



**Board of County Commissioners**

**Eva J. Henry - District #1**  
**Charles "Chaz" Tedesco - District #2**  
**Emma Pinter - District #3**  
**Steve O'Dorisio - District #4**  
**Lynn Baca - District #5**

**PUBLIC HEARING AGENDA**

NOTICE TO READERS: The Board of County Commissioners' meeting packets are prepared several days prior to the meeting. This information is reviewed and studied by the Board members to gain a basic understanding, thus eliminating lengthy discussions. Timely action and short discussion on agenda items does not reflect a lack of thought or analysis on the Board's part. An informational packet is available for public inspection in the Board's Office one day prior to the meeting.

**THIS AGENDA IS SUBJECT TO CHANGE**

**Tuesday**  
**April 5, 2022**  
**9:30 AM**

**1. ROLL CALL**

**2. PLEDGE OF ALLEGIANCE**

**3. MOTION TO APPROVE AGENDA**

**4. AWARDS AND PRESENTATIONS**

- A.** Proclamation of April 2022 Stormwater Management and Floodwater Awareness Month
- B.** Proclamation of April 2022 as Sexual Assault Awareness Month

**5. PUBLIC COMMENT**

**A. Citizen Communication**

**During this portion of the meeting, the board will hear public comment. The Chair will determine how much time is reserved for public comment and how much time is permitted for each speaker.**

**B. Elected Officials' Communication**

**6. CONSENT CALENDAR**

- A.** List of Expenditures Under the Dates of March 21-25, 2022
- B.** Minutes of the Commissioners' Proceedings from March 29, 2022
- C.** Resolution Adopting the Alternate Property Tax Appeal Calendar and Procedures for Tax Year 2022 as Permitted by C.R.S. §39-5-122.7
- D.** Resolution Designating County Fee Property as County Road Right-of-Way for York Street

- E. Resolution Approving Abatement Petitions and Authorizing the Refund of Taxes for Account Numbers R0182317, R0105413, R0198656, R0091580, R0097723, R0174668, R0061231, R0159218, R0161514, R0129920, R0111915, R0192485, R0069036, C0037581, C0037515, and C0037439
- F. Resolution Ordering that Vehicle Inspection Fees be Deposited into the Adams County General Fund
- G. Resolution Approving the Intergovernmental Agreement between Board of County Commissioners of Douglas County, Colorado and the Respective Boards of County Commissioners for Adams, Arapahoe, Boulder, El Paso, Jefferson, and Larimer Counties, and the City and County of Denver to Memorialize their Respective Responsibilities in Connection with a Short-Term Placement Bed and Assessment Pilot (Pilot Project) Organized by Douglas County
- H. Resolution Accepting a Warranty Deed from Amerco Real Estate Company to Adams County for Right-of-Way Purposes
- I. Resolution Supporting Adams 14 School District

## 7. NEW BUSINESS

### A. COUNTY MANAGER

- 1. Resolution Approving the Agreement between Adams County and Aggregate Industries - WCR, Inc., in the Amount of \$7,673,243.05, for the 2022 Street Paving Program
- 2. Resolution Approving an Agreement between Adams County and A-1 Chipseal Company in the Amount of \$987,736.52 for the 2022 Seal Program
- 3. Resolution Approving the Agreement between Adams County and Green Dream International, LLC, in the Amount of \$263,640.00, for Crushed Virgin Class 6 Materials
- 4. Resolution Approving Amendment Three to the Agreement between Adams County and BearCom for the Acquisition and Installation of Equipment in the Amount of \$460,000.00 for County Emergency Vehicles
- 5. Resolution Approving Amendment One to the Agreement between Adams County and Denver Rescue Mission in the Amount of \$289,272.00 for the Northglenn Winter Housing Program
- 6. Resolution Approving Amendment One to the Agreement between Adams County and Vector Disease Control International, LLC, in the Amount of \$243,179.00, for Mosquito Control Services

### B. COUNTY ATTORNEY

## 8. LAND USE HEARINGS

### A. Cases to be Heard

- 1. RCU2020-00036 Potomac Boat & RV Storage
- 2. PRC2021-00003 Berkeley Villas
- 3. PLN2022-00008 Pioneer Pipeline DA Amendment

## 9. ADJOURNMENT



**AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE**

# **Proclamation**

## **“Stormwater Management and Flood Awareness Month”**

**April 2022**

**Whereas**, Adams County is a member of the National Flood Insurance Program Community Rating System; and,

**Whereas**, comprehensive planning for floodplain management is important to reduce flood damage to property within Adams County; and,

**Whereas**, Adams County implements Stormwater and Floodplain Management Programs (“the Programs”) through the Community and Economic Development, Public Works, and the Floodplain Coordinator; and,

