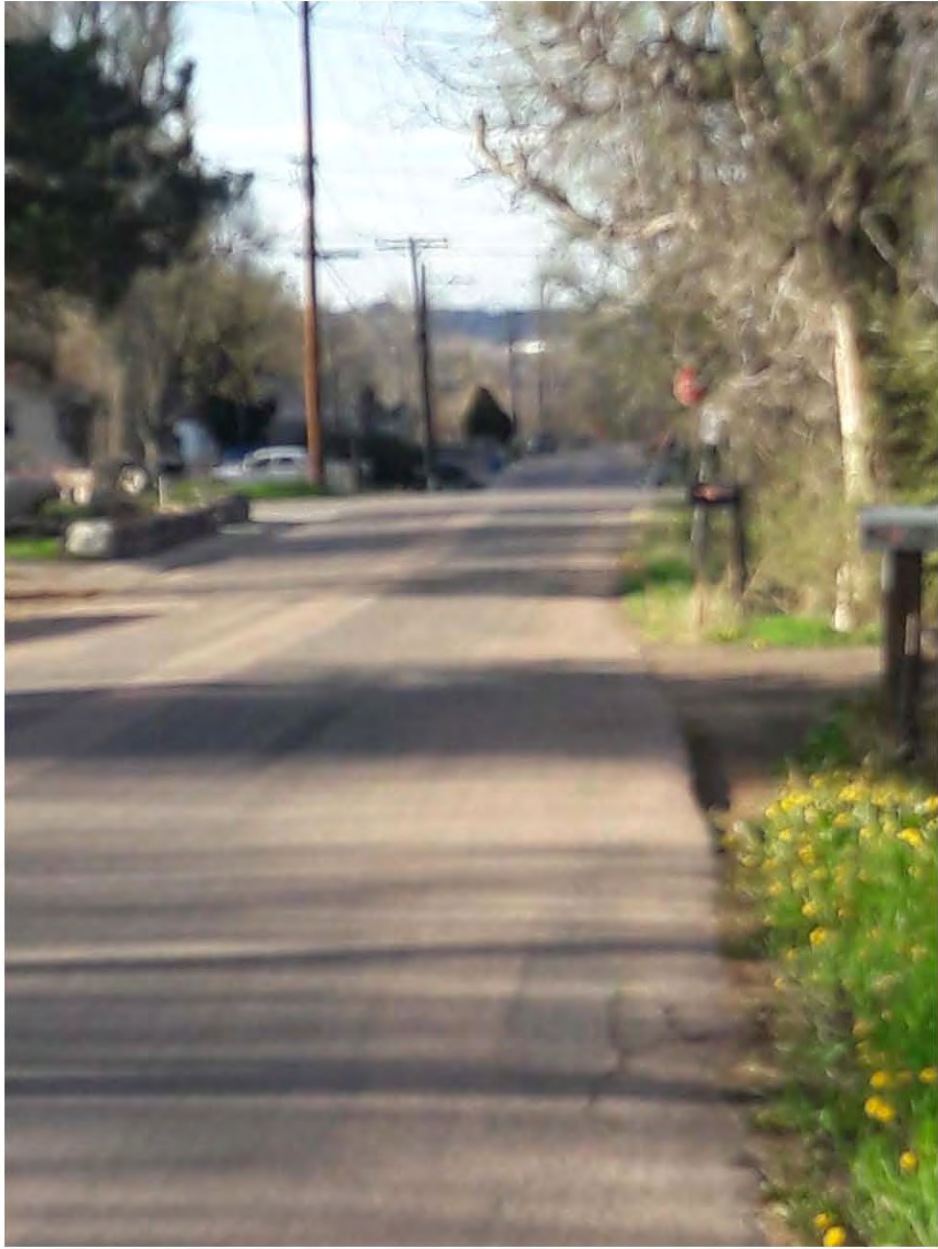
Concerned Citizens of 53rd Ave













I'm responding to your "Request for Comments" and "Written Explanation of the Project"

The plan we are discussing will definitely change the housing that we currently have in place. I really am concerned that so much thought is given to Regis University, while it seems that we home owners are the last on your list. It may be important to revitalize areas of Federal Blvd., but I think we need to be cognizant of exactly how this revitalization will take place. I am also concerned about the influx of traffic in the area and the noise that the traffic and additional people will cause.

I question the 40' buffer space you have allotted where residents of the development will recreate and socialize; you are aware that this area is next to a single family where a senior citizen resides? How about the homeowner's rights to having a peaceful place to live? Obviously, the influx of traffic will impact all of the residents. The increase of burglaries and petty theft will escalate, which is normal when this type of growth happens in any neighborhood. Have you thought of this, and what are your plans to manage?

I attended the public meeting held by Transom West on October 10, 2018. There was not one person at the meeting that was in favor of this project. Let's be truthful, the developers are in it for the money; are you who are supporting this project any different? If we don't curtail some of the building in the neighborhood (AND state) we will lose the quality of life and the reasons why we bought and live in Denver in the first place. We don't want to be another California or Oklahoma, etc., and we are dangerously close in doing this if someone doesn't come forward and say enough.

I am stepping forward, "ENOUGH!" Please deny this development until a better plan is available.

Thank you.

Della Langbauer

*3279 W. 53rd Avenue
Denver, CO 80221*

Hi Jennifer -

I hope all is well with you! I am writing to formally support the rezoning of 5317 Federal by Transom West Development. We are the neighboring property owner just to the north with addresses 5341 through 5399 Federal (under the name of Fed 53, LLC) under own ownership.

We believe that Transom West's project will not only provide much needed housing to that portion of the Federal Blvd corridor, but that their project will also positively activate an otherwise blighted site and improve the awkward access and infrastructure issues currently present there.

Many thanks in advance for your and the Commissioners consideration for their rezoning. And please advise if it would also be appropriate to email our support to the Commissioners themselves.

Wishing you a wonderful holiday season and I'm sure we'll see each other soon into 2019.

Best regards,

Andy

Andrew Feinstein

EXDO Management

3535 Larimer Street

Denver, CO 80205

(303) 297-8151 o

(303) 297-8175 f

(310) 266-7202 m

afeinstein@exdomanagement.com

@afeinst21

I'm responding to your "Request for Comments" and "Written Explanation of the Project".

