

Board of County Commissioners

Eva J. Henry - District #1 Charles "Chaz" Tedesco - District #2 Emma Pinter - District #3 Steve O'Dorisio - District #4 Mary Hodge - District #5

PUBLIC HEARING AGENDA

NOTICE TO READERS: The Board of County Commissioners' meeting packets are prepared several days prior to the meeting. This information is reviewed and studied by the Board members to gain a basic understanding, thus eliminating lengthy discussions. Timely action and short discussion on agenda items does not reflect a lack of thought or analysis on the Board's part. An informational packet is available for public inspection in the Board's Office one day prior to the meeting.

THIS AGENDA IS SUBJECT TO CHANGE

Tuesday April 9, 2019 9:30 AM

1. ROLL CALL

2. PLEDGE OF ALLEGIANCE

3. MOTION TO APPROVE AGENDA

4. AWARDS AND PRESENTATIONS

- A. Proclamation of April 7-13, 2019 as National Crime Victims' Rights Week
- **B.** Proclamation of April 2019 as Sexual Assault Awareness Month

5. PUBLIC COMMENT

A. Citizen Communication

A total of 30 minutes is allocated at this time for public comment and each speaker will be limited to 3 minutes. If there are additional requests from the public to address the Board, time will be allocated at the end of the meeting to complete public comment. The chair requests that there be no public comment on issues for which a prior public hearing has been held before this Board.

B. Elected Officials' Communication

6. CONSENT CALENDAR

А.	List of Expenditures Under the Dates of March 25-29, 2019
В.	Minutes of the Commissioners' Proceedings from April 2, 2019

С.	Resolution Approving a Memorandum of Understanding between Buckly Air Force Base 460th Space Wing and the Adams County Human Services Department (File approved by ELT)
D.	Resolution Approving an Easement from Adams County to Berkeley Water and Sanitation District for Sanitary Sewer Pipeline Purposes (File approved by ELT)
Ε.	Resolution Approving Abatement Petitions and Authorizing the Refund of Taxes for Account Numbers R0006955, R0189801, R0152721, P0033562, P0033244, P0036419 and P0036861 (File approved by ELT)
F.	Resolution Appointing George Maxey to the Community Services Block Grant Advisory Council as a Low Income Sector Representative (File approved by ELT)

7. NEW BUSINESS

A. COUNTY MANAGER

1.

Resolution Approving a Purchase Order between Adams County and Accela, Inc., for Annual Software Maintenance and Support Services (File approved by ELT)

B. COUNTY ATTORNEY

8. LAND USE HEARINGS

A. Cases to be Heard

1.

PRC2018-00002 Pomponio Filing No. 3 and 4 Final Development Plan, Plat and SIA (File approved by ELT)

9. ADJOURNMENT

AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE

Whereas, Americans are the victims of more than 20 million crimes each year, and crime can touch the lives of anyone regardless of age, national origin, race, creed, religion, gender, sexual orientation, immigration, or economic status; and

Whereas, many victims face challenges in finding appropriate services, including victims with disabilities, young victims of color, Deaf and hard of hearing victims, LGBTQ victims, tribal victims, elder victims, victims with mental illness, immigrant victims, teen victims, victims with limited English proficiency, and others; and

Whereas, too many communities feel disconnected from the justice and social response systems, and have lost trust in the ability of those systems to recognize them and respond to their needs; and

Whereas, victims of repeat victimization who fail to receive supportive services are at greater risk for long-term consequences of crime; and

Whereas, intervening early with services that support and empower victims provides a pathway to recovery from crime and abuse; and

Whereas, the victim services community in Adams County has worked for decades to create an environment for victims that is safe, supportive, and effective; and

Whereas, honoring the rights of victims, including the right to be heard and to be treated with fairness, dignity, and respect, and working to meet their needs rebuilds their trust in the criminal justice and social service systems; and

Whereas, serving victims and rebuilding their trust restores hope to victims and survivors, as well as their communities; and

Whereas, National Crime Victims' Rights Week, April 7-13, 2019 is an opportune time to commit to ensuring that all victims of crime—even those who are challenging to reach or serve—are offered culturally and linguistically accessible and appropriate services in the aftermath of crime.

Row Therefore Be It Resolved, that the Board of County Commissioners, County of Adams, State of Colorado, the District Attorney for the Seventeenth Judicial District, and the Sheriff of Adams County are hereby dedicated to serving victims, building trust, and restoring hope for justice and healing.

We It further Resolued, that these public officials stand united in their commitment to creating a victim service and criminal justice response that assists all victims of crime during National Crime Victims' Rights Week and throughout the year and express their sincere gratitude and appreciation for those community members, victim service providers, and criminal justice professionals who are committed to improving Adams County's response to all victims of crime so that they may find relevant assistance, support, justice, and peace.

In witness whereof, we have set our hands and caused the seal of the county to be affixed April 9, 2019.

Proclamation

"Sexual Assault Awareness Month"

April 2019

Whereas, April is Sexual Assault Awareness Month and calls attention to the fact that sexual violence is widespread by impacting 1 in 4 women and 1 in 7 men in Colorado; and

Whereas, rape, sexual assault, and sexual harassment impacts citizens of Adams County, regardless of age, race or gender; and

Whereas, victims of sexual assault are significantly more likely to suffer from depression, post-traumatic stress disorder, chemical dependencies, and even contemplate suicide; and

Whereas, this crime occurs far too frequently, goes unreported far too often, and leaves long lasting physical and emotional scars; and

Whereas, as a community, we share the responsibility for supporting victims by believing friends, family and co-workers when it does occur, and bringing perpetrators to justice, whatever justice means to those who are victimized; and

Whereas, we must work together to educate the Adams County community about sexual violence, supporting survivors and speaking out against harmful attitudes and actions impeding victims from seeking services; and

Whereas, prevention is possible when the entire community is involved. The first step is increasing awareness through education, supporting and believing victims. It's time for all of us to take action against ending sexual assault.

Row, Therefore, Be It Resolved, that the Adams County Board of Commissioners does hereby proclaim the month of April 2019 as

Sexual Assault Awareness Month

We, the undersigned, are taking action as leaders in our community in creating an environment in which sexual assault is unacceptable and survivors are supported. We join criminal justice agencies, victim advocates and community service providers across Adams County in taking action to prevent sexual violence each day of the year and create change for the future.

Net Warrant by Fund Summary

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Fund	Fund	
Number	Description	Amount
1	General Fund	844,455.85
5	Golf Course Enterprise Fund	35,608.41
6	Equipment Service Fund	32,107.12
19	Insurance Fund	199,523.33
25	Waste Management Fund	19,644.95
27	Open Space Projects Fund	18,502.72
28	Open Space Sales Tax Fund	20,096.87
30	Community Dev Block Grant Fund	7,690.00
31	Head Start Fund	332.40
50	FLATROCK Facility Fund	1,512.00
		1,179,473.65

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General Fund

County of Adams

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Warrant	Supplier No	Supplier Name	Warrant Date	Amount
00005229	37193	CINA & CINA FORENSIC CONSULTIN	03/26/19	24,000.00
00005230	93290	STOEFFLER REBECCA E	03/26/19	1,215.00
00005232	491215	CORRECT CARE SOLUTIONS LLC	03/27/19	397,854.42
00735457	383698	ALLIED UNIVERSAL SECURITY SERV	03/25/19	5,853.94
00735458	5991	ALMOST HOME INC	03/25/19	1,000.00
00735459	12012	ALSCO AMERICAN INDUSTRIAL	03/25/19	78.46
00735460	831858	CARDENAS SOLEDAD	03/25/19	1,800.00
00735461	327250	CINTAS CORPORATION NO 2	03/25/19	159.58
00735462	105110	CULLIGAN	03/25/19	168.00
00735464	176327	PITNEY BOWES	03/25/19	1,152.54
00735465	13538	SHRED IT USA LLC	03/25/19	30.00
00735466	13822	XCEL ENERGY	03/25/19	69.08
00735467	13822	XCEL ENERGY	03/25/19	6.76
00735468	13822	XCEL ENERGY	03/25/19	197.06
00735469	13822	XCEL ENERGY	03/25/19	38.39
00735470	37575	ADAMS / BROOMFIELD BAR ASSN	03/26/19	240.00

00755150	5771		03/23/17	1,000.00
00735459	12012	ALSCO AMERICAN INDUSTRIAL	03/25/19	78.46
00735460	831858	CARDENAS SOLEDAD	03/25/19	1,800.00
00735461	327250	CINTAS CORPORATION NO 2	03/25/19	159.58
00735462	105110	CULLIGAN	03/25/19	168.00
00735464	176327	PITNEY BOWES	03/25/19	1,152.54
00735465	13538	SHRED IT USA LLC	03/25/19	30.00
00735466	13822	XCEL ENERGY	03/25/19	69.08
00735467	13822	XCEL ENERGY	03/25/19	6.76
00735468	13822	XCEL ENERGY	03/25/19	197.06
00735469	13822	XCEL ENERGY	03/25/19	38.39
00735470	37575	ADAMS / BROOMFIELD BAR ASSN	03/26/19	240.00
00735471	671987	ADVANTAGE HOOD WORKS LLC	03/26/19	1,900.00
00735472	383698	ALLIED UNIVERSAL SECURITY SERV	03/26/19	1,667.70
00735473	5407	COLO DEPT OF LABOR & EMPLOYME	03/26/19	280.00
00735474	5602	COLO DEPT OF LABOR & EMPLOYMEN	03/26/19	60.00
00735476	776350	DENVER CONCRETE COMPANY INC	03/26/19	2,700.00
00735477	315529	DENVER COUNTY SHERIFF	03/26/19	38.30
00735478	370160	EIDE BAILLY LLP	03/26/19	9,655.00
00735479	116633	GOVERNMENTJOBS.COM INC	03/26/19	21,746.52
00735481	33278	HURDELBRINK JULIA	03/26/19	117.00
00735482	535598	JACHIMIAK PETERSON LLC	03/26/19	944.09
00735483	678026	JUAREZ SANCHEZ DIANA	03/26/19	125.74
00735484	536256	KIMMEL KENZIE NICOLE	03/26/19	285.20
00735485	422240	MANN LACEY	03/26/19	197.62
00735486	797973	MARKET STREET MANAGEMENT LLC	03/26/19	14,276.55
00735487	13591	MWI VETERINARY SUPPLY CO	03/26/19	1,942.65
00735488	554935	OCV LLC	03/26/19	9,995.00
00735489	486185	OPEN JUSTICE BROKER CONSORTIUM	03/26/19	1,680.00
00735490	669732	PATTERSON VETERINARY SUPPLY IN	03/26/19	336.05
00735491	725956	PRUDENTIAL OVERALL SUPPLY	03/26/19	43.48
00735492	837076	PSYCHOLOGICAL DIMENSIONS	03/26/19	4,600.00

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			Net Wallants by I and Detail		
1	General Fun	d			
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00735493	837072	SCHERER JEREE	03/26/19	17.00
	00735494	227044	SOUTHWESTERN PAINTING	03/26/19	10,913.00
	00735495	66264	SYSTEMS GROUP	03/26/19	500.00
	00735496	544338	WESTAR REAL PROPERTY SERVICES	03/26/19	12,027.25
	00735497	7117	WORLD CONNECTIONS TRAVEL	03/26/19	2,201.50
	00735498	433987	ADCO DISTRICT ATTORNEY'S OFFIC	03/27/19	783.51
	00735499	1582	ALLEN DITCH CO	03/27/19	1,260.00
	00735501	490804	BRIGHTON CITY OF	03/27/19	71.00
	00735502	48790	BROOMFIELD CITY AND COUNTY	03/27/19	352.81
	00735505	37266	CENTURY LINK	03/27/19	12.58
	00735506	241207	CLIFTONLARSONALLEN LLP	03/27/19	10,000.00
	00735507	2157	COLO OCCUPATIONAL MEDICINE PHY	03/27/19	369.00
	00735509	48089	COMCAST BUSINESS	03/27/19	2,164.91
	00735510	13299	CSU UNIVERSITY RESOURCE CTR	03/27/19	240.00
	00735511	834870	CUB SCOUTS PACK 471	03/27/19	200.00
	00735512	58895	DIRSEC	03/27/19	8,321.50
	00735513	17876	FARMERS HIGH LINE CANAL & RESE	03/27/19	1,451.25
	00735514	834853	GETHSEMANE LUTHERAN SCHOOL	03/27/19	400.00
	00735515	626700	GLADER JONATHAN D	03/27/19	41.44
	00735516	834871	GONZALES DORLA	03/27/19	225.00
	00735517	438625	GOVERNOR'S OFFICE OF IT	03/27/19	2,237.22
	00735518	89118	HALLIBURTON ENERGY	03/27/19	500.00
	00735519	834860	HASHEM AMINA	03/27/19	75.00
	00735520	14991	HELTON & WILLIAMSEN PC	03/27/19	304.50
	00735521	629063	HOYA FOUNDATION	03/27/19	12,000.00
	00735522	32276	INSIGHT PUBLIC SECTOR	03/27/19	23,530.02
	00735523	834849	KUKHAR MARK	03/27/19	400.00
	00735525	785296	LUEVANO SAUCEDO ANPARITO	03/27/19	18.23
	00735526	62353	MAIER LORI C	03/27/19	202.50
	00735527	296589	MARTIN MARIETTA ROCKY MOUNTAIN	03/27/19	400.00
	00735528	834825	MEDINA MELANIE	03/27/19	150.00
	00735529	13688	METRONORTH CHAMBER OF COMMERCE	03/27/19	190,000.00
	00735530	837975	MULBERRY JONI	03/27/19	74.46
	00735531	838044	NET TRANSCRIPTS INC	03/27/19	541.28
	00735532	837978	NIAZOV YULIANA	03/27/19	29.74
	00735533	20458	NORTHSIDE EMERGENCY PET CLINIC	03/27/19	81.00

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1	General Fun	d			
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00735534	95382	OMNI INSTITUTE	03/27/19	1,000.00
	00735535	429656	OPEX CORPORATION	03/27/19	535.60
	00735536	834831	PETERSEN BRAD	03/27/19	500.00
	00735539	834817	SANCHEZ LYRIS	03/27/19	225.00
	00735540	564443	SHIBAO KELSEY	03/27/19	126.00
	00735541	13538	SHRED IT USA LLC	03/27/19	610.95
	00735542	10449	SIR SPEEDY	03/27/19	43.00
	00735543	728279	SNYDER KATHERINE	03/27/19	638.70
	00735544	834848	TAPLA EDITH	03/27/19	650.00
	00735546	7162	WAGNER GEORGIA C	03/27/19	93.75
	00735547	38562	WELD COUNTY EXTENSION	03/27/19	352.81
	00735550	1092	AGGREGATE INDUSTRIES	03/28/19	1,100.00
	00735552	99357	COLO MEDICAL WASTE INC	03/28/19	1,269.00
	00735553	830282	CORE STRENGTHS TOTALSDI	03/28/19	5,144.82
	00735554	47723	FEDEX	03/28/19	214.92
	00735557	582056	GLASSDOOR INC	03/28/19	8,800.00
	00735558	814582	HARMS JASON CHRISTOPHER	03/28/19	1,100.00
	00735559	6058	LANDAUER INC	03/28/19	2,318.00
	00735560	747204	MARTINEZ MIA	03/28/19	945.00
	00735561	124449	NMS LABS	03/28/19	6,789.00
	00735562	473343	PALEO DNA	03/28/19	350.00
	00735563	100332	PERKINELMER GENETICS	03/28/19	50.00
	00735564	827363	RINALDO ARICK J	03/28/19	1,550.00
	00735565	347128	ROSE JAMES	03/28/19	5,066.07
	00735567	669061	SCL HEALTH	03/28/19	142.00
	00735568	13538	SHRED IT USA LLC	03/28/19	118.49
	00735570	51001	SOUTHLAND MEDICAL LLC	03/28/19	4,640.14
	00735571	42818	STATE OF COLORADO	03/28/19	23.09
	00735572	42818	STATE OF COLORADO	03/28/19	12.79
	00735573	42818	STATE OF COLORADO	03/28/19	171.72
	00735574	42818	STATE OF COLORADO	03/28/19	26.68
	00735575	42818	STATE OF COLORADO	03/28/19	28.61
	00735576	42818	STATE OF COLORADO	03/28/19	4.52
	00735577	42818	STATE OF COLORADO	03/28/19	713.80
	00735578	42818	STATE OF COLORADO	03/28/19	65.13
	00735579	42818	STATE OF COLORADO	03/28/19	1,789.68

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1	General Fun	d			
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00735580	42818	STATE OF COLORADO	03/28/19	217.42
	00735582	22538	THOMSON REUTERS - WEST	03/28/19	372.00
	00735583	117701	UNIPATH	03/28/19	5,937.00
	00735584	354139	WALMSLEY NATASHA	03/28/19	2,170.33
				Fund Total	844,455.85

R5504002			County of Adams		03/29/19	12:15:57
			Net Warrants by Fund Detail		Page -	5
5	Golf Course	Enterprise Fund				
	Warrant00005233	Supplier No6177	Supplier Name PROFESSIONAL RECREATION MGMT I	Warrant Date	Amount 35,608.41	
				Fund Total	35,608.41	

6	Equipment S	Service Fund			
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00735538	16237	SAM HILL OIL INC	03/27/19	29,869.53
	00735545	790907	THE GOODYEAR TIRE AND RUBBER C	03/27/19	542.20
	00735566	16237	SAM HILL OIL INC	03/28/19	1,534.07
	00735581	790907	THE GOODYEAR TIRE AND RUBBER C	03/28/19	161.32
				Fund Total	32,107.12

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Net Warrants by Fund Detail

Warrant	Supplier No	Supplier Name	Warrant Date	Amount
00005231	523053	TRISTAR RISK MANAGEMENT	03/26/19	66,032.28
00005234	773185	THRIVE AT HOME NUTRITION LLC	03/28/19	310.70
00735475	2157	COLO OCCUPATIONAL MEDICINE PHY	03/26/19	90.00
00735503	419839	CAREHERE LLC	03/27/19	36,628.00
00735548	838333	A DEZIGN	03/28/19	980.54
00735549	153865	ADVANCED EXERCISE EQUIPMENT	03/28/19	501.80
00735551	419839	CAREHERE LLC	03/28/19	94,248.21
00735555	34969	FITNESS TECH	03/28/19	550.00
00735569	10449	SIR SPEEDY	03/28/19	181.80

Fund Total

199,523.33

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Net Warrants by Fund Detail

25	Waste Management Fund						
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount		
	00735504	304171	CDPHE	03/27/19	3,000.00		
	00735537	433702	QUANTUM WATER CONSULTING	03/27/19	15,160.95		
	00735556	463649	GABLEHOUSE GRANBERG LLC	03/28/19	1,484.00		

Fund Total 19,644.95

County of Adams Net Warrants by Fund Detail

27	Open Space I	Projects Fund			
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00735508	784968	COLT AND STEEL CORPORATION	03/27/19	13,102.72
	00735524	13635	LOWER CLEAR CREEK DITCH	03/27/19	5,400.00

Fund Total 18,502.72

R5504002			County of Adams		03/29/19	12:15:57
			Net Warrants by Fund Detail		Page -	10
28	Open Space S	Sales Tax Fund				
	Warrant 00735500	Supplier No 39402	Supplier Name BIRD CONSERVANCY OF THE ROCKIE	Warrant Date 03/27/19	Amount 20,096.87	
	00755500	57102		Fund Total	20,096.87	

R5504002	County of Adams			03/29/19	12:15:57	
	Net Warrants by Fund Detail				Page -	11
30	Community I	Dev Block Grant Fun	ıd			
	Warrant 00005235	Supplier No 29064	Supplier Name	Warrant Date03/28/19	Amount 7,690.00	
	00003233	29004	TIERRA ROJO CONSTRUCTION	Fund Total	7,690.00	

31	Head Start H	Fund			
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00735463	79121	MEADOW GOLD DAIRY	03/25/19	332.40
				Fund Total	332.40

R5504002			County of Adams		03/29/19	12:15:57
			Net Warrants by Fund Detail		Page -	13
50	FLATROCK	Facility Fund				
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount	
	00735480	444150	HIRED GUNWEED & PEST CONTROL	03/26/19	1,512.00	
				Fund Total	1,512.00	

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Grand Total <u>1,179,473.65</u>

R5504001		County of Adams				03/29/19 1	2:13:39
		Vendor Payment Report				Page -	1
2051	ANS - Administration	Fund	Voucher	Batch No	GL Date	Amount	
	Animal Control/Shelter SCHERER JEREE	00001	949205	333193 D	03/26/19 Account Total epartment Total	17	2.00 2.00

R5504001		County of Adams				03/29/19	12:13:39
		Vendor Payment Repor	t			Page -	2
1011	Board of County Commissioners	Fund	Voucher	Batch No	GL Date	Amount	
	Special Events ALMOST HOME INC	00001	949077	332903 D	03/21/19 Account Total epartment Total	1,0	000.00

R5504001		County of Adams				03/29/19	12:13:39
		Vendor Payment Repor	t			Page -	3
3064	Building Safety	Fund	Voucher	Batch No	GL Date	Amount	
	Building Permits ROSE JAMES	00001	949231	333211	03/26/19	5,0	66.07
				D	Account Total epartment Total		66.07 66.07

R5504001		County of Adams				03/29/19	12:13:39
	Ven	dor Payment Repor	t			Page -	4
2055	Control/Enforcement	Fund	Voucher	Batch No	GL Date	Amount	
	Medical Services						
	NORTHSIDE EMERGENCY PET CLINIC	00001	949229	333209	03/26/19		31.00
					Account Total	8	81.00
				D	epartment Total	8	31.00

R5504001		County of Adams				03/29/19 12:13:39 Page - 5
	· ·	endor Payment Repor	t			
1013	County Attorney	Fund	Voucher	Batch No	GL Date	Amount
	Business Meetings					
	ADAMS / BROOMFIELD BAR ASSN	00001	948886	332689	03/19/19	240.00
					Account Total	240.00
	Consultant Services					
	JACHIMIAK PETERSON LLC	00001	948885	332689	03/19/19	944.09
					Account Total	944.09
	Other Professional Serv					
	DENVER COUNTY SHERIFF	00001	948884	332689	03/19/19	38.30
					Account Total	38.30
				D	Department Total	1,222.39

04001		County of Adams				
	Ve	ndor Payment Repo	rt			
2031	County Coroner	Fund	Voucher	Batch No	GL Date	
	Medical Services					
	CINA & CINA FORENSIC CONSULTIN	00001	949115	333005	03/22/19	
					Account Total	
	Operating Supplies					
	SOUTHLAND MEDICAL LLC	00001	949252	333228	03/26/19	
	SOUTHLAND MEDICAL LLC	00001	949253	333228	03/26/19	
	SOUTHLAND MEDICAL LLC	00001	949254	333228	03/26/19	

SOUTHLAND MEDICAL LLC	00001	949254	333228	03/26/19	100.00
				Account Total	4,640.14
Other Professional Serv					
COLO MEDICAL WASTE INC	00001	949255	333228	03/26/19	1,269.00
FEDEX	00001	949259	333228	03/26/19	148.29
FEDEX	00001	949260	333228	03/26/19	43.12
FEDEX	00001	949261	333228	03/26/19	23.51
LANDAUER INC	00001	949271	333234	03/26/19	2,318.00
NMS LABS	00001	949256	333228	03/26/19	6,789.00
PALEO DNA	00001	949264	333228	03/26/19	350.00
PERKINELMER GENETICS	00001	949265	333228	03/26/19	50.00
RINALDO ARICK J	00001	949250	333228	03/26/19	1,550.00
SCL HEALTH	00001	949248	333228	03/26/19	142.00
SHRED IT USA LLC	00001	949263	333228	03/26/19	118.49
STOEFFLER REBECCA E	00001	949150	333113	03/25/19	1,215.00
THOMSON REUTERS - WEST	00001	949262	333228	03/26/19	372.00
UNIPATH	00001	949257	333228	03/26/19	5,937.00
				Account Total	20,325.41
			D	epartment Total	48,965.55

24,000.00 24,000.00

> 419.96 4,120.18

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Amount

R5504001	County of Adams						
	Vendor Payment Report						
1074	CA- Risk Management	Fund	Voucher	Batch No	GL Date	Amount	
	Safety-Drug & Al Test/Med Cert COLO OCCUPATIONAL MEDICINE PHY	00019	948883	332689 D	03/19/19 Account Total epartment Total		90.00 90.00 90.00

R5504001	County of Adams						
Vendor Payment Report						Page -	8
941017	CDBG 2017/2018	Fund	Voucher	Batch No	GL Date	Amount	
	Grants to Other Institutions TIERRA ROJO CONSTRUCTION	00030	949266	333231 D	03/26/19 Account Total Pepartment Total	7,6	90.00 90.00 90.00

R5504001		County of Adams				03/29/19 12:13:39	
	Vendor Payment Report						
1022	CLK Elections	Fund	Voucher	Batch No	GL Date	Amount	
	Destruction of Records						
	SHRED IT USA LLC	00001	949146	333112	03/25/19	167.15	
					Account Total	167.15	
	Maintenance Contracts						
	PITNEY BOWES	00001	949075	332898	03/21/19	1,152.54	
					Account Total	1,152.54	
	Printing External						
	SIR SPEEDY	00001	949149	333112	03/25/19	43.00	
					Account Total	43.00	
	Software and Licensing						
	OPEX CORPORATION	00001	949143	333112	03/25/19	535.60	
					Account Total	535.60	
				D	epartment Total	1,898.29	

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1023	CLK Motor Vehicle	Fund	Voucher	Batch No	GL Date	Amount
	Destruction of Records					
	SHRED IT USA LLC	00001	949076	332898	03/21/19	30.00
	SHRED IT USA LLC	00001	949147	333112	03/25/19	204.00
	SHRED IT USA LLC	00001	949148	333112	03/25/19	239.80
					Account Total	473.80
	Operating Supplies					
	ALSCO AMERICAN INDUSTRIAL	00001	949070	332898	03/21/19	17.19
	ALSCO AMERICAN INDUSTRIAL	00001	949071	332898	03/21/19	17.19
	ALSCO AMERICAN INDUSTRIAL	00001	949072	332898	03/21/19	26.89
	ALSCO AMERICAN INDUSTRIAL	00001	949073	332898	03/21/19	17.19
					Account Total	78.46
	Security Service					
	ALLIED UNIVERSAL SECURITY SERV	00001	949066	332898	03/21/19	1,558.85
	ALLIED UNIVERSAL SECURITY SERV	00001	949067	332898	03/21/19	1,357.48
	ALLIED UNIVERSAL SECURITY SERV	00001	949068	332898	03/21/19	1,456.94
	ALLIED UNIVERSAL SECURITY SERV	00001	949069	332898	03/21/19	1,480.67
					Account Total	5,853.94
				Γ	Department Total	6,406.20

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1051	District Attorney	Fund	Voucher	Batch No	GL Date	Amount
	Court Reporting Transcripts					
	MAIER LORI C	00001	949212	333202	03/26/19	202.50
	SHIBAO KELSEY	00001	949216	333202	03/26/19	93.00
	SHIBAO KELSEY	00001	949217	333202	03/26/19	33.00
	WAGNER GEORGIA C	00001	949219	333202	03/26/19	93.75
					Account Total	422.25
	Mileage Reimbursements					
	GLADER JONATHAN D	00001	949210	333202	03/26/19	41.44
	LUEVANO SAUCEDO ANPARITO	00001	949211	333202	03/26/19	18.23
					Account Total	59.67
	Other Communications					
	GOVERNOR'S OFFICE OF IT	00001	949209	333202	03/26/19	2,237.22
					Account Total	2,237.22
	Other Professional Serv					
	COLO OCCUPATIONAL MEDICINE PHY	00001	949207	333202	03/26/19	369.00
	NET TRANSCRIPTS INC	00001	949243	333202	03/26/19	541.28
	SNYDER KATHERINE	00001	949218	333202	03/26/19	638.70
					Account Total	1,548.98
	Witness Fees					
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	949206	333202	03/26/19	20.17
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	949206	333202	03/26/19	84.97
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	949206	333202	03/26/19	489.10
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	949206	333202	03/26/19	95.05
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	949206	333202	03/26/19	94.22
	MULBERRY JONI	00001	949213	333202	03/26/19	74.46
	NIAZOV YULIANA	00001	949214	333202	03/26/19	29.74
					Account Total	887.71
				Γ	Department Total	5,155.83

R5504001	County of Adams							
Vendor Payment Report						Page -	Page - 12	
9261	DA- Diversion Project	Fund	Voucher	Batch No	GL Date	Amount	-	
	Other Professional Serv OMNI INSTITUTE	00001	949215	333202 D	03/26/19 Account Total epartment Total	1,0	000.00	

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Vendor Payment Report

6	Equipment Service Fund	Fund	Voucher	Batch No	GL Date	Amount
	Received not Vouchered Clrg					
	SAM HILL OIL INC	00006	949279	333295	03/27/19	2,271.84
	SAM HILL OIL INC	00006	949280	333295	03/27/19	8,619.08
	SAM HILL OIL INC	00006	949281	333295	03/27/19	2,886.90
	SAM HILL OIL INC	00006	949282	333295	03/27/19	16,091.71
	SAM HILL OIL INC	00006	949474	333424	03/28/19	1,534.07
	THE GOODYEAR TIRE AND RUBBER C	00006	949275	333295	03/27/19	542.20
	THE GOODYEAR TIRE AND RUBBER C	00006	949471	333424	03/28/19	161.32
					Account Total	32,107.12
				De	epartment Total	32,107.12

R5504001	County of Adams						12:13:39
Vendor Payment Report							14
9243	Extension - Family & Consumer	Fund	Voucher	Batch No	GL Date	Amount	
	Mileage Reimbursements						
	7201	00001	949121	333084	03/24/19	1	25.74
					Account Total	1	25.74
				D	epartment Total	1	25.74

R5504001	County of Adams						12:13:39
Vendor Payment Report						Page -	15
9240	Extension - Horticulture	Fund	Voucher	Batch No	GL Date	Amount	
	Operating Supplies BRIGHTON CITY OF	00001	949094	332986 De	03/22/19 Account Total epartment Total		71.00 71.00 71.00

R5504001	County of Adams						
Vendor Payment Report							16
9242	Extension-Agriculture	Fund	Voucher	Batch No	GL Date	Amount	-
	Operating Supplies						
	BROOMFIELD CITY AND COUNTY	00001	949085	332986	03/22/19		352.81
	WELD COUNTY EXTENSION	00001	949086	332986	03/22/19		352.81
					Account Total	5	705.62
				De	epartment Total		705.62

V					
Vendor Payment Report					Page - 17
Extension- 4-H/Youth	Fund	Voucher	Batch No	GL Date	Amount
Mileage Reimbursements					
7199	00001	949120	333084	03/24/19	80.62
7369	00001	949122	333084	03/24/19	168.20
				Account Total	248.82
Operating Supplies					
CSU UNIVERSITY RESOURCE CTR	00001	949095	332986	03/22/19	240.00
				Account Total	240.00
Travel & Transportation					
7045	00001	949130	333092	03/25/19	19.00
7045	00001	949130	333092	03/25/19	28.00
7045	00001	949130	333092	03/25/19	28.00
7045	00001	949130	333092	03/25/19	42.00
7047	00001	949131	333092	03/25/19	19.00
7047	00001	949131	333092	03/25/19	28.00
7047	00001	949131	333092	03/25/19	28.00
7047	00001	949131	333092	03/25/19	42.00
7048	00001	949132	333092	03/25/19	19.00
7048	00001	949132	333092	03/25/19	28.00
7048	00001	949132	333092	03/25/19	28.00
7048	00001	949132	333092	03/25/19	42.00
				Account Total	351.00
			E	Department Total	839.82
	Mileage Reimbursements 7199 7369 Operating Supplies CSU UNIVERSITY RESOURCE CTR Travel & Transportation 7045 7045 7045 7045 7045 7045 7045 7047 7047 7047 7047 7047 7048 7048 7048	Mileage Reimbursements 7199 00001 7369 00001 Operating Supplies 00001 CSU UNIVERSITY RESOURCE CTR 00001 Travel & Transportation 00001 7045 00001 7045 00001 7045 00001 7045 00001 7045 00001 7045 00001 7045 00001 7045 00001 7045 00001 7045 00001 7047 00001 7047 00001 7048 00001 7048 00001 7048 00001	Mileage Reimbursements 7199 00001 949120 7369 00001 949122 Operating Supplies 00001 949095 Travel & Transportation 00001 949130 7045 00001 949130 7045 00001 949130 7045 00001 949130 7045 00001 949130 7045 00001 949130 7045 00001 949130 7045 00001 949131 7047 00001 949131 7047 00001 949131 7048 00001 949132 7048 00001 949132	Mileage Reimbursements 00001 949120 333084 7199 00001 949122 333084 7369 00001 949122 333084 Operating Supplies CSU UNIVERSITY RESOURCE CTR 00001 949095 332986 Travel & Transportation 7045 00001 949130 333092 7045 00001 949130 333092 7045 00001 949130 333092 7045 00001 949130 333092 7045 00001 949130 333092 7047 00001 949131 333092 7047 00001 949131 333092 7047 00001 949131 333092 7047 00001 949131 333092 7048 00001 949132 333092 7048 00001 949132 333092	Mileage Reimbursements 00001 949120 333084 03/24/19 7199 00001 949120 333084 03/24/19 7369 00001 949122 333084 03/24/19 Account Total Operating Supplies CSU UNIVERSITY RESOURCE CTR 00001 949095 332986 03/22/19 Travel & Transportation 7045 00001 949130 333092 03/25/19 7045 00001 949130 333092 03/25/19 7045 00001 949130 333092 03/25/19 7045 00001 949130 333092 03/25/19 7045 00001 949131 333092 03/25/19 7047 00001 949131 333092 03/25/19 7047 00001 949131 333092 03/25/19 7047 00001 949131 333092 03/25/19 7047 00001 949131 333092 03/25/19 </td

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	Ve	ndor Payment Repor	rt			Page -	18
1091	FO - Administration	Fund	Voucher	Batch No	GL Date	Amount	-
	Building Rental						
	WESTAR REAL PROPERTY SERVICES	00001	949204	333190	03/26/19	12,0)27.25
					Account Total	12,0)27.25
				De	partment Total	12,0)27.25

R5504001	County of Adams						12:13:39
	Ver	ndor Payment Repor	t			Page -	19
1060	FO - Community Corrections	Fund	Voucher	Batch No	GL Date	Amount	
	Building Repair & Maint DENVER CONCRETE COMPANY INC	00001	949201	333190 D	03/26/19 Account Total epartment Total	2,7	00.00 00.00 00.00

R5504001	County of Adams						
	Ver	idor Payment Repor	t			Page -	20
2090	FO - Flatrock Facility	Fund	Voucher	Batch No	GL Date	Amount	
	Maintenance Contracts HIRED GUNWEED & PEST CONTROL	00050	949202	333190 D	03/26/19 Account Total epartment Total	1,5	512.00 512.00 512.00

R5504001	County of Adams						12:13:39
	Ven	dor Payment Repor	rt			Page -	21
1067	FO - Human Service Building	Fund	Voucher	Batch No	GL Date	Amount	
	Other Repair & Maint MARKET STREET MANAGEMENT LLC	00001	949203	333190	03/26/19	14,2	76.55
					Account Total	14,2	76.55
				D	epartment Total	14,2	76.55

R5504001	County of Adams						12:13:39
	Ven	dor Payment Repo	rt			Page -	22
1071	FO - Justice Center	Fund	Voucher	Batch No	GL Date	Amount	
	Maintenance Contracts COLO DEPT OF LABOR & EMPLOYME	00001	949116	333081	03/23/19	2	80.00
				D	Account Total epartment Total	-	280.00 280.00

R5504001	1 County of Adams						12:13:39
	Ve	endor Payment Repor	t			Page -	23
2009	FO - Sheriff Maintenance	Fund	Voucher	Batch No	GL Date	Amount	
	Building Repair & Maint ADVANTAGE HOOD WORKS LLC	00001	949200	333190 D	03/26/19 Account Total epartment Total	1,9	000.00 000.00 000.00

R5504001	County of Adams						12:13:39
	Vendor Payment Report						
1072	FO - West Service Center	Fund	Voucher	Batch No	GL Date	Amount	
	Maintenance Contracts COLO DEPT OF LABOR & EMPLOYMEN	00001	949117	333082 D	03/23/19 Account Total epartment Total		60.00 60.00 60.00

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	ver	0				
1	General Fund	Fund	Voucher	Batch No	GL Date	Amount
	Received not Vouchered Clrg					
	ALLIED UNIVERSAL SECURITY SERV	00001	949230	333208	03/26/19	1,667.70
	CLIFTONLARSONALLEN LLP	00001	949299	333310	03/27/19	10,000.00
	CORE STRENGTHS TOTALSDI	00001	949473	333424	03/28/19	5,144.82
	CORRECT CARE SOLUTIONS LLC	00001	949208	333205	03/26/19	397,854.42
	DIRSEC	00001	949274	333295	03/27/19	8,321.50
	EIDE BAILLY LLP	00001	949222	333208	03/26/19	9,655.00
	GLASSDOOR INC	00001	949470	333424	03/28/19	8,800.00
	GOVERNMENTJOBS.COM INC	00001	949242	333225	03/26/19	21,746.52
	HELTON & WILLIAMSEN PC	00001	949283	333295	03/27/19	304.50
	INSIGHT PUBLIC SECTOR	00001	949276	333295	03/27/19	23,530.02
	MWI VETERINARY SUPPLY CO	00001	949223	333208	03/26/19	1,911.00
	MWI VETERINARY SUPPLY CO	00001	949224	333208	03/26/19	31.65
	OPEN JUSTICE BROKER CONSORTIUM	00001	949220	333208	03/26/19	1,680.00
	PATTERSON VETERINARY SUPPLY IN	00001	949225	333208	03/26/19	50.25
	PATTERSON VETERINARY SUPPLY IN	00001	949226	333208	03/26/19	24.20
	PATTERSON VETERINARY SUPPLY IN	00001	949227	333208	03/26/19	261.60
	PRUDENTIAL OVERALL SUPPLY	00001	949228	333208	03/26/19	43.48
	SOUTHWESTERN PAINTING	00001	949237	333208	03/26/19	2,561.00
	SOUTHWESTERN PAINTING	00001	949239	333208	03/26/19	523.00
	SOUTHWESTERN PAINTING	00001	949240	333208	03/26/19	1,728.00
	SOUTHWESTERN PAINTING	00001	949241	333208	03/26/19	6,101.00
	STATE OF COLORADO	00001	949509	333424	03/28/19	23.09
	STATE OF COLORADO	00001	949509	333424	03/28/19	12.79
	STATE OF COLORADO	00001	949510	333424	03/28/19	171.72
	STATE OF COLORADO	00001	949510	333424	03/28/19	26.68
	STATE OF COLORADO	00001	949511	333424	03/28/19	28.61
	STATE OF COLORADO	00001	949511	333424	03/28/19	4.52
	STATE OF COLORADO	00001	949512	333424	03/28/19	713.80
	STATE OF COLORADO	00001	949512	333424	03/28/19	65.13
	STATE OF COLORADO	00001	949513	333424	03/28/19	1,789.68
	STATE OF COLORADO	00001	949513	333424	03/28/19	217.42
	SYSTEMS GROUP	00001	949236	333208	03/26/19	300.00
	SYSTEMS GROUP	00001	949238	333208	03/26/19	200.00
					Account Total	505,493.10
				D		505 102 10

Department Total

R5504001	County of Adams							
Vendor Payment Report								
5026	Golf Course- Maintenance	Fund	Voucher	Batch No	GL Date	Amount	-	
	Contract Employment							
	PROFESSIONAL RECREATION MGMT I	00005	949284	333297	03/27/19	13,2	272.61	
	PROFESSIONAL RECREATION MGMT I	00005	949284	949284 333297	03/27/19	1,	552.09	
	PROFESSIONAL RECREATION MGMT I	00005	949284	333297	03/27/19	-	390.46	
					Account Total	15,2	215.16	
				De	partment Total	15,2	215.16	

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5021	Golf Course- Pro Shop	Fund	Voucher	Batch No	GL Date	Amount
	Contract Employment					
	PROFESSIONAL RECREATION MGMT I	00005	949284	333297	03/27/19	11,677.84
	PROFESSIONAL RECREATION MGMT I	00005	949284	333297	03/27/19	1,386.58
	PROFESSIONAL RECREATION MGMT I	00005	949284	333297	03/27/19	84.30
					Account Total	13,148.72
	Equipment Rental					
	PROFESSIONAL RECREATION MGMT I	00005	949284	333297	03/27/19	187.67
					Account Total	187.67
	Insurance Premiums					
	PROFESSIONAL RECREATION MGMT I	00005	949284	333297	03/27/19	62.21
	PROFESSIONAL RECREATION MGMT I	00005	949284	333297	03/27/19	554.32
	PROFESSIONAL RECREATION MGMT I	00005	949284	333297	03/27/19	5,566.83
					Account Total	6,183.36
	Security Service					
	PROFESSIONAL RECREATION MGMT I	00005	949284	333297	03/27/19	411.00
	PROFESSIONAL RECREATION MGMT I	00005	949284	333297	03/27/19	462.50
					Account Total	873.50
				Γ	Department Total	20,393.25

R5504001	County of Adams						
Vendor Payment Report							
9252	GF- Admin/Org Support	Fund	Voucher	Batch No	GL Date	Amount	
	Membership Dues						
	HOYA FOUNDATION	00001	949286	333304	03/27/19	12,00	0.00
	METRONORTH CHAMBER OF COMMERCE	00001	949285	333304	03/27/19	190,00	0.00
					Account Total	202,00	00.00
				De	epartment Total	202,00	0.00

R5504001	County of Adams 03/2							
Vendor Payment Report								
31	Head Start Fund	Fund	Voucher	Batch No	GL Date	Amount		
	Received not Vouchered Clrg							
	MEADOW GOLD DAIRY	00031	949133	333095	03/25/19		69.25	
	MEADOW GOLD DAIRY	00031	949134	333095	03/25/19		83.10	
	MEADOW GOLD DAIRY	00031	949135	333095	03/25/19		55.40	
	MEADOW GOLD DAIRY	00031	949136	333095	03/25/19		13.85	
	MEADOW GOLD DAIRY	00031	949137	333095	03/25/19	1	10.80	
					Account Total		332.40	
				D	epartment Total	3	332.40	

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Vendor Payment Report

8622	Insurance -Benefits & Wellness	Fund	Voucher	Batch No	GL Date	Amount
	Medical Services					
	A DEZIGN	00019	949514	333444	03/28/19	980.54
	ADVANCED EXERCISE EQUIPMENT	00019	949315	333354	03/27/19	501.80
	FITNESS TECH	00019	949314	333354	03/27/19	275.00
	FITNESS TECH	00019	949516	333444	03/28/19	275.00
	SIR SPEEDY	00019	949515	333444	03/28/19	181.80
					Account Total	2,214.14
				De	partment Total	2,214.14

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19	Insurance Fund	Fund	Voucher	Batch No	GL Date	Amount
	Received not Vouchered Clrg					
	CAREHERE LLC	00019	949296	333310	03/27/19	9,062.00
	CAREHERE LLC	00019	949296	333310	03/27/19	9,252.00
	CAREHERE LLC	00019	949298	333310	03/27/19	9,062.00
	CAREHERE LLC	00019	949298	333310	03/27/19	9,252.00
	CAREHERE LLC	00019	949536	333459	03/28/19	10.40
	CAREHERE LLC	00019	949536	333459	03/28/19	1,404.47
	CAREHERE LLC	00019	949536	333459	03/28/19	4,399.11
	CAREHERE LLC	00019	949536	333459	03/28/19	967.97
	CAREHERE LLC	00019	949536	333459	03/28/19	11,299.33
	CAREHERE LLC	00019	949537	333459	03/28/19	583.59
	CAREHERE LLC	00019	949537	333459	03/28/19	3,975.94
	CAREHERE LLC	00019	949537	333459	03/28/19	1,791.61
	CAREHERE LLC	00019	949537	333459	03/28/19	14,584.75
	CAREHERE LLC	00019	949538	333459	03/28/19	1,266.87
	CAREHERE LLC	00019	949538	333459	03/28/19	7,545.95
	CAREHERE LLC	00019	949538	333459	03/28/19	1,462.59
	CAREHERE LLC	00019	949538	333459	03/28/19	19,638.01
	CAREHERE LLC	00019	949539	333459	03/28/19	94.94
	CAREHERE LLC	00019	949539	333459	03/28/19	1,169.72
	CAREHERE LLC	00019	949539	333459	03/28/19	6,520.71
	CAREHERE LLC	00019	949539	333459	03/28/19	795.37
	CAREHERE LLC	00019	949539	333459	03/28/19	16,736.88
	THRIVE AT HOME NUTRITION LLC	00019	949301	333317	03/27/19	310.70
					Account Total	131,186.91
				De	partment Total	131,186.91

R5504001	County of Adams						
Vendor Payment Report							
8617	Insurance- Workers Comp	Fund	Voucher	Batch No	GL Date	Amount	
	Workers Compensation TRISTAR RISK MANAGEMENT	00019	949172	333119 D	03/25/19 Account Total epartment Total	66,0)32.28)32.28)32.28

R5504001	O4001 County of Adams						12:13:39
Vendor Payment Report							33
1058	IT Network/Telecom	Fund	Voucher	Batch No	GL Date	Amount	
	ISP Services						
	COMCAST BUSINESS	00001	949057	332886	03/21/19	2,1	64.91
					Account Total	2,1	64.91
	Telephone						
	CENTURY LINK	00001	949190	333186	03/26/19		12.58
					Account Total		12.58
				D	epartment Total	2,1	77.49

R5504001	504001 County of Adams							
	Vendor Payment Report							
6107	Open Space Projects	Fund	Voucher	Batch No	GL Date	Amount		
	Special Assessment Payments							
	LOWER CLEAR CREEK DITCH	00027	949078	332979	03/22/19	450.00		
	LOWER CLEAR CREEK DITCH	00027	949079	332979	03/22/19	450.00		
	LOWER CLEAR CREEK DITCH	00027	949080	332979	03/22/19	1,800.00		
	LOWER CLEAR CREEK DITCH	00027	949081	332979	03/22/19	2,700.00		
					Account Total	5,400.00		
				De	epartment Total	5,400.00		

R5504001	County of Adams						12:13:39
	Vendor Payment Report						
27	Open Space Projects Fund	Fund	Voucher	Batch No	GL Date	Amount	
	Received not Vouchered Clrg						
	COLT AND STEEL CORPORATION	00027	949273	333295	03/27/19	13,1	02.72
					Account Total	13,1	02.72
				D	epartment Total	13,1	02.72

R5504001	County of Adams						
Vendor Payment Report							36
6202	Open Space Tax- Grants	Fund	Voucher	Batch No	GL Date	Amoun	<u>t</u>
	Grants to Other Instit BIRD CONSERVANCY OF THE ROCKIE	00028	949082	332979 De	03/22/19 Account Total partment Total	20	,096.87 ,096.87 ,096.87

R5504001	County of Adams						
Vendor Payment Report							
1015	People & Culture - Admin	Fund	Voucher	Batch No	GL Date	Amount	
	Tuition Reimbursement						
	MARTINEZ MIA	00001	949312	333348	03/27/19	945.00	
	WALMSLEY NATASHA	00001	949313	333348	03/27/19	2,170.33	
					Account Total	3,115.33	
				De	epartment Total	3,115.33	

County of Adams							
Vendor Payment Report							
Fund	Voucher	Batch No	GL Date	Amount			
00001	949083	332979	03/22/19	1,2	60.00		
00001	949084	332979	03/22/19	1,4	51.25		
			Account Total	2,7	11.25		
		D	epartment Total	2,7	11.25		
	Vendor Payment Report Fund 00001	Vendor Payment Report Fund Voucher 00001 949083	Yendor Payment Report Fund Youcher Batch No 00001 949083 332979 00001 949084 332979	Vendor Payment Report Sector 100000 Sector 1000000 Sector 1000000 <t< td=""><td>Fund Voucher Batch No GL Date Amount 00001 949083 332979 03/22/19 1,24 00001 949084 332979 03/22/19 1,4 L L L L 2,7</td></t<>	Fund Voucher Batch No GL Date Amount 00001 949083 332979 03/22/19 1,24 00001 949084 332979 03/22/19 1,4 L L L L 2,7		

R5504001	01 County of Adams					
	Vend	dor Payment Repor	t			Page - 39
5010	PKS- Fair & Special Events	Fund	Voucher	Batch No	GL Date	Amount
	Operating Supplies					
	CINTAS CORPORATION NO 2	00001	949011	332825	03/20/19	159.58
					Account Total	159.58
	Regional Park Rentals					
	CARDENAS SOLEDAD	00001	949010	332825	03/20/19	1,800.00
	CUB SCOUTS PACK 471	00001	949105	332995	03/22/19	200.00
	GETHSEMANE LUTHERAN SCHOOL	00001	949102	332995	03/22/19	400.00
	GONZALES DORLA	00001	949106	332995	03/22/19	225.00
	HALLIBURTON ENERGY	00001	949104	332995	03/22/19	500.00
	HASHEM AMINA	00001	949103	332995	03/22/19	75.00
	KUKHAR MARK	00001	949101	332995	03/22/19	400.00
	MARTIN MARIETTA ROCKY MOUNTAIN	00001	949099	332995	03/22/19	400.00
	MEDINA MELANIE	00001	949097	332995	03/22/19	150.00
	PETERSEN BRAD	00001	949098	332995	03/22/19	500.00
	SANCHEZ LYRIS	00001	949096	332995	03/22/19	225.00
	TAPLA EDITH	00001	949100	332995	03/22/19	650.00
					Account Total	5,525.00
				D	epartment Total	5,684.58

R5504001	County of Adams						
Vendor Payment Report							
5015	PKS- Grounds Maintenance	Fund	Voucher	Batch No	GL Date	Amount	
	Water/Sewer/Sanitation CULLIGAN	00001	949013	332825 D	03/20/19 Account Total epartment Total	1	68.00 68.00 68.00

County	of Adams
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03/29/19 12:13:39

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41

Vendor Payment Report

5016	PKS- Trail Ranger Patrol	Fund	Voucher	Batch No	GL Date	Amount
	Gas & Electricity					
	XCEL ENERGY	00001	948898	332725	03/19/19	69.08
	XCEL ENERGY	00001	948901	332725	03/19/19	6.76
	XCEL ENERGY	00001	948916	332725	03/19/19	197.06
	XCEL ENERGY	00001	948917	332725	03/19/19	38.39
					Account Total	311.29
				D	epartment Total	311.29

R5504001	4001 County of Adams						12:13:39
Vendor Payment Report							
1082	PLN- Development Review	Fund	Voucher	Batch No	GL Date	Amount	-
	Zoning & Subdivision						
	AGGREGATE INDUSTRIES	GREGATE INDUSTRIES 00001 949232 333211 03/26/19		1,1	00.00		
	HARMS JASON CHRISTOPHER	00001	949233	333211	03/26/19	1,1	00.00
					Account Total	2,2	200.00
				De	epartment Total	2,2	200.00

R5504001	County of Adams						12:13:39
	N N	endor Payment Repor	rt			Page -	43
9295	Solid Waste Operations	Fund	Voucher	Batch No	GL Date	Amount	
	Other Professional Serv GABLEHOUSE GRANBERG LLC	00025	949234	333211 D	03/26/19 Account Total epartment Total	1,4	84.00 84.00 84.00

R5504001	County of Adams						
Vendor Payment Report							
2011	SHF- Admin Services Division	Fund	Voucher	Batch No	GL Date	Amount	
	Other Professional Serv						
	PSYCHOLOGICAL DIMENSIONS	00001	949196	333001	03/26/19	1,300.00	
	PSYCHOLOGICAL DIMENSIONS	00001	949197	333001	03/26/19	3,300.00	
					Account Total	4,600.00	
				De	epartment Total	4,600.00	
				333001	03/26/19 Account Total	3,300.00 4,600.00	

R5504001		County of Adams				03/29/19	12:13:39
		Vendor Payment Repor	rt			Page -	45
2010	SHF- MIS Unit	Fund	Voucher	Batch No	GL Date	Amount	-
	Maintenance Contracts OCV LLC	00001	949107	333001	03/22/19 Account Total		995.00
				D	epartment Total	9,9	995.00

R5504001	County of Adams						12:13:39
Vendor Payment Report							46
2018	SHF- Records/Warrants Section	Fund	Voucher	Batch No	GL Date	Amount	
	Extraditions WORLD CONNECTIONS TRAVEL	00001	949198	333001 D	03/26/19 Account Total epartment Total	2,2	01.50 01.50 01.50

R5504001	County of Adams						
	Vendor Payment Report						
25	Waste Management Fund	Fund	Voucher	Batch No	GL Date	Amount	-
	Received not Vouchered Clrg						
	CDPHE	00025	949272	333295	03/27/19	3,0	00.00
	QUANTUM WATER CONSULTING	00025	949277	333295	03/27/19	10,0)85.95
	QUANTUM WATER CONSULTING	00025	949278	333295	03/27/19	5,0	075.00
					Account Total	18,1	160.95
				De	partment Total	18,1	160.95

Grand Total

1,179,473.65



Board of County Commissioners Minutes of Commissioners' Proceedings

Eva J. Henry - District #1 Charles "Chaz" Tedesco - District #2 Emma Pinter - District #3 Steve O'Dorisio - District #4 Mary Hodge - District #5

> Tuesday April 02, 2019 9:30 AM

1. ROLL CALL

Rollcall

Present: 4 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, and Commissioner O'Dorisio
 Excused: 1 - Commissioner Hodge

2. PLEDGE OF ALLEGIANCE

3. MOTION TO APPROVE AGENDA

A motion was made by Commissioner Tedesco, seconded by Commissioner Henry, that the Agenda be approved with moving item 60 to County Manager, New Business. The motion carried by the following vote:

Aye: 4 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, and Commissioner O'Dorisio

4. AWARDS AND PRESENTATIONS

- A. Proclamation of the 2020 Colorado Complete Count Campaign
- **B.** Proclamation of April 2019 as Fair Housing Month

5. PUBLIC COMMENT

A. Citizen Communication

A total of 30 minutes is allocated at this time for public comment and each speaker will be limited to 3 minutes. If there are additional requests from the public to address the Board, time will be allocated at the end of the meeting to complete public comment. The chair requests that there be no public comment on issues for which a prior public hearing has been held before this Board.

B. Elected Officials' Communication

6. CONSENT CALENDAR

A motion was made by Commissioner Henry, seconded by Commissioner Pinter, that the Consent Calendar be approved. The motion carried by the following vote:

- Aye: 4 Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, and Commissioner O'Dorisio
- A. List of Expenditures Under the Dates of March 18 22, 2019
- B. Minutes of the Commissioners' Proceedings from March 26, 2019
- C. Resolution Accepting Special Warranty Deed Conveying Property from Amerco Real Estate Company to Adams County, for the Dedication of Road Right-of-Way for York Street (File approved by ELT)
- D. Resolution Accepting Warranty Deed Conveying Property from Archdiocese of Denver to Adams County, for the Dedication of Road Right-of-Way for York Street
 (File approved by ELT)

(File approved by ELT)

- E. Resolution Accepting Warranty Deed Conveying Property from Amerco Real Estate Company to Adams County, for the Dedication of Road Right-of-Way for York Street (File approved by ELT)
- F. Resolution Accepting Warranty Deed Conveying Property from Harick Inc., to Adams County, for the Dedication of Road Right-of-Way for York Street (File approved by ELT)
- **G.** Resolution Accepting Quitclaim Deed Conveying Property from 7501 York Street, LLC, to Adams County, for the Dedication of Road Right-of-Way for York Street (File approved by ELT)
- **H.** Resolution Approving Ambulance Service License for Mile High Ambulance LLC (File approved by ELT)

- I. Resolution Approving License Agreement between the Colorado Agricultural Ditch Company and Adams County for the East 86th Avenue Crossing (File approved by ELT)
- J. Resolution Approving Right-of-Way Easement, and License Agreement between Adams County and Welby Road Company, LLC (File approved by ELT)
- **K.** Resolution Approving Agreement between Adams County and Northwest Water Corporation for Easements Necessary for the Engineer's Lake Trailhead Project (File approved by ELT)
- L. Resolution Approving Contract Cost Amendment between Adams County and Clinica Campesina/Family Health to Provide Medicaid Application Processing Services (File approved by ELT)
- M. Resolution Approving Contract Cost Amendment between Adams County and Metro Community Provider Network to Provide Medicaid Application Processing Services (File approved by ELT)
- N. Resolution Appointing Jennifer Grafton as a Member of the Adams County Housing Authority (File approved by ELT)

7. NEW BUSINESS

A. COUNTY MANAGER

1. Resolution Approving Amendment Four to the Agreement between Adams County and Allied Universal Security Services for Countywide Security Services

(File approved by ELT)

A motion was made by Commissioner Henry, seconded by Commissioner Tedesco, that this New Business be approved. The motion carried by the following vote:

Aye: 4 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, and Commissioner O'Dorisio

- Resolution Approving an Agreement between Adams County and Family Tree, Inc., to Provide Child Only Case Management Services for the Temporary Assistance for Needy Families (TANF) Program (File approved by ELT)
 A motion was made by Commissioner Henry, seconded by Commissioner Pinter, that this New Business be approved. The motion carried by the following vote:
 - Aye: 4 Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, and Commissioner O'Dorisio
- **O.** Resolution Establishing the Creation of a County Complete Count Committee for the 2020 Census (File approved by ELT)

A motion was made by Commissioner Tedesco, seconded by Commissioner Henry, that this Resolution be approved. The motion carried by the following vote:

Aye: 4 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, and Commissioner O'Dorisio

B. COUNTY ATTORNEY

8. LAND USE HEARINGS

A. Cases to be Heard

- RCU2018-00048 Matador Pipeline Conditional Use

 (File approved by ELT)
 A motion was made by Commissioner Tedesco, seconded by
 Commissioner Pinter, that this Land Use Hearing be approved. The
 motion carried by the following vote:
 - Aye: 4 Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, and Commissioner O'Dorisio

9. ADJOURNMENT

AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: April 9, 2019

SUBJECT: Approving a Memorandum of Understanding (MOU) between Buckley Air Force at the 460th Space Wing (460 SW) and the Adams County Human Services Department

FROM: Chris Kline, Human Services Department Director

AGENCY/DEPARTMENT: Human Services

HEARD AT STUDY SESSION ON N/A

AUTHORIZATION TO MOVE FORWARD:
YES NO

RECOMMENDED ACTION: That the Board of County Commissioners Approves a Memorandum of Understanding (MOU) between the Buckley Airforce 460th Space Wing (460 SW) and the Adams County Human Services Department

BACKGROUND:

The Colorado Healthy Families and Military Preparedness Act (C.R.S. 19-1-302 and 19-1-303) authorizes county human services departments to establish memorandums of understanding (MOU) that allow the United States military to investigate, process, treat, or prosecute child abuse or neglect cases that involve active duty military personnel and their dependents.

This MOU documents the agreed-to responsibilities and procedures between 460 SW and Adams County Human Services Department (HSD) for the investigation, processing, treatment, or prosecution of abuse or neglect cases concerning active duty military personnel and their dependents assigned to Buckley Air Force Base.

In collaboration with the Child Welfare intake staff from Adams County HSD, the designated Family Advocacy Program staff at Buckley AFB will collect as much information as possible concerning the abuse/neglect complaint and determine the nature of the allegation to ascertain the timeliness of the response required by Adams County HSD. This assessment will include the need to take immediate military or civilian child protection measures.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Buckley Air Force Adams County Human Services Department

ATTACHED DOCUMENTS:

Memorandum of Understanding Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact \boxtimes . If there is fiscal impact, please fully complete the section below.

Fund:

Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested:	YES	🛛 NO

Future Amendment Needed:	YES	🖂 NO
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Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING A MEMORANDUM OF UNDERSTANDING BETWEEN BUCKLEY AIR FORCE BASE 460TH SPACE WING AND THE ADAMS COUNTY HUMAN SERVICES DEPARTMENT

WHEREAS, the Colorado Families and Military Preparedness Act authorizes county human services departments to establish memorandums of understanding that allow the United States military to investigate, process, treat, or prosecute child abuse or neglect cases that involve active military personnel and their dependents; and,

WHEREAS, such memorandums of understanding help ensure that reported cases of suspected child abuse or neglect involving active military families receive appropriate and coordinated responses.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the memorandum of understanding between Adams County and the Buckley Air Force Base 460th Space Wing, a copy of which is attached hereto and incorporated herein by this reference, is hereby approved.

BE IT FURTHER RESOLVED, that the chair is hereby authorized to sign said memorandum on behalf of the Board.

MEMORANDUM OF UNDERSTANDING BETWEEN THE 460th SPACE WING (460 SW) AND THE ADAMS COUNTY HUMAN SERVICES DEPARTMENT

This is a Memorandum of Understanding (MOU) between the 460th Space Wing (460 SW) and the Adams County Human Services Department (Adams County HSD). When referred to collectively, the 460 SW, and the Adams County HSD are referred to as the "Parties."

1. AUTHORITIES: AFI 40-301, *Family Advocacy;* Code of Federal Regulations; Colorado Healthy Families and Military Preparedness Act (C.R.S. 19-1-302 and 19-1-303) and any other directives as required.

2. PURPOSE: This MOU identifies agreed-to responsibilities and procedures between 460 SW and Adams County HSD for the investigation, processing, treatment, or prosecution of abuse or neglect cases concerning active duty military personnel and their dependents assigned to Buckley Air Force Base, Colorado.

3. UNDERSTANDINGS OF THE PARTIES:

3.1. The 460 SW-

3.1.1. In compliance with paragraphs 3.2.5, 3.2.6., and 3.2.7 below, the Family Advocacy Program will assist the Adams County HSD with access to military members stationed on Buckley AFB who are in need of their services, subject to notification requirements set forth herein. The security police on duty will call the 460th Medical Group (460 MDG) Family Advocacy Program and obtain the name of a sponsor before allowing the social worker to proceed to his/her destination on base.

3.1.2. Military and civilian personnel charged with coordinating child abuse or neglect services at Buckley AFB will have access to, and a working knowledge of, the Colorado Children's Code as it applies to their role in child protection.

3.1.3. The Commander, 460 MDG is responsible for managing and monitoring health care aspects of the Family Advocacy Program. This agency will ensure the availability of all medical assistance required through the designated Family Advocacy Officer, who will monitor and coordinate the combined efforts of the Air Force, other military, and civilian social, educational, and health-care agencies associated with the Family Advocacy Program.

3.1.4. In collaboration with the Child Welfare intake staff from Adams County HSD, the designated Family Advocacy Program staff person will collect as much information as possible concerning the abuse/neglect complaint and determine the nature of the allegation to ascertain the timeliness of the response required by Adams County HSD. This assessment will include the need to take immediate military or civilian child protection measures.

3.1.5. After notifying and obtaining concurrence from the Adams County HSD staff, the Family Advocacy Program staff may invalidate a child abuse or neglect report and not cause

further investigation to occur when, upon receipt of the report, the allegations completely and unquestionably do not meet the legal definition of child abuse or neglect, as defined by the Colorado Children's Code (C.R.S. §19-1-103).

3.1.6. Access to medical records needed by Adams County juvenile authorities for the investigation, processing, treatment, or prosecution of abuse or neglect cases will be made available to authorized Adams County HSD personnel by the Commander, 460 MDG in accordance with appropriate Air Force regulations.

3.2. Adams County HSD —

3.2.1. Ensure that a member of 460 MDG Family Advocacy Program, or the Commander, 460 MDG receives prior notification of occasions when social workers are dispatched to investigate incidents of alleged child abuse or neglect concerning active duty military personnel assigned to Buckley AFB, or off-base when the alleged abuser is known to be assigned to the base. Adams County HSD will provide the name of the family, their address, the substance of the complaint, and the date and time of the visit (C.R.S. §19-1-303).

3.2.2. Ensure that the primary investigative role regarding child abuse or neglect complaints remains with the Adams County HSD in accordance with Colorado Children's Code (C.R.S. §19-1-103). All reports of child abuse or neglect received by military and/or Air Force civilian personnel who are mandated reporters will be reported to Adams County HSD.

3.2.3. Ensure that all Adams County HSD staff, who will be conducting visits to Buckley AFB, or with personnel working at Buckley AFB, are advised of these procedures.

3.2.4. When final disposition is made on a case reported by the Family Advocacy Program, Adams County HSD will notify the Family Advocacy Program, providing all identifying data and all abuse or neglect information, including the relevant final assessment reports.

3.2.5. In order to visit Buckley AFB, the social workers will stop at the Visitor's Control Center (VCC) and obtain a visitor's pass.

3.2.6. The social worker will display the visitor's pass on his/her vehicle at all times while on the installation, and upon departure from the installation, deposit it in the visitor's pass receptacle located at each gate.

3.2.7. Adams County HSD will provide the Family Advocacy Officer with an up-to-date list of employees who are eligible to visit.

3.3. All parties will —

3.3.1. All verbal and/or written communications between Adams County HSD and Family Advocacy Program staff will remain confidential, pursuant to C.R.S. §19-1-302, <u>et. seq.</u> Additionally, all information obtained must comply with the Health Insurance Portability and Accountability Act (HIPAA) of 1996 and appropriate Air Force instructions.

3.3.2. Reciprocal sharing of information will exist between 460 SW and Adams County HSD. A Family Advocacy Program Officer from the 460 MDG Family Advocacy Office will provide appropriate information regarding any previously known instances of child abuse or neglect within the families identified in paragraph 3.2.1.

3.3.3. All information regarding pertinent medical care, examination, investigation, evaluation, or psychotherapy of family members in suspected child abuse or neglect cases will be shared between 460 MDG and Adams County HSD in accordance with appropriate Air Force Instructions, C.R.S., HIPAA, and authorized disclosures permitted under federal and state law.

4. PERSONNEL: Each Party is responsible for all costs of its personnel, including pay and benefits, support, and travel. Each Party is responsible for supervision and management of its personnel.

5. GENERAL PROVISIONS:

5.1. POINTS OF CONTACT: The following points of contact will be used by the Parties to communicate in the implementation of this MOU. Each Party may change its point of contact upon reasonable notice to the other Party.

5.1.1. For the 460 SW—

5.1.1.1 Primary: 460 MDG Family Advocacy Officer (SGO) 720.847.6453

5.1.1.2. Alternate: 460 MDG Support Agreement Manager (SGSR) 720.847.6058

5.1.2. For the Adams County HSD-

5.1.2.1. Primary: Director, Chris Kline 720.523.2000

5.1.2.2. Alternate: Division Director, Jan James 303.412.5085

5.2. CORRESPONDENCE: All correspondence to be sent and notices to be given pursuant to this MOU will be addressed, if to the 460 SW, to—

5.2.1. 275 S. Aspen St. Stop 89, Buckley AFB, CO 80011

and, if to the Adams County HSD, to-

5.2.2. 11860 Pecos St, Westminster, CO 80234

5.3. FUNDS AND MANPOWER: This MOU does not document nor provide for the exchange of funds or manpower between the Parties nor does it make any commitment of funds or resources.

5.4. MODIFICATION OF MOU: This MOU may only be modified by the written agreement of the Parties, duly signed by their authorized representatives. This MOU will be reviewed annually on or around the anniversary of its effective date, and every 3 years in its entirety.

5.5. DISPUTES: Any disputes relating to this MOU will, subject to any applicable law, Executive order, directive, or instruction, be resolved by consultation between the Parties or in accordance with DoDI 4000.19.

5.6. TERMINATION OF UNDERSTANDING: This MOU may be terminated in writing at will by either Party.

5.7. TRANSFERABILITY: This MOU is not transferable except with the written consent of the Parties.

5.8. ENTIRE UNDERSTANDING: It is expressly understood and agreed that this MOU embodies the entire understanding between the Parties regarding the MOU's subject matter.

5.9. EFFECTIVE DATE: This MOU takes effect beginning on the day after the last Party signs.

5.10. EXPIRATION DATE: This MOU expires on 31 December 2021.

5.11. CANCELLATION OF PREVIOUS MOU: This MOU supersedes the previously signed MOU between the same parties effective date of 03 April 2015.

APPROVED:

FOR THE Adams County HSD

FOR THE 460 SW

Steve O'Dorisio, Chair Adams County Board of Commissioners SHANNON L. PHARES, Colonel, USAF, 460 MDG/CC

(Date)

(Date)



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: April 9, 2019

SUBJECT: Resolution approving an easement agreement from Adams County to Berkeley Water and Sanitation District, for sanitary sewer pipeline purposes

FROM: Kristin Sullivan, Director of Community and Economic Development

AGENCY/DEPARTMENT: Community and Economic Development

HEARD AT STUDY SESSION ON: N/A

AUTHORIZATION TO MOVE FORWARD: YES NO

RECOMMENDED ACTION: That the Board of County Commissioners approves the Easement Agreement.

BACKGROUND:

Berkeley Water and Sanitation District (District) plans to construct a sanitary sewer pipeline, for the benefit of the Berkeley Meadows subdivision, through a portion of county owned property located at the intersection of Zuni Street and West 59th Place. The District requests from the County an Easement Agreement to allow for the construction and maintenance of the sanitary sewer facilities. Granting of the easement on the property will not impact the County's use of the property for its projects. The attached resolution allows Adams County to approve the Easement Agreement.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Community and Economic Development, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Draft resolution Easement Agreement

FISCAL IMPACT:

Please check if there is no fiscal impact \boxtimes . If there is fiscal impact, please fully complete the section below.

Fund:

Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested:	YES	🛛 NO

Future Amendment Needed:	YES	🖂 NO
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Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AN EASEMENT AGREEMENT FROM ADAMS COUNTY TO BERKELEY WATER AND SANITATION DISTRICT, FOR SANITARY SEWER PIPELINE PURPOSES

WHEREAS, Adams County owns a fee parcel of land located in the Southeast Quarter of Section 8, Township 3 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado (the "Property"); and,

WHEREAS, Berkeley Water and Sanitation District ("District") plans to construct sanitary sewer pipeline facilities near the intersection of Zuni Street and West 59th Place; and,

WHEREAS, the District requires the conveyance of an Easement Agreement over the Property; and,

WHEREAS, granting of the easement on the Property will not impact the County's use of the Property for County projects.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Easement Agreement between Adams County and Berkeley Water and Sanitation District, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is approved.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is hereby authorized to execute said Easement Agreement on behalf of Adams County.

EASEMENT AGREEMENT

THIS EASEMENT AGREEMENT is made and entered into as of the Adams of a political subdivision of the State of Colorado, a body corporate and politic and a political subdivision of the State of Colorado, hereinafter called "Grantor," (whether grammatically singular or plural) and the Berkeley Water and Sanitation District, a quasimunicipal corporation and political subdivision of the state, hereinafter called "District."

For and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10) and other good and valuable consideration to the Grantor in hand paid by the District, the receipt whereof is hereby acknowledged, the Grantor hereby grants to the District, its successors and assigns, a perpetual nonexclusive easement for the right to enter, re-enter, occupy and use the property more particularly described in **Exhibit A**, to construct, maintain, repair, replace, remove, enlarge and operate one or more sanitary sewer pipeline(s) and all underground and surface appurtenances ("Easement"). By way of example and not by way of limitation, the parties intend to include within the terms "pipelines" and "appurtenances" the following: pipes and conduits, manholes, ventilators, and the like, in, through, over and across the parcel of land situate, lying and being in the County of Adams and State of Colorado, to-wit:

The real property described in Exhibit A attached hereto and incorporated herein by this reference (the "Easement Area").

IT IS HEREBY MUTUALLY covenanted and agreed by and between the parties hereto as follows:

1. The District shall have and exercise the right of ingress and egress in, to, over, through and across the Easement Area for any purpose needful for the installation, maintenance, repair, replacement, removal, enlargement and operation of sanitary sewer pipelines. The Easement Area shall be free of obstacles throughout the length of the Easement.

2. The Grantor shall not construct or place any structure or building, fence, retaining wall, street light, power pole, yard light, mail box, sign, trash receptacle, temporary or permanent, or plant any shrub, tree, woody plant or nursery stock, on any part of the Easement Area, except as specified in writing by the District. Any structure or building, fence, retaining wall, street light, power pole, yard light, mail box, sign, trash receptacle, temporary or permanent, or shrub, tree, woody plant or nursery stock, of any kind situated on the Easement Area, except as specified in writing by the District, may be removed by the District without liability for damages arising therefrom.

3. The Grantor has no information or reports within its possession about past and currently existing Environmental Contamination in the Easement Area.

4. In the event Grantor determines that District's infrastructure needs to be relocated as a result of plans to develop the Easement Area for the Clay Community Outfall Trail trailhead parking lot, Grantor shall notify District at least 180 days prior to the re-location deadline. The parties may meet to discuss alternatives to re-location. If the Grantor owns adjacent property

suitable for the re-location, Grantor shall, without acquiring additional property, provide an alternative alignment for the infrastructure on Grantor's adjacent property at no additional cost to District.

5. The sanitary sewer pipelines and all appurtenances shall be installed in accordance with the District's current Design Standards. The District shall be solely responsible for obtaining, at its sole expense, any applicable governmental approvals.

6. The District shall have and exercise the right of subjacent and lateral support to whatever extent is necessary or desirable for the full, complete and unmolested enjoyment of the rights hereinabove described. It is specifically agreed between the parties that the Grantor shall take no action that would impair the earth cover over, or the lateral or subjacent support for any sanitary sewer pipeline or lines and appurtenances within the Easement Area.

7. The Grantor retains the right to use the Easement Area for ingress and egress, including vehicular traffic, insofar as such use and occupancy is consistent with and does not impair any grant herein contained.

8. The District agrees that other public utilities such as water, sanitary sewer, storm sewer, gas, and electric lines, may be installed in the Easement Area as long as they do not interfere with the District's easement and as long as piping crossing the sanitary sewer line at the discretion of the District is metallic or concrete and is encased in an acceptable material. Any piping or cable crossing the line must be installed in accordance with District Standards. With the consent of the District, which shall not be unreasonably withheld, utilities that parallel the District's facilities within the Easement Area may be installed, provided that the District may review and comment on the plans and have a representative present, at the District's cost, for the installation. The intent is to reserve for the non-exclusive use of the District's sanitary sewer lines at least 20 feet of the Easement Area width.

The Grantor, at Grantor's expense, shall be solely responsible for the maintenance 9. of the surface of the Easement Area such as streets, surfacing, including gravel, asphalt and/or concrete pavement, curbs and gutters within the Easement Area, except as specified in this paragraph. When the District deems it necessary to reconstruct, repair, relocate, remove, replace, enlarge, operate or in any way maintain its sanitary sewer pipelines, and appurtenances thereto, the District will backfill, compact and resurface the area of excavation, to include replacement of gravel, asphalt and/or concrete pavement, curbs and gutters, damaged by the District's activity, to the grade and condition existing immediately prior to excavation, as nearly as reasonable. The District will exercise all reasonable means to prevent damage to the surface, including gravel, pavement, curbs and gutters that are situated within the Easement Area but outside the immediate area of excavation. In the event said improvements are damaged due solely to District negligence, the District will repair and/or replace said improvements at its expense. The District shall maintain insurance consistent with the Colorado Governmental Immunity Act ("CGIA"). To the extent allowed by law, and without waiving any protections under the CGIA, the District shall be responsible for any damages caused by the negligent act or omission of District, its employees, and contractors while on Grantor's property in connection with this Easement or caused by District's facilities/infrastructure located in the Easement Area.

10. The District is acquiring the rights in the subject property in order to ensure to the District an easement for the exercise of the District's functions, and that the exercise of any rights in the subject property other than those retained by the Grantor shall be within the discretion of the District. The District agrees to permit and authorize such other uses of the subject property, not reserved in the Grantor, as will not impair the District's rights, upon such terms, limitations, and conditions as the District shall find reasonably necessary to protect its easement without undue or unnecessary injury to or impairment of the estate retained by the Grantor.

11. The District agrees that at such time and in the event that the line and/or Easement are abandoned by the District or any permitted assignee by written notice to Grantor, such Easement shall terminate and the real property interest represented by such Easement shall revert to the Grantor, its successors and/or assigns, and District shall cooperate with Grantor to execute any necessary recordable documentation to clear title to the easement property.

12. Each and every one of the benefits and burdens of this Agreement are intended to run with the land and shall inure to the benefit of and be binding upon the respective successors and assigns of the parties.

13. Unless special provisions are listed below or attached, the above constitutes the whole agreement between the parties and no additional or different oral representation, promise, or agreement shall be binding on any of the parties with respect to the subject matter of this instrument. To the extent that any special provisions are in conflict with any other provisions, the special provisions shall control and supersede any other term or provisions.

SPECIAL PROVISIONS: NONE.

[Signature pages follow.]

IN WITNESS WHEREOF, the parties hereto have executed the within Agreement as of the day and year first above written.