**Whereas**, the Programs are implemented in accordance to the Federal, State, and Adams County Development Standards and Regulations; and,

**Whereas**, the Programs provide services to the public, including enhanced public safety, reduced damage to property and public infrastructure, and increased opportunities for education about stormwater and flooding; and,

**Whereas**, the activities of the Programs have allowed for a ten percent (10%) discount on flood insurance for property owners within Adams County; and,

**Whereas**, well-informed people make better decisions and can take steps to protect themselves from flooding such as retrofitting their homes, buying flood insurance, and planning the actions they will take during the next flood; and,

**Whereas**, the Adams County Community and Economic Development and Public Works have implemented a public information campaign and have created an informational webpage for residents of Adams County to access and obtain best management practices for stormwater and floodplain management.

**Now, Therefore, Be It Resolved**, that the Board of County Commissioners, of the County of Adams, State of Colorado, proclaims April 2022 as

**“Stormwater Management and Flood Awareness Month”**

*In witness whereof, we have set our hands and caused the seal of the county to be affixed April 5, 2022.*

**Proclamation**  
**“Sexual Assault Awareness Month”**  
**April 2022**

**Whereas**, April is Sexual Assault Awareness Month and calls attention to the fact that sexual violence is widespread by impacting 1 in 3 women and 1 in 4 men in Colorado; and

**Whereas**, rape, sexual assault, and sexual harassment impacts residents of Adams County, regardless of age race or gender; and

**Whereas**, victims of sexual assault are significantly more likely to suffer from depression, post-traumatic stress disorder, chemical dependencies, and even contemplate suicide; and

**Whereas**, this crime occurs far too frequently, goes unreported far too often, and leaves long lasting physical and emotional scars; and

**Whereas**, as a community, we share the responsibility for supporting victims by believing friends, family, and co-workers when it does occur, and bringing perpetrators to justice; and

**Whereas**, we must work together to educate the Adams County community about sexual violence, supporting survivors, and speaking out against harmful attitudes and actions impeding victims from seeking services; and

**Whereas**, prevention is possible when the entire community is involved. The first step is increasing awareness through education and supporting and believing victims. It’s time for all of us to join advocates and communities across the country in taking action to prevent sexual violence.

**Now, Therefore, Be It Resolved**, that the Board of County Commissioners of the County of Adams, State of Colorado, proclaims April 2022 as

**“Sexual Assault Awareness Month”**

We, the undersigned, are taking action as leaders in our community in creating an environment in which sexual assault is unacceptable, and survivors are supported. We join criminal justice agencies, victim advocates, and community service providers across Adams County in taking action to prevent sexual violence each day of the year and create change for the future.

**Supporting Agencies:** 17<sup>th</sup> Judicial District Attorney’s Office, 17<sup>th</sup> Judicial District Probation, 17<sup>th</sup> Judicial District Sexual Assault Response Team, Adams County Department of Human Services, Adams County Sheriff’s Office, Armed Forces, Arvada Police Department, Aurora Police Department, The Blue Bench, Brighton Police Department, Broomfield Police Department, Broomfield Department of Health and Human Services, Centura Health St. Anthony Hospitals, Commerce City Police Department, Community Reach Center, Federal Heights Police Department, Moving to End Sexual Assault, Northglenn Police Department, Ralston House, Thornton Police Department, UCHHealth - Anschutz, Westminster Police Department and Reaching Hope.

*In witness whereof, we have set our hands and caused the seal of the county to be affixed April 5, 2022.*

From: noreply@granicusideas.com  
Sent: Monday, April 4, 2022 5:50 AM  
To: Erica Hannah  
Subject: New eComment for Board of County Commissioners on 2022-04-05 9:30 AM

Please be cautious: This email was sent from outside Adams County

New eComment for Board of County  
Commissioners on 2022-04-05 9:30 AM

Trevor Steen submitted a new eComment.

Meeting: Board of County Commissioners on 2022-04-05 9:30 AM

Item: G. 22-305 Resolution Approving the Intergovernmental Agreement between Board of County Commissioners of Douglas County, Colorado and the Respective Boards of County Commissioners for Adams, Arapahoe, Boulder, El Paso, Jefferson, and Larimer Counties, and the City and County of Denver to Memorialize their Respective Responsibilities in Connection with a Short-Term Placement Bed and Assessment Pilot (Pilot Project) Organized by Douglas County

eComment: I am very happy to see the county finding new and innovative ways to help our at-risk youth. Being involved in the foster program myself, it is good to see that the county wants to continue to make progress and find new ways to support these youth.