It certainly will diversify housing here as there are currently no 3-story structures and none attached other than duplexes for which we are zoned. None of the "conceptual building imagery" even remotely resembles anything in our neighborhood. Perhaps you are referring to Denver County on the east side of Federal. I was unaware of the responsibility to develop "appropriately" for Regis University. The "40' buffer space" where residents of the development will "recreate and socialize" is right beside a single family home where a senior citizen resides. And, although I've lived in this neighborhood over 35 years, I was never aware of Adams County's "Comprehensive Plan" to turn our pleasant, old neighborhood of mostly single-family homes with some duplexes into a high-density, contemporary complex of tightly packed residents.

Most importantly, the only ingress/egress for all of the additional traffic from this project is through the neighborhood where it will involve circling the block to Grove Street, then to 54th Street to get back to Federal Blvd - where they are located in the first place. Or, traffic will have to use 53rd Avenue and drive all the way to Lowell Blvd. All of these streets are narrow, almost completely without curb, gutter or sidewalks, carry a large amount of pedestrian and bicycle traffic, and line-of-site is obscured by cars parked on both sides of the streets. Exiting the neighborhood from 53rd onto Lowell Blvd is hazardous due to speeding traffic and lack of traffic control especially during rush hour. Traffic backs up two blocks during rush hour on 54th Avenue while accessing Federal Blvd. There is a school at the intersection of 53rd Avenue & Lowell Blvd which increases congestion at 3:30 to 4:00 PM due to parents picking up children and parking along Lowell - also obscuring site and accessibility at Lowell.

I attended the public meeting held by Transom West on October 10th as did others in the neighborhood. There was not one person there in favor of this project. That was clear by the public comments made to the developers. But then, they are just developers; they don't have to live with the nightmare this will create for all of us who reside here. And, I might say the same for those of you within Adams County government who are supporting this. I believe that Adams County Planning & Development, Commissioners and those in Economic Development have a responsibility, first and foremost, to their citizens and tax payers already living here and to reasonable, safe and constructive improvements. This townhouse project will devalue all of the existing property in this area.

I am asking you to deny this development until a better plan is available.

Maggie King

February 22, 2019

Jennifer Woods
Adams County, Community and Economic Development
4430 S Adams County Pkwy
Brighton, CO 80601
VIA EMAIL: JWoods@adcogov.org

RE: Support of 5317 Federal Blvd Development Plan

Dear Ms. Woods,

This letter indicates Regis University support for the rezoning application for 5317 Federal Blvd, which would rezone the property from R-2 to R-3. A residential property at this location is a reasonable use for this currently vacant site, and is consistent with the long term vision of the County and Regis University. Changes in land uses, increased density and substantial private investment are necessary economic conditions to catalyze additional investment in the Federal Blvd corridor.

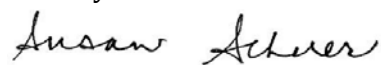
This project is consistent with Adams County's advance planning for the area including the Federal Blvd Framework Plan and the Urban Residential Development Plan. We are encouraged that the developers of this property are considering the pricing options for first time buyer home loan programs and a pricing structure that will allow the middle income families access to this neighborhood. It would provide additional housing options for faculty, staff and alumni who wish to remain in the area. The addition of more residential units should attract additional business and community amenities to this area.

This site has the potential to be friendly to multi-modal transit options. Given the location near two interstate highways and the safety concerns we have about pedestrian accessibility along this section of Federal Blvd, we also encourage further discussion about access to transit including individuals with limited mobility. We support a conscious effort to maintain wide sidewalks and setbacks for pedestrian safety and a consistent pedestrian design along Federal Blvd.

The changes that occur as a result of this new development are likely to seem drastic to existing neighbors. Our goals are to promote social interaction of the neighborhood communities including participation in Regis University art, athletic and cultural events. We encourage the developers and Adams County to work to create a vibrant and active neighborhood community inclusive of existing residents, in which Regis University will be a key partner.

Overall, we view this application a net gain for the community and creating opportunities for our organization, employees and students.

Thank you.



Susan Scherer | Director Community Relations

I am an resident of Adams county and I am very concerned by the amount of development in my area. I Live on Lilac Lane. My neighborhood has the Aria Apartment and town home development righ behind me. Since this development has gone in there has been an increase of traffic and petty thievery in the area. The traffic on 52nd avenue has at least doubled and there is another town home complex under construction at 52nd and Zuni. There are semi trucks using this street and 55th avenue to avoid the roundabout at I 70 and Pecos.

In my opinion none of these developments have adequate parking . I think that each unit should have at least 2 assigned parking spots for every unit and an adequate amount of visitor parking. Federal Boulevard is a very busy street and the intersections of 52nd and Federal Blvd and 54th and Federal Blvd are notorious for the number of accidents. Drivers are constantly making u turns at these intersections which is very dangerous and the cause of many accidents. Drivers on Federal tend to run the light at 54th and I personally have nearly been in a collision at this intersection numerous times.

Another town home project at 5317 Federal will exacerbate the traffic conditions on Federal and in my opinion is not in the best interest of the community.

A much better location would be at the intersection of 55th and Federal which would rid the neighborhood of the seedy adult club and the dangerous trailer park at this location.

Thank you in advance for considering my concerns.

Karen Dionisio
5211 Lilac Lane
Denver Co 80221



Request for Comments

Case Name: 5317 Federal Blvd. Rezoning

Case Number: RCU2018-00057

December 3, 2018

Adams County Planning Commission and Board of County Commissioners are requesting comments on the following:

Rezone from Residential-2 to Residential-3

This request is located at: 5317 Federal Blvd.
The Assessor's Parcel Numbers is: 0182517208044/ 0182517208045/ 0182517208046
Applicant Information: Transom West Development, LLC (Hampton
Barclay/Kevin Howard)
9776 Keenan St.
Highlands Ranch, CO 80130

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 by December 24, 2018 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e mail to jwoods@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Jennifer Woods, AICP
Case Manager

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Erik Hansen
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Mary Hodge
DISTRICT 5



Public Hearing Notification

Case Name:	5317 FEDERAL BLVD REZONE
Case Number:	RCU2018-00057
Planning Commission Hearing Date:	May 23, 2019 at 6:00 PM
Board of County Commissioners Hearing Date:	June 18, 2019 at 9:30 AM

April 29, 2019

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following request:

Rezone a property from R-2 to R-3 to allow the development and construction of new townhomes.

The proposed use will be

This request is located at 5317 FEDERAL BLVD.