THE BOARD OF COUNTY COMMISSIONERS OF AND FOR THE COUNTY OF ADAMS, STATE OF COLORADO, a body corporate and politic and a political subdivision of the State of Colorado

By:

Steven J. O'Dorisio, Chair

ATTEST:

By: _____

APPROVED AS TO FORM

County Attorney

STATE OF COLORADO)) ss. COUNTY OF)

The foregoing instrument was acknowledged before me this _____ day of _____, 2019, by _____, as _____ and ______ as _____ of the County of Adams, State of Colorado.

Witness my hand and official seal:

Notary Public

My commission expires:

BERKELEY WATER AND SANITATION DISTRICT

By:

Maynard King, President

ATTEST:

Philip Cipri, Secretary

STATE OF COLORADO)) ss. COUNTY OF Again 5)

The foregoing instrument was acknowledged before me this _____ day of _____, 2019, by Maynard King, President and Philip Cipri, Secretary, of Berkeley Water and Sanitation District.

De

Witness my hand and official seal:

My commission expires:

SHARON JOAN WHITEHAIR NOTARY PUBLIC STATE OF COLORADO NOTARY ID 20114039925 MY COMMISSION EXPIRES 06-29-2019

2019

00189607-8

EXHIBIT A

-



EXHIBIT

BERKELEY ESTATES SANITARY SEWER EASEMENT 01

EASEMENT DESCRIPTION

A PARCEL OF LAND BEING A PORTION OF THE PROPERTY DESCRIBED IN DOCUMENT RECORDED UNDER REC. NO. 2009000017689, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN MONUMENTED BY A 3-1/4" ALUMINUM CAP STAMPED "PLS 16406, 1996" AT THE SOUTHEAST CORNER AND A 3-1/4" ALUMINUM CAP STAMPED "PLS 20160" AT THE EAST QUARTER CORNER. SAID LINE BEING ASSUMED TO BEAR N00°13'28"W, A DISTANCE OF 2,640.17 FEET.

COMMENCING AT THE SOUTHEAST CORNER OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN;

THENCE ON THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 8, N00°13'28"W A DISTANCE OF 1,309.42 FEET, TO A POINT ON THE SOUTHERLY LINE OF THAT PROPERTY DESCRIBED IN DOCUMENT RECORDED UNDER RECEPTION NO. 2009000017689;

THENCE ON SAID SOUTHERLY LINE, S89°46'28"W A DISTANCE OF 23.00 FEET, TO THE POINT OF BEGINNING;

THENCE CONTINUING ON SAID SOUTHERLY LINE, S89°46'28"W A DISTANCE OF 25.00 FEET;

THENCE DEPARTING SAID SOUTHERLY LINE, N00°13'28"W A DISTANCE OF 81.97 FEET;

THENCE N22°44'18"E A DISTANCE OF 73.47 FEET, TO A POINT ON THE WESTERLY LINE OF THE SEWER LINE EASEMENT (BE-17) DESCRIBED IN DOCUMENT RECORDED UNDER RECEPTION NO. C0272497;

THENCE ON SAID WESTERLY LINE, S09°06'14"E A DISTANCE OF 47.39 FEET;

THENCE DEPARTING SAID WESTERLY LINE, S22°44'18"W A DISTANCE OF 28.14 FEET;

THENCE S00°13'28"E A DISTANCE OF 76.89 FEET, TO THE POINT OF BEGINNING;

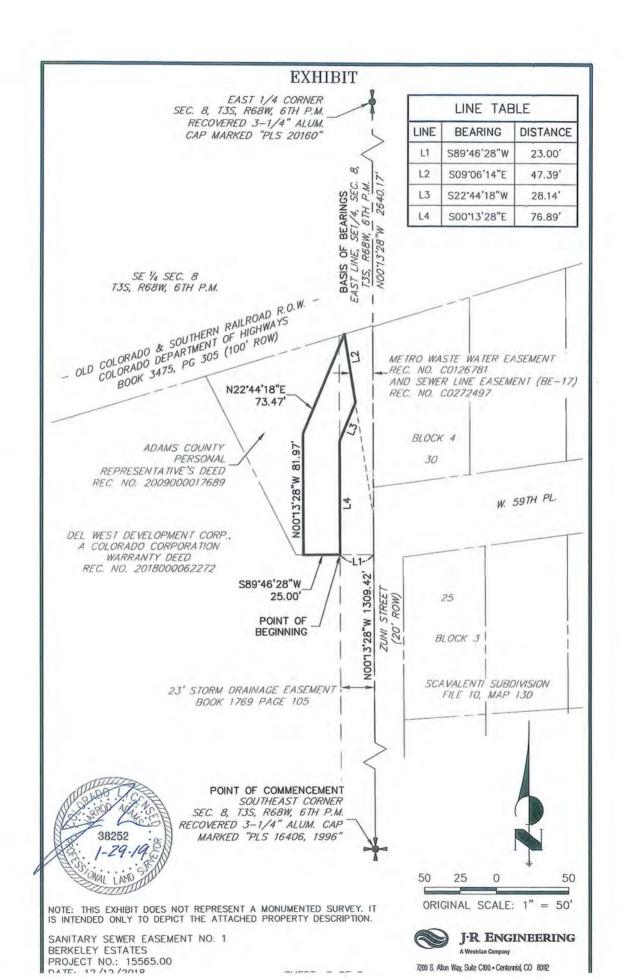
CONTAINING A CALCULATED AREA OF 3,256 SQUARE FEET OR 0.0747 ACRES.

PROPERTY DESCRIPTION STATEMENT

I, JARROD ADAMS, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF COLORADO, DO HEREBY STATE THAT THE ABOVE PROPERTY DESCRIPTION AND ATTACHED EXHIBIT WERE PREPARED UNDER MY RESPONSIBLE CHARGE, AND ON THE BASIS OF MY KNOWLEDGE, INFORMATION AND BELIEF, ARE CORRECT.

JARROD ADAMS, PROFESSIONAL LAND SURVEYOR COLORADO NO. 38252 FOR AND ON BEHALF OF JR ENGINEERING, LLC





= x



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: April 9, 2019
SUBJECT: Abatements
FROM: Meredith P. Van Horn, Assistant Adams County Attorney; Lorena D. Boston, CBOE/Abatement Coordinator
AGENCY/DEPARTMENT: County Attorney
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: YES NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the recommendations of the Assessor's Office for the attached abatement petitions.

BACKGROUND:

The Assessor's Office reviewed the attached abatement petitions concerning tax years 2016, 2017 and 2018, and has agreed to the abated values for the respective accounts. The findings and recommendations of the Assessor's Office are attached hereto for approval and adoption.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Assessor's Office

ATTACHED DOCUMENTS:

Resolution Summary Findings and Recommendations of the Assessor's Office

FISCAL IMPACT:

Please check if there is no fiscal impact \boxtimes . If there is fiscal impact, please fully complete the section below.

Fund:

Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object	Subledger	Amount
	Account		
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested:	YES	
Future Amendment Needed:	YES	

Add	litiona	l Note:

BOARD OF COUNTY COMMISSIONERS FOR ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING ABATEMENT PETITIONS AND AUTHORIZING THE REFUND OF TAXES FOR ACCOUNT NUMBERS R0006955, R0189801, R0152721, P0033562, P0033244, P0036419, AND P0036861

WHEREAS, pursuant to C.R.S. § 39-1-113, the Board of County Commissioners may approve abatement petitions concerning property tax assessment and may refund taxes associated therewith; and,

WHEREAS, the attached petitions for account numbers R0006955, R0189801, R0152721, P0033562, P0033244, P0036419, and P0036861 have been processed, reviewed, and approved by the Adams County Assessor's Office; and,

WHEREAS, information regarding the initial assessed value and the justification for reduction in assessed value and refund of taxes is included for each property in the documentation attached; and,

WHEREAS, it is the recommendation of the Assessor's Office that these petitions be approved and refunds be issued by the Board of County Commissioners; and,

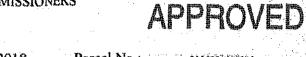
WHEREAS, for account numbers R0189801, R0152721, and P0033562, approval by the Board of County Commissioners shall be forwarded as a recommendation to the Colorado Property Tax Administrator for review and approval as required by C.R.S. §§ 39-1-113(3) and 39-2-116.

NOW, THERFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the abatement petitions for account numbers R0006955, R0189801, R0152721, P0033562, P0033244, P0036419, and P0036861 are hereby approved.

BE IT FURTHER RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the resolution approving the petitions for account numbers R0189801, R0152721, and P0033562 be forwarded, for review, to the Colorado Property Tax Administrator to approve the abatement petitions for these Properties.



ASSESSOR'S RECOMMENDATION BOARD OF COUNTY COMMISSIONERS



Account No :	R0006955				
Petition Year :	2017	Date Filed :	3/13/2018	Parcel No : 01569210070	104
Petition of :	Dam Anthony Trust,	The			·
Address :	14000 Telluride				
City :	Brighton	State :	CO	Zip Code : 80601	• :

Property Location : West of Barr Lake - and east of I-76 and north of 136 th Ave

			PETITIONER'S VAL	IER'S VALUES ASSESSOR'S ASSIGNED			TAX WARRANT		
Code	OCC		Actual Value	Value for A.		Actual Value	Value for A.	\$ AM	OUNT
	442	L:	\$15,294		L:	\$15,294	\$4,440	A. Ratio	29.00%
		I:	\$49,706		Ŀ	\$95,170	\$27,600	Mill Levy	93.914
TOT	TALS :	l .	\$65,000	\$18,850		\$110,464	\$32,040	Tax	\$3,009.00

Petitioner's Statement :

The Building is in below average condition - vacant and the land is zoned A-2. So the value overall is not supportive of the value assessed.

Assessor's Report

Situation :

The building is vacant and needs attention or removal. The land is also a smaller nonconforming lot for the zoning which is said to be A-2.

Action :

Using the cost approach to value the property is noted as being valued at \$65,000."

Recommendation :

A reduction in value is estimated from using appraisal techniques.

	<u>.</u>	ASSESSOR	'S RECO	MMENDED	ADJUSTMENT		1
	- VALUE REDUCTION		= VAL. RECOMMENDATION		TAX DOLLARS		
Code	OCC	Actual Va		Val for A	Actual Val.	Val for A.	- Adjustment
RE	442	L:	\$0	\$0	L: \$15,294	\$4,440	\$1,238.72
		I: \$4	5,464	\$13,180	I: \$49,706	\$14,410	= Adjusted Tax
TOT	TALS :	\$4	5,464	\$13,180	\$65,000	\$18,850	\$1,770.28

2-4-2019

Appraiser

Date

Edward Hermann Certified General Appraiser

2/4/2019

County ADAMC	
	Date Received RECEIVED (Use Assessor's or Commissioners' Date Stamp)
Section I: Petitioner, please complete	to Section I only.
Date: 03 13 2018	MAR 1 3 2018
Month Day Year	OFFICE OF THE
Petitioner's Name: DAM A	ANTHONY TRUST THEADAMS COUNTY ASSESSOR
Petitioner's Mailing Address: 120	
BRIGHTON	CP 80602
City or Town	State Zip Code
SCHEDULE OR PARCEL NUMBERIS)	PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY
	BOILTON, CO 80601
above property for the property tax year the taxes have been levied erroneously of	und of the appropriate taxes and states that the taxes assessed against the are incorrect for the following reasons: (Briefly describe why or illegally, whether due to enoneous valuation, irregularity in levying, additional sheets if necessary.)
20MING AZ ACCOM	ERTY FOR 65,000 CURRENTLY RDING TO ADAMS COUNTY PLANNING
DEPARTMENT. IT !	WING TO ADAMS COUNTY PLANNING SHIP ROCESS TO REEDING, REPLATEAND CONCEPTUAL SUS,000 2017, PLAN REVIE VIEW WITH PLANNING DEPAR second degree, that this petition, together with any accompanying exhibits second degree, that this petition, together with any accompanying exhibits mined by me, and to the best of my knowledge information and balled is
Patitioner's estimate of value;	\$65,000 2017 PLAN REV.
1 11/ -	VOR YOUR WITH PLANNING Destra
or statements has chein prepared or exa rue, composition complete.	BULLENER OF LEVEL OF N OF SHE DAGE AF SHE UNDER OUT AND A DATA SHE WANTER A
Petitioner's Signature	Daytime Phone Number (120) 285-9333 Email VINCEDAM 0070 GrupiL, Cong
「中国学家の意味を読むです。」という。	Email VINCEDAM 0070 Compile Comp
	· · · · · · · · · · · · · · · · · · ·
	Daytime Phone Number (
By Agent's Signature*	Daytime Phone Number () Email
Agent's Signature	Emai
Agent's Signature* *Lotter of agency must be attached when petiti- If the Board of County Commissioners, pursuant to denies the petition for refund or abatement of base	Emai
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Agent's Signature* *Lotter of agency must be attached when petiti- If the Board of County Commissioners, pursuant to denies the petition for refund or abatement of taxe to the provisions of § 38-2-125, C. R. S., within thirt	Email ion is submitted by an agent. to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., es in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant
Agent's Signature* *Lotter of agency must be attached when petiti- If the Board of County Commissioners, pursuant to denies the petition for refund or abatement of taxe to the provisions of § 39-2-125, C.R.S., within thirt	Email
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Agent's Signature* 'Lotter of agency must be attached when petiti- if the Board of County Commissioners, pursuant to tenios the petition for refund or abatement of taxe to the provisions of § 39-2-125, C.R.S., within third Section II: Assi Tax Year _	Email lon le submitted by an agent. le § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., es in whole or in pair, the Pelitioner may appeal to the Board of Assessment Appeals pursuant ty days of the entry of any such decision, § 39-10-114-5(1), C.R.S. leSSor's Recommendation (For Assessor's Use Only)
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*Lotter of agency must be attached when petiti- If the Board of County Commissioners, pursuant to denies the petition for rebuild or abatement of taxe to the provisions of § 38-2-125, C.R.S., within thin Section II: Asso <u>Actual Asses</u> Original <u></u> Corrected <u></u> Abate/Refund <u></u> I the request for abelement is based upon the gro notest to such valuation has been filed and a Note Tax year: Proteet? [] No [] Ye	Email Ion Io submitted by an agent. to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., as in whole or in part, the Pelitioner may appeal to the Board of Assessment Appeals pursuant by days of the only of any such decision, § 39-10-114.5(1), C.R.S. ressor's Recommendation (For Assessor's Use Only) seast Tax should above, number of reverseluation, no abatement or refund of taxes shall be made if an objection or tide of Determination, has been mailed to the taxesyster, § 39-10-114(1)(a)(1)(D), C.R.S. se (if a protest was filed, please stach a copy of the NOD.)
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FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY (Section III.g; Section IV must be completed) Every petilion for abelement or refund field pursuant to section 34-10-114 shell be acted upon pursuant to the provisions of this section by the board of county commissioners or the assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

Section III:			greement of	Assessor and Petitioner	
abatement or	tions for abatem refund in an am	ent or refund and i ount of one thous lance with § 39-1	to settle by writte and dollars or les	orize the assessor by Resolution n mutual agreement any such pa s per tract, parcel, or lot of land of	stition for
The assesso	•		to the values an	d tax abatoment/rolund of:	
		az Yoar			
	Actual	Assessed	Icz		
Originai				· ·	
Corrected					
Abate/Refund					
		nckude accrued interes / Insasurer for full pays		associated with late and/or delinquent to	ax payments, if
Politionar's Sign	naturo		Data		
Assessor's or D	eputy Assessor's S	(gnaturə	Date		
Section IV:		Decision of (Must be con	the County (commissioners doos not apply)	
WHEREAS, T	he County Com		•	County, State of Colorado, at a	a duly and lawfully
called regular	meeting held or	1 / / Month Day Yes	, at which me	eting there were present the foll	owing members:
		warne way in			
	•		•	ring been given to the texpayer i	
				(being present-	
petitioner	Nor			sent-not present), and WHERI	
NOW BE IT R	ESOLVED, Tha	t the Board (agre	es-does not ag	tion, and are fully advised in rela ree) with the recommendation of an abatement/retund as follows:	the assessor
Year /	Assessed Value	Taxes Abate/Refu	nd	-	
			Chairper	son of the Board of County Commiss	ioners' Signature
I. in and for the record of the	aforementioned	County, do hereby	y certify that the a	ficio Clerk of the Board of Coun bove and foregoing order is trul	ly Commissioners y copied from the
		ive hereunto set r	ny hand and affo	ed the seal of said County	
this	day of	Month	Year		
				County Clerk's or Deputy Cour	ity Clark's Signature
Note: Abatemen	ts greater than \$1,00	10 per schedule, per y	ear, must be submitte	d in duplicate to the Property Tax Admin	histrator for review.
Castlen M.		Antion of the	Deanants: Ta	v Adminiator	
Section V:			e Property 18 abatements greater	x Administrator than \$1,000j	
The action of	the Board of Co	unty Commission	ers, relative to th	e within petition, is hereby	
Approved	Approved in	part \$	0	Denied for the following reason	(5):
Sec	retary's Signature	*******	Proper	ly Yax Administrator's Signature	Date
15-DPT-AR No.	920,66,02				

			이 이 이 이 이 이 이 이 이 이 이 이 이 이 이 이 이 이 이	COMMENDATION TY COMMISSIONER	s de la companya de la company Reference de la companya de la company	APPROVED
	unt No :	R0189801	· · · · · · · · · · · · · · · · · · ·			
1987 - 1987 - 1997 - 1987 - 1987 - 1987 - 1987 - 1987 - 1987 - 1987 - 1987 - 1987 - 1987 - 1987 - 1987 - 1987 -	n Year :	2016	Date Filed :	12/19/2018	Parcel No :	0182507401018
	on of :	D AND M INVESTME			and a second	
Ac	dress :	5870 Tennyson Stre			·	· · · · · · · · · · · · · · · · · · ·
	City :	Arvada	State :	CO	Zip Code :	80003
<u>.</u>	· · ·	PETITIONER'S REQUE	STED VALUES	ASSESSOR'S ASSI	GNED VALUES	TAX WARRANT
Code	000	Actual Value	Value for A.	Actual Value	Value for A.	
1899) 19	407	L:		L: \$999,233	\$289,780	A. Ratio 29.00%
		l:		l: \$4,481,160		Mill Levy 118.114
TOT	TALS :	\$3,915,100	\$1,135,380	\$5,480,393	\$1,589,320	Tax \$187,721
Petition Val		ned exceeds market va	lue.		 	
Assesso	r's Repo	rt				
Situa		-				
Actio						
Rev	viewed p	etitioners documentat	ion and made f	urther analysis.		. · · ·
						· · · ·
					· .	
Recoi	mmendo	ntion :			ki dilana ang kating di di da kasadi ti	
Ar	eductior	n in value is estimated i	from using appr	aisal techniques.	un den den seinen den den den den den den den seinen den seinen den seinen den seinen den seinen den seinen den	anan manana kata kata kata kata kata kata kata
			SSESSOR'S RECO	MMENDED ADJUSTI	VIENT	
<u> </u>		- VALUE REDUCTION		= VAL. RECOMMEN		TAX DOLLARS
Code	OCC	Actual Val.	Val for A.	Actual Val.	Val för A.	- Adjustment
RE	407	L: \$0	\$0		\$289,780	
		1: \$389,493	\$112,950		\$1,186,580	· · · · · · · · · · · · · · · · · · ·
TQ:	TALS :	\$389,493	\$112,950	\$5,090,900	\$1,476,360	\$174,378.79
	X			March 12, 2019	•	
Apprais				Date		
	on Whee					
Certifie	d Gener	ral Appraiser				

(a) a production of the second secon second second sec	County: Adams	والمراجع فيجرج المراجع	Date Received	
			(Use Assessor's	RECEIVED
· · · ·		in a second		CIVED
	Section I: Petitioner, please complete Se	ction I only.	1	Nro
	Date: December 19 2018	1. Sec. 1.	-	DEC 27 2018
	Month Day Year			
	Petitioner's Name: D&M Investments, LLC	• .	ADAN	OFFICE OF THE
	Petitioner's Mailing Address; c/o Sterling Prop	erty Tax Specialists Inc		ASSESS
	950 S. Cherry Street, Suite 320 Denver	CO	80246	·
	City or Town	Slate	Zip Code	
	SCHEDULE OR PARCEL NUMBER(S) R0189801	PROPERTY ADDR 5870 Tennyson St		RIPTION OF PROPERTY
	·*** *****************************		····	•
	Petitioner states that the taxes assessed aga incorrect for the following reasons: (Briefly d Attach additional sheets if necessary.)	ainst the above prope fescribe the circumsta	rty for the property tax inces surrounding the	year 2016 are incorrect value or tax.
	Please see attached.		,	
		· .		
	Petitioner's estimate of value: \$_3	1,915,100 ((2016) Year	
	Petitioner requests an abatement or refund of Interface upday compatible of protocols to the people of the p			and second public out the
	 I declare, under penalty of perjury in the second or statements, has been prepared or examinative, correct, and complete. 	and by me, and to the	best of my knowledge	, information and belief, is
	ż	Daytime	Phone Number ()
-	Petitioner's Signature	· /		
	By Acla Caper	Daytime	Phone Number (30	3) 757-8865
	By Darla & Jaramillo for Sterling Property Tax 5			· .
	"Letter of agency must be attached when petition is	submitted by an agent.		
	If the board of county commissioners, pu pursuant to section 39-2-116, denies the p petitioner may appeal to the board of asse within thirty days of the entry of any such	petition for refund or essment appeals pu	r abatement of taxes revant to the provis	in whole or in part, the
1	Section II: Asse	ssor's Recomme	andation	
		(For Assessor's Use Only	A)	
	Tax Year	<u>-</u>		
	Actuzi Ausenceat	Tax		
	Original			
	Corrected			
		· · · · · · · · · · · · · · · · · · ·	· · ·	
and the second second	Abate/Refund	········		
	Assessor recommends approval as ou	utlined above.		
	E sa la managera de	(If a protest was fil		of the NOD.)
	No protest was filed for the year:			
	No protest was filed for the year: Assessor recommends denial for the f			
	1			
	1			

FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY (Section III of Section IV must be completed)

Section III:	W		for abatementa a	of Assessor and Petitioner (p to \$1,000)	
abatement or	tions for abatem	ent or refund and rount of one thous dance with § 39-1	to settle by writ and dollars or I	thorize the assessor by Resolutic ten mutual agreement any such p ess per tract, parcel, or lot of land S.	etition for
The assesso	or and petitione	r mutually agree	to the values i	and tax abatement/refund of:	
		Tax Year			
	Actual	Assessed	Tax	-	
Original		•	· .	•	
Corrected					
				•	
Abate/Refund				*	
		include accrued intere ly treasurer for full pay		es associated with late and/or delinquent	tax payments, if
Pelitioner's Sig	nature		Date		
Azzassor's or i	Jeputy Assessor's	Signature	Date		
		4181101014			
		De Jalan a	6 Alm a. 10	A	
Section IV:				Commissioners	
WHEREAS, 1	The County Con	nmissioners of		County, State of Colorado. at	a duly and lawfully
called regula	r meeting held o	n//	, at which r	neeting there were present the fol	lowing members:
-	-	Month Day Ye	ar		· · ·
			(· · ·	
- the motion of	h mastion a		to he present }	mine have short to the ternewer	and the Arsector
	-		· · ·	laving been given to the taxpayer	
or addu udurn	A Sun waaaaan		Name	(being present	nor hearing and
petitioner	Nit		(being p	resentnot present), and WHER	EAS, The said
County Comr NOW BE IT F	missioners have RESOLVED, Th	carefully consider at the Board (agree	ed the within p es-does not i	etition, and are fully advised in rel igree) with the recommendation of th an abatement/refund as follows	ation thereto, of the assessor
	• • • • • • • • • • •	·····			
Year	Assessed Value	Taxes Abste/Ref	ind		· .
Year	Assessed Value	Taxes Abate/Ref		person of the Board of County Commis	sioners' Signature
I. in and for the	aforementioner	Count	Chain y Clerk and Ex y certify that th	officio Clerk of the Board of Cour e above and foregoing order is tru	ty Commissioner
i, in and for the record of the IN WITNESS	aforementioner proceedings of WHEREOF, it	Count county, do hereb the Board of Cour have hereunto set	Chain y Clerk and Ex y certify that th ty Commission	officio Clerk of the Board of Cour e above and foregoing order is tru	ty Commissioner
i, in and for the record of the IN WITNESS	aforementioner proceedings of	Count county, do hereb the Board of Cour have hereunto set	Chain y Clerk and Ex y certify that th ty Commission	-officio Clerk of the Board of Cour e above and foregoing order is tru- ers.	ty Commissioner
i, in and for the record of the IN WITNESS	aforementioner proceedings of WHEREOF, it	Count county, do hereb the Board of Cour have hereunto set	Chain y Clerk and Ex y certify that th ty Commission	-officio Clerk of the Board of Cour e above and foregoing order is tru- ers.	ty Commissioners by copied from the
l, in and for the record of the IN WITNESS this	aforementioner proceedings of WHEREOF, I I day of	Count county, do hereb the Board of Cour ave hereunto set Month	Chain y Clerk and Ex y certify that in ty Commission my hand and a <u>Year</u>	officio Clerk of the Board of Cour e above and foregoing order is tru- ers. ffixed the seal of said County	ity Commissioners ay copied from the nty Clerk's Signature
I, in and for the record of the IN WITNESS this	aforementioner proceedings of WHEREOF, I I day of	Count county, do hereb the Board of Cour ave hereunto set Month	Chain y Clerk and Ex y certify that in ty Commission my hand and a <u>Year</u>	officio Clerk of the Board of Cour e above and foregoing order is truers. fixed the seal of said County County Clerk's or Deputy Cou	ity Commissioner ay copied from the nty Clerk's Signature
l, in and for the record of the IN WITNESS this	aforementioner proceedings of WHEREOF, I I day of	Count I county, do hereb the Board of Cour have hereunto set Month 300 per schedule, per y Action of th	Chain y Clerk and Ex y certify that th ty Commission my hand and a .' <u>Year</u> ear, must be subm	officio Clerk of the Board of Cour e above and foregoing order is tru- ers. flixed the seal of said County County Clerk's or Deputy Cou litted in duplicate to the Property Tax Administrator	ity Commissioner ay copied from the nty Clerk's Signature
I in and for the record of the IN WITNESS this Note: Abatemer Section V:	aforementioner proceedings of WHEREOF, I h day of hts greater than \$1,0	Count d county, do hereb the Board of Cour have hereunto set Month 300 per schedule, per y Action of th (For all	Chain y Clerk and Ex y certify that th ty Commission my hand and a 'Year ear, must be subm ear, must be subm e Property 1 abatements grea	officio Clerk of the Board of Cour e above and foregoing order is tru- ers. Iffixed the seal of said County County Clerk's or Deputy Cou- litted in duplicate to the Property Tax Admin fax Administrator ter than \$1,000)	ity Commissioner ay copied from the nty Clerk's Signature
I in and for the record of the IN WITNESS IN WITNESS Note: Abatemer Section V: The action of	aforementioner proceedings of WHEREOF, I I day of hts greater than \$1,0 the Board of Ci	Count d county, do hereb the Board of Cour have hereunto set Month 200 per schedule, per y Action of th (For all ounty Commission	Chain y Clerk and Ex y certify that th ty Commission my hand and a 'Year ear, must be subm ear, must be subm ers, relative to	officio Clerk of the Board of Cour e above and foregoing order is tru- ers. Iffixed the seal of Said County County Clerk's or Deputy Cou- litted in duplicate to the Property Tax Admin fax Administrator ter than \$1,000) the within petition, is hereby	ity Commissioner ay copied from the nty Clerk's Signature inistrator for review.
I. In and for the record of the IN WITNESS IN WITNESS Note: Abatemer Section V: The action of	aforementioner proceedings of WHEREOF, I I day of hts greater than \$1,0 the Board of Ci	Count d county, do hereb the Board of Cour have hereunto set Month 200 per schedule, per y Action of th (For all ounty Commission	Chain y Clerk and Ex y certify that th ty Commission my hand and a 'Year ear, must be subm ear, must be subm ers, relative to	officio Clerk of the Board of Cour e above and foregoing order is tru- ers. Iffixed the seal of said County County Clerk's or Deputy Cou- litted in duplicate to the Property Tax Admin fax Administrator ter than \$1,000)	ity Commissioners ay copied from the nty Clerk's Signature inistrator for review.
I. In and for the record of the IN WITNESS IN WITNESS Note: Abatemer Section V: The action of	aforementioner proceedings of WHEREOF, I I day of hts greater than \$1,0 the Board of Ci	Count d county, do hereb the Board of Cour have hereunto set Month 200 per schedule, per y Action of th (For all ounty Commission	Chain y Clerk and Ex y certify that th ty Commission my hand and a 'Year ear, must be subm ear, must be subm ers, relative to	officio Clerk of the Board of Cour e above and foregoing order is tru- ers. Iffixed the seal of Said County County Clerk's or Deputy Cou- litted in duplicate to the Property Tax Admin fax Administrator ter than \$1,000) the within petition, is hereby	ity Commissioners ay copied from the nty Clerk's Signature inistrator for review.
I, in and for the record of the IN WITNESS this	aforementioner proceedings of WHEREOF, I I day of hts greater than \$1,0 the Board of Ci	Count d county, do hereb the Board of Cour have hereunto set Month 200 per schedule, per y Action of th (For all ounty Commission	Chain y Clerk and Ex y certify that the ty Commission my hand and a <u>Year</u> ear, must be subm ear, must be subm	officio Clerk of the Board of Cour e above and foregoing order is tru- ers. Iffixed the seal of Said County County Clerk's or Deputy Cou- litted in duplicate to the Property Tax Admin fax Administrator ter than \$1,000) the within petition, is hereby	ity Commissioner ay copied from the nty Clerk's Signature inistrator for review.

15-DPT-AR No. 920-66/06

APPROVED

ASSESSOR'S RECOMMENDATION BOARD OF COUNTY COMMISSIONERS



Account No :	R0152721		2.5		and the second sec	
Petition Year :	2017	Date Filed :	1/22/2019	Parcel No : 0	1821-33-2-01-005	•
Petition of :	IPT AIRWAYS DC L	LC				
Address :	518 17TH ST FL 17					
City :	DENVER	State :	CO	Zip Code: 8	0202-4130	

Property Location :

2470 AIRPORT BLVD AURORA, CO 80011

			PETITIONER'S VALUES			ASSESSOR'S	ASSIGNED	TAX WARRANT	
Code	OCC		Actual Value	Value for A.		Actual Value	Value for A.	\$ AMO	UNT
	584	L:	\$1,625,594	\$471,420	L:	\$1,625,594	\$471,420	A. Ratio	29.00%
1 - E		L	\$12,979,018	\$3,763,920	1:	\$13,569,940	\$3,935,280	Mill Levy	139.597
ТОТ	ALS :		\$14,604,612	\$4,235,340		\$15,195,534	\$4,406,700	Tax	\$615,162.10
Datitian	and a Cland		anna an an an an an Anna an Ann		line and				

Petitioner's Statement :

PROPERTY VALUE WAS ADJUSTED IN 2018 (AT THE COUNTY BOARD OF EQUALIZATION APPEAL). REQUEST SAME ADJUSTMENT BE ENTERED FOR 2017.

Assessor's Report

Situation :

- THE SUBJECT'S VALUE WAS APPEALED IN 2018. THE VALUE WAS STIPULATED BEFORE THE COUNTY BOARD OF EQUALIZATION HEARING AT \$14,604,612.

Action :

ADJUST THE 2017 VALUE BASED ON THE 2018 STIPULATION REACHED BEFORE THE COUNTY BOARD HEARING.

Recommendation:

CHANGE THE 2017 VALUE TO EQUAL THE 2018 STIPULATED VALUE CONCLUDED BY THE BOARD OF EQUALIZATION.

			- VALUE REDUCTION			AL. RECOMM	ENDATION	TAX DOLLARS
Code	OCC		Actual Val.	Val for A.		Actual Val.	Val for A.	- Adjustment
RE	584	L:	SO	\$0	L:	\$1,625,594	\$471,420	\$23,921.34
		1:	\$590,922	\$171,370	I:	\$12,979,018	\$3,763,920	= Adjusted Tax
TOT	ALS :		\$590,922	\$171,370	ľ	\$14,604,612	\$4,235,340	\$591,240.76

July D. D. Jamer 2/1/19

FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY

Every paillon for abatement of / Board of County Commissioners	efury: filed pursuant to 6 30	or Section IV must be completed) -10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by t mote, within six mentils of the date of hing such petition, § 39-1-112(1,7), C.R.S.
	on Mutual Agreem	ent of Assessor and Petitioner or aliatements up to \$10,000)
abatement or refund in an	tement or refund and to amount of \$10,000 cr	County authorize the Assessor by Resolution No. o settle by written mutual agreement any such petition for less per tract parcel, or lot of land or per schedule of personal
property, in accordance wi The Assessor and Petitik	지수는 동생은 바람이 가지 않는 것이 없는 것이 없다.	R.S. In the values and tex sbatament/refund of:
	Tax Yoar	
Actual	Assussed	
Original		
Corrected		
Abate/Refund		n andre state in the second second Second second
Note: The lotal tax amount does applicable. Please contact the C		t, paraities, and fees associated with late und/or delinquent tax payments, if ment information.
Pautioner's Signature		Date
Assessor's or Deputy Assesso	w'e Signeture	Data
Section IV:	Decision of th	e County Commissioners
(Must be completed if Section		
WHEREAS, the County C called regular meeting heli	ommissioners of d on// Month Day Yei	at which meeting there were present the following members:
with notice of such meetin of said County and Assess		o be present having been given to the Petitioner and the Assessor (being presentnot present) and
Petilioner	Namo	Name (being present-not present), and WHEREAS, the said
NOW BE IT RESOLVED I	ive carefully considered hat the Board <i>(agrees</i>	d the within petition, and are fully advised in relation thereto, does not agree) with the recommendation of the Assessor, - par(denied) with an abatement/refund as follows:
Year Assessed Value	i Taxes Abala/Relu	
		Chairperson of the Board of County Commissioners' Signature
I, In and for the aforemention record of the proceedings	ned county, do hereby	Clerk and Ex-Officic Clerk of the Board of County Commissioners certify that the above and foregoing order is truly copied from the y Commissioners.
IN WITNESS WHEREOF,	I have hereunto set m	y hand and affixed the seal of said County
this day of	Month	Year
	(1970) 4443	County Clerk's or Deputy County Clerk's Signature.
Nole: Abalements greater than :	\$10,000 per schedule, per y	vear, must be submitted in digitizate to the Property Tax Administrator for review.
Section V:		Property Tax Administrator botoments greater than \$10,000)
The action of the Board of	County Commissioner	rs, relative to this petition, is hereby Dented for the following reeson(s):
Sacratary's Signati	1	Propeny Tex Administrator's Signature Data
15-OPT-AR No. 920-66/15		



FEB 1 4 2019

OFFICE OF THE ADAMS COUNTY ASSESSOR

	ABATEMENT FO	R TAX YEAR:	2018	
	TODAYS DATE	02/05/19	·	
BUSINESS NAME:	CUSTOM TRU	CK AND EQUIP	PMENT	
ACCOUNT NUMBER:	P0033562	· · · · · · · · ·		
PARCEL NUMBER:				
	ACTUAL	ASSESSED	MILL	TAX
	VALUE	VALUE	LEVY	DOLLARS
ORIGINAL VALUE	\$718,572	\$208,390	92.308	\$19,236.06
REVISED VALUE	\$278,801	\$80,850	92.308	\$7,463.10
ABATED VALUE	\$127,540	92.308	\$11,772.96	

Provide your reason for the Abatement/Added in the space below:

Inappropriately added value based on a building permit. County error.

ADDED ASSESSMENT FOR TAX YEAR:

m 1/2 2/14/19

BUSINESS NAME:				
ACCOUNT NUMBER:				
PARCEL NUMBER:				
	ACTUAL	ASSESSED	MILL	TAX
	VALUE	VALUE	LEVY	DOLLARS
ORIGINAL VALUE		\$0		\$0.00
REVISED VALUE		\$0	0	\$0.00
ADDED VALUE	\$0	\$0	0	\$0.00

i `	ETITION FOR	ABATEME	NI OR REFU	JND OF TAXES
County Adam	<u>1 5</u>		Date	e Received
			(Uae	Assessor's or Commissioners' Date Stemp)
Section I: Petitioner	r. please complet	e Section Loniv.		
· · · · · ·	- 1G		· · · · · ·	
Date: <u> </u>	<u>2 / 1</u> Nau Year			
/*·V-1955 @*				
Petitioner's Name:	Custur	n Tru	ck and	Elin pment
Petitioner's Mailing Ac		21 Inc		and a Arde
Kansas		<u> </u>	all all a second	(1419 C
<u>JS AN CAS</u> City of			/ V	Zip Code
	···· /	***	urc.	· · ·
SCHEDULE OR PARCE				DESCRIPTION OF PROPERTY
P00335	61	545	2 <u>ha 2</u> d	Le Ave
**************************************			-	na 1990'na marta a sa
above property for the	e property lax year	2018 at	e incorrect for the f	tes that the taxes assessed against the taxes assessed against the taxes assessed against the taxes the taxes as the taxes are taxes as the taxes as
lhe laxes have been i	levied erroneously	or illegably, wheth	ner due to erroneou	is valuation, irregularity in lewing.
ciencal error, or overv	nauauon. Allach a	admonal sheets i	macessary.	d from what
· · ·	•	2	il nece	wa > -
the the pa	is on Repu	rtld	-	
Petitioner's estimate	* *		1 (2018)	
· ····		Value	Year	
í declara, under penal	lty of periary in the	second denree	that this notition to	gelher with any accompanying exhib
or statements, has be	en prepared or ex			knowledge, information, and belief,
true, correct, and com	plete)			
Spi /	Commence	n	adima Shano Nier	1001 (916) 410-2806
Petitioner's Sign	nature			Clusterntruck. Gr
		E	mail 2(1955	C-CUSTENT WCK. CO.
By Agent's Signatur	······································	D	aylime Phone Nun	nber ()
Agent's Signatur	4B.			
Printed Name:		E	mail	
*Letter of agency must be	o attached when petit	ion is submitted by a	an agent.	
If the Board of County Con-	nmissioners, pursuant (o § 39-10-114(1), C.R	S., or the Property Tan	Administrator, pursuant to § 39-2-116, C.R.S
	nd or abatement of taxe	es in whole or in pari, t	the Petitioner may appe	sal to the Board of Assessment Appeals pursu
	(23, G.P. 5, MIGHS (MI	ty mays or and write yo	any soon decision, gint	9-31-314-0(3), 12 H S.
to the pravisions of § 39-2-		essor's Reco	mmendation	
to the pravisions of § 39-2-	Ass			
to the pravisions of § 39-2-	Ass	(For Assessor's I)	so Only)	
to the pravisions of § 39-2-			so Only)	•
to the pravisions of § 39-2- <u>Section II</u> :	îax Year	(For Assessor's I)		
to the pravisions of § 39-2- Soction II:	îax Year	(For Assessor's I): ssed Tax		
to the pravisions of § 39-2- Soction II:	Tax Year ictual <u>Asse</u>	(For Assessor's I): ssed Tax		
to the provisions of § 39-2- Soction II: At Original Gorrected	Tax Year	(For Assessor's I):		
to the provisions of § 39-2- Soction II: At Original Gorrected	Tax Year ictual <u>Asse</u>	(For Assessor's I):		
to the provisions of § 39-2- Soction II: At Original Gorrected	Tax Year	(For Assossor's I): <u> <u> <u> </u> <u> </u></u></u>	s S Marine documento Marine and a second second Marine and second se	
to the provisions of § 39-2- Section II: Original Corrected Abate/Refund Assessor recomm	Tax Year	(For Assessor's U 5500 Tax hotelticularities shakes received as outlined above	ς 	nd of laxes shall be made if an objection or no
to the provisions of § 39-2- Section II: Au Original Corrected Abato/Refund Assessor recomm I the request for abatement	Tax Year	(For Assessor's U <u>Sseed</u> Tax nontributaneous as outlined above ounds of overvaluation	S Anticontrological C. D. Jog abaltement of certus	nd Maxes shall be made if an objection or pr a. § 33-10-114(1)(a)(i)(D, C R S.
to the provisions of § 39-2- Section II: An Original Corrected Abato/Refund Assessor recomm I the request for abatement	Tax Year	(For Assessor's U 5300 Tax Tax Tax Tax Tax Tax Tax Tax	S Anticontrolo C. D. og abalement or refu	a, § 39-10-114(1)(a)(0)(0). C R S.
to the provisions of § 39-2- Section II: Original Corrected Abato/Refund Assessor recomm If the request for abatement to such valuation has been	Tax Year	(For Assessor's U 5300 Tax Tax Tax Tax Tax Tax Tax Tax	S Annovember O, N, op abatement or rofin N mailed to like taxpaye	a, § 39-10-114(1)(a)(0)(0). C R S.
to the provisions of § 39-2- Section II: Original Corrected Abato/Refund Assessor recomm If the request for abatement to such valuation has been	Tax Year	(For Assessor's U: <u>\$290</u> Tax <u>beneficial assessment</u> beneficial assessment as outlined above ounds of overvaluation betermination has been 'es (if a protest was	s	a, § 39-10-114(1)(a)(0)(0). C R S.
to the provisions of § 39-2- Section II: And Configurat Configu	Tax Year	(For Assessor's U: <u>\$290</u> Tax <u>beneficial assessment</u> beneficial assessment as outlined above ounds of overvaluation betermination has been 'es (if a protest was	s	a, § 39-10-114(1)(a)(0)(0). C R S.
to the provisions of § 39-2- Section II: Abato/Refund Abato/Refund Abato/Refund Assessor recomming the request for abatement to such valuation has been Tas year:Prote	Tax Year	(For Assessor's U: <u>\$290</u> Tax <u>beneficial assessment</u> beneficial assessment as outlined above ounds of overvaluation betermination has been 'es (if a protest was	s	a, § 39-10-114(1)(a)(0)(0). C R S.
to the provisions of § 39-2- Section II: Original Corrected Abate/Refund Abate/Refund Assessor recomming the request for abatement to such valuation has been Tas year: Prote	Tax Year	(For Assessor's U: <u>\$290</u> Tax <u>beneficial assessment</u> beneficial assessment as outlined above ounds of overvaluation betermination has been 'es (if a protest was	6 6. n. oo abatement or cefu o mated to the taxpays filed, please ottach a t ason(s):	a, § 39-10-114(1)(a)(0)(0). C R S.

FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY (Section II) or Section IV must be completed) Every petition for abatement or refund (ited pursuant to \$ 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition. § 39-1-113(1.7), C.R.S.

Section III: Written Mutual Aç	Greement of Assessor and Petitioner (Only for abatoments up to \$10,000)
The Commissioners of to review petitions for abatement or refun abatement or refund in an amount of \$10 property, in accordance with § 39-1-113(County authorize the Assessor by Resolution No. d and to settle by written mutual agreement any such petition for ,000 or less per tract, parcel, or lot of land or per schedule of personal 1.5), C.R.S.
The Assessor and Petitioner mutually	agree to the values and tax abatement/refund of:
Tax Year	· · · · ·
<u>Actual</u> <u>Assess</u>	seri Tax
Orlgina)	
Corrected	Alexandra a A
Abate/Refund	
Note: The lotal tax amount does not include accrue applicable. Please contact the County Treasurer fo	o intereor, pénalties, and lees associated with late and/or delinquent tax payments, if I full payment information.
Petitioner's Signature	Daty
Assessor's or Deputy Assessor's Signature	Date

Section IV: Decision (Must be completed if Section III does not apply	of the County Commissioners
WHEREAS, the County Commissioners of	ofCounty, State of Colorado, at a duly and lawfully
called regular meeting held on / Month Da	 I which meeting there were present the following members: Year
Pelitioner Name County Commissioners have carefully co NOW BE IT RESOLVED that the Board ((being presentnot present) and Name (being presentnot present), and WHEREAS, the said insidered the within petition, and are fully advised in relation thereto, (agreesdoes not agree) with the recommendation of the Assessor, roved in partdenied) with an abatement/refund as follows:
	· · ·
	Chairperson of the Board of County Commissioners' Signature
	County Clerk and Ex-Officio Clerk of the Board of County Commissioners hereby certify that the above and foregoing order is truly copied from the I County Commissioners.
IN WITNESS WHEREOF, I have hereun	to set my hand and affixed the seal of said County
this day of Month	Year
Mapin	
	County Clerk's or Deputy County Clerk's Signature
Note. Abatements greater than \$10,000 per sched	iule, per year, must be submitted in duplicate to the Property Tax Administrator for review.
Section V: Action	of the Property Tax Administrator (For all abatements greater titen \$10,000)
	nissioners, relative to this petition, is hereby
Approved Approved in part \$	Denied for the following reason(s):
Socielary's Signature	Property Tax Administrator's Signature Dato
15-DPT-AR No. 920-66/17	<pre>content and an an</pre>

APPROVED

Å		p	PJ	90	VEN
	-	11			* []]

CSG

	ABATEMENT FO	R TAX YEAR:	2018	
	TODAYS DATE	02/05/19		
BUSINESS NAME:	MERICA INC	CAINC		
ACCOUNT NUMBER:	P0033244			
PARCEL NUMBER:				
	ACTUAL	ASSESSED	MILL	TAX
	VALUE	VALUE	LEVY	DOLLARS
ORIGINAL VALUE	\$54,810	\$15,890	131.187	\$2,084.56
REVISED VALUE	\$25,384	\$7,360	131.187	\$965.54
ABATED VALUE	\$29,426	\$8,530	131.187	\$1,119.03

Provide your reason for the Abatement/Added in the space below: Double assessed an item of personal property. County error.

ADDED ASSESSMENT FOR TAX YEAR:

and the second	the second s	and the state of the	the state of the s	and the second
BUSINESS NAME:				
ACCOUNT NUMBER:				
PARCEL NUMBER:				
	ACTUAL	ASSESSED	MILL	TAX
	VALUE	VALUE	LEVY	DOLLARS
ORIGINAL VALUE		\$0		\$0.00
REVISED VALUE		\$0	0	\$0.00
ADDED VALUE	\$0	\$0	0	\$0.00

county: Adams	
	(Use Assessor's or Consulsationars' Date Stamp)
ection I: Petitioner, please comple	ste Section I only.
lato: <u>25/9</u>	
S	ung Electronics America Inc
etitioner's Mailing Address: <u>12</u>	
Rentland	OR 97201
City or Town	State Zip Code
CHEDULE OR PARCEL NUMBER(S)	PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY
elitioner requests an abatement or re	elund of the appropriate laxes and states that the taxes assessed against the
e laves have been levied arronaous)	ar <u>2,018</u> are incorrect for the following reasons: (Briefly describe why by or lifegely, whether due to erroneous valuation, irregularity in lovying,
erical error, or overvaluation. Attach	eddillonal sheets if necessary.) uncl Property was double Assessed
na item of recui	NUM TENDERS AND ALL AND A
allianada astinula at ast	. 15284
elitioner's estimate of value:	8 <u>25,384</u> (2018) Visure
declare, under penalty of perjury in th	he second degree, that this petition, together with any accompanying exhibits
r statements, nos been prepared or e ue, correct, and complete.	examined by me, and to the best of my knowledge, information, and belief, is
Sember 1. 200	0.01 309-7154
/ Pelilloner's Signature	Email K. Seer-Psea. somethy.
y Agent's &ignelure*	Dayline Phone Number ()
rinled Name:	
가 되었다. 실행 가족한 것 같아요. 가 되었다. 또 말한 다 한 다 같은 것은 것 것 같은 것 같아. 가 같아. 것 같아. 것 같아.	<u>ann an </u>
eller of agency must be attached when pat	nnon m suddurat dy am adapt.
the Board of County Commissioners, pursuan	1 to \$ 38-10-114(1), C.R.S., or the Property Tex Administrator, pursuant to \$ 39-2-116, C.R.S.,
the Board of County Commissioners, pursuan	
the Board of County Commissioners, pursuan mas the petition for refund or sbatement of ta the provisions of § 39-2-128, C.R.S., within it	It is \$ 38-10-114(1), C.R.S., or the Property Tex Administrator, pursuant is \$ 39-2-116, C.R.S., treas in which or in part, the Palitaner may appeal is the Board of Assessment Appeals pursuant help days of the entry of any such decision; \$ 38-10-114.5(1), C.R.S. ISBESSOF'S Recommendation
the Bodent of County Commitsitioners, primum mass the polition for refund or sociernent of its the provisions of § 39-2-125, C.R.B., within th <u>endion.II:</u> AB	IN to \$ 38-10-114(1), C.R.S., or the Property Tex Adridistrator, pursuant to \$ 39-2-116, C.R.S., treas in whole or in part, the Palifianer may appeal to the Board of Assessment Appeals pursuant help days of the entry of any such decision, \$ 39-10-114.5(1), C.R.S. SERSEO'S Recommentation (For Assessor's Use Only)
the Board of County Commissioners, pursuan mise the polition for refund or obstaniers of the the provisions of § 39-2-128, C.R.S., within th <u>eption II:</u> Tax Your	IN to \$ 38-10-114(1), C.R.S., or the Property Tex Adridistrator, pursuant to \$ 39-2-116, C.R.S., treas in whole or in part, the Palifianer may appeal to the Board of Assessment Appeals pursuant help days of the entry of any such decision, \$ 39-10-114.5(1), C.R.S. SERSEO'S Recommentation (For Assessor's Use Only)
the Board of County Commissioners, pursuan miss the petition for refund or obstanement of the the provisions of § 39-2-125, C.R.S., within th <u>ection II:</u> Tax Your	It is \$ 38-10-114(1), C.R.S., or the Property Tex Adrianstrator, pursuant is \$ 39-2-116, C.R.S., treas in whole or is part, the Palitioner may appeal is the Board of Assessment Appeals pursuant have days of the entry of any such decision. \$ 39-10-114.5(1), C.R.S. seessor's Recommendation (For Assessor's Use Only)
the Board of County Committedioners, pursuany mass the pelition for refund or abatement of the the provisions of § 39-2-125, C.R.B., within th <u>extion II:</u> As Tax Year Actual	It is \$ 38-10-114(1), C.R.S., or the Property Tex Adrianstrator, pursuant is \$ 39-2-116, C.R.S., treas in whole or is part, the Palitioner may appeal is the Board of Assessment Appeals pursuant have days of the entry of any such decision. \$ 39-10-114.5(1), C.R.S. seessor's Recommendation (For Assessor's Use Only)
the Board of County Commissioners, pursuan main the petition for refund or obstaners of the the provisions of § 39-2-125, C.R.B., within th <u>ection it</u> : As <u>Conscient</u>	It is \$ 38-10-114(1), C.R.S., or the Property Tex Adrianstrator, pursuant is \$ 39-2-116, C.R.S., treas in whole or is part, the Palitioner may appeal is the Board of Assessment Appeals pursuant have days of the entry of any such decision. \$ 39-10-114.5(1), C.R.S. seessor's Recommendation (For Assessor's Use Only)
the Board of County Commissioners, pursuan miss the petition for refund or obstaners, pursuan the provisions of \$ 39-2-128, C.R.S., within th extion II: As <u>Astual</u> Original Corrected ball/Refund	n to 5 38-10-114(1), C.R.S., or the Property Tex Administrator, pursuant to 5 38-2-116, C.R.S., breas in whole or in part, the Palificner may appeal to the Board of Assessment Appeals pursuant help days of the only of any such decision, 5 39-10-114.5(1), C.R.S. seeses or 's Recommendation (Por Assessor's Use Only) 1955 1-77 191
the Board of County Committedioners, pursuant mass the petition for refund or obstamment of the the provisions of § 39-2-128, C.R.S., within th exition II: AS <u>Actual</u> Tax Year <u>Actual</u> Congluest Connected Date/Refund] Assessor recommends approval	In the 5 38-10-114(1), C.R.S., or the Property Tex Administrator, pursuant to 5 38-2-116, C.R.S., trees in whole or in part, the Palificner may appeal to the Board of Assessment Appeals pursuant here days of the only of any such decision. 5 39-10-114.5(1), C.R.S. Research's Recommentidation (Per Addessed's Use Only) 100552232300 10055232300 1005000 1005000 1005000 1005000 1005000 1005000 1005000 1005000 1005000 1005000 1005000 1005000 1005000 1005000 1005000 100500000 10050000 1005
nise the periods for refund or obstantiant of the the provisions of \$ 39-2-128, C.R.S., within its ection II: AS Congluest	nt is § 38-10-114(1), C.R.S., or the Property Tex Advantation, pursuant is § 38-2-116, C.R.S., these in which or in part, the Patilianier may appeal is the Board of Assessment Appeals pursuant help days of the entry of any such decision. § 39-10-114.5(1), C.R.S. Sepseof's Recommendation Per Assessor's Use Only! SERIES: TABLE TABLE TABLE TABLE TABLE TABLE TABLE TABLE TABLE Sepseof's Recommendation Per Assessor's Use Only! SERIES: TABLE TAB
the Board of County Commissioners, pursuan initial the petition for refund or obstanement of the the provisions of § 39-2-125, C.R.B., within th <u>ection it</u> : As <u>Astual</u> Tax Year <u>Astual</u> Consistent Consistent <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connected</u> <u>Connecte</u>	In the 5 38-10-114(1), C.R.S., or the Property Tex Administrator, pursuant to 5 38-2-116, C.R.S., trees in whole or in part, the Palificner may appeal to the Board of Assessment Appeals pursuant here days of the only of any such decision. 5 39-10-114.5(1), C.R.S. Research's Recommentidation (Per Addessed's Use Only) 100552232300 10055232300 1005000 1005000 1005000 1005000 1005000 1005000 1005000 1005000 1005000 1005000 1005000 1005000 1005000 1005000 1005000 100500000 10050000 1005

ACCESSION.

FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY (Section III or Section IV must be completed) Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

Section III: Written Mutual Agreemen (Only for a	t of Assessor and Petitioner (batements up to \$10,000)
The Commissioners of to review petitions for abatement or refund and to su abatement or refund in an amount of \$10,000 or les property, in accordance with § 39-1-113(1.5), C.R.S.	County authorize the Assessor by Resolution No. Ettle by written mutual agreement any such petition for s per tract, parcel, or lot of land or per schedule of personal b.
The Assessor and Petitioner mutually agree to t	he values and tax abatement/refund of:
Tax Year	
<u>Actual</u> Assessed	na <mark>Tax</mark> esta de la constante
Original	
Corrected	
Abate/Refund	Ned Printed American 20
Note: The total tax amount does not include accrued interest, pe applicable. Please contact the County Treasurer for full paymen	nallies, and fees associated with late and/or delinquent tax payments, if It information.
Petitioner's Signature	Date
Assessor's or Deputy Assessor's Signature	Data

Section IV: Decision of the ((Must be completed if Section III does not apply)	County Commissioners
WHEREAS, the County Commissioners of	County, State of Colorado, at a duly and lawfully
	, at which meeting there were present the following members:
Month Day Year	
with notice of such meeting and an opportunity to b	e present having been given to the Petitioner and the Assessor
of said County and Assessor	(being present-not present) and Name
	he within petition, and are fully advised in relation thereto, loes not agree) with the recommendation of the Assessor, artdenied) with an abatement/refund as follows:
······································	
Year Assessed Value Taxes Abate/Réfund	e en la contra de la constante de la constante Constante de la <u>constante de la constante de la</u>
	Chairperson of the Board of County Commissioners' Signature
	erk and Ex-Officio Clerk of the Board of County Commissioners rtify that the above and foregoing order is truly copied from the ommissioners.
IN WITNESS WHEREOF, I have hereunto set my h	nand and affixed the seal of said County
this day of,	
Month	Year
	County Clerk's or Deputy County Clerk's Signature
Note: Abatements greater than \$10,000 per schedule, per year	, must be submitted in duplicate to the Property Tax Administrator for review.
	roperty Tax Administrator ements greater then \$10,000)
The action of the Board of County Commissioners,	relative to this petition, is hereby
Approved Approved in part \$	Denied for the following reason(s):
Secretary's Signature	near a transmission and
OCCIBIBILY & CIGURIUR	Property Tax Administrator's Signature Date

15-DPT-AR No. 920-66/17

APPROVED

A	P	P	R	0	V	<u> </u>	D
					19 J. C. C.		
	. î				1.15		

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	ABATEMENT FO	R TAX YEAR:	2018	
(a) A set of the se	TODAYS DATE	02/26/19		
BUSINESS NAME:	The Lacek Gro	oup		
ACCOUNT NUMBER:	P0036419			
PARCEL NUMBER:				
	ACTUAL	ASSESSED	MILL	TAX
	VALUE	VALUE	LEVY	DOLLARS
ORIGINAL VALUE	\$200,000	\$58,000	143.303	\$8,311.57
REVISED VALUE	\$0	\$0	143.303	\$0.00
ABATED VALUE	\$200,000	\$58,000	143.303	\$8,311.57

Provide your reason for the Abatement/Added in the space below: No personal property on premises. Value was based on BIA. County error. Remove late filing fee.

ADDED ASSESSMENT FOR TAX YEAR:

BUSINESS NAME:		anna gunanna ann ainn an airte ann an airte		an a
ACCOUNT NUMBER:				
PARCEL NUMBER:				
	ACTUAL	ASSESSED	MILL	TAX
	VALUE	VALUE	LEVY	DOLLARS
ORIGINAL VALUE		\$0		\$0.00
REVISED VALUE		\$0	0	\$0.00
ADDED VALUE	\$0	\$0	0	\$0.00

FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY (Section III or Section IV must be completed) Every pellion for abatement or refund lifed purcuant to 3 39-10-114, C.R.S. shaft be acted upon puscent to the previsions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of Fing such petition, \$ 39-1-113(17), C.R.S.

Section III:	Written		nent of Asse for abatements up	ssor and Politic to \$10,000)	mer	
abatement or n	ins for abatem stund in an am	lent or refund and sount of \$10,000 o § 39-1-113(1.5), C	to settle by writt ir less per tract.	thorize the Assesso on mutual agreemen parcel, or lot of land	r by Resolution No. It any such petition for or per schedule of perso	məl
				nd tax abatement	refund of:	
	en or station States	Tax Year				1999 - 1999 1999 - 1999
	Actual	Assessed	Ĭak		and the second	
Original		•				1200
Corrected						
Abate/Refund	%	aca uranitistikuminintekekekeminint				
		include accrued intere ity Treasurer for full pa		rs associated with fair ar	idior dešnavant lax payments.	đ
	en staat geboorden bester				an a	
Petitioner's Signa	ture		Date			
Assessor's or De	puty Assosant's	Signature	Date			
					······	
Section IV: [Must be complet	ad if Section III a		he County Co	ommissioners		
WHEREAS IN	e County Com	missioners of		County, State of C	colorado, at a duly and la	włuliy
 Apple and the Apple and the Apple 		ñ	, at which m		resent the following mem	
		Month Day Y	ear			
			······			
		신요? 이 문제가 이 가지 못	to be present ha	영상 주장에서 가지 않는 것을 것을 것을 수 없다.	the Petitioner and the As	. 12
of said County	and Assessor		Name	(bel	ng presentnot presen	# and
Petitioner	••••••••••••••••••••••••••••••••••••••	ine		esentnat present), and WHEREAS, the se	lici
NOW BE IT RO	ssioners have SOLVED that	carefully consider the Board (agree	s-does not ag		idvised in relation therete nendation of the Assess frefund as follows:	
		Taun AL-L	inne, trive			. •
Year As	isessed Volue	Taxes Abale/Ref				
			Chal	person of the Board gl	County Commissioners' Sig	mature
	Name Canada		y certify that the	above and foregoir	loard of County Commis 19 order is truly copied fr	
IN WITNESS V	WHEREOF, I	nave hereunto set	my hand and aff	ixed the seal of said	(County	
this	day of		a.t		tanan ang sa	
		Month	Year			
	e a la Ferr			County Clerk's o	or Deputy County Clerk's Sig	naturo
Note: Abatement	s greater than \$10	1.000 per schedule, pe	r year, must be subm	uted in duplicate to the f	Property Tax Administrator for	ovicia.
Section V:			e Property T abstements greats	ax Administrato r than \$10,000)		
The action of (he Board of C	ounty Commission	(1) (1) (2) (2) (2) (2)	his petition, is hereb		
C Approved	Approved i	n part \$] Denied for the foll	owing reason(s):	
		en de Recenter			ŧ.	
Ser	elory's Signaturo		Preserv Tay J	ventinistrator's Signalura	Date	
15-DPT-AR No. 9	And the second				**************************************	*****

APPRIVED

	ABATEMENT FO	R TAX YEAR:	2018	
	TODAYS DATE	01/31/19		
BUSINESS NAME:	OAK RIVER IN	SURANCE CON	IPANY .	·
ACCOUNT NUMBER:	P0036861			
PARCEL NUMBER:				
	ACTUAL	ASSESSED	MILL	TAX
	VALUE	VALUE	LEVY	DOLLARS
ORIGINAL VALUE	\$317,702	\$92,130	143.303	\$13,202.51
REVISED VALUE	\$169,228	\$49,080	143.303	\$7,033.31
ABATED VALUE	\$148,474	\$43,050	143.303	\$6,169.19

Provide your reason for the Abatement/Added in the space below: Double assessment. Single line item for 2016 of \$296,949.00 = all the 2016 line items combined.

KTu 02-11-2019

ADDED ASSESSMENT FOR TAX YEAR:

2018

BUSINESS NAME:				······································
ACCOUNT NUMBER:				
PARCEL NUMBER:				
	ACTUAL	ASSESSED	MILL	ΤΑΧ
	VALUE	VALUE	LEVY	DOLLARS
ORIGINAL VALUE		\$0		\$0.00
REVISED VALUE	-	\$0	0	\$0.00
ADDED VALUE	\$0	\$0	0	\$0.00

, PETITION FOR ABATE	MENT OR REFUND OF TAX RECEIVED
County: Adams	Date Received
Presion It Defiliency places complete Continuit	(Use Assessor's or Commissioners' Date Starps)
Section 1: Petitioner, please complete Section 1 of Date:3/9	
Date: 3/ 9 Month Day Year	OFFICE OF THE ADAMS COUNTY ASSESSOR
Petilioner's Name: Oak River	Insurance Company
and and and and a second se	ornie St Ste 600
SAN Francisco (City or Town	State Zip Code
SCHEDULE OR PARCEL NUMBER(S) PROPERTY	ADDRESS OR LEGAL DESCRIPTION OF PROPERTY
above property for the property tax year 2018	
Petitioner's estimate of value: \$169	228 (20/8) Vear
I declare, under penalty of perjury in the second degr or statements, has been prepared or examined by me true, correct, and complete.	ee, that this petition, together with any accompanying exhibits e, and to the best of my knowledge, information, and belief, is
Petitioner's Signature	Daylime Phone Number 415, 365-6427 Email LCHAMDRA @ BHHE. COM
By	Daytime Phone Number ()
Agent's Signaturo'	
Printed Name:	Email
Lettor of agency must be attached when petition is submitted	d by an agent
If the Board of County Commissioners, pursuant to § 39-10-114(1, denies the patition for refund or abatement of taxes in whole or in to the provisions of § 39-2-125, C.R.S., within thirty days of the en), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., part, the Petitioner may appeal to the Board of Assessment Appeals pursuant try of any such decision, § 39-10-114 5(1), C.R.S.
(For Assesso	ecommendation r's Use Only)
Tax Year Actual Assossed	Tax
Oríginal	
Corrected	
Assessor recommends approval as outlined a	
If the request for abatement is based upon the grounds of overval to such valuation has been filed and a Notice of Determination ha	uation, no abatement or refund of laxes shall be made it an objection or protest s been mailed to the taxpayer, § 39-10-114(1)(a)(D)(D), C.R.S.
Tax year: Protest? 🗋 No 👘 Yes (If a protest	i was filed, please attach a copy of the NOD.)
Assessor recommends denial for the followin	g roason(s):
	Assessor's or Deputy Assessor's Signature
15-DPT-AR No. 926-66/17	

FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY (Section III or Section IV must be completed) Every petition for abstement or refund filed pursuant to \$ 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the

Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.
Section III: Written Mutual Agreement of Assessor and Petitioner (Only for abatements up to \$10,000)
The Commissioners of County authorize the Assessor by Resolution No. to review pelitions for abatement or refund and to settle by written mutual agreement any such pelition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.
The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:
Tax Year
Actual Assessed Tax
Original
Corrected
Note: The total fax amount does not include accurat interest, penalties, and fees associated with late antifor definquent lax payments, if applicable. Please contact the County Treasurer for full payment information
Pelitionar's Signaturs Date
Assessor's or Deputy Assessor's Signature Date
uzsezen zur nebniñ vzzezen z zillunni. Vzzezen zur nebniñ vzzezen z zillunni.
анастика со порта и порт Порта и порта и
Section IV: Decision of the County Commissioners (Must be completed if Section III does not apply)
WHEREAS, the County Commissioners of County, State of Colorado, at a duly and lawfully
called regular meeting held on/, at which meeting there were present the following members:
Month Day Year
with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor
of said County and Assessor
Petitioner (being present-not present), and WHEREAS, the said
Name County Commissioners have carefully considered the within petition, and are fully advised in relation thereto,
NOW BE IT RESOLVED that the Board (agreesdoes not agree) with the recommendation of the Assessor, and that the petition be (approvedapproved in partdenied) with an abatement/refund as follows:
Year Assessed Value Taxes Abata/Retund
Chairperson of the Board of County Commissioners' Signature
ICounty Clerk and Ex-Officio Clerk of the Board of County Commissioners
In and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.
IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County
this day of
Month Year
County Glerk's or Deputy County Clerk's Signature
Note: Abstements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.
Section V: Action of the Property Tax Administrator (For all abatemonts greater than \$10,000)
The action of the Board of County Commissioners, relative to this petition, is hereby
Approved (Approved in part § Denied for the following reason(s):
Secretary's Signature Property Tax Administrator's Signature Date 15.0PT-AR No. 920-66/17



PUBLIC HEARING AGENDA ITEM

BACKGROUND:

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

ATTACHED DOCUMENTS:

Resolutions

FISCAL IMPACT:

Please check if there is no fiscal impact \boxtimes . If there is fiscal impact, please fully complete the section below.

Fund:

Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object	Subledger	Amount
	Account		
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested:	YES	NO
Future Amendment Needed:	YES	NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPOINTING GEORGE MAXEY TO THE COMMUNITY SERVICES BLOCK GRANT ADVISORY COUNCIL AS A LOW INCOME SECTOR REPRESENTATIVE

WHEREAS, a vacancy currently exists for a member for the Community Services Block Grant Advisory Council; and,

WHEREAS, George Maxey has expressed an interest in serving on the Community Services Block Grant Advisory Council; and,

WHEREAS, the Board of County Commissioners has reviewed all candidates deemed qualified; and,

WHEREAS, the Board of County Commissioners selected George Maxey to fill this vacancy as a Low Income Sector Representative.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that George Maxey shall be appointed as a member of the Community Services Block Grant Advisory Council as a Low Income Sector Representative for the term as listed below:

George Maxey

Term Expires 2/1/2022



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: April 9, 2019

SUBJECT: Accela, Inc., Software Maintenance and Support

FROM: Raymond H. Gonzales, County Manager; Alisha Reis, Deputy County Manager; Benjamin Dahlman, Finance Director; Kim Roland, Procurement and Contracts Manager

HEARD AT STUDY SESSION ON: N/A

AUTHORIZATION TO MOVE FORWARD: YES NO

RECOMMENDED ACTION: That the Board of County Commissioners approves a Purchase Order for the annual maintenance and support of the Accela, Inc., software suite of products.

BACKGROUND:

The Accela, Inc., software suite of products includes Land Management, Citizen Access, Mobile Office, and Accela Geographic Information System (GIS). This suite is used by Adams County for all land case management and permitting activities. The County went live with the Accela, Inc., platform in 2009, and the software plays an integral role in the day to day operations for the Community and Economic Development, Public Works and Parks and Open Space Departments.

The Accela Land Management module is used to administer all land cases and permits for building, planning, construction management, and code enforcement. Accela Citizen Access is the engine behind the County's ePermit Center allowing citizens to apply and pay for all building permits online. Accela Mobile Office provides inspectors mobile access while in the field performing inspections. Accela GIS interacts with spatial data from GIS maps to provide accurate mapping information.

Service	Year	Price
Annual Maintenance & Support	6/30/2019—6/29/2020	\$114,893.27
Annual Maintenance & Support	6/30/2020-6/29/2021	\$118,340.07
Annual Maintenance & Support	6/30/2021—6/29/2022	\$121,890.27
	TOTAL PRICE	\$355,123.61

It is recommended that the annual software maintenance and support with Accela, Inc., be approved in the not to exceed amount of \$355,123.61 for three (3) years of software maintenance and support, based on annual appropriation of funds.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Information Technology and Innovation Department Community and Economic Development Department Public Works Department Parks and Open Space Department

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 00001

Cost Center: 1057

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	7825		\$903,140
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:		-	\$903,140

New FTEs requested:	YES	NO NO
Future Amendment Needed:	YES	🖂 NO

<u>Additional Note:</u> The annual impact on the Maintenance Contracts account in cost center 1057 as stated above is spread over three years as follows: 2019 = \$114,893.27; 2020 = \$118,340.07; 2021 = \$121,890.27. This multiyear contract allows us to lock in an annual uplift charge of 3%. Without a multi-year contract, this uplift would be in the 5-7% range.

BOARD OF COUNTY COMMISSIONERS FOR ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING A PURCHASE ORDER BETWEEN ADAMS COUNTY AND ACCELA, INC., FOR ANNUAL SOFTWARE MAINTENANCE AND SUPPORT SERVICES

WHEREAS, the County has applications with Accela, Inc., including Land Management, Citizen Access, Mobile Office, and Geographic Information System (GIS) that require annual software maintenance and support services; and,

WHEREAS, based on annual appropriation of funds, Accela, Inc., has agreed to provide annual software maintenance and support services in 2019 for \$114,893.27; in 2020 for \$118,340.07; and in 2021 for \$121,890.27 for a total not to exceed amount of \$355,123.61.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that a Purchase Order between Adams County and Accela, Inc., for the annual software maintenance and support services be approved.

BE IT FURTHER RESOLVED, that the Chair hereby authorizes the Purchasing Division to sign said Purchasing Order with Accela, Inc., after negotiation and approval as to form is completed by the County Attorney's Office.



COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT TABLE OF CONTENTS

CASE NO.: PRC2018-00002

CASE NAME: Pomponio Filing 3 and 4 Final Development Plan

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EXHIBIT 4- Referral Comments

4.1 Referral Comments (Development Services)
4.2 Referral Comments (Division of Water and Crestview Will Serve Letter)
4.3 Referral Comments (Xcel Energy)
4.4 Referral Comments (Tri-County Health)
4.5 Referral Comments (Geological Survey)
4.6 Referral Comments (CDOT)

EXHIBIT 5- Public Comments

5.1 Garry

EXHIBIT 6- Associated Case Materials

6.1 Request for Comments 6.2 Public Hearing Notice

- 6.3 Newspaper Publication
- 6.4 Referral Agency Labels
- 6.5 Property Owner Labels
- 6.6 Posting Certificate

CASE No.: PRC2018-00002	CASE NAME: Pomponio Terrace Filing 3 and 4 FDP
Owner's Name:	Pomponio Terrace Holdings LLC
Applicant's Name:	James Merlino
Applicant's Address:	1140 US HWY 287 #400-125, Broomfield, CO, 800200
Location of Request:	6856 Federal Blvd.
Nature of Request:	1) Final Development Plan to allow 114 townhome units on approximately 6.5 acres in the Planned Unit Development (PUD) zone district; 2) Major Subdivision (Final Plat) to allow 33 lots on approximately 2.15 acres; 3) Major Subdivision (Final Plat) to allow 81 lots on approximately 4.4 acres
Zone District:	Planned Unit Development (PUD)
Site Size:	6.5 acres +/-
Proposed Uses:	Residential
Existing Use:	Vacant
Comprehensive Plan:	Urban Residential
Hearing Date:	BoCC: April 9, 2019 at 9:30 a.m.
Hearing Location:	4430 S. Adams County Parkway, Brighton, CO 80601, Public Hearing Room 1 st Floor
Report Date:	March 25, 2019
Case Manager:	Libby Tart
Staff Recommendation:	APPROVAL with 11 Findings-of-Fact

SUMMARY OF PREVIOUS APPLICATIONS

On February 17, 2015, the Board of County Commissioners (BoCC) approved a major subdivision (preliminary plat) to create 248 single family lots; rezoning from I-1 to Planned Unit Development; a Preliminary Development Plan (PUD-P) to create a residential development, and a waiver from the subdivision design standards to allow for private roads and for the creation of lots that do not have direct access to a dedicated, constructed and maintained public road within the subject development (Pomponio Terrace Subdivision).

On October 4, 2016 the BoCC approved a final development plan for Filings 1 and 2 on the property. Filing 1 created 74 single-family lots and Filing 2 created 52 single-family lots.

On February 27, 2018, the BOCC approved an amendment to the preliminary development plan to allow single-family attached (townhomes) product within the development. The overall density of the development remained at 248 dwelling units.

SUMMARY OF APPLICATION

Background

Pomponio Terrace Holdings, LLC, the applicant, is requesting: 1) Final Development Plan (FDP) to allow 114 lots on approximately 6.5 acres in the Planned Unit Development (P-U-D) zone district; 2) Major Subdivision (Final Plat) to create 33 lots on approximately 2.15 acres; 3) Major Subdivision (Final Plat) to create 81 lots on approximately 4.4 acres; 4) Subdivision Improvement Agreement (SIA) for Filing No.3; and 5) Subdivision Improvement Agreement (SIA) for Filing No.4 of the Pomponio Terrace Planned Unit Development.

The Board of County Commissioners (BoCC) approved a Preliminary Development Plan (PDP) for the PUD in 2015. Per Section 2-02-10-04-01 of the County's Development Standards and Regulations, a Final Development Plan and Plat is required prior to development of the site. The proposed request is to adhere to requirements for obtaining a Final Development Plan and Plat.

In addition, the applicant is proposing two final plats as part of the second phase of development. This allows the developer to phase required public improvements while still complying with all County subdivision requirements.

Development Standards and Regulations Requirements:

Final Development Plan:

A Final Development Plan (FDP) is a site-specific development plan which describes and establishes the type and intensity of uses for a specific parcel of land. Per Section 2-02-10-04 of the Adams County Development Standards and Regulations, a final plat and development agreements are required to be submitted with a final development plan. The final plat and development agreement outlines public improvements required with the development.

Below is the summary of housing types, design information, parking and open space areas proposed within the FDP:

Housing Types & Designs

Pomponio Terrace Filing No. 3 and No. 4 includes attached single-family homes described below:

• <u>Single Family Attached Rear Loaded:</u> Consists of townhome blocks ranging from three to six attached units. These units are designed for residents who want a lower amount of outdoor space to maintain and are on lots with rear, alley-loaded garages. The sizes of homes are approximately 1,500 square feet. Overall, the applicant is proposing 114 units of this housing type in the FDP.

The subject FDP includes architectural and landscape design guidelines. In addition to the guidelines, all builders and homeowners are required to go through a Design Review Committee (DRC) review established by the metropolitan district with governing authority in the PUD (i.e. the Pomponio Terrace Metropolitan District). All builders and homeowners shall also follow all required County review processes.

Parking:

The parking plan proposed with the FDP shows a minimum of two parking spaces per dwelling unit, with an overall ratio of 2.8 spaces per unit. A total of 327 parking spaces are proposed for the 114 units. Two-hundred and twenty-eight (228) of the overall parking spaces will be garage parking and ninety-nine (99) spaces will be off-street guest parking. The FDP also shows internal local street systems within the development. These streets are designed to work in conjunction with proposed private alleys in the development.

Further, the proposed plan shows alleys will be used to access garages for a majority of the homes. The rear-loaded homes within the development will have a minimum of two off-street parking spaces. No parallel parking shall be permitted in alleys, as they are dedicated for fire lanes, passenger vehicles, and garbage vehicle access only. The FDP shows all proposed homes will have access to on-street parking along local streets within the development.

Common Areas:

Common areas in the proposed FDP include streetscape landscape areas, landscape tracts, and approximately 1.03 acres of active recreation in Filings 3 and 4. The streetscape areas, landscape tracts, and pocket parks will be maintained by the Metropolitan District. All private home landscaping will be installed by homeowners or builders and maintained by each homeowner. Adams County shall not be responsible for operation and maintenance of parks and open space within the development. Responsibility and enforcement of landscape maintenance shall be the function of the Metropolitan District. A Design Review Committee will review all private open space design in the development for compatibility. Removal of snow, ice, debris, or other obstructions from sidewalks will be the responsibility of homeowners.