[View and Analyze eComments](#)

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**County of Adams**  
**Net Warrant by Fund Summary**

<b>Fund Number</b>	<b>Fund Description</b>	<b>Amount</b>
1	General Fund	1,617,560.54
4	Capital Facilities Fund	226,457.81
5	Golf Course Enterprise Fund	42,436.90
6	Equipment Service Fund	53,797.76
13	Road & Bridge Fund	89,970.06
19	Insurance Fund	62,783.96
25	Waste Management Fund	4,728.67
27	Open Space Projects Fund	33,666.26
28	Open Space Sales Tax Fund	169,932.64
30	Community Dev Block Grant Fund	31,396.57
31	Head Start Fund	26,415.85
43	Colorado Air & Space Port	14,779.51
50	FLATROCK Facility Fund	2,524.18
		<u>2,376,450.71</u>

## Net Warrants by Fund Detail

1General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00008771	1008782	ANGEL ARMOR LLC	03/24/22	5,392.13
00008775	378404	CARUSO JAMES LOUIS	03/24/22	4,100.00
00008776	37193	CINA & CINA FORENSIC CONSULTIN	03/24/22	15,200.00
00008777	567304	COMMUNITY LANGUAGE COOPERATIVE	03/24/22	3,900.00
00008780	7967	SKAGGS PUBLIC SAFETY UNIFORM &	03/24/22	639.00
00008781	1184412	SNI COMPANIES	03/24/22	22,898.50
00768785	1273396	BRULE COUNTY REGISTER OF DEEDS	03/23/22	15.00
00768828	42779	ADAMS COUNTY COMMUNICATION CEN	03/24/22	60,936.72
00768829	13884	ADAMS COUNTY SHERIFF	03/24/22	1,554.67
00768830	433987	ADCO DISTRICT ATTORNEY'S OFFIC	03/24/22	78.24
00768831	1128011	ADT COMMERCIAL LLC	03/24/22	4,515.00
00768835	5991	ALMOST HOME INC	03/24/22	5,302.50
00768836	77051	ALPINE CREDIT, INC	03/24/22	19.00
00768838	1273374	ALVAREZ JACQUELINE	03/24/22	19.00
00768839	1256379	ARIAS JUAN MIGUEL	03/24/22	19.00
00768840	1113450	AURORA PUBLIC SCHOOLS FOUNDATI	03/24/22	3,000.00
00768842	1273595	BARRON LEONEL	03/24/22	19.00
00768843	1273465	BECKER JENNIFER	03/24/22	51.00
00768845	13160	BRIGHTON CITY OF (WATER)	03/24/22	64.08
00768846	13160	BRIGHTON CITY OF (WATER)	03/24/22	462.09
00768847	13160	BRIGHTON CITY OF (WATER)	03/24/22	146.33
00768848	13160	BRIGHTON CITY OF (WATER)	03/24/22	3,856.49
00768849	13160	BRIGHTON CITY OF (WATER)	03/24/22	30,263.26
00768850	13160	BRIGHTON CITY OF (WATER)	03/24/22	984.49
00768851	1273376	BROWN HUBERT	03/24/22	19.00
00768852	93187	BUDGET CONTROL SERVICES, INC	03/24/22	19.00
00768853	463401	BUSH MELVIN E	03/24/22	65.00
00768854	1273286	CAMARGO CHRISTINE	03/24/22	100.00
00768855	1267201	CAMPBELL KRISTI	03/24/22	400.00
00768856	1273586	CANDELARIO WILLIAM	03/24/22	17.00
00768858	56250	CCR EVENT GROUP	03/24/22	12,699.00
00768860	1273372	CHAVEZ MOLINA BLANCA	03/24/22	19.00
00768862	661015	CHP METRO NORTH LLC	03/24/22	1,050.00
00768863	241207	CLIFTONLARSONALLEN LLP	03/24/22	41,977.44
00768865	209334	COLO NATURAL GAS INC	03/24/22	1,445.85
00768867	1052113	COLORADO POVERTY LAW PROJECT	03/24/22	3,501.96