The Assessor's Parcel Number(s) 0182517208044, 0182517208045, 0182517208046

Applicant Information: Transom West Development
HAMPTON BARCLAY
9776 KEENAN ST.
HIGHLANDS RANCH, CO 80130

The hearing will be held in the Adams County Hearing Room located at 4430 South Adams County Parkway, Brighton CO 80601-8216. This will be a public hearing and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. If you require any special accommodations (e.g., wheelchair accessibility, an interpreter for the hearing impaired, etc.) please contact the Adams County Community and Economic Development Department at (720) 523-6800 (or if this is a long distance call, please use the County's toll free telephone number at 1-800-824-7842) prior to the meeting date.

For further information regarding this case, please contact the Community and Economic Development Department, 4430 S Adams County Parkway, Brighton, CO 80601, 720-523-6800. This is also the location where maps and/or text certified by the Planning Commission may be viewed.

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Emma Pinter
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Mary Hodge
DISTRICT 5

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Holden Pederson

A handwritten signature in black ink, appearing to read 'Holden Pederson', written over the printed name.

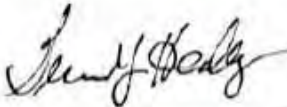
Planner I

Colorado Community Media
750 W. Hampden Ave., Suite 225
Englewood, CO 80110

AFFIDAVIT OF PUBLICATION

State of Colorado }
County of Adams } ss

This Affidavit of Publication for the Westminster Window, a weekly newspaper, printed and published for the County of Adams, State of Colorado, hereby certifies that the attached legal notice was published in said newspaper once in each week, for 1 successive week(s), the last of which publication was made on the 9th day of May A.D., 2019, and that copies of each number of said paper in which said Public Notice was published were delivered by carriers or transmitted by mail to each of the subscribers of said paper, according to their accustomed mode of business in this office.



For the Westminster Window

State of Colorado }
County of Arapahoe } ss

The above Affidavit and Certificate of Publication was subscribed and sworn to before by the abovenamed Gerard Healey, publisher of said newspaper, who is personally known to me to be the identical person in the above certificate on the 9th day of May A.D., 2019. Gerard Healey has verified to me that he has adopted an electronic signature to function as his signature on this document.

20134073610-145924

Lindsay L. Nicoletti
Notary Public
My commission ends February 22, 2022

LINDSAY L. NICOLETTI
Notary Public
State of Colorado
Notary ID # 20134073610
My Commission Expires 02-22-2022

Public Notice

PUBLICATION REQUEST
5317 FEDERAL BLVD REZONE

Case Number: RCU2018-00057

Planning Commission Hearing Date:
May 23, 2019 at 6:00 PM

Board of County Commissioners
Hearing Date: June 18, 2019 at 9:30 AM

Request: Rezone a property from R-2 to R-3 to allow the
development and construction of new townhomes.

Location: 5317 FEDERAL BLVD

Parcel Number: 0182517208044,
0182517208045, 0182517208046

Case Manager: Holden Pederson

Applicants: HAMPTON BARCLAY
2776 KEENAN ST.
HIGHLANDS RANCH, CO 80130

Owner: BIGGERSTAFF RONALD G
AND BIGGERSTAFF KATHRYN M
9740 W 82ND PL
ARVADA, CO 800052122

Legal Description: A PORTION OF PLOT 40 AND TRACT B,
BERKELEY GARDENS SUBDIVISION FILING NO.2, LOCATED IN THE
NORTHWEST QUARTER OF SECTION 17, TOWNSHIP 3 SOUTH,
RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF
DENVER, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE
PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE
NORTHEAST CORNER OF SAID PLOT 40, WHENCE THE SOUTHEAST
CORNER OF SAID TRACT B BEARS SOUTH 00-09'59" EAST A
DISTANCE OF 364.20 FEET SAID LINE FORMING THE BASIS OF
BEARING FOR THIS DESCRIPTION, THENCE SOUTH 00-09'59" EAST
ALONG THE EASTERLY LINE OF SAID PLOT 40 AND TRACT B,
BERKELEY GARDENS SUBDIVISION FILING NO. 2 A DISTANCE OF
364.20 FEET; THENCE ALONG THE ARC OF A CURVE TO THE LEFT,
HAVING A CENTRAL ANGLE OF 68.35-45", A RADIUS OF 792.10
FEET, AN ARC LENGTH OF 118.93 FEET AND A CHORD BEARING
NORTH 30-29' 48" WEST A DISTANCE OF 116.72 FEET TO A POINT
OF A NON TANGENT CURVE; THENCE ALONG THE ARC OF A CURVE
TO THE LEFT, HAVING A CENTRAL ANGLE OF 20-55'17", A RADIUS
OF 367.73 FEET, AN ARC LENGTH OF 134.38 FEET AND A CHORD
BEARING NORTH 48-19'09" WEST A DISTANCE OF 133.64 FEET;
THENCE NORTH 00-12'17" EAST A DISTANCE OF 175.01 FEET;
THENCE SOUTH 89-17'48" EAST A DISTANCE OF 160.50 FEET TO
THE POINT OF BEGINNING, CONTAINING 40,141 SQ.FT. 0.922
ACRES, MORE OR LESS.

Legal Notice No: 703874
First Publication: May 9, 2019
Last Publication: May 9, 2019
Publisher: Westminster Window
4

Adams County Development Services - Building
Attn: Justin Blair
4430 S Adams County Pkwy
Brighton CO 80601

Adams County Fire Protection District
Attn: Chris Wilder
8055 N. WASHINGTON ST.
DENVER CO 80229

BERKELEY NEIGHBORHOOD ASSOC.
Attn: GLORIA RUDDEN
4420 W 52ND PL.
DENVER CO 80212

BERKELEY WATER
Attn: Sharon Whitehair
4455 W 58TH AVE UNIT A
Arvada CO 80002

BERKELEY WATER & SAN DISTRICT
Attn: SHARON WHITEHAIR
4455 W 58TH AVE UNIT A
ARVADA CO 80002

CDOT Colorado Department of Transportation
Attn: Bradley Sheehan
2829 W. Howard Pl.
2nd Floor
Denver CO 80204

CDPHE
Attn: Sean Hackett
4300 S Cherry Creek Dr
Denver CO 80246

CDPHE
Attn: Sean Hackett
4300 S Cherry Creek Dr
Denver CO 80246

CDPHE
Attn: Sean Hackett
4300 S Cherry Creek Dr
Denver CO 80246

CDPHE - AIR QUALITY
Attn: Richard Coffin
4300 CHERRY CREEK DRIVE SOUTH
DENVER CO 80246-1530