Lot Characteristics:

Typical lot sizes within the development range from 1,110 to 1,885 square feet. All front, side, and rear setbacks will be consistent with the approved Preliminary Development Plan. Per the proposed Final Development Plan, the front yard setback shall be 10 feet for homes along a public right-of-way and five feet for homes along internal alleyways, and the side and rear setbacks shall be five feet.

Major Subdivision (Final Plat):

Per Section 2-02-17-04 of the County's Development Standards and Regulations, the applicant is requesting approval of two filings as major subdivisions (final plats) for the proposed residential development. The current parcels consist of approximately 6.5 acres; however, the proposed final plat areas are approximately 2.15 acres for Filing 3 and 4.4 acres for Filing 4. The proposed final plats will create 114 residential lots and multiple tracts for private alleys and open space facilities.

Access into the subdivision is primarily from W. 70th Avenue, the northern property boundary. Eliot Street, Clay Street, and Canosa Street provide north-south connections to W. 70th Avenue. All of the 114 proposed units have access to rear-loaded garages through alleyways. This design allows the units to directly front public streets and/or landscaped tracts.

The proposed final plats conform to the criteria for approval outlined in Section 2-02-17-04-05 of the County's Development Standards, which include conformance to the approved preliminary plat and the subdivision design standards. In addition, the applicant has provided a letter of intent from Crestview Water and Sanitation District, demonstrating the District's ability to provide services to the development, thus satisfying the requirement for evidence of adequate water and sanitation facilities. All proposed drainage facilities in the development have been reviewed and approved by the County's Development Services Engineering. Lastly, there is documentation showing there is adequate public infrastructure to support the development and all plans have been reviewed by the Development Services Engineering.

Section of 5-02 of the County's Development Standards and Regulations requires these improvements with all subdivision plats. Such improvements are normally approved and constructed through a Subdivision Improvements Agreement (SIA) that is accompanied by sufficient collateral to secure the improvements.

Subdivision Improvement Agreement:

Per Section 5-02-05 of the Adams County Development Standards and Regulations, a Subdivision Improvements Agreement (SIA) is required for each filing of the proposed development. The agreement is required to address the manner and timing of the completion of all subdivision improvements and responsibility for payment of the costs of improvements associated with the development.

The SIAs outline the Developer's obligation for required construction and collateral for all public improvements. The public improvements in the SIA consist of curb, gutter, sidewalk, storm sewer, and street paving (see Exhibits 3.5 and 3.6). Staff reviewed the SIAs and confirmed the proposed agreements are in compliance with the County's Development Standards and Regulations.

Comprehensive Plan:

The Future Land Use map designates the subject property as Urban Residential. Per Chapter 5 of the Comprehensive Plan, Urban Residential areas are designated for single and multiple-family housing, typically at urban densities of one dwelling per acre or greater. These areas are intended to provide for development of residential neighborhoods with a variety of housing types, with adequate urban services and transportation facilities. Urban residential areas may include supporting neighborhood commercial uses designed to serve the needs of nearby residents.

The proposed development is consistent with the goals of the Comprehensive Plan to provide higher density housing near existing urban services and transportation facilities. The entire Planned Unit Development is comprised of approximately 26 acres. The PUD site is adjacent to the Westminster RTD light rail station located at 70th Avenue and Federal Boulevard, and is located between two major thoroughfares (Federal and Pecos). In addition, Midtown at Clear Creek mixed-use development is located directly east of the site. Because of the proximity to planned light rail stations and transportation corridors, the PUD inevitably will benefit from the location of such transportation amenities.

Site Characteristics:

Currently, Filings 1 and 2 of the development are under construction. The remainder of the subject property is vacant.

Northwest	North	Northeast
City of Westminster	City of Westminster	City of Westminster
Vacant	Single-Family	Single-Family
West	Subject Property	East
I-1	PUD	PUD
Commercial	Vacant	Single and Multi-Family
Southwest	South	Southeast
City of Westminster	City of Westminster	PUD
Railroad	Railroad	Single and Multi-Family

Surrounding Zoning Designations and Existing Use Activity:

Compatibility with the Surrounding Land Uses:

A majority of uses surrounding the site consist of single and multi-family residential and commercial uses. The Midtown at Clear Creek mixed-use development is located directly east of the subject site. In addition, the Westminster commuter rail station and future mixed-use development area is directly west of the site, across Federal Blvd. The subject request is consistent with the existing and future residential development surrounding the site and the future land use designation of Urban Residential.

Referral Comments:

Xcel Energy, CDOT, Tri-County Health, Colorado Geological Survey, and Colorado Division of Water reviewed this request and expressed no concerns with the development. Development Services Engineering reviewed the request and stated final site construction and drainage plans have been approved. However, final building permits shall not be issued until all public improvements have been constructed, inspected, and preliminarily accepted by Adams County Public Works Department.

BoCC Continuation

On March 26, 2019, staff requested a continuance of the Pomponio Filing 3 and 4 cases due to discrepancies with the Subdivision Improvement Agreements (SIAs). The items are now corrected and included as Exhibit 3.5 and Exhibit 3.6.

STAFF RECOMMENDATION:

Based upon the application, the criteria for approval of a final development plan, final plat, and subdivision improvements agreement and a recent site visit, staff recommends approval with 11 findings-of-fact.

RECOMMENDED FINDINGS OF FACT

- 1. The FDP is in general conformity with the Adams County Comprehensive Plan and any applicable area plan.
- 2. The FDP conforms to the P.U.D. standards.
- 3. The FDP is consistent with any approved PDP for the property.
- 4. The FDP construction plans meet the requirements of these standards and regulations and have been approved by the Director of Community and Economic Development, all infrastructure and utility providers, Tri-County Health Department, and all other referral agencies.
- 5. The final plat is consistent and conforms to the approved preliminary plat.
- 6. The final plat is in conformance with the subdivision design standards.
- 7. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.
- 8. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that the system complies with state and local laws and regulations.
- 9. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.
- 10. The proposed or constructed drainage improvements are adequate and comply with these standards and regulations.
- 11. Adequate public facilities or infrastructure, or cash-in-lieu, for impacts reasonably related to the proposed subdivision have been constructed or financially guaranteed through cash-in-lieu or a subdivision improvements agreement so the proposed subdivision will not negatively impact the levels of service of the County.

Exhibit 2.1

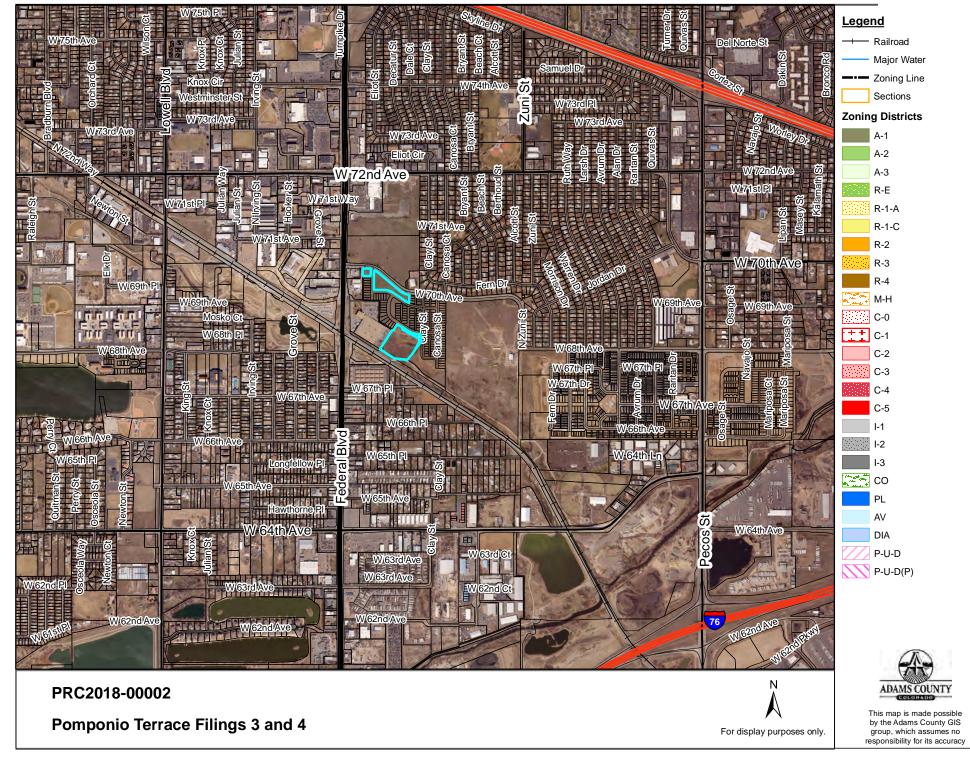


Exhibit 2.2

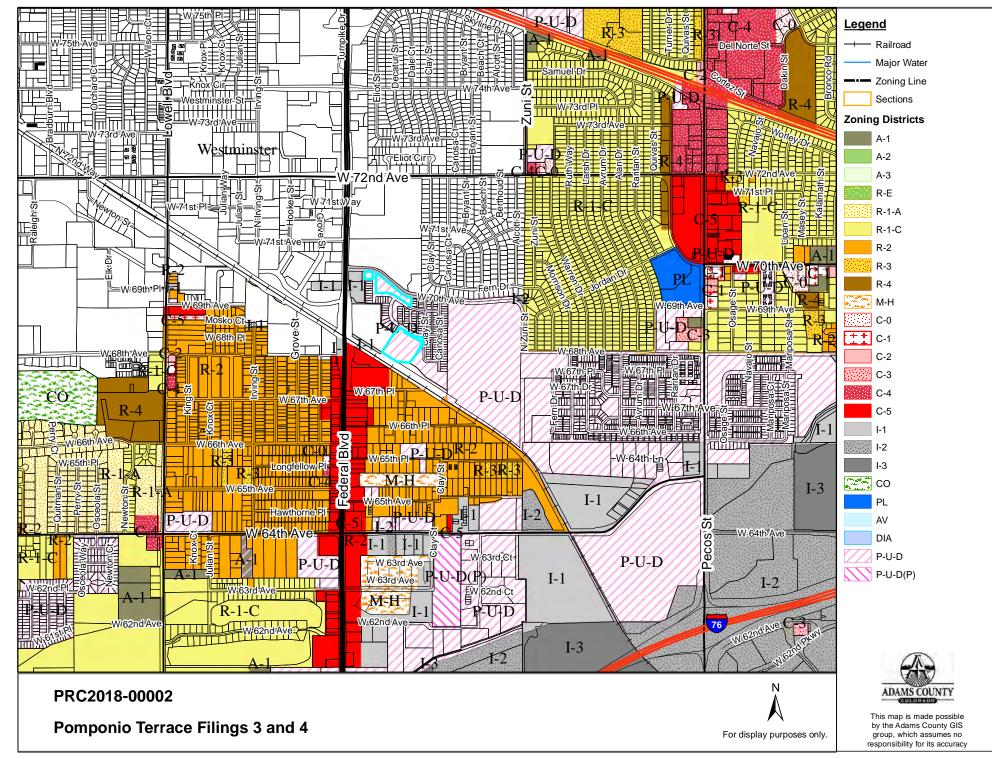
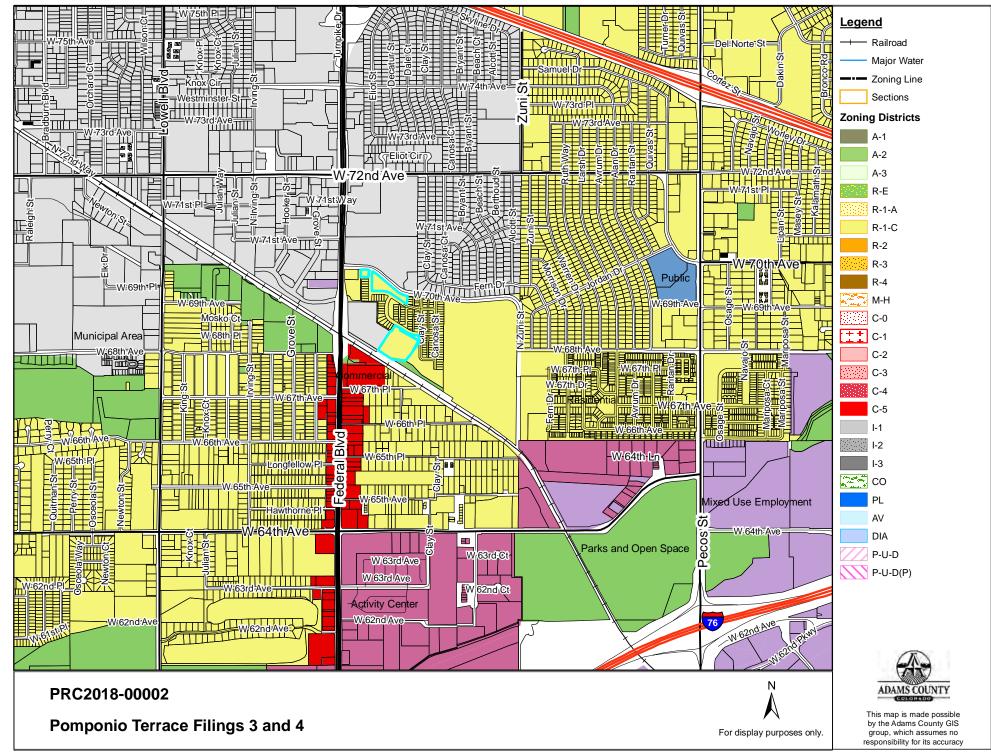


Exhibit 2.3



FINAL DEVELOPMENT PLAN **POMPONIO TERRACE FILINGS 3 AND 4** A PLANNED UNIT DEVELOPMENT **ADAMS COUNTY, COLORADO 80030**

NARRATIVE

- A. EXPLANATION OF THE CHARACTERISTICS OF THE PUD
 - THE POMPONIO TERRACE PRELIMINARY DEVELOPMENT PLAN (PDP) WAS ORIGINALLY APPROVED ON FEBRUARY 17, 2015. THE APPROVED REQUEST WAS FOR:
 - THE BOCC APPROVED A PRELIMINARY PLAT AND DEVELOPMENT PLAN FOR 248 1) SINGLE-FAMILY LOTS ON FEBRUARY 17, 2015. (CASE NUMBER PRC 2014-00014)
 - 2) FILING 1 AND FILING 2 FINAL PLATS AND FINAL DEVELOPMENT PLANS (FDP) WERE APPROVED ON OCTOBER 4, 2016 (FDP) AND DECEMBER 13, 2016 (FINAL PLATS AND SIAS). (CASE NUMBER PRC 2016-00004)
 - i. FILING 1 CREATED 74 SINGLE-FAMILY LOTS ON 11.791 ACRES.
 - ii. FILING 2 CREATED 52 SINGLE-FAMILY LOTS ON 8.323 ACRES.
 - THE BOCC APPROVED AN AMENDMENT TO THE FILING 1 SIA TO ALLOW CONSTRUCTION 3) OF 4 MODEL HOMES PRIOR TO COMPLETION OF ALL PUBLIC IMPROVEMENTS ON SEPTEMBER 26, 2017. (CASE NUMBER PLN2017-00014)
 - THE BOCC APPROVED AN AMENDMENT TO THE PDP TO ALLOW SINGLE-FAMILY ATTACHED (TOWNHOMES) ON FEBRUARY 27, 2018. (CASE NUMBER PUD2017-00002.)
 - THE FDP FOR FILINGS 3 AND 4 APPLIES TO APPROXIMATELY 6.46 ACRES EXCLUDING 5) FILINGS NO.1 AND NO. 2, CONSISTING OF 114 ATTACHED SINGLE FAMILY TOWNHOMES, AND LANDSCAPED OPEN SPACE AREAS. THE FILING(S) ARE LOCATED ON THE EAST SIDE OF FEDERAL BOULEVARD, SOUTH OF 70TH AVENUE, AND NORTH OF LITTLE DRY CREEK. TWO POINTS OF ACCESS FOR BOTH FILINGS WILL BE PROVIDED ON 70TH AVENUE WITH THE APPROVED FILINGS NO. 1 AND 2 IMPROVEMENTS.

POTENTIAL IMPACT ON THE SURROUNDING AREA B

THE DEVELOPMENT AND ITS SITE PLAN ARE CONSISTENT WITH THE 2012 ADAMS COUNTY COMPREHENSIVE PLAN. THE COMPREHENSIVE PLAN DESIGNATES THE AREA AS URBAN RESIDENTIAL, WHICH IS DESIGNATED FOR SINGLE FAMILY HOUSING AT URBAN DENSITIES AND INTENDED TO PROVIDE FOR DEVELOPMENT OF RESIDENTIAL NEIGHBORHOODS WITH A VARIETY OF HOUSING TYPES, URBAN SERVICES, AND TRANSPORTATION FACILITIES. THE DEVELOPMENT IS CONSISTENT WITH THIS DESIGNATION AND HAS BEEN PLANNED TO INCORPORATE THE CONCEPTS OF A TRANSIT ORIENTED DEVELOPMENT (TOD), THE STRENGTHS AND LESSONS-LEARNED FROM THE ADJACENT MIDTOWN AT CLEAR CREEK (MIDTOWN) DEVELOPMENT, AND TO TAKE ADVANTAGE OF THE PLANNED WESTMINSTER LIGHT RAIL (FASTRACKS) STATION LOCATED WITHIN A QUARTER MILE FROM THE SITE. ADDITIONALLY, THE PROPERTY IS WITHIN ADAMS COUNTY'S FEDERAL BOULEVARD FRAMEWORK PLAN AND HAS BEEN PROGRAMMED TO COMPLY WITH THE TENETS OF THAT PLAN.

AS MENTIONED IN THE PLAN, TOD STYLE LAND USE PATTERNS MAY NECESSITATE SPECIALIZED DESIGN STANDARDS TO ENCOURAGE THE TYPE OF DEVELOPMENT REFLECTED IN THE PLAN (PAGE 10). IN ADDITION, THE FLOODPLAIN TO THE SOUTH OF THE SITE, AND THE NATURAL FLOW OF STORMWATER TO THE SOUTHEAST CREATES THE NEED TO PROVIDE A MORE DENSE SITE PLAN TO ALLOW FOR THOSE CONDITIONS. LASTLY, THE EDGE CONDITIONS, IN PARTICULAR TO THE WEST, ALONG FEDERAL BOULEVARD NECESSITATE CREATING A STRONG SENSE OF PLACE IN DESIGN. IT IS ALSO CONSISTENT WITH THE FRAMEWORK PLANS' GOALS TO BRING MORE URBANITY TO THE SUBURBS.

THE SITE INCORPORATES THE NATURAL FEATURES BY MEETING THE COUNTY REQUIREMENTS FOR OPEN SPACE AS WELL AS ORIENTING THE PROJECT OPEN SPACE TO THE LITTLE DRY CREEK TRAIL SYSTEM AND FLOODPLAIN AREA. THE ADDITION OF THE USE OF MEWS PROVIDE ADDITIONAL INTERNAL GREENWAYS FOR RESIDENTS AND IS ANTICIPATED TO INCLUDE INTERNAL TRAIL CONNECTIONS. BECAUSE OF THE SITES PROXIMITY TO THE LITTLE DRY CREEK TRAILS AND THE WESTMINSTER TOD, THE PLAN SEEKS TO CONNECT TO THOSE TRAILS IDENTIFIED IN THE FEDERAL BOULEVARD FRAMEWORK PLAN. IN ADDITION, THE PROJECT MEETS THE GOALS OF THE FRAMEWORK PLAN BY PROVIDING DENSITY IN CLOSE PROXIMITY TO THE TOD.

C. CONTEMPLATED DENSITIES AND LAND COVERAGE

THIS FDP CONSISTS OF 114 LOTS WHICH PROVIDE A DENSITY OF 18.4 DWELLING UNITS PER ACRE, THE FDP FOR FILINGS 3 AND 4 IS PROPOSING 30% OF THE LAND TO BE DEDICATED AS OPEN SPACE AND WILL PROVIDE A TRAIL CONNECTION TO THE SOUTHERN LITTLE DRY CREEK OPEN SPACE. THE ENTIRE DEVELOPMENT (FILINGS 1, 2, 3 & 4) WILL MEET THE 30% OPEN SPACE, AND OPEN SPACE AREAS WILL BE CALCULATED IN CONFORMANCE WITH THE DEFINITION IN THE COUNTY'S DEVELOPMENT STANDARDS.

D. NUMBER, TYPE, AND SIZE OF BUILDINGS OR UNITS

114 TOWNHOME LOTS ARE PROPOSED. THERE IS ONE TOWNHOME TYPE PROPOSED AS STATED BELOW. THE TOWNHOME UNIT BLOCKS RANGE FROM THREE ATTACHED UNITS TO SIX ATTACHED UNITS

TOWNHOMES/REAR-LOADED

THE PROPOSED FILINGS CONSIST OF TOWNHOMES DESIGNED FOR RESIDENTS WHO WANT TO LIVE IN AN ATTACHED BLOCK WHICH IS MORE AFFORDABLE DUE TO SMALLER LOT SIZES, SHARED WALLS, AND FEWER INDIVIDUAL MAINTENANCE REQUIREMENTS. THE LOTS ARE REAR ALLEY-LOADED WITH 2-CAR GARAGES AND THE FRONT DOOR OPENS TO OPEN SPACE AND LANDSCAPED AREAS.

DESCRIPTION - COUNTY STANDARD	AREA (AC.)
TOTAL PROJECT AREA (FILINGS 1, 2 , 3 & 4)	26.668
TOTAL PROJECT LANDSCAPE OPEN SPACE REQUIRED (30%)	8.000
TOTAL PROJECT ACTIVE OPEN SPACE REQUIRED (25% OF TOTAL PROJECT OPEN SPACE)	2.000

THE ADDITION OF LOW-MAINTENANCE LIVING (NO YARD MAINTENANCE) THROUGH THE ATTACHED PRODUCT PROVIDES AN OFFERING FOR RESIDENTS NEEDING OR WANTING A LOW MAINTENANCE LIFESTYLE. TOWNHOMES TYPICALLY HAVE LOWER COSTS OF OWNERSHIP AS WELL AS BENEFIT FROM COMMON AREA MAINTENANCE, SNOW REMOVAL AND LANDSCAPING. LARGE SCALE OUTSIDE REPAIRS ARE LIMITED HELPING PROVIDE PREDICTABLE MONTHLY OWNERSHIP COSTS.

	APPROVED FILINGS			
FILING NUMBER	APPROVED LOTS	REAR LOADED	FRONT LOADED	
FILING 1	74	48	26	
FILING 2	52	27	25	
PROPOSED FILINGS				
FILING NUMBER PROPOSED LOTS TOWNHOMES				
FILING 3	33	33		
FILING 4	81	81		

E. APPROXIMATE PROVISIONS FOR PARKING

PARKING IS PROVIDED WITH EACH TOWNHOME HAVING A 2-CAR GARAGE. THE PRIVATE ALLEYS ARE DESIGNED TO CONNECT TO THE INTERNAL LOCAL STREET SYSTEM. 26-FOOT WIDE ALLEYS ARE FOR PASSENGER VEHICLE AND GARBAGE TRUCK ACCESS ONLY AND ALLOWS FOR ALLEY-ACCESSED GARAGES. NO PARKING WILL BE ALLOWED OUTSIDE THE GARAGES OR WITHIN THE ALLEY RIGHT-OF-WAY. GUEST PARKING IS PROVIDED ALONG ADJACENT PUBLIC STREETS AND WITHIN OFF-STREET SPACES INTERNAL TO EACH FILING. OFF-STREET PARKING SHALL BE DESIGNATED AS "GUEST PARKING" AND IDENTIFIED WITH APPROPRIATE SIGNAGE. PARKING QUANTITIES SHALL MEET COUNTY REQUIREMENTS.

FILING NO. 3 (33 UNITS)

, , , , , , , , , , , , , , , , , , ,	
GARAGE SPACES REQUIRED = 66	SPACES PROVIDED = 66
GUEST SPACES REQUIRED = 17	SPACES PROVIDED = 36
TOTAL SPACES REQUIRED = 83	SPACES PROVIDED = 102
FILING NO. 4 (81 UNITS)	
GARAGE SPACES REQUIRED = 162	SPACES PROVIDED = 162

GARAGE SPACES REQUIRED = 162	SPACES PROVIDED = 162
GUEST SPACES REQUIRED = 41	SPACES PROVIDED = 63
TOTAL SPACES REQUIRED = 203	SPACES PROVIDED = 225

F. CIRCULATION AND ROAD PATTERNS

TO HELP ENSURE A PEDESTRIAN-FRIENDLY ENVIRONMENT, THE PLANNED CIRCULATION PATTERNS ALLOW FOR DISTRIBUTION OF INTERNAL TRAFFIC THROUGH THE DEVELOPMENT. THE VEHICULAR ROAD PATTERN FOR POMPONIO TERRACE WILL INTEGRATE THE EXISTING AND PROPOSED ROADWAY SYSTEMS. PROPOSED ALLEYS CONNECT WITH ELIOT STREET AND 69TH AVENUE AND ALSO CONNECT WITH DECATUR STREET AND CLAY STREET APPROVED IN FILINGS NO. 1 AND 2. THE APPROVED FILINGS 1 AND 2 AREA INCLUDES ACCESS TO FEDERAL BOULEVARD VIA EXISTING 70TH AVENUE WITH TWO CONNECTIONS FROM POMPONIO TERRACE. ALL STREETS MEET THE ADAMS COUNTY ROADWAY STANDARDS. INTERNAL WALKS SHALL PROVIDE ACCESS BETWEEN UNITS TO TOWNHOME FRONT DOORS. INTERNAL WALKS WILL ALSO PROVIDE CONNECTIVITY FROM EACH UNIT TO ATTACHED WALKS ADJACENT TO PUBLIC STREETS

G. OWNERSHIP AND MAINTENANCE OF COMMON AREAS

THE POMPONIO TERRACE METROPOLITAN DISTRICT (PTMD) IS RESPONSIBLE FOR THE ENFORCEMENT OF LANDSCAPE MAINTENANCE WITHIN DEDICATED OPEN SPACE TRACTS, LANDSCAPE & ACCESS EASEMENTS IN TOWNHOME LOTS AND DEDICATED ALLEY TRACTS. THE COUNTY SHALL BE RESPONSIBLE FOR MAINTAINING ALL LOCAL STREETS WITHIN THE LIMITS OF THE STREET RIGHT-OF WAY AFTER FINAL ACCEPTANCE HAS BEEN GRANTED. THE (PTMD) WILL BE RESPONSIBLE FOR REMOVAL OF SNOW, ICE, SLEET DEBRIS OR OTHER OBSTRUCTIONS FROM THE SIDEWALK AS WELL AS MAINTENANCE TO THE SIDEWALK.

FILINGS NO. 3 & 4 ARE INTENDED TO BE A ZERO-MAINTENANCE TOWNHOME COMMUNITY. WITHIN TOWNHOME LANDSCAPE & ACCESS EASEMENTS, LANDSCAPING WILL BE INSTALLED BY THE TOWNHOME BUILDER.

H. TYPE, LOCATION, EXAMPLES OF COPY AND CONSTRUCTION SIGNS

THE MONUMENT SIGN APPROVED FOR FILINGS NO. 1 AND 2 IS EAST OF THE ELIOT STREET AND WEST 70TH AVENUE INTERSECTION.

TYPE AND ALLOCATION OF ALL USES INCLUDING PERMITTED USES, USES PERMITTED AFTER 1. AMENDMENT TO THE PUD AND PROHIBITED USES

THE DESIGN INTENT FOR POMPONIO TERRACE IS TO CREATE A SINGLE FAMILY COMMUNITY THAT INCLUDES A VARIETY OF HOUSING TYPES INCLUDING SINGLE-FAMILY DETACHED AS WELL AS ATTACHED VARYING FROM 3-6 UNITS.

J. LOCATION AND TYPES OF LANDSCAPING AND MAINTENANCE PROVISIONS

REQUIRED OPEN SPACE AND ACTIVE RECREATION AREAS WILL CONFORM WITH ORIGINAL PDP REQUIREMENTS. TREE LAWNS ALONG 70TH AVENUE AND GREEN COURTS FRONTING LARGE PARK/OPEN SPACE AREAS AT THE SOUTH ARE TO BE MAINTAINED BY THE PTMD.

Exhibit 3.1 SHEET **<u>3</u> OF <u></u>**

K. DESCRIPTION OF BUILDING ENVELOPES INCLUDING SQUARE FOOTAGE AND/OR NUMBER OF UNITS. MINIMUM SETBACKS, HEIGHT, GENERAL EXTERNAL CHARACTERISTICS.

THERE ARE 114 TOWNHOME LOTS INCLUDED IN THIS FDP. SETBACKS ARE BASED ON REQUIREMENTS FROM ADAMS COUNTY. REFER TO THE BULK & DIMENSIONS STANDARDS SHEET.

ARCHITECTURAL DESIGN ALLOWS FOR INCORPORATION OF A VARIETY OF ARCHITECTURAL STYLES. ALL TOWNHOMES SHALL HAVE A COVERED PORCH OR STOOP ON ALL GROUND FLOORS, THE MAXIMUM HEIGHT OF TOWNHOME UNITS SHALL BE 41 FEET, ALL COMMUNITY DEVELOPMENT ON THE PROPERTY SHOULD COMPLY WITH THESE STANDARDS WHEN THEY ARE ADOPTED BY THE DESIGN REVIEW COMMITTEE (DRC).

L. COVENANTS TO BE IMPOSED ON THE PUD COVENANTS, CONDITIONS AND RESTRICTIONS (CC&RS) SHALL BE IMPOSED ON THIS PUD, TO BE ENFORCED BY THE PTMD.

ADDITIONAL CONTROLS SUCH AS ARCHITECTURAL CONTROL COMMITTEE OF A HOME **OWNER'S ASSOCIATION**

THE PTMD WILL ENFORCE DESIGN STANDARDS THROUGH CC&RS. ALL ARCHITECTURAL STYLES OF PROPOSED BUILDINGS SHALL REQUIRE APPROVAL BY THE PTMD DRC AND SHALL BE CONSISTENT WITH THE DESIGN GUIDELINES FOR THIS COMMUNITY FOR OVERALL ARCHITECTURAL INTENT.

N. UTILIZATION AND LOCATION OF ANY OUTDOOR STORAGE

ALL PROPOSED MARKETING/TEMPORARY STORAGE OR ANY OTHER ACCESSORY STRUCTURE IS PROHIBITED ON TOWNHOME LOTS.

O. UTILITY SERVICE PROVIDERS

CRESTVIEW WATER AND SANITATION DISTRICT HAS INDICATED THEY HAVE ADEQUATE CAPABILITY TO SERVE THIS PROPERTY WITH BOTH WATER AND SANITARY SEWER. XCEL ENERGY WILL PROVIDE GAS AND ELECTRIC SERVICES TO THE PROPERTY, APPROPRIATE EASEMENTS FOR ASSOCIATED IMPROVEMENTS AND UTILITY LINES ARE TO BE INCLUDED ON THE FILINGS 3 AND 4 AREA FINAL PLAN. SANITARY SEWER MAINS IN ALLEY TRACTS AND UP TO RECEIVING MANHOLES WITHIN THE RIGHT-OF-WAY SHALL BE OWNED AND MAINTAINED BY THE MASTER COMMUNITY ASSOCIATION.

P. ESTIMATED TIMETABLE FOR DEVELOPMENT

THE ESTIMATED LENGTH OF TIME FOR BUILD-OUT OF THE FUTURE FILING(S) AREA OF POMPONIO TERRACE IS 3-5 YEARS, BEGINNING FALL 2017.

Q. ANY OTHER PERTINENT FACTORS CONCERNING THE DEVELOPMENT

ADAMS COUNTY FIRE DISTRICT WILL SERVICE POMPONIO TERRACE

	KOLC Charmy Str	Glendale, CO 802 www.ees.us.co 303-572-79
	LED	ENGINEERING SOLUTIONS, Inc.
FINAL DEVELOPMENT PLAN POMPONIO TERRACE FILINGS 3 AND 4	ADAMS COUNTY, CO 80030	WRITTEN NARRATIVE
PROJECT NO: DESIGNED BY DRAWN BY:		PHT004.01 JNA EPT
 DATE:		12/12/2018

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RECEPTION NO.

FILE NO.

MAP NO.

OWNER/APPLICANT

POMPONIO TERRACE HOLDINGS, LLC 1140 US HWY 287 #400-125 **BROOMFIELD, COLORADO 80020** ATTN: JAMES MERLINO P: (303) 810-7224

PLANNER

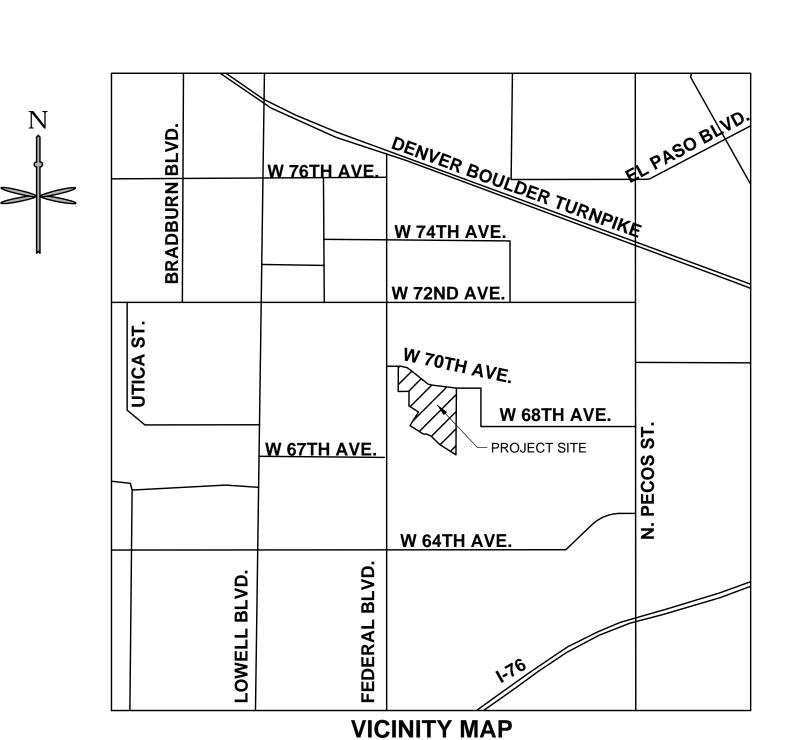
PCS GROUP INC. P.O. BOX 18287 **DENVER, CO 80218** ATTN: JIM IVY P: (303) 531-4905

ENGINEERING CONSULTANT

ENTITLEMENT AND ENGINEERING SOLUTIONS. INC. 501 S. CHERRY STREET, SUITE 300 GLENDALE, COLORADO 80246 ATTN: JON N. ANDRESEN JR., PE P: (303) 601-7702

LEGAL DESCRIPTION

SEE SHEET 2



CERTIFICATE OF OWNERSHIP

, 20_

I, JAMES MERLINO, AS MANAGER OF HUNTERDON LLC, THE MANAGER OF POMPONIO TERRACE HOLDINGS LLC, BEING THE OWNER OF POMPONIO TERRACE IN THE COUNTY OF ADAMS, STATE OF COLORADO, HEREBY SUBMIT THIS PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN AND AGREE TO PERFORM UNDER THE TERMS NOTED HEREON.

OWNER'S SIGNATURE

STATE

BY:

COUNTY

THE FOREGOING OWNERSHIP CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF

NOTARY PUBLIC:

MY COMMISSION EXPIRES:

DISTRICT MANAGER

ACKNOWLEDGEMENT AND ACCEPTANCE BY DISTRICT

AS DISTRICT MANAGER OF CRESTVIEW WATER AND SANITATION DISTRICT, WHICH HAS AN ADDRESS OF 7145 MARIPOSA STREET, DENVER, CO 80221, HEREBY ACKNOWLEDGE AND ACCEPT THE DEDICATION, GRANT, SALE, REMISE AND CONVEYANCE OF NON-EXCLUSIVE UTILITY EASEMENTS WITHIN POMPONIO TERRACE FILINGS NO. 3 AND 4, COUNTY OF ADAMS, STATE OF COLORADO.

3&4

IO FILINGS 3 AND

DATE: _____

FINAL DEVELOPMENT PLAN **POMPONIO TERRACE FILINGS 3 AND 4** A PLANNED UNIT DEVELOPMENT **ADAMS COUNTY, COLORADO 80030**

BOARD OF COUNTY COMMISSIONERS APPROVAL:

1''= 2,000'

APPROVED BY THE ADAMS COUNTY PLANNING COMMISSION

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS

THIS ____ DAY OF ___ __, 20____

BY: _ CHAIR

BY:

THIS ____ DAY OF _

CHAIR

STAFF REVIEW

COUNTY ATTORNEY

APPROVED AS TO FORM BY:

COMMUNITY AND ECONOMIC DEVELOPMENT

-Exhibit 3.2 SHEET 1 UF 20

3D Q

501 S. Cherry Street Glendale, CO 80246 www.ees.us.com 303-572-7997

Inc.

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SHEET NUMBER	SHEET TITLE	
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2	LEGAL DESCRIPTION	
3	WRITTEN NARRATIVE	
4	FILING NO. 3 SETBACK PLAN	
5	FILING NO. 4 SETBACK PLAN	
6	FILINGS NO. 3 & 4 OVERALL SITE PLAN	
7	PEDESTRIAN AND MOBILITY PLAN	
8	FILING NO. 3 SITE PLAN	
9	FILING NO. 4 SITE PLAN	
10	LANDSCAPE COVER SHEET	
11	NOTES & PLANT SCHEDULE	
12	RESIDENTIAL LANDSCAPE STANDARDS	
13	OVERALL FENCING, LANDSCAPE & WALK CONNECTION PLAN-FILING NO. 3	
14	LANDSCAPE PLAN-FILING NO. 3	
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17	OVERALL LANDSCAPE, FENCING & WALK CONNECTION PLAN-FILING NO. 4	
18	LANDSCAPE PLAN-FILING NO. 4	
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20	LANDSCAPE PLAN-FILING NO. 4	
21	LANDSCAPE PLAN-FILING NO. 4	
22	LANDSCAPE PLAN-ENHANCED ACTIVITY AREA	
23	SITE & LANDSCAPE DETAILS	
24	SITE & LANDSCAPE DETAILS	
25	SITE & LANDSCAPE DETAILS	
26	SITE & LANDSCAPE DETAILS	
27	SITE & LANDSCAPE DETAILS	
28	ARCHITECTURAL STANDARDS	

ENTITLEMENT AND SOLUTIONS, ENGINEERING 2 ERRA 4 AND AN က **ILINGS** ፈ Ш 80030 AENT ш 8 $\overline{\mathbf{O}}$ Δ COUNTY Ш Ō \mathbf{O} R TERRA Ш DEVEI >Ó ()FINAL OMPONIO

	002010.000	
M. ON THEDAY OF	, 20	
		PROJECT NO: PHT004.01
INTY CLERK AND RECORDER		DESIGNED BY: JNA
		DRAWN BY: EPT
	FILE NO	DATE: 12/12/2018
	MAP NO	1
DEPUTY	RECEPTION NO.	

PLANNING COMMISSION APPROVAL:

ADDITIONS AND DELETIONS:

THE FOLLOWING ADDITIONS AND DELETIONS IN THE PUD WERE MADE BY THE BOARD OF COUNTY COMMISSIONERS AT THE TIME OF APPROVAL:

CERTIFICATE OF THE CLERK AND RECORDER

THIS FINAL DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY OF ERK AND RECORDER IN THE STATE OF COLORADO

AT

CO

BY:

FINAL DEVELOPMENT PLAN **POMPONIO TERRACE FILINGS 3 AND 4** A PLANNED UNIT DEVELOPMENT **ADAMS COUNTY, COLORADO 80030**

LEGAL DESCRIPTION

LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER AND IN THE SOUTHEAST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN. COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER OF SECTION 5, BEING A 3.25" ALUMINUM CAP IN MONUMENT BOX STAMPED LS 23053, FROM WHICH POINT THE NORTHEAST CORNER OF SAID NORTHEAST QUARTER OF SECTION 5, BEING A 3.25" ALUMINUM CAP IN MONUMENT BOX STAMPED LS 17668, BEARS NORTH 89°37'42" EAST, A DISTANCE OF 2637,26 FEET:

THENCE SOUTH 00°47'38" WEST ALONG THE WEST LINE OF SAID NORTHEAST QUARTER, A DISTANCE OF 1398.86 FEET (DEEDED AS 1400');

THENCE SOUTH 89°12'22" EAST ALONG THE SOUTH LINE OF WEST 70TH AVENUE, AS CONVEYED IN DEED RECORDED IN BOOK 536 AT PAGE 311, A DISTANCE OF 286.05 FEET (DEEDED AS 286 FEET) TO THE NORTHWEST CORNER OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN DEED RECORDED UNDER RECEPTION NO. 2006000985302, BEING THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID SOUTHERLY LINE OF WEST 70TH AVENUE THE FOLLOWING FIVE (5) COURSES:

SOUTH 89°12'22" EAST, A DISTANCE OF 64.00 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667

ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 260.00 FEET AND A CENTRAL ANGLE OF 39°23'37", AN ARC 2. DISTANCE OF 178.76 FEET (CHORD BEARS SOUTH 69°30'34" EAST, 175.26 FEET) TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667;

SOUTH 49°48'45" EAST. A DISTANCE OF 396.77 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667: 3.

ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 340.00 FEET AND A CENTRAL ANGLE OF 33°19'31", AN ARC 4. DISTANCE OF 197.76 FEET (CHORD BEARS SOUTH 66°28'31" EAST, 194.98 FEET) TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667;

5. SOUTH 83°08'16" EAST, A DISTANCE OF 519.78 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667;

THENCE SOUTH 00°33'25" WEST ALONG THE WEST LINE OF LOT 1, BLOCK 1, SUNDSTRAND SUBDIVISION, RECORDED UNDER RECEPTION NO. A026680, A DISTANCE OF 1299.66 FEET TO A 3.25" ALUMINUM CAP STAMPED CDOT;

THENCE ALONG THE NORTHERLY LINE OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN DEED RECORDED IN BOOK 5158 AT PAGE 820 THE FOLLOWING FOUR (4) COURSES:

- NORTH 57°33'55" WEST, A DISTANCE OF 382.30 FEET TO A 3.25" ALUMINUM CAP STAMPED CDOT
- NORTH 42°16'49" WEST, A DISTANCE OF 182.93 FEET TO A 3.25" ALUMINUM CAP STAMPED CDOT
- 3. NORTH 57°33'55" WEST, A DISTANCE OF 130.95 FEET TO A 3.25" ALUMINUM CAP STAMPED CDOT:

NORTH 84°23'03" WEST, A DISTANCE OF 196.86 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667; 4.

THENCE NORTH 57°33'55" WEST ALONG THE NORTHERLY LINE OF THE BURLINGTON NORTHERN AND SANTA FE RAILWAY COMPANY RIGHT-OF-WAY, AS DESCRIBED IN SAID DEED RECORDED IN BOOK 5158 AT PAGE 820, A DISTANCE OF 244.38 FEET; THENCE ALONG THE EASTERLY AND NORTHERLY LINES OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN WARRANTY DEED RECORDED IN BOOK 1299 PAGE AT 154 THE FOLLOWING FOUR (4) COURSES:

- NORTH 31°56'08" EAST, A DISTANCE OF 336.17 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667;
- NORTH 58°03'52" WEST, A DISTANCE OF 235.00 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667; 2.
- NORTH 00°48'38" EAST, A DISTANCE OF 303.09 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667; 3.
- NORTH 89°11'22" WEST, A DISTANCE OF 429.19 FEET;

THENCE ALONG THE EAST LINE OF FEDERAL BOULEVARD AND ALONG THE WEST LINE OF SAID PARCEL OF LAND DESCRIBED IN DEED RECORDED UNDER RECEPTION NO. 2006000985302 THE FOLLOWING TWO (2) COURSES:

NORTH 02°03'26" WEST, A DISTANCE OF 24.18 FEET TO A PK NAIL WITH WASHER STAMPED PLS 24667; 1.

NORTH 09°19'16" WEST, A DISTANCE OF 72.66 FEET;

THENCE ALONG THE NORTH AND WEST LINES OF SAID PARCEL OF LAND DESCRIBED IN DEED RECORDED UNDER RECEPTION NO. 2006000985302 THE FOLLOWING SIX (6) COURSES:

1. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 70.00 FEET AND A CENTRAL ANGLE OF 37°48'16", AN ARC DISTANCE OF 46.19 FEET (CHORD BEARS SOUTH 60°05'56" EAST, 45.35 FEET);

2. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 155.33 FEET AND A CENTRAL ANGLE OF 11°23'54", AN ARC DISTANCE OF 30.90 FEET (CHORD BEARS SOUTH 35°29'48" EAST, 30.85 FEET);

SOUTH 29°47'48" EAST, A DISTANCE OF 16.30 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP WITH ILLEGIBLE MARKINGS; 3.

4. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 23.43 FEET AND A CENTRAL ANGLE OF 59°29'33", AN ARC DISTANCE OF 24.33 FEET (CHORD BEARS SOUTH 59°32'18" EAST, 23.25 FEET) TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667;

SOUTH 89°17'04" EAST, A DISTANCE OF 112.36 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667; 5.

6. NORTH 00°47'38" EAST, A DISTANCE OF 457.36 FEET TO THE POINT OF BEGINNING, CONTAINING 1,161,661 SQUARE FEET, OR 26.6681 ACRES, MORE OR LESS.

RESTRICTION

AS A MEANS TO PROMOTE EFFICIENT COST-EFFECTIVE RESOLUTION OF DISPUTES PERTAINING TO THE PROPERTY COVERED BY THIS PLAT (THE "PROPERTY"), AND TO AFFIRMATIVELY FURTHER FAIR HOUSING AND HOUSING CHOICE PURSUANT TO THE FAIR HOUSING ACT, TO ENCOURAGE AND FOSTER THE DEVELOPMENT OF AFFORDABLE HOUSING OPTIONS AND TO HELP ENSURE THE CONSTRUCTION OF OWNER-OCCUPIED MULTI-FAMILY HOUSING FOR THE BENEFIT OF COUNTY RESIDENTS, WHICH CONSTRUCTION THE COUNTY UNDERSTANDS IS BECOMING COST PROHIBITIVE DUE TO INCREASING AND EXCESSIVE LITIGATION COSTS, IT SHALL BE A REQUIREMENT THAT THE FOLLOWING CLAIMS INVOLVING THE PROPERTY SHALL BE SUBMITTED TO BINDING ARBITRATION IN LIEU OF SUBMITTING ANY SUCH CLAIM TO A JUDICIAL PROCEEDING:

THE FOREGOING SHALL NOT PRECLUDE ANY OF THE FOREGOING PARTIES FROM ENDEAVORING TO RESOLVE ANY SUCH CLAIM THROUGH EITHER NEGOTIATION OR MEDIATION BEFORE SUBMITTING SUCH CLAIM TO BINDING ARBITRATION ADDITIONALLY, IF THE PROPERTY IS NOW OR HEREAFTER SUBJECT TO A PARTY WALL COVENANT, PROVISIONS OF THE PARTY WALL COVENANT THAT IMPLEMENT AND EXPAND UPON THE REQUIREMENTS OF THIS RESTRICTION SHALL BE FULLY EFFECTIVE AND SUCH PARTY WALL COVENANT MAY EXEMPT CERTAIN CLAIMS FROM THE REQUIREMENT THAT SUCH CLAIMS MUST BE SUBMITTED TO BINDING ARBITRATION; PROVIDED, HOWEVER, THAT ANY SUBSEQUENT AMENDMENT OR CHANGE TO SUCH PARTY WALL COVENANT SHALL NOT BE EFFECTIVE TO ELIMINATE THE REQUIREMENT THAT THE CLAIMS DESCRIBED IN THIS RESTRICTION, INCLUDING BUT NOT NECESSARILY LIMITED TO CONSTRUCTION DEFECT CLAIMS, BE SUBMITTED TO BINDING ARBITRATION IN LIEU OF SUBMITTING ANY SUCH CLAIM TO A JUDICIAL PROCEEDING. NOTWITHSTANDING THE FOREGOING, THIS RESTRICTION SHALL NOT BE DEEMED TO REQUIRE THAT CLAIMS BROUGHT BY AN OWNER OF A PORTION OF THE PROPERTY AGAINST ANOTHER OWNER OR OWNERS OF OTHER PORTIONS OF THE PROPERTY PURSUANT TO A PARTY WALL COVENANT TO RECOVER AMOUNTS OWED TO THE OWNER BRINGING SUCH CLAIMS, WHERE SUCH AMOUNTS ARE EXPRESSLY MADE PAYABLE BY THE PARTY WALL COVENANT (SUCH AS, WITHOUT LIMITATION, AMOUNTS OWED TO PAY A PORTION OF THE COSTS OF REPAIRING OR REPLACING A PARTY WALL THAT IS DAMAGED) OR TO FORECLOSE ANY LIEN PROVIDED IN THE PARTY WALL COVENANT TO SECURE SUCH AMOUNTS, OR TO OBTAIN A TEMPORARY OR PERMANENT RESTRAINING ORDER AND/OR INJUNCTION FROM A COURT OF LAW PROHIBITING A VIOLATION OF SUCH PARTY WALL COVENANT, SHALL BE SUBJECT TO BINDING ARBITRATION.

FOR PURPOSES OF THIS RESTRICTION, BINDING ARBITRATION SHALL MEAN SUBMISSION OF ANY CLAIM DESCRIBED ABOVE TO A SINGLE ARBITRATOR WHO MUST BE A PERSON QUALIFIED TO CONSIDER AND RESOLVE THE CLAIM WITH THE APPROPRIATE INDUSTRY AND/OR LEGAL EXPERIENCE AND WHO HAS NO FINANCIAL OR PERSONAL INTEREST IN THE CLAIM OR ANY FAMILY, SOCIAL OR SIGNIFICANT PROFESSIONAL ACQUAINTANCE WITH ANY PARTY TO THE ARBITRATION. WITHOUT LIMITING WHO MAY BE CONSIDERED QUALIFIED PURSUANT TO THE PREVIOUS SENTENCE, IN ALL EVENTS THE FOLLOWING PERSONS SHALL BE DEEMED QUALIFIED IF HE/SHE HAS NO FINANCIAL OR PERSONAL INTEREST IN THE CLAIM OR ANY FAMILY, SOCIAL OR SIGNIFICANT PROFESSIONAL ACQUAINTANCE WITH ANY PARTY TO THE ARBITRATION: A RETIRED COLORADO STATE DISTRICT COURT JUDGE OR RETIRED FEDERAL DISTRICT COURT JUDGE OR THROUGH THE USE OF SUCH ORGANIZATION THAT SUCH RETIRED JUDGE MAY BE A MEMBER OF, INCLUDING SUCH ORGANIZATIONS AS THE JUDICIAL ARBITER GROUP OR ITS SUCCESSORS. IN SUCH ARBITRATION, THE FEES AND COSTS OF THE ARBITRATION SHALL BE BORNE PRO RATA BY THE PARTIES. THE ARBITRATION SHALL BE CONDUCTED UTILIZING SUCH RULES OF PROCEDURE AS THE ARBITRATOR MAY REASONABLY ADOPT TO PROMOTE THE EFFICIENT AND ECONOMICAL RESOLUTION OF ANY SUCH CLAIM. THIS RESTRICTION SHALL HE BINDING UPON ALL SUCCESSORS IN INTEREST, GRANTEES, OWNERS, HEIRS, ASSIGNS, AND ALL OTHERS WHO ACQUIRE AN INTEREST IN OR TO THE PROPERTY.

SHEET <u>2</u> OF <u>28</u>

AS A CONDITION OF SUBDIVISION PLAT APPROVAL, THE COUNTY REQUIRES THAT ALL PROPERTY CONTAINED WITHIN THE BOUNDARIES OR LIMITS OF THIS SUBDIVISION SHALL BE SUBJECT TO THE FOLLOWING PLAT **RESTRICTION (THIS "RESTRICTION").**

ANY AND ALL CLAIMS:

(1) THAT ARE BETWEEN ANY TWO OR MORE OF THE FOLLOWING PERSONS OR ENTITIES:

(A) ANY OWNER OF ANY PORTION OF THE PROPERTY,

(B) ANY ORGANIZATION, ENTITY OR GROUP THAT PURPORTS TO REPRESENT OWNERS OF ANY PORTION OF THE PROPERTY, EVEN THOUGH THERE WILL NOT BE A COMMON INTEREST COMMUNITY ASSOCIATION CREATED WITH RESPECT TO THE PROPERTY,

(C) THE SUBDIVIDER, DEVELOPER OR ANY CONTRACTOR OR ANYONE CLAIMING UNDER OR THROUGH ANY SUCH PERSONS IDENTIFIED IN (A) AND (B),

(D) ANY PARTY THAT CONSTRUCTS ANY RESIDENTIAL DWELLING UNITS UPON THE PROPERTY, OR

(E) ANY CONSTRUCTION PROFESSIONAL AS DEFINED IN THE CONSTRUCTION DEFECT ACTION REFORM ACT, C.R.S. § 13-20-801, ET SEQ., AS AMENDED, AND

(2) THAT PERTAINS TO ANY OF:

(A) THE PROPERTY

(B) ANY DWELLING UNIT OR OTHER IMPROVEMENTS CONSTRUCTED ON THE PROPERTY, INCLUDING, WITHOUT LIMITATION, ANY ACTUAL OR ALLEGED DEFECT IN DESIGN, CONSTRUCTION, WORKMANSHIP OR MATERIALS IN SUCH DWELLING UNIT OR OTHER IMPROVEMENTS, OR

(C) ANY PARTY WALL COVENANT OR SIMILAR INSTRUMENT (A "PARTY WALL COVENANT") WHICH AFFECTS ALL OR ANY PORTION OF THE PROPERTY.



RECEPTION NO.

FILE NO.

MAP NO.

FINAL DEVELOPMENT PLAN **POMPONIO TERRACE FILINGS 3 AND 4** A PLANNED UNIT DEVELOPMENT **ADAMS COUNTY, COLORADO 80030**

NARRATIVE

- A. EXPLANATION OF THE CHARACTERISTICS OF THE PUD
 - THE POMPONIO TERRACE PRELIMINARY DEVELOPMENT PLAN (PDP) WAS ORIGINALLY APPROVED ON FEBRUARY 17, 2015. THE APPROVED REQUEST WAS FOR:
 - THE BOCC APPROVED A PRELIMINARY PLAT AND DEVELOPMENT PLAN FOR 248 1) SINGLE-FAMILY LOTS ON FEBRUARY 17, 2015. (CASE NUMBER PRC 2014-00014)
 - 2) FILING 1 AND FILING 2 FINAL PLATS AND FINAL DEVELOPMENT PLANS (FDP) WERE APPROVED ON OCTOBER 4, 2016 (FDP) AND DECEMBER 13, 2016 (FINAL PLATS AND SIAS). (CASE NUMBER PRC 2016-00004)
 - i. FILING 1 CREATED 74 SINGLE-FAMILY LOTS ON 11.791 ACRES.
 - ii. FILING 2 CREATED 52 SINGLE-FAMILY LOTS ON 8.323 ACRES.
 - THE BOCC APPROVED AN AMENDMENT TO THE FILING 1 SIA TO ALLOW CONSTRUCTION 3) OF 4 MODEL HOMES PRIOR TO COMPLETION OF ALL PUBLIC IMPROVEMENTS ON SEPTEMBER 26, 2017. (CASE NUMBER PLN2017-00014)
 - THE BOCC APPROVED AN AMENDMENT TO THE PDP TO ALLOW SINGLE-FAMILY ATTACHED (TOWNHOMES) ON FEBRUARY 27, 2018. (CASE NUMBER PUD2017-00002.)
 - THE FDP FOR FILINGS 3 AND 4 APPLIES TO APPROXIMATELY 6.46 ACRES EXCLUDING 5) FILINGS NO.1 AND NO. 2, CONSISTING OF 114 ATTACHED SINGLE FAMILY TOWNHOMES, AND LANDSCAPED OPEN SPACE AREAS. THE FILING(S) ARE LOCATED ON THE EAST SIDE OF FEDERAL BOULEVARD, SOUTH OF 70TH AVENUE, AND NORTH OF LITTLE DRY CREEK. TWO POINTS OF ACCESS FOR BOTH FILINGS WILL BE PROVIDED ON 70TH AVENUE WITH THE APPROVED FILINGS NO. 1 AND 2 IMPROVEMENTS.

POTENTIAL IMPACT ON THE SURROUNDING AREA B

THE DEVELOPMENT AND ITS SITE PLAN ARE CONSISTENT WITH THE 2012 ADAMS COUNTY COMPREHENSIVE PLAN. THE COMPREHENSIVE PLAN DESIGNATES THE AREA AS URBAN RESIDENTIAL, WHICH IS DESIGNATED FOR SINGLE FAMILY HOUSING AT URBAN DENSITIES AND INTENDED TO PROVIDE FOR DEVELOPMENT OF RESIDENTIAL NEIGHBORHOODS WITH A VARIETY OF HOUSING TYPES, URBAN SERVICES, AND TRANSPORTATION FACILITIES. THE DEVELOPMENT IS CONSISTENT WITH THIS DESIGNATION AND HAS BEEN PLANNED TO INCORPORATE THE CONCEPTS OF A TRANSIT ORIENTED DEVELOPMENT (TOD), THE STRENGTHS AND LESSONS-LEARNED FROM THE ADJACENT MIDTOWN AT CLEAR CREEK (MIDTOWN) DEVELOPMENT, AND TO TAKE ADVANTAGE OF THE PLANNED WESTMINSTER LIGHT RAIL (FASTRACKS) STATION LOCATED WITHIN A QUARTER MILE FROM THE SITE. ADDITIONALLY, THE PROPERTY IS WITHIN ADAMS COUNTY'S FEDERAL BOULEVARD FRAMEWORK PLAN AND HAS BEEN PROGRAMMED TO COMPLY WITH THE TENETS OF THAT PLAN.

AS MENTIONED IN THE PLAN, TOD STYLE LAND USE PATTERNS MAY NECESSITATE SPECIALIZED DESIGN STANDARDS TO ENCOURAGE THE TYPE OF DEVELOPMENT REFLECTED IN THE PLAN (PAGE 10). IN ADDITION, THE FLOODPLAIN TO THE SOUTH OF THE SITE, AND THE NATURAL FLOW OF STORMWATER TO THE SOUTHEAST CREATES THE NEED TO PROVIDE A MORE DENSE SITE PLAN TO ALLOW FOR THOSE CONDITIONS. LASTLY, THE EDGE CONDITIONS, IN PARTICULAR TO THE WEST, ALONG FEDERAL BOULEVARD NECESSITATE CREATING A STRONG SENSE OF PLACE IN DESIGN. IT IS ALSO CONSISTENT WITH THE FRAMEWORK PLANS' GOALS TO BRING MORE URBANITY TO THE SUBURBS.

THE SITE INCORPORATES THE NATURAL FEATURES BY MEETING THE COUNTY REQUIREMENTS FOR OPEN SPACE AS WELL AS ORIENTING THE PROJECT OPEN SPACE TO THE LITTLE DRY CREEK TRAIL SYSTEM AND FLOODPLAIN AREA. THE ADDITION OF THE USE OF MEWS PROVIDE ADDITIONAL INTERNAL GREENWAYS FOR RESIDENTS AND IS ANTICIPATED TO INCLUDE INTERNAL TRAIL CONNECTIONS. BECAUSE OF THE SITES PROXIMITY TO THE LITTLE DRY CREEK TRAILS AND THE WESTMINSTER TOD, THE PLAN SEEKS TO CONNECT TO THOSE TRAILS IDENTIFIED IN THE FEDERAL BOULEVARD FRAMEWORK PLAN. IN ADDITION, THE PROJECT MEETS THE GOALS OF THE FRAMEWORK PLAN BY PROVIDING DENSITY IN CLOSE PROXIMITY TO THE TOD.

C. CONTEMPLATED DENSITIES AND LAND COVERAGE

THIS FDP CONSISTS OF 114 LOTS WHICH PROVIDE A DENSITY OF 18.4 DWELLING UNITS PER ACRE. THE FDP FOR FILINGS 3 AND 4 IS PROPOSING 30% OF THE LAND TO BE DEDICATED AS OPEN SPACE AND WILL PROVIDE A TRAIL CONNECTION TO THE SOUTHERN LITTLE DRY CREEK OPEN SPACE. THE ENTIRE DEVELOPMENT (FILINGS 1, 2, 3 & 4) WILL MEET THE 30% OPEN SPACE, AND OPEN SPACE AREAS WILL BE CALCULATED IN CONFORMANCE WITH THE DEFINITION IN THE COUNTY'S DEVELOPMENT STANDARDS.

D. NUMBER, TYPE, AND SIZE OF BUILDINGS OR UNITS

114 TOWNHOME LOTS ARE PROPOSED. THERE IS ONE TOWNHOME TYPE PROPOSED AS STATED BELOW. THE TOWNHOME UNIT BLOCKS RANGE FROM THREE ATTACHED UNITS TO SIX ATTACHED UNITS

TOWNHOMES/REAR-LOADED

THE PROPOSED FILINGS CONSIST OF TOWNHOMES DESIGNED FOR RESIDENTS WHO WANT TO LIVE IN AN ATTACHED BLOCK WHICH IS MORE AFFORDABLE DUE TO SMALLER LOT SIZES. SHARED WALLS, AND FEWER INDIVIDUAL MAINTENANCE REQUIREMENTS. THE LOTS ARE REAR ALLEY-LOADED WITH 2-CAR GARAGES AND THE FRONT DOOR OPENS TO OPEN SPACE AND LANDSCAPED AREAS.

DESCRIPTION - COUNTY STANDARD	AREA (AC.)
TOTAL PROJECT AREA (FILINGS 1, 2 , 3 & 4)	26.668
TOTAL PROJECT LANDSCAPE OPEN SPACE REQUIRED (30%)	8.000
TOTAL PROJECT ACTIVE OPEN SPACE REQUIRED (25% OF TOTAL PROJECT OPEN SPACE)	2.000

THE ADDITION OF LOW-MAINTENANCE LIVING (NO YARD MAINTENANCE) THROUGH THE ATTACHED PRODUCT PROVIDES AN OFFERING FOR RESIDENTS NEEDING OR WANTING A LOW MAINTENANCE LIFESTYLE. TOWNHOMES TYPICALLY HAVE LOWER COSTS OF OWNERSHIP AS WELL AS BENEFIT FROM COMMON AREA MAINTENANCE, SNOW REMOVAL AND LANDSCAPING. LARGE SCALE OUTSIDE REPAIRS ARE LIMITED HELPING PROVIDE PREDICTABLE MONTHLY OWNERSHIP COSTS.

	APPROVED FILINGS			
FILING NUMBER	APPROVED LOTS	REAR LOADED	FRONT LOADED	
FILING 1	74	48	26	
FILING 2	52	27	25	
PROPOSED FILINGS				
FILING NUMBER PROPOSED LOTS TOWNHOMES				
FILING 3	33	33		
FILING 4	81	81		

E. APPROXIMATE PROVISIONS FOR PARKING

PARKING IS PROVIDED WITH EACH TOWNHOME HAVING A 2-CAR GARAGE. THE PRIVATE ALLEYS ARE DESIGNED TO CONNECT TO THE INTERNAL LOCAL STREET SYSTEM. 26-FOOT WIDE ALLEYS ARE FOR PASSENGER VEHICLE AND GARBAGE TRUCK ACCESS ONLY AND ALLOWS FOR ALLEY-ACCESSED GARAGES. NO PARKING WILL BE ALLOWED OUTSIDE THE GARAGES OR WITHIN THE ALLEY RIGHT-OF-WAY. GUEST PARKING IS PROVIDED ALONG ADJACENT PUBLIC STREETS AND WITHIN OFF-STREET SPACES INTERNAL TO EACH FILING. OFF-STREET PARKING SHALL BE DESIGNATED AS "GUEST PARKING" AND IDENTIFIED WITH APPROPRIATE SIGNAGE. PARKING QUANTITIES SHALL MEET COUNTY REQUIREMENTS.

FILING NO. 3 (33 UNITS)

, , , , , , , , , , , , , , , , , , ,	
GARAGE SPACES REQUIRED = 66	SPACES PROVIDED = 66
GUEST SPACES REQUIRED = 17	SPACES PROVIDED = 36
TOTAL SPACES REQUIRED = 83	SPACES PROVIDED = 102
FILING NO. 4 (81 UNITS)	
GARAGE SPACES REQUIRED = 162	SPACES PROVIDED = 162

GARAGE SPACES REQUIRED = 162	SPACES PROVIDED = 162
GUEST SPACES REQUIRED = 41	SPACES PROVIDED = 63
TOTAL SPACES REQUIRED = 203	SPACES PROVIDED = 225

F. CIRCULATION AND ROAD PATTERNS

TO HELP ENSURE A PEDESTRIAN-FRIENDLY ENVIRONMENT, THE PLANNED CIRCULATION PATTERNS ALLOW FOR DISTRIBUTION OF INTERNAL TRAFFIC THROUGH THE DEVELOPMENT. THE VEHICULAR ROAD PATTERN FOR POMPONIO TERRACE WILL INTEGRATE THE EXISTING AND PROPOSED ROADWAY SYSTEMS. PROPOSED ALLEYS CONNECT WITH ELIOT STREET AND 69TH AVENUE AND ALSO CONNECT WITH DECATUR STREET AND CLAY STREET APPROVED IN FILINGS NO. 1 AND 2. THE APPROVED FILINGS 1 AND 2 AREA INCLUDES ACCESS TO FEDERAL BOULEVARD VIA EXISTING 70TH AVENUE WITH TWO CONNECTIONS FROM POMPONIO TERRACE. ALL STREETS MEET THE ADAMS COUNTY ROADWAY STANDARDS. INTERNAL WALKS SHALL PROVIDE ACCESS BETWEEN UNITS TO TOWNHOME FRONT DOORS. INTERNAL WALKS WILL ALSO PROVIDE CONNECTIVITY FROM EACH UNIT TO ATTACHED WALKS ADJACENT TO PUBLIC STREETS

G. OWNERSHIP AND MAINTENANCE OF COMMON AREAS

THE POMPONIO TERRACE METROPOLITAN DISTRICT (PTMD) IS RESPONSIBLE FOR THE ENFORCEMENT OF LANDSCAPE MAINTENANCE WITHIN DEDICATED OPEN SPACE TRACTS, LANDSCAPE & ACCESS EASEMENTS IN TOWNHOME LOTS AND DEDICATED ALLEY TRACTS. THE COUNTY SHALL BE RESPONSIBLE FOR MAINTAINING ALL LOCAL STREETS WITHIN THE LIMITS OF THE STREET RIGHT-OF WAY AFTER FINAL ACCEPTANCE HAS BEEN GRANTED. THE (PTMD) WILL BE RESPONSIBLE FOR REMOVAL OF SNOW, ICE, SLEET DEBRIS OR OTHER OBSTRUCTIONS FROM THE SIDEWALK AS WELL AS MAINTENANCE TO THE SIDEWALK.

FILINGS NO. 3 & 4 ARE INTENDED TO BE A ZERO-MAINTENANCE TOWNHOME COMMUNITY. WITHIN TOWNHOME LANDSCAPE & ACCESS EASEMENTS, LANDSCAPING WILL BE INSTALLED BY THE TOWNHOME BUILDER.

H. TYPE, LOCATION, EXAMPLES OF COPY AND CONSTRUCTION SIGNS

THE MONUMENT SIGN APPROVED FOR FILINGS NO. 1 AND 2 IS EAST OF THE ELIOT STREET AND WEST 70TH AVENUE INTERSECTION.

TYPE AND ALLOCATION OF ALL USES INCLUDING PERMITTED USES, USES PERMITTED AFTER 1. AMENDMENT TO THE PUD AND PROHIBITED USES

THE DESIGN INTENT FOR POMPONIO TERRACE IS TO CREATE A SINGLE FAMILY COMMUNITY THAT INCLUDES A VARIETY OF HOUSING TYPES INCLUDING SINGLE-FAMILY DETACHED AS WELL AS ATTACHED VARYING FROM 3-6 UNITS.

J. LOCATION AND TYPES OF LANDSCAPING AND MAINTENANCE PROVISIONS

REQUIRED OPEN SPACE AND ACTIVE RECREATION AREAS WILL CONFORM WITH ORIGINAL PDP REQUIREMENTS. TREE LAWNS ALONG 70TH AVENUE AND GREEN COURTS FRONTING LARGE PARK/OPEN SPACE AREAS AT THE SOUTH ARE TO BE MAINTAINED BY THE PTMD.

SHEET <u>3</u> OF <u>28</u>

FILE NO.

MAP NO.

RECEPTION NO.

K DESCRIPTION OF BUILDING ENVELOPES INCLUDING SQUARE FOOTAGE AND/OR NUMBER OF UNITS. MINIMUM SETBACKS, HEIGHT, GENERAL EXTERNAL CHARACTERISTICS.

THERE ARE 114 TOWNHOME LOTS INCLUDED IN THIS FDP. SETBACKS ARE BASED ON REQUIREMENTS FROM ADAMS COUNTY. REFER TO THE BULK & DIMENSIONS STANDARDS SHEET.

ARCHITECTURAL DESIGN ALLOWS FOR INCORPORATION OF A VARIETY OF ARCHITECTURAL STYLES. ALL TOWNHOMES SHALL HAVE A COVERED PORCH OR STOOP ON ALL GROUND FLOORS, THE MAXIMUM HEIGHT OF TOWNHOME UNITS SHALL BE 41 FEET, ALL COMMUNITY DEVELOPMENT ON THE PROPERTY SHOULD COMPLY WITH THESE STANDARDS WHEN THEY ARE ADOPTED BY THE DESIGN REVIEW COMMITTEE (DRC).

L. COVENANTS TO BE IMPOSED ON THE PUD COVENANTS, CONDITIONS AND RESTRICTIONS (CC&RS) SHALL BE IMPOSED ON THIS PUD, TO BE ENFORCED BY THE PTMD.

ADDITIONAL CONTROLS SUCH AS ARCHITECTURAL CONTROL COMMITTEE OF A HOME **OWNER'S ASSOCIATION**

THE PTMD WILL ENFORCE DESIGN STANDARDS THROUGH CC&RS. ALL ARCHITECTURAL STYLES OF PROPOSED BUILDINGS SHALL REQUIRE APPROVAL BY THE PTMD DRC AND SHALL BE CONSISTENT WITH THE DESIGN GUIDELINES FOR THIS COMMUNITY FOR OVERALL ARCHITECTURAL INTENT.

N. UTILIZATION AND LOCATION OF ANY OUTDOOR STORAGE

ALL PROPOSED MARKETING/TEMPORARY STORAGE OR ANY OTHER ACCESSORY STRUCTURE IS PROHIBITED ON TOWNHOME LOTS.

O. UTILITY SERVICE PROVIDERS

CRESTVIEW WATER AND SANITATION DISTRICT HAS INDICATED THEY HAVE ADEQUATE CAPABILITY TO SERVE THIS PROPERTY WITH BOTH WATER AND SANITARY SEWER. XCEL ENERGY WILL PROVIDE GAS AND ELECTRIC SERVICES TO THE PROPERTY. APPROPRIATE EASEMENTS FOR ASSOCIATED IMPROVEMENTS AND UTILITY LINES ARE TO BE INCLUDED ON THE FILINGS 3 AND 4 AREA FINAL PLAN. SANITARY SEWER MAINS IN ALLEY TRACTS AND UP TO RECEIVING MANHOLES WITHIN THE RIGHT-OF-WAY SHALL BE OWNED AND MAINTAINED BY THE MASTER COMMUNITY ASSOCIATION.

P. ESTIMATED TIMETABLE FOR DEVELOPMENT

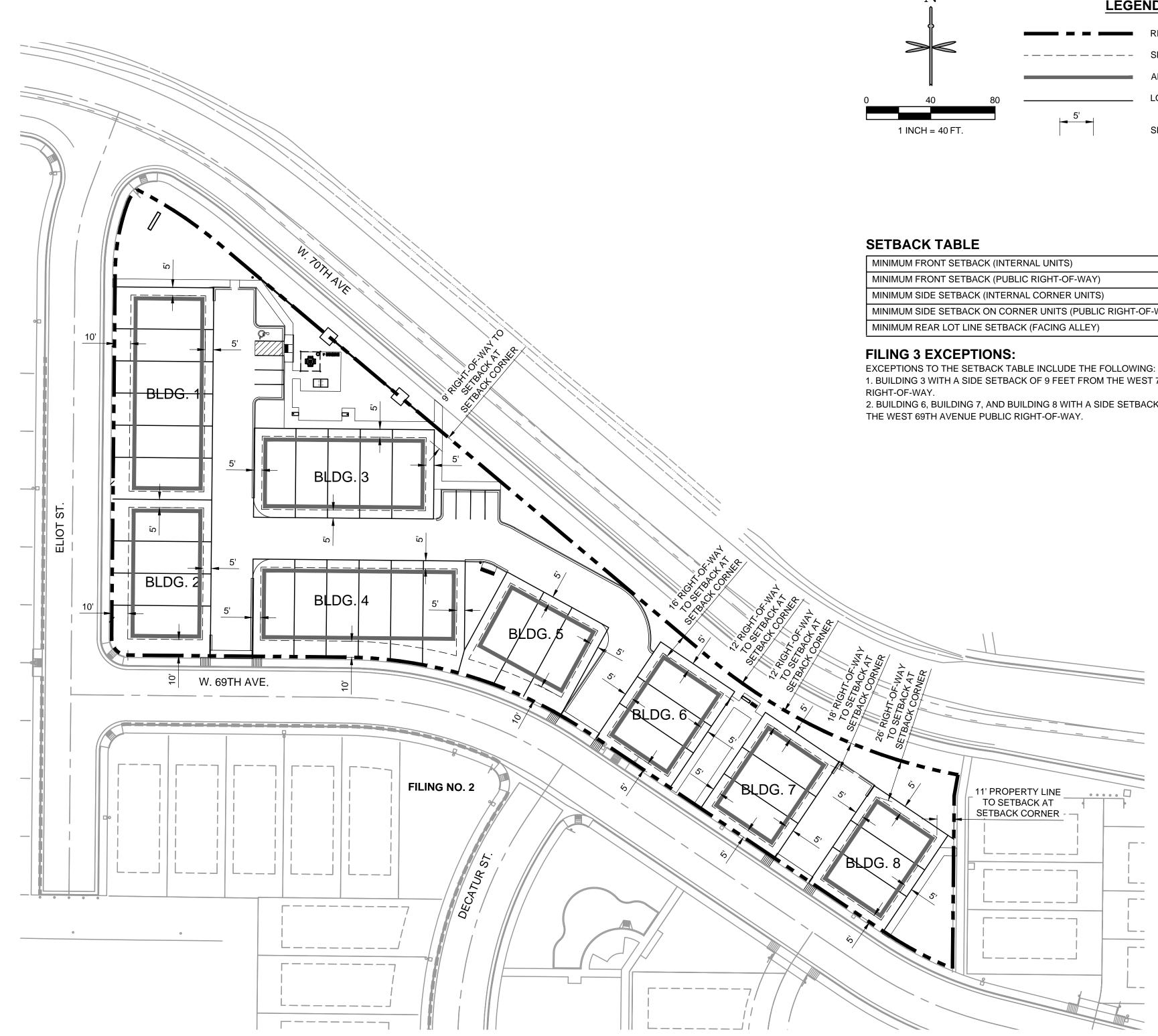
THE ESTIMATED LENGTH OF TIME FOR BUILD-OUT OF THE FUTURE FILING(S) AREA OF POMPONIO TERRACE IS 3-5 YEARS, BEGINNING FALL 2017.