CDPHE - WATER QUALITY PROTECTION SECT
Attn: Patrick Pfaltzgraff
4300 CHERRY CREEK DRIVE SOUTH
WQCD-B2
DENVER CO 80246-1530

CDPHE SOLID WASTE UNIT
Attn: Andy Todd
4300 CHERRY CREEK DR SOUTH
HMWMD-CP-B2
DENVER CO 80246-1530

Century Link, Inc
Attn: Brandyn Wiedreich
5325 Zuni St, Rm 728
Denver CO 80221

Code Compliance Supervisor
Attn: Eric Guenther
eguenther@adcogov.org

COLORADO DEPT OF TRANSPORTATION
Attn: Steve Loeffler
2000 S. Holly St.
Region 1
Denver CO 80222

COLORADO DIVISION OF WILDLIFE
Attn: Eliza Hunholz
Northeast Regional Engineer
6060 BROADWAY
DENVER CO 80216-1000

COLORADO DIVISION OF WILDLIFE
Attn: Serena Rocksund
6060 BROADWAY
DENVER CO 80216

COMCAST
Attn: JOE LOWE
8490 N UMITILLA ST
FEDERAL HEIGHTS CO 80260

COUNTY ATTORNEY- Email
Attn: Christine Fitch
CFitch@adcogov.org

Engineering Department - ROW
Attn: Transportation Department
PWE - ROW

Engineering Division
Attn: Transportation Department
PWE

TRI-COUNTY HEALTH DEPARTMENT
Attn: MONTE DEATRICH
4201 E. 72ND AVENUE SUITE D
COMMERCE CITY CO 80022

ENVIRONMENTAL ANALYST
Attn: Jen Rutter
PLN

Tri-County Health: Mail CHECK to Sheila Lynch
Attn: Tri-County Health
landuse@tchd.org

Hyland Hills Park & Recreation District
Attn: Terry Barnhart
8801 Pecos St
Denver CO 80260

WESTMINSTER SCHOOL DISTRICT #50
Attn: Jackie Peterson
7002 Raleigh Street
WESTMINSTER CO 80030

METRO WASTEWATER RECLAMATION
Attn: CRAIG SIMMONDS
6450 YORK ST.
DENVER CO 80229

Xcel Energy
Attn: Donna George
1123 W 3rd Ave
DENVER CO 80223

NS - Code Compliance
Attn: Kerry Gress
kgress@adcogov.org

Xcel Energy
Attn: Donna George
1123 W 3rd Ave
DENVER CO 80223

Parks and Open Space Department
Attn: Nathan Mosley
mpedrucci@adcogov.org
aclark@adcogov.org

REGIONAL TRANSPORTATION DIST.
Attn: CHRIS QUINN
1560 BROADWAY SUITE 700
DENVER CO 80202

SHERIFF'S OFFICE: SO-HQ
Attn: MICHAEL McINTOSH
nblair@adcogov.org, aoverton@adcogov.org; mkaiser@adcog
snielson@adcogov.org

Sheriff's Office: SO-SUB
Attn: SCOTT MILLER
TFuller@adcogov.org, smiller@adcogov.org
aoverton@adcogov.org; mkaiser@adcogov.org