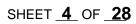
Q. ANY OTHER PERTINENT FACTORS CONCERNING THE DEVELOPMENT

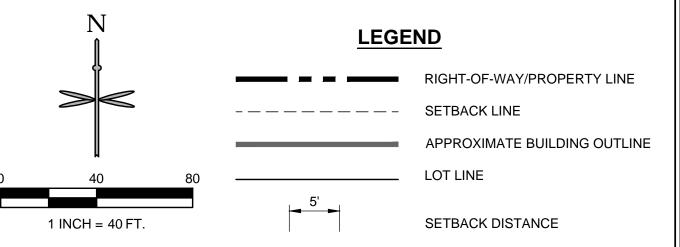
ADAMS COUNTY FIRE DISTRICT WILL SERVICE POMPONIO TERRACE

3		501 S. Cherry Street	Glendale, CO 80246 www.ees.us.com 303-572-7997
		ビドノ	ENTITLEMENT AND GINEERING SOLUTIONS, Inc.
	Danhain	TERACE	EN
	FINAL DEVELOPMENT PLAN POMPONIO TERRACE FILINGS 3 AND 4	ADAMS COUNTY, CO 80030	WRITTEN NARRATIVE
	PROJECT NO DESIGNED B DRAWN BY: DATE:).	PHT004.01 JNA EPT 12/12/2018

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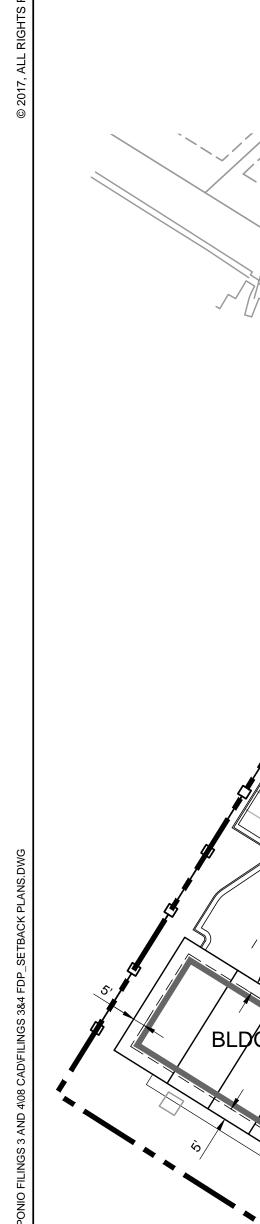


MINIMUM FRONT SETBACK (INTERNAL UNITS)	5 FEET
MINIMUM FRONT SETBACK (PUBLIC RIGHT-OF-WAY)	10 FEET
MINIMUM SIDE SETBACK (INTERNAL CORNER UNITS)	5 FEET
MINIMUM SIDE SETBACK ON CORNER UNITS (PUBLIC RIGHT-OF-WAY)	10 FEET
MINIMUM REAR LOT LINE SETBACK (FACING ALLEY)	5 FEET

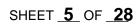
1. BUILDING 3 WITH A SIDE SETBACK OF 9 FEET FROM THE WEST 70TH AVENUE PUBLIC

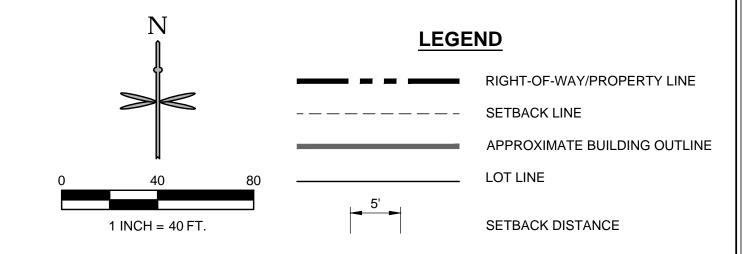
2. BUILDING 6, BUILDING 7, AND BUILDING 8 WITH A SIDE SETBACK OF 5 FEET FROM





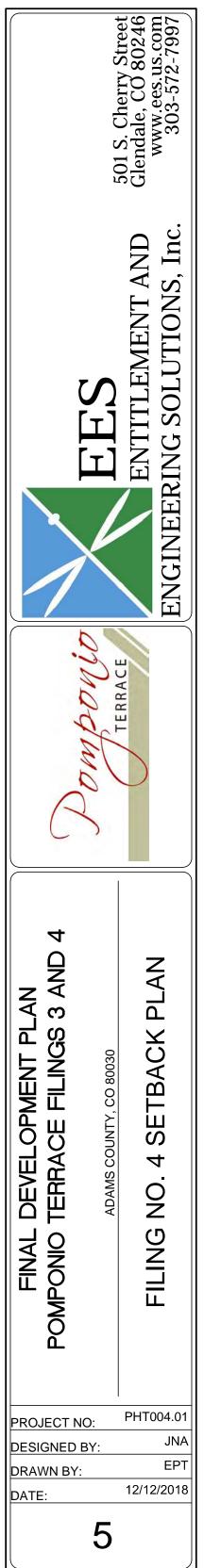


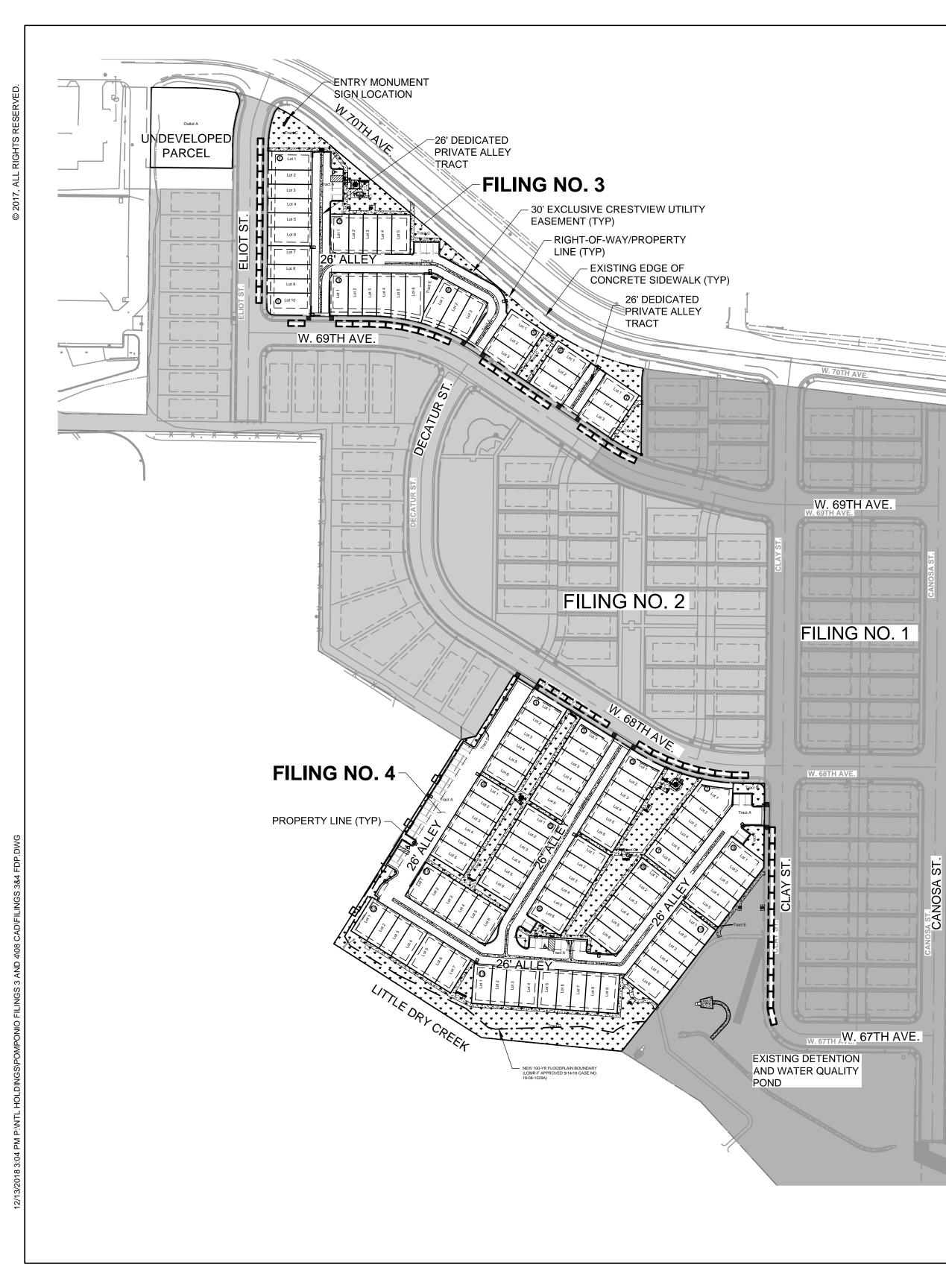




MINIMUM FRONT SETBACK (INTERNAL UNITS)	5 FEET
MINIMUM FRONT SETBACK (PUBLIC RIGHT-OF-WAY)	10 FEET
MINIMUM SIDE SETBACK (INTERNAL CORNER UNITS)	5 FEET
MINIMUM SIDE SETBACK ON CORNER UNITS (PUBLIC RIGHT-OF-WAY)	10 FEET
MINIMUM REAR LOT LINE SETBACK (ALLEY LOADED)	5 FEET

AN EXCEPTION TO THE SETBACK TABLE IS BUILDING 10 WITH A SIDE SETBACK OF 7 FEET FROM THE CLAY STREET PUBLIC RIGHT-OF-WAY.





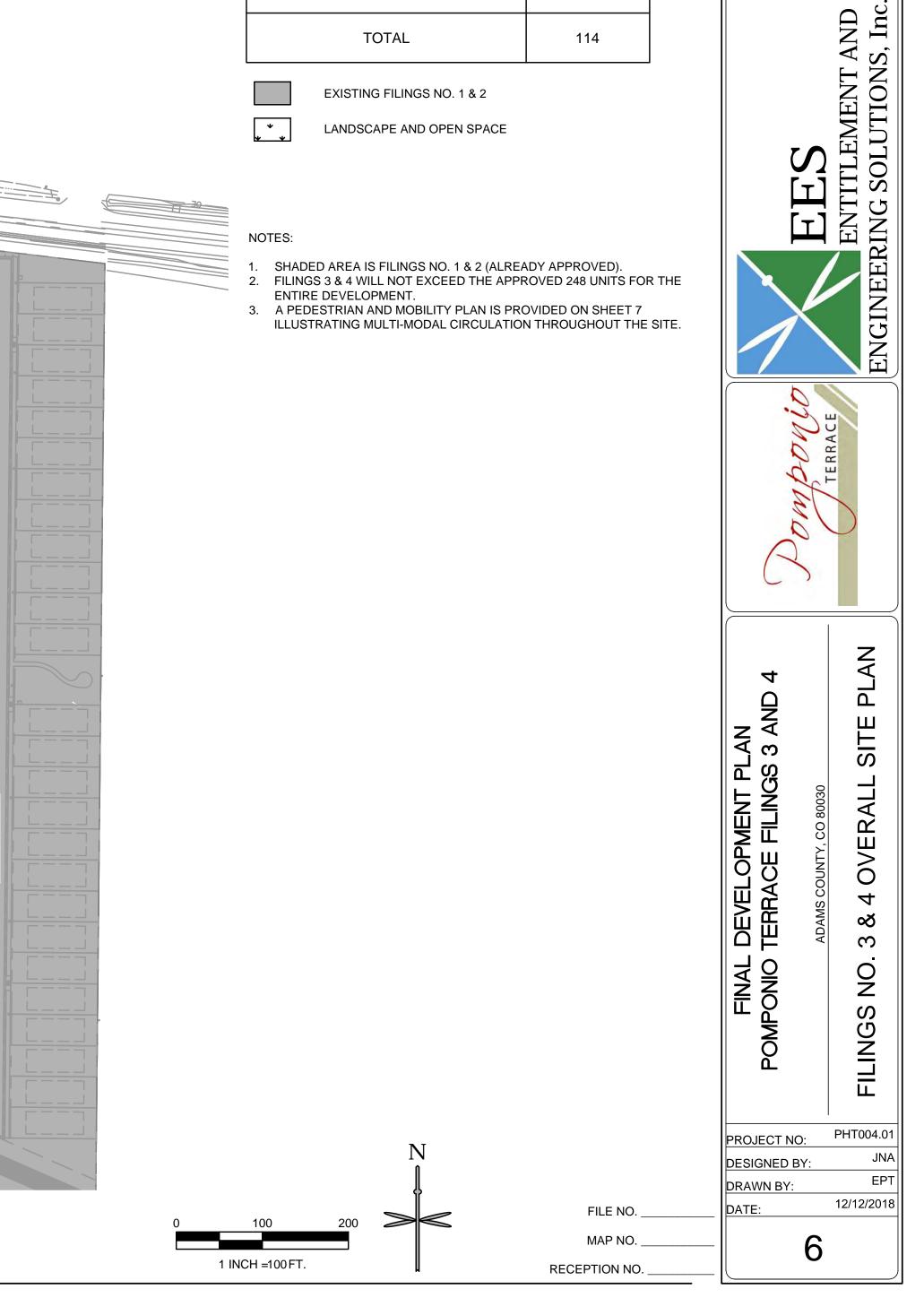
SHEET <u>6</u> OF <u>28</u>

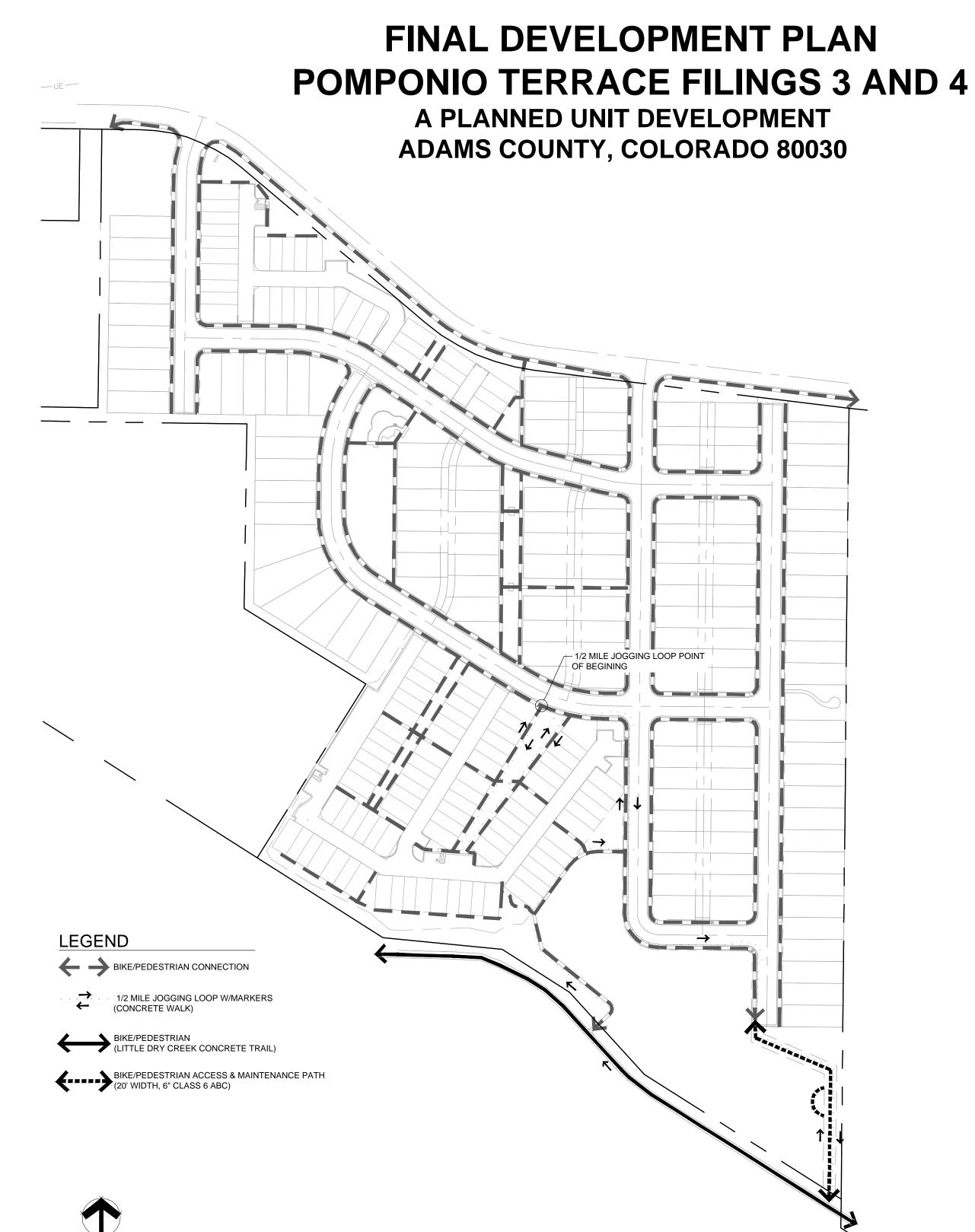
501 S. Cherry Street Glendale, CO 80246 www.ees.us.com 303-572-7997

LOT TYPE	QUANTITY
TOWNHOME LOT (FILING NO. 3)	33
TOWNHOME LOT (FILING NO. 4)	81
TOTAL	114
EXISTING FILINGS NO. 1 & 2	

LANDSCAPE AND OPEN SPACE

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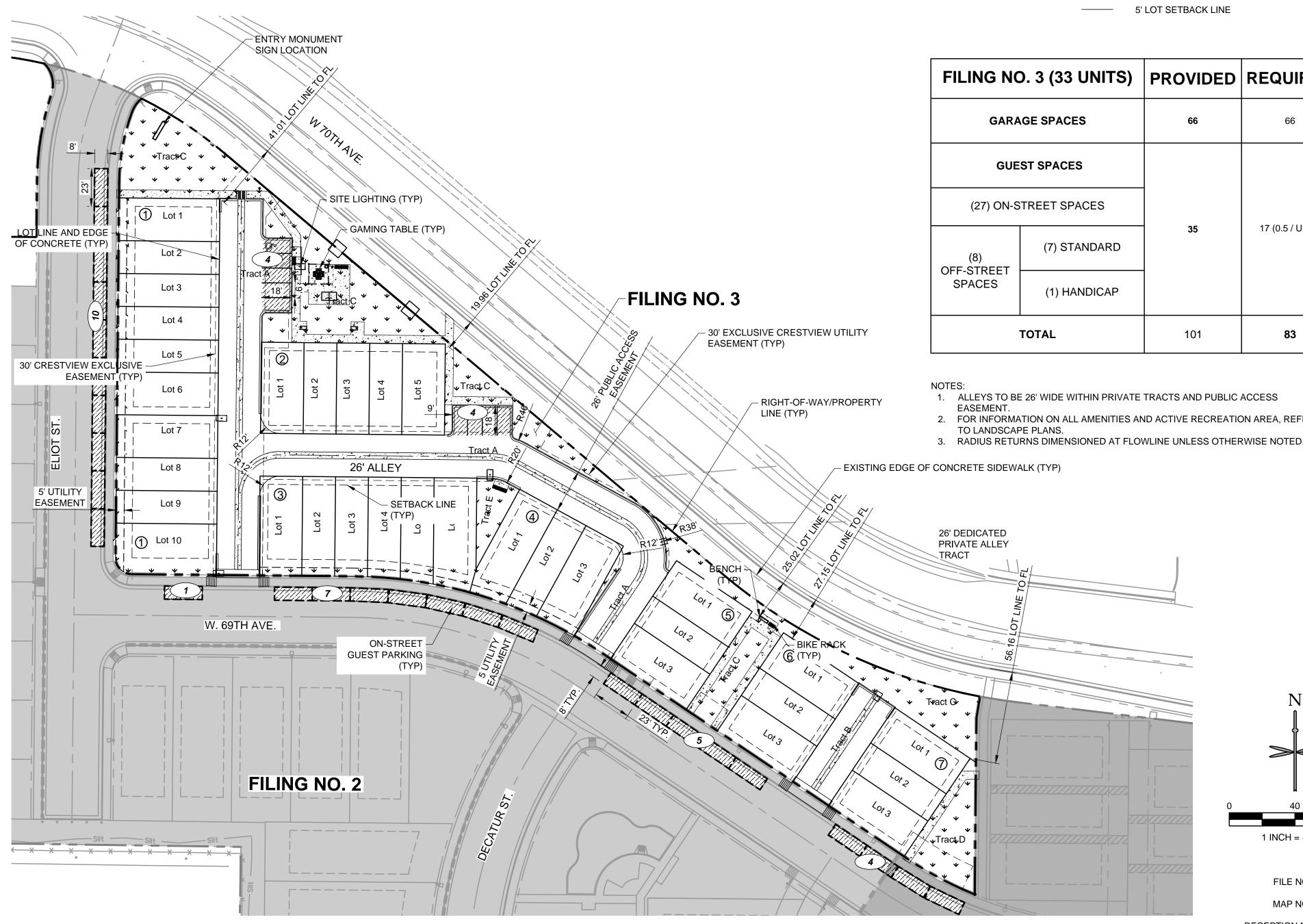
NORTH NOT TO SCALE

SHEET _7_ OF 28

501 S. Cherry Street Glendale, CO 80246 www.ees.us.com 303-572-7997 NTITLEMENT AND NG SOLUTIONS, Inc ENGINEERING ĹτĴ ERRA 4 PLAN 3 AND PLAN BILITY **-ILINGS** - DEVELOPMENT F TERRACE FILING õ 0 M COUNTY Š DEVEL ADAMS **PEDESTRIAN** FINAL POMPONIO PHT004.01 PROJECT NO: JWI DESIGNED BY: JWI DRAWN BY: 12/12/2018 DATE:



FINAL DEVELOPMENT PLAN **POMPONIO TERRACE FILINGS 3 AND 4 A PLANNED UNIT DEVELOPMENT ADAMS COUNTY, COLORADO 80030**



SHEET 8 OF 28

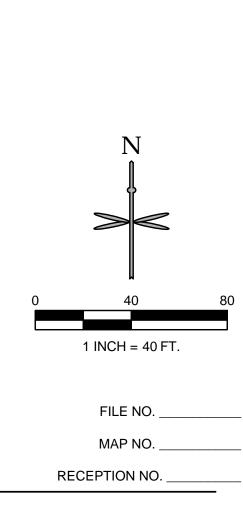
	EXISTING FILINGS NO. 1 & 2
¥ ¥	LANDSCAPE AND OPEN SPA
	PARKING SPACE
X	PARKING COUNT

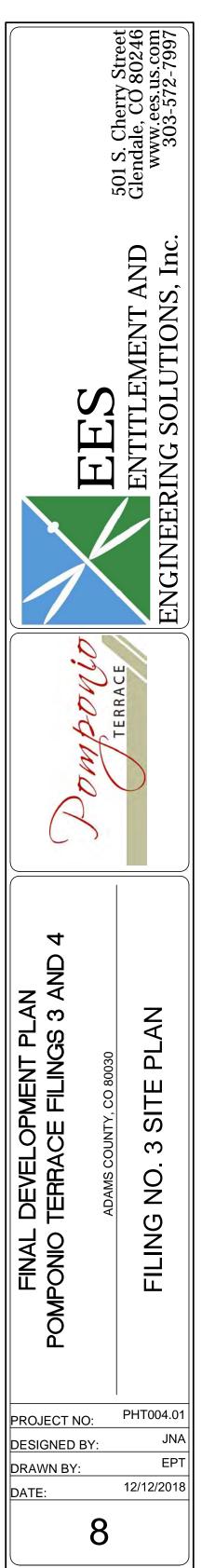
PEN SPACE

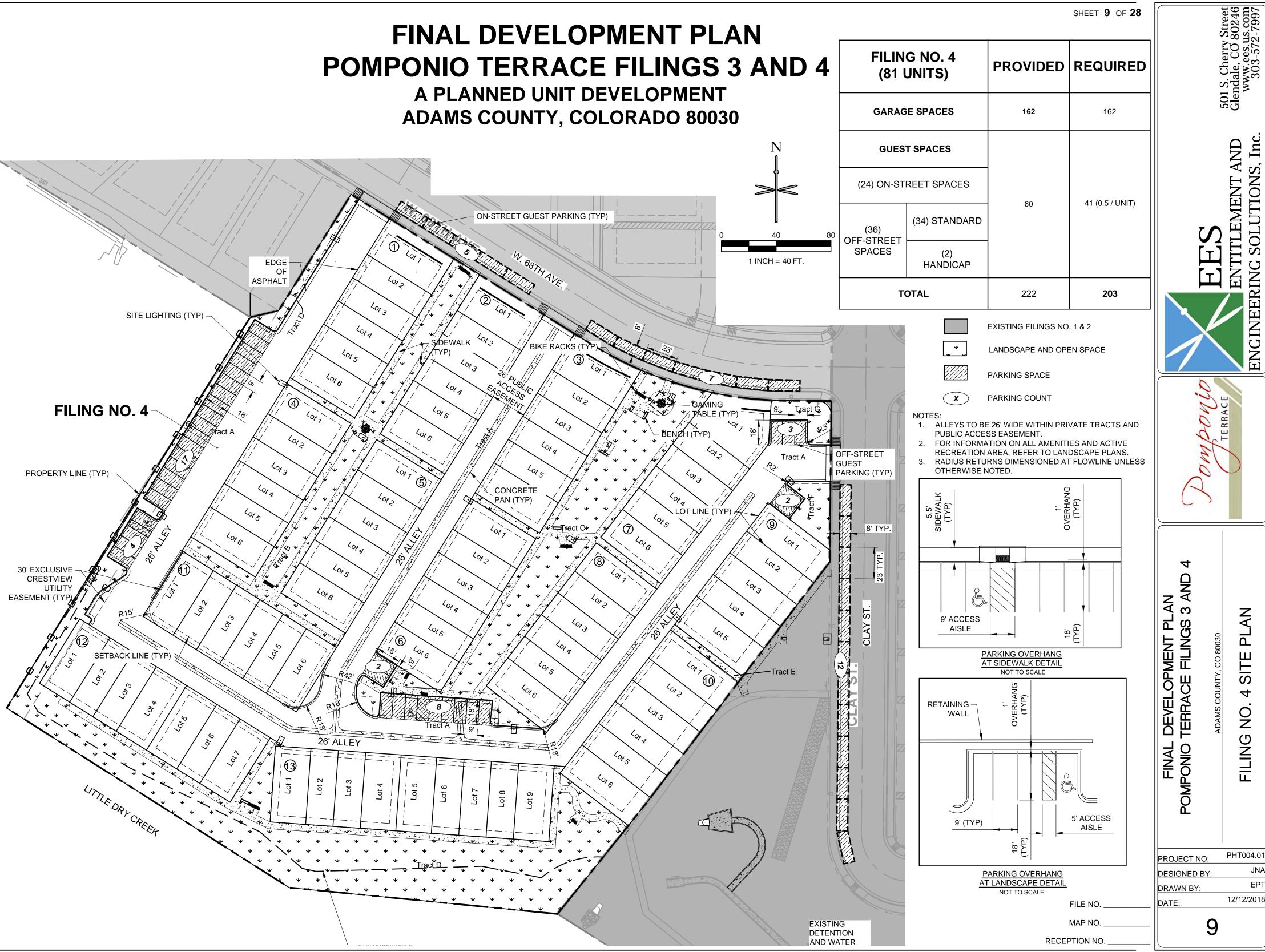
5' LOT SETBACK LINE

FILING NO. 3 (33 UNITS)		PROVIDED	REQUIRED	
GARA	GE SPACES	66	66	
GUE	ST SPACES			
(27) ON-S	TREET SPACES	35	17 (0.5 / UNIT)	
(8)	(7) STANDARD			
OFF-STREET SPACES	(1) HANDICAP			
	TOTAL	101	83	

- ALLEYS TO BE 26' WIDE WITHIN PRIVATE TRACTS AND PUBLIC ACCESS
- 2. FOR INFORMATION ON ALL AMENITIES AND ACTIVE RECREATION AREA, REFER







CAD/FILIN(

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F		
SEN	(FILING 4)TRACT A	INGRESS AND EGRESS
URI	(FILING 4)TRACT B	COMMON OPEN SPACE (
D/C	(FILING 4)TRACT C	COMMON OPEN SPACE (
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⊿N⊳	(FILING 4)TRACT E	COMMON OPEN SPACE (
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MO		
۲:/P		
PM Y:\POMPONIO\PLANNING\CURRENT	*ACTIVE OPEN SPACE	
31	FILING 3	ACTIVE OPEN SPACE
8	FILING 4	ACTIVE OPEN SPACE
12/13/2018 1:31	FILING 1 (ADDED TO TRACT G OF FILING 1	
/13/	WITH THIS FDP)	ACTIVE OPEN SPACE
12		

*(REFER TO OPEN SPACE DIAGRAM THIS SHEET, FOR ACTIVE OPEN SF

FINAL DEVELOPMENT PLAN **POMPONIO TERRACE FILINGS 3 AND 4 A PLANNED UNIT DEVELOPMENT ADAMS COUNTY, COLORADO 80030** PLANT & GROUNDCOVER SCHEDULE

DECIDUOUS TREES

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LANDSCAPE NOTES SITE PREF

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- LANDSCAPE CONTRACTOR TO REFERENCE CIVIL ENGINEERING DRAWINGS REGARDING DRAINAGE AND EROSION CONTROL NOTES, DETAILS AND PROCEDURES
- ALL WORK SHALL CONFORM TO LOCAL CITY AND COUNTY CODES. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE LANDSCAPE DRAWINGS SHALL RELIEVE THE CONTRACTOR COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS
- ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ENTIRE LENGTH FOR USE OF MAINTENANCE EQUIPMENT ENTRY SEE CIVIL ENGINEER'S DRAWINGS FOR GRADING AND DRAINAGE. EROSION
- CONTROL, PAVING AND SLEEVES, UTILITIES, AND OTHER ENGINEERED DETAILS
- R SHALL ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURI A PRE-CONSTRUCTION MEETING MAY BE REQUIRED BETWEEN THE LANDSCAPE CONTRACTOR. PROPERTY OWNER AND LANDSCAPE ARCHITECT BEFORE START OF CONSTRUCTION
- CONTRACTOR SHALL MINIMIZE ALL DISTURBANCE TO NON-IMPACTED AREAS 12. SITE MUST BE CLEAN AND FREE OF ALL CONSTRUCTION DEBRIS BEFORE FINAL ACCEPTANCE
- CONTRACTOR IS RESPONSIBLE FOR SETUP OF BARRICADES. WARNING SIGNAGE OR OTHER PROTECTIVE DEVICES IF ANY EXCAVATIONS ARE LEFT EXPOSED AFTER **ON-SITE WORK HOURS**
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE ALL NECESSARY PERMITS FOR CONSTRUCTION WORK WITHIN THE LOCAL JURISDICTION. A SEPARATE LANDSCAPE CONSTRUCTION PERMIT IS REQUIRED AND USE AND SALES TAX WILL BE COLLECTED. WATER CONNECTION FEES ARE TO BE PAID PRIOR TO THE METER. SETTING. A BACK FLOW PERMIT AND INSPECTION IS REQUIRED PRIOR TO THE METER BEING INSTALLED IN THE VAULT
- TOPSOIL IS TO BE STRIPPED & STOCKPILED ON-SITE FOR LATER USE CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING OR NEW SITE IMPROVEMENTS DISTURBED OR DAMAGED DUE TO THEIR OPERATIONS.
- DAMAGED MATERIALS SHALL BE REPLACED/REPAIRED TO ITS PRIOR CONDITION. LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OR LANDSCAPE PLANTING. CONTRACTOR SHALL HAND DIG ALL PLANTING PITS ADJACENT TO UTILITIES. IF UTILITIES ARE DAMAGED. REPAIRS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENED & AMENDED
- ALL LANDSCAPE AREAS SHALL RECEIVE SOIL AMENDMENT ROTOTILLED AT A MIN. 8" DEPTH AT A RATE OF 4 CUBIC YARDS PER 1,000 SF.
- CONTRACTOR SHALL SUBMIT SOIL AMENDMENT SPECIFICATIONS FOR APPROVAL PRIOR TO INSTALLATION.
- **FURF, PLANT & GROUNDCOVER MATERIA**
- 21. ANY SUBSTITUTION OR ALTERATION OF PLANT OR LANDSCAPE MATERIALS IN LOCATION, SPECIES, TYPE, ETC. SHALL BE ALLOWED ONLY WITH APPROVAL OF THE LANDSCAPE ARCHITECT. OVERALL PLANT QUANTITY AND QUALITY TO BE CONSISTENT WITH APPROVED PLANS.
- ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN SPECIFICATIONS FOR NUMBER ONE GRADE
- PROPOSED TREE LOCATIONS SHALL HAVE A MINIMUM SEPARATION OF 6' BETWEEN WATER OR SEWER SERVICE LINES AND A MINIMUM SEPARATION OF 10' BETWEEN WATER OR SEWER MAIN LINES. PROPOSED TREE LOCATIONS SHALL HAVE A MINIMUM SEPARATION OF 5' BETWEEN GAS LINES.
- ALL PROPOSED IRRIGATED TURF AREAS SHALL BE SODDED WITH THE BLEND SPECIFIED IN THESE PLANS. SOD SHALL BE LAID ON A FIRM BED WITH TIGHT JOINTS AND WITHOUT VOIDS
- TREE WRAP TO BE APPLIED IN LATE FALL AFTER INSTALLATION, AND REMOVED THE FOLLOWING SPRING. REMOVE ANY STRING OR WIRE AROUND TREE TRUNKS AT TIME OF INSTALLATION.
- CONTRACTOR SHALL REPORT ANY DISCREPANCY FOUND IN THE FIELD VERSUS 26. THE LANDSCAPE DRAWINGS IMMEDIATELY TO THE LANDSCAPE ARCHITECT OWNER'S REPRESENTATIVE, AND/OR THE CITY/COUNTY PRIOR TO ANY CONSTRUCTION OR DEMOLITION ACTIVITY. FAILURE TO MAKE SUCH CONFLICTS
- RIGHT OF WAY LANDSCAPE TABULATIONS (FILINGS 3 & 4 ONLY)

	*PLANTABLE RIGHT OF	*RIGHT OF WAY LANDSCAPE	TRE	ES	SHRI	JBS
OF WAY	WAYLENGTH	AREA (SF.)	REQUIRED	PROVIDED	REQUIRED	PROVIDED
FILING NO. 3						
W. 70TH AVE.	751	9,012	9	16	18	32
ELIOT STREET	66	330	0	1	1	22
W. 69TH AVE.	76	380	0	7	1	21
FILING NO. 4						
DECAT UR ST REET	381	1,905	2	2	4	42
CLAY ST REET	87	435	0	2	1	10
TOTALS	1,361	12,062	12	28	24	127

NOTES:

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* PLANT ABLE RIGHT OF WAY LENGTH EXCLUDES THOSE PORTIONS OF RIGHT OF WAY WITHIN RESIDENTIAL LOTS AND ALLEY ACCESS DRIVES.

1. AT TACHED WALKS ARE ADJACENT TO ALL SUBDIVISION INTERIOR STREETS LEAVING ONLY 1.5' OF DISTANCE BETWEEN BACK OF WALK AND RIGHT OF WAY. THIS PREVENTS INSTALLATION OF PLANT MATERIALS. THEREFORE, TO MEET THE INTENT OF COUNTY CODE REQUIREMENTS, AN AVERAGE LANDSCAPE AREA EXTENDING 5' BEHIND THE BACK OF RIGHT OF WAYOF INTERIOR STREETS HAS BEEN USED TO CALCULATE RIGHT OF WAYLANDSCAPE PLANT MATERIAL REQUIRED ALONG NON-RESIDENTIAL FRONT AGES. RIGHT OF WAY PLANT INGS HAVE BEEN CLUST ERED WHERE APPROPRIATE.

2. RIGHT OF WAY STREET TREES HAVE BEEN LOCATED OUTSIDE OF DRYUTILITY EASEMENTS ALONG STREET FRONTAGE.

- KNOWN WILL RESULT IN THE CONTRACTOR'S LIABILITY TO RELOCATE AND REPAIR MAINTAIN A MINIMUM THREE FOOT CLEARANCE AROUND FIRE HYDRANTS, FIRE 27 DEPARTMENT CONNECTIONS OR OTHER FIRE SERVICE EQUIPMENT. NO TREES OF SHRUBS WILL BE ALLOWED WITHIN THIS AREA.
- NO PLANT MATERIAL SHALL BE PLANTED WITHIN 10' OF ANY EXISTING OR 28. PROPOSED ELECTRICAL SWITCHGEARS, TRANSFORMERS OR OTHER ELECTRICAL UTILITY EQUIPMENT. PLANT MATERIAL MAY BE FIELD ADJUSTED TO PROVIDE THE 10' CLEAR SPACE AND ACCESSIBILITY REQUIRED BY THE UTILITY'S **OWNER/OPERATOR**
- PROPOSED PLANT SPECIES MAY BE SUBJECT TO CHANGE PENDING COMMERCIA 29. AVAILABILITY AT TIME OF CONSTRUCTION ALL SPECIES SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OVERALL PLANT QUANTITIES & SIZES SHALL REMAIN AS INDICATED ON THE PLANT SCHEDULE. CONTRACTOR SHALL VERIFY THAT ANY SUBSTITUTED PLANT SPECIES ARE ACCEPTABLE TO THE LOCAL MUNICIPALITY OR GOVERNING JURISDICTIONS.
- IF SPECIFIED PLANTS ARE NOT COMMERCIALLY AVAILABLE AT TIME OF CONSTRUCTION/INSTALLATION, CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT FOR A SUBSTITUTION.

PLANTING BEDS

- ROCK MULCH BEDS SHALL CONTAIN 1 1/2"-3" DIA. ROUND RIVER COBBLE, TAN 31 COLOR, 4" DEPTH. WITH WEED BARRIER FABRIC SECURED WITH PINS. OVERLAP FABRIC MIN. 24" AT EDGES.
- 32. WOOD MULCH BEDS DO NOT REQUIRE WEED BARRIER FABRIC 33.
- WOOD MULCH SHALL BE 'GORILLA HAIR' OR EQUAL SHREDDED CEDAR MULCH, 4 DEPTH
- PLANTING BEDS SHALL BE EDGED WITH STEEL EDGER SPECIFIED IN T 34. LANDSCAPE DETAILS.
- FOR TREES NOT IN PLANTING BEDS. ALLOW A 6'-0" DIAMETER BED (TREE RING 35. WITHOUT SOD AROUND ROOT COLLAR APPLY 'GORILLA HAIR' WOOD MULCH AROUND COLLAR FOLLOWING SOD INSTALLATION. NO FABRIC OR STEEL EDGER I NECESSARY WITHIN TREE RINGS IN NATIVE AREAS. TREES IN PLANTING BEDS SHALL NOT HAVE WEED BARRIER INSTALLED WITHIN 6' OF THEIR TRUNKS

IRRIGATION

- 36. 1)PERMANENT UNDERGROUND IRRIGATION IS REQUIRED IN ALL LANDSCAPE AREAS, 2) TURF AREAS ARE ZONED SEPARATELY FROM BED AREAS, 3) CONTROLLER TO INCLUDE RAIN SHUT-OFF, 4) HYDROZONES WILL BE ON SEPARATE IRRIGATION ZONES ACCORDING TO WATER-DEMAND
- 37. TURF AREAS SHALL BE IRRIGATED BY AUTOMATIC POP-UP SPRAY SYSTEM. SHRUBS & PLANTING BEDS SHALL BE IRRIGATED WITH DRIP/BUBBLER SYSTEM
- 38. **REFER TO IRRIGATION PLANS FOR DETAILED INFORMATION** MAINTENANCE
- 39. CONTRACTOR IS TO MAINTAIN ALL PLANTINGS AND ASSOCIATED IRRIGATION SYSTEM INSTALLED UNDER THIS CONTRACT UNTIL FINAL ACCEPTANCE BY THE COUNTY AND TURNOVER TO OWNER. THIS MAINTENANCE SHALL INCLUDE PROPER WATERING OF ALL PLANTS, AND MOWING OF TURF/SEED AREAS IF NECESSARY.
- 40. SITE MUST BE CLEAN AND FREE OF ALL CONSTRUCTION DEBRIS BEFORE FINAL ACCEPTANCE.
- ALL PLANT MATERIAL WILL BE COVERED BY A WARRANTY PERIOD. TH 41. CONTRACTOR SHALL REPLACE DEAD. UNHEALTHY, OR OTHERWISE UNSATISFACTORY MATERIAL THROUGHOUT THIS PERIOD. THE WARRANTY SHALL BEGIN UPON FINAL ACCEPTANCE OF THE JOB
- LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION B 42. THE HOA. TREES AND SHRUBS MUST HAVE A 100% ONGOING SURVIVAL RATE, ANY DEAD OR DAMAGED PLANT MATERIAL (AS DETERMINED BY THE COUNTY) SHALL BE REPLACED PER CODE OR NOTIFICATION BY THE COUNTY. NON-LIVING GROUND COVERS, SUCH AS ROCK OR MULCH, MUST BE 100% INTACT AFTER ONE YEAR AND 100% INTACT THEREAFTER.
- LANDSCAPE AREAS WITHIN THE PROPERTY, TOWNHOME LOTS AND RIGHT OF 43. WAYS SHALL BE MAINTAINED BY THE HOA.

BLANKET UTILITY EASEMENT NOTES

A BLANKET UTILITY EASEMENT HAS BEEN PLACED OVER COMMON OPEN SPACE 44. LANDSCAPE AREAS. LANDSCAPING INCLUDING TREES. SHRUBS AND SHRUBS MA' BE FIELD ADJUSTED TO ACCOMMODATE UTILITY LOCATIONS AND ASSOCIATED EQUIPMENT.

SEED & SOD	MIXES
DRYLAND MIX	
COMMON NAME	%MIX
COMMON WHEATGRASS	20%
SLENDER WHEATGRASS	15%
MEADOW FESCUE	10%
PUBESCENT WHEATGRASS	10%
HARD FESCUE	10%

COMMON WHEATGRASS	20%
SLENDER WHEATGRASS	15%
MEADOW FESCUE	10%
PUBESCENT WHEATGRASS	10%
HARD FESCUE	10%
CANADA BLUEGRASS	10%
INDIAN GRASS	8%
SIDEOATS GRAMA	7%
BLUE GRAMA	5%
SWITCHGRASS	<u>5%</u>
	100%

SEED RATE: 15-20 LBS/AC. (DRILLED) SUPPLIER: ARKANSAS VALLEY SEED

IRRIGATED SOD

PRODUCT: 'ENVIROTURF' SUPPLIER: TURF MASTER

ABM	3
HAC	3
DNM	6
EQM	3
QRC	8
GL	2
GI	3
GK	1
QR	4
RSM	2
GS	2
QB	3
EVERGREEN TREES	QTY
PN-6HT	13
BP 6FT	3
LPN	1
LP 6FT	3
VP-6HT	7
WBJ-6HT	7
ORNAMENTAL TREES	<u>QTY</u>
CCP	4
CHP	3
AH	4
DECIDUOUS SHRUBS	QTY
RFC	23
BSP	9
DNB	30
MKL	14
VL	9
DGN	9
PLS	17
RB	11
DKR	7
RSA	29
SW	13
RW	17
EVERGREEN SHRUBS	<u>QTY</u>
JUA	13
JB	26
BUJ	32
SCJ	32
GRASSES	QTY
MSA	42
PMG	24
BOG	9
DMG	77
FRG	33
PG	42
PH	13
MG	46
PQG	43
RVG	2
<u>PERENNIALS</u>	<u>QTY</u>
JUP	12
DAY	26
MULCH	<u>QTY</u>
	23,707
SEED	<u>QTY</u>
	26,144
000	071



SF

QTY

28,591 SF

COMMON NAME AUTUMN BLAZE MAPLE COMMON HACKBERRY DEBORAH MAPLE EMERALD QUEEN MAPLE ENGLISH OAK GREENSPIRE LITTLELEAF LINDEN IMPERIAL HONEYLOCUST KENTUCKY COFFEE TREE RED OAK RED SUNSET MAPLE SHADEMASTER LOCUST SWAMP WHITE OAK	BOTANICAL NAME ACER FREEMANII `AUTUMN BLAZE` CELTIS OCCIDENTALIS ACER PLATANOIDES `DEBORAH` ACER PLATANOIDES `EMERALD QUEEN` QUERCUS ROBUR `CRIMSON SPIRE` TILIA CORDATA `GREENSPIRE` GLEDITSIA TRIACANTHOS `IMPERIAL` GYMNOCLADUS DIOICA QUERCUS RUBRA ACER RUBRUM `RED SUNSET` GLEDITSIA TRIACANTHOS INERMIS `SHADEMASTER` TM QUERCUS BICOLOR	CONT B & B B & B	CAL / SIZE 2"CAL 2"CAL 2"CAL 2"CAL 2"CAL 2"CAL 2"CAL 2"CAL 2"CAL 2"CAL 2"CAL 2"CAL 2"CAL 2"CAL 2"CAL	HT X SPD 40° X 15° 50° X 30° 50° X 40° 50° X 35° 40° X 15° 50° X 35° 45° X40° 45° X50° 50° X40° 45° X 35° 45° X50° 50° X 50°
<u>COMMON NAME</u> AUSTRIAN BLACK PINE BRISTLECONE PINE LIMBER PINE LIMBER PINE VANDERWOLF`S PYRAMID PINE WICHITA BLUE JUNIPER	BOTANICAL NAME PINUS NIGRA PINUS ARISTATA PINUS FLEXILIS PINUS FLEXILIS PINUS FLEXILIS `VANDERWOLF`S PYRAMID` JUNIPERUS SCOPULORUM `WICHITA BLUE`	CONT B & B B & B B & B B & B B & B B & B B & B	<u>CAL / SIZE</u> 6` HT 6` HT 6` HT 6` HT 6` HT 6` HT	HT X SPD 50°X30° 30° X 20° 70° X 25° 70° X 25° 25° X 15° 20° X 6°
<u>COMMON NAME</u> CAPITAL CALLERY PEAR CHANTICLEER PEAR HOT WINGS TATARIAN MAPLE	BOTANICAL NAME PYRUS CALLERYANA `CAPITAL` PYRUS CALLERYANA `CHANTICLEER` ACER TATARICUM `HOT WINGS`	<u>CONT</u> B & B B & B B & B	<u>CAL / SIZE</u> 1.5"CAL 1.5"CAL 6` CLUMP	HT X SPD 30` X 10` 35` X 16` 30` X 15`
COMMON NAME ALDER BUCKTHORN COMMON BLUEBEARD SPIREA DIABLO NINEBARK MISS KIM LILAC MOHICAN WAYFARING TREE NINEBARK, `DART`S GOLD` PURPLE LEAF SAND CHERRY RABBITBRUSH ROSE. `DOUBLE KNOCKOUT RUSSIAN SAGE SPIREA, `ANTHONY WATERER` WHITE MEIDILAND ROSE	BOTANICAL NAME RHAMNUS FRANGULA `COLUMNARIS` CARYOPTERIS INCANA PHYSOCARPUS OPULIFOLIUS `DIABLO` SYRINGA PATULA `MISS KIM` VIBURNUM LANTANA `MOHICAN` PHYSOCARPUS OPULIFOLIUS `DART`S GOLD` PRUNUS X CISTENA CHRYSOTHAMNUS NAUSEOSUS ROSA X `DOUBLE KNOCKOUT` PEROVSKIA ATRIPLICIFOLIA SPIRAEA JAPONICA `ANTHONY WATERER` ROSA MEIDILAND SERIES `WHITE`	CONT 5 GAL 5 GAL	HT X SPD 4` X 12` 4` X 5` 6` X 8` 4` X 5` 8` X 8` 4` X 4` 8` X 6` 4` X 4` 3` X 5` 5` X 4` 3` X 4` 2` X 4`	IRR. ZONE LOW MODERATE LOW LOW LOW-MOD LOW LOW LOW LOW-MOD LOW-MOD LOW-MOD
COMMON NAME ARCADIA JUNIPER BROADMOOR JUNIPER BUFFALO JUNIPER SCANDIA JUNIPER	BOTANICAL NAME JUNIPERUS SABINA `ARCADIA` JUNIPERUS SABINA `BROADMOOR` JUNIPERUS SABINA `BUFFALO` JUNIPERUS SABINA `SCANDIA`	<u>CONT</u> 5 GAL 5 GAL 5 GAL 5 GAL	HT X SPD 2` X 6` 2` X 6` 2` X 6` 2` X 6`	IRR. ZONE LOW LOW LOW LOW
COMMON NAME ADAGIO EULALIA GRASS AUTUMN RED FLAME GRASS BLUE OAT GRASS DWARF MAIDEN GRASS FEATHER REED GRASS FOUNTAIN GRASS HEAVY METAL SWITCH GRASS MISCANTHUS `GOLD BAR` PORCUPINE GRASS RAVENNA GRASS	BOTANICAL NAME MISCANTHUS SINENSIS `ADAGIO` MISCANTHUS PURPURASCENS `AUTUMN RED` HELICTOTRICHON SEMPERVIRENS `SAPPHIRE` MISCANTHUS SINENSIS `YAKUSHIMA` CALAMAGROSTIS X ACUTIFLORA `KARL FOERSTER` PENNISETUM ALOPECUROIDES PANICUM VIRGATUM `HEAVY METAL` MISCANTHUS SINENSIS `GOLD BAR` MISCANTHUS SINENSIS `STRICTUS` SACCHARUM RAVENNAE	CONT 1 GAL 1 GAL 1 GAL 1 GAL 1 GAL 1 GAL 1 GAL 1 GAL 1 GAL	HT X SPD 5' X 3' 5' X 3' 2' X 2' 3' X 4' 4' X 3' 3' X 3' 4' X 3' 4' X 3' 6' X 5' 10' X 5'	IRR. ZONE MODERATE LOW MODERATE LOW-MOD LOW LOW LOW-MOD LOW-MOD MODERATE
<u>COMMON NAME</u> JUPITER`S BEARD STELLA DE ORO DAYLILY	BOTANICAL NAME CENTRANTHUS RUBER `ALBIFLOROUS` HEMEROCALLIS X `STELLA DE ORO`	<u>CONT</u> 1 GAL 1 GAL	HT X SPD 3` X 3` 1.5` X 1`	IRR. ZONE LOW MODERATE
COMMON NAME	BOTANICAL NAME	CONT		
ROCK MULCH, 1.5"-3" DIA 4" DEPTH	ROCK MULCH, 1.5"-3" DIA	MULCH		
COMMON NAME	BOTANICAL NAME	CONT		
DRYLAND SEED MIX - NON-IRRIG	DRYLAND SEED MIX - NON-IRRIG	SEED		
COMMON NAME	BOTANICAL NAME	CONT		
IRRIG. TURF, `ENVIROTURF` TURF, `ENVIROTURF`	IRRIG. TURF, `ENVIROTURF`	SOD		

SHEET <u>11</u> OF 28

IRR. ZONE

LOW-MOD

LOW-MOD

MODERATE

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IRR. ZONE

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501 Glen AND In ENT UTION OL GINEERIN EN ERR タ AND ш DUL AN က ഗ Ш Ś CH Ž Ш S ЫO COUNTY Ю Z ◀ TERRA(DEVEI DAMS ٩ õ FINAL S OMPONIO ш ⊢ Ō Ž ഥ PHT004.01 PROJECT NO: JWI DESIGNED BY JWI DRAWN BY: 12/12/2018 DATE: 11

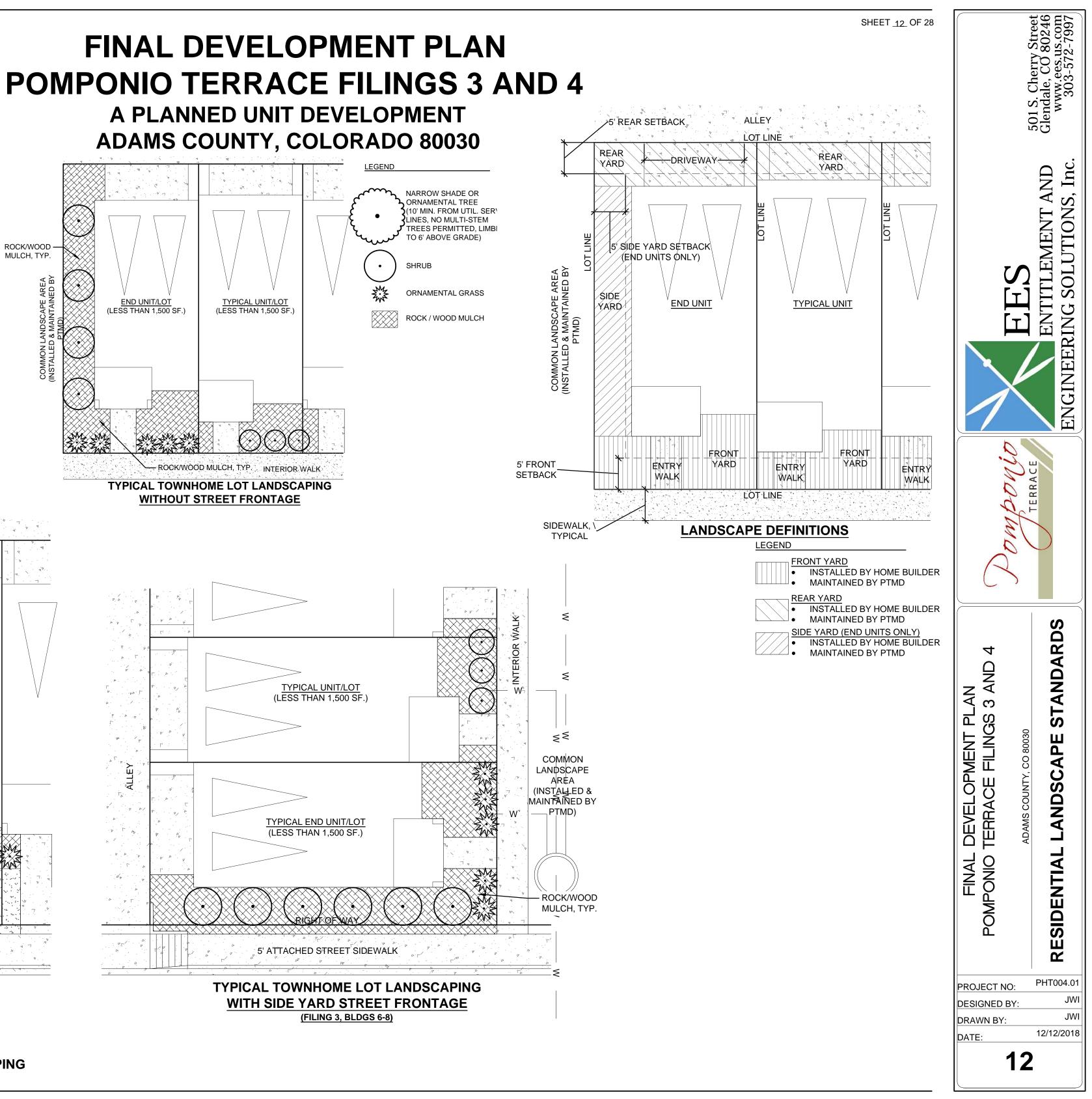
RESIDENTIAL LANDSCAPE NOTES

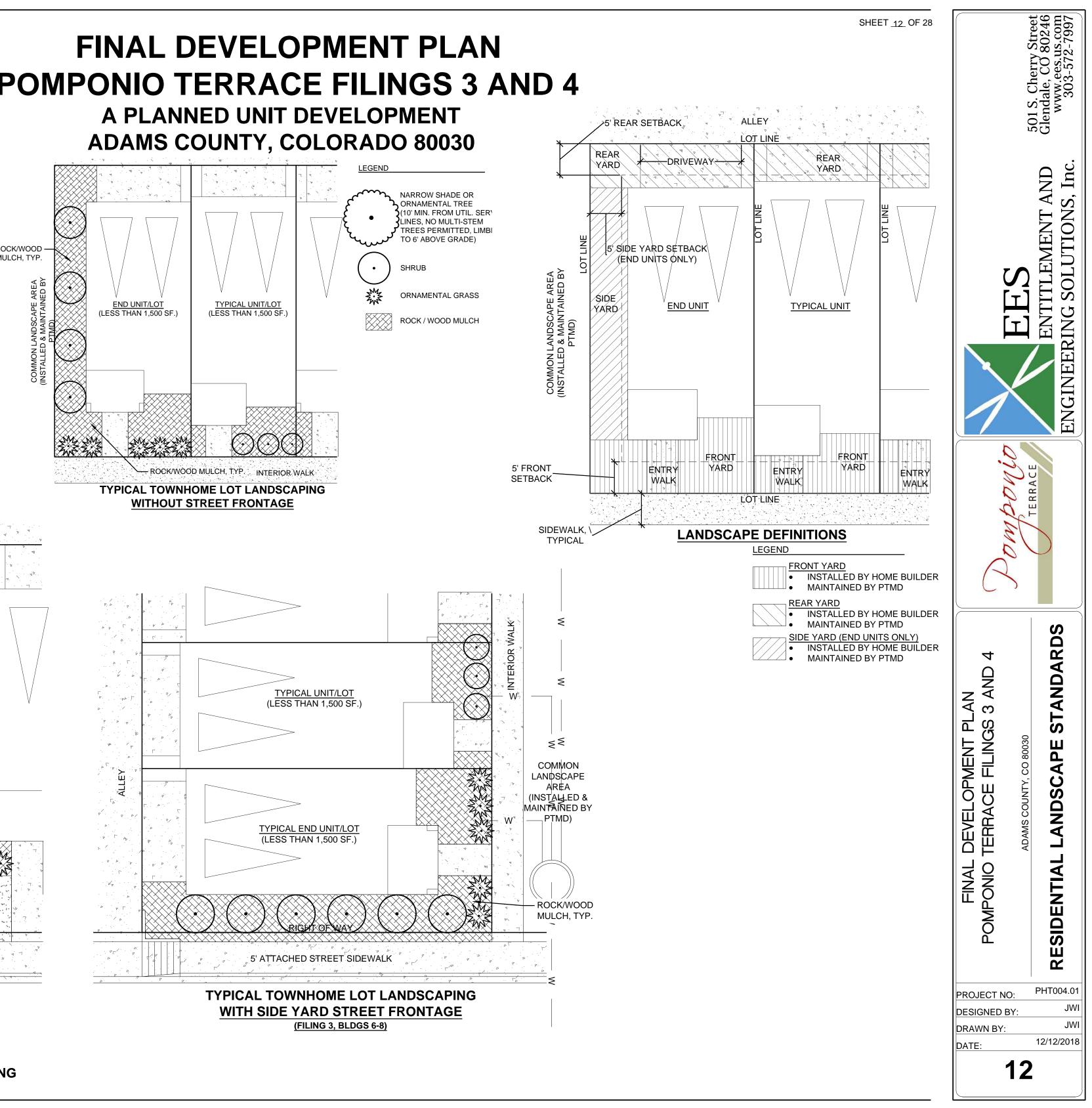
- 1. ALL LANDSCAPE AREAS SHALL RECEIVE SOIL AMENDMENT AT THE RATE OF 4 CUBIC YARDS PER THOUSAND SQUARE FEET.
- TREES SHALL BE INSTALLED TO MAINTAIN A MINIMUM SEPARATION DISTANCE OF 6' FROM WATER & SEWER SERVICE LINES AND 4' FROM DRY UTILITY LINES.
- WITHIN SIGHT TRIANGLES, PLANTINGS TALLER THAN 36" FROM GUTTER FLOWLINE SHALL NOT BE INSTALLED. SHADE/ORNAMENTAL TREES MAY BE ALLOWED WITHIN SIGHT TRIANGLES BUT SHALL BE LIMBED UP TO A HEIGHT OF 8' ABOVE ADJACENT GUTTER FLOWLINE.
- NO TREES SHALL BE PLANTED THAT MAY OBSTRUCT TRAFFIC SIGNAGE.
- TREES SHALL NOT BE PLANTED WITHIN 15' OF POLE-MOUNTED STREET LIGHTS. RIGHT OF WAY LANDSCAPE MUST INCORPORATE A MINIMUM 50% LIVING GROUND COVER IN ADDITION TO TREES/SHRUBS.

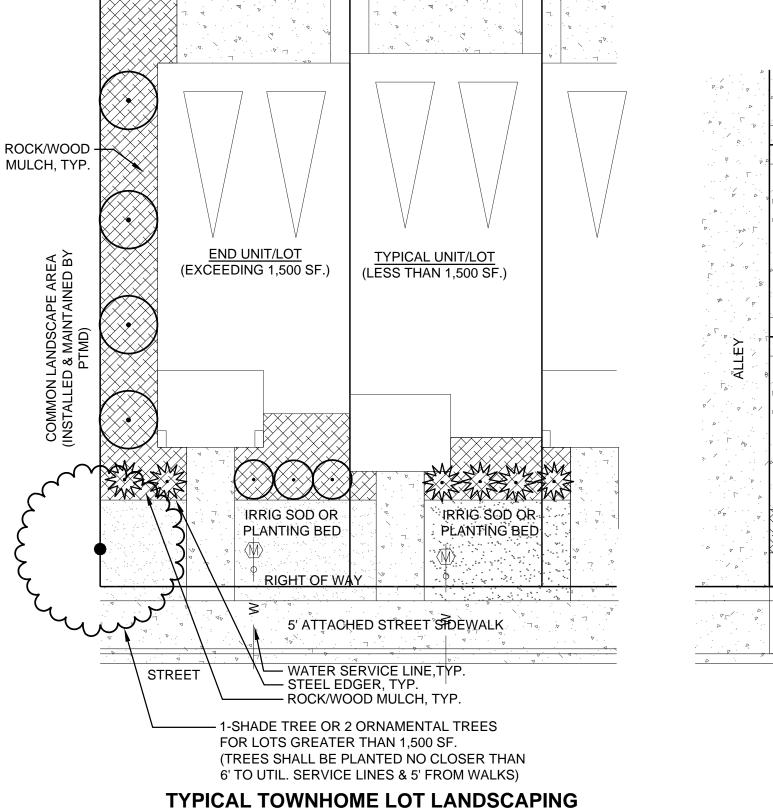
COUNTY PERFORMANCE STANDARDS -DWELLING, TOWNHOUSE

- 1. REQUIRED GROUND COVER: A MINIMUM OF ONE-THIRD (1/3) OF THE REQUIRED LANDSCAPE AREA MUST BE COVERED BY LIVING GROUND MATERIAL WITHIN ONE (1) YEAR FOLLOWING OCCUPANCY AND THEREAFTER. IF THE REQUIRED LANDSCAPING CANNOT BE COMPLETED PRIOR TO OCCUPANCY, THEN A BOND IN THE AMOUNT OF ONE HUNDRED TWENTY-FIVE PERCENT (125%) OF THE COST OF THE LANDSCAPING, AS ESTABLISHED BY A LOCAL LANDSCAPING FIRM, MUST BE FILED WITH THE DIRECTOR OF PLANNING AND DEVELOPMENT TO GUARANTEE COMPLETION OF THE LANDSCAPING WITHIN ONE (1) PLANTING SEASON AFTER OCCUPANCY. IF THE LANDSCAPING HAS NOT BEEN COMPLETED WITHIN ONE (1) PLANTING SEASON, THE COUNTY MAY PROCEED AGAINST THE BOND TO COMPLETE TH LANDSCAPING
- REQUIRED TREES AND SHRUBS: A MINIMUM OF ONE (1) LARGE TREE AND TWO (2) SHRUBS. OR TWO (2) ORNAMENTAL TREES AND TWO (2) SHRUBS, SHALL BE REQUIRED FOR EACH INCREMENT OF FIFTEEN HUNDRED (1,500) SQUARE FEET IN WESTERN ADAMS COUNTY AND THREE THOUSAND (3,000) SQUARE FEET IN EASTERN ADAMS COUNTY.
- PARKING LOT LANDSCAPING: ALL PARKING LOTS WHICH CONSIST OF THIRTY SPACES OR MORE MUST BE DESIGNED TO INCLUDE LANDSCAPED ISLANDS BETWEEN ROWS. THIS ANDSCAPING SHALL BE CREDITED TOWARD THE TOTAL LANDSCAPED AREA REQUIRED.
- REQUIRED TREE MIX: THE SELECTION OF TREES SHALL BE A MIX OF LARGE DECIDUOUS (30% 70%) AND ORNAMENTAL (30% - 70%) TREES. EVERGREENS SHALL BE CONSIDERED ORNAMENTAL.
- MINIMUM SIZE REQUIREMENTS: MINIUM SIZE REQUIREMENTS FOR TREES AND SHRUBS SHALL

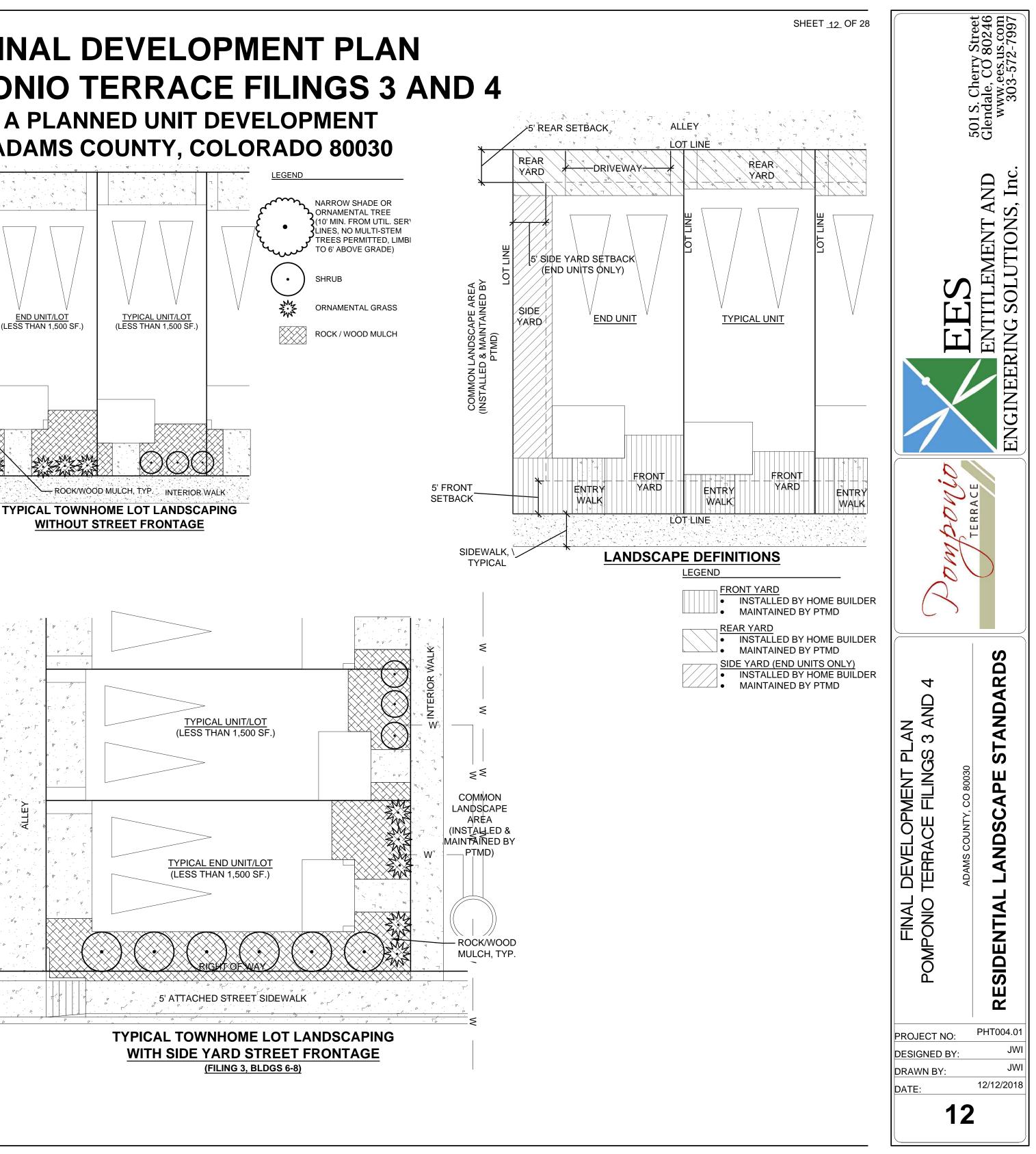
PLANT TYPE	MATURITY HEIGHT	MINIMUM PLANT SIZE AT PLANTING
ORNAMENTALS	LESS THAN 20'	1" TO 1.5"
LARGE DECIDUOUS	OVER 20'	2" TO 2.5"
EVERGREENS (SM.)	LESS THAN 20'	5' TALL
EVERGREENS (LG.)	OVER 20'	6' TALL
LOW SHRUBS	1' TO 3'	5 GALLON
UPRIGHTSHRUBS	3' TO 10'	5 GALLON

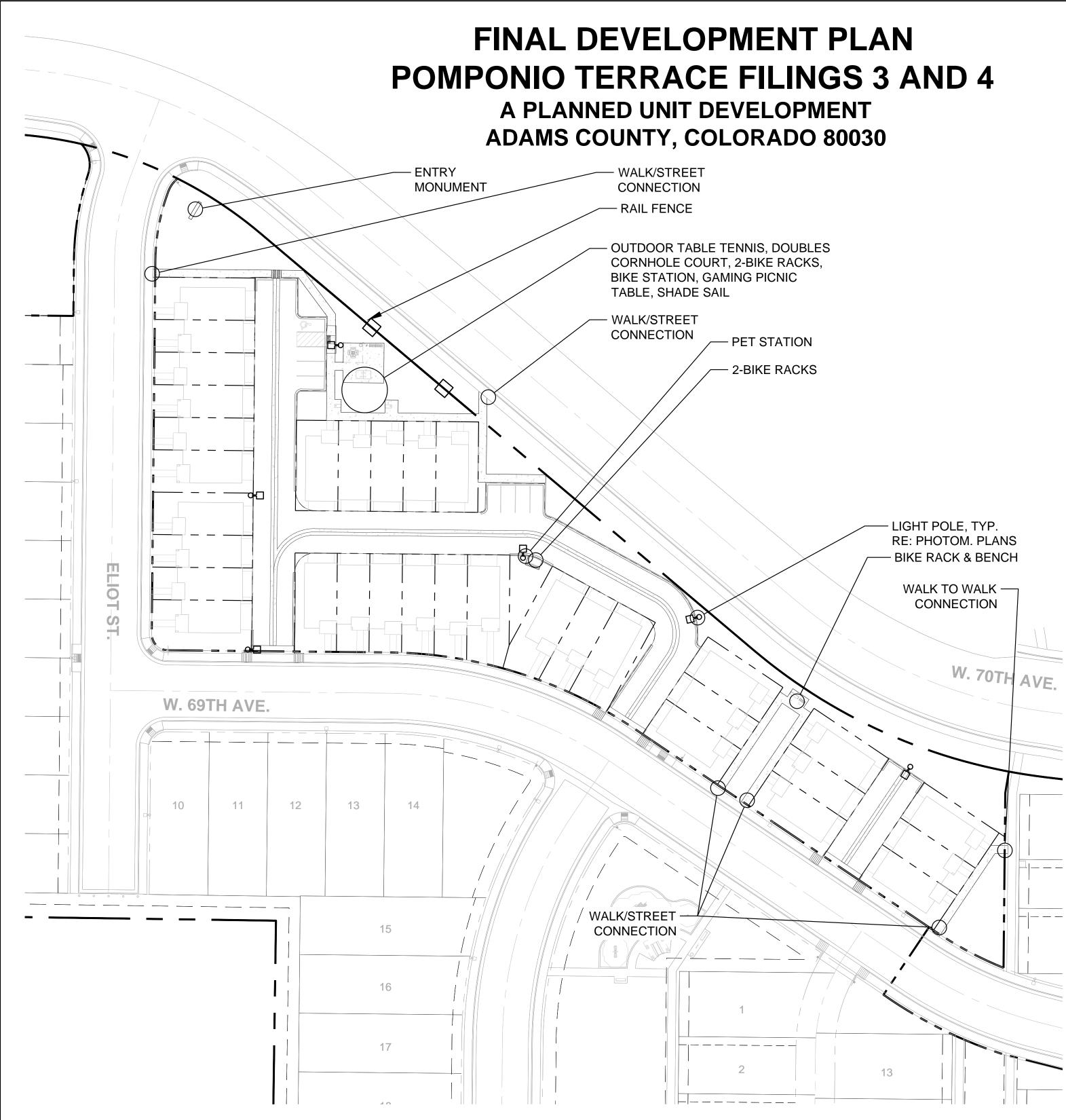






WITH STREET FRONTAGE





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© 2017,

SHEET <u>13</u> OF 28

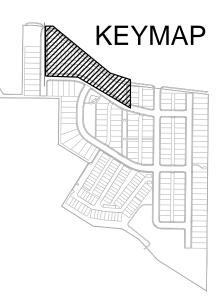
FILINGS 3 AMENITY SCHEDULE

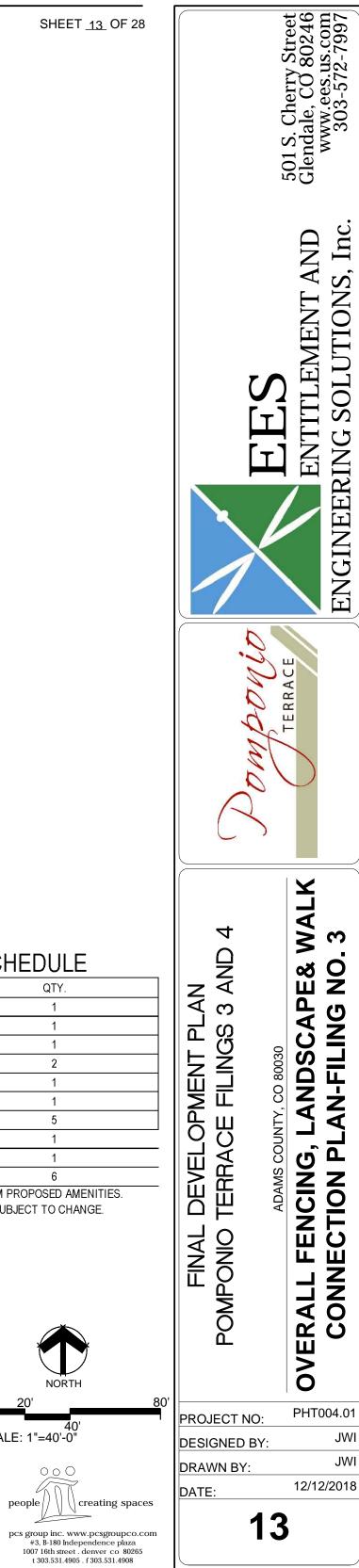
ITEM	QTY.	
GAMING PICNIC TABLE	1	
BENCH	1	
TRASH RECEPTACLE	1	
PET STATION	2	
BIKE REPAIR STATION	1	
SHADE SAIL	1	
BIKE RACK	5	
OUTDOOR TABLE TENNIS	1	
DOUBLES CORNHOLE COURT	1	
LIGHT POLES	6	
ITEMS AND QUANTITIES REPRESENT MINIMUM PROPOSED AMENITIES. TYPES AND NUMBER OF AMENITIES MAY BE SUBJECT TO CHANGE.		

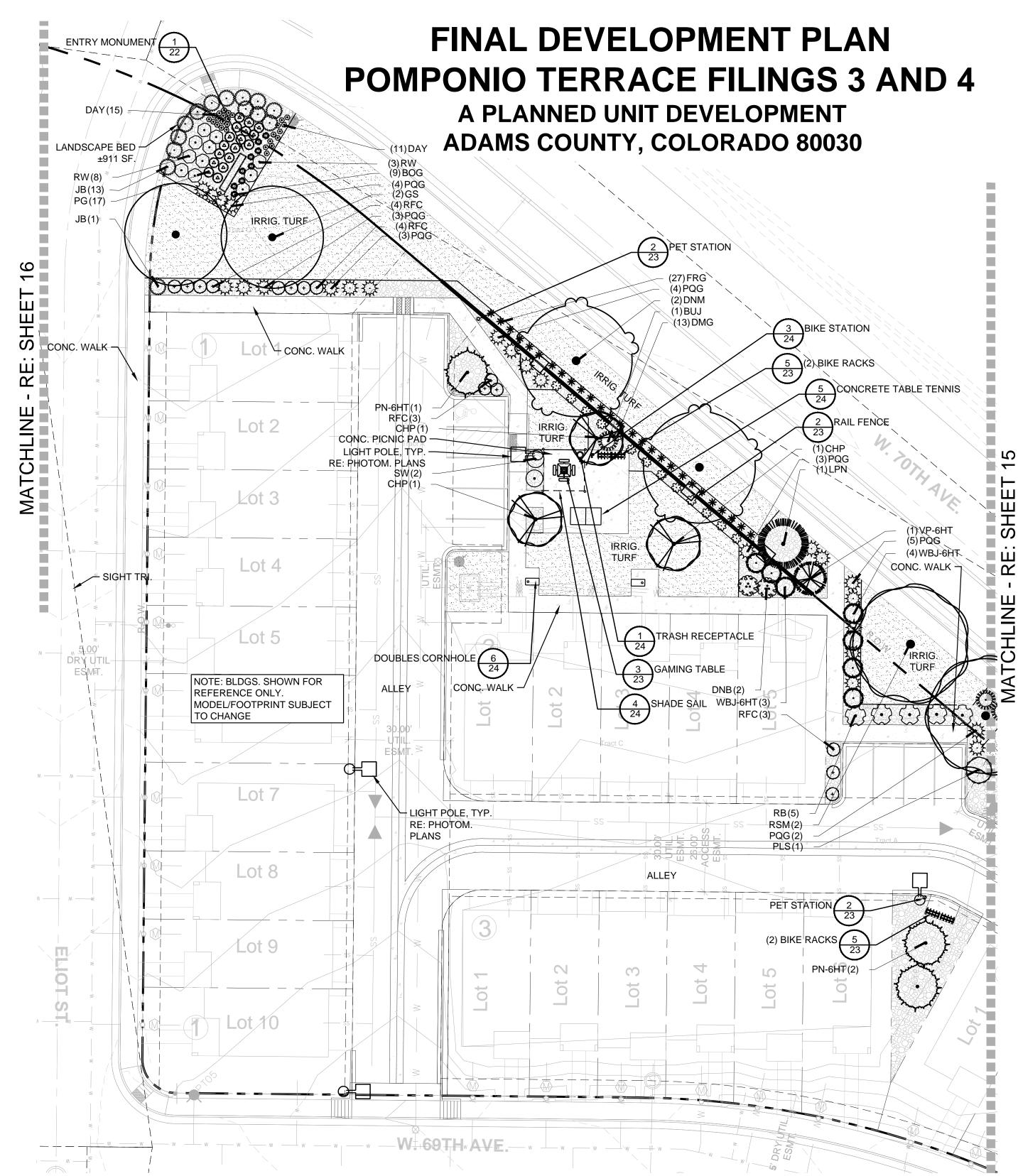
0 SCALE: 1"=40'-0"

people

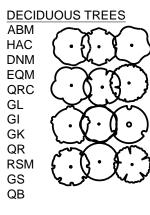
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PLANT / GROUNDCOVER LIST



EVERGREEN TREES

ORNAMENTAL TREES

DECIDUOUS SHRUBS

EVERGREEN SHRUBS

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MSA

PMG

BOG

DMG

FRG

PG

PH

MG

PQG

RVG

JUP

DAY

MULCH

SEED

SOD

PERENNIALS

GRASSES

JB

RB

AH

WBJ-6H

LPN

COMMON NAME AUTUMN BLAZE MAPLE COMMON HACKBERRY **DEBORAH MAPLE** EMERALD QUEEN MAPLE ENGLISH OAK GREENSPIRE LITTLELEAF LINDEN IMPERIAL HONEYLOCUST KENTUCKY COFFEE TREE RED OAK RED SUNSET MAPLE SHADEMASTER LOCUST SWAMP WHITE OAK

SHEET 14 OF 28

1 S. Cherry Street ndale, CO 80246 www.ees.us.com 303-572-7997

Inc.