TRI-COUNTY HEALTH DEPARTMENT
Attn: Sheila Lynch
6162 S WILLOW DR, SUITE 100
GREENWOOD VILLAGE CO 80111

BIGGERSTAFF RONALD G AND
BIGGERSTAFF KATHRYN M
9740 W 82ND PL
ARVADA CO 80005-2122

LOWELL REAL ESTATE LLC
3333 REGIS BLVD
DENVER CO 80221

BUSCARELLO DANIEL
2871 COLUMBINE RD
DENVER CO 80221-1281

PALMQUIST JO
6218 W 80TH PL
ARVADA CO 80003-1701

CANNON LAWRENCE D AND
CANNON VIRGINIA A
13161 SAINT PAUL DR
DENVER CO 80241-2124

REGIS UNIVERSITY
3333 REGIS BLVD MAIL CODE A 20
DENVER CO 80221-1099

CASE DIANE AND
FRANKMORE BILL
7059 RUSSELL CT
ARVADA CO 80007-7680

REGIS UNIVERSITY
3333 REGIS BLVD NO. B-4
DENVER CO 80221

EASAL PROPERTIES LLC
3278 S WADSWORTH BLVD STE 1-137
LAKEWOOD CO 80227-5028

REGIS UNIVERSITY
3333 REGIS BLVD
DENVER CO 80221

FED53 LLC
3535 LARIMER ST
DENVER CO 80205-2421

REGIS UNIVERSITY
3333 REGIS BLVD MAIL CODE A-20
DENVER CO 80221

FUKUI BRAD
7415 S ALKIRE ST APT 202
LITTLETON CO 80127-3276

TILEY INVESTMENTS LLC
5399 FEDERAL BLVD
DENVER CO 80221-6537

HOLLOWAY GLENN
5370 GROVE ST
DENVER CO 80221-6544

ARRIETA ESTHER E
OR CURRENT RESIDENT
2891 COLUMBINE RD
DENVER CO 80221-1281

LOWELL REAL ESTATE LLC
ATTN GENERAL COUNSEL
3333 REGIS BLVD MAIN HALL 137F
DENVER CO 80221-1154

BELEGRATIS TASOS
OR CURRENT RESIDENT
3145 W 53RD AVE
DENVER CO 80221-6565

LOWELL REAL ESTATE LLC
3333 REGIS BLVD A-20
DENVER CO 80221-1099

BROCK GRACE C
OR CURRENT RESIDENT
5256 GROVE STREET
DENVER CO 80221

CHAVES JEREMY J
OR CURRENT RESIDENT
5266 GROVE ST
DENVER CO 80221-6513

RICHARDSON MARGARET E
OR CURRENT RESIDENT
3031 W 53RD AVE
DENVER CO 80221-6563

DECHANT ZACHEUS R
OR CURRENT RESIDENT
2901 COLUMBINE RD
DENVER CO 80221-1260

ROBERTSON NATHA J AND
CASE JASON J
OR CURRENT RESIDENT
3120 W 53RD AVE
DENVER CO 80221-6564

ELIO JAMES M
OR CURRENT RESIDENT
3140 W 53RD AVE
DENVER CO 80221-6564

SWANBERG LOREN L
OR CURRENT RESIDENT
3050 W 54TH AVE
DENVER CO 80221-6502

FEY JERI C AND
FEY MARTIN C
OR CURRENT RESIDENT
3070 W 53RD AVE
DENVER CO 80221-6562

SWANSON LEE W AND
SWANSON BARBARA K
OR CURRENT RESIDENT
3072 W 53RD AVE
DENVER CO 80221-6562

GERK GEORGE EUGENE LIVING TRUST
OR CURRENT RESIDENT
5320 GROVE ST
DENVER CO 80221-6544

TARANGO BARBARA L AND
TARANGO RAMON
OR CURRENT RESIDENT
3033 W 53RD AVE
DENVER CO 80221

HOLLOWAY GLENN
OR CURRENT RESIDENT
5350 GROVE ST
DENVER CO 80221

TILEY INVESTMENTS LLC
OR CURRENT RESIDENT
5399 FEDERAL BLVD
DENVER CO 80221-6537

HOLLOWAY GLENN R
OR CURRENT RESIDENT
5370 GROVE ST
DENVER CO 80221-6544

TURNBULL ROBERT W
OR CURRENT RESIDENT
5220 REGIS RD
DENVER CO 80221-6538

KING MAYNARD E AND
MC GAW-KING MARGARET
OR CURRENT RESIDENT
3082 W 53RD AVE
DENVER CO 80221-6562

CURRENT RESIDENT
5350 FEDERAL BLVD
DENVER CO 80221-1143

MONKMAN TIMOTHY
OR CURRENT RESIDENT
3085 W 53RD AVE
DENVER CO 80221-6563

CURRENT RESIDENT
5380 FEDERAL BLVD
DENVER CO 80221-1143

PATTON JACQUELINE DIANE
OR CURRENT RESIDENT
5330 GROVE STREET
DENVER CO 80221

CURRENT RESIDENT
2955 COLUMBINE RD
DENVER CO 80221-1260

CURRENT RESIDENT
5203 FEDERAL BLVD
DENVER CO 80221-6511

CURRENT RESIDENT
5261 GROVE ST
WESTMINSTER CO 80221-6512

CURRENT RESIDENT
5240 GROVE ST
WESTMINSTER CO 80221-6513

CURRENT RESIDENT
5241 REGIS RD
DENVER CO 80221-6536

CURRENT RESIDENT
5335 FEDERAL BLVD
DENVER CO 80221-6537

CURRENT RESIDENT
5377 FEDERAL BLVD
DENVER CO 80221-6537

CURRENT RESIDENT
5380 GROVE ST
WESTMINSTER CO 80221-6544

CURRENT RESIDENT
3243 W 52ND PL
DENVER CO 80221-6552

CURRENT RESIDENT
3050 W 53RD AVE
DENVER CO 80221-6562

CURRENT RESIDENT
3075 W 53RD AVE
DENVER CO 80221-6563

CERTIFICATE OF POSTING



I, **Holden Pederson**, do hereby certify that I had the property posted at

5317 Federal Boulevard

on **May 13, 2019**

in accordance with the requirements of the Adams County Zoning Regulations

A handwritten signature in black ink, appearing to read "Holden Pederson", written in a cursive style.

Holden Pederson

CERTIFICATE OF POSTING



I, **Holden Pederson**, do hereby certify that I had the property posted at

5317 Federal Boulevard

on **June 3, 2019**

in accordance with the requirements of the Adams County Zoning Regulations

A handwritten signature in black ink, appearing to read 'Holden Pederson'.

Holden Pederson

CERTIFICATE OF POSTING



I, **Holden Pederson**, do hereby certify that I had the property posted at

5317 Federal Boulevard

on **June 3, 2019**

in accordance with the requirements of the Adams County Zoning Regulations

A handwritten signature in black ink, appearing to read 'Holden Pederson'.

Holden Pederson

5317 Federal Blvd Rezone

RCU2018-00057

5317 Federal Boulevard

June 18, 2019

Board of County Commissioners Public Hearing
Community and Economic Development Department