SOLUTIONS,

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ENTITLEMENT AND

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COMMON NAME AUSTRIAN BLACK PINE BRISTLECONE PINE LIMBER PINE LIMBER PINE VANDERWOLF`S PYRAMID PINE WICHITA BLUE JUNIPER

COMMON NAME CAPITAL CALLERY PEAR CHANTICLEER PEAR HOT WINGS TATARIAN MAPLE

COMMON NAME ALDER BUCKTHORN COMMON BLUEBEARD SPIREA DIABLO NINEBARK MISS KIM LILAC MOHICAN WAYFARING TREE NINEBARK, `DART`S GOLD` PURPLE LEAF SAND CHERRY RABBITBRUSH ROSE. DOUBLE KNOCKOUT **RUSSIAN SAGE** SPIREA, `ANTHONY WATERER' WHITE MEIDILAND ROSE

COMMON NAME **ARCADIA JUNIPER** BROADMOOR JUNIPER **BUFFALO JUNIPER** SCANDIA JUNIPER

COMMON NAME ADAGIO EULALIA GRASS AUTUMN RED FLAME GRASS **BLUE OAT GRASS DWARF MAIDEN GRASS** FEATHER REED GRASS FOUNTAIN GRASS HEAVY METAL SWITCH GRASS MISCANTHUS `GOLD BAR PORCUPINE GRASS **RAVENNA GRASS**

COMMON NAME JUPITER`S BEARD STELLA DE ORO DAYLILY

COMMON NAME

ROCK MULCH, 1.5"-3" DIA

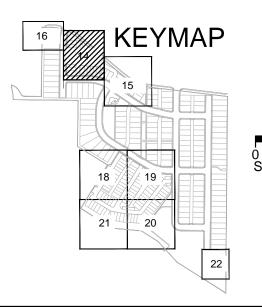
COMMON NAME

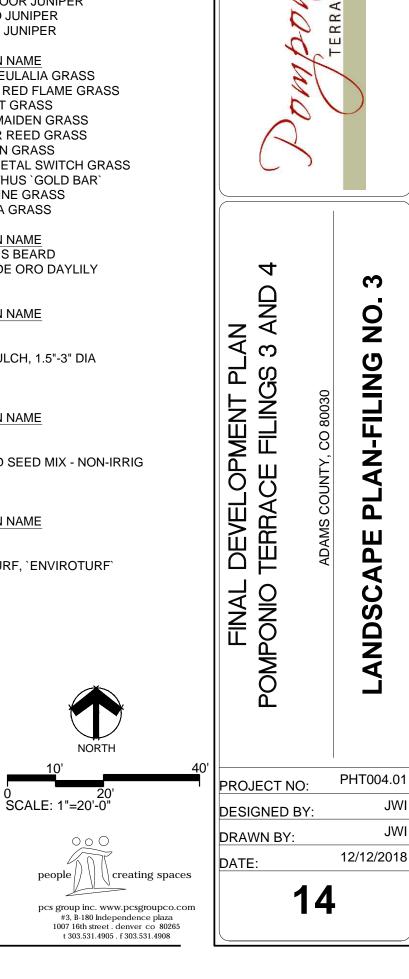
DRYLAND SEED MIX - NON-IRRIG

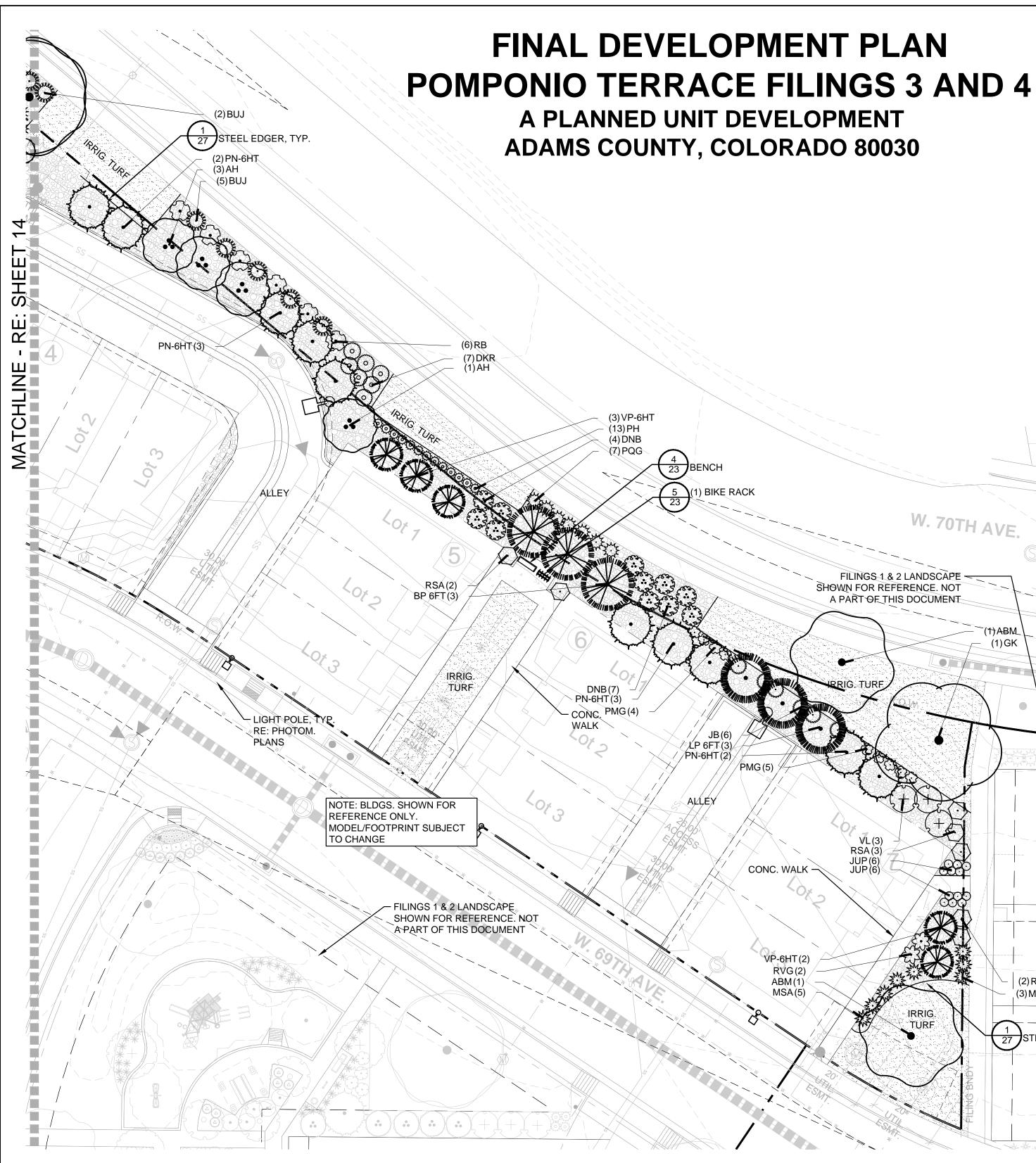
COMMON NAME

IRRIG. TURF, `ENVIROTURF`

people







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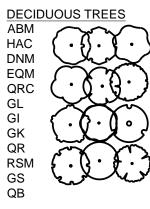
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EVERGREEN TREES

ORNAMENTAL TREES

DECIDUOUS SHRUBS

EVERGREEN SHRUBS

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LPN

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SHEET <u>15</u> OF 28

COMMON NAME AUSTRIAN BLACK PINE BRISTLECONE PINE LIMBER PINE LIMBER PINE VANDERWOLF'S PYRAMID PINE WICHITA BLUE JUNIPER

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COMMON NAME JUPITER`S BEARD STELLA DE ORO DAYLILY

COMMON NAME

ROCK MULCH, 1.5"-3" DIA

COMMON NAME

DRYLAND SEED MIX - NON-IRRIG

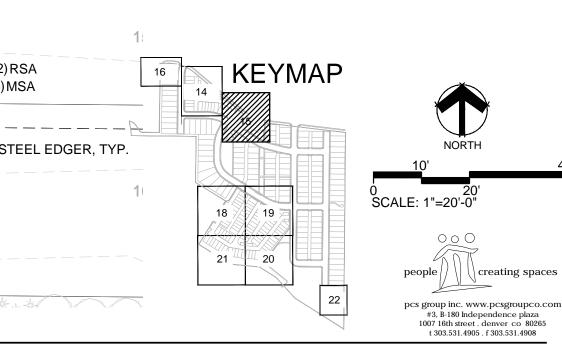
COMMON NAME

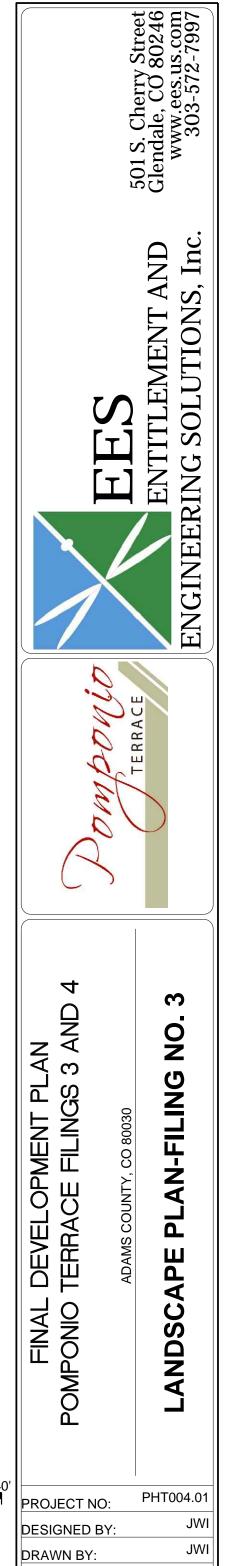
IRRIG. TURF, `ENVIROTURF`

NORTH

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creating spaces

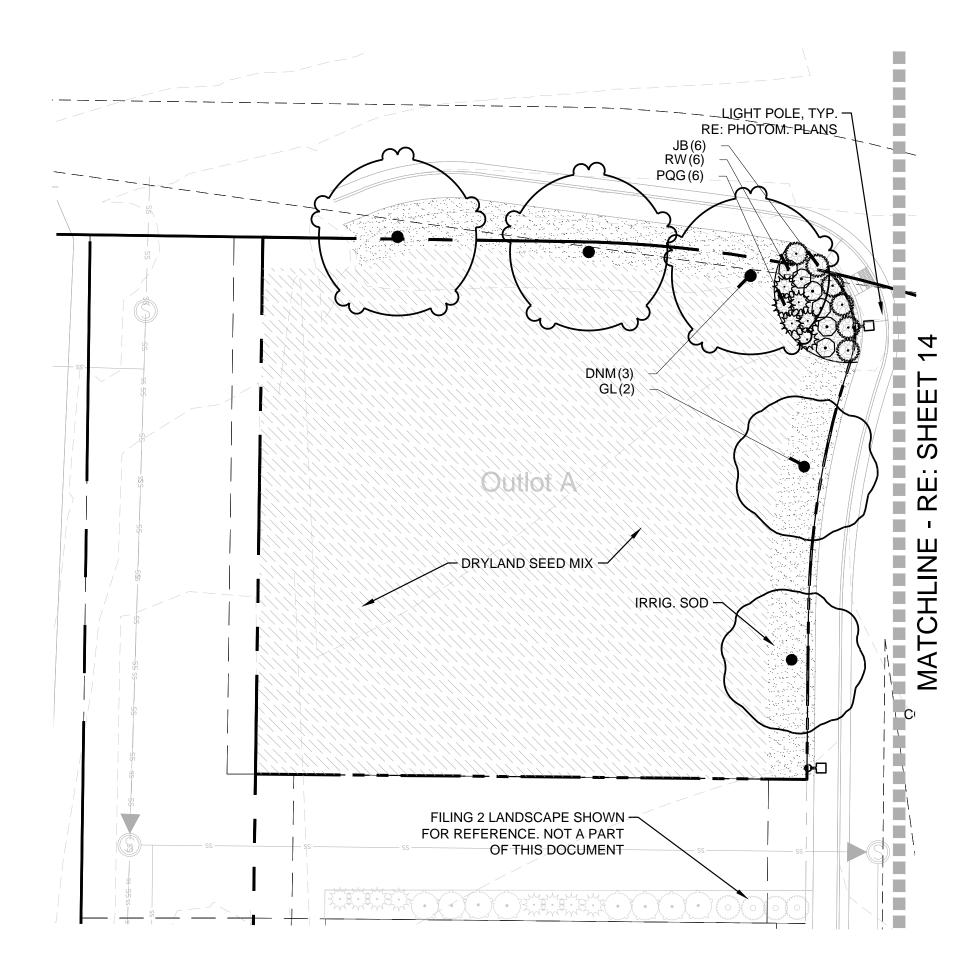




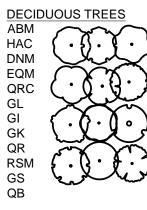
12/12/2018

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DATE:



PLANT / GROUNDCOVER LIST



EVERGREEN TREES

ORNAMENTAL TREES

DECIDUOUS SHRUBS

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GRASSES

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COMMON NAME AUTUMN BLAZE MAPLE COMMON HACKBERRY DEBORAH MAPLE EMERALD QUEEN MAPLE ENGLISH OAK GREENSPIRE LITTLELEAF LINDEN IMPERIAL HONEYLOCUST KENTUCKY COFFEE TREE RED OAK RED SUNSET MAPLE SHADEMASTER LOCUST SWAMP WHITE OAK

SHEET <u>16</u> OF 28

COMMON NAME AUSTRIAN BLACK PINE BRISTLECONE PINE LIMBER PINE VANDERWOLF`S PYRAMID PINE WICHITA BLUE JUNIPER

COMMON NAME CAPITAL CALLERY PEAR CHANTICLEER PEAR HOT WINGS TATARIAN MAPLE

COMMON NAME ALDER BUCKTHORN COMMON BLUEBEARD SPIREA DIABLO NINEBARK MISS KIM LILAC MOHICAN WAYFARING TREE NINEBARK, `DART`S GOLD` PURPLE LEAF SAND CHERRY RABBITBRUSH ROSE. `DOUBLE KNOCKOUT RUSSIAN SAGE SPIREA, `ANTHONY WATERER` WHITE MEIDILAND ROSE

COMMON NAME ARCADIA JUNIPER BROADMOOR JUNIPER BUFFALO JUNIPER SCANDIA JUNIPER

COMMON NAME ADAGIO EULALIA GRASS AUTUMN RED FLAME GRASS BLUE OAT GRASS DWARF MAIDEN GRASS FEATHER REED GRASS FOUNTAIN GRASS HEAVY METAL SWITCH GRASS MISCANTHUS `GOLD BAR` PORCUPINE GRASS RAVENNA GRASS

<u>COMMON NAME</u> JUPITER`S BEARD STELLA DE ORO DAYLILY

COMMON NAME

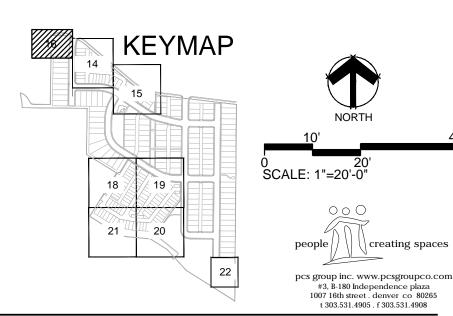
ROCK MULCH, 1.5"-3" DIA

COMMON NAME

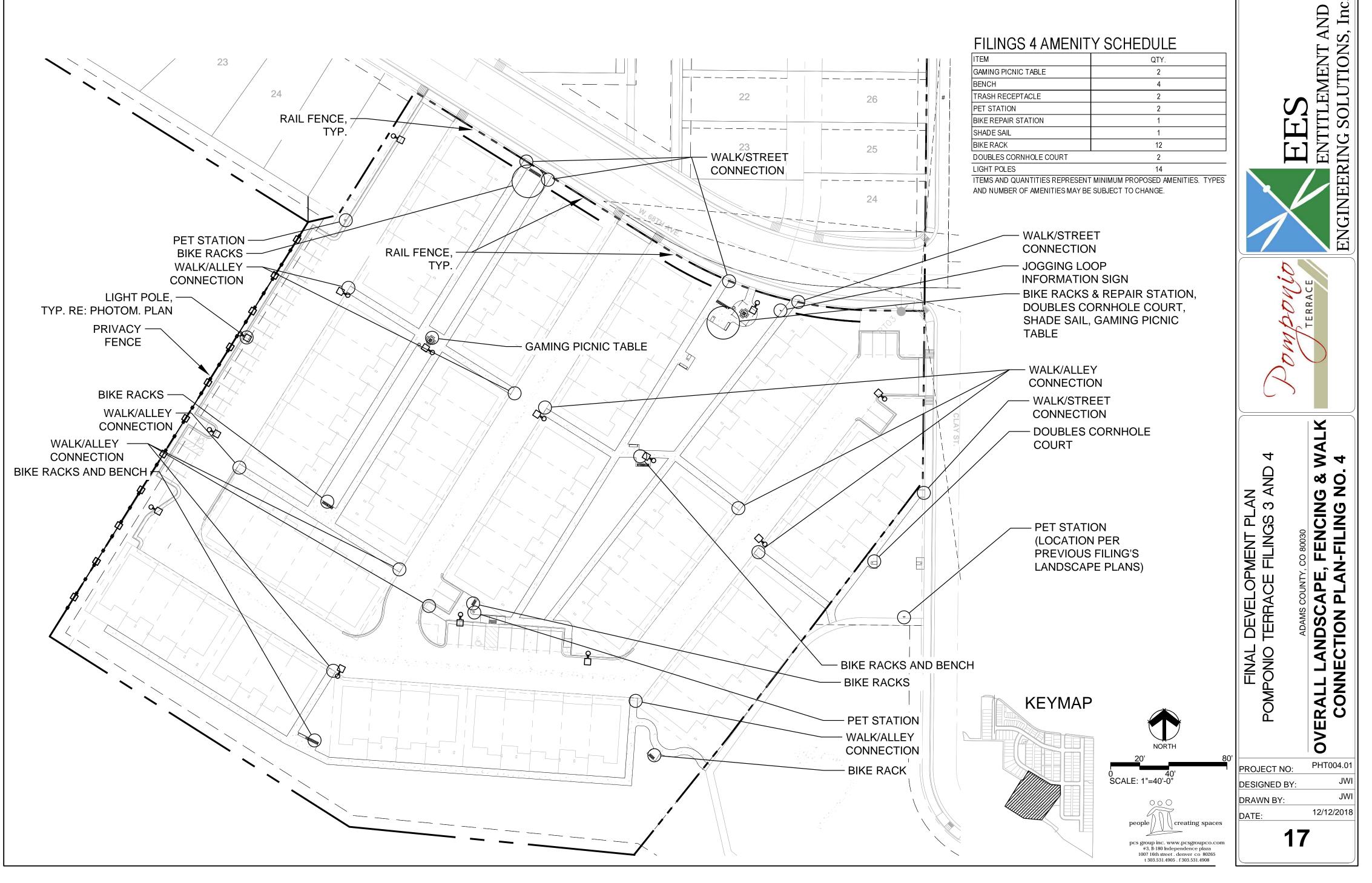
DRYLAND SEED MIX - NON-IRRIG

COMMON NAME

IRRIG. TURF, `ENVIROTURF`



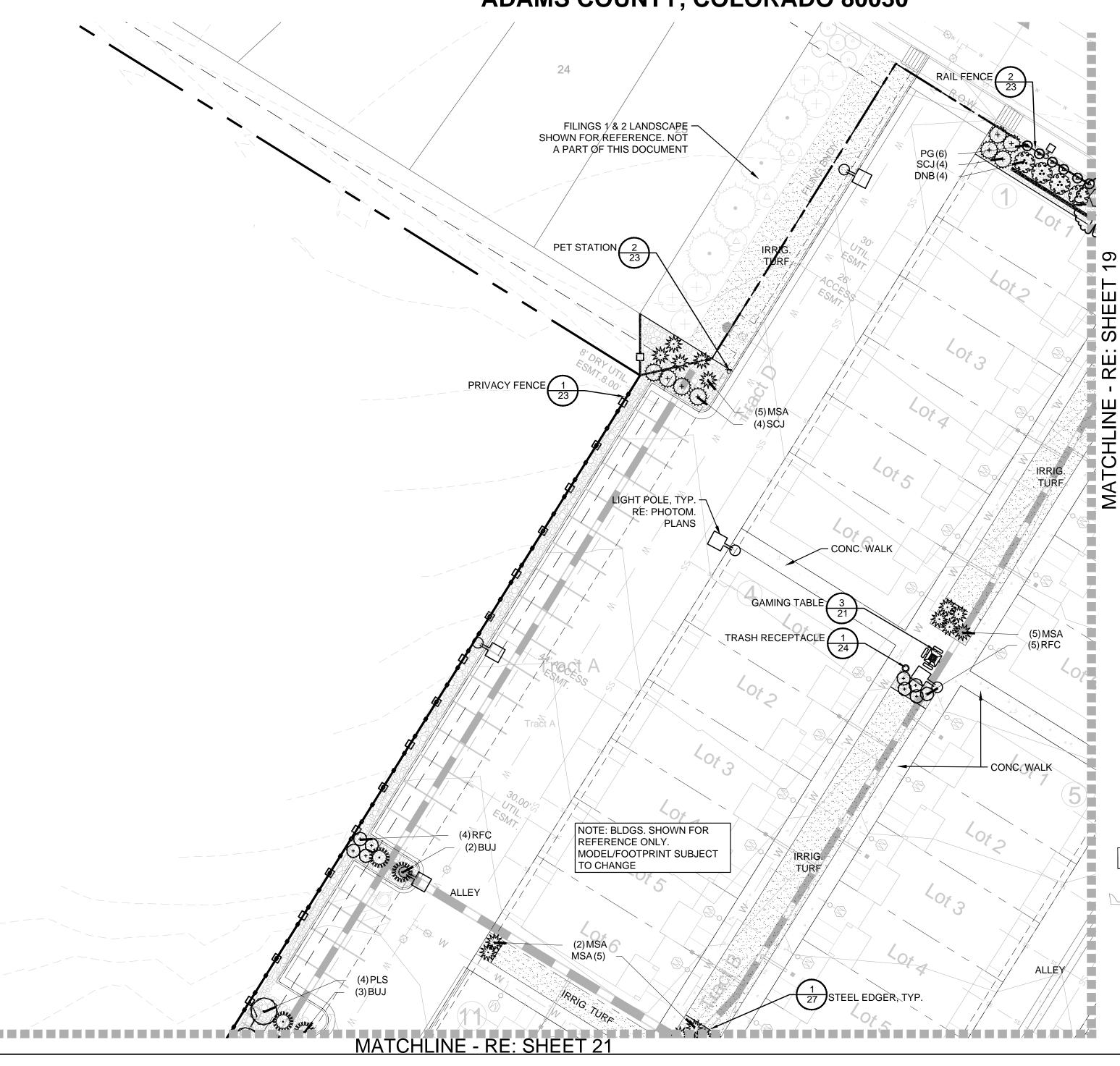




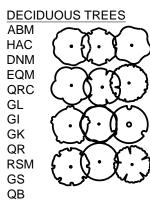
SHEET <u>17</u> OF 28

1 S. Cherry Street ndale, CO 80246 www.ees.us.com 303-572-7997

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PLANT / GROUNDCOVER LIST



EVERGREEN TREES

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COMMON NAME AUTUMN BLAZE MAPLE COMMON HACKBERRY DEBORAH MAPLE EMERALD QUEEN MAPLE ENGLISH OAK GREENSPIRE LITTLELEAF LINDEN IMPERIAL HONEYLOCUST KENTUCKY COFFEE TREE RED OAK RED SUNSET MAPLE SHADEMASTER LOCUST SWAMP WHITE OAK

SHEET <u>18</u> OF 28

COMMON NAME AUSTRIAN BLACK PINE BRISTLECONE PINE LIMBER PINE LIMBER PINE VANDERWOLF`S PYRAMID PINE WICHITA BLUE JUNIPER

COMMON NAME CAPITAL CALLERY PEAR CHANTICLEER PEAR HOT WINGS TATARIAN MAPLE

COMMON NAME ALDER BUCKTHORN COMMON BLUEBEARD SPIREA DIABLO NINEBARK MISS KIM LILAC MOHICAN WAYFARING TREE NINEBARK, `DART`S GOLD` PURPLE LEAF SAND CHERRY RABBITBRUSH ROSE. DOUBLE KNOCKOUT RUSSIAN SAGE SPIREA, `ANTHONY WATERER` WHITE MEIDILAND ROSE

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COMMON NAME JUPITER`S BEARD STELLA DE ORO DAYLILY

COMMON NAME

ROCK MULCH, 1.5"-3" DIA

COMMON NAME

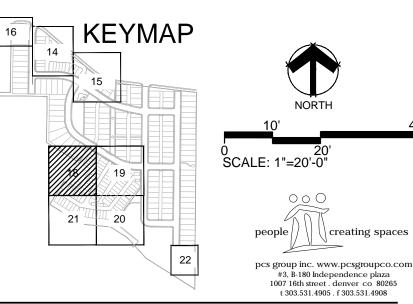
DRYLAND SEED MIX - NON-IRRIG

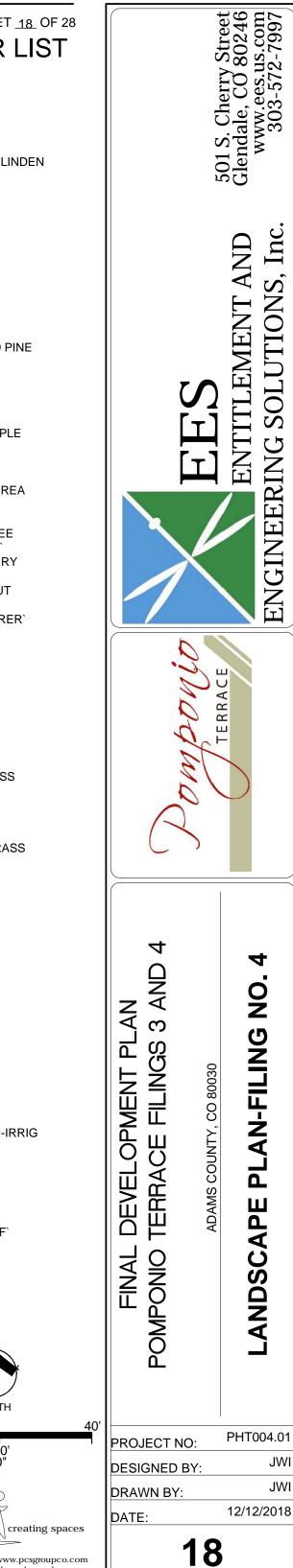
COMMON NAME

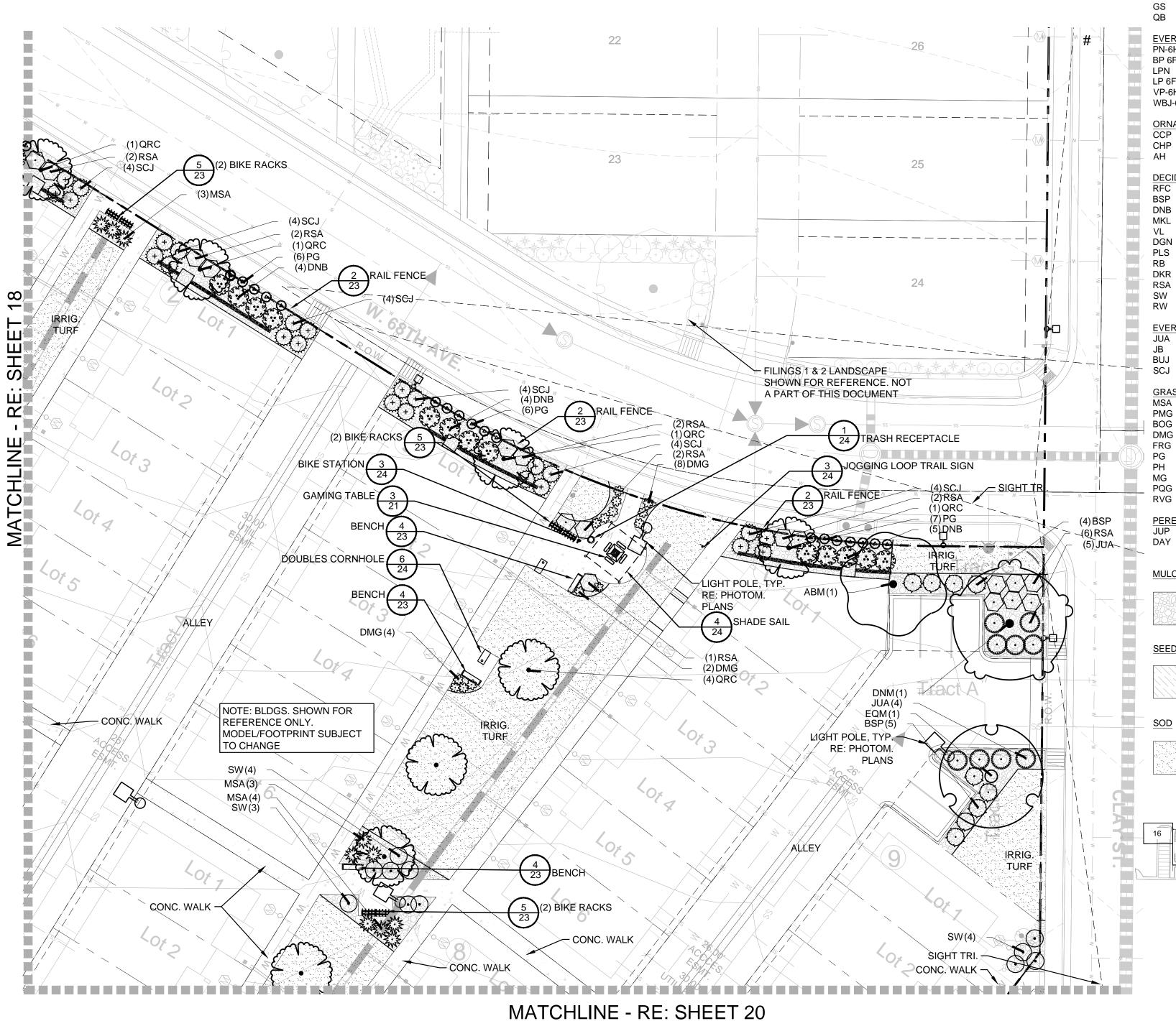
IRRIG. TURF, `ENVIROTURF`

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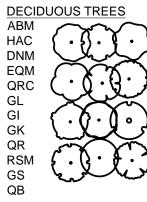
#3, B-180 Independence plaza 1007 16th street . denver co 80265 t 303.531.4905 . f 303.531.4908







PLANT / GROUNDCOVER LIST



EVERGREEN TREES

ORNAMENTAL TREES

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EVERGREEN SHRUBS

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PERENNIALS

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COMMON NAME AUTUMN BLAZE MAPLE COMMON HACKBERRY **DEBORAH MAPLE** EMERALD QUEEN MAPLE ENGLISH OAK GREENSPIRE LITTLELEAF LINDEN IMPERIAL HONEYLOCUST KENTUCKY COFFEE TREE RED OAK RED SUNSET MAPLE SHADEMASTER LOCUST SWAMP WHITE OAK

SHEET <u>19</u> OF 28

COMMON NAME AUSTRIAN BLACK PINE BRISTLECONE PINE LIMBER PINE LIMBER PINE VANDERWOLF`S PYRAMID PINE WICHITA BLUE JUNIPER

COMMON NAME CAPITAL CALLERY PEAR CHANTICLEER PEAR HOT WINGS TATARIAN MAPLE

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COMMON NAME JUPITER`S BEARD STELLA DE ORO DAYLILY

COMMON NAME

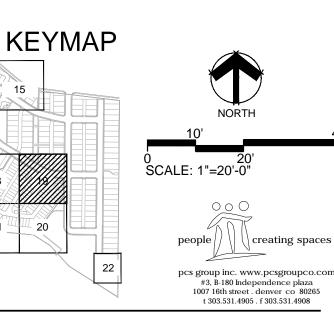
ROCK MULCH, 1.5"-3" DIA

COMMON NAME

DRYLAND SEED MIX - NON-IRRIG

COMMON NAME

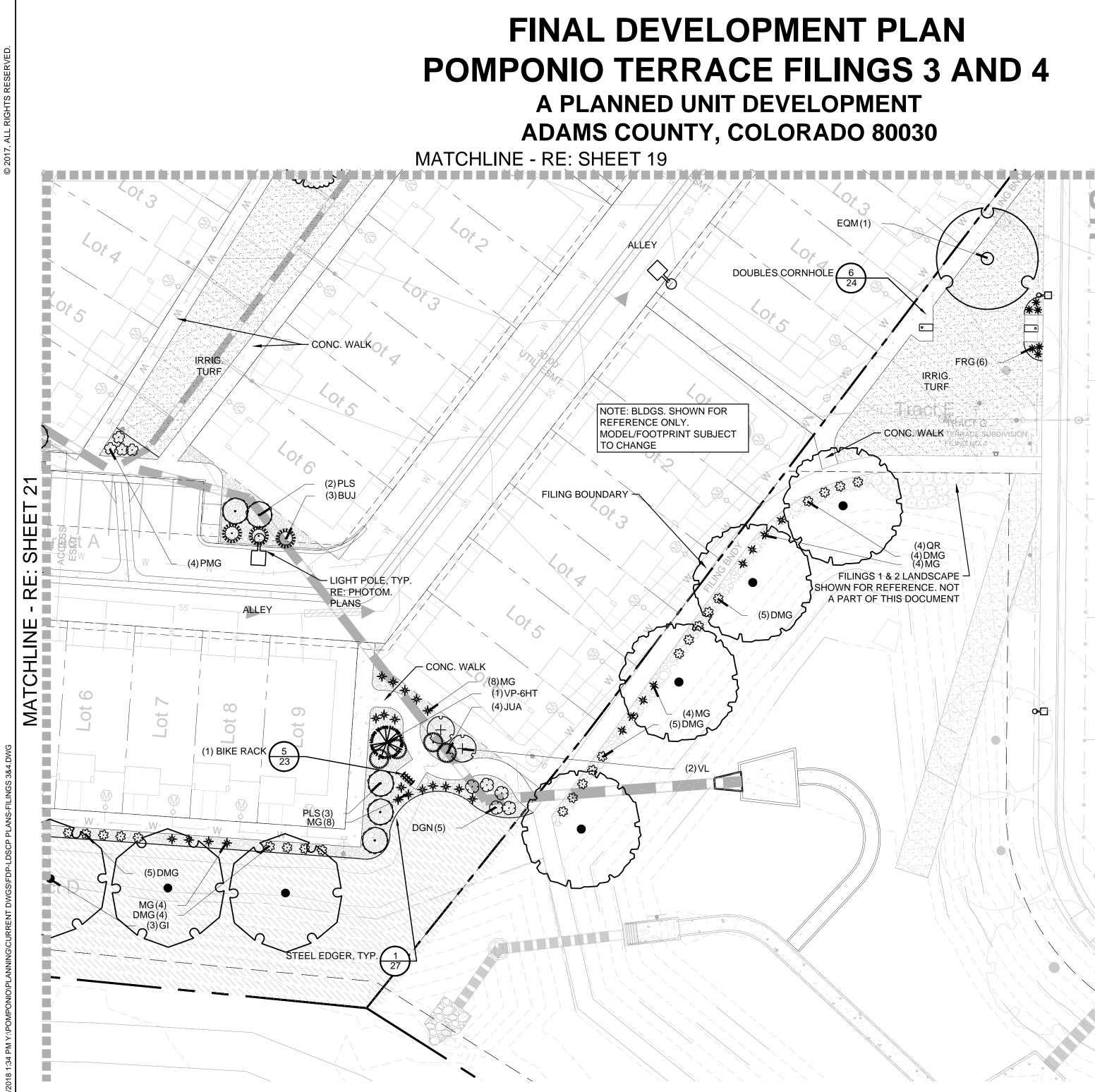
IRRIG. TURF, `ENVIROTURF`



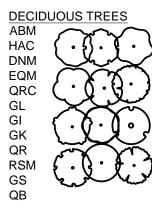


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PROJECT NO:	PHT004.01	
DESIGNED BY:	JWI	
DRAWN BY:	JWI	
DATE:	12/12/2018	
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SHEET 20 OF 28 PLANT / GROUNDCOVER LIST



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COMMON NAME

ROCK MULCH, 1.5"-3" DIA

COMMON NAME

DRYLAND SEED MIX - NON-IRRIG

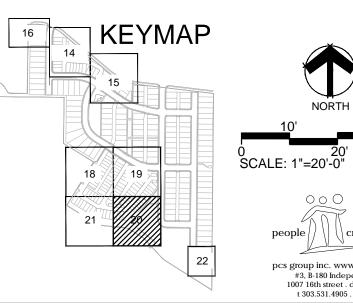
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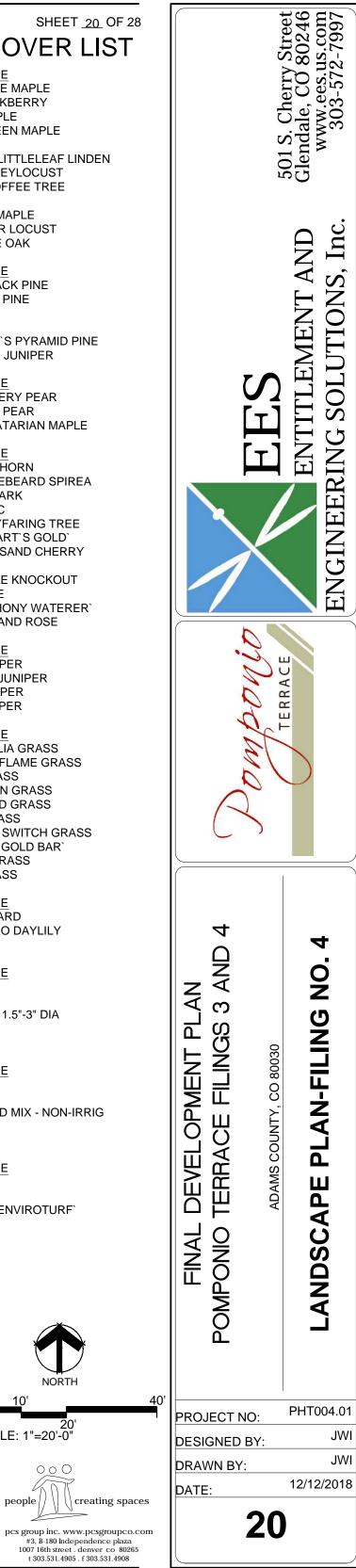
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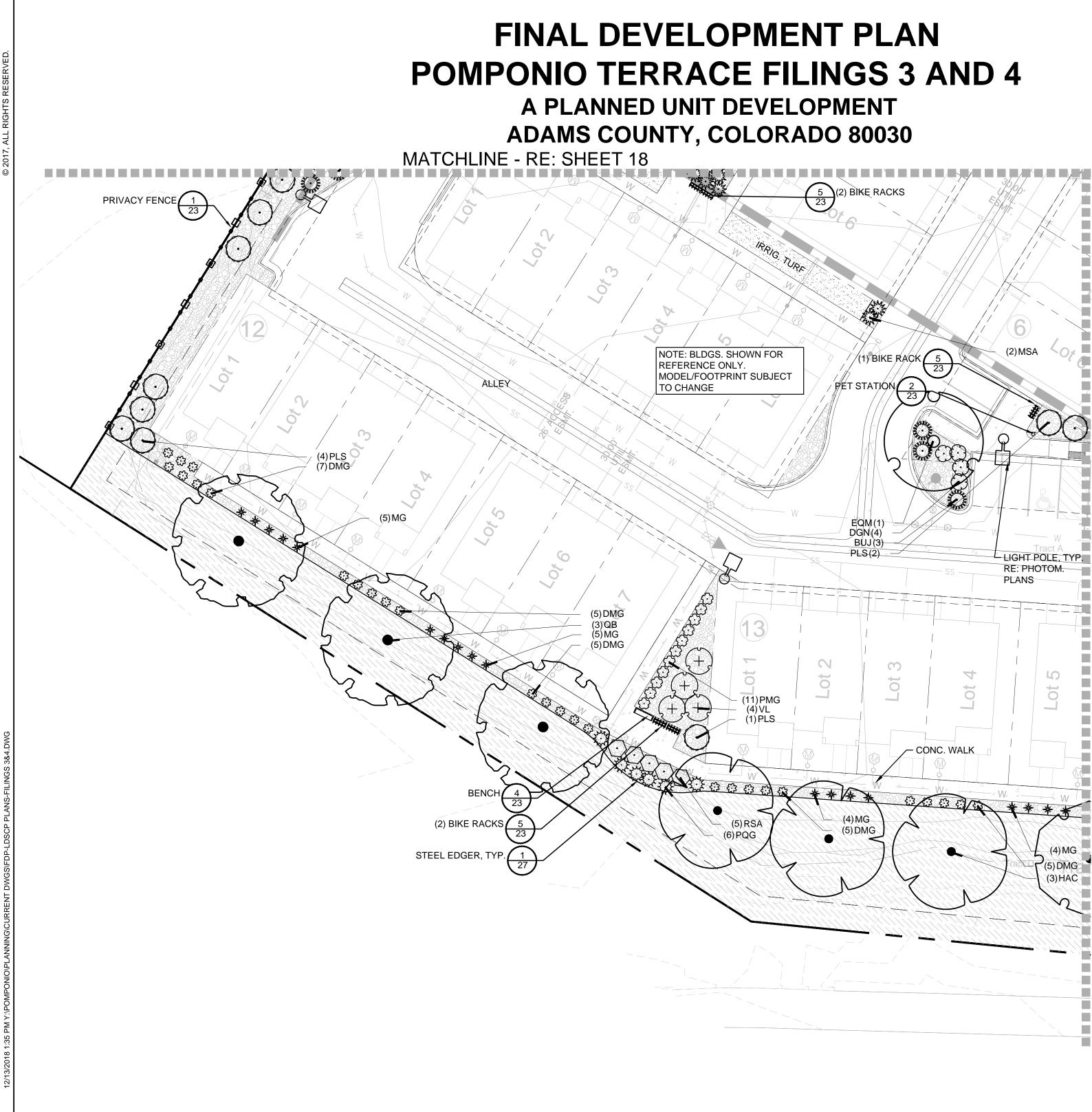
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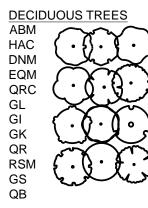
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SHEET _____ OF 28 PLANT / GROUNDCOVER LIST



EVERGREEN TREES

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COMMON NAME AUTUMN BLAZE MAPLE COMMON HACKBERRY DEBORAH MAPLE EMERALD QUEEN MAPLE ENGLISH OAK GREENSPIRE LITTLELEAF LINDEN IMPERIAL HONEYLOCUST KENTUCKY COFFEE TREE RED OAK RED SUNSET MAPLE SHADEMASTER LOCUST SWAMP WHITE OAK

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COMMON NAME

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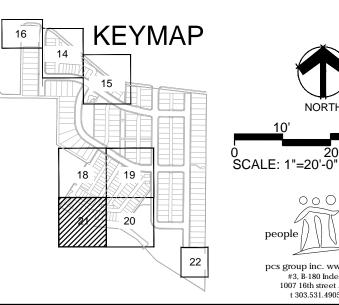
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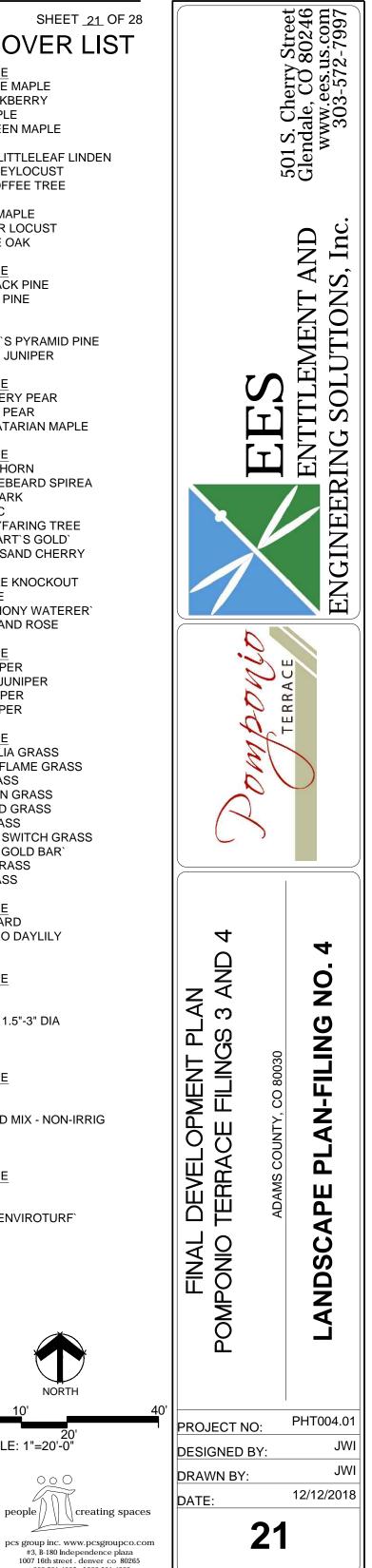
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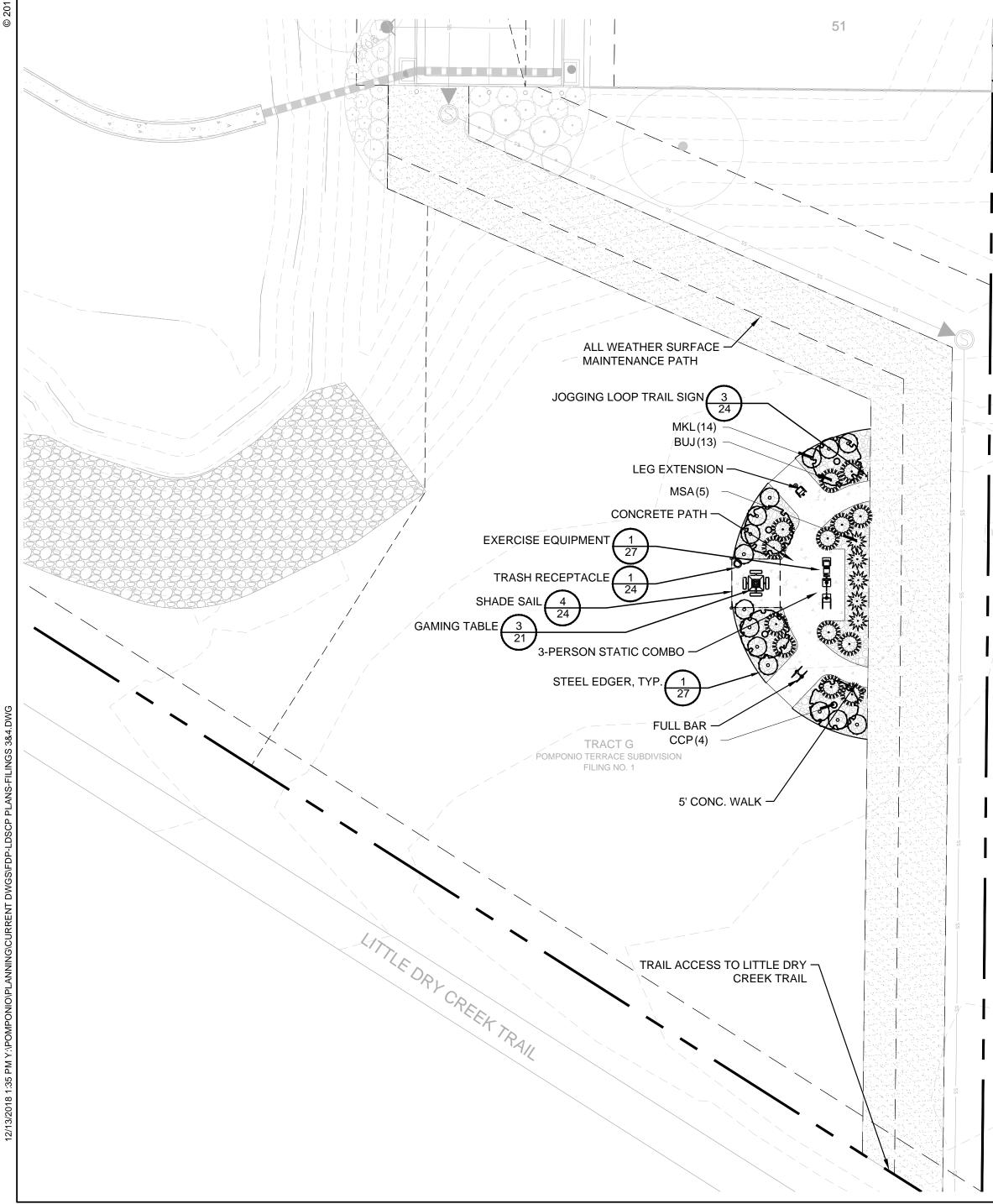
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#3, B-180 Independence plaza 1007 16th street . denver co 80265 t 303.531.4905 . f 303.531.4908

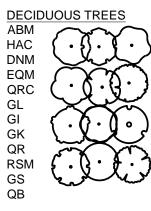
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EVERGREEN TREES

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SHEET _22_ OF 28

COMMON NAME AUSTRIAN BLACK PINE BRISTLECONE PINE LIMBER PINE LIMBER PINE VANDERWOLF`S PYRAMID PINE WICHITA BLUE JUNIPER

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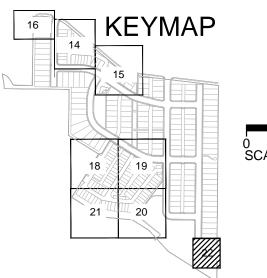
ROCK MULCH, 1.5"-3" DIA

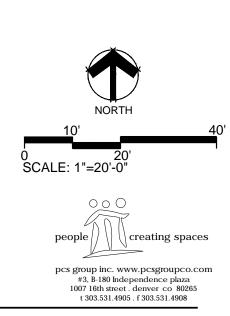
COMMON NAME

DRYLAND SEED MIX - NON-IRRIG

COMMON NAME

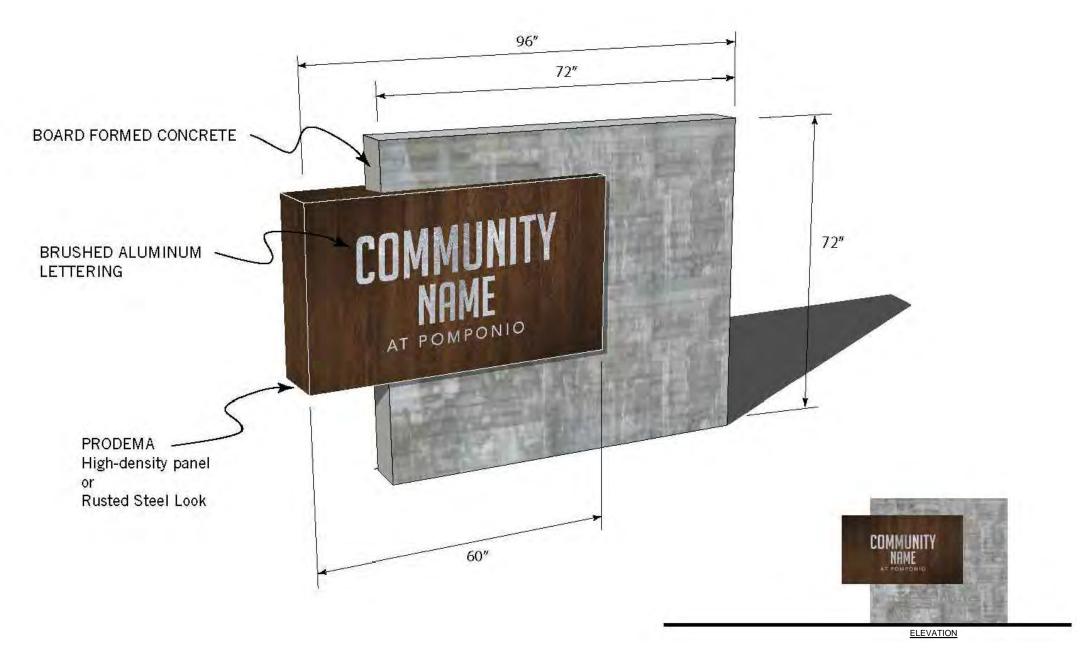
IRRIG. TURF, `ENVIROTURF`







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MONUMENT NOTES

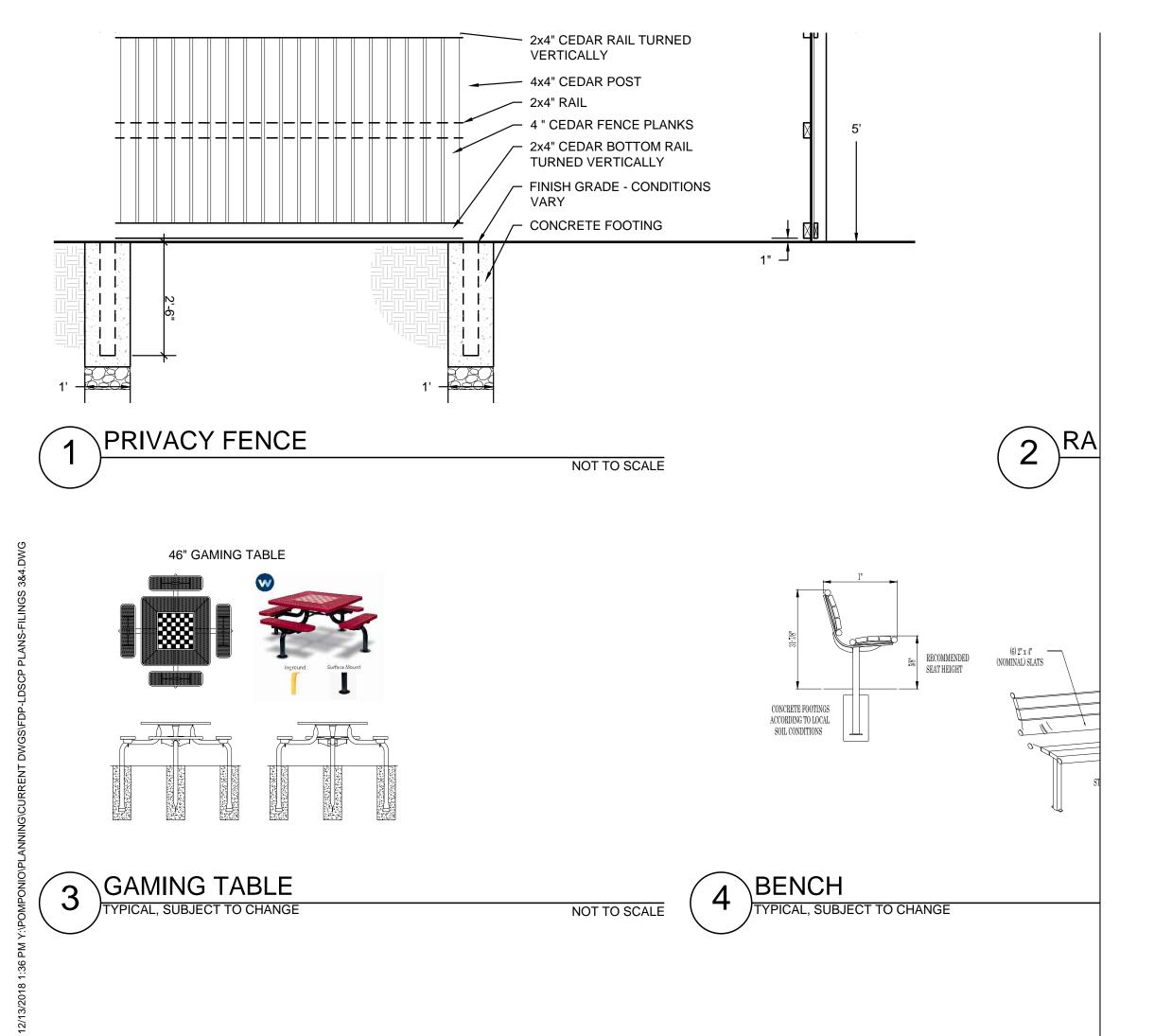
MONUMENT SIGNAGE NOTES

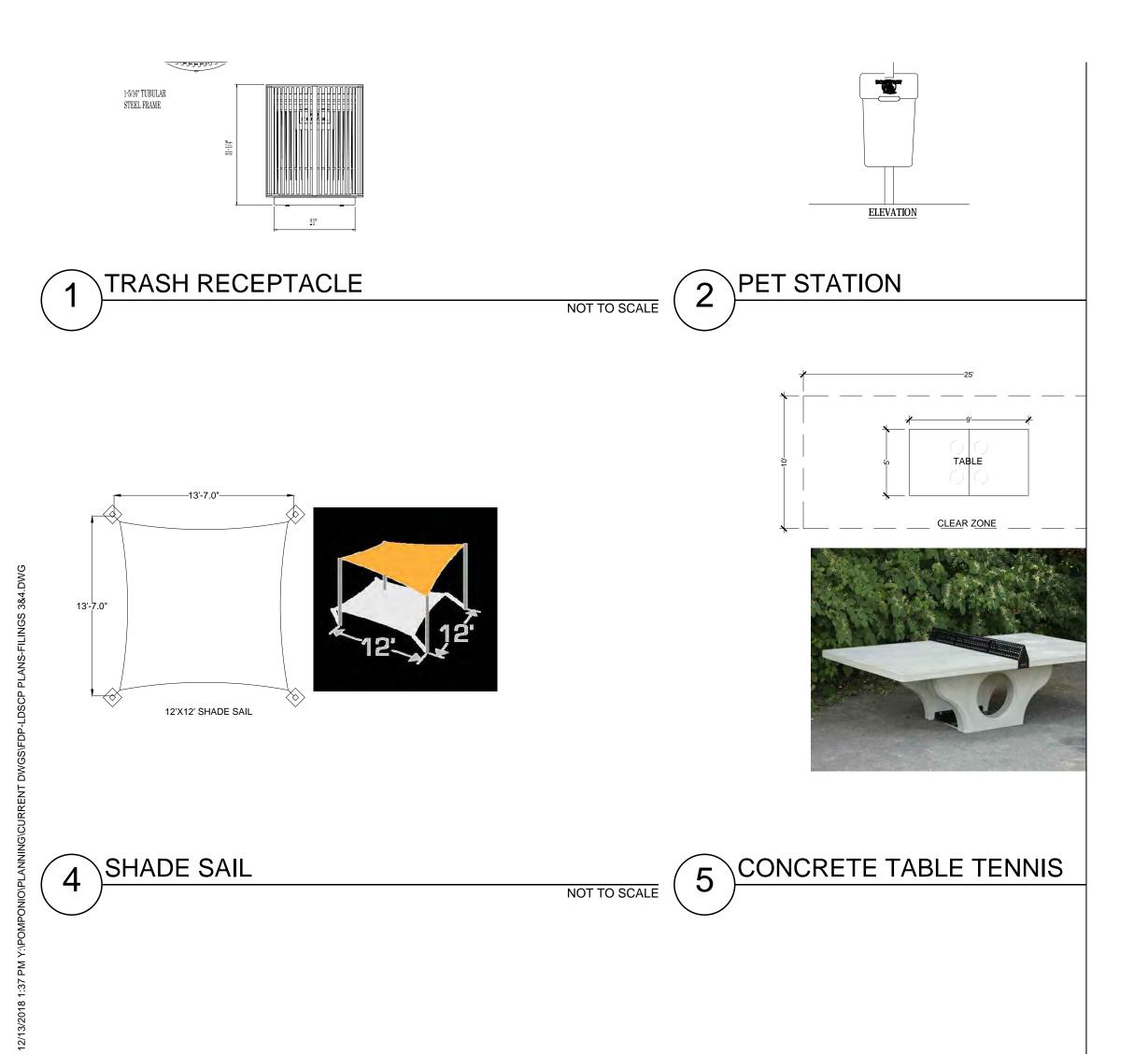
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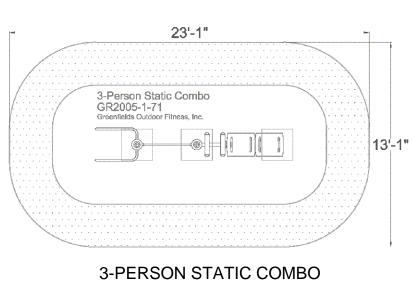
- MONUMENT SIGN IS TYPICAL AND SUBJECT TO CHANGE. FINAL SIGN DESIGN AND CONSTRUCTION DETAILS SHALL BE SUBMITTED AS PART OF A PERMIT PROCESS. DRAWING IS SHOWN TO ILLUSTRATE DESIGN INTENT AND SCALE.
- (1) MONUMENT SIGN WILL BE INSTALLED AS PART OF FILINGS 1 & 2. IT WILL BE LOCATED AT THE INTERSECTION OF W. 70TH AVE. & CLAY ST.
- PROPOSED MONUMENTATION MAY CONSIST OF A VARIETY OF BUILDING MATERIALS INCLUDING STONE, CONCRETE, METAL, STUCCO OR COMBINATION THERE OF.
- APPROX SIGN FACE AREA = ± 40 SQ, FT., MAX SIGN HEIGHT = 6' MAX.
- SETBACK FROM W. 70TH AVE RIGHT OF WAY = 12 FEET
- 7. SETBACK FROM NEAREST LOT LINE = 41.18 FEET
- 8. MONUMENT LANDSCAPE BED = \pm 700SQ FT.
- MARKETING SIGNAGE NOTES
- 9. MARKETING SIGN DESIGN AND CONSTRUCTION DETAILS SHALL BE SUBMITTED AS PART OF A SEPARATE PERMIT PROCESS.
- 10.A MINIMUM OF (3) LARGE MARKETING SIGNS ARE PROPOSED TO BE
LOCATED ON FEDERAL BLVD. AND/OR ON W. 70TH AVE. LARGE
 - MARKETING SIGNS SHALL RANGE IN SIZE FROM 12'X8' TO 16'X12'. MULTIPLE DIRECTIONAL/MARKETING SIGNS SHALL BE PLACED THROUGHOUT THE DEVELOPMENT. DIRECTIONAL/MARKETING SIGNS SHALL RANGE IN SIZE FROM 4'X8' TO 8'X12'.

501 S. Cherry Street Glendale, CO 80246 www.ees.us.com 303-572-7997 SHEET 23 OF 28 DESIGN IS TYPICAL. SPECIFIED EQUIPMENT AND MATERIALS MAY BE SUBJECT TO CHANGE. Inc. **ENTITLEMENT AND** 1601 Wilmeth Road BRANDON® McKinney, Texas 75069 Phone: 972.542.3000 SOLUTIONS, Toll Free: 800.247.1274 brandonindustries.com **Complete Sign Unit** made from the following part Four Inch POLE: SPQ4X14 - 4"x 14' SMOOTH SQUARE POLE NOTES: EXTRUDED ALUMINUM ALLOY 6005-T5 Letters 1. STREET SIGNS ARE SHOWN FOR WALL THICKNESS .125" ENGINEERING INFORMATIONAL PURPOSES AND FINIAL: ARE SUBJECT TO FINQ-E4 - END-CAP FINIAL FOR 4" OD SQUARE COUNTY POLE. APPROVAL AND PERMITTING, FINAL HEIGHT: 2" STREET SIGN STOP WIDTH: 4.5" LOCATIONS SHALL BE DETERMINED FOLLOWING COUNTY REVIEW TRIMS: AND COMMENTS. 2WAYARM16- CANTILEVER ARM FOR DOUBLE-SIDED STREET SIGN. TSTOP24N- TRIM FOR 24" STOP SIGN CAST ALUMINUM ALLOY #356 ABOVE GRADE ERRA SIGNS: 0636DS - DOUBLE-SIDED 6"x 36" REFLECTIVE Main STREET SIGN w/4" LETTERS SPECIFY VINYL TYPE R1-1/24 - REFLECTIVE 24" STOP SIGN SPECIFY VINYL TYPE STOP BASE: SBQ-14 - SLIP-OVER BASE FOR 4" SQUARE POLE HEIGHT: 3.5" WIDTH: 9" CAST ALUMINUM ALLOY #356 4 NOTES: COMPLETE UNIT SHOWN WITH 2' BELOW GRADE BURIAL. DRAWING FOR INFORMATION ONLY, NOT INTENDED FOR CONSTRUCTION PURPOSES. AND S File Name: 4 SQ SBQ14(E) - A6(W)-TSTOP24 DETAIL AN ENHANCED STREET SIGN က NOT TO SCALE ILINGS AENT VESTMINSTER Station ш JOGGING TRAIL 8 Ω AGO. COUNTY, 4 TERRACE ANDSC/ 12"X24" TRAIL SIGN, DEVEL SINGLE-SIDED FINAL OMPONIO Š 5' 4" SQ. METAL POST SITE Ĩ FINISH GRADE PHT004.07 PROJECT NO JWI DESIGNED BY JWI DRAWN BY: 000 12/12/2018 JOGGING LOOP TRAIL SIGN DATE: 3 people creating spaces NOT TO SCALE 23 pcs group inc. www.pcsgroupco.com #3, B-180 Independence plaza 1007 16th street . denver co 80265 t 303.531.4905 . f 303.531.4908



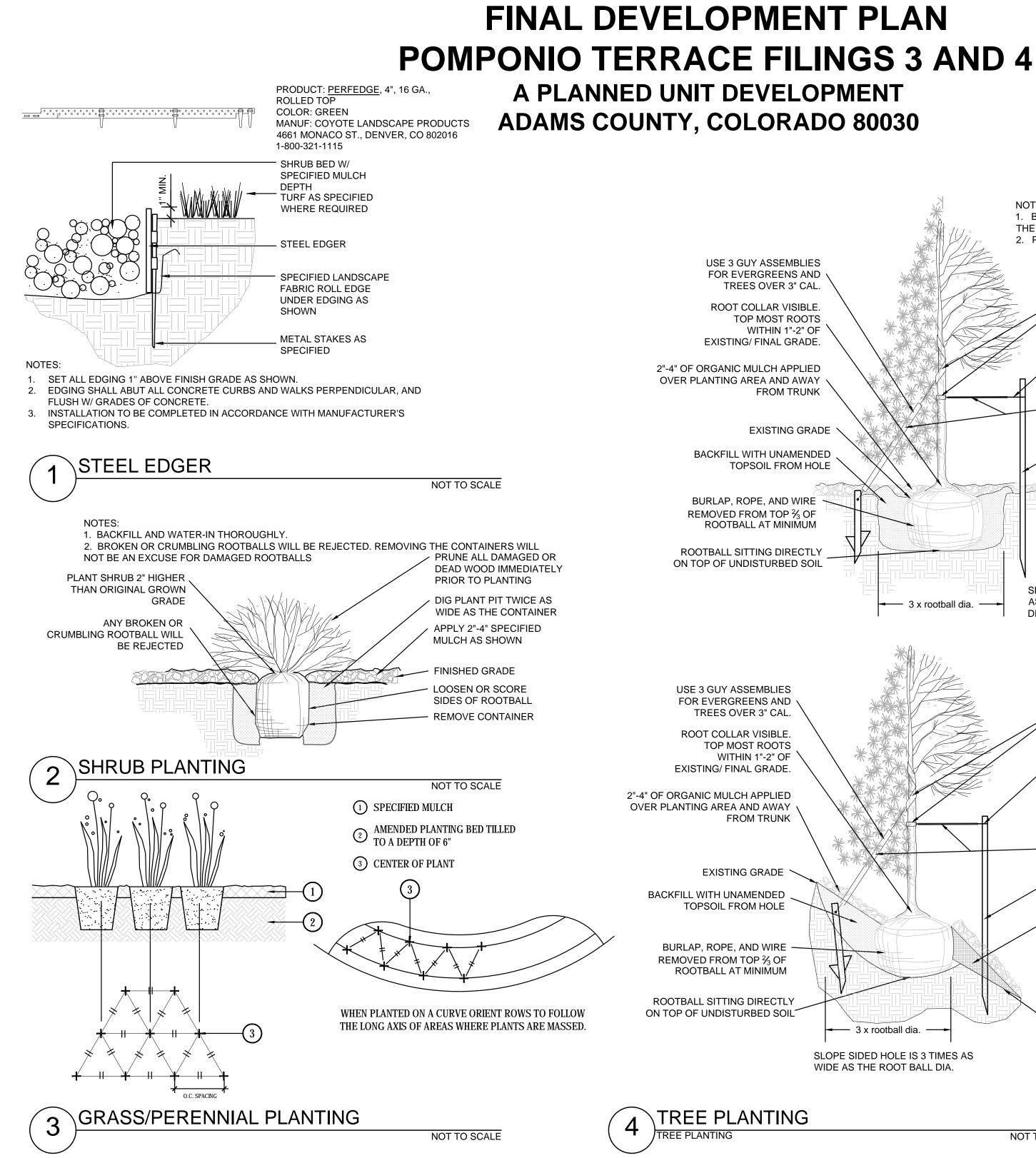






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y Stree 8024(us.com 72-7997 Cherry ale, CO ww.ees.u 303-575 501 S Glend Inc. AND OLUTIONS, EMENT NOTES: 1. BROKEN OR CRUMBLING ROOTBALLS WILL BE REJECTED. REMOVING THE CONTAINERS WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS. 2. PRUNE ALL DEAD OR DAMAGED WOOD AFTER PLANTING **USE GROMMETED TREE** STRAPS AT END OF NOTES: Ñ WIRE 1. 1. ALL WORK TO BE DONE AT TIME OF PLANTING 2. 2. PEEL BACK ONLY TOP OF BURLAP Τ ENGINEERIN 12 GAUGE REQUIRED TO PERFORM WORK. REPLACE ۲Ţ GALVANIZED WIRE BURLAP BEFORE MOVING TREE INTO PLANTING PIT. DO NOT REMOVE WIRE BASKET UNTIL INSIDE PLANTING PIT. 3. 3. MEASURE NEW HEIGHT OF ROOTBALL AND DIG PLANTING PIT SO FINAL TOP ROOTBALL 24" x ¾" P.V.C. GRADE IS 3" ABOVE FINAL GRADE MARKERS (TYPICAL) SURROUNDING BALL. **OVER WIRES** EXCAVATE PLANTING HOLES WITH SLOPING 4. TREATED WOOD SIDES. MAKE EXCAVATIONS AT LEAST THREE POST TIMES AS WIDE AS THE ROOT BALL DIAMETER USE 2 GUY AND NO DEEPER THAN THE DISTANCE FROM ASSEMBLIES FOR THE TOP MOST ROOTS IN THE ROOT BALL TO 2 **TREES UNDER 3"** THE BOTTOM OF THE ROOT BALL TO ALLOW FOR SETTLING. DO NOT DISTURB SOIL AT TERRA BOTTOM OF PLANTING HOLES, BUT DO Finished grade SCORE THE SIDES OF THE PLANTING HOLE THE PLANTING AREA SHALL BE LOOSENED AND AERATED AT LEAST THREE TIMES THE DIAMETER OF THE ROOT BALL. BACKFILL SHALL CONSIST OF EXISTING SITE TOPSOIL NO AMENDMENTS SHALL BE USED UNLESS OTHERWISE SPECIFIED. SLOPE SIDED HOLE IS 3 TIMES TREES SHALL BE PLANTED WITH THE ROOT AS WIDE AS THE ROOT BALL 3 x rootball dia. COLLAR/FLARE VISIBLE ABOVE GRADE AND DIA TWO OR MORE STRUCTURAL ROOTS LOCATED WITHIN THE TOP 1" TO 2" OF THE **ROOT BALL/FINISHED GRADE MEASURED 3**" TO 4" FROM TRUNK. THIS INCLUDES TREES THAT ARE SET ON SLOPES (SEE SLOPE PLANTING DETAIL). TREES THAT DO NOT 4 HAVE A VISIBLE ROOT COLLAR SHALL BE USE GROMMETED TREE AND **REJECTED. DO NOT COVER THE ROOT BALL** S STRAPS AT END OF WITH SOIL. **MIRE** AIL WHEN ROOT BALL WILL REMAIN INTACT, CUT 6 AN OFF BOTTOM 1/4 OF WIRE BASKET BEFORE က PLACING TREE IN HOLE, CUT OFF REMAINDER 12 GAUGE \vdash **ILINGS** OF BASKET AFTER TREE IS SET IN HOLE, Π ш GALVANIZED WIRE REMOVE BASKET COMPLETELY. AT A Δ AENT MINIMUM. THE TOP ³/₂ OF THE BURLAP AND ш BASKET SHALL BE REMOVED FROM THE 8 ROOT BALL ON ALL TREES. REMOVE ALL Ω NYLON TIES, TWINE, ROPE AND BURLAP. COUNTY, ◀ L Ю REMOVE UNNECESSARY PACKING MATERIAL. S Ο FORM SOIL INTO A 3" TO 5" TALL WATERING 7. 24" x ³⁄₄" P.V.C. MARKERS S RING (SAUCER) AROUND PLANTING AREA. TERRA (TYPICAL) OVER WIRES AND THIS IS NOT NECESSARY IN IRRIGATED TURE ADAMS AREAS. APPLY 2" TO 4" DEPTH OF SPECIFIED TREATED WOOD POST MULCH OVER PLANTING AREA AND INSIDE USE 2 GUY ASSEMBLIES FOR SAUCERS, AWAY FROM TRUNK. **TREES UNDER 3"** STAKING AND GUYING OF TREES IS OPTIONAL 8 FINAL OMPONIO õ UNAMENDED TOPSOIL IN MOST PLANTING SITUATIONS. IN AREAS ADDED TO EXISTING GRADE OF EXTREME WINDS OR ON STEEP SLOPES, Ш ON DOWN HILL SIDE STAKING MAY BE REQUIRED TO STABILIZE SIT TREES. STAKING AND GUYING MUST BE REMOVED WITHIN 1 YEAR OF PLANTING DATE. 7 TREE WRAP IS NOT TO BE USED ON ANY NEW 9. PLANTINGS, EXCEPT IN LATE FALL PLANTING Π SITUATIONS AND ONLY THEN AFTER CONSULTATION WITH THE TOWN ARBORIST. RESETTING OF IMPROPERLY PLANTED TREES 10. **EXISTING GRADE** 3 x rootball dia. WILL ONLY BE ALLOWED IF IT IS DETERMINED THAT DOING SO WIL IN NO WAY COMPROMISE PHT004.07 PROJECT NO: SLOPE SIDED HOLE IS 3 TIMES AS THE ROOT BALL, AND SHALL ONLY BE DONE JWI WIDE AS THE ROOT BALL DIA. WITH APPROVAL OF THE TOWN ARBORIST. DESIGNED BY JWI DRAWN BY: 12/12/2018 DATE: creating spaces people 27

NOT TO SCALE

pcs group inc. www.pcsgroupco.com #3, B-180 Independence plaza 1007 16th street . denver co 80265 t 303.531.4905 . f 303.531.4908

SHEET <u>27</u> OF 28

ARCHITECTURAL STANDARDS

1.1 Facades

- a. All facades shall have durable siding materials which may include vinyl, cement fiber, engineered wood composite, manufactured stone, rust resistant architectural metals or a combination of the above.
- b. Material diversity is required. A minimum of two different materials shall be incorporated in each elevation. Variations of the same material (scallops, fish-scale, lap siding, vertical board and batten) of the same or different color will be considered different materials. The coverage of the second material does not need to be evenly distributed.
- c. There shall be no windowless elevation.