Case Manager: Holden Pederson

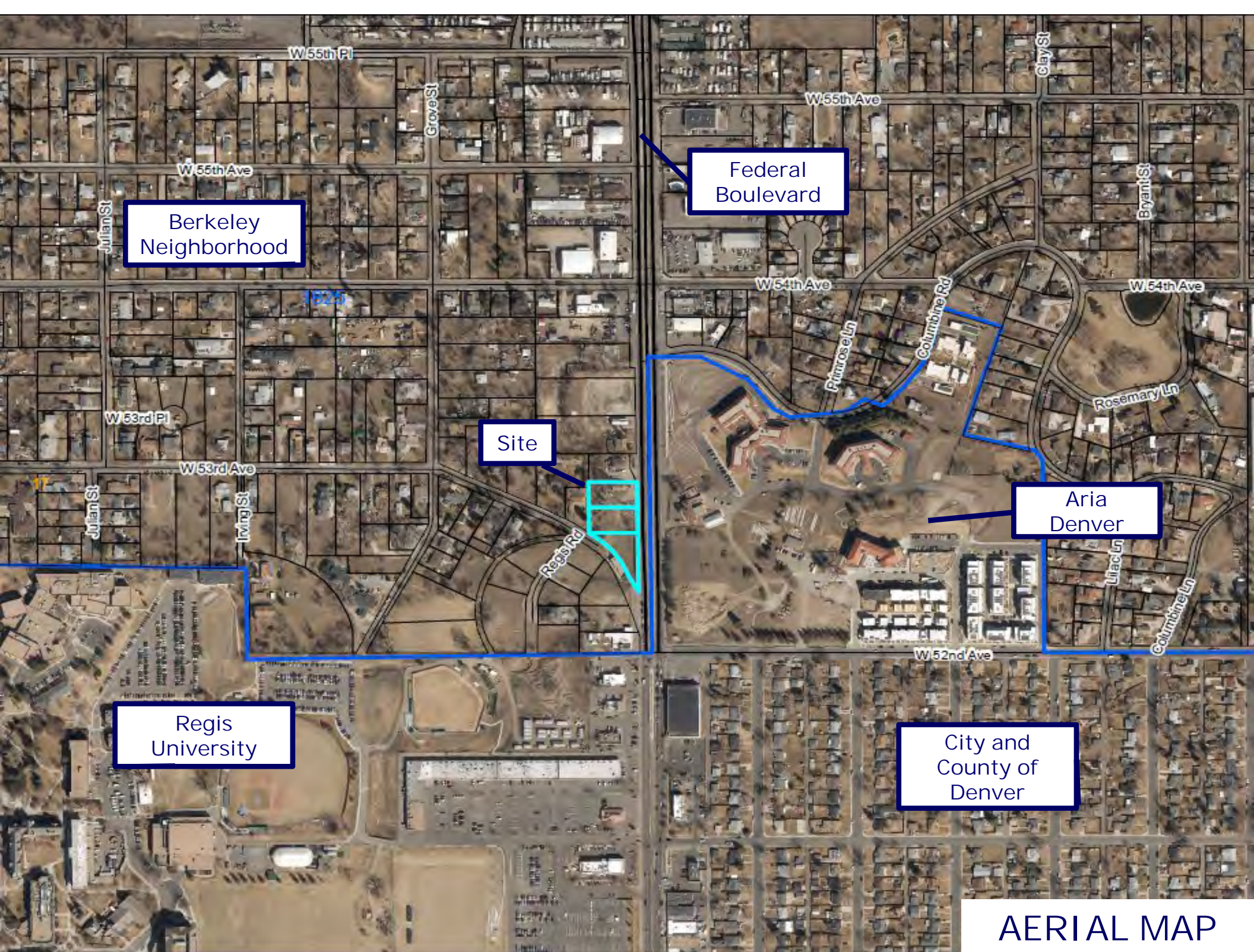


Request

Rezoning:

- Current Zoning: Residential-2 (R-2)
- Proposed Zoning: Residential-3 (R-3)