1.2 Roofs

a. The homes shall have a minimum pitch on the predominant roof planes of at least 4:12 (excluding dormers, porch roofs and other extensions.)

b. Acceptable roofing materials includes architectural grade composition roofing.

- c. Rooftop equipment, HVAC units, swamp coolers and antennas, shall not be placed on the street side facing portion of the roof. Solar Panels will be allowed on the street facing sides. This standard does not apply to those items listed below: Piping, venting, flashing, solar panel frames and other rooftop equipment exposed to
- view shall be finished to match the roof surface color or otherwise designed to blend with the roof surface.

1.3 Windows and Doors

- a. Each window shall either have a minimum 2" nominal wide wood trim border
- b. Window frames shall be vinyl.
- c. Each door shall either have a minimum 2" nominal wide wood trim border.
- d. Each end unit will have windows
- 1.4 High Visibility end units facing a right of way are comprised of 3 or more different materials as well as windows.

ARCHITECTURAL CHARACTER

Pomponio Terrace is envisioned as a unique community that is eager to welcome a number of personal styles. The goal in Pomponio Terrace is to accommodate the desires and needs of these many personalities while creating an exciting yet compatible environment.

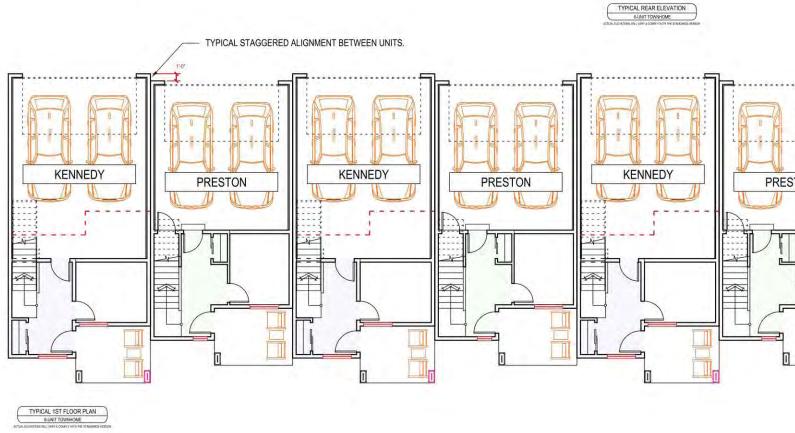
Pomponio Terrace will provide a blend of the old with the new. There will be a fusion of traditional and modern architectural styles that will offer a creative edge to the design opportunities. The exterior colors will be a collection of environmental influences balanced with creative bold colors to enhance architectural details.

The intentions of the Architectural Guidelines will be to create a contemporary, vibrant community - an urban fusion of architectural styles that is comfortable and friendly to all its residents.

FINAL DEVELOPMENT PLAN **POMPONIO TERRACE FILINGS 3 AND 4 A PLANNED UNIT DEVELOPMENT ADAMS COUNTY, COLORADO 80030**







501 S. Cherry Street Glendale, CO 80246 www.ees.us.com 303-572-7997 SHEET <u>28</u> OF 28 **ENTITLEMENT AND** PIPING, VENTING, SOLAR PANELS ET SHALL BE PAINTED TO BLEND WITH T REFER TO 1.2c MINIMUM RO REFER TO 1 REFER TO 1. Τ . 100000 L L L L L. 2 PRESTON - FRONT ELEVATION PRESTON - RIGHT SIDE ELEVATION (HIGH VISIBILITY ERRA TYPICAL RIGHT SIDE ELEVATION 0 INIMUM ROOF PITCH =4 ARCHITECTURAL GRADE COMPOSITE ROOFING (TY REFER TO 1.2b

KENNEDY - LEFT SIDE ELEVATION - (HIGH VISIBILIT

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REFER TO 1.1b

TYPICAL LEFT SIDE ELEVATION Philas in StarTified and Main a Contact of Arbertine of Landau

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people Creating spaces
pcs group inc. www.pcsgroupco.com #3, B-180 Independence plaza 1007 16th street . denver co 80265 t 303.531.4905 . f 303.531.4908

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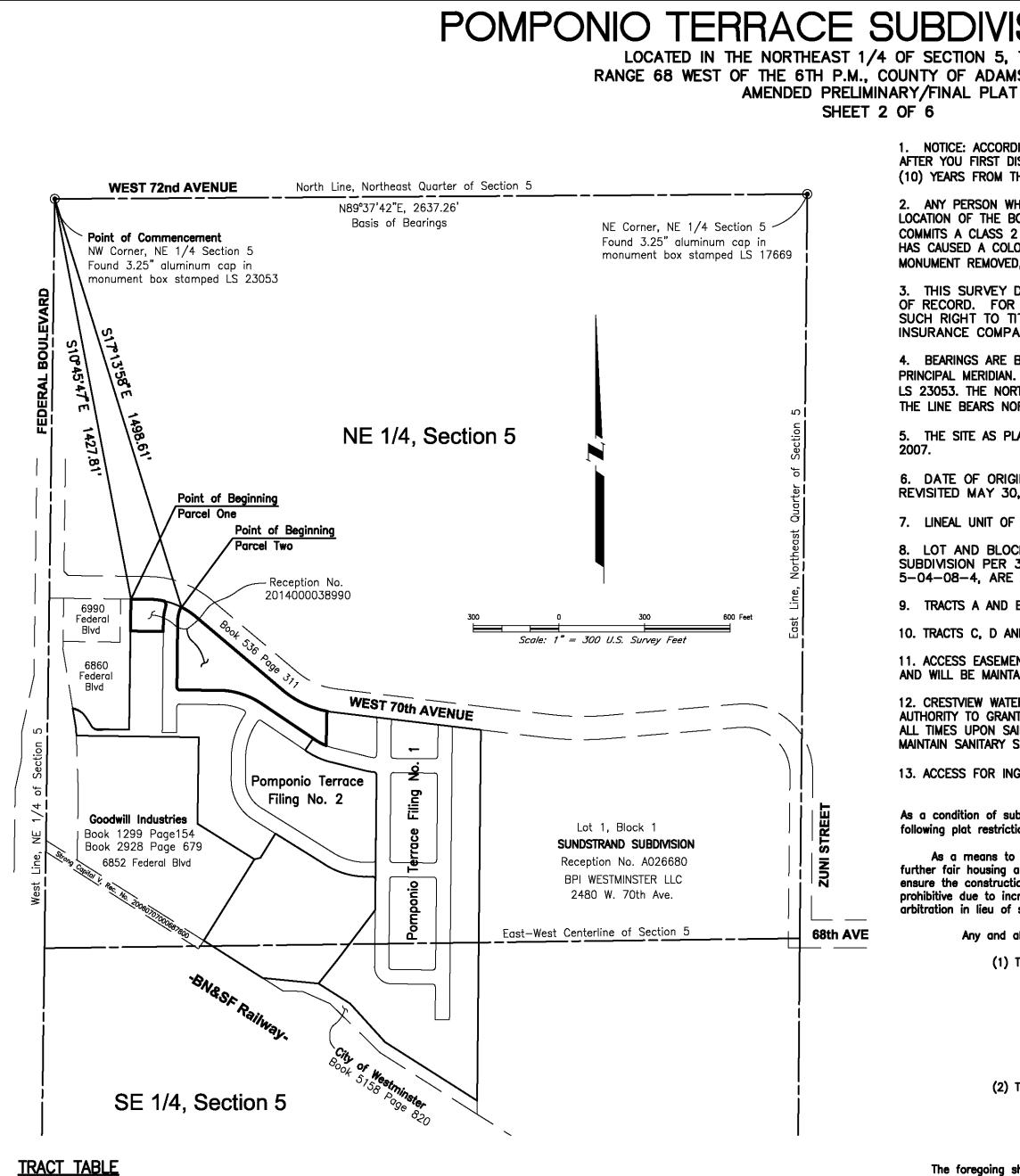
POMPONIC	ΣТ	ERRA	CE SL
RA			ORTHEAST 1/4 E 6TH P.M., CO
DEDICATION AND LEGAL DESCRIPTION KNOW ALL MEN BY THESE PRESENTS THAT POMPONIO TERRACE HOLDINGS LLC, BEING THE OWNER, AND SCONSET RESOURCES, LLC, THE ESTATE OF F. LEONARD POMPONIO AND THE ROSE MARIE POMPONIO IRREVOCABLE TRUST U/T/A AUGUST 28, 2006, AND CARDEL HOMES US LIMITED PARTNERSHIP, BEING THE HOLDERS OF DEED OF TRUST OF THAT PART OF THE NORTHEAST ONE-QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:			NDED PRELIMIN SHEET 1
TWO PARCELS OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:			
PARCEL ONE:			Highway 36
COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER OF SECTION 5, FROM WHICH POINT THE NORTHEAST CORNER OF SAID NORTHEAST QUARTER OF SECTION 5 BEARS NORTH 89°37'42" EAST;		Sec	32 36
THENCE SOUTH 10°45'47" EAST, A DISTANCE OF 1427.81 FEET TO THE NORTHWEST CORNER OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN DEED RECORDED UNDER RECEPTION NO. 2014000038990, BEING THE POINT OF BEGINNING;			
THENCE ALONG THE NORTH LINE OF SAID PARCEL DESCRIBED UNDER RECEPTION NO. 2014000038990 THE FOLLOWING TWO (2) COURSES: 1. SOUTH 89°12'22" EAST, A DISTANCE OF 64.00 FEET; 2. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 260.00 FEET AND A CENTRAL ANGLE OF 12°02'26", AN ARC DISTANCE OF 54.64 FEET (CHORD BEARS SOUTH 83°11'10" EAST, 54.54 FEET);	***	SING CO	72nd Ave
THENCE ALONG THE WESTERLY BOUNDARY OF POMPONIO TERRACE SUBDIVISION FILING NO. 2, AS RECORDED UNDER RECEPTION NO. 2016000109859, THE FOLLOWING FOUR (4) COURSES: 1. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 18.00 FEET AND A CENTRAL ANGLE OF 62°58'23", AN ARC DISTANCE OF 19.78 FEET (CHORD BEARS SOUTH 13°14'04" EAST, 18.80 FEET); 2. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 175.00 FEET AND A CENTRAL ANGLE OF 17°41'42", AN ARC DISTANCE OF 54.05 FEET (CHORD BEARS SOUTH 09°24'16" WEST, 53.83 FEET); 3. SOUTH 00°33'25" WEST, A DISTANCE OF 34.18 FEET; 4. NORTH 89°26'35" WEST, A DISTANCE OF 114.88 FEET;	R 68 W	Sec 5	
THENCE NORTH 00°47'38" EAST ALONG THE WEST LINE OF SAID PARCEL DESCRIBED UNDER RECEPTION NO. 2014000038990, A DISTANCE OF 111.84 FEET TO THE POINT OF BEGINNING,	Lowell	Federal	
CONTAINING 13,004 SQUARE FEET, OR 0.2985 ACRE, MORE OR LESS,			64th Ave
TOGETHER WITH			
PARCEL TWO: COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER OF SECTION 5, FROM WHICH POINT			
THE NORTHEAST CORNER OF SAID NORTHEAST QUARTER OF SECTION 5 BEARS NORTH 89°37'42" EAST;			
THENCE SOUTH 17°13'58" EAST, A DISTANCE OF 1498.61 TO A POINT ON THE NORTH LINE OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN DEED RECORDED UNDER RECEPTION NO. 2014000038990, BEING THE POINT OF BEGINNING;		Sec	8
THENCE ALONG THE NORTH LINE OF SAID PARCEL DESCRIBED UNDER RECEPTION NO. 2014000038990 THE FOLLOWING THREE (3) COURSES: 1. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 260.00 FEET AND A CENTRAL ANGLE OF 13°27'31", AN ARC DISTANCE OF 61.07 FEET (CHORD BEARS SOUTH 56°32'31" EAST, 60.93 FEET); 2. SOUTH 49°48'45" EAST, A DISTANCE OF 396.77 FEET; 3. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 340.00 FEET AND A CENTRAL ANGLE OF 29°34'09", AN ARC DISTANCE OF 175.47 FEET (CHORD BEARS SOUTH 64°35'50" EAST, 173.53 FEET);			
THENCE ALONG THE WESTERLY BOUNDARY OF POMPONIO TERRACE SUBDIVISION FILING NO. 1, AS RECORDED UNDER RECEPTION NO. 2016000109858, THE FOLLOWING FOUR (4) COURSES: 1. SOUTH 10°37'06" WEST, A DISTANCE OF 13.20 FEET; 2. SOUTH 00°33'25" WEST, A DISTANCE OF 107.48 FEET; 3. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 225.00 FEET AND A CENTRAL ANGLE OF 11°57'41", AN ARC DISTANCE OF 46.97 FEET (CHORD BEARS NORTH 62°00'59" WEST, 46.89 FEET); 4. NORTH 56°02'08" WEST, A DISTANCE OF 5.28 FEET; THENCE ALONG THE NORTHERLY BOUNDARY OF POMPONIO TERRACE SUBDIVISION FILING NO. 2, AS RECORDED	:	ACKNOWLEDGEN STATE OF COLOR/ COUNTY OF THE FOREGOING I	
UNDER RECEPTION NO. 2016000109859, THE FOLLOWING SEVEN (7) COURSES: 1. NORTH 56°02'08" WEST, A DISTANCE OF 217.99 FEET; 2. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 275.00 FEET AND A CENTRAL ANGLE OF		DAY C	DF
33°24'27", AN ARC DISTANCE OF 160.34 FEET (CHORD BEARS NORTH 72°44'22" WEST, 158.08 FEET); 3. NORTH 89°26'35" WEST, A DISTANCE OF 135.68 FEET; 4. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 10.00 FEET AND A CENTRAL ANGLE OF 90°00'00", AN ARC DISTANCE OF 15.71 FEET (CHORD BEARS NORTH 44°26'35" WEST, 14.14 FEET);	l	MY COMMISSION	EXPIRES
5. NORTH 00°33'25" EAST, A DISTANCE OF 228.85 FEET; 6. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 125.00 FEET AND A CENTRAL ANGLE OF 20°05'12", AN ARC DISTANCE OF 43.82 FEET (CHORD BEARS NORTH 10°36'01" EAST, 43.60 FEET); 7. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 18.00 FEET AND A CENTRAL ANGLE OF 30°56'21", AN ARC DISTANCE OF 9.72 FEET (CHORD BEARS NORTH 36°06'48" EAST, 9.60 FEET) TO THE POINT		I,	MENT AND ACC
OF BEGINNING, CONTAINING 80,664 SQUARE FEET, OR 1.8518 ACRES, MORE OR LESS,		CONVEYANCE OF N	CKNOWLEDGE AND
CONTAINING & COMBINED TOTAL AREA OF 93,668 SQUARE FEET, OR 2.1503 ACRES, MORE OR LESS,			S, STATE OF COLO
		BY:DISTRICT	MANAGER
HAVE BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, BLOCKS, TRACTS, OUTLOT AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF POMPONIO TERRACE SUBDIVISION FILING NO. 3, AND DO HEREBY GRANT TO THE COUNTY OF ADAMS, STATE OF COLORADO, THE UTILITY EASEMENTS SHOWN HEREON FOR PUBLIC UTILITIES.	I		ERTIFICATION N, A PROFESSIONAL), DO HEREBY CERTII
EXECUTED THIS DAY OF, A.D. 20 OWNER:			ED UNDER MY RESPO
POMPONIO TERRACE HOLDINGS LLC, A COLORADO LIMITED LIABILITY COMPANY BY HUNTERDON, LLC, A COLORADO LIMITED LIABILITY COMPANY, MANAGEMENT			
BY:			

SUBDIVISION FILING NO. 3 PRC2018-00004 AST 1/4 OF SECTION 5, TOWNSHIP 3 SOUTH, LIENHOLDER CERTIFICATE – THE ESTATE OF F. LEONARD POMPONIO AND THE ROSE MARIE POMPONIO IRREVOCABLE P.M., COUNTY OF ADAMS, STATE OF COLORADO PRELIMINARY/FINAL PLAT TRUST U/T/A AUGUST 28, 2006 SHEET 1 OF 6 THE UNDERSIGNED HEREBY CONSENT(S) TO THE DEDICATION AND EASEMENTS SHOWN ON THIS PLAT AND RELEASE(S) THE SAME FROM THE ENCUMBRANCE RECORDED AT RECEPTION NO. 2014000039310 OF THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER. NAME - TITLE _____ STATE OF COLORADO) SS. COUNTY OF THE FOREGOING LIENHOLDER CERTIFICATE WAS SUBSCRIBED AND SWORN BEFORE Sec|33 Sec 34 ME THIS _____ DAY OF _____ BY T 2 S NOTARY PUBLIC MY COMMISSION EXPIRES _____ T 3 S LIENHOLDER CERTIFICATE - SCONSET RESOURCES, LLC Б THE UNDERSIGNED HEREBY CONSENT(S) TO THE DEDICATION AND EASEMENTS SHOWN ON THIS PLAT AND RELEASE(S) THE SAME FROM THE ENCUMBRANCE RECORDED AT RECEPTION NO. 2014000039134 OF THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER. Sec 3 Sec 4 NAME - TITLE ____ STATE OF COLORADO) SS. COUNTY OF THE FOREGOING LIENHOLDER CERTIFICATE WAS SUBSCRIBED AND SWORN BEFORE -25 ME THIS _____ DAY OF _____ BY 6 Highway 1-76 High NOTARY PUBLIC MY COMMISSION EXPIRES _____ Sec 9 Sec 10 LIENHOLDER CERTIFICATE - CARDEL HOMES US LIMITED PARTNERSHIP THE UNDERSIGNED HEREBY CONSENT(S) TO THE DEDICATION AND EASEMENTS SHOWN ON THIS PLAT AND RELEASE(S) THE SAME FROM THE ENCUMBRANCE RECORDED AT RECEPTION NO. 2015000106648 OF THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER. NAME - TITLE ____ STATE OF COLORADO CINITY MAP SCALE: 1" = 2,000') SS. COUNTY OF _____ THE FOREGOING LIENHOLDER CERTIFICATE WAS SUBSCRIBED AND SWORN BEFORE ME THIS ______ DAY OF ______, 20 _____ BY) SS. ND DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS NOTARY PUBLIC MY COMMISSION EXPIRES _____ ____, A.D., 20 ____, BY PLANNING COMMISSION APPROVAL APPROVED BY THE ADAMS COUNTY PLANNING COMMISSION THIS _____ DAY OF _____, 20 ____, AND ACCEPTANCE BY DISTRICT CHAIR AS DISTRICT MANAGER OF CRESTVIEW WATER BOARD OF COUNTY COMMISSIONERS APPROVAL WHICH HAS AN ADDRESS OF 7145 MARIPOSA STREET, DENVER, CO APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS EDGE AND ACCEPT THE DEDICATION, GRANT, SALE, REMISE AND THIS _____ DAY OF _____, 20 ____, CLUSIVE UTILITY EASEMENTS WITHIN POMPONIO TERRACE FILING NO. 3. OF COLORADO. CHAIR ___ DATE: _____ CLERK AND RECORDER THIS FINAL PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER IN THE STATE OF COLORADO AT ____ M ON THE _____ DAY OF _____, 20 ____ FESSIONAL LAND SURVEYOR LICENSED IN THE REBY CERTIFY THAT THIS PLAT IS BASED UPON MY RESPONSIBLE CHARGE IN JANUARY OF 2016. CLERK AND RECORDER

> LESTER J. LUDEMAN, P.L.S. No. 25636 Foresight West Surveying, Inc. 1285 W. Byers Place, Unit A, Denver, CO 80223 (303) 504-4440

RECEPTION NO.

BY DEPUTY: _____



TRACT	SQUARE FEET	ACRES	USE	OWNERSHIP AND MAINTENANCE
Α	15,933	0.366	INGRESS AND EGRESS	POMPONIO TERRACE METROPOLITAN DISTRICT
В	1,872	0.043	INGRESS AND EGRESS	POMPONIO TERRACE METROPOLITAN DISTRICT
С	15,041	0.345	LANDSCAPING	POMPONIO TERRACE METROPOLITAN DISTRICT
D	1,935	0.044	LANDSCAPING	POMPONIO TERRACE METROPOLITAN DISTRICT
Ε	771	0.018	LANDSCAPING	POMPONIO TERRACE METROPOLITAN DISTRICT

A BLANKET UTILITY EASEMENT IS DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND TRACTS IN THE SUBDIVISION. PUBLIC SERVICE COMPANY OF COLORADO (PSCO) AND ITS SUCCESSORS RESERVE THE RIGHT TO REQUIRE ADDITIONAL EASEMENTS AND TO REQUIRE THE PROPERTY OWNER TO GRANT PSCO AN EASEMENT ON ITS STANDARD FORM.

POMPONIO TERRACE SUBDIVISION FILING NO. 3

LOCATED IN THE NORTHEAST 1/4 OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO

NOTES

1. NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN (10) YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON. (13-80-105, C.R.S.)

2. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND SURVEY CORNER WHICH CONTROLS THE LOCATION OF THE BOUNDARIES OF A TRACT OR PARCEL OF LAND, EVEN IF SAID PERSON HAS TITLE TO THE LAND ON WHICH SAID MONUMENT IS LOCATED, COMMITS A CLASS 2 MISDEMEANOR PUNISHABLE BY A FINE OF UP TO \$1,000 AND/OR 1 YEAR IN JAIL UNLESS, PRIOR TO SUCH REMOVAL, SAID PERSON HAS CAUSED A COLORADO PROFESSIONAL LAND SURVEYOR TO ESTABLISH AT LEAST TWO WITNESS CORNERS OR REFERENCE MARKS FOR EACH SUCH MONUMENT REMOVED, AND HAS FILED OR CAUSED TO BE FILED A MONUMENT RECORD PURSUANT TO ARTICLE 53 OF TITLE 38, C.R.S. (18-4-508, C.R.S.)

3. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY FORESIGHT WEST SURVEYING, INC. TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING RIGHT TO TITLE AND EASEMENTS, RIGHTS-OF-WAY OR OTHER TITLE BURDENS AFFECTING SUCH RIGHT TO TITLE TO THIS PROPERTY, FORESIGHT WEST SURVEYING INC. RELIED SOLELY UPON TITLE REPORT ISSUED BY CHICAGO TITLE INSURANCE COMPANY, REPORT NO. NO019081-010-T02-LP WITH AN EFFECTIVE DATE OF AUGUST 31, 2018.

4. BEARINGS ARE BASED UPON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN. THE NORTHWEST CORNER OF THE NORTHEAST QUARTER IS MONUMENTED WITH A 3.25" ALUMINUM CAP IN MONUMENT BOX STAMPED LS 23053. THE NORTHEAST CORNER OF THE NORTHEAST QUARTER IS MONUMENTED WITH A 3.25" ALUMINUM CAP IN MONUMENT BOX STAMPED LS 17669. THE LINE BEARS NORTH 89°37'42" EAST BASED UPON THE COLORADO COORDINATE SYSTEM OF 1983, NORTH ZONE. (38-51-106(1)(e), C.R.S.)

5. THE SITE AS PLATTED HEREON LIES WITHIN FLOOD PLAIN ZONE X AS DELINEATED ON FEMA/FIRM FLOOD MAP NO. 08001C0584H. REVISED MARCH 05. 2007.

6. DATE OF ORIGINAL FIELD SURVEY BY THIS FIRM: JANUARY, 2016 (SEE RECEPTION NO. 2016-175). FILING BOUNDARY MONUMENTATION REVISITED MAY 30, 2018.

7. LINEAL UNIT OF MEASURE USED IN THIS SURVEY: U.S. SURVEY FOOT. (38-51-106(1)(I), C.R.S.)

8. LOT AND BLOCK MONUMENTATION REQUIRED TO BE SET PRIOR TO ANY SALES CONTRACT BEING EXECUTED FOR ANY LOT IN THIS SUBDIVISION PER 38-51-105 C.R.S., AND STREET CENTERLINE RANGE POINTS REQUIRED BY ADAMS COUNTY SUBDIVISION REGULATION 5-04-08-4, ARE TO BE SET BY OTHERS.

9. TRACTS A AND B ARE FOR INGRESS AND EGRESS AND WILL BE OWNED AND MAINTAINED BY THE POMPONIO TERRACE METROPOLITAN DISTRICT.

10. TRACTS C, D AND E ARE FOR LANDSCAPING AND WILL BE OWNED AND MAINTAINED BY THE POMPONIO TERRACE METROPOLITAN DISTRICT.

11. ACCESS EASEMENTS SHOWN HEREON ARE DEDICATED TO THE LOT OWNERS AND THE POMPONIO TERRACE METROPOLITAN DISTRICT FOR PUBLIC ACCESS AND WILL BE MAINTAINED BY THE POMPONIO TERRACE METROPOLITAN DISTRICT.

12. CRESTVIEW WATER AND SANITATION EASEMENTS ARE DEDICATED TO CRESTVIEW WATER AND SANITATION DISTRICT, TOGETHER WILL FULL RIGHTS AND AUTHORITY TO GRANTEE, ITS SUCCESSORS, LICENSEES, LESSEES, CONTRACTORS OR ASSIGNS, AND ITS AND THEIR AGENTS AND EMPLOYEES TO ENTER AT ALL TIMES UPON SAID PREMISES TO SURVEY, CONSTRUCT, OPERATE, REPAIR, REMOVE, REPLACE, RECONSTRUCT, PATROL, INSPECT, IMPROVE, ENLARGE AND MAINTAIN SANITARY SEWER LINE FACILITIES, AND OTHER FIXTURES, DEVICES AND APPURTENANCES USED OR USEFUL IN CONNECTION THEREWITH.

13. ACCESS FOR INGRESS/EGRESS TO WEST 70th AVENUE FROM TRACT C AND OUTLOT A IS RESTRICTED.

As a condition of subdivision plat approval, the County requires that all property contained within the boundaries or limits of this subdivision shall be subject to the following plat restriction (this "Restriction").

As a means to promote efficient cost-effective resolution of disputes pertaining to the property covered by this plat (the "Property"), and to affirmatively further fair housing and housing choice pursuant to the Fair Housing Act, to encourage and foster the development of affordable housing options and to help ensure the construction of owner-occupied multi-family housing for the benefit of County residents, which construction the County understands is becoming cost prohibitive due to increasing and excessive litigation costs, it shall be a requirement that the following claims involving the Property shall be submitted to binding arbitration in lieu of submitting any such claim to a judicial proceeding:

Any and all claims:

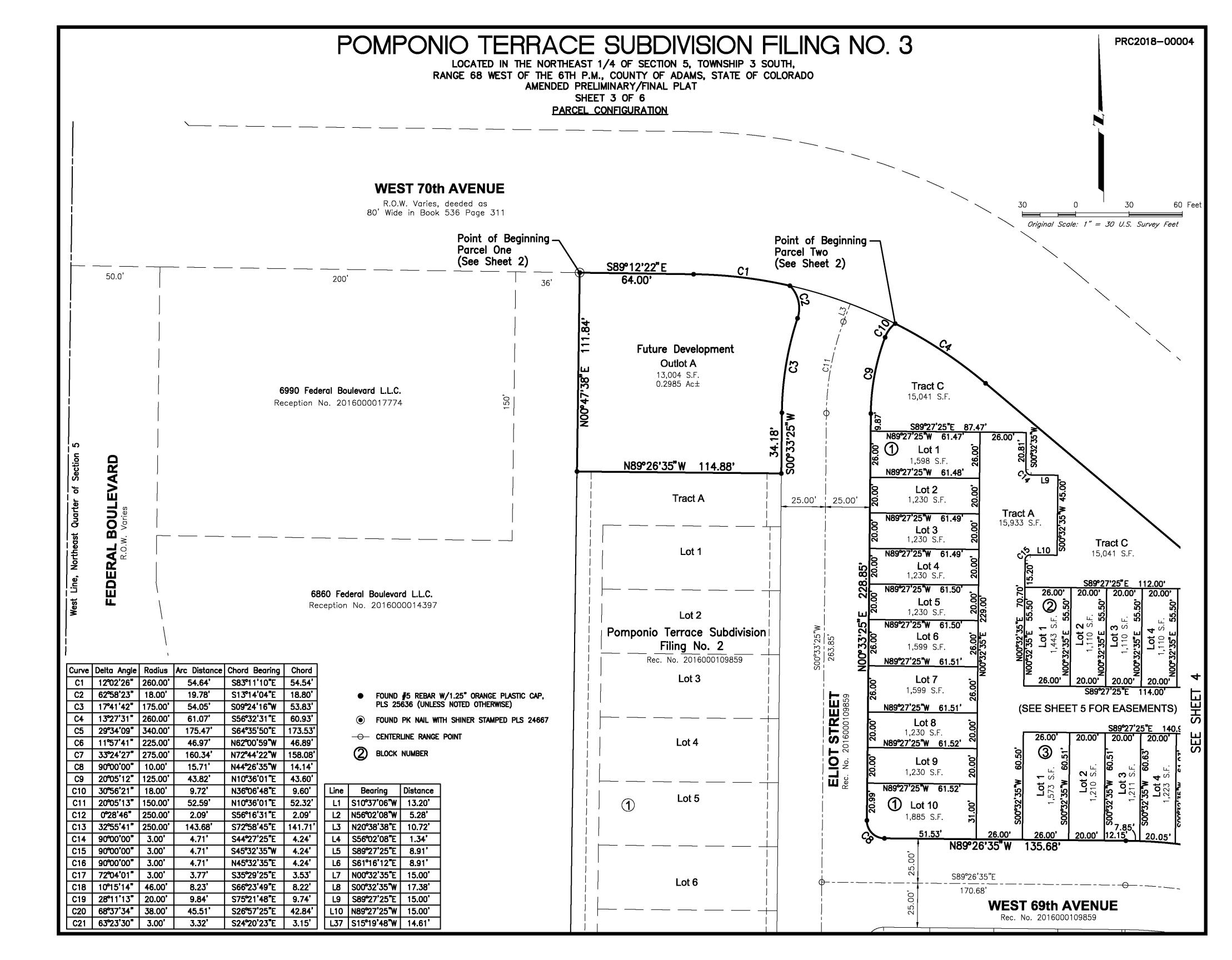
- (1) That are between any two or more of the following persons or entities:
 - (a) any owner of any portion of the Property,
 - (b) any organization, entity or group that purports to represent owners of any portion of the Property, even though there will not be a common interest community association created with respect to the Property,
 - (c) the subdivider, developer or any contractor or anyone claiming under or through any such persons identified in (a) and (b),
 - (d) any party that constructs any residential dwelling units upon the Property, or
 - (e) any construction professional as defined in the Construction Defect Action Reform Act, C.R.S. § 13-20-801, et seq., as amended, and

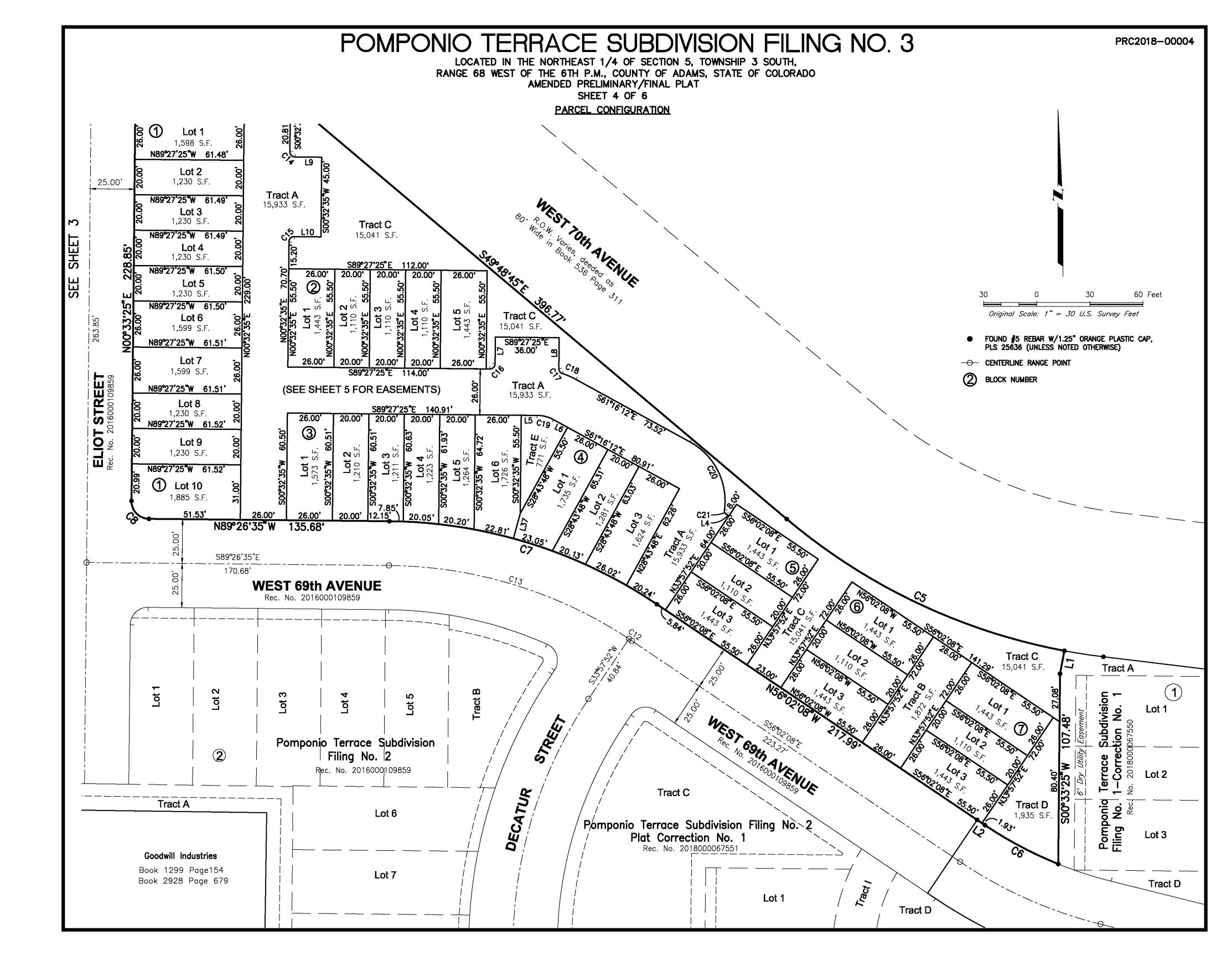
(2) That pertains to any of:

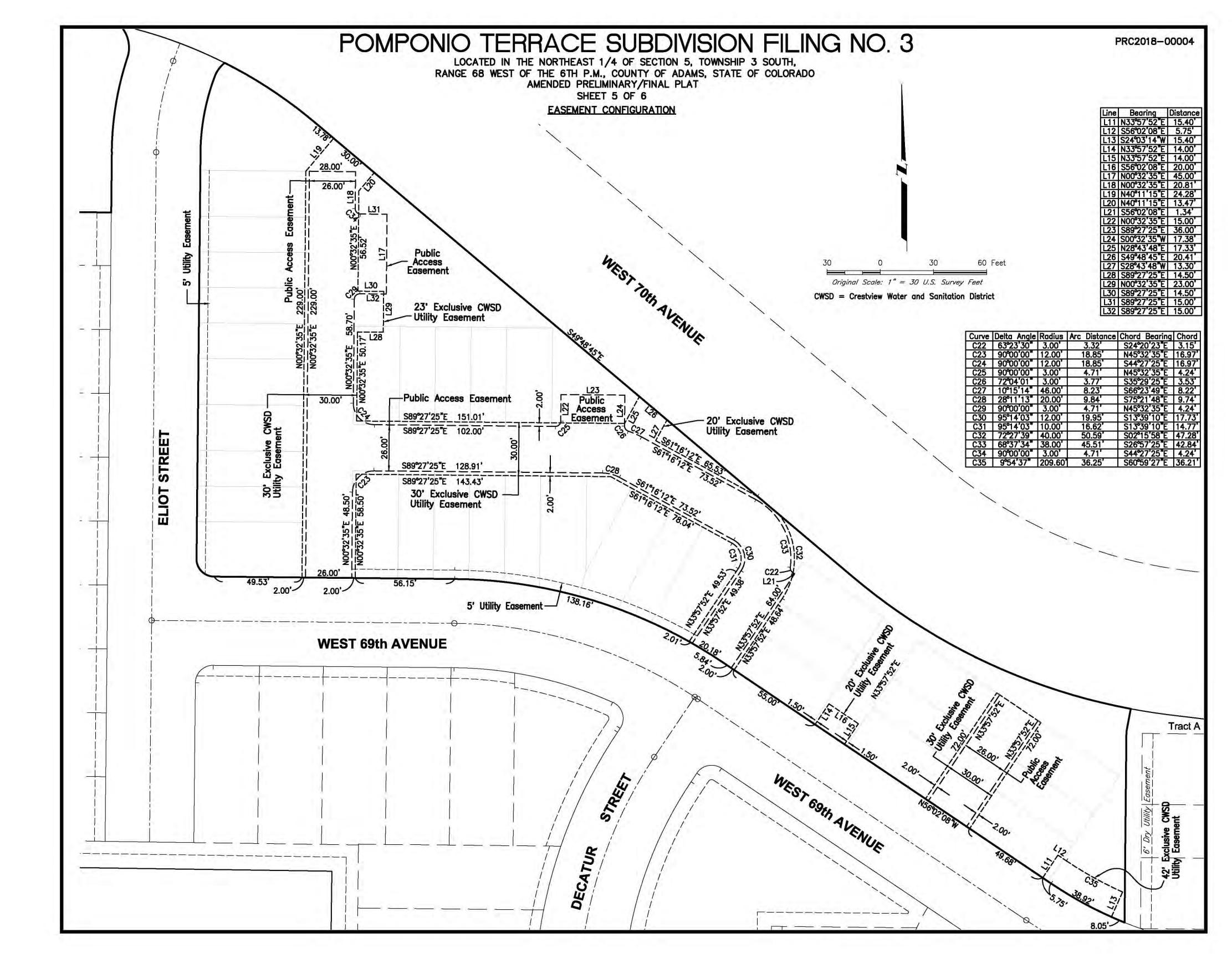
- (a) the Property,
- (b) any dwelling unit or other improvements constructed on the Property, including, without limitation, any actual or alleged
- defect in design, construction, workmanship or materials in such dwelling unit or other improvements, or
- (c) any party wall covenant or similar instrument (a "Party Wall Covenant") which affects all or any portion of the Property.

The foregoing shall not preclude any of the foregoing parties from endeavoring to resolve any such claim through either negotiation or mediation before submitting such claim to binding arbitration. Additionally, if the Property is now or hereafter subject to a Party Wall Covenant, provisions of the Party Wall Covenant that implement and expand upon the requirements of this Restriction shall be fully effective and such Party Wall Covenant may exempt certain claims from the requirement that such claims must be submitted to binding arbitration; provided, however, that any subsequent amendment or change to such Party Wall Covenant shall not be effective to eliminate the requirement that the claims described in this Restriction, including but not necessarily limited to construction defect claims, be submitted to binding arbitration in lieu of submitting any such claim to a judicial proceeding. Notwithstanding the foregoing, this Restriction shall not be deemed to require that claims brought by an owner of a portion of the Property against another owner or owners of other portions of the Property pursuant to a Party Wall Covenant to recover amounts owed to the owner bringing such claims, where such amounts are expressly made payable by the Party Wall Covenant (such as, without limitation, amounts owed to pay a portion of the costs of repairing or replacing a party wall that is damaged) or to foreclose any lien provided in the Party Wall Covenant to secure such amounts, or to obtain a temporary or permanent restraining order and/or injunction from a court of law prohibiting a violation of such Party Wall Covenant, shall be subject to binding arbitration.

For purposes of this Restriction, binding arbitration shall mean submission of any claim described above to a single arbitrator who must be a person qualified to consider and resolve the claim with the appropriate industry and/or legal experience and who has no financial or personal interest in the claim or any family, social or significant professional acquaintance with any party to the arbitration. Without limiting who may be considered qualified pursuant to the previous sentence, in all events the following persons shall be deemed qualified if he/she has no financial or personal interest in the claim or any family, social or significant professional acquaintance with any party to the arbitration: a retired Colorado State District Court Judge or retired Federal District Court Judge or through the use of such organization that such retired Judge may be a member of, including such organizations as the Judicial Arbiter Group or its successors. In such arbitration, the fees and costs of the arbitration shall be borne pro rata by the parties. The arbitration shall be conducted utilizing such rules of procedure as the arbitrator may reasonably adopt to promote the efficient and economical resolution of any such claim. This Restriction shall he binding upon all successors in interest, grantees, owners, heirs, assigns, and all others who acquire an interest in or to the Property.







POMPONIO TERRACE SUBDIVISION FILING NO. 3

LOCATED IN THE NORTHEAST 1/4 OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO AMENDED PRELIMINARY/FINAL PLAT SHEET 6 OF 6

Lot	Block	Address
1	1	6984 Eliot Street
2	1	6976 Eliot Street
3	1	6968 Eliot Street
4	1	6960 Eliot Street
5	1	6952 Eliot Street
6	1	6944 Eliot Street
7	1	6936 Eliot Street
8	1	6928 Eliot Street
9	1	6920 Eliot Street
10	1	6912 Eliot Street

Lot	Block	Address
1	2	2865 W. 69th Ave.
2	2	2861 W. 69th Ave.
3	2	2857 W. 69th Ave.
4	2	2853 W. 69th Ave.
5	2	2849 W. 69th Ave.

Lot	Block	Address
1	5	2825 W. 69th Ave.
2	5	2823 W. 69th Ave.
3	5	2821 W. 69th Ave.

Lot	Block	Address
1	6	2815 W. 69th Ave.
2	6	2813 W. 69th Ave.
3	6	2811 W. 69th Ave.

Lot	Block	Address
1	3	2863 W. 69th Ave.
2	3	2859 W. 69th Ave.
3	3	2855 W. 69th Ave.
4	3	2851 W. 69th Ave.
5	3	2847 W. 69th Ave.
6	3	2843 W. 69th Ave.

Lot	Block	Address
1	4	2839 W. 69th Ave.
2	4	2835 W. 69th Ave.
3	4	2831 W. 69th Ave.

Lot	Block	Address
1	7	2805 W. 69th Ave.
2	7	2803 W. 69th Ave.
3	7	2801 W. 69th Ave.

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COMMENDER AT HE WORTNESS COMMER FOR SUM METHEST GUMERE OF SECTION 5, PROM WHICH MARKEN THE MORTNESS COMMER 5 AND MARTHEST GUMERE OF SECTION 5, PROM WHICH PARCE SUCH 22113/07 LAST, A DISTANCE OF 236.03 FEET TO THE MOST SOUTHEASTERY DOWNERY COMER OF POWERD TERMACE SUBJECT TO THE MOST SOUTHEASTERY DOWNERY COMER OF POWERD TERMACE SUBJECT OF POWERDUM TERMACE SUBJECT MARKEN TO THE SUBJECT MARKEN TO THE POWERDUM TERMACE SUBJECT MARKEN TO THE POWERDUM TERMACE SUBJECT MARKEN TO THE POWERDUM TERMACE SUBJECT MARKEN TO THE ACCESSION TO THE POWERDUM TERMACE SUBJECT MARKEN TO THE ACCESSION TO THE ACCESSION TO THE POWERDUM TERMACE SUBJECT MARKEN TO THE ACCESSION TO THE AC	SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF		Sec	Highway 36	
BUNDARY CONCERT OF PORVINGING TERRACE SUBJEMINION THAT AND A SECONDED UNDER MEDICAL AND A SECONDERING AND	POINT THE NORTHEAST CORNER OF SAID NORTHEAST QUARTER OF SECTION 5 BEARS NORTH 89°37'42"				+
RECORDED UNDER RECEPTION NO. 201800010988, THE FOLLOWING THREE (3) COURSES: 1. SOUTH 0733/25* WEST, A DISTANCE OF 107.50 FEET; 2. SOUTH 37716*05* WEST, A DISTANCE OF 102.24 IF THET; SOUTH 07716*05* WEST, A DISTANCE OF 102.24 IF THET; THENCE MORTH 473.05* WEST, A DISTANCE OF 102.24 IF THE THE DISTANCE OF 198.08 FEET; THENCE MORTH 3753.05* WEST ALONG THE NORTHERY LINE OF THAT CERTAIN PARCEL OF LAND SOUTH 37510*05* WEST, A DISTANCE OF 221.61 FRACE SUBDIVENTION NORTHERN AND SUBRE 200, A DISTANCE OF 243.51 FRACE SUBSCIPPIED NEEDE RECORDED IN BOOK 1558 AT MERCE 400, DISTANCE OF 243.51 FRACE SUBSCIPPIED NEEDE RECORDED IN BOOK 1558 AT MERCE 400, DISTANCE OF 243.51 FRACE SUBDIVISION FLIMANCE ADDISACE SUBJECT OF 350.57 MEET INCRIT 176471* BAST, A DISTANCE OF 21.27 FEET; 3. SOUTH 58702*12* EAST, A DISTANCE OF 100.00 FEET; 3. SOUTH 58702*12* EAST, A DISTANCE OF 100.00 FEET; 3. SOUTH 58702*12* EAST, A DISTANCE OF 100.00 FEET; 3. SOUTH 58702*12* EAST, A DISTANCE OF 100.00 FEET; 3. SOUTH 58702*2*5* EAST, A DISTANCE OF 10.00 FEET; 3. SOUTH 58702*1* EAST, A DISTANCE OF 10.01 FEET; 3. SOUTH 58702*2**********************************	BOUNDARY CORNER OF POMPONIO TERRACE SUBDIVISION FILING NO. 2, AS RECORDED UNDER			72nd Ave	
3. SOUTH 38*42'00" WEST, A DISTINCE OF 103.24 FEET; THENER MORTH R42'300" WEST ALONG THE NORTHERRY UNE OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN DECD RECORDED IN BOOK 5158 AT FAGE 820, A DISTINCE OF 196.06 FEET; NORM 7573'35" WEST ALONG THE NORTHERRY UNE OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN DECD RECORDED IN BOOK 5158 AT FAGE 820, A DISTINCE 0F 196.06 FEET; NORM 758'74'1" KAST, A DISTINCE OF 21.27 FEET; 1. NORM 758'74'1" KAST, A DISTINCE OF 20.57 FEET; 3. SOUTH 88702'21" KAST, A DISTINCE OF 100.00 FEET; 3. SOUTH 88702'31" KAST, A DISTINCE OF 100.00 FEET; 3. SOUTH 88702'31" KAST, A DISTINCE OF 100.00 FEET; 3. SOUTH 88702'31" KAST, A DISTINCE OF 100.00 FEET; 3. SOUTH 88702'11" KAST, A DISTINCE OF 100.00 FEET; 3. SOUTH 88702'11" KAST, A DISTINCE OF 100.00 FEET; 3. SOUTH 88702'11" KAST, A DISTINCE OF 100.00 FEET; 3. SOUTH 88702'11" KAST, A DISTINCE OF 100.00 FEET; 3. SOUTH 88702'11" KAST, A DISTINCE OF 100.00 FEET; 5. SOUTH 88702'14", MARC DISTINCE OF 100.00 FEET; 6. ALONG THE ARC OF A CURVE TO THE RIGHT HANNG A RADIUS OF 10.000 FEET AND A CENTRAL ANGE OF 372.51 FEET; 6. ALONG THE ARC OF A CURVE TO THE RIGHT HANNG A RADIUS OF 10.000 FEET AND A CENTRAL ANGE OF 200.720, MARC DISTINCE OF 120.170, MARC DISTINCT, MARC D	·		SN&C		T
3. SOUTH 38*42'00" WEST, A DISTINCE OF 103.24 FEET; THENER MORTH R42'300" WEST ALONG THE NORTHERRY UNE OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN DECD RECORDED IN BOOK 5158 AT FAGE 820, A DISTINCE OF 196.06 FEET; NORM 7573'35" WEST ALONG THE NORTHERRY UNE OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN DECD RECORDED IN BOOK 5158 AT FAGE 820, A DISTINCE 0F 196.06 FEET; NORM 758'74'1" KAST, A DISTINCE OF 21.27 FEET; 1. NORM 758'74'1" KAST, A DISTINCE OF 20.57 FEET; 3. SOUTH 88702'21" KAST, A DISTINCE OF 100.00 FEET; 3. SOUTH 88702'31" KAST, A DISTINCE OF 100.00 FEET; 3. SOUTH 88702'31" KAST, A DISTINCE OF 100.00 FEET; 3. SOUTH 88702'31" KAST, A DISTINCE OF 100.00 FEET; 3. SOUTH 88702'11" KAST, A DISTINCE OF 100.00 FEET; 3. SOUTH 88702'11" KAST, A DISTINCE OF 100.00 FEET; 3. SOUTH 88702'11" KAST, A DISTINCE OF 100.00 FEET; 3. SOUTH 88702'11" KAST, A DISTINCE OF 100.00 FEET; 3. SOUTH 88702'11" KAST, A DISTINCE OF 100.00 FEET; 5. SOUTH 88702'14", MARC DISTINCE OF 100.00 FEET; 6. ALONG THE ARC OF A CURVE TO THE RIGHT HANNG A RADIUS OF 10.000 FEET AND A CENTRAL ANGE OF 372.51 FEET; 6. ALONG THE ARC OF A CURVE TO THE RIGHT HANNG A RADIUS OF 10.000 FEET AND A CENTRAL ANGE OF 200.720, MARC DISTINCE OF 120.170, MARC DISTINCT, MARC D	1. SOUTH 00°33'25" WEST, A DISTANCE OF 107.50 FEET;	>	Roilw		ļ
A. JOURT BAYEST AND DESCRIPTION OF THE ADDRESS OF THAT CERTAIN PARCEL OF LAND DESCRIPTION OF THE ADDRESS AND THE ADDRESS ADDRESS AT PACE 202, A DISTANCE OF TOPAGE FEET, THENE HOLTS AT SYSTEM OF TAXON THE MOTHERING NUMBER AND SWIT AF RAILWY COMMANY MONT FOR THE ADDRESS ADDRESS IN DECORDED IN BOOK 5156 AT PACE 202, A DISTANCE OF TOPAGE TO ADDRESS ADDRESS AT PACE 202, A DISTANCE OF TOPAGE TO ADDRESS ADDRESS AT PACE 202, A DISTANCE OF TOPAGE TO ADDRESS ADDRESS AT PACE 202, A DISTANCE OF TAXON THE MOTHERING AND THE ADDRESS ADDRESS AT TAX. A DISTANCE OF TAXON THE ADDRESS ADDRESS AT TAX. A DISTANCE OF TAXON THE ADDRESS ADDRESS AT TAX. A DISTANCE OF TAXON TO POMPONIO TERRACE SUBDIVISION FILING NO. 2 THE TOTAL COMMON TO SKILL OF TAXON TO POMPONIO TERRACE SUBDIVISION FILING NO. 2 THE TOTAL ADDRESS ADD SOUTHERLY BOUNDARY OF SWITCH OF POMPONIO TERRACE SUBDIVISION FILING NO. 2 THE TOTAL ADDRESS ADD SOUTHERLY BOUNDARY OF TAXON TO POMPONIO TERRACE SUBDIVISION FILING NO. 2 THE TOTAL ADDRESS ADD SOUTHERLY BOUNDARY OF TAXON TO POMPONIO TERRACE SUBDIVISION FILING NO. 2 THE TOTAL ADDRESS ADD THE ADDRESS ADDRE	2. SOUTH 37°15'45" WEST, A DISTANCE OF 221.61 FEET;			Site	
<pre>https:// course web_2010_area_read_read_read_read_read_read_read</pre>	3. SOUTH 38°42'03" WEST, A DISTANCE OF 103.24 FEET;				
THENCE NORTH 31'8'0'8" EAST ALONG THE EASTERLY LINE OF TWAT CERTIAIN PARCEL OF LAND DESCRIBED IN WARRANTY DEED RECORDED IN BOOK 1289 PAGE AT 154. A DISTANCE OF 336.17 FEET (DI ADDUBARY OF POMPON TERRACE SUBDIMISION FILING NO. 2 THE POLLOWING SX. (6) COURSES: 1. NORTH 7647'4" EAST. A DISTANCE OF 21.27 FEET; 2. NORTH 31'56'08" EAST, A DISTANCE OF 20.27.500 FEET AND A CENTRAL ANDLE OF 3724'14", AN ARC DISTANCE OF 20.57.60 FEET; 3. SOUTH 58'02'21" EAST, A DISTANCE OF 20.57.60 FEET; 3. SOUTH 58'02'21" EAST, A DISTANCE OF 20.57.67 FEET; 4. ALONG THE ARC OF A CLIRKE TO THE LEFT HANDA C RADIUS OF 75.00 FEET AND A CENTRAL ANDLE OF 3724'28' EAST, 14.14 MORE OF 3744'28' AND CONTANCE OF 312.17 FEET; 5. SOUTH 58'02'21" EAST, A DISTANCE OF 15.0.73 FEET (CHORD BEARS SOUTH 44'28'35" EAST, 14.14 S. SOUTH 58'02'21" EAST, A DISTANCE OF 15.0.71 FEET; 6. ALONG THE ARC D A CLINKE TO THE RIGHT HANING A RADIUS OF 10.000 FEET AND A CENTRAL ANDLE OF 1900'200', AN ARD DISTANCE OF 15.0.73 FEET; (CHORD BEARS SOUTH 44'28'35" EAST, 14.14 SECONTADIE OF MONTOON THE PAGE AND SUBDIVIDED THE SAME INTO LOTS, BLOCKS, TRATE OF COLORADO, THE PAGE AND A CENTRAL ANDLE OF POMPONIO THE PAGE AND A CENTRAL ANDLE OF POMPONION THE PAGE AND A CENTRAL ANDLE OF POMPONION THE PAGE AND A CENTRAL AND STILE OF POMPONION TERRACE HOLDINGS, BLOCKS, TRATE OF COLORADO, THE PAGE AND A CENTRAL ANDLE OF POMPONIO TERRACE HOLDINGS LLC, A COLORADO LIMITED LIABILITY COMPANY BY MANAGEMENT BY:	DESCRIBED IN DEED RECORDED IN BOOK 5158 AT PAGE 820, A DISTANCE OF 196.86 FEET;	Blvd			 ~
THENCE NORTH 31%50°B EAST ALONG THE EASTERY LINE OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN WARRANTY DEB ARCRENT 1989 PAGE AT 154, A DISTACC OF 336, 17 FEFT TO A POWF OND TERRACE SUBDIVISION FILMS NO. 2; THEOR ALONG SUB SOUTHERLY SOUNDARY OF POMPONID TERRACE SUBDIVISION FILMS NO. 2; THEOREAD SUBDIVISION TRANS OF 20100000000000000000000000000000000000	SANTA FE RAILWAY COMPANY RIGHT-OF-WAY, AS DESCRIBED IN DEED RECORDED IN BOOK 5158 AT	Lowell	Federc	64th Ave	
FOLLOWING Six (6) COURSES: 1. NORTH 76*741" EAST, A DISTANCE OF 21.27 FEET; 2. NORTH 31*56'08" EAST, A DISTANCE OF 20.07 6 FEET; 3. SOUTH 56*02'21" EAST, A DISTANCE OF 20.07 6 FEET; 3. SOUTH 56*02'21" EAST, A DISTANCE OF 100.00 FEET; 3. SOUTH 56*02'21" EAST, A DISTANCE OF 100.00 FEET; 4. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 275.00 FEET AND A CENTRAL ANALE OF 31*24*14", AN ARC DISTANCE OF 13.15 FEET; 6. ALONG THE ARC OF A CURVE TO THE FIRHT HAVING A RADIUS OF 10.00 FEET AND A CENTRAL ANALE OF 90*00*00", AN ARC DISTANCE OF 12.17 FEET (CHORD BEARS SOUTH 73*44*28" EAST, 14.14. EXECUTED THIS OF A CURVE TO THE FIRHT HAVING A RADIUS OF 10.00 FEET AND A CENTRAL ANALE OF 90*00*00, THE NONT OF BEGINNING, CONTAINING 191,836 SQUARE FEET, OR 4.4039 ACRES, MORE OR LESS. HAVE BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIMDED THE SAME INTO LOTS, BLOCKS, TRACTS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF POMPONDO COLORADO, THE UTILITY EASEMENTS SHOWN HEREON FOR PUBLIC UTILITES. EXECUTED THIS DAY OF, A.D. 20 MONER: BY:JAMES R. MERLINO, MANAGER ACKNOWLEDGEMENT STATE OF COLORADO ACKNOWLEDGEMENT STATE OF COLORADO ACKNOWLEDGEMENT STATE OF COLORADO SS. CONNTY OFSS. SURVEYOR'S CERTIFICATION AS ACKNOWLEDGED BEFORE ME THIS DAY OF, A.D., 20, BYDAY OF, A.D., 20, BYAD, 20, BY	DESCRIBED IN WARRANTY DEED RECORDED IN BOOK 1299 PAGE AT 154, A DISTANCE OF 336.17 FEET			0101700	+
2. NORTH 31*56'08' EAST, A DISTANCE OF 100.00 FEET; 3. SOUTH 58*02'21' EAST, A DISTANCE OF 205.76 FEET; 4. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 275.00 FEET AND A CENTRAL ANGLE OF 31*24'14', AN ARC DISTANCE OF 15.0.73 FEET (CHORD BEARS SOUTH 73*44'28' EAST, 14.885 FEET); 5. SOUTH 6726'35' EAST, A DISTANCE OF 23.15 FEET; 6. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 10.00 FEET AND A CENTRAL ANGLE OF 90*00*00', AN ARC DISTANCE OF 15.71 FEET (CHORD BEARS SOUTH 44*26'35' EAST, 14.14 CONTAINING 191,836 SOURRE FEET, OR 4.4039 ACRES, MORE OR LESS. HAVE BY THESE PRESENTS LAD OUT, PLATED AND SUBDIVIDED THE SAME INTO LOTS, BLOCKS, TRACTS AND EASEMENTS AS SHOWN IN THIS PLAT LUNDER THE NAME AND STYLE OF POMPONIO EXECUTED THIS DAY OF, A.D. 20 OWNER: POMPONIO TERRACE HOLDINGS LLC, A COLORADO LIMITED LIABILITY COMPANY, MANAGEMENT BY: JAMES R. MERLINO, MANAGER ACKNOWLEDGEMENT STATE OF COLORADO COUNTY OF \$SS. THE FOREGOING PLIAT AND DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS DAY OF, A.D., 20, BY					
2. NORTH 31'BS US 2051, A DISTANCE OF 100.00 FEET; 3. SOUTH 31'BS US 221' EAST, A DISTANCE OF 205.76 FEET; 4. AUXOR THE ARC OF A OURVE TO THE LEFT HAWING A RADIUS OF 275.00 FEET AND A CENTRAL ANGLE OF 31'24'14'', AN ARC DISTANCE OF 150.73 FEET (CHORD BEARS SOUTH 73'44'28'' EAST, 148.85 FEET); 5. SOUTH 89'26'35'' EAST, A DISTANCE OF 23.15 FEET; 6. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 10.00 FEET AND A CENTRAL ANGLE OF 90'00'00', AN ARC DISTANCE OF 15.71 FEET (CHORD BEARS SOUTH 44'26'35'' EAST, 14.14 ANGLE OF 90'00'00', AN ARC DISTANCE OF 15.71 FEET (CHORD BEARS SOUTH 44'26'35'' EAST, 14.14 ANGLE OF 90'00'00', AN ARC DISTANCE OF 15.71 FEET (CHORD BEARS SOUTH 44'26'35'' EAST, 14.14 ANGLE OF 90'00'00', AN ARC DISTANCE OF 15.71 FEET (CHORD BEARS SOUTH 44'26'35'' EAST, 14.14 ANGLE OF 90'00'00', AN ARC DISTANCE OF 15.71 FEET (CHORD BEARS SOUTH 44'26'35'' EAST, 14.14 ANGLE OF 90'00'00', AN ARC DISTANCE OF 15.71 FEET (CHORD BEARS SOUTH 44'26'35'' EAST, 14.14 ANGLE OF 90'00'00', AN ARC DISTANCE OF 15.71 FEET (CHORD BEARS SOUTH 70 FADAKS, STATE OF COLORADO, THE UNITY FASEMENTS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF POMPONIO TERRACE SUBDIVISION ILING NO. 4, AND DO HENEEY GRANT TO THE COUNTY OF ADAKS, STATE OF COLORADO, THE UNITY EASEMENTS SHOWN HEREON FOR PUBLIC UTILITES. EXECUTED THIS DAY OF, A.D. 20 POMPONIO TERRACE HOLDINGS LLC, A COLORADO LIMITED LIABILITY COMPANY, MANAGEMENT BY:	1. NORTH 76°47'41" EAST, A DISTANCE OF 21.27 FEET;		Sec	8	
A. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 275.00 FEET AND A CENTRAL ANGLE OF 31*24*14*, AN ARC DISTANCE OF 150.73 FEET (CHORD BEARS SOUTH 73*44*28* EAST, 148.85 FEET); S. SOUTH 89*26*35* EAST, A DISTANCE OF 23.15 FEET; S. ALONG THE ARC OF A CURVE TO THE RICHT HAVING A RADIUS OF 10.00 FEET AND A CENTRAL ANGLE OF 90700*00*, AN ARC DISTANCE OF 15.71 FEET (CHORD BEARS SOUTH 44*26*35* EAST, 14.14 FEET) TO THE POINT OF BEGINNING. CONTAINING 191,836 SQUARE FEET, OR 4.4039 ACRES, MORE OR LESS. HAVE BY THESE PRESENTS LAD OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, BLOCKS, TRACTS AND EASMENTS AS SHOWN ON THIS PLAT UNDER THE AWAR AND STYLE OF POMPONIO TERRACE SUBDIVISION FILING NO. 4, AND DO HEREBY GRANT TO THE COUNTY OF ADAMS, STATE OF COLORADO, THE UTILITY EASEMENTS SHOWN HEREON FOR PUBLIC UTILITIES. EXECUTED THIS DAY OF, A.D. 20 MOMER: BY JAMES R. MERLINO, MANAGER ACKNOWLEDGEMENT BY: JAMES R. MERLINO, MANAGER ACKNOWLEDGEMENT STATE OF COLORADO COUNTY OF SS. THE FOREGOING PLAT AND DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS DAY OF, A.D., 20, BY	2. NORTH 31°56'08" EAST, A DISTANCE OF 100.00 FEET;		560	0	\downarrow
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S. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 10.00 FEET AND A CENTRAL ANGLE OF 90700'00", AN ARC DISTANCE OF 15.71 FEET (CHORD BEARS SOUTH 44*26'35" EAST, 14.14 THE POINT OF BEGINNING, SONTAINING 191,836 SQUARE FEET, OR 4.4039 ACRES, MORE OR LESS. HAVE BY THESE PRESENTS LAD OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, BLOCKS, IRRACTS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF POMPONIO COLORADO, THE UTILITY EASEMENTS SHOWN HEREON FOR PUBLIC UTILITIES. EXECUTED THIS DAY OF, A.D. 20 OWNER: POMPONIO TERRACE HOLDINGS LLC, A COLORADO LIMITED LIABILITY COMPANY BY HUNTERDON, LLC, A COLORADO LIMITED LIABILITY COMPANY, MANAGEMENT BY:JAMES R. MERLINO, MANAGER ACKNOWLEDGEMENT STATE OF COLORADO COUNTY OF A.D., 20, BY THE FOREGOING PLAT AND DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS DAY OF, A.D., 20, BY	ANGLE OF 31°24'14", AN ARC DISTANCE OF 150.73 FEET (CHORD BEARS SOUTH 73°44'28" EAST,				
ANGLE OF 9000'00", AN ARC DISTANCE OF 15.71 FEET (CHORD BEARS SOUTH 44*26'35" EAST, 14.14 SCA CONTAINING, 191,836 SQUARE FEET, OR 4.4039 ACRES, MORE OR LESS. HAVE BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, BLOCKS, TRACTS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF POMPONIO COLORADO, THE UTILITY EASEMENTS AS SHOWN HEREON FOR PUBLIC UTILITIES. EXECUTED THIS DAY OF, A.D. 20 OWNER: POMPONIO TERRACE HOLDINGS LLC, A COLORADO LIMITED LIABILITY COMPANY BY HUNTERDON, LLC, A COLORADO LIMITED LIABILITY COMPANY, MANAGEMENT BY: JAMES R. MERLINO, MANAGER ACKNOWLEDGEMENT STATE OF COLORADO STATE OF COLORADO STATE OF COLORADO SSS. THE FOREGOING PLAT AND DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS DAY OF, A.D., 20, BY DAY OF, A.D., 20, BY	5. SOUTH 89°26'35" EAST, A DISTANCE OF 23.15 FEET;				
HAVE BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE NAME AND STYLE OF POWPONIO ACKNOWLEDGEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF POWPONIO COLORADO, THE UTILITY EASEMENTS SHOWN HEREON FOR PUBLIC UTILITIES. I,	ANGLE OF 90°00'00", AN ARC DISTANCE OF 15.71 FEET (CHORD BEARS SOUTH 44°26'35" EAST, 14.14			<u>V</u> SCAL	/ <u> (</u> E:
TRACTS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF POMPONIO TERRACE SUBDIVISION FILING NO. 4, AND DO HEREBY GRANT TO THE COUNTY OF ADAMS, STATE OF COLORADO, THE UTILITY EASEMENTS SHOWN HEREON FOR PUBLIC UTILITIES. EXECUTED THIS DAY OF, A.D. 20 EXECUTED THIS DAY OF, A.D. 20 OWNER: POMPONIO TERRACE HOLDINGS LLC, A COLORADO LIMITED LIABILITY COMPANY BY HUNTERDON, LLC, A COLORADO LIMITED LIABILITY COMPANY, MANAGEMENT BY: JAMES R. MERLINO, MANAGER ACKNOWLEDGEMENT STATE OF COLORADO SS. THE FOREGOING PLAT AND DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS DAY OF, A.D., 20, BY	CONTAINING 191,836 SQUARE FEET, OR 4.4039 ACRES, MORE OR LESS.				
EXECUTED THIS DAY OF, A.D. 20 80221, HEREBY ACKNOWLÉDGE A CONVEYANCE OF NON-EXCLUSIV COUNTY OF ADAMS, STATE OF C OWNER: POMPONIO TERRACE HOLDINGS LLC, A COLORADO LIMITED LIABILITY COMPANY BY HUNTERDON, LLC, A COLORADO LIMITED LIABILITY COMPANY, MANAGEMENT BY: BY:	TRACTS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF POMPONIO TERRACE SUBDIVISION FILING NO. 4, AND DO HEREBY GRANT TO THE COUNTY OF ADAMS, STATE OF	,	ACKNOWLEDGEN	IENT AND AC	CE
EXECUTED THIS DAY OF, A.D. 20 CONVEYANCE OF NON-EXCLUSIV OWNER: POMPONIO TERRACE HOLDINGS LLC, A COLORADO LIMITED LIABILITY COMPANY BY HUNTERDON, LLC, A COLORADO LIMITED LIABILITY COMPANY, MANAGEMENT BY:					
POMPONIO TERRACE HOLDINGS LLC, A COLORADO LIMITED LIABILITY COMPANY BY HUNTERDON, LLC, A COLORADO LIMITED LIABILITY COMPANY, MANAGEMENT BY:			CONVEYANCE OF N	ION-EXCLUSIVE	UT
JAMES R. MERLINO, MANAGER ACKNOWLEDGEMENT STATE OF COLORADO COUNTY OF THE FOREGOING PLAT AND DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS DAY OF DAY OF	POMPONIO TERRACE HOLDINGS LLC, A COLORADO LIMITED LIABILITY COMPANY		BY:DISTRICT	MANAGER	
ACKNOWLEDGEMENT STATE OF COLORADO SS. STATE OF COLORADO SS. I, LESTER J. LUDEMAN, A PROFE COUNTY OF SS. STATE OF COLORADO, DO HEREE THE FOREGOING PLAT AND DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS SURVEY PERFORMED UNDER ME DAY OF A.D., 20 BY	BY:				
STATE OF COLORADO					
COUNTY OF	STATE OF COLORADO)				
THE FOREGOING PLAT AND DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS DAY OF, A.D., 20, BY	COUNTY OF }SS.		STATE OF COLOR	ADO, DO HEREBY	CE
			A SURVET PERF	JRMED UNDER MY	κĿ
MY COMMISSION EXPIRES					
LESTER J. LUDEMAN, P.L.S Foresight West Surveying, Inc. 1285 W. Byers Place, Unit A, De (303) 504-4440	MY COMMISSION EXPIRES		Foresight We 1285 W. Byer	st Surveying, Inc. s Place, Unit A, Denve	

LIENHOLDER CERTIFICATE – THE ESTATE OF F. LEONARD POMPONIO AND THE ROSE MARIE POMPONIO IRREVOCABLE

THE UNDERSIGNED HEREBY CONSENT(S) TO THE DEDICATION AND EASEMENTS

TRUST U/T/A AUGUST 28, 2006

PRC2018-00004

BDIVISION FILING NO. 4

THEAST 1/4 OF SECTION 5, TOWNSHIP 3 SOUTH, DUNTY OF ADAMS, STATE OF COLORADO RY/FINAL PLAT OF 6

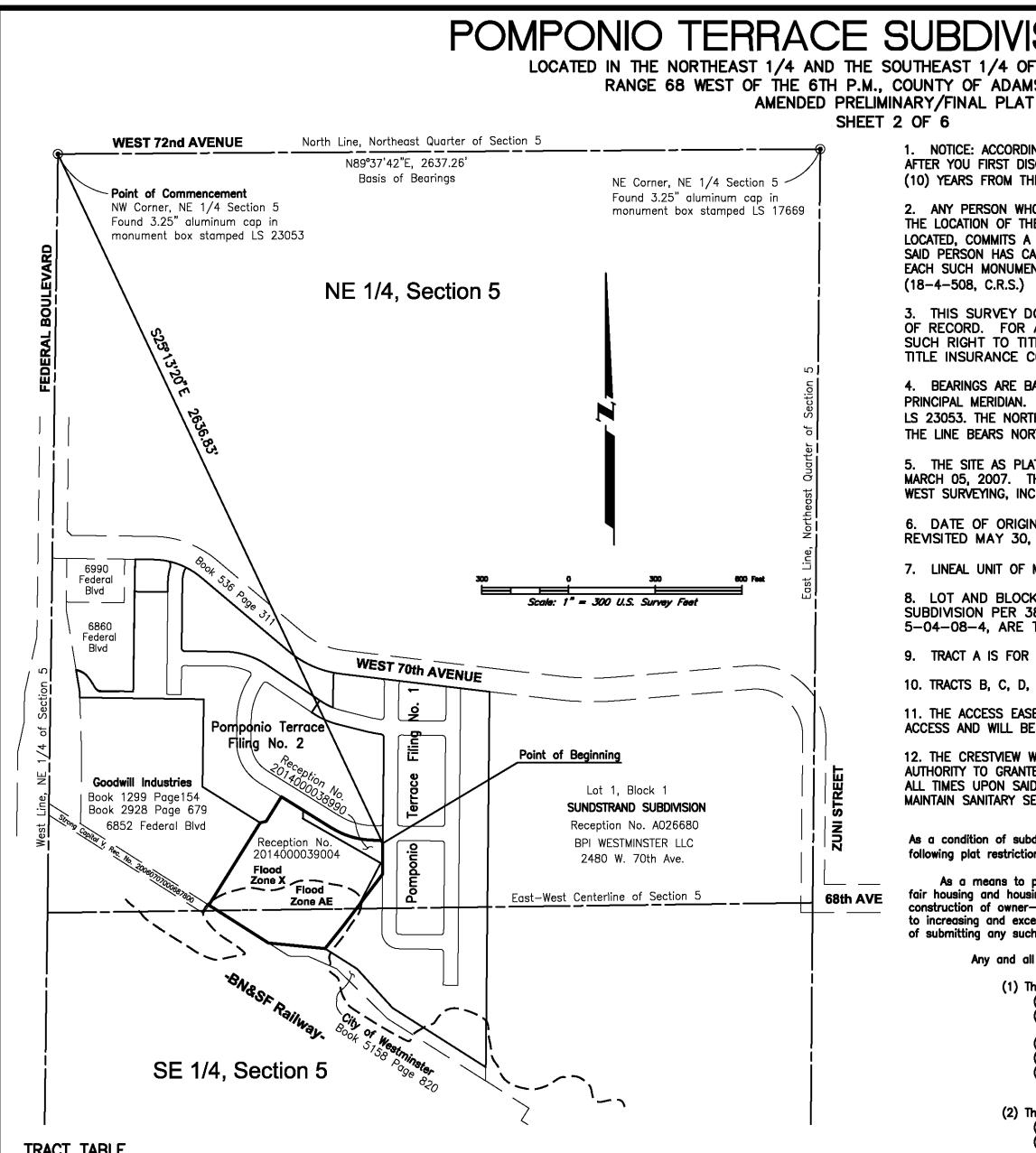
NAME - TITLE _____ STATE OF COLORADO COUNTY OF ____ Sec|33 Sec 34 NOTARY PUBLIC T 2 S T 3 S 5 Sec 3 Sec 4 NAME - TITLE ____ STATE OF COLORADO COUNTY OF -25 5 Highway 1-76 High NOTARY PUBLIC Sed 9 Sec 10 NAME - TITLE ____ STATE OF COLORADO CINITY MAP COUNTY OF ____ 1" = 2,000' NOTARY PUBLIC EPTANCE BY DISTRICT AS DISTRICT MANAGER OF CRESTVIEW WATER S AN ADDRESS OF 7145 MARIPOSA STREET, DENVER, CO ACCEPT THE DEDICATION, GRANT, SALE, REMISE AND ILITY EASEMENTS WITHIN POMPONIO TERRACE FILING NO. 4. RADO. _____ DATE: _____ NAL LAND SURVEYOR LICENSED IN THE RTIFY THAT THIS PLAT IS BASED UPON SPONSIBLE CHARGE IN JANUARY OF 2016.

SHOWN ON THIS PLAT AND RELEASE(S) THE SAME FROM THE ENCUMBRANCE RECORDED AT RECEPTION NO. 2014000039310 OF THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER.) SS. THE FOREGOING LIENHOLDER CERTIFICATE WAS SUBSCRIBED AND SWORN BEFORE ME THIS _____ DAY OF _____ BY MY COMMISSION EXPIRES _____ LIENHOLDER CERTIFICATE - SCONSET RESOURCES, LLC THE UNDERSIGNED HEREBY CONSENT(S) TO THE DEDICATION AND EASEMENTS SHOWN ON THIS PLAT AND RELEASE(S) THE SAME FROM THE ENCUMBRANCE RECORDED AT RECEPTION NO. 2014000039134 OF THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER.) SS. THE FOREGOING LIENHOLDER CERTIFICATE WAS SUBSCRIBED AND SWORN BEFORE ME THIS _____ DAY OF _____ BY MY COMMISSION EXPIRES _____ LIENHOLDER CERTIFICATE - CARDEL HOMES US LIMITED PARTNERSHIP THE UNDERSIGNED HEREBY CONSENT(S) TO THE DEDICATION AND EASEMENTS SHOWN ON THIS PLAT AND RELEASE(S) THE SAME FROM THE ENCUMBRANCE RECORDED AT RECEPTION NO. 2015000106648 OF THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER.) SS. THE FOREGOING LIENHOLDER CERTIFICATE WAS SUBSCRIBED AND SWORN BEFORE ME THIS ______ DAY OF ______, 20 _____ BY MY COMMISSION EXPIRES _____ PLANNING COMMISSION APPROVAL APPROVED BY THE ADAMS COUNTY PLANNING COMMISSION THIS _____ DAY OF _____, 20 ____, CHAIR BOARD OF COUNTY COMMISSIONERS APPROVAL APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS _____ DAY OF _____, 20 ____, CHAIR CLERK AND RECORDER THIS FINAL PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER IN THE STATE OF COLORADO AT ____ M ON THE _____ DAY OF _____, 20 ____, CLERK AND RECORDER

25636 C0 80223

RECEPTION NO.