AERIAL MAP

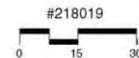
Conceptual Site Plan



Concept Plan

53RD & FEDERAL TOWNHOMES

Adams County, CO



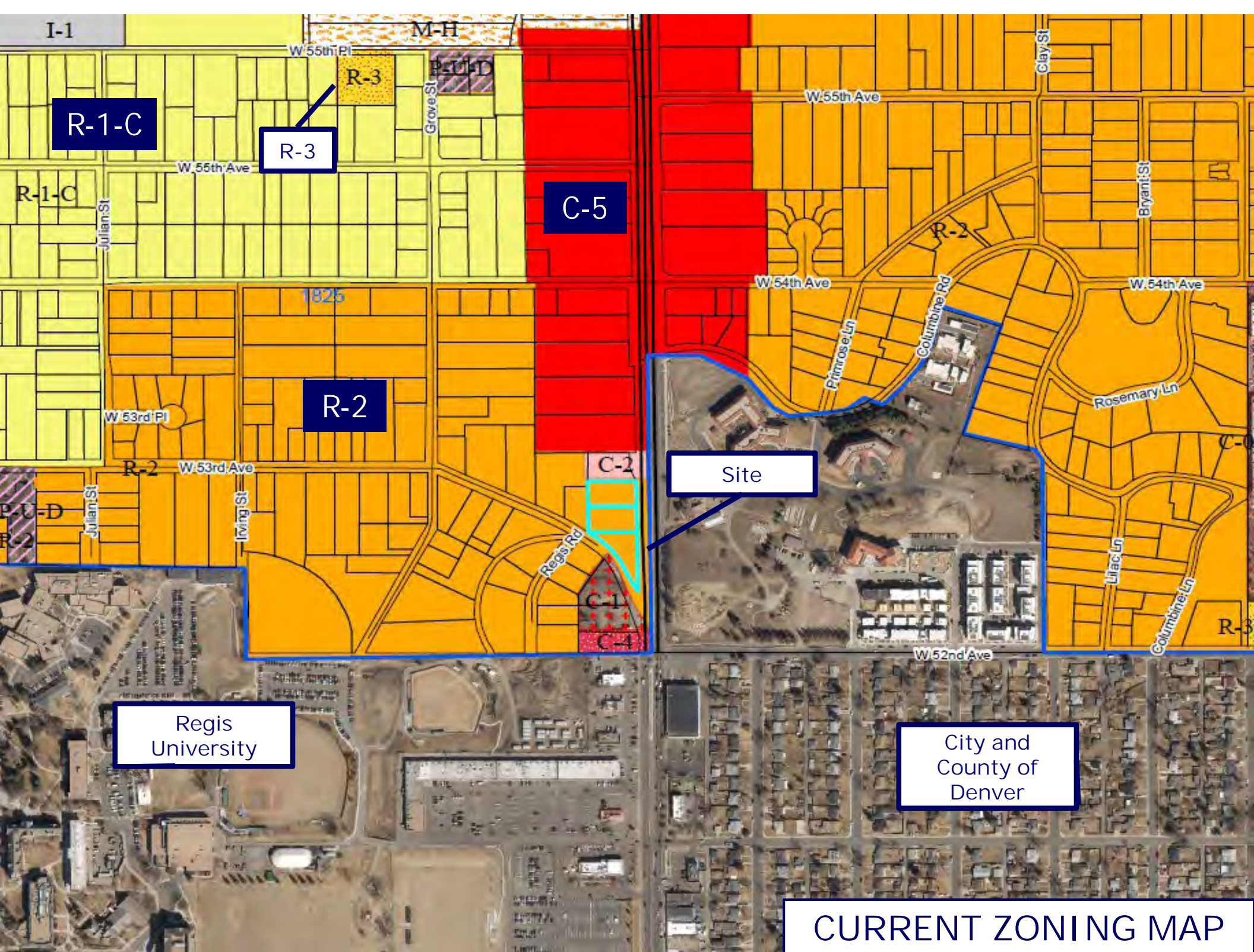
03.08.2019

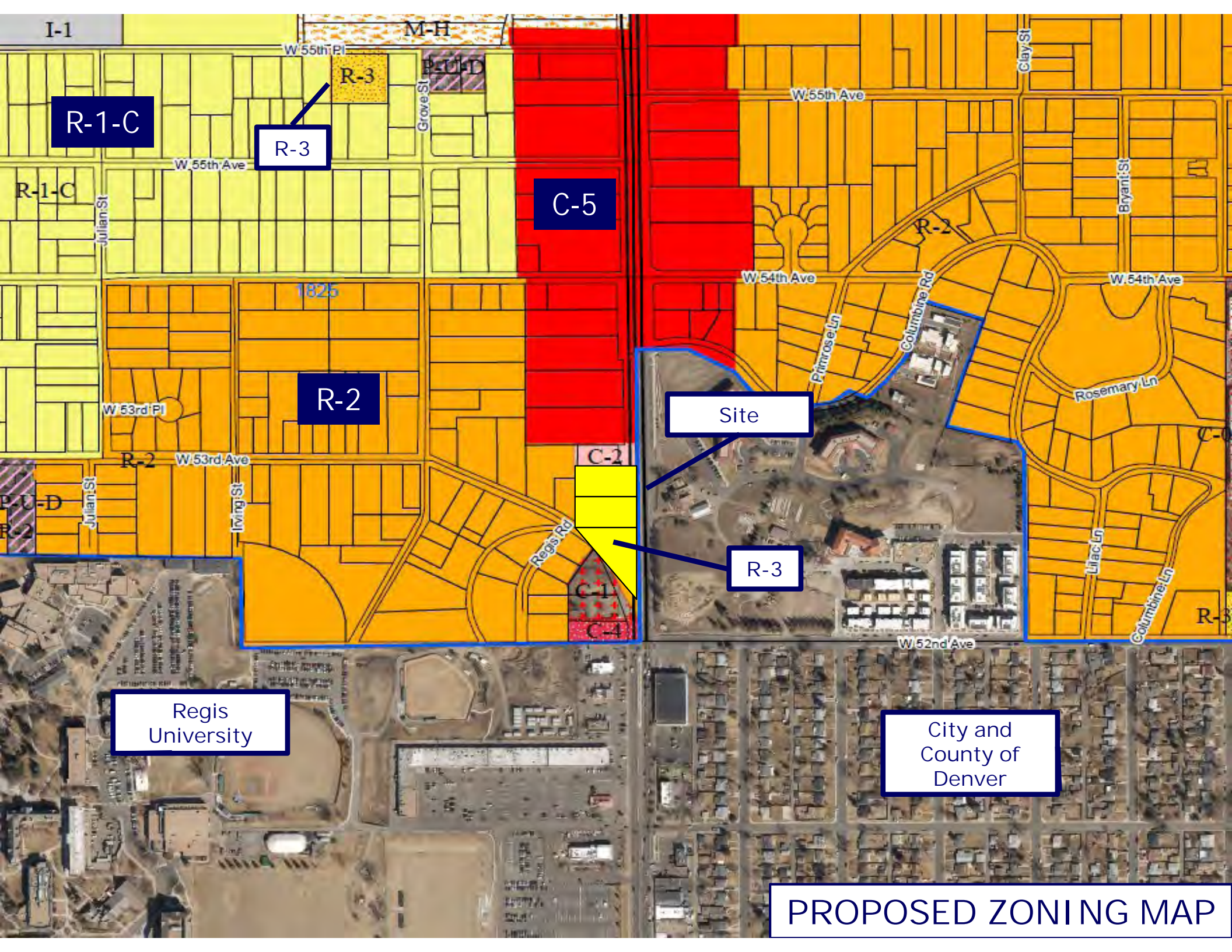


Criteria for Rezoning Approval

Section 2-02-13-06-02

1. Consistent with Comprehensive Plan
2. Consistent with Development Standards
3. Complies to Development Standards
4. Harmonious & Compatible





R-1-C

R-3

C-5

R-2

Site

R-3

Regis University

City and County of Denver

PROPOSED ZONING MAP

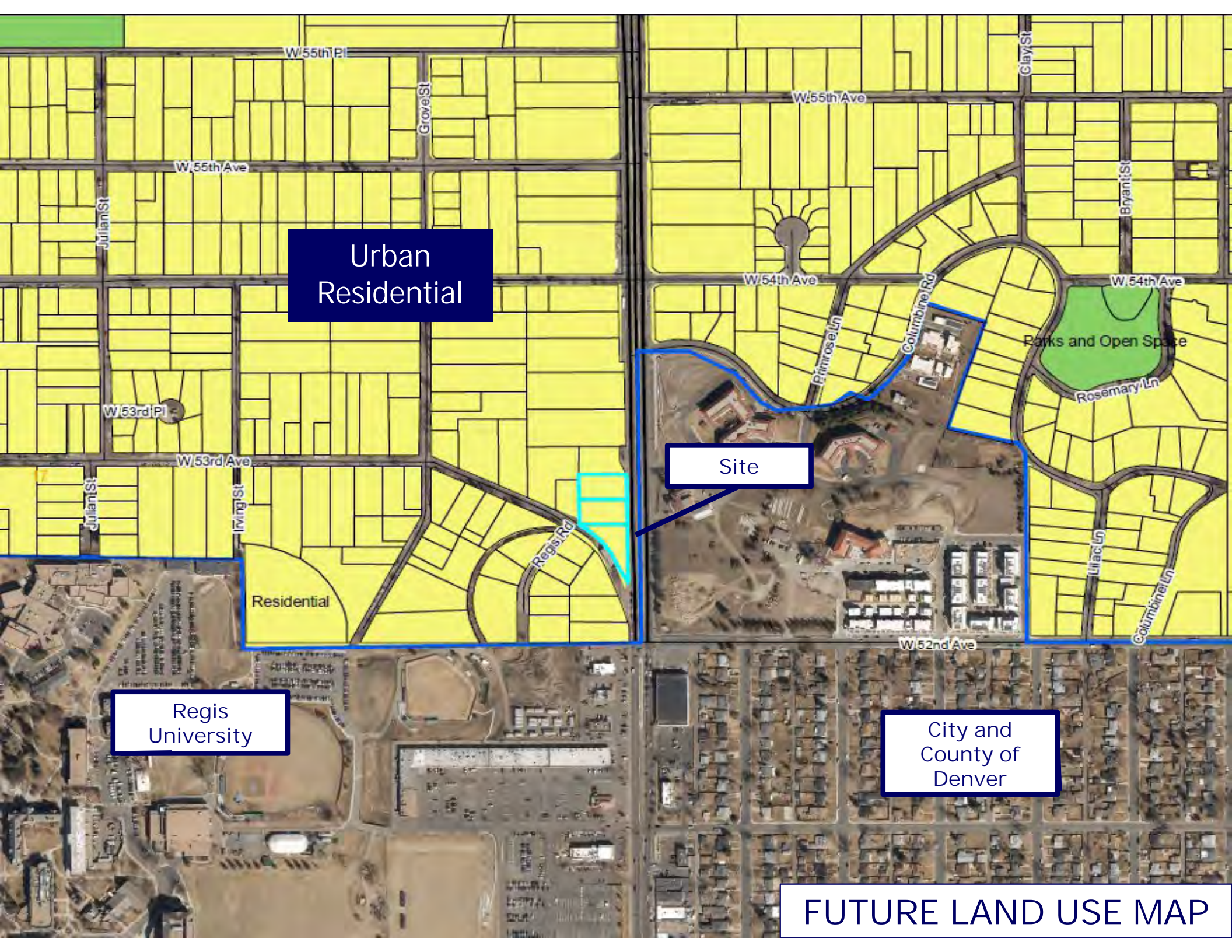
R-3 vs. R-2 Zoning

Potential New Uses:

- Single-family attached residences (townhomes)
- Density of 14 dwelling units per acre.
- Maximum height permitted: 35 feet.