BY DEPUTY: _____



TRACT TABLE

TRACT	SQUARE FEET	ACRES	USE	OWNERSHIP AND MAINTENANCE
Α	41,460	0.952	INGRESS AND EGRESS	POMPONIO TERRACE METROPOLITAN DISTRICT
В	8,208	0.188	LANDSCAPING	POMPONIO TERRACE METROPOLITAN DISTRICT
С	12,778	0.293	LANDSCAPING	POMPONIO TERRACE METROPOLITAN DISTRICT
D	23,976	0.550	LANDSCAPING	POMPONIO TERRACE METROPOLITAN DISTRICT
E	313	0.007	LANDSCAPING	POMPONIO TERRACE METROPOLITAN DISTRICT
F	1,057	0.024	LANDSCAPING	POMPONIO TERRACE METROPOLITAN DISTRICT
G	929	0.021	LANDSCAPING	POMPONIO TERRACE METROPOLITAN DISTRICT

A BLANKET UTILITY EASEMENT IS DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND TRACTS IN THE SUBDIVISION. PUBLIC SERVICE COMPANY OF COLORADO (PSCO) AND ITS SUCCESSORS RESERVE THE RIGHT TO REQUIRE ADDITIONAL EASEMENTS AND TO REQUIRE THE PROPERTY OWNER TO GRANT PSCO AN EASEMENT ON ITS STANDARD FORM.

POMPONIO TERRACE SUBDIVISION FILING NO. 4

NOTES

1. NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN (10) YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON. (13-80-105, C.R.S.)

2. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND SURVEY CORNER WHICH CONTROLS THE LOCATION OF THE BOUNDARIES OF A TRACT OR PARCEL OF LAND, EVEN IF SAID PERSON HAS TITLE TO THE LAND ON WHICH SAID MONUMENT IS LOCATED, COMMITS A CLASS 2 MISDEMEANOR PUNISHABLE BY A FINE OF UP TO \$1,000 AND/OR 1 YEAR IN JAIL UNLESS, PRIOR TO SUCH REMOVAL, SAID PERSON HAS CAUSED A COLORADO PROFESSIONAL LAND SURVEYOR TO ESTABLISH AT LÉAST TWO WITNESS CORNERS OR REFERENCE MARKS FOR EACH SUCH MONUMENT REMOVED, AND HAS FILED OR CAUSED TO BE FILED A MONUMENT RECORD PURSUANT TO ARTICLE 53 OF TITLE 38, C.R.S. (18-4-508, C.R.S.)

3. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY FORESIGHT WEST SURVEYING, INC. TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING RIGHT TO TITLE AND EASEMENTS, RIGHTS-OF-WAY OR OTHER TITLE BURDENS AFFECTING SUCH RIGHT TO TITLE TO THIS PROPERTY, FORESIGHT WEST SURVEYING INC. RELIED SOLELY UPON TITLE REPORT ISSUED BY CHICAGO TITLE INSURANCE COMPANY, REPORT NO. N0019081-010-T02-LP WITH AN EFFECTIVE DATE OF AUGUST 31, 2018.

4. BEARINGS ARE BASED UPON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN. THE NORTHWEST CORNER OF THE NORTHEAST QUARTER IS MONUMENTED WITH A 3.25" ALUMINUM CAP IN MONUMENT BOX STAMPED LS 23053. THE NORTHEAST CORNER OF THE NORTHEAST QUARTER IS MONUMENTED WITH A 3.25" ALUMINUM CAP IN MONUMENT BOX STAMPED LS 17669. THE LINE BEARS NORTH 89°37'42" EAST BASED UPON THE COLORADO COORDINATE SYSTEM OF 1983, NORTH ZONE. (38-51-106(1)(e), C.R.S.)

5. THE SITE AS PLATTED HEREON LIES WITHIN FLOOD PLAIN ZONES X AND AE AS DELINEATED ON FEMA/FIRM FLOOD MAP NO. 08001C0584H, REVISED MARCH 05, 2007. THE LIMIT OF ZONE AE DEPICTED HEREON WAS SCALED FROM SAID MAP AND DOES NOT REPRESENT A FLOOD STUDY BY FORESIGHT WEST SURVEYING, INC.

6. DATE OF ORIGINAL FIELD SURVEY BY THIS FIRM: JANUARY, 2016 (SEE RECEPTION NO. 2016-175). FILING BOUNDARY MONUMENTATION REVISITED MAY 30, 2018.

7. LINEAL UNIT OF MEASURE USED IN THIS SURVEY: U.S. SURVEY FOOT. (38-51-106(1)(I), C.R.S.)

8. LOT AND BLOCK MONUMENTATION REQUIRED TO BE SET PRIOR TO ANY SALES CONTRACT BEING EXECUTED FOR ANY LOT IN THIS SUBDIVISION PER 38-51-105 C.R.S., AND STREET CENTERLINE RANGE POINTS REQUIRED BY ADAMS COUNTY SUBDIVISION REGULATION 5-04-08-4, ARE TO BE SET BY OTHERS.

9. TRACT A IS FOR INGRESS AND EGRESS AND WILL BE OWNED AND MAINTAINED BY THE POMPONIO TERRACE METROPOLITAN DISTRICT.

10. TRACTS B, C, D, E, F AND G ARE FOR LANDSCAPING AND WILL BE OWNED AND MAINTAINED BY THE POMPONIO TERRACE METROPOLITAN DISTRICT.

11. THE ACCESS EASEMENT SHOWN HEREON IS DEDICATED TO THE LOT OWNERS AND THE POMPONIO TERRACE METROPOLITAN DISTRICT FOR PUBLIC ACCESS AND WILL BE MAINTAINED BY THE POMPONIO TERRACE METROPOLITAN DISTRICT.

12. THE CRESTVIEW WATER AND SANITATION EASEMENT IS DEDICATED TO CRESTVIEW WATER AND SANITATION DISTRICT, TOGETHER WILL FULL RIGHTS AND AUTHORITY TO GRANTEE, ITS SUCCESSORS, LICENSEES, LESSEES, CONTRACTORS OR ASSIGNS, AND ITS AND THEIR AGENTS AND EMPLOYEES TO ENTER AT ALL TIMES UPON SAID PREMISES TO SURVEY, CONSTRUCT, OPERATE, REPAIR, REMOVE, REPLACE, RECONSTRUCT, PATROL, INSPECT, IMPROVE, ENLARGE AND MAINTAIN SANITARY SEWER LINE FACILITIES, AND OTHER FIXTURES, DEVICES AND APPURTENANCES USED OR USEFUL IN CONNECTION THEREWITH.

As a condition of subdivision plat approval, the County requires that all property contained within the boundaries or limits of this subdivision shall be subject to the following plat restriction (this "Restriction").

As a means to promote efficient cost-effective resolution of disputes pertaining to the property covered by this plat (the "Property"), and to affirmatively further fair housing and housing choice pursuant to the Fair Housing Act, to encourage and foster the development of affordable housing options and to help ensure the construction of owner-occupied multi-family housing for the benefit of County residents, which construction the County understands is becoming cost prohibitive due to increasing and excessive litigation costs, it shall be a requirement that the following claims involving the Property shall be submitted to binding arbitration in lieu of submitting any such claim to a judicial proceeding:

Any and all claims:

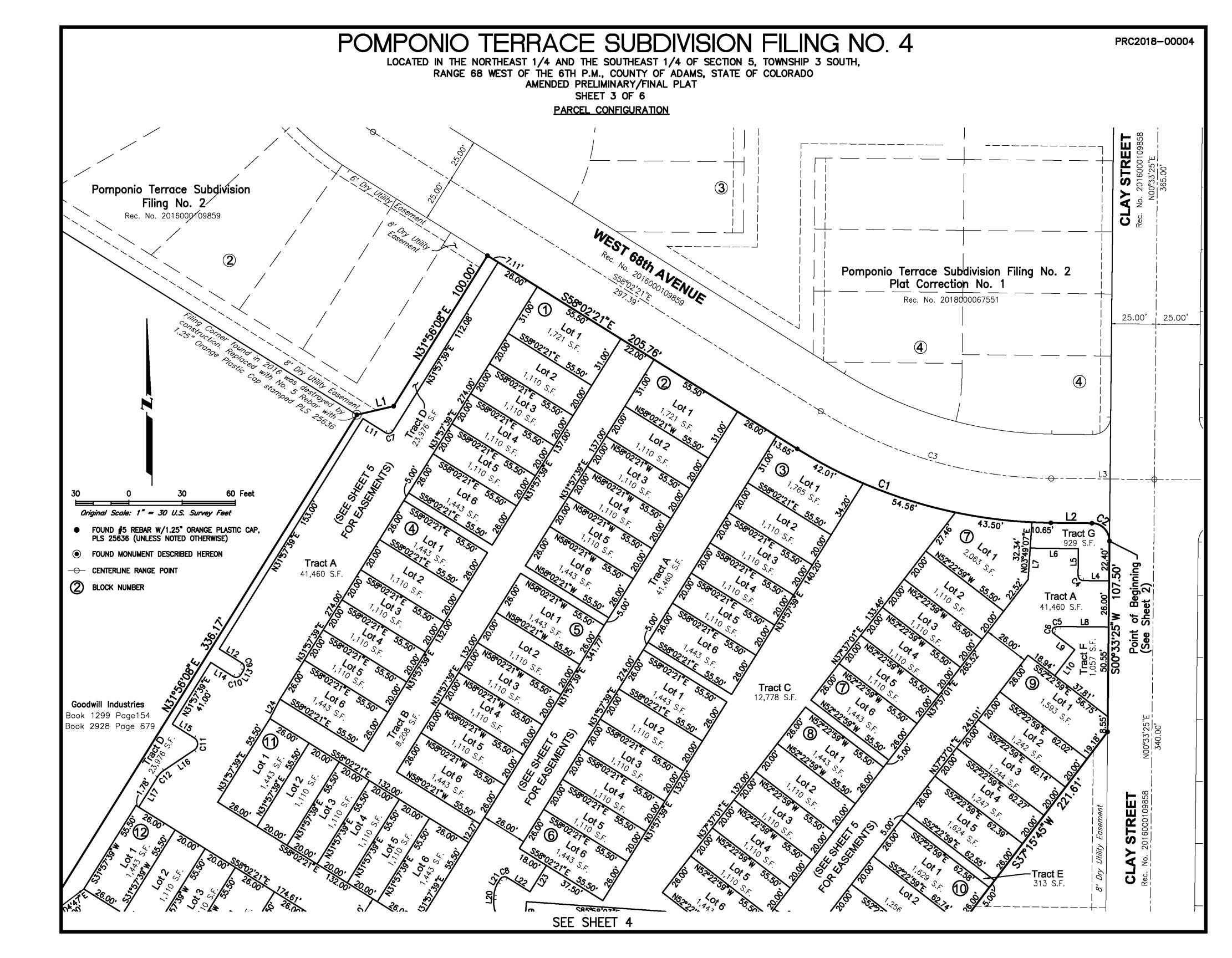
- (1) That are between any two or more of the following persons or entities:
 - (a) any owner of any portion of the Property,
 - (b) any organization, entity or group that purports to represent owners of any portion of the Property, even though there will
 - not be a common interest community association created with respect to the Property,
 - (c) the subdivider, developer or any contractor or anyone claiming under or through any such persons identified in (a) and (b), (d) any party that constructs any residential dwelling units upon the Property, or
 - (e) any construction professional as defined in the Construction Defect Action Reform Act, C.R.S. § 13-20-801, et sea., as amended, and

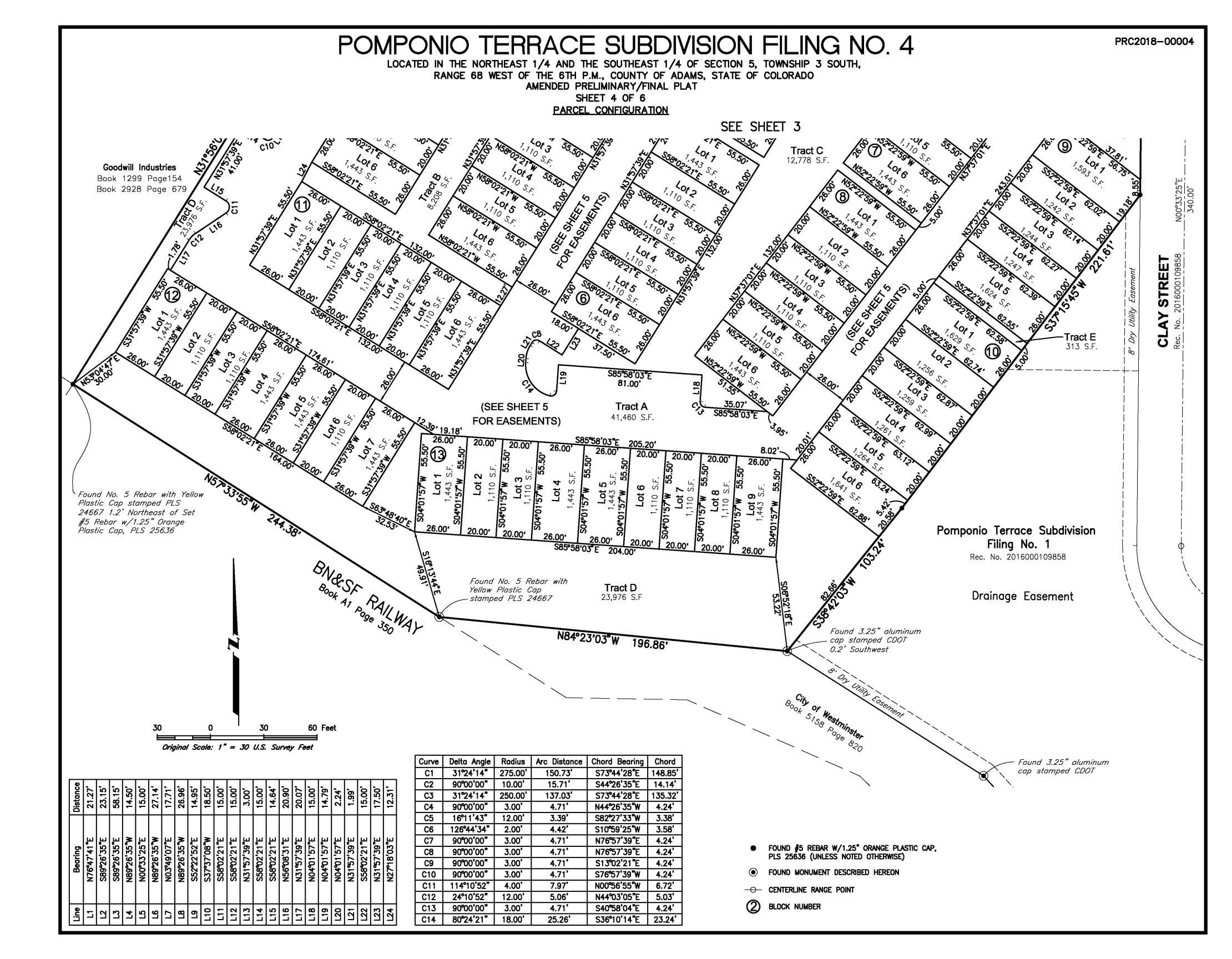
(2) That pertains to any of:

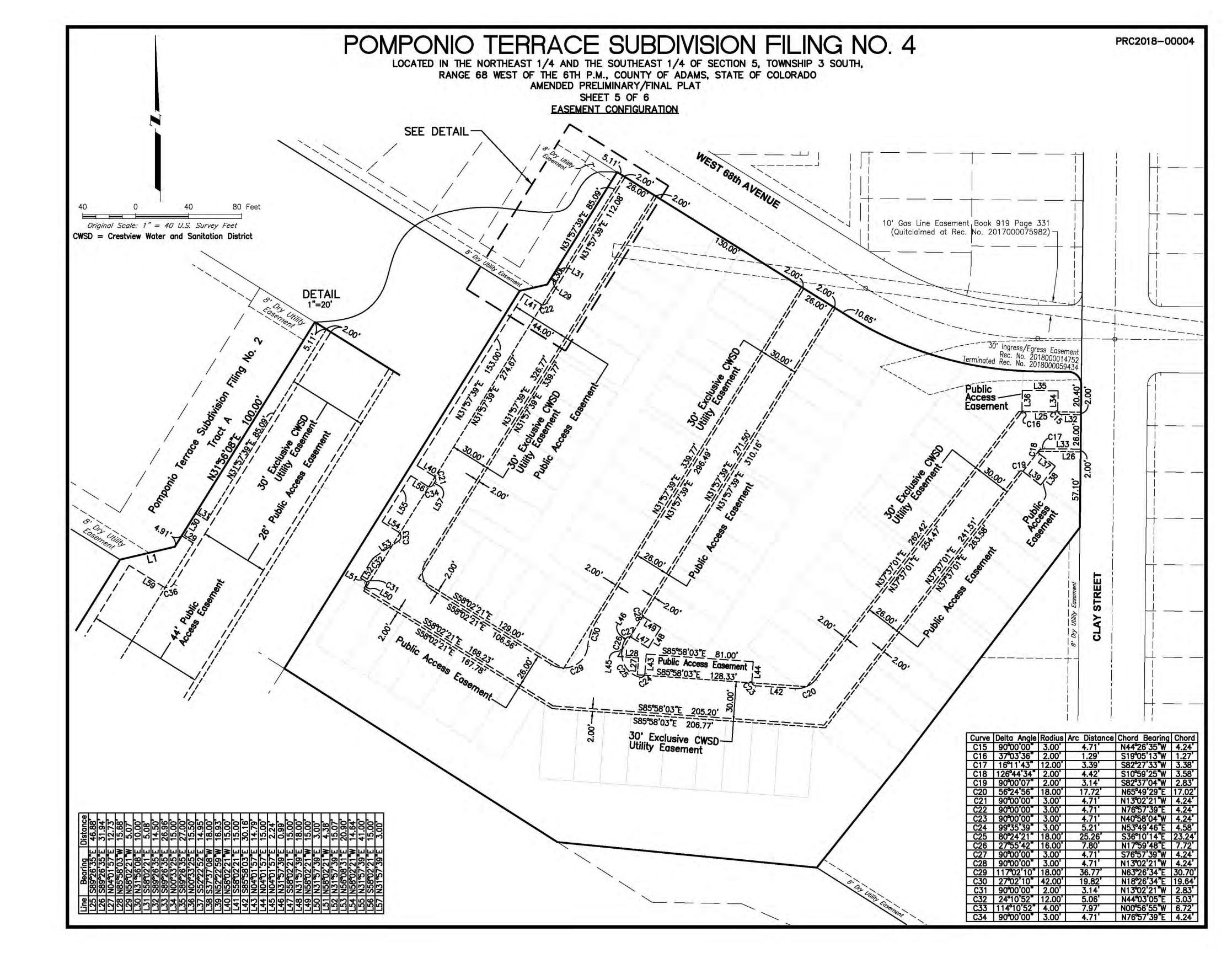
- (a) the Property,
- any dwelling unit or other improvements constructed on the Property, including, without limitation, any actual or alleged
- defect in design, construction, workmanship or materials in such dwelling unit or other improvements, or
- (c) any party wall covenant or similar instrument (a "Party Wall Covenant") which affects all or any portion of the Property.

The foregoing shall not preclude any of the foregoing parties from endeavoring to resolve any such claim through either negotiation or mediation before submitting such claim to binding arbitration. Additionally, if the Property is now or hereafter subject to a Party Wall Covenant, provisions of the Party Wall Covenant that implement and expand upon the requirements of this Restriction shall be fully effective and such Party Wall Covenant may exempt certain claims from the requirement that such claims must be submitted to binding arbitration; provided, however, that any subsequent amendment or change to such Party Wall Covenant shall not be effective to eliminate the requirement that the claims described in this Restriction, including but not necessarily limited to construction defect claims, be submitted to binding arbitration in lieu of submitting any such claim to a judicial proceeding. Notwithstanding the foregoing, this Restriction shall not be deemed to require that claims brought by an owner of a portion of the Property against another owner or owners of other portions of the Property pursuant to a Party Wall Covenant to recover amounts owed to the owner bringing such claims, where such amounts are expressly made payable by the Party Wall Covenant (such as, without limitation, amounts owed to pay a portion of the costs of repairing or replacing a party wall that is damaged) or to foreclose any lien provided in the Party Wall Covenant to secure such amounts, or to obtain a temporary or permanent restraining order and/or injunction from a court of law prohibiting a violation of such Party Wall Covenant, shall be subject to binding arbitration.

For purposes of this Restriction, binding arbitration shall mean submission of any claim described above to a single arbitrator who must be a person qualified to consider and resolve the claim with the appropriate industry and/or legal experience and who has no financial or personal interest in the claim or any family, social or significant professional acquaintance with any party to the arbitration. Without limiting who may be considered qualified pursuant to the previous sentence, in all events the following persons shall be deemed qualified if he/she has no financial or personal interest in the claim or any family, social or significant professional acquaintance with any party to the arbitration: a retired Colorado State District Court Judge or retired Federal District Court Judge or through the use of such organization that such retired Judge may be a member of, including such organizations as the Judicial Arbiter Group or its successors. In such arbitration, the fees and costs of the arbitration shall be borne pro rata by the parties. The arbitration shall be conducted utilizing such rules of procedure as the arbitrator may reasonably adopt to promote the efficient and economical resolution of any such claim. This Restriction shall he binding upon all successors in interest, grantees, owners, heirs, assigns, and all others who acquire an interest in or to the Property.







POMPONIO TERRACE SUBDIVISION FILING NO. 4

LOCATED IN THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO AMENDED PRELIMINARY/FINAL PLAT SHEET 5 OF 6

ADDRESS TABLES

Lot	Block	Address
1	2	2718 W. 68th Ave.
2	2	2716 W. 68th Ave.
3	2	2714 W. 68th Ave.
4	2	2712 W. 68th Ave.
5	2	2710 W. 68th Ave.
6	2	2708 W. 68th Ave.

Lot	Block	Address
1	1	2768 W. 68th Ave.
2	1	2766 W. 68th Ave.
3	1	2764 W. 68th Ave.
4	1	2762 W. 68th Ave.
5	1	2760 W. 68th Ave.
6	1	2758 W. 68th Ave.

Address

2706 W. 68th Ave.

2704 W. 68th Ave.

2702 W. 68th Ave.

2700 W. 68th Ave.

2698 W. 68th Ave.

2696 W. 68th Ave.

Block

5

5

5

5

5

5

Lot

1

2

3

4

5

6

Lot	Block	Address
1	6	2664 W. 68th Ave.
2	6	2662 W. 68th Ave.
3	6	2660 W. 68th Ave.
4	6	2658 W. 68th Ave.
5	6	2656 W. 68th Ave.
6	6	2654 W. 68th Ave.

L	_ot	Block	Address
	1	9	6765 Clay Street
	2	9	6759 Clay Street
	3	9	6753 Clay Street
	4	9	6747 Clay Street
	5	9	6741 Clay Street

Lot	Block	Address
1	10	6735 Clay Street
2	10	6729 Clay Street
3	10	6723 Clay Street
4	10	6717 Clay Street
5	10	6711 Clay Street
6	10	6705 Clay Street

Lot	Block	Address
1	13	2694 W. 68th Ave.
2	13	2692 W. 68th Ave.
3	13	2690 W. 68th Ave.
4	13	2688 W. 68th Ave.
5	13	2686 W. 68th Ave.
6	13	2684 W. 68th Ave.
7	13	2682 W. 68th Ave.
8	13	2680 W. 68th Ave.
9	13	2678 W. 68th Ave.

Lot	Block	Address
1	3	2676 W. 68th Ave.
2	3	2674 W. 68th Ave.
3	3	2672 W. 68th Ave.
4	3	2670 W. 68th Ave.
5	3	2668 W. 68th Ave.
6	3	2666 W. 68th Ave.

Lot	Block	Address
1	4	2756 W. 68th Ave.
2	4	2754 W. 68th Ave.
3	4	2752 W. 68th Ave.
4	4	2750 W. 68th Ave.
5	4	2748 W. 68th Ave.
6	4	2746 W. 68th Ave.

Lot	Block	Address
1	7	2652 W. 68th Ave.
2	7	2650 W. 68th Ave.
3	7	2648 W. 68th Ave.
4	7	2646 W. 68th Ave.
5	7	2644 W. 68th Ave.
6	7	2642 W. 68th Ave.

Lot	Block	Address			
1	8	2640 W. 68th Ave.			
2	8	2638 W. 68th Ave.			
3	8	2636 W. 68th Ave.			
4	8	2634 W. 68th Ave.			
5	8	2632 W. 68th Ave.			
6	8	2630 W. 68th Ave.			

Lot	Block	Address			
1	11	2742 W. 68th Ave.			
2	11	2738 W. 68th Ave.			
3	11	2734 W. 68th Ave.			
4	11	2730 W. 68th Ave.			
5	11	2726 W. 68th Ave.			
6	11	2722 W. 68th Ave.			

Lot	Block	Address			
1	12	2744 W. 68th Ave.			
2	12	2740 W. 68th Ave.			
3	12	2736 W. 68th Ave.			
4	12	2732 W. 68th Ave.			
5	12	2728 W. 68th Ave.			
6	12	2724 W. 68th Ave.			
7	12	2720 W. 68th Ave.			

SUBDIVISION IMPROVEMENTS AGREEMENT

THIS AGREEMENT is made and entered into by and between the County of Adams, State of Colorado, hereinafter called "County," and Pomponio Terrace Holdings LLC, a Colorado liability limited company, hereinafter called "Developer."

WITNESSETH:

WHEREAS, Developer is the owner of real property in the County of Adams, State of Colorado, as described in Exhibit "A" attached hereto, and by this reference made a part hereof.

WHEREAS, it is provided by resolution of the Board of County Commissioners, County of Adams, that where designated the Developer shall have entered into a written agreement with the County to install public and/or private improvements, and to deed land for public purposes or right-of-way, if applicable.

NOW, THEREFORE, in consideration of the foregoing, the parties hereto promise, covenant, and agree as follows:

- 1. Engineering Services. Developer shall furnish, at its own expense, all engineering and other services in connection with the design and construction of the improvements itemized under title "Public Improvements Notes" labeled, described and detailed on Exhibit "B" (collectively, the "Improvements") attached hereto, and by this reference made a part hereof.
- 2. **Drawings and Estimates**. The Developer shall furnish drawings and cost estimates for all Improvements described and detailed on Exhibit "B" for approval by the County. Upon request, the Developer shall furnish one set of reproducible "as built" drawings to the County.

3. Construction.

- A. Developer shall furnish and construct, at its own expense and in accordance with drawings and materials approved by the County, the Improvements described and detailed on Exhibit "B".
- B. No construction or building permits shall be issued until said collateral as described in Paragraph 5 below is furnished in the amount required and in a form acceptable to the Board of County Commissioners, and until the final plat has been approved. No building permits shall be issued for any buildings until all Improvements described in Exhibit "B" have been preliminarily accepted by the Department of Public Works.
- 4. **Time for Completion**. The Improvements shall be completed according to the terms of this Agreement within "construction completion date" appearing in Exhibit "B". The Director of Community and Economic Development may for good cause grant extension of time for completion of any part or all of improvements appearing on said Exhibit "B" for a period not to exceed 180 days. Any extension greater than 180 days shall only be approvd by the BoCC. Any extensions of time shall be in written form only.
- 5. Guarantee of Compliance. Developer shall furnish to the County a cash escrow deposit or other acceptable collateral, releasable only by the County, to guarantee compliance with this Agreement. Said collateral shall be in the amount of \$109,894.58, which amount includes twenty percent (20%) to cover administration and five percent (5%) per year for the term of this Agreement to cover inflation. Upon final plat, completion of the Improvements constructed according to the terms of this Agreement, and preliminary acceptance of the Improvements by

the Director of Public Works in accordance with Section 5-02-05-01 of the County's Development Standards and Regulations, the collateral shall be released. Completion of said Improvements shall be determined solely by the County, and a reasonable part of said collateral, up to 20%, may be retained to guarantee maintenance of public improvements for a period of one year from the date of completion.

- 6. Acceptance and Maintenance of Public Improvements. All Improvements described and detailed on Exhibit "B" shall be public facilities and become the property of the County or other public agencies upon acceptance. During the period of one year from and after the acceptance of the Improvements, the Developer shall, at its own expense, make all needed repairs or replacement due to defective materials or workmanship which, in the opinion of the County, becomes necessary. If, within ten days of written notice to the Developer from the County requesting such repairs or replacements, the Developer has not undertaken with due diligence to make the same, the County may make such repairs or replacements at the Developer's expense. In the case of an emergency such written notice may be waived.
- 7. **Successors and Assigns**. This Agreement shall be binding upon the heirs, executors, personal representatives, successors, and assigns of the Developer, and shall be deemed a covenant running with the real property as described in Exhibit "A" attached hereto.
- 8. **Improvements and Dedication**. The undersigned Developer hereby agrees to provide the following improvements, and to dedicate described property.
 - A. Improvements. Designate separately each public and private improvement.

Public Improvements: All improvements itemized under title "Public Improvements Notes" labeled, described and detailed on Exhibit "B". Such Improvements shall be constructed in accordance with all County requirements and specifications in accordance with the approved plans and time schedule as indicated in Exhibit "B".

Private Improvements: Not applicable.

B. [intentionally deleted]

[signature page follows]

Developer:

Pomponio Terrace Holdings LLC, a Colorado liability limited company

By: _ Name: _ Its: _

The foregoing instrument was acknowledged before me this day of , 2018, by as of Pomponio Terrace Holdings LLC for the company.

My commission expires:_

Address: _

Notary Public

APPROVED BY resolution at the meeting of

Collateral to guarantee compliance with this Agreement and construction of public improvements shall be required in the amount of \$109,019. No construction or building permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners.

ATTEST:

BOARD OF COUNTY COMMISSIONERS ADAMS COUNTY, COLORADO

, 2019.

Clerk of the Board

Chair

POMPONIO TERRACE SUBDIVISION FILING NO. 3 Case No. PRC2018-00002

EXHIBIT A

Legal Description:

Pomponio Terrace Subdivision Filing No. 3

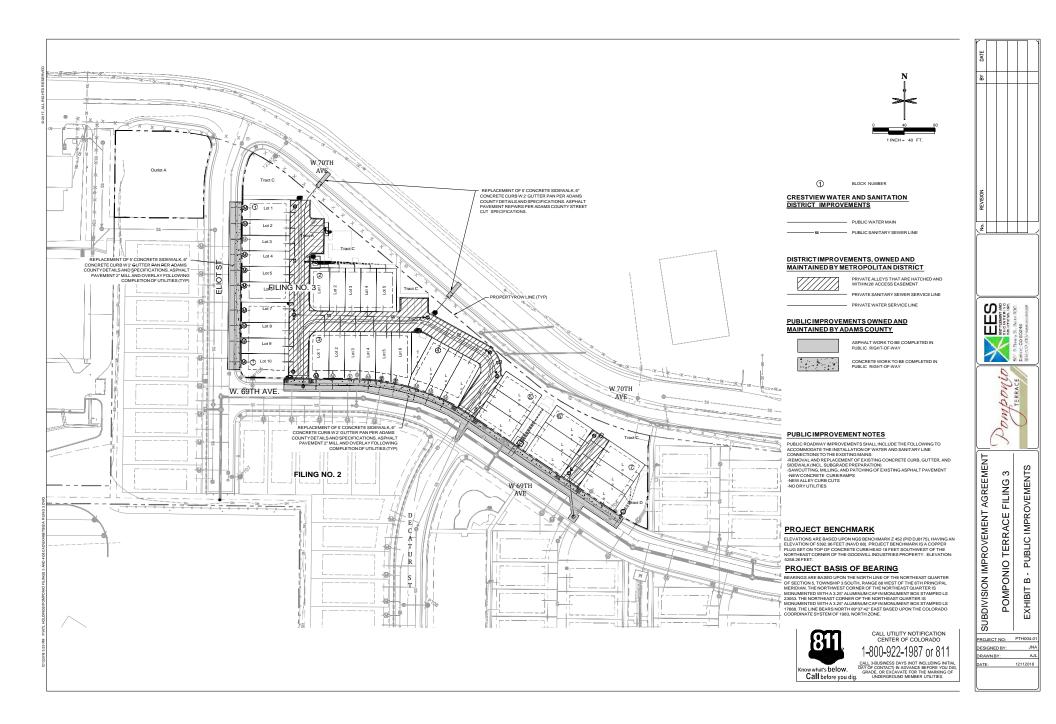
POMPONIO TERRACE SUBDIVISION FILING NOS. 3 AND 4 Case No. PRC2016-00004

EXHIBIT B

See attached prepared by Entitlement and Engineering Solutions, Inc.

Construction Completion Date: October 31, 2019

Initials or signature of Developer:



OPINION OF PROBABLE COST - CONCEPTUAL

Pomponio Terrace Filing 3 - Probable Costs

This estimate is prepared as a guide and is subject to possible changes. It has been prepared to a standard of accuracy that, to the best of our knowledge and judgment, is sufficient to satisfy our understanding of the purpose of this estimate. Entitlement and Engineering Solutions, Inc. (EES) makes no warranty, either expressed or implied, as to the accuracy of this estimate.



Entitlement and Engineering Solutions, Inc. 501 S. Cherry Street, Suite 300 Glendale, CO 80246 **Original Preparation:** 12/11/2018

Revised:

Project: Pomponio Terrace Filings 3 and 4

Project Location: Adams County, Colorado

Project #: PTH004.01

ROADWAY IMPROVEMENTS	Quantity	Unit Price	Unit	Unit Cost
Removal of Curb, Gutter and Sidwalk	705	\$9.00	LF	\$6,342.36
Removal of Asphalt Mat (Planing)	716	\$3.00	SY	\$2,149.22
Aggregate Base Course (Class 6)	212	\$50.00	CY	\$10,603.22
Subgrade Preparation (12 Inch at Sidewalk and Road)	424	\$3.00	СҮ	\$1,272.61
Hot Mix Asphalt (Patching) (Asphalt)	874	\$26.00	SY	\$22,721.54
Concrete Sidewalk (5' Width)	329	\$70.00	SY	\$23,035.52
Concrete Curb Ramp	6	\$604.00	EA	\$3,624.00
6" Vertical Curb and Gutter (2' Pan)	591	\$25.00	LF _	\$14,766.58
Alley Curb Cut/Access Drive	3	\$400.00	EA	\$1,200.00
Unclassified Excavation (Complete-In-Place)	1	\$1,500.00	LS	\$1,500.00

TOTAL

\$87,215.04

POMPONIO TERRACE SUBDIVISION FILING NO. 3 Case No. PRC2018-00002

OPINION OF PROBABLE COST - SUMMARY (CONCEPTUAL)

This estimate is prepared as a guide and is subject to possible changes. It has been prepared to a standard of accuracy that, to the best of our knowledge and judgment, is sufficient to satisfy our understanding of the purpose of this estimate. Entitlement and Engineering Solutions, Inc. (EES) makes no warranty, either expressed or implied, as to the accuracy of this estimate.



Entitlement and Engineering Solutions, Inc. 501 S. Cherry Street, Suite 300 Glendale, CO 80246 and 4 Original Preparation: 12/11/2018 Revised: Project: Pomponio Terrace Filings 3

Project Location: Adams County, Colorado

Project #: PTH004.01

Filing 3	PROJECT TOTALS
	\$87,215
Filing 3 Public Improvements Total	
Administration - 20% of Total	\$17,443
Inflation Per Year - 5% of Total	\$4,361
Filings 3 Grand Total	\$109,019

SUBDIVISION IMPROVEMENTS AGREEMENT

THIS AGREEMENT is made and entered into by and between the County of Adams, State of Colorado, hereinafter called "County," and Pomponio Terrace Holdings LLC, a Colorado liability limited company, hereinafter called "Developer."

WITNESSETH:

WHEREAS, Developer is the owner of real property in the County of Adams, State of Colorado, as described in Exhibit "A" attached hereto, and by this reference made a part hereof.

WHEREAS, it is provided by resolution of the Board of County Commissioners, County of Adams, that where designated the Developer shall have entered into a written agreement with the County to install public and/or private improvements, and to deed land for public purposes or right-of-way, if applicable.

NOW, THEREFORE, in consideration of the foregoing, the parties hereto promise, covenant, and agree as follows:

- 1. Engineering Services. Developer shall furnish, at its own expense, all engineering and other services in connection with the design and construction of the improvements itemized under title "Public Improvements Notes" labeled, described and detailed on Exhibit "B" (collectively, the "Improvements") attached hereto, and by this reference made a part hereof.
- 2. **Drawings and Estimates**. The Developer shall furnish drawings and cost estimates for all Improvements described and detailed on Exhibit "B" for approval by the County. Upon request, the Developer shall furnish one set of reproducible "as built" drawings to the County.

3. Construction.

- A. Developer shall furnish and construct, at its own expense and in accordance with drawings and materials approved by the County, the Improvements described and detailed on Exhibit "B".
- B. No building or construction permits shall be issued until said collateral as described in Paragraph 5 below is furnished in the amount required and in a form acceptable to the Board of County Commissioners, and until the final plat has been approved. No building permits shall be issued until Improvements described in Exhibit "B-1" have been preliminarily accepted by the Department of Public Works. No Certificate of Occupancy will be issued for any building permit(s) until all Improvements described in Exhibit "B-2" have been preliminarily accepted by the Department of Public Works.
- 4. **Time for Completion**. The Improvements shall be completed according to the terms of this Agreement within "construction completion date" appearing in Exhibit "B". The Director of Community and Economic Development may for good cause grant extension of time for completion of any part or all of improvements appearing on said Exhibit "B" for a period not to exceed 180 days. Any extension greater than 180 days shall only be approvd by the BoCC. Any extensions of time shall be in written form only.
- 5. **Guarantee of Compliance**. Developer shall furnish to the County a cash escrow deposit or other acceptable collateral, releasable only by the County, to guarantee compliance with this Agreement. Said collateral shall be in the amount of \$43,967.70, which amount includes twenty percent (20%) to cover administration and five percent (5%) per year for the term of this

Agreement to cover inflation. Upon final plat, completion of the Improvements constructed according to the terms of this Agreement, and preliminary acceptance of the Improvements by the Director of Public Works in accordance with Section 5-02-05-01 of the County's Development Standards and Regulations, the collateral shall be released. Completion of said Improvements shall be determined solely by the County, and a reasonable part of said collateral, up to 20%, may be retained to guarantee maintenance of public improvements for a period of one year from the date of completion.

- 6. Acceptance and Maintenance of Public Improvements. All Improvements described and detailed on Exhibit "B" shall be public facilities and become the property of the County or other public agencies upon acceptance. During the period of one year from and after the acceptance of the Improvements, the Developer shall, at its own expense, make all needed repairs or replacement due to defective materials or workmanship which, in the opinion of the County, becomes necessary. If, within ten days of written notice to the Developer from the County requesting such repairs or replacements, the Developer has not undertaken with due diligence to make the same, the County may make such repairs or replacements at the Developer's expense. In the case of an emergency such written notice may be waived.
- 7. **Successors and Assigns**. This Agreement shall be binding upon the heirs, executors, personal representatives, successors, and assigns of the Developer, and shall be deemed a covenant running with the real property as described in Exhibit "A" attached hereto.
- 8. **Improvements and Dedication**. The undersigned Developer hereby agrees to provide the following improvements, and to dedicate described property.
 - A. Improvements. Designate separately each public and private improvement.

Public Improvements: All improvements itemized under title "Public Improvements Notes" labeled, described and detailed on Exhibit "B". Such Improvements shall be constructed in accordance with all County requirements and specifications in accordance with the approved plans and time schedule as indicated in Exhibit "B".

Private Improvements: Not applicable.

B. [intentionally deleted]

[signature page follows]

Developer:

Pomponio Terrace Holdings LLC, a Colorado liability limited company

By: Name: _ Its:

The foregoing instrument was acknowledged before me this day of of Pomponio Terrace Holdings LLC 2018, by _ as for the company.

My commission expires:_

Address:

Notary Public

•

APPROVED BY resolution at the meeting of

Collateral to guarantee compliance with this Agreement and construction of public improvements shall be required in the amount of \$43,612. No construction or building permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners.

ATTEST:

Clerk of the Board

Chair

, 2018.

BOARD OF COUNTY COMMISSIONERS

ADAMS COUNTY, COLORADO

POMPONIO TERRACE SUBDIVISION FILING NO. 4 Case No. PRC2018-00002

EXHIBIT A

Legal Description:

Pomponio Terrace Subdivision Filing No. 4

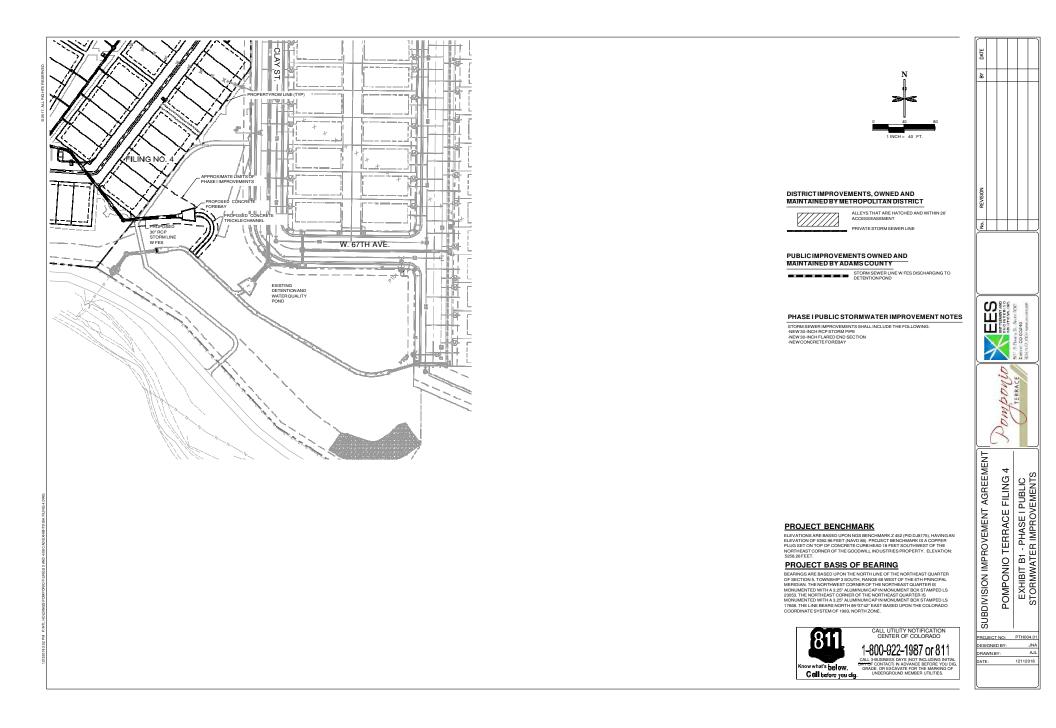
POMPONIO TERRACE SUBDIVISION FILING NO. 4 Case No. PRC2016-00004

EXHIBIT B

See attached prepared by Entitlement and Engineering Solutions, Inc.

Construction Completion Date: October 31, 2019

Initials or signature of Developer:_

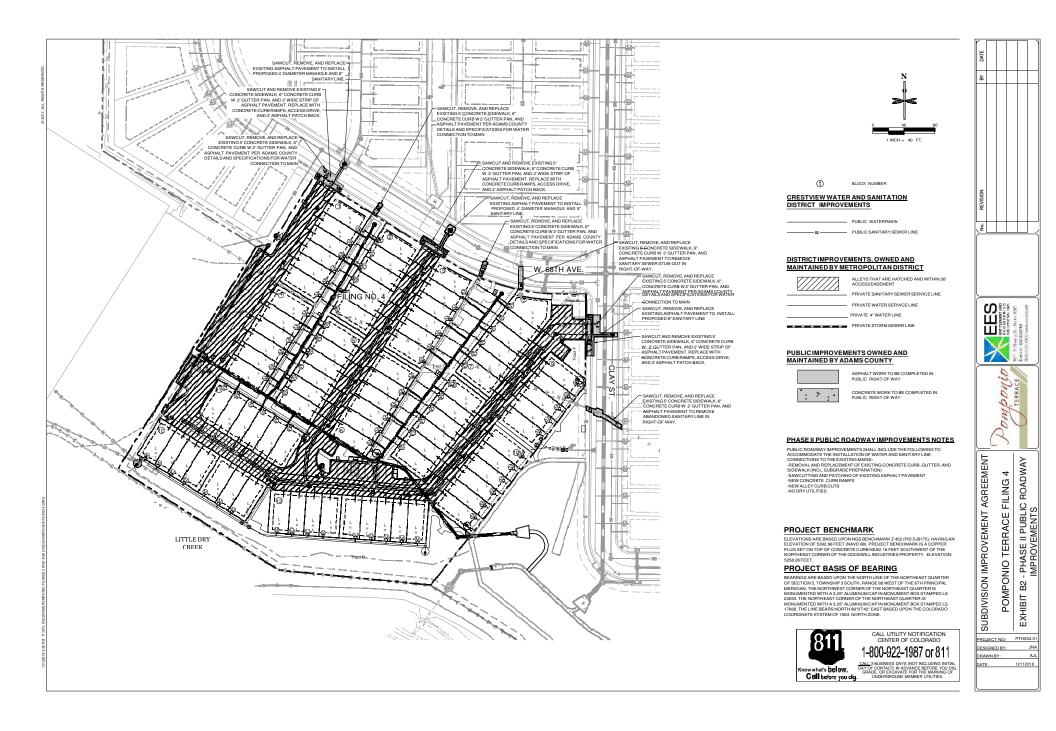


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OPINION OF PROBABLE COST - CONCEPTUAL

Pomponio Terrace Filing 4 - B1 - Probable Costs

This estimate is prepared as a guide and is subject to possible changes. It has been prepared to a standard of accuracy that, to the best of our knowledge and judgment, is sufficient to satisfy our understanding of the purpose of this estimate. Entitlement and Engineering Solutions, Inc. (EES) makes no warranty, either expressed or implied, as to the accuracy of this estimate.

\$17,061.00



Entitlement and Engineering Solutions, Inc. 501 S. Cherry Street, Suite 300 Glendale, CO 80246 **Original Preparation:** 12/11/2018

Revised:

Project: Pomponio Terrace Filings 3 and 4

Project Location: Adams County, Colorado

Project #: PTH004.01

STORM SEWER IMPROVEMENTS	Quantity	Unit Price	Unit	Unit Cost
30-Inch RCP (Complete-In-Place)	68	\$140.00	LF	\$9,520.00
30-Inch FES	1	\$1,500.00	EA	\$1,500.00
Concrete Forebay	24	\$54.00	SY	\$1,296.00
Concrete Trickle Channel	73	\$65.00	LF	\$4,745.00

TOTAL

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OPINION OF PROBABLE COST - CONCEPTUAL

Pomponio Terrace Filing 4 - B2 - Probable Costs

This estimate is prepared as a guide and is subject to possible changes. It has been prepared to a standard of accuracy that, to the best of our knowledge and judgment, is sufficient to satisfy our understanding of the purpose of this estimate. Entitlement and Engineering Solutions, Inc. (EES) makes no warranty, either expressed or implied, as to the accuracy of this estimate.



Entitlement and Engineering Solutions, Inc. 501 S. Cherry Street, Suite 300 Glendale, CO 80246

Original Preparation: 12/11/2018

Revised:

Project: Pomponio Terrace Filings 3 and 4

Project Location: Adams County, Colorado

Project #: PTH004.01

ROADWAY IMPROVEMENTS	Quantity	Unit Price	Unit	Unit Cost			
Removal of Curb, Gutter and Sidwalk	156	\$9.00	LF	\$1,406.53			
Removal of Asphalt Mat (Planing)	163	\$3.00	SY _	\$488.26			
Aggregate Base Course (Class 6)	49	\$50.00	CY _	\$2,442.29			
Subgrade Preparation (12 Inch at Sidewalk and Road)	98	\$3.00	CY	\$293.19			
Hot Mix Asphalt (Patching) (Asphalt)	163	\$26.00	SY	\$4,231.58			
Concrete Sidewalk (5' Width)	23	\$70.00	SY	\$1,608.73			
Concrete Curb Ramp	6	\$604.00	EA	\$3,624.00			
6" Vertical Curb and Gutter (2' Pan)	41	\$25.00	LF	\$1,033.74			
Alley Curb Cut/Access Drive	3	\$400.00	EA	\$1,200.00			
Unclassified Excavation (Complete-In-Place)	1	\$1,500.00	LS	\$1,500.00			
тота	TOTAL \$17,828.32						

\$17,828.32

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POMPONIO TERRACE SUBDIVISION FILING NO. 4 Case No. PRC2018-00002

OPINION OF PROBABLE COST - SUMMARY (CONCEPTUAL)

This estimate is prepared as a guide and is subject to possible changes. It has been prepared to a standard of accuracy that, to the best of our knowledge and judgment, is sufficient to satisfy our understanding of the purpose of this estimate. Entitlement and Engineering Solutions
Inc. (EES) makes no warranty, either expressed or implied, as to the accuracy of this estimate.



Entitlement and Engineering Solutions, Inc. 501 S. Cherry Street, Suite 300 Glendale, CO 80246 and 4 Original Preparation: 12/11/2018 Revised: Project: Pomponio Terrace Filings 3

Project Location: Adams County, Colorado

Project #: PTH004.01

Filing 4	PROJECT TOTALS
Filing 4 Phase I Public Improvments Total	\$17,061
Filing 4 Phase II Public Improvments Total	\$17,828
Administration - 20% of Total	\$6,978
Inflation Per Year - 5% of Total	\$1,744
Filings 4 Grand Total	\$43,612

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Exhibit 4.1

4430 South Adams County Parkway 1st Floor, Suite W2000B Brighton, CO 80601-8218 PHONE 720.523.6800 rax 720.523.6967

Development Review Team Comments

Date: 6/7/18 Project Number: PRC2018-00002 Project Name: Pomponio Filing 3 and 4 FDP/ Final Plats

For submission of revisions to applications, a cover letter addressing each staff review comments must be provided. The cover letter must include the following information: restate each comment that require a response and provide a response below the comment; respond to each comment with a description of the revisions and the page of the response on the site plan. And identify any additional changes made to the original document other than those required by staff.

A re-submittal is required. Please submit 1 hard copy and 1 electronic copy to the Community and Economic Development Department front desk with the re-submittal form.

An additional 20% review fee will be required after the third review and upon submittal of the fourth review.

Commenting Division: Development Services, Planning Name of Reviewer: Emily Collins Email: <u>ecollins@adcogov.org</u>

PLN1. REQUEST:

- a. This request is for a Final Development Plan (FDP) and Final Plat for Filings 3 and 4 of the Pomponio Terrace PUD to allow 114 townhome units.
- b. Filing 3 is proposed for 33 lots.
- c. Filing 4 is proposed for 81 lots.

PLN2. PLN2. SITE HISTORY/ ZONING:

Charles "Chaz" Tedesco

DISTRICT 2

- a. The BOCC approved a preliminary plat and development plan for 248 single-family lots on February 17, 2015.
- b. Filing1 and Filing 2 final plats and final development plans (FDP) were approved on October 4, 2016 (FDP) and December 13, 2016 (final plats and SIAs).
 - i. Filing 1 created 74 single-family lots on 11.791 acres.
 - ii. Filing 2 created 52 single-family lots on 8.323 acres.
- c. The BOCC approved an amendment to the Filing 1 SIA to allow construction of 4 model homes prior to completion of all public improvements on September 26, 2017.
- d. The BOCC approved an amendment to the PDP to allow single-family attached (townhomes) on February 27, 2018.

Erik Hansen

DISTRICT 3

PLN3. COMPREHENSIVE PLAN:

a. The site is designated as Urban Residential which is intended to provide for single and multiple family housing at urban densities.

PLN4. FDP COMMENTS:

- a. Please staple all pages together in future submittals.
- **b.** The title of the document should not be the "First Amendment" to the FDP. Filings 3 and 4 will have a separate FDP with development standards specific to the townhome development.
- c. Staff has concerns about the side orientation for the townhomes proposed along E. 70^{th} Ave and would encourage the applicant to explore re-orienting buildings to face 70^{th} Avenue with rear alley access.
- d. Narrative-A:
 - i. Update and consolidate site zoning approvals (see PLN2 for example of shortened history). Include case #'s for each approval.
- e. Narrative-C:
 - i. Remove language that says "this PDP Amendment."
 - ii. Update open space dedications to be specific to the % of Filing 3 and 4 only. You can provide a second statement which gives the overall open space dedication provided for the entire development area.
 - iii. Please ensure the open space dedication %'s match in the narrative (35%) and the table (30%).
 - iv. Staff has concerns with the proposed amenities and the development's ability to meet the active recreation requirements. The main provisions are benches and bike racks/shelters. The active recreation areas should incorporate facilities such as play equipment, ball fields, court games, etc.
- f. Narrative-D:
 - i. Remove language that says "future filings" as this is the document to approve the final filings of the development.
 - ii. Remove paragraphs with information on PDP approval and original development plan (248 single-family). Only use the table.
- g. Narrative-E:
 - i. Remove language that says "future filings."
- h. Narrative- F:
 - i. Remove language that says "future filings"
- i. Narrative-G:
 - i. Access easements are not "installed" they are granted and shown on the final plats.
- j. Narrative-K:
 - i. Remove language that says "future filings"

- ii. Standards are referenced on Sheet 8; however, this is only open space calculations. Please provide a table for the minimum/ maximum height, setbacks, etc. in Narrative K.
- iii. PDP standards included minimum 1,080-1,384 (corner) sf lot area/ 5 ft front/ 10 ft ROW setback/ 5 ft rear/ 10 ft building separation
- iv. Please demonstrate these setbacks with an exhibit
- k. Sheet 4:
 - i. Remove note 2 stating "proposed amendment." You can state Flings 3 and 4 do not exceed maximum permitted density of 248 units.
- 1. Sheet 5:
 - i. Provide a color-coded version for future presentations during public hearings.
 - ii. Provide an inset or enlarged detail of how townhomes will access street vs. alley (show orientation and any sidewalks, paths, etc).
- m. Sheet 6/7:
 - i. Please provide the dimensions used for parking spaces.
 - ii. Staff has concerns about the ability/safety of vehicles backing out of spaces at corner of the Filing 4 alley and Clay Street
- n. Sheet 12:
 - i. A walkway connection should be provided between guest parking and lots #11-15 in Filing 3.
- o. Sheet 15
 - i. Any lighting shown on western boundary on long row of parking?
- p. Parking:
 - i. total 327 provided (228 off-street garage spaces/ 99 on-street guest spaces)
 - ii. 2.8 spaces per unit ratio
 - iii. 285 spaces would be required per County code

PLN5. PLAT COMMENTS:

- a. What is Outlot A to be used for? No use or landscape treatment is shown on FDP for this area.
- b. Tract A needs to be specifically defined/designated for ingress-egress and a note stating maintained by PTMD
- c. Internal mews/landscape areas need to be designated separately from Tract A which is the alley

Commenting Division: Development Services, Engineering:

Name of Review: Matt Emmens

Email: <u>memmens@adcogov.org</u>

ENG1: Review of the engineering/construction documents email to applicant on 5/18/2018. See Doc #5780913.

ENG2: The linework on the FDP's needs properly labeled. On sheet 6 of the Filing 3 FDP and Sheet 7 of the Filing 4 FDP, is it hard to tell which are the property line, easement line, edge of concrete and building envelope. Adding labels to these lines would resolve this problem.

EGR3: Add labels to all of the radius returns on the drive isles.

EGR4: In Filing 3 the drive isle intersection adjacent to building # 15/16 appears very tight. These drive isles will need to accommodate trash vehicles. Provide an AutoTurn routine showing that garbage trucks can make that turn.

Commenting Division: Development Services, Right-of-Way:

Name of Review: Marissa Hillje Email: <u>mhillje@adcogov.org</u>

ROW1: The title commitment submitted did not contain Schedule B Section- 2 (Exceptions), which lists all the recorded documents associated with the property. Re-submit the full title commitment with your application dated no later than 30 days to review in order to ensure that any other party's interests are not encroached upon.

ROW2: Remove all company logos from each filing.

ROW3: Change signature line from Chairperson to Chair for each filing.

ROW4: The plat does not show the Crestview Water and Sanitation easements/lines. If the easements are to be dedicated by separate instrument then the District Manager does not have to sign the plat. If they are to be dedicated by this plat then the easements with distances/bearings must be shown clearly on plat.

ROW5: On filing No. 3 - What is the purpose of Outlot A? Who will maintain it? Add a note to sheet 2.

ROW6: Remove the words Amended Preliminary/Final Plat from the top of each sheet. Change "Final Plat" under the subtitle to "Amended Preliminary/Final Plat" for each sheet of each filing.

ROW7: On Filing 3 and 4- Is the utility easement in Tract A also access? If so, add a note stating so. In the note include what will be allowed in there- cars? Landscaping? no parking? Etc. and who is allowed to use the access? Emergency vehicles should be listed in there.

The County highly suggests that a private drive be designated for the access. This will allow street names to be assigned which will help with addressing and signage. If a private drive is designated then an access easement would not need to be created- just a tract that covers the private drive area.

Addresses will be assigned on the next review.

ROW8: Add this statement to Sheet 2 of each filing-

"The policy of the County requires that maintenance access shall be provided to all storm drainage facilities to assure continuous operational capability of the system. The property owners shall be responsible for the maintenance of all drainage facilities including inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on their land unless modified by the subdivision development agreement. Should the owner fail to maintain said facilities, the County shall have the right to enter said land for the sole purpose of operations and maintenance. All such maintenance cost will be assessed to the property owners."

Any area being used as storm drainage should have an associated drainage easement over it that is dedicated to the County.

ROW9: For Filing No. 3 - Add a note to sheet 2 restricting access for ingress/egress to W 70th Avenue from Tract A and Outlot A.

ROW10: Provide a legend which designates all lines and symbols except where called out on plat drawing.

ROW11: The ingress/egress easement Rec No. 2014000038653 should be amended or vacated by separate document if not being used.

ROW12: The 10ft gas line easement will encumber Lot 2-Block 1, lot 1-Block 2 and Lot 1-block 1 of Filing 4. If this line is not being used it should be vacated by separate instrument. If it remains as is- the listed lots may be unbuildable.

ROW13: Any easement being dedicated by separate instrument must be recorded and reception # labeled on plat before final plat is recorded.

Commenting Division: Development Services, Building Safety: Name of Review: Justin Blair Email: jblair@adcogov.org

BSD1- No comment.

	Adams County Community and Economic Development Department Development Review – Engineering Comments						
Case	Case Number: EGR2018-00016 Case Name: Pomponio Terrace Phase 3 & 4						
Appli	icant: Pompo	onio Terrace Ho	ldings, LLC	Date Initiate	d: 5/7/2018		
Docu	ment #:						
No.	Reviewer Initials	Sheet No./ Page No./ Subject	County Comment		Applicant Response (date)		
1	ME	General comment	All necessary paperwork such as Commissi Resolutions, Development Agreements, and Agreements will need to be on file with the County Public Works Department / Constru Management section prior to the issuance o building permits.	l Collateral Adams action			
2	ME	Condition of Approval	The developer/applicant will be required to Subdivision Improvements Agreement (SIA County and bond for all public and drainage infrastructure to ensure the public improver completed. No building permits will be issu public improvements are completed and pre accepted by the County.	(a) with the end of the second			
3	ME	General comment	Upon completion of review and approval of drawings and acceptance of the SIA, the app be required to obtain the necessary permits construct the proposed improvements. This permit(s) will be obtained from the Adams Public Works Department / Construction M Section.	plicant will in order to /these County			
4	ME	General	All storm sewer pipes within the public right	nt-of-way			

		comment	must be RCP Class III material. In the event that the soil chemistry is not conducive to this type of material, the applicant shall propose solutions to Adams County Public Works Department staff to mitigate the situation if it should arise.	
5	ME	General comment	Flood Insurance Rate Map – FIRM Panel <i>Flood</i> <i>Insurance Rate Map – FIRM Panel #08001C0584H</i> , Federal Emergency Management Agency, March 4, 2007. According to the above references, the "Pomponio	
			Terrace Phase 3" site is NOT located within a delineated 100-year flood hazard zone. However, the "Pomponio Terrace Phase 4" site IS partially located within a delineated 100-year flood hazard zone; A floodplain use permit will be required for development of the phase 4 area.	
			See comment #21 below.	
6	ME	General Comment	A. All necessary Plats will be filed and recorded with the Adams County Clerk and Recorders office prior to the issuance of any Building Permit.	
			B. All necessary paperwork such as Commissioners Resolutions, Development Agreements, Collateral Agreements, BOA decisions, etc. will be on file with the Adams County Public Works Department / Construction Management Section prior to the issuance of any Building Permit.	
			The County has the right to enter the property to conduct inspections of the installation of the facilities.	
7	ME	General Comment (if applicable)	A. The contractor will be held responsible for the cleanliness and safety of all roadways adjacent to this site. If at any time, these roadways are found to be dangerous or not passable due to debris or mud, the Adams County Public Works Department will shut	

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		down the project, until the roadway conditions have
		improved and are deemed acceptable. If the
		contractor/applicant fails to keep the adjacent roadways
		clean and free from debris, the Public Works
		Department has the option to do the required clean up
		and bill the charges directly to the contractor/applicant.
		B. Erosion and sediment control measures shall be
		required during construction. Adams County field
		inspection personnel shall be able to mandate
		corrective action to be taken by the developer and/or
		contractor if any of the following situations occur:
		• construction plans lack sufficient detail for
		erosion protection
		• it has been determined that the submitted
		erosion control measures are not applicable to
		actual field conditions
		• installed erosion & sediment controls are non-
		functional
		C. The contractor shall contact the Adams County
		Public Works Department / Construction Management
		section to find out if a preconstruction meeting is
		required.
		D. The developer/contractor shall be responsible for
		repairing or replacing damaged infrastructure adjacent
		to the site.
		E. All design and construction drawings submitted to
		Adams County for review and approval must be signed
		and stamped by a Professional Engineer.
		F. Asphalt patching shall include the removal of
		asphalt from the furthest saw cut line to the lip of
		gutter. A saw cut will be made 1' south of the initial
		saw cut for the "T" patch.
		r
		G. If applicable; All forms of communication to the
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			 property and business owners in the area shall go through Jeanne Shreve of Adams County and the Public Works Department / Construction Management Division. This shall include but not be limited to contact logs, letters, fliers, email, and texting. H. Work hours and work schedule shall be coordinated with Adams County Public Works Department / Construction Management Section. I. A Traffic Control Plan may be required to be submitted for approval prior to issuance of construction permits. J. The contractor is responsible for the material testing required during the construction and installation of the approved design drawings. 	
8	ME	General Comment	The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. In the event that the disturbed area of the site exceeds 1 acre and the site is within the Adams County MS4 area, then the applicant shall be responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR-030000. The Pomponio Terrace Phase 3 & 4 sites <u>are</u> located within the Adams County MS4 permit area. An Adams County SWQ Permit is required for development of this site. The existing SWQ Permit for the Pomponio Terrace development will need to be updated to accommodate the Phase 3 & 4 areas. The applicant should contact Juliana Archuleta, the County's Stormwater Program Manager, to coordinate the SWQ Permit update. Ms. Archuleta can be contacted at 720-523-6869 or By email at mjarchuleta@adcogov.org.	

9	ME	General comment	The County has the right to enter the property to conduct inspections of the installation of the facilities.	
10	ME	General Comment	Add the Adams County "General Construction Notes" to the plan set. The County's General Construction Notes can be found on the last page of this document.	
11	ME	General Notification	In compliance with Colorado Revised Statute 37-92- 602(8), concerning water rights, all flood control stormwater facilities that detain stormwater must be registered with the Statewide Notification Compliance Portal (SNCP). It is the responsibility of the design engineer to register the stormwater facility on the SNCP. The facility must be registered with the SNCP when the facility becomes operational and prior to the engineer of record submitting the final pond certification to Adams County. The County is required to verify the registration of the stormwater facility within 30 days of posting. The Statewide Notification Compliance Portal can be found at the following web address: <u>https://maperture.digitaldataservices.com/gvh/?viewer= cswdif</u>	
12	ME	General Notification	Street Lighting Street lighting is allowed within Adams County Right- of-Way with approval by the County. Owner/Developer is responsible for maintenance and operation of street lights. Street light meter and/or service location is subject to approval by the Building Safety Division. A building permit is required for the installation of all street lighting.	
13	ME	Construction Plans/Reports	All construction plan sets and report, submitted for review <u>must</u> be bound (paper clips, rubber bands are not acceptable). Plan sets and report that are not bound	

			will not be approved.	
14	ME	Water Services – Phase 3	The configuration of the waterline services in phase 3 is not acceptable to the County. The utility plans show the individual units being serviced by a secondary main that runs parallel to, underneath and/or very close to the sidewalk. The sidewalk must be crossed as close to perpendicular as possible. The County's preference is to have each unit serviced by a separate service line connected to the main line in the street.	
15	ME	Water Services – Phase 3	Per comment #14 above, installation of the individual water services will require removal and replacement of curb, gutter and sidewalk and, mill and overlay of the streets.	
16	ME	Water Services – Phase 3	Sheet C4.1 show a water valve being located in the alley entrance apron just east of the intersection of Eliot Street and W 69 th Ave and, a sanitary sewer manhole located in the sidewalk at the east end of the Phase 3. All valves, manholes and utility appurtenances must be located outside of the concrete flatwork (curb, gutter, walk, aprons, etc).	
17	ME	Water Service Plans – Phase 3	Add street names to the utility plans	
18	ME	Phase 3 Construction Plans	Sheet C1.0 shows a monument sign located just west of the intersection of W 70 th Ave and Eliot St. Approval of these plans does not include approval of the monument sign. The sign must be permitted separately through the building permit process.	
19	ME	Phase 3 & 4 Construction Plans	The site plans for both filings 3 & 4 show several on- street parking spaces being located along street adjacent to these developments. Street parking is allowed however, the parking spaces should <u>not</u> be delineated with stripping.	
20	ME	Phase 4	Sheet C4.1 shows water valves being located in both	

		Construction Plans	alley entrance aprons on W 68 th Ave. All valves, manholes and utility appurtenances must be located outside of the concrete flatwork (curb, gutter, walk, aprons, etc).	
21	ME	Floodplain	As noted in comment #5 above, the Phase 4 site is partially located within the floodplain. The developer is required to obtain an Adams County Floodplain Use permit for development of all areas within the regulated floodplain. Please note, a County Floodplain Use Permit does not	
			remove the area from the regulated floodplain. Post development, the developer will be required to pay floodplain insurance on all mortgaged structures. To remove the structures from the floodplain, the developer will need to obtain a LOMR-F from FEMA.	
22	ME	Floodplain	The current 100-year floodplain boundary needs to be shown on all plans and labeled, Currently, only the line appears on the site plan for phase 4 (Sheet C1.1)	
23	ME	Drainage Report	The certification page of the drainage report must be signed by the developer and, stamped and signed by the engineer of record.	
24	ME	Drainage Report	The drainage report, submitted with Filings 3 and 4 is titled for "Filings 1 & 2". In addition, the description of the site (Section 1.2) only mentioned 'future filings' and does not specifically mentioned flings 3 & 4 and, does not contain the design information for those drainage features in Filings 3 and 4. The drainage report and plan will need to be revised/amended to include Filings 3 & 4 and all design features of Filings 3 & 4.	
25	ME	Traffic Impact Study	No comment. Study is acceptable as is.	
		General comment	The listed items above may or may not represent all comments regarding the project. Adams County	

	reserves the right to provide additional comments	
	as the plans progress.	

Current Disposition: Resubmit

Condition(s) of Approval:

- 1. The developer will be required to enter into a Subdivision Improvements Agreement (SIA) with the County and bond for all public and drainage to ensure the public improvements are completed. No building permits will be issued until all public improvements are completed and preliminarily accepted by the County.
- 2. This site is located within the Adams County MS4 Permit area; a Stormwater Quality Permit is required. The developer is required to obtain an Adams County Stormwater Quality (SWQ) permit prior to the issuance of any construction permits.

The review is for general compliance with Adams County Standards for the design and construction of public improvements. The sole responsibility for completeness and accuracy of the construction documents shall remain with the Project Principals and Registered Professional Engineer sealing the plans. Adams County does not accept liability for facilities designed by others.

GENERAL CONSTRUCTION NOTES

- 1. A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. TO SCHEDULE A PRE-CONSTRUCTION MEETING CONTACT THE ADAMS COUNTY CONSTRUCTION INSPECTOR SUPERVISOR AT 720-523-6965.
- 2. ALL CONCRETE CURB, GUTTER AND WALK MUST BE POURED MONOLITHICALLY USING 4,500 psi CONCRETE WITH FIBER MESH.
- 3. ALL MATERIAL SUBMITTALS MUST BE APPROVED, STAMPED AND SIGNED, BY THE ENGINEER OF RECORD AND, SUBMITTED TO THE ADAMS COUNTY CONSTRUCTION INSPECTOR FOR APPROVAL PRIOR TO CONSTRUCTION/INSTALLATION.
- 4. THE CONTRACTOR IS REQUIRED TO SUBMIT COPIES OF ALL CONCRETE AND ASPHALT TICKETS TO THE ADAMS COUNTY CONSTRUCTION INSPECTOR.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR ALL QUALITY CONTROL TESTING AND, IS REQUIRED TO SUBMIT ALL TEST RESULTS TO THE ADAMS COUNTY CONSTRUCTION INSPECTOR.
- 6. THE CONTRACTOR IS REQUIRED TO REMOVE A MINIMUM OF TWO (2) FEET OF EXISTING ASPHALT FOR ALL CURB AND GUTTER REPLACEMENT.
- 7. ALL UTILITY CUTS IN EXISTING STREETS ARE REQUIRED TO BE BACKFILLED WITH FLOWFILL AND, PATCHED WITH A MINIMUM OF 9-INCH ASPHALT PATCH.
- 8. A COPY OF THE GEOTECHNICAL REPORT SPECIFYING THE PAVEMENT THICKNESS DESIGN MUST BE SUBMITTED FOR REVIEW.
- 9. PERMITS WILL BE REQUIRED FOR THE INSTALLATION OF ALL UTILITIES. THE DEVELOPER/CONTRACTOR/ENGINEER, MUST SUPPLY THE LINEAL FOOTAGES AND THE NUMBER OF SERVICE CUTS REQUIRED FOR ALL UTILITIES.

- 10. PERMITS WILL BE REQUIRED FOR THE INSTALLATION OF ALL CONCRETE AND ASPHALT FACILITIES. PRIOR TO THE ISSUANCE OF THESE PERMITS, THE DEVELOPER/CONTRACTOR/ENGINEER, MUST SUPPLY THE SQUARE YARDAGE/SQUARE FOOTAGES OF ALL CONCRETE AND ASPHALT BEING INSTALLED.
- 11. THE SIA MUST BE COMPLETED WITH APPROPRIATE COLLATERAL, ALONG WITH THE PROPOSED PLAT, PRIOR TO THE ISSUANCE OF ANY ROW ACCESS/CONSTRUCTION PERMIT.
- 12. NO C.O.'S WILL BE ISSUED FOR ANY BUILDING CONSTRUCTION UNTIL ALL ROW IMPROVEMENTS HAVE BEEN COMPLETED AND HAVE BEEN GRANTED PRELIMINARY ACCEPTANCE.
- 13. UPON COMPLETION OF ALL CONSTRUCTION, A DRAINAGE CERTIFICATION LETTER, AND APPROPRIATE AS-BUILT CONSTRUCTION DRAWINGS AND INFORMATION WILL BE REQUIRED. THIS LETTER WILL BE STAMPED AND SIGNED BY THE ORIGINAL DESIGN ENGINEER.

Community & Economic Development Department www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000B Brighton, CO 80601-8218 PHONE 720.523.6800 rax 720.523.6967

Development Review Team Comments

Date: 10/3/18 Project Number: PRC2018-00002 Project Name: Pomponio Filing 3 and 4 FDP/ Final Plats

For submission of revisions to applications, a cover letter addressing each staff review comments must be provided. The cover letter must include the following information: restate each comment that require a response and provide a response below the comment; respond to each comment with a description of the revisions and the page of the response on the site plan. And identify any additional changes made to the original document other than those required by staff.

A re-submittal is required. Please submit 1 hard copy and 1 electronic copy to the Community and Economic Development Department front desk with the re-submittal form.

An additional 20% review fee will be required after the third review and upon submittal of the fourth review.

Commenting Division: Development Services, Planning Name of Reviewer: Emily Collins Email: <u>ecollins@adcogov.org</u>

PLN1. REQUEST:

- a. A Final Development Plan (FDP) and Final Plat for Filings 3 (33 lots) and 4 (81 lots) of the Pomponio Terrace PUD to allow 114 townhome units.
- b. A second submittal was received September 7, 2018.

PLN2. FDP COMMENTS:

- a. Sheets 7 and 8 and duplicates of the Filing 4 site plan. Possibly Filing 3 site plan was meant to be one of these pages.
- b. Staff has concerns about the side orientation for the townhomes proposed along W. 68th Ave and would encourage enhanced landscape/ fence treatment or minimum % masonry and windows on these 4 elevations.
- c. Staff has concerns with the proposed amenities and the development's ability to meet the active recreation requirements.
 - i. Exercise equipment could be incorporated into more areas of the site.
 - ii. Where is the equipment for cornhole, table tennis, etc to be kept?
- d. Development Standards:

Charles "Chaz" Tedesco

DISTRICT 2

BOARD OF COUNTY COMMISSIONERS

Erik Hansen

DISTRICT 3

- i. The proposed 4 exhibits are difficult to implement during building permit review. Please simplify the standards (i.e. define front, side, rear property line and have a standard setback) or label the site plan with the setback exhibit to be applied in that area.
- ii. It is confusing to have a 10' front setback on some local streets and 5' on all other property lines, including streets, alleys, or common areas.
- iii. The encroachments notes are contradictory and need to be revised.
- iv. If the 2' encroachment is meant for overhangs, bay windows, etc. this is already accounted for in building code.
- v. Non-livable spaces are included in overall building setbacks and the proposed language would effectively allow a 0' setback for porches which is not permitted under building code.
- vi. Non-combustible materials (concrete steps, pads, etc) are permitted to encroach into a setback, but not over the property line or into easements.
- e. Parking:
 - i. Parking dimensions for Filing 3 not provided. Dimensions in Filing 4 do not conform to the minimum 9' x 19' per Section 4-12-04-09.
 - ii. Is handicap parking provided anywhere in the development?
- f. Lighting:
 - i. Please provide a lighting plan for the entire development showing location of lighting elements and radius of light.
 - ii. Staff has concerns about inadequate lighting in guest parking areas and in alley accessed areas.
- g. Pet Stations/Trash Receptacles:
 - i. Please check Filing 4 as the table notes 3 stations. Staff only saw one on the plans.
 - ii. Please consider adding additional pet stations and trash receptacles along walking paths or in common areas, such as near benches and bike racks.
 - iii. How many of these amenities included in Filing 1 and 2?

PLN3. PLAT COMMENTS:

a. Filing 3, Outlot A: Staff did not see any notes on the plat designating the use or purpose of the outlot.

Commenting Division: Development Services, Engineering:

Name of Review: Matt Emmens

Email: <u>memmens@adcogov.org</u>

ENG1: Review of the engineering/construction documents email to applicant on 5/18/2018. See Doc #5780913.

Applicant Response: Responses have been added to this table separately.

County Response: Engineering and construction documents are currently being reviewed but, are not yet approved.

ENG2: The linework on the FDP's needs properly labeled. On sheet 6 of the Filing 3 FDP and Sheet 7 of the Filing 4 FDP, is it hard to tell which are the property line, easement line, edge of concrete and building envelope. Adding labels to these lines would resolve this problem.

Applicant Response: Labels have been added to clarify.

County Response: Comment resolved.

EGR3: Add labels to all of the radius returns on the drive isles. Applicant Response: Labels have been added for curve radius at the radius returns. **County Response: This comment resolved.**

EGR4: In Filing 3 the drive isle intersection adjacent to building # 15/16 appears very tight. These drive isles will need to accommodate trash vehicles. Provide an AutoTurn routine showing that garbage trucks can make that turn.

Applicant Response: The standard Adams County fire truck (larger than a trash vehicle) has been routed through the drive isles and an exhibit is provided with this submittal.

County Response: Turning movement templates were not found in the resubmittal package. The applicant will need to submit an analysis showing that fire and trash vehicles can maneuver through the site.

Commenting Division: Development Services, Right-of-Way: Name of Review: Marissa Hillje Email: <u>mhillje@adcogov.org</u>

ROW1: See attached redlines.

Commenting Division: Development Services, Building Safety: Name of Review: Justin Blair Email: jblair@adcogov.org

BSD1- Sheet 4 (Setback and Encroachment Notes) needs to be revised.

(1)" Encroachments of not more than 2 feet shall be allowed in all setbacks". This statement is not necessary and causes confliction. The building code already address the limitations and location of roof overhangs and projections.

(2) "Non livable spaces can encroach into setback up to 5". Any construction that is less than 5' will be required fire rated construction per the IRC\IBC. Covered porches shall maintain the 5' setback.

(3)" Setback encroachments may include roof overhangs, bay windows, and fireplaces." Again these items are already addressed in the IRC\IBC with limitations. Given some of the proposed setbacks are already 5', a bay window may not be permitted if the encroachment is less than 3' from a property line.

(4) "Unroofed landings, decks, and stairs ,ay project into required setback....." . This is if they are of non combustible materials. No wooden or non fire rated construction is allowed less than 5' from property line

Community & Economic Development Department www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000B Brighton, CO 80601-8218 PHONE 720.523.6800 Fax 720.523.6967

Development Review Team Comments

Date: 11/16/18 Project Number: PRC2018-00002 Project Name: Pomponio Filing 3 and 4 FDP/ Final Plats

For submission of revisions to applications, a cover letter addressing each staff review comments must be provided. The cover letter must include the following information: restate each comment that require a response and provide a response below the comment; respond to each comment with a description of the revisions and the page of the response on the site plan. And identify any additional changes made to the original document other than those required by staff.

A re-submittal is required. Please submit 1 hard copy and 1 electronic copy to the Community and Economic Development Department front desk with the re-submittal form.

An additional 20% review fee is required upon submittal of the fourth review.

Commenting Division: Development Services, Planning Name of Reviewer: Emily Collins Email: <u>ecollins@adcogov.org</u>

PLN1. REQUEST:

- a. A Final Development Plan (FDP) and Final Plat for Filings 3 (33 lots) and 4 (81 lots) of the Pomponio Terrace PUD to allow 114 townhome units.
- b. A second submittal was received September 7, 2018.
- c. A third submittal was received on October 25, 2018.

PLN2. FDP COMMENTS:

- a. Sheet 3 has a table under Section K, but this table is blank. Please remove.
- b. Sheet 7: Please revise legend for bike/pedestrian paths as the mylars will not be printed in color and the two paths look the same in the legend.
- c. Please add the lighting elements to the amenity schedules and site plans on Sheet 13 and 17.
- d. Please revise the location of the decorative rail fence along W. 68th Ave. and place on the interior of the landscape.
- e. Staff has concerns about the site plans illustrating setbacks as there is inconsistency among the "front" setback on units which changes between a 10' or a 5' setback along the public streets. This is also inconsistent for Building 10-11 in Filing 4 which do not front directly onto Clay Street but show a 10' setback.

- i. Is there a specific reason for the 10' setback (front facing the street vs. side facing the street)? Please note the bulk and dimension standards approved in the PDP which includes a minimum 10' setback from public right of way (this is not reflected in the proposed setbacks).
- ii. Can the development standards have a simple table with a minimum 5' structure to property line setback, 10' setback from public right of way, and maximum height?
- iii. The site plan should also remove the bold "approximate building outline" and just show the setback line and the property line.
- iv. Please demonstrate how Buildings 6-8 in Filing 3 will be landscaped along W.
 69th Ave. given the minimum 6' separation from utility lines and 5' separation from sidewalks as shown on Sheet 12.

PLN3. PLAT COMMENTS:

a. A Subdivision Improvements Agreement has not been submitted for staff review.

Commenting Division: Development Services, Engineering: Name of Review: Matt Emmens Email: <u>memmens@adcogov.org</u>

ENG1: Review of the engineering/construction documents email to applicant on 5/18/2018. See Doc #5780913.

Applicant Response: Responses have been added to this table separately.

County Response: Engineering and construction documents are currently being reviewed but, are not yet approved.

County Response (3rd submittal): Construction documents were not include in the resubmittal package. The construction documents are not approved yet.

ENG2: The linework on the FDP's needs properly labeled. On sheet 6 of the Filing 3 FDP and Sheet 7 of the Filing 4 FDP, is it hard to tell which are the property line, easement line, edge of concrete and building envelope. Adding labels to these lines would resolve this problem. Applicant Response: Labels have been added to clarify.

County Response: Comment resolved.

EGR3: Add labels to all of the radius returns on the drive isles. Applicant Response: Labels have been added for curve radius at the radius returns.

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Applicant Response: The standard Adams County fire truck (larger than a trash vehicle) has been routed through the drive isles and an exhibit is provided with this submittal.

County Response: Turning movement templates were not found in the resubmittal package. The applicant will need to submit an analysis showing that fire and trash vehicles can maneuver through the site.

County Response (3rd submittal): The turning templates look acceptable however, the type of vehicle used in the analysis is not indicated on the plan. Add a detail of the vehicle to the templates. Also, the text on the templates is very thick and hard to read. Please use a thinner or bigger font.

Commenting Division: Development Services, Right-of-Way: Name of Review: Marissa Hillje Email: <u>mhillje@adcogov.org</u>

ROW1: Addresses can be assigned on the plat. Addressing the lots brings bring up the question of whether or not the developer would like Tracts A & B labeled as private drives/streets. The street names would be based on the Denver Metro Grid Please let the County know. In any case, it would be helpful to have a further discussion how the lots should be addressed.

ROW2: Signature for the Crestview water and sanitation easements needs to be on plat prior to BOCC hearing.

Commenting Division: Development Services, Building Safety: Name of Review: Justin Blair Email: jblair@adcogov.org

BSD1- No comments.

Commenting Division: Parks and Open Space Name of Review: Aaron Clark Email: <u>aclark@adcogov.org</u>

PRK1: Please provide more information on the concrete walks that will connect to the Little Dry Creek Trail, specifically width and depth. (Sheet 7 of the FDP)

PRK2: Again on sheet 7, please provide more detail regarding the "all-weather maintenance path," such as the type of surface (crusher fines?) and width.

Community & Economic Development Department www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000B Brighton, CO 80601-8218 PHONE 720.523.6800 Fax 720.523.6967

Development Review Team Comments

Date: 1/8/19 Project Number: PRC2018-00002 Project Name: Pomponio Filing 3 and 4 FDP/ Final Plats

For submission of revisions to applications, a cover letter addressing each staff review comments must be provided. The cover letter must include the following information: restate each comment that require a response and provide a response below the comment; respond to each comment with a description of the revisions and the page of the response on the site plan. And identify any additional changes made to the original document other than those required by staff.

A re-submittal is required. Please submit 1 hard copy and 1 electronic copy to the Community and Economic Development Department front desk with the re-submittal form.

An additional 20% review fee is required upon submittal of the fourth review. <u>This fee has not</u> <u>been submitted.</u>

Commenting Division: Development Services, Planning Name of Reviewer: Emily Collins Email: <u>ecollins@adcogov.org</u>

PLN1. REQUEST:

- a. A Final Development Plan (FDP) and Final Plat for Filings 3 (33 lots) and 4 (81 lots) of the Pomponio Terrace PUD to allow 114 townhome units.
- b. A second submittal was received September 7, 2018.
- c. A third submittal was received on October 25, 2018.
- d. A fourth submittal was received on December 14, 2018.

PLN2. FDP COMMENTS:

a. Add third review comments addressed.

Charles "Chaz" Tedesco

DISTRICT 2

PLN3. PLAT COMMENTS:

a. A Subdivision Improvements Agreement was submitted for both plats. Comments will be provided in a compiled comment sheet after review from legal and finance is complete.

Erik Hansen

DISTRICT 3

Commenting Division: Development Services, Engineering: Name of Review: Matt Emmens Email: memmens@adcogov.org

ENG1: Review of the engineering/construction documents email to applicant on 5/18/2018. See Doc #5780913.

Applicant Response: Responses have been added to this table separately.

County Response: Engineering and construction documents are currently being reviewed but, are not yet approved.

County Response: (3rd submittal): Construction documents were not include in the resubmittal package. The construction documents are not approved yet.

Applicant Response: (4th Submittal): Crestview comments are currently being addressed on the construction document set and will be re?submitted to the County when complete.

County Response: Noted. The plat case cannot be scheduled for a BoCC hearing until all construction documents are approved.

ENG2: The linework on the FDP's needs properly labeled. On sheet 6 of the Filing 3 FDP and Sheet 7 of the Filing 4 FDP, is it hard to tell which are the property line, easement line, edge of concrete and building envelope. Adding labels to these lines would resolve this problem.

Applicant Response: Labels have been added to clarify.

County Response: Comment resolved.

EGR3: Add labels to all of the radius returns on the drive isles.

Applicant Response: Labels have been added for curve radius at the radius returns. **County Response: Comment resolved.**

EGR4: In Filing 3 the drive isle intersection adjacent to building # 15/16 appears very tight. These drive isles will need to accommodate trash vehicles. Provide an AutoTurn routine showing that garbage trucks can make that turn.

Applicant Response: The standard Adams County fire truck (larger than a trash vehicle) has been routed through the drive isles and an exhibit is provided with this submittal.

County Response: Turning movement templates were not found in the resubmittal package. The applicant will need to submit an analysis showing that fire and trash vehicles can maneuver through the site.

County Response: (3rd submittal): The turning templates look acceptable however, the type of vehicle used in the analysis is not indicated on the plan. Add a detail of the vehicle to the templates. Also, the text on the templates is very thick and hard to read. Please use a thinner or bigger font.

Applicant Response: (4th Submittal): 22x34 fire truck turning template exhibits with vehicle profile have been included in this submittal.

County Response: Comment resolved.

Commenting Division: Development Services, Right-of-Way: Name of Review: Eden Steele Email: <u>esteele@adcogov.org</u>

ROW1: Signature for the Crestview water and sanitation easements needs to be on plat prior to BOCC hearing.

ROW2: Addresses can be assigned on the plat. See the attached plat with suggested addresses

Commenting Division: Development Services, Building Safety: Name of Review: Justin Blair Email: jblair@adcogov.org

BSD1- Previous items have been addressed and completed. Please be advised that the Board of County Commissioners has recently adopted the 2018 International Codes. This codes will take effect on January 12th, 2019.

Commenting Division: Parks and Open Space Name of Review: Aaron Clark Email: <u>aclark@adcogov.org</u>

PRK1: No comments.





John W. Hickenlooper Governor

Robert Randall Executive Director

Kevin G. Rein, P.E. Director/State Engineer

May 23, 2018

Emily Collins Adams County Community and Economic Development Department Transmitted via email: <u>ecollins@adcogov.com</u>

RE: Pomponio Terrace Subdivision Filings 3 & 4 Case no. PRC2018-00002 Part of the E ½, Sec. 5, T3S, R68W, 6th P.M. Water Division 1, Water District 7

Dear Ms. Collins:

We have reviewed the information received by this office on May 11, 2018 regarding the above referenced referral. The Applicant is proposing to develop 6.5 acres to allow for 114 townhome units, to develop 2.5 acres to allow 33 lots and to develop 4.4 acres to allow 81 lots.

Water Supply Demand

A Water Supply Information Summary Sheet was not submitted; therefore, the water supply demand for this subdivision is unknown.

Source of Water Supply

A letter from Crestview Water and Sanitation District ("District"), dated November 9, 2015, was provided. According to the letter the District is willing to provide water and sanitary sewer service for the residential development under the condition that the land owner/developer install adequate water and sanitary sewer mains and upgrades to the existing system(s) affected by the development in accordance with District Rules and Regulations and engineering requirements. According to our records, the District receives treated water on demand pursuant to Denver Water Distributor Contract No. 14239A. The Denver Water Department is considered to be a reliable water source.

A search of our records indicate an existing well operating under well permit no. 285396 is located within the bounds of the proposed subdivision. Section 37-92-602(3)(b)(III), C.R.S. requires that the cumulative effect of all wells in a subdivision be considered when evaluating material injury to decreed water rights. Therefore, the existing exempt well permit must be re-permitted pursuant to a decreed augmentation plan, or the existing well must be plugged and abandoned in accordance with the Water Well Construction Rules 2-CCR-402-2.

State Engineer's Office Opinion

Based on the above and pursuant to Section 30-28-136(1)(h)(II), C.R.S., the State Engineer's Office has not received enough information to render an opinion regarding the potential for causing material



injury to decreed water rights, or the adequacy of the proposed water supply. Prior to further review of the subdivision water supply plan, a completed Water Supply Information Summary Sheet (GWS-76) is needed. The applicant must also clarify if the well operating under permit no. 285396 will be used within the subdivision or if the well will be plugged and abandoned prior to subdivision approval. If the well will be used within the subdivision the proposed uses must be specified and the applicant must demonstrate that a court approved augmentation plan has been obtained for the well.

Should you or the applicant have any questions, please contact Ailis Thyne at (303) 866-3581 x8216.

Sincerely, oam /1

Joanna Williams, P.E. Water Resource Engineer

Ec: Subdivision File #24457 File for well permit no. 285396



January 17, 2019

Ms. James R. Merlino Pomponio Terrace Holdings, LLC 1140 US Highway 287, #400-125 Broomfield, Colorado 80020

Re: Water and Sanitary Sewer Service for Filing Nos. 1 and 2 of Pomponio Terrace Subdivision

Dear Mr. Merlino:

This letter is acknowledging the request from Pomponio Terrace Holdings, LLC ("PTH") for an updated water and sanitary sewer service availability and "commitment to serve" letter for the 126 single family lots developed within Filing Nos. 1 and 2 of Pomponio Terrace Subdivision as described on the Pomponio Terrace Subdivision Filing No. 1 – Plat Correction No. 1, County of Adams, State of Colorado, and Pomponio Terrace Subdivision Filing No. 2 – Plat Correction No. 1, County of Adams, State of Colorado (collectively, the "Property") located within the boundaries of the Crestview Water & Sanitation District ("Crestview").

Crestview hereby agrees to provide an adequate supply of water and sanitary sewer service to PTH, and its successors, for service to 126 single family lots within the Property. The commitment is contingent only upon payment of Crestview's requisite fees and charges, as set forth in the applicable Crestview schedules, and subject to the Crestview Rules and Regulations.

If you have any questions or require additional information, please contact our office.

Sincerely,

Matchel T. Cump Mitchell T. Terry **District Manager**



February 8, 2019

Ms. James R. Merlino Pomponio Terrace Holdings, LLC 1140 US Highway 287, #400-125 Broomfield, Colorado 80020

Re: Water and Sanitary Sewer Service for Proposed Filing Nos. 3 and 4 of Pomponio Terrace Subdivision

Dear Mr. Merlino:

This letter is acknowledging the request from Pomponio Terrace Holdings, LLC ("PTH") for an updated water and sanitary sewer service availability and "commitment to serve" letter for the proposed 114 townhome lots developed within the proposed Filing Nos. 3 and 4 of Pomponio Terrace Subdivision as described on <u>Exhibit A</u>, attached hereto and incorporated herein by this reference (collectively, the "Property") located within the boundaries of the Crestview Water & Sanitation District (Crestview).

Crestview hereby agrees to provide an adequate supply of water and sanitary sewer service to PTH, and its successors, for service to 114 townhome lots within the Property. The commitment is contingent only upon payment of Crestview's requisite fees and charges, as set forth in the applicable Crestview schedules, and subject to installation of adequate water and sanitary sewer mains within Filing Nos. 3 and 4 in accordance with District Rules and Regulations and engineering requirements if required by the District.

If you have any questions or require additional information, please contact our office.

Sincerely,

Mototell T. Jeny

Mitchell T. Terry District Manager



Right of Way & Permits

1123 West 3rd Avenue Denver, Colorado 80223 Telephone: **303.571.3306** Facsimile: 303. 571.3284 donna.l.george@xcelenergy.com

June 4, 2018

Adams County Community and Economic Development Department 4430 South Adams County Parkway, 3rd Floor, Suite W3000 Brighton, CO 80601

Attn: Emily Collins

Re: Pomponio Terrace Filing Nos. 3 and 4, Case # PRC2018-00002

Public Service Company of Colorado's (PSCo) Right of Way and Permits Referral Desk has reviewed the documentation for **Pomponio Terrace Filing Nos. 3 and 4**. To ensure that adequate utility easements are available within this development and per state statutes, PSCo requests the following dry utility easements within the lots:

To ensure that adequate utility easements are available within this development and per state statutes, PSCo requests:

- 6-feet within the lots for natural gas facilities including space for service trucks to drive
- 8-feet within the lots for electric facilities including space for transformers, pedestals, and cabling
- if gas and electric are within the same trench, a 10-foot wide dry utility easement is required, not to overlap any wet utility easement

Bear in mind that these utility easements must have 5-feet separation from gravity-fed wet utilities and 10-feet separation from forced-fed water utilities.

Public Service Company requests that the following language or plat note be placed on the preliminary and final plats for the subdivision:

Utility easements are dedicated to Adams County for the benefit of the applicable utility providers for the installation, maintenance, and replacement of electric, gas, television, cable, and telecommunications facilities (Dry Utilities). Utility easements shall also be granted within any access easements, tracts, and private streets in the subdivision. Permanent structures, improvements, objects, buildings, wells, and other objects that may interfere with the utility facilities or use thereof (Interfering Objects) shall not be permitted within said utility easements and the utility providers, as grantees, may remove any Interfering Objects at no cost to such grantees, including, without limitation, vegetation. Public Service Company of Colorado (PSCo) and its successors reserve the right to require additional easements and to require the property owner to grant PSCo an easement on its standard form.

Public Service Company also requests that all utility easements be **depicted graphically** on the preliminary and final plats. While these easements should accommodate the majority of utilities to be installed in the subdivision, some additional easements may be required as planning and building progresses.

In addition, 31-23-214 (3), C.R.S., requires the subdivider, at the time of subdivision platting, to provide for major utility facilities such as electric substation sites, gas or electric transmission line easements and gas regulator/meter station sites as deemed necessary by PSCo. While this provision will not be required on every plat, when necessary, PSCo will work with the subdivider to identify appropriate locations. This statute also requires the subdivider to submit a letter of agreement to the municipal/county commission that adequate provision of electrical and/or gas service has been provided to the subdivisions.

The property owner/developer/contractor must complete the **application process** for any new gas or electric service, or modification to existing facilities via FastApp-Fax-Email-USPS (go to: https://www.xcelenergy.com/start, stop, transfer/new_construction_service_activation_for_builders). It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center** at 1-800-922-1987 for utility locates prior to construction.

Please contact me at donna.l.george@xcelenergy.com or 303-571-3306 if there are any questions with this referral response.

Donna George Right of Way and Permits Public Service Company of Colorado



June 1, 2018

Emily Collins Adams County Community and Economic Development 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601

RE: Pomponio Terrance Filing 3 and 4, PRC2018-00002 TCHD Case No. 4928

Dear Emily Collins,

Thank you for the opportunity to review and comment on the proposed Final Development Plan to allow 114 townhomes, a Major Subdivision to allow 33 lots and a Major Subdivision to allow 33 lots for Filings 3 and 4 of Pomponio Terrace located along West 70th Avenue east of Federal Boulevard. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and has the following comments.

Community Design for Active Living

Because chronic diseases related to physical inactivity and obesity now rank among the country's greatest public health risks, TCHD encourages community designs that make it easy for people to include regular physical activity, such as walking and bicycling, in their daily routines. Neighborhoods best encourage residents to walk and/or bicycle as part of their daily routine when they contain a system of well-designed sidewalks and trails that connect with destinations in and adjacent to the community.

TCHD commends the applicant for incorporating a network of sidewalks throughout the site to allow pedestrians to move safely and easily through the neighborhood. The addition of bike racks and shelters in the common areas will encourage bicycle usage.

Sun Safety for Outdoor Common and Gathering Areas

Skin cancer is the most common cancer in the United States. Colorado has the 5th highest death rate from melanoma, the most deadly form of skin cancer. A leading risk factor for skin cancer is exposure to ultraviolet rays (UV) from the sun. Seeking shade when outside is one of the best ways to prevent overexposure to UV rays. TCHD recommends the use of shade in common areas like courtyards, patios and play areas through the planting of trees or physical shade structures. These considerations optimize the opportunity for people to shield themselves from the sun and reduce their risk of skin cancer. TCHD commends the applicant for incorporating a picnic shelter in Filing No. 4. TCHD encourages the applicant to consider additional shade structures and landscaping in order to create more shade in common areas.

Pomponio Terrance Filing 3 and 4, PRC2018-00002 June 1, 2018 Page 2 of 4

Mosquito Control - Stormwater Facilities

The site plan indicates that a detention pond is proposed. Detention ponds can become sites for mosquito breeding. To reduce the potential for human exposures to West Nile and other mosquito-borne viruses, TCHD recommends that the applicant prepare a mosquito control plan. Elements of the plan should include proper design, construction and regular inspection and maintenance of stormwater quality facilities, and mosquito larvaciding if the insects become a problem. The applicant may submit the mosquito control plan to TCHD for review. More information is available here http://www.tchd.org/276/Mosquitoes-West-Nile-Virus. A guidance document is attached.

Please feel free to contact me at 720-200-1571 with any questions.

Sincerely,

Skila Sprel

Sheila Lynch Land Use, Built Environment, and Health Program Manager

CC: Monte Deatrich, TCHD

Pomponio Terrance Filing 3 and 4, PRC2018-00002 June 1, 2018 Page 3 of 4

Tri-County Health Department Guidance for Preparation of Mosquito Control Plan

A Mosquito Control Plan should contain the following elements:

1. Designation of a management entity

This is the entity with authority/responsibility for implementing the plan. Typically, this will be a Special District or a Homeowners Association. If this is the case, the applicant shall submit a copy of the organizational Service Plan, by-laws or other legal document providing the authority for mosquito control. If the entity is the developer, this should be noted.

2. Funding mechanism

A method needs to be put in place to finance the program. This could be a commitment for the Service District, HOA or developer to include adequate funds for the activities as part of its annual budgeting process, or a plan by the District or HOA to assess an annual fee on residents in the subject service area, or to fund the program in some other way, per its legal authority as noted in #1.

3. Activities that will be undertaken to prevent mosquito breeding conditions

This section places emphasis on the proper design, construction, operation and maintenance of stormwater facilities to prevent mosquitoes from breeding. In most instances, it is nothing different than is already required by the County and Volume 3 of the Urban Drainage and Flood Control District's (UDFCD) Urban Storm Drainage Criteria Manual for flood control and stormwater quality. The literature on this subject, supported by local field experience, suggests that if stormwater facilities are well-designed, built to specification, and regularly inspected and maintained to meet operating standards, stormwater facilities that are designed to completely drain in 72 hours or less are likely to do so and to prevent mosquito breeding conditions.

The likelihood or extent of mosquito breeding can also be reduced through the proper design, construction and inspection/maintenance of retention ponds or constructed wetlands that are intended to hold permanent water pools.

We have found that at the time of construction of stormwater facilities, there is often little thought given to continuity of maintenance. Requiring the applicant to think through the tasks that need to be accomplished from design through operation, who will be responsible for tasks in each phase, and a schedule for their accomplishment increases the probability that these tasks will be completed.

Ideally, before getting to this point, the applicant will have considered stormwater facility options that do not rely on extended retention or detention of stormwater without flushing over a period of 2-3 days; e.g. grass swales, porous pavements, landscape detention, reducing directly connecting impervious areas to increase infiltration. This would be

coordinated through and in compliance with the requirements of the County's Engineering and/or Stormwater sections.

Suggested elements in this section include the following:

- Design review Qualified personnel review construction plans and conduct field investigation to ensure construction per specifications of UDFCD Volume 3 and County criteria.
- Operation and maintenance activities: This should identify who will conduct these activities (e.g., staff or contractor), and a schedule or trigger point for doing each task. Again, the UDFCD's Vol. 3 contains minimum operation and maintenance activities. If staff are to be used, this section should note if they will need training and how they will receive it.
- Regular inspections:

Facilities that are found to retain water should be inspected regularly to ensure that no mosquito larvae are present. Facilities should be inspected once a week beginning in April and continuing through September.

• Larvacide program:

Even if inspections do not reveal larvae, a larvaciding program should be established as a preventive measure at the same time that the inspection program begins (generally May) and continue through September. Some mosquitoes lay their eggs in mud, and when rain falls later, they can hatch and present a problem. Larvacide should be applied at the recommended rate and frequency specified by the product manufacturer. Mosquito control products can be found by doing a search on the internet.

Natural control of mosquito larva can be very effective is done properly. Consult the Colorado Department of Wildlife, Fisheries Division, for consultation on proper stocking of ponds with fish that will effectively control mosquito larvae.

<u>For Technical Assistance</u> - Contact Monte Deatrich, Tri-County Health Department's mosquito control specialist, if you have any questions about any elements of the mosquito control program. Mr. Deatrich is in Tri-County's Commerce City office; he can be reached by phone at (303) 439-5902, or by e-mail at <u>mdeatric@tchd.org</u>.

1801 19th Street Golden, Colorado 80401



Karen Berrv

State Geologist

May 31, 2018

Emily Collins Adams County Community & Economic Development Department 4430 S. Adams County Parkway, Suite W2000A Brighton, CO 80601-8216

Location: E¹/₂ Section 5, T3S, R68W, 6th P.M. 39.8203, -105.0221

Subject: Pomponio Terrace Filings 3 and 4 Case Number PRC2018-00002; Adams County, CO; CGS Unique No. AD-18-0014

Dear Ms. Collins:

Colorado Geological Survey has reviewed the Pomponio Terrace Filings 3 and 4 referral for a final development plan (FDP) for 114 townhome units on 6.5 acres, and major subdivisions (preliminary/final plats) for 33 lots on 2.15 acres and 81 lots on 4.4 acres located southeast of W. 70th Ave. and Federal Blvd. The currently proposed density and land use appear to be generally consistent with what CGS previously reviewed, and no new geologic or geotechnical information has been submitted for review. CGS's previous comments therefore remain valid:

Cesare, Inc.'s September 17, 2014 Preliminary Geotechnical Study contains a valid description of surface and subsurface conditions, and provides appropriate *preliminary* recommendations for mitigating the site's moderately to highly expansive clay soils. I agree that overexcavation, as described on pages 3 and 4 of Cesare's report, will be necessary to lower the swell potential and reduce the risk of differential heave and structural damage. Water injection is a less consistent, less reliable method of "pre-swelling" the site soils.

Once overexcavation, if performed, and site grading are complete, additional, lot-specific geotechnical investigations will be needed to better characterize soil engineering properties such as expansion/consolidation potential, density, strength and allowable bearing pressures. This information will be needed to verify that swell potentials have been sufficiently reduced, and to design individual foundations, floor systems, subsurface drainage, and pavements.

Provided Cesare's recommendations for overexcavation and additional, lot-specific investigations are correctly implemented, the site does not present any geologic hazards or development constraints that would preclude the proposed use and density. **CGS therefore has no objection to approval of the FDP and major subdivisions** (preliminary/final plats) as proposed.

Thank you for the opportunity to review and comment on this project. If you have questions or require additional review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely.

Jill Carlson, C.E.G. Engineering Geologist

Emily Collins

From:	Loeffler - CDOT, Steven [steven.loeffler@state.co.us]
Sent:	Thursday, May 31, 2018 8:17 AM
То:	Emily Collins
Subject:	Re: PRC2018-00002 Pomponio Filing 3 and 4 (Townhomes)

Emily,

I have reviewed the referral named above for Pomponio Terrace Filings 3 & 4 located near 6856 Federal Blvd. and have the following comments:

- Any utility work, or other proposed work in the State Highway 287 Right-of-Way will require a permit from our office. Permit application can be made online at the following link: https://www.codot.gov/business/permits/utilitiesspecialuse/online-permit-application Contact for any questions regarding this permitting is Tanisha Alford, who can be reached at 303-880-3693 or tanisha.alford@state.co.us
- If this development will have any impact to State Highway 287 drainage, we will want to review the drainage study.

Thank you for the opportunity to review this referral.

Steve Loeffler Permits Unit



P 303.757.9891 | F 303.757.9886 2829 W. Howard PI. 2nd Floor, Denver, CO 80204 <u>steven.loeffler@state.co.us</u> | <u>www.codot.gov</u> | <u>www.cotrip.org</u>

On Fri, May 11, 2018 at 3:31 PM, Emily Collins <<u>ECollins@adcogov.org</u>> wrote:

Good Afternoon:

Please see the attached Request for Comments on the above case. Comments are due by Friday, June 1st.

Thank you for your review of this case!

Emily Collins

From:garry [sgarry1@Sent:Thursday, MayTo:Emily CollinsSubject:PRC2018-0000

garry [sgarry1@comcast.net] Thursday, May 17, 2018 10:23 PM Emily Collins PRC2018-00002

We are absolutely against this proposed development. The congestion caused by the extensive housing development in the area has decreased the quality of life in the neighborhood. Sean Garry 7010 Clay St

Exhibit 6.1

Community & Economic Development Department www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000B Brighton, CO 80601-8218 PHONE 720.523.6800 FAX 720.523.6967

Request for Comments

Case Name:	Pompor
Case Number:	PRC20

Pomponio Terrace Filings 3 and 4 PRC2018-00002

May 11, 2018

Adams County Planning Commission is requesting comments on the following request:

1) Final Development Plan to allow 114 townhome units on approximately 6.5 acres in the Planned Unit Development (PUD) zone district; 2) Major Subdivision (Preliminary/Final Plat) to allow 33 lots on approximately 2.15 acres; 3) Major Subdivision (Preliminary/Final Plat) to allow 81 lots on approximately 4.4 acres

This request is located at **5856 Federal Blvd.**

The Assessor's Parcel Numbers are **0182505100041 and 0182505100040**

Applicant Information POMPONIO TERRACE HOLDINGS LLC (JIM MERLINO)

1140 US HIGHWAY 287, APT 400-125 BROOMFIELD, CO 80020

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216. (720) 523-6820 by **June 1, 2018** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to <u>ECollins@adcogov.org</u>.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at <u>www.adcogov.org/planning/currentcases</u>.

Thank you for your review of this case.

Emily Collins

Emily Collins, AICP Case Manager

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry DISTRICT 1 Charles "Chaz" Tedesco DISTRICT 2

Erik Hansen DISTRICT 3 Steve O'Dorisio

Mary Hodge DISTRICT 5

Exhibit 6.2

Community & Economic Development Department Development Services Division

www.adcogov.org



4430 South Adams County Parkway 1st Floor, Suite W2000B Brighton, CO 80601-8218 PHONE 720.523.6800 FAX 720.523.6967

Public Hearing Notification

Case Name:	Pomponio Terrace Filings 3 and 4
Case Number:	PRC2018-00002
Board of County Commissioners Date:	03/26/2019 at 9:30 a.m.

February 15, 2019

A public hearing has been set by the Adams County Board of County Commissioners to consider the following request:

 Final Development Plan to allow 114 townhome units on approximately 6.5 acres in the Planned Unit Development (PUD) zone district; 2) Major Subdivision (Final Plat) to allow 33 lots on approximately 2.15 acres; 3) Major Subdivision (Final Plat) to allow 81 lots on approximately 4.4 acres

This request is located at 6856 FEDERAL BLVD.The Assessor's Parcel Numbers are 0182505100041 and 0182505409010Applicant InformationPOMPONIO TERRACE HOLDINGS, LLC (JIM MERLINO)1140 US HWY 287 #400-125BROOMFIELD, CO 80020

The hearing will be held in the Adams County Hearing Room located at 4430 South Adams County Parkway, Brighton CO 80601. This will be a public hearing and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. If you require any special accommodations (e.g., wheelchair accessibility, an interpreter for the hearing impaired, etc.) please contact the Adams County Community and Economic Development Department at 720-523-6800 (or if this is a long distance call, please use the County's toll free telephone number at 1-800-824-7842) prior to the meeting date. For further information regarding this case, please contact the Department of Community and Economic Development, 4430 S. Adams County Parkway, Brighton, CO 80601, 720-523-6800. This is also the location where maps and/or text certified by the Planning Commission may be viewed. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case. Emily Collins, AICP Case Manager

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry DISTRICT 1 Charles "Chaz" Tedesco

Emma Pinter DISTRICT 3 Steve O'Dorisio

Mary Hodge DISTRICT 5

NOTICE OF PUBLIC HEARING FOR LANDUSE

NOTICE IS HEREBY GIVEN, that an application has been filed by **POMPONIO TERRACE HOLDINGS**, LLC Case # **PRC2018-00002** requesting: 1) Final Development Plan to allow 114 townhome units on approximately 6.5 acres in the Planned Unit Development (PUD) zone district; 2) Major Subdivision (Final Plat) to allow 33 lots on approximately 2.15 acres; 3) Major Subdivision (Final Plat) to allow 81 lots on approximately 4.4 acres on the following property:

LEGAL DESCRIPTION:

A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER AND IN THE SOUTHEAST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER OF SECTION 5, BEING A 3.25" ALUMINUM CAP IN MONUMENT BOX STAMPED LS 23053, FROM WHICH POINT THE NORTHEAST CORNER OF SAID NORTHEAST QUARTER OF SECTION 5, BEING A 3.25" ALUMINUM CAP IN MONUMENT BOX STAMPED LS 17668, BEARS NORTH 89°37'42" EAST, A DISTANCE OF 2637.26 FEET; THENCE SOUTH 00°47'38" WEST ALONG THE WEST LINE OF SAID NORTHEAST QUARTER, A DISTANCE OF 1398.86 FEET (DEEDED AS 1400');

THENCE SOUTH 89°12'22" EAST ALONG THE SOUTH LINE OF WEST 70TH AVENUE, AS CONVEYED IN DEED RECORDED IN BOOK 536 AT PAGE 311, A DISTANCE OF 286.05 FEET (DEEDED AS 286 FEET) TO THE NORTHWEST CORNER OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN DEED RECORDED UNDER RECEPTION NO. 2006000985302, BEING THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID SOUTHERLY LINE OF WEST 70TH AVENUE THE FOLLOWING FIVE (5) COURSES:

1. SOUTH 89°12'22" EAST, A DISTANCE OF 64.00 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667;

2. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 260.00 FEET AND A CENTRAL ANGLE OF 39°23'37", AN ARC DISTANCE OF 178.76 FEET (CHORD BEARS SOUTH 69°30'34" EAST, 175.26 FEET) TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667;

3. SOUTH 49°48'45" EAST, A DISTANCE OF 396.77 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667;

4. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 340.00 FEET AND A CENTRAL ANGLE OF 33°19'31", AN ARC DISTANCE OF 197.76 FEET (CHORD BEARS SOUTH 66°28'31" EAST, 194.98 FEET) TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667;

5. SOUTH 83°08'16" EAST, A DISTANCE OF 519.78 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667;

THENCE SOUTH 00°33'25" WEST ALONG THE WEST LINE OF LOT 1, BLOCK 1, SUNDSTRAND SUBDIVISION, RECORDED UNDER RECEPTION NO. A026680, A DISTANCE OF 1299.66 FEET TO A 3.25" ALUMINUM CAP STAMPED CDOT;

THENCE ALONG THE NORTHERLY LINE OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN DEED RECORDED IN BOOK 5158 AT PAGE 820 THE FOLLOWING FOUR (4) COURSES:

1. NORTH 57°33'55" WEST, A DISTANCE OF 382.30 FEET TO A 3.25" ALUMINUM CAP STAMPED CDOT;

2. NORTH 42°16'49" WEST, A DISTANCE OF 182.93 FEET TO A 3.25" ALUMINUM CAP STAMPED CDOT;

3. NORTH 57°33'55" WEST, A DISTANCE OF 130.95 FEET TO A 3.25" ALUMINUM CAP STAMPED CDOT;

4. NORTH 84°23'03" WEST, A DISTANCE OF 196.86 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667;

THENCE NORTH 57°33'55" WEST ALONG THE NORTHERLY LINE OF THE BURLINGTON NORTHERN AND SANTA FE RAILWAY COMPANY RIGHT-OF-WAY, AS DESCRIBED IN SAID DEED RECORDED IN BOOK 5158 AT PAGE 820, A DISTANCE OF 244.38 FEET;

THENCE ALONG THE EASTERLY AND NORTHERLY LINES OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN WARRANTY DEED RECORDED IN BOOK 1299 PAGE AT 154 THE FOLLOWING FOUR (4) COURSES:

1. NORTH 31°56'08" EAST, A DISTANCE OF 336.17 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667;

2. NORTH 58°03'52" WEST, A DISTANCE OF 235.00 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667;

3. NORTH 00°48'38" EAST, A DISTANCE OF 303.09 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667;

4. NORTH 89°11'22" WEST, A DISTANCE OF 429.19 FEET;

THENCE ALONG THE EAST LINE OF FEDERAL BOULEVARD AND ALONG THE WEST LINE OF SAID PARCEL OF LAND DESCRIBED IN DEED RECORDED UNDER RECEPTION NO. 2006000985302 THE FOLLOWING TWO (2) COURSES:

1. NORTH 02°03'26" WEST, A DISTANCE OF 24.18 FEET TO A PK NAIL WITH WASHER STAMPED PLS 24667;

2. NORTH 09°19'16" WEST, A DISTANCE OF 72.66 FEET;

THENCE ALONG THE NORTH AND WEST LINES OF SAID PARCEL OF LAND DESCRIBED IN DEED RECORDED UNDER RECEPTION NO. 2006000985302 THE FOLLOWING SIX (6) COURSES:

1. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 70.00 FEET AND A CENTRAL ANGLE OF 37°48'16", AN ARC DISTANCE OF 46.19 FEET (CHORD BEARS SOUTH 60°05'56" EAST, 45.35 FEET);

2. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 155.33 FEET AND A CENTRAL ANGLE OF 11°23'54", AN ARC DISTANCE OF 30.90 FEET (CHORD BEARS SOUTH 35°29'48" EAST, 30.85 FEET);

3. SOUTH 29°47'48" EAST, A DISTANCE OF 16.30 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP WITH ILLEGIBLE MARKINGS;

4. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 23.43 FEET AND A CENTRAL ANGLE OF 59°29'33", AN ARC DISTANCE OF 24.33 FEET (CHORD BEARS SOUTH 59°32'18" EAST, 23.25 FEET) TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667;

5. SOUTH 89°17'04" EAST, A DISTANCE OF 112.36 FEET TO A NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED PLS 24667;

6. NORTH 00°47'38" EAST, A DISTANCE OF 457.36 FEET TO THE POINT OF BEGINNING, CONTAINING 1,161,661 SQUARE FEET, OR 26.6681 ACRES, MORE OR LESS.

(The above legal description was provided by the applicant and Adams County is not responsible for any errors and omissions that may be contained herein and assumes no liability associated with the use or misuse of this legal description.)

APPROXIMATE LOCATION: 6856 Federal Blvd.

NOTICE IS HEREBY GIVEN that a public hearing will be held by the Adams County Board of County Commissioners in the Hearing Room of the Adams County Government Center, 4430 S. Adams County Parkway, Brighton, $CO - 1^{st}$ Floor, on the 26th day of March, 2019, at the hour of 9:30 a.m., to consider the above request where and when any person may appear and be heard.

For further information regarding this case, please contact **Greg Barnes** at the Department of Community and Economic Development, 4430 S. Adams County Pkwy, Brighton, CO 80601, 720.523.6800. This is also the location where the maps and/or text certified by the Planning Commission may be viewed.

BY ORDER OF THE BOARD OF COUNTY COMMISSIONERS JOSH ZYGIELBAUM, CLERK OF THE BOARD

TO BE PUBLISHED IN THE February 21, 2019 ISSUE OF THE Westminster Window

Please reply to this message by email to confirm receipt or call Megan Ulibarri at 720.523.6800.

Adams County Attn: Planning Addressing PLN

Adams County Construction Inspection Attn: PWCI . PWCI

Adams County Development Services - Building Attn: Justin Blair 4430 S Adams County Pkwy Brighton CO 80601

Adams County Fire Protection District Attn: Chris Wilder 8055 N. WASHINGTON ST. DENVER CO 80229

Adams County Treasurer: Send email Attn: Adams County Treasurer bgrimm@adcogov.org

Century Link, Inc Attn: Brandyn Wiedreich 5325 Zuni St, Rm 728 Denver CO 80221

CITY OF WESTMINSTER Attn: Andy Walsh 4800 W 92nd Avenue WESTMINSTER CO 80031

CITY OF WESTMINSTER Attn: MAC CUMMINS 4800 W 92ND AVE. WESTMINSTER CO 80031

Code Compliance Supervisor Attn: Eric Guenther eguenther@adcogov.org

COLO DIV OF WATER RESOURCES Attn: Joanna Williams OFFICE OF STATE ENGINEER 1313 SHERMAN ST., ROOM 818 DENVER CO 80203 COLO DIV OF WATER RESOURCES Attn: Joanna Williams OFFICE OF STATE ENGINEER 1313 SHERMAN ST., ROOM 818 DENVER CO 80203

COLORADO DEPT OF TRANSPORTATION Attn: Steve Loeffler 2000 S. Holly St. Region 1 Denver CO 80222

COLORADO GEOLOGICAL SURVEY Attn: Jill Carlson 1500 Illinois Street Golden CO 80401

Colorado Geological Survey: CGS_LUR@mines.edu Attn: Jill Carlson Mail CHECK to Jill Carlson

COMCAST Attn: JOE LOWE 8490 N UMITILLA ST FEDERAL HEIGHTS CO 80260

COUNTY ATTORNEY- Email Attn: Christine Francescani CFrancescani@adcogov.org

Crestview Water & Sanitation Attn: Patrick Stock 7145 Mariposa St PO Box 21299 Denver CO 80221-0299

Engineering Department - ROW Attn: Transportation Department PWE - ROW

Engineering Division Attn: Transportation Department PWE

GOAT HILL Attn: SHARON WHITEHAIR 2901 W 63RD AVE SP:0047 DENVER CO 80221 Hyland Hills Park & Recreation District Attn: Terry Barnhert 8801 Pecos St Denver CO 80260

METRO WASTEWATER RECLAMATION Attn: CRAIG SIMMONDS 6450 YORK ST. DENVER CO 80229

NS - Code Compliance Attn: Kerry Gress kgress@adcogovorg

Parks and Open Space Department Attn: Nathan Mosley mpedrucci@adcogov.org aclark@adcogov.org

REGIONAL TRANSPORTATION DIST. Attn: CHRIS QUINN 1560 BROADWAY SUITE 700 DENVER CO 80202

SHERIFF'S OFFICE: SO-HQ Attn: MICHAEL McINTOSH nblair@adcogov.org, aoverton@adcogov.org; mkaiser@adcog snielson@adcogov.org

Sheriff's Office: SO-SUB Attn: SCOTT MILLER TFuller@adcogov.org, smiller@adcogov.org aoverton@adcogov.org; mkaiser@adcogov.org

TRI-COUNTY HEALTH DEPARTMENT Attn: Sheila Lynch 6162 S WILLOW DR, SUITE 100 GREENWOOD VILLAGE CO 80111

TRI-COUNTY HEALTH DEPARTMENT Attn: MONTE DEATRICH 4201 E. 72ND AVENUE SUITE D COMMERCE CITY CO 80022

Tri-County Health: Mail CHECK to Sheila Lynch Attn: Tri-County Health landuse@tchd.org UNITED STATES POST OFFICE Attn: MARY C. DOBYNS 56691 E COLFAX AVENUE STRASBURG CO 80136-8115

WESTMINSTER FIRE DEPT. Attn: CAPTAIN DOUG HALL 9110 YATES ST. WESTMINSTER CO 80031

WESTMINSTER SCHOOL DISTRICT #50 Attn: Jackie Peterson 7002 Raleigh Street WESTMINSTER CO 80030

Xcel Energy Attn: Donna George 1123 W 3rd Ave DENVER CO 80223

Xcel Energy Attn: Donna George 1123 W 3rd Ave DENVER CO 80223 6860 FEDERAL BOULEVARD LLC 2471 S JOSEPHINE ST DENVER CO 80210-5413

6990 FEDERAL BLVD LLC 2471 S JOSEPHINE ST DENVER CO 80210-5413

ADAMS COUNTY 4430 SOUTH ADAMS COUNTY PKWY BRIGHTON CO 80601-8204

AGUILERA ANA CRYSTAL AND CARRILLO ANA LUISA 2853 W 67TH PL DENVER CO 80221-2225

ALCANTAR SALVADOR 7051 CANOSA CT WESTMINSTER CO 80030-5638

ALTO PARTNERS LLLP C/O HOUSING AUTHORITY OF THE COUNTY OF ADAMS 7190 COLORADO BLVD COMMERCE CITY CO 80022-1812

ARCHULETA SONYA R 6970 CLAY ST WESTMINSTER CO 80030-5643

ARELLANO SUSANO HERRERA 7000 CLAY ST WESTMINSTER CO 80030-5645

BAILEY COMPANY THE C/O SAVAGE SAVAGE & BROWN INC PO BOX 22845 OKLAHOMA CITY OK 73123-1845

BARRIOS MIGUEL GUERRERO AND RAMIREZ SILVIA LOPEZ 2820 W 67TH PL DENVER CO 80221-2226 BB 1 LLC 2700 S BROADWAY ENGLEWOOD CO 80113-1523

BEETHE SCOTT M AND BEETHE MELODY S 2680 FERN DR WESTMINSTER CO 80030-5649

BONNER DONALD L AND BONNER DEBRA L 7041 CANOSA COURT WESTMINSTER CO 80030

BPI WESTMINSTER LLC 2880 BRYANT ST DENVER CO 80211-4223

BROCKER D PAUL 1/3 AND WEBBER KAREN 1/3 AND REDMOND MICHAEL J 1/3 3333 REGIS BLVD DENVER CO 80221-1154

BURK WILLIAM R 2843 W 67TH PL DENVER CO 80221-2225

BYER LOUIS CHARLES LIVING TRUST THE 2705 W 66TH PL DENVER CO 80221

CARBAJAL-CARBAJAL SERGIO AND LAZARO-CARBAJAL BUENAVENTURA 2690 FERN DR WESTMINSTER CO 80030-5649

CARDEL HOMES US LIMITED PARTNERSHIP 9110 E NICHOLS AVE STE 120 CENTENNIAL CO 80112-3451

CARPANINI JENNIFER J 7061 CLAY ST WESTMINSTER CO 80030-5644 CITY OF WESTMINSTER 4800 W 92ND AVE WESTMINSTER CO 80030-6399

CITY OF WESTMINSTER THE 4800 W 92ND AVE WESTMINSTER CO 80031-6399

COELHO JAMES R 2701 W 66TH PL DENVER CO 80221-2217

COLORADO HOSPITALITY SERVICES INC 10 E 120TH AVE NORTHGLENN CO 80233-1002

COLORADO SOUND RECORDING LTD 3100 W 71ST AVE WESTMINSTER CO 80030-5439

COYLE WILLIAM 18199 E 160TH AVE BRIGHTON CO 80601

CROWDER DANIEL 906 W 69TH AVE DENVER CO 80221-7045

DEEMS RICHARD AND MS KARRON 1284 W 6TH AVE BROOMFIELD CO 80020-1802

DELGADO GLORIA AND DELGADO DARIO 7011 CLAY ST WESTMINSTER CO 80030-5644

EQUITY TRUST COMPANY 2841 W 66TH PL DENVER CO 80221-2219 FLATS AT MIDTOWN LLC AND UVECTOR NORTH GATE LLC 3595 S TELLER ST STE 301 LAKEWOOD CO 80235-2029

FORD ALBERT J 2840 W 67TH PL DENVER CO 80221-2226

FRAZIER GARY W 2703 W 66TH PL DENVER CO 80221-2217

GARCIA MANUEL AND GARCIA MARGARITA 990 HAZEL COURT DENVER CO 80204

GARCIA MARTIN 7021 BRYANT ST WESTMINSTER CO 80030

GARRY SEAN 2248 IMPERIAL LN SUPERIOR CO 80027-8231

GOFORTH DANO ALLEN 2698 FERN DR WESTMINSTER CO 80030-5649

GONZALEZ OLIVIA FELIX 7020 CLAY ST WESTMINSTER CO 80030-5645

GOODWILL INDUSTRIES OF DENVER 6850 FEDERAL BLVD DENVER CO 80221

GUTIERREZ EDUARDO AND MARIA ELSA 7001 CLAY ST WESTMINSTER CO 80030-5644 HILLEBRAND STEPHEN 7031 CANOSA CT WESTMINSTER CO 80030-5638

INSY KHAMNOUANE 6991 CLAY STREET WESTMINSTER CO 80030

JAMSAY RAYMOND JR AND JAMSAY JUDITH A 7031 CLAY ST WESTMINSTER CO 80030-5644

KELLOGG EDWIN AND KELLOGG DIANE 6961 CLAY ST WESTMINSTER CO 80030-5642

KHANTHAVONG KHONG AND PHACHITH SOMTHAI 6971 CLAY ST WESTMINSTER CO 80030-5642

KRUPP, GLASSMAN AND GLASSMAN C/O KEN JACKSON AND ASSOCIATES 425 S CHERRY ST SUITE 500 DENVER CO 80246

KUNUGI JANE S 7050 CLAY ST WESTMINSTER CO 80030-5645

LUCERO LORRAINE 7071 CLAY ST WESTMINSTER CO 80030-5644

LUIS ROSA 9230 IRVING ST WESTMINSTER CO 80031-2729

MAESTAS SANDRA PO BOX 2 DUPONT CO 80024 MAILLOUX JACQUES 2830 W 67TH PLACE DENVER CO 80221

MAKUH BEN TAYLOR AND MAKUH KYLIE RAE 7040 CLAY ST WESTMINSTER CO 80030-5645

MARTINEZ ANTHONY AND MARTINEZ TINA R 7051 CLAY ST WESTMINSTER CO 80030-5644

MARTINEZ MARC WILLIAM 6950 CLAY ST WESTMINSTER CO 80030-5643

MATLACK ANTHONY W 6660 DECATUR DENVER CO 80221

MONTOYA TROY E 6665 DECATUR ST DENVER CO 80221-2227

MORENO ROLANDO 6685 DECATUR STREET DENVER CO 80221

MULLBERRY PROPERTIES LLC 8781 SHERIDAN BLVD NO 125 ARVADA CO 80003-1440

NGC DEVELOPMENT LLC 2404 N RIO GRANDE AVE ORLANDO FL 32804-4828

NORTHGATE FEDERAL LP 2404 N RIO GRANDE AVE ORLANDO FL 32814 OLIVAS DENNIS L 7060 AVRUM DRIVE DENVER CO 80221

OLIVAS GREGORY K 13475 FAIRPLAY ST BRIGHTON CO 80601-6952

PADILLA AZALIA 6981 CLAY ST WESTMINSTER CO 80030-5642

PEREZ JOE F AND AGUIRRE ADRIANA L 7010 CANOSA COURT WESTMINSTER CO 80030

PETRALIA GEORGE 5380 FEDERAL BLVD DENVER CO 80221-1143

POMPONIO TERRACE HOLDINGS LLC ATTN JAMES R MERLINO 1140 US HIGHWAY 287 APT 400-125 BROOMFIELD CO 80020-7080

POMPONIO TERRACE METROPOITAN DISTRICT C/O WHITE BEAR AND ANKELE CENTENNIAL CO 80122-1880

POMPONIO TERRACE METROPOLITAN DISTICT C/O WHITE BEAR AND ANKELE CENTENNIAL CO 80122-1880

POMPONIO TERRACE METROPOLITAN DISTRICT C/O WHITE BEAR AND ANKELE CENTENNIAL CO 80122-1880

POMPONIO TERRACE METROPOLITAN DISTRICT C/O WHITE BEAR & ANKELE CENTENNIAL CO 80122-1880 PRESIDENTIAL CAPITAL CORPORATION C/O ROBERT W COYLE 18199 E 160TH AVE BRIGHTON CO 80601

RAP WEST LLC C/O RAPPAPORT REAL ESTATE 591 STEWART AVE STE 100 GARDEN CITY NY 11530-4702

RHINER GERALD D 6981 FEDERAL BLVD DENVER CO 80221

RIOS-ORTEGA GERZAIN 7011 BRYANT WAY WESTMINSTER CO 80030-5636

ROBINSON JAMES E AND ROBINSON SHARON A 8225 W 67TH PL ARVADA CO 80004-3386

RODARTE CARMEN SILVA AND RODARTE PEDRO 1447 W 101ST PL NORTHGLENN CO 80260-6229

SANDOVAL CLAUDIO VELASCO 1585 S TEJON STREET DENVER CO 80233

SANDOVAL DARLENE D 7021 CANOSA CT WESTMINSTER CO 80030-5638

SANTELLA DONNA LYNN 2681 W 66TH PL DENVER CO 80221-2217

SCHMIDT RYAN 7030 CLAY ST WESTMINSTER CO 80030-5645 SQUARE PLUMB AND TRUE 5515 E 36TH AVE DENVER CO 80207-1203

STONEBOX 71 LLLP 5340 WATERSTONE DR BOULDER CO 80301-6503

STRONG CAPITAL V LP 5910 NORTH CENTRAL EXPRESSWAY SUITE 1580 DALLAS TX 75206

U-STORE-IT LP PTA USI NO. 769 PO BOX 320099 ALEXANDRIA VA 22320

VAN DUSEN NICHOLAS A 7011 CANOSA CT WESTMINSTER CO 80030-5638

VENEGAS ODILON AND VENEGAS MARIA ISABEL GANDARA 7041 CLAY ST WESTMINSTER CO 80030-5644

VILLA FRANK 6951 CLAY ST WESTMINSTER CO 80030-5642

WESTKAMP RONALD F 7001 BRYANT WAY WESTMINSTER CO 80030-5636

WESTMINSTER STATION HOLDINGS LLC 233 PARK AVE STE 201 MINNEAPOLIS MN 55415-1132

CERTIFICATE OF POSTING



I, Libby Tart, do hereby certify that I had the property posted at

6856 Federal Blvd.

on <u>March 12, 2019</u>

in accordance with the requirements of the Adams County Zoning Regulations

Lilley Jact, AICP

Libby Tart

CERTIFICATE OF POSTING



I, Libby Tart, do hereby certify that I had the property posted at

6856 Federal Blvd.

on <u>March 12, 2019</u>

in accordance with the requirements of the Adams County Zoning Regulations

July Jact, AICP Libby Tart

Pomponio Terrace Filing 3 and 4 PRC2018-00002

April 9, 2019 Board of County Commissioners

Community and Economic Development Case Manager: Libby Tart

Requests

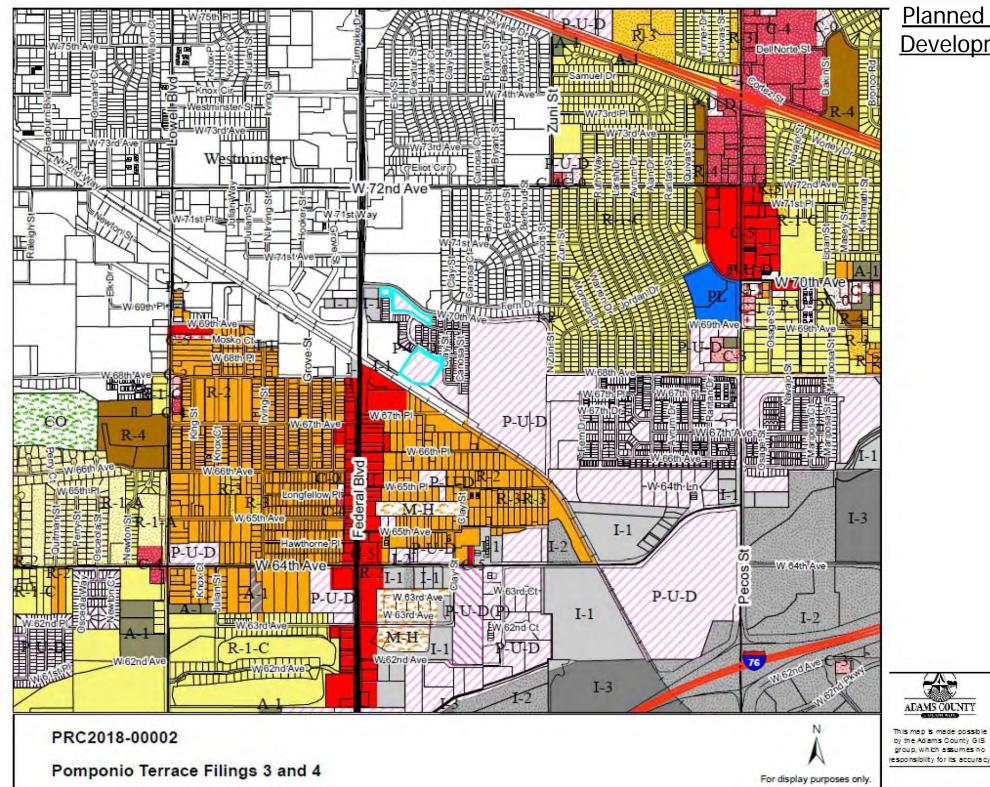
- 1. Final Development Plan to allow 114 townhome units on 6.5 acres in a PUD zone district.
- 2. Major Subdivision (Final Plat) to create 33 lots on approximately 2.15 acres.
- 3. Major Subdivision (Final Plat) to create 81 lots on approximately 4.4 acres.
- 4. Subdivision Improvement Agreements (SIAs) for Filing No.3 and Filing No. 4.



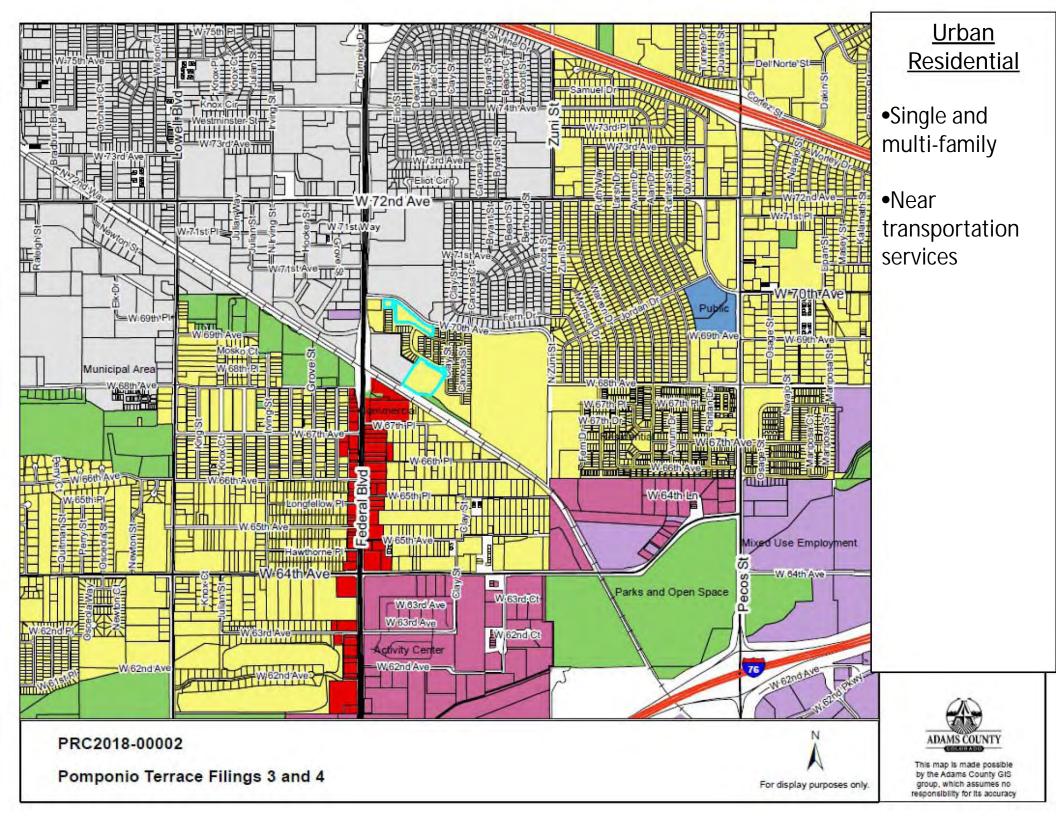
PRC2018-00002

Pomponio Terrace Filings 3 and 4

For display purposes only.



Planned Unit **Development**



Background

- Previous Approvals:
 - Rezone from I-1 to PUD in 2015
 - PDP and Preliminary Plat for Filings 1 and 2 approved in 2016
 - PDP Amendment approved to allow single-family attached in 2018
 - Metro District Service Plan Amendment approved at end of 2018

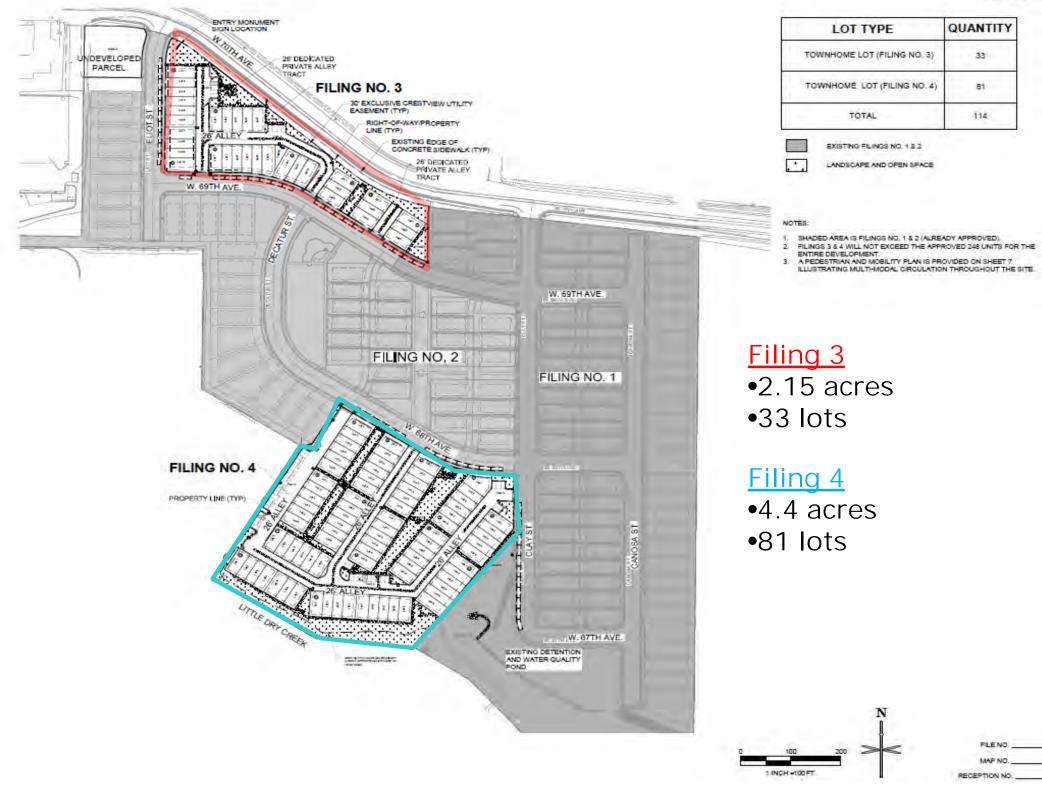
Final Development Plan (FDP)

- A FDP is the latter of two approvals:
 - Site-specific development plan
 - Final plat
 - SIA
- Includes:
 - Housing type and design
 - Development standards
 - Parking
 - Landscape
 - Open space and active recreation

Criteria for Final Development Plan

Section 2-02-10-04

- 1. Conforms to Comprehensive Plan
- 2. Conforms to PUD standards
- 3. Consistent with approved PDP
- 4. Construction plans meet all County, utility, Tri-County, etc. requirements



ARCHITECTURAL STANDARDS

E L Facades

a. All facades shall have carable siding manetalis which may include any, occurrin their, segmented exced composite, manufactured show, and resolution and the state of an alloyee b. Matching developing is queued. A minimum of two efficient materials shall be recorporated in each elevation. Names and elevation, second based and bakes!

election. Variations of the care nutrient (carbon technic tau using vertical board and father) of the some or effected your will be considered influence manuals. The contrage of the second material open not made to be mavely distributed.

12Rech

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b. Acceptable rooting transvals securary and identical grade composition moting

c. Rothog equipment, HWC with, sworing indexs and anternas, shall not be packed on the sense kick locing period of the root. Solar Panels will be allowed on the shall facing actes. This samalated cares not pack to those terms lated below.

No sumated does not opply to those terms lated server Piping, ventrey, fastery, solar period hamen and other coolide experient is powered to save shall be fasted to make their red sufficer color or otherwise designed is blend

with the row Faur later.

1.3 Wretowa and Doots

 α . Each whether shall affine have a rememum $2^{\prime\prime}$ normal order wood him border

5. Window frames shall be viry!

c. Each door sind either have a restrum 7° noninal wide wood into borden d. Bach and unit will have windows

3.4 High Vesibility and write facing a vignt of way are comprised of 3 or more different instantials as well as windows.

ARCHITECTURAL CHARACTER

Porportio Terreco is providented as a unique community that is experior exclosers a number of personal spins. The goal is Removed Territor is to accommodate the devices only needs of these many personalities while smalling an excetting paid compatible environmented.

and a state of the second

Perspecto Terrace nell provide a biend of the deliver hit terrary. There ell be a taxion of baddooral and modern expracetural dejay that will offer a creative edge to the design opportunities. The enterior colors will be a detaction of environmental influences balanced with smallee balacologics to enterior acceleration detacts.

The internations of the Architectural Guidelinnes will be to create a contemporary, vibrant commands are unlear fusion of architectural styles; that is conflorable and thereby to all its residents.





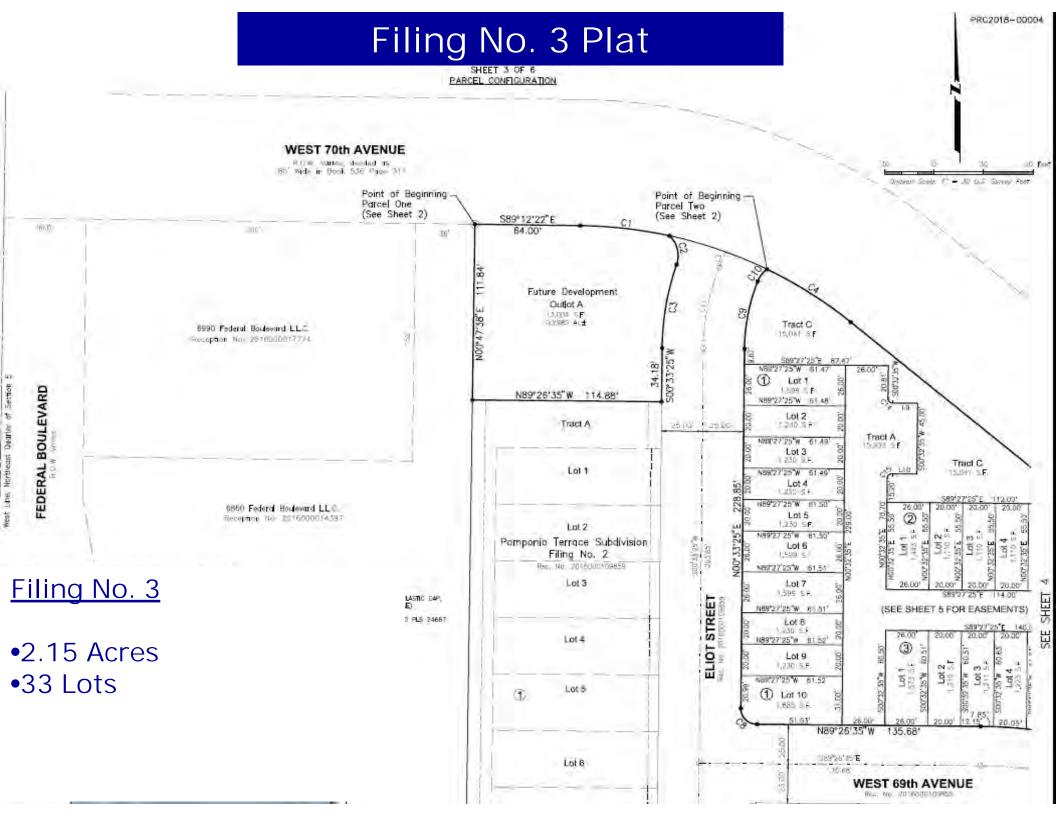


Housing Types SFA – alley loaded 1,500 s.f.

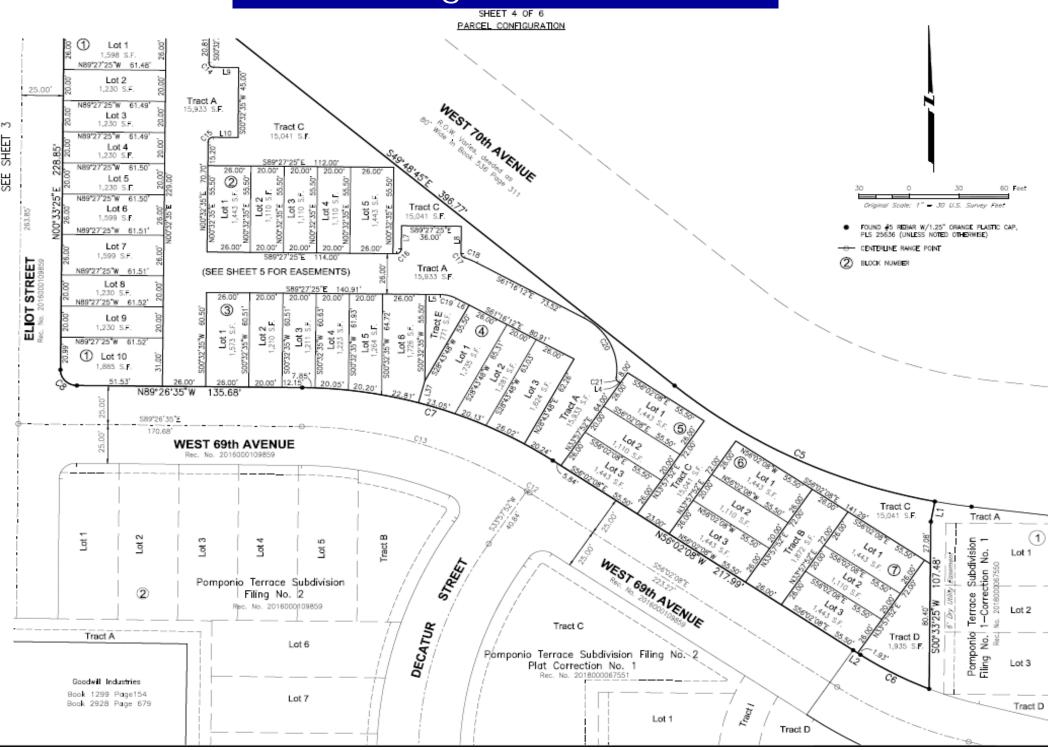
3-6 attached units

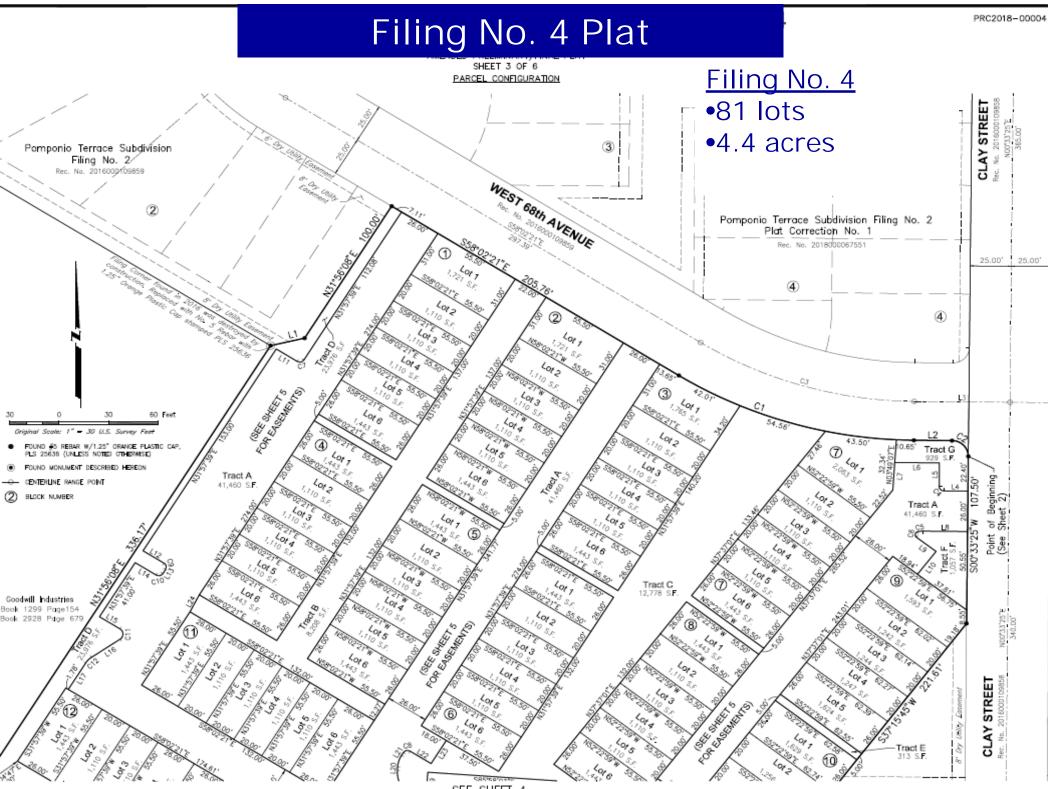
Major Subdivision-Final Plat Section 2-02-17-04

- 1. Conforms to approved preliminary plat
- 2. Conforms to subdivision design standards
- 3. Sufficient water supply
- 4. Sufficient public sewage
- 5. Identify any topographical conditions
- 6. Adequate drainage improvements
- 7. Adequate public infrastructure and collateral



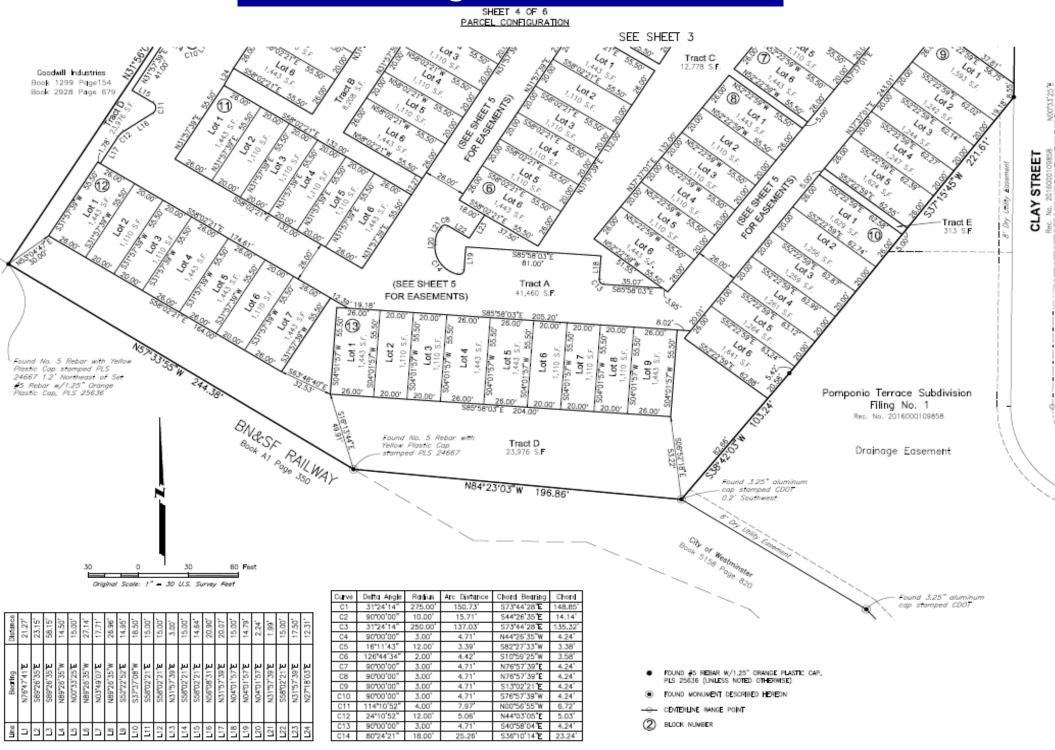
Filing No. 3 Plat





SEE SHEET 4

Filing No. 4 Plat



Major Subdivision-Final Plat

- Subdivision Improvement Agreements (SIA) signed and executed
- Rear loaded garages on alleyways
- All lots front on public streets and/or landscaped tracts
- Adequate public infrastructure to support the development is required
- Two Final Plats allow phasing of public improvements

Referral Comments

- Xcel, CDOT, Tri-County, and USGS
 - No concerns
- Colorado Division of Water:
 - Requested a Will Serve Letter from Crestview Water and Sanitation District
 - Applicant Provided Letter
- Development Services Engineering:
 - Final site construction and drainage plans approved
- Property Owners within 750 ft:

Notifications Sent	Comments Received
89	1

Recommendation PRC2018-00002 Pomponio Filings 3 and 4 FDP, Final Plats and SIAs

Staff recommends Approval based on 11 Findings-of Fact.