Current Uses:

- Single-family homes and two-family dwellings (duplexes).
- Maximum height permitted: 25 feet.



Urban
Residential

Site

Residential

Parks and Open Space

Regis
University

City and
County of
Denver

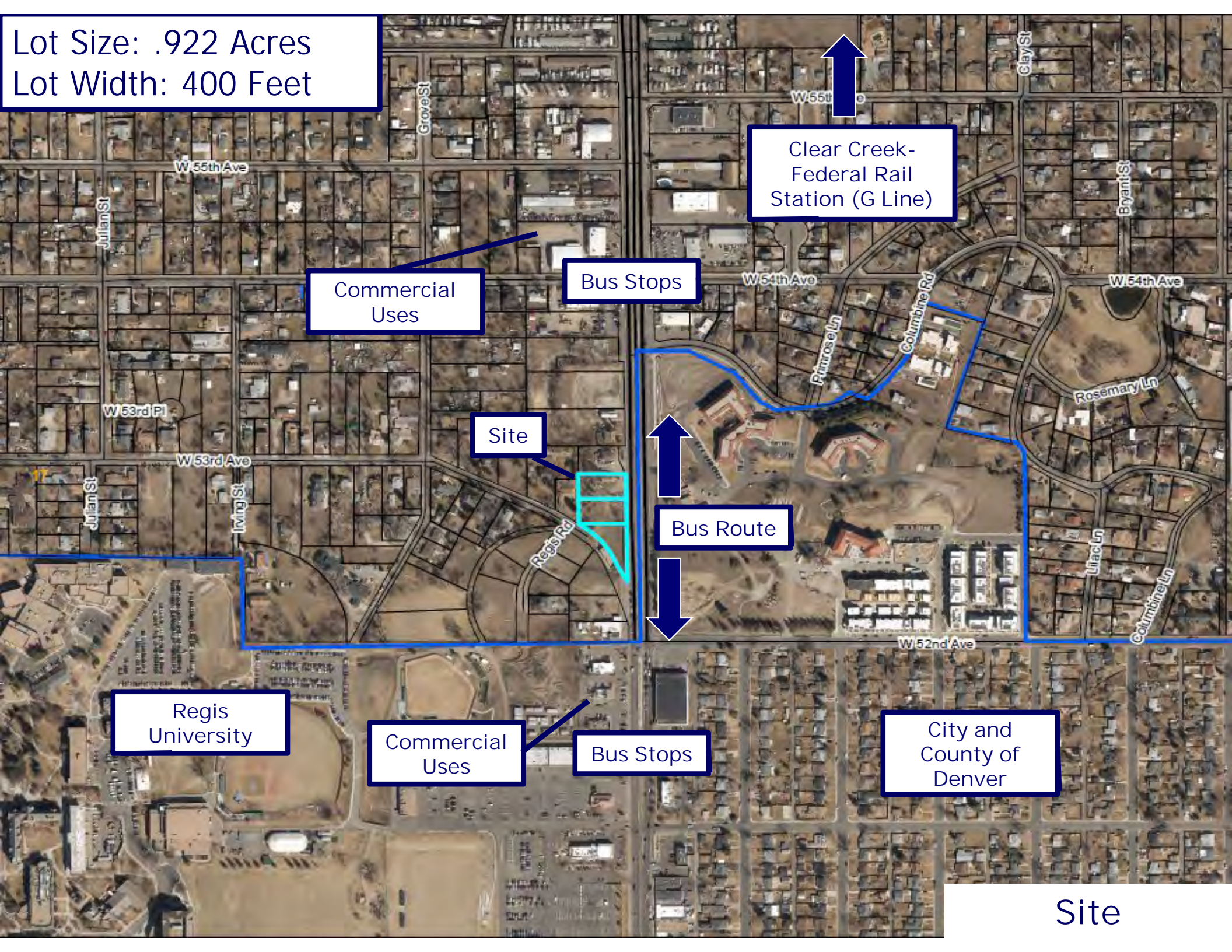
FUTURE LAND USE MAP

Urban Residential

Designated for single and multiple family housing:

- Variety of housing types
- Adequate urban services
- Transportation facilities
- Supporting neighborhood commercial uses

Lot Size: .922 Acres
Lot Width: 400 Feet



Commercial
Uses

Bus Stops

Site

Clear Creek-
Federal Rail
Station (G Line)

Bus Route

Regis
University

Commercial
Uses

Bus Stops

City and
County of
Denver

Site

Additional Long Range Plans

- Balanced Housing Plan
- Berkeley Neighborhood Plan
- Southwest Area Plan
- Federal Boulevard Framework Plan









Referral Period

Notices sent*	# of Comments Received
50	11

* Property owners and occupants within 600 feet were notified

Opposition:

- High density
- Access
- Infrastructure
- Noise, crime, property values
- Site layout, design, architecture

Support:

- Variety of housing options
- Blighted site
- Access/infrastructure
- Investment along Federal Blvd
- Support multi-modal transit

Referral Agencies:

- CDOT, TCHD, XCEL, Berkeley W&S District, Denver Water
- No opposition or concerns

Planning Commission Update

Public Hearing: May 23, 2019

Many members of the public testified. Issues raised included:

- Compatibility with existing neighborhood
- Existing infrastructure
- Access

PC Recommendation

The following request is consistent with the following
Criteria for Rezoning Approval:

- Comprehensive Plan
- Development Standards
- Surrounding Area

Approval of the proposed Rezone with 4 Findings-of-Fact. (4-2 decision)

(RCU2019-00057 – 5317 Federal Blvd Rezone)

Recommended Findings-of-Fact

1. The Zoning Map amendment is consistent with the Adams County Comprehensive Plan.
2. The Zoning Map amendment is consistent with the purposes of these standards and regulations.
3. The Zoning Map amendment will comply with the requirements of these standards and regulations
4. The Zoning Map amendment is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.