## Net Warrants by Fund Detail

1General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00768868	48089	COMCAST BUSINESS	03/24/22	2,100.00
00768869	1143613	COMMERCE CITY HOUSING AUTHORIT	03/24/22	301,072.54
00768871	1273375	CONNER REBECCA	03/24/22	19.00
00768872	255001	COPYCO QUALITY PRINTING INC	03/24/22	120.00
00768873	13565	CORE ELECTRIC COOPERATIVE	03/24/22	1,679.66
00768874	42984	CORECIVIC INC	03/24/22	183,107.61
00768875	708040	CRITERIA CORP	03/24/22	4,200.00
00768876	1143325	CSU EXTENSION PUEBLO COUNTY	03/24/22	675.00
00768880	700466	DIRECT EDGE DENVER LLC	03/24/22	2,156.00
00768881	808844	DUPRIEST JOHN FIELDEN	03/24/22	65.00
00768883	339325	FLEXENTIAL PROFESSIONAL SERVIC	03/24/22	1,850.01
00768884	698569	FOREST SEAN	03/24/22	65.00
00768885	237708	GABRIEL, ROEDER, SMITH & COMPA	03/24/22	4,250.00
00768886	293118	GARNER, ROSIE	03/24/22	65.00
00768890	1004844	GPS SERVERS LLC	03/24/22	116.00
00768891	675517	GREEN THOMAS D	03/24/22	65.00
00768892	808845	GRONQUIST, CHRISTOPHER L	03/24/22	65.00
00768894	698488	HANCOCK FORREST HAYES	03/24/22	65.00
00768895	14991	HELTON & WILLIAMSEN PC	03/24/22	662.50
00768896	1273592	HENEXSON ADAM LEE	03/24/22	19.00
00768897	10864	HILLYARD - DENVER	03/24/22	18,634.96
00768899	358482	HOLST AND BOETTCHER	03/24/22	57.00
00768901	286794	HOUSING AUTHORITY THE CITY OF	03/24/22	206,760.60
00768902	79260	IDEXX DISTRIBUTION INC	03/24/22	418.71
00768904	32276	INSIGHT PUBLIC SECTOR	03/24/22	179,346.00
00768905	1241191	INTERLOCK CONSTRUCTION CORP	03/24/22	10,241.99
00768906	44965	INTERVENTION COMMUNITY CORRECT	03/24/22	138,374.15
00768907	845634	JLH CONSULTING AND PUBLIC AFFA	03/24/22	300.00
00768908	1273381	KIMBER Z SMITH PC	03/24/22	66.00
00768910	1273377	LURIA EDMUNDO	03/24/22	19.00
00768911	1273288	MARTINEZ NICOLE	03/24/22	80.00
00768912	323649	MIDLAND CREDIT MANAGEMENT INC	03/24/22	19.00
00768913	1273598	MITCHELL DANIEL ALLEN	03/24/22	19.00
00768914	1273287	MONTOYA ANGELINA	03/24/22	160.00
00768915	106482	MORGAN COUNTY EXTENSION OFFICE	03/24/22	135.00
00768916	13591	MWI ANIMAL HEALTH	03/24/22	2,898.23

## Net Warrants by Fund Detail

1General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00768917	13422	NORTHGLENN AMBULANCE	03/24/22	200.00
00768918	573416	NYHOLM STEWART E	03/24/22	65.00
00768919	1273148	OHIO TREASURER OF STATE ROBERT	03/24/22	5.00
00768920	1273371	OLIVAS EVELYN	03/24/22	19.00
00768921	282112	ORACLE AMERICA INC	03/24/22	51,382.68
00768922	1133789	ORBIS PARTNERS LLC	03/24/22	3,255.00
00768923	496938	OUTDOOR PROMOTIONS OF COLORADO	03/24/22	9,750.00
00768924	725673	PACIFIC OFFICE AUTOMATION INC	03/24/22	20.34
00768925	669732	PATTERSON VETERINARY SUPPLY IN	03/24/22	430.40
00768926	612089	PBC COMMERCIAL CLEANING SYSTEM	03/24/22	110,782.67
00768928	720230	PHILLIPS PET FOOD & SUPPLIES	03/24/22	797.70
00768929	593447	PIN BUSINESS NETWORK	03/24/22	3,500.00
00768930	1202027	PLANET TECHNOLOGY	03/24/22	4,093.75
00768931	1273380	PLATTE RIVER LAW FIRM	03/24/22	19.00
00768933	48924	PRO TECH COMPUTER SYSTEMS INC	03/24/22	8,968.00
00768934	44703	QUICKSILVER EXPRESS COURIER	03/24/22	116.85
00768935	53054	RICHARDSON SHARON	03/24/22	65.00
00768936	1273379	ROBERT S HARVOY ATTORNEY AT LA	03/24/22	19.00
00768937	1149013	ROCKY MOUNTAIN PARTNERSHIP	03/24/22	7,134.33
00768941	1264368	SANDOVAL RODRIGUEZ GEME	03/24/22	19.00
00768942	1029870	SANTIAGOS MEXICAN RESTURANT	03/24/22	50.00
00768943	786747	SAURINI VINCENT	03/24/22	66.00
00768944	574170	SCHULTZ PUBLIC AFFAIRS LLC	03/24/22	5,416.67
00768945	13538	SHRED-IT	03/24/22	40.00
00768946	10449	SIR SPEEDY	03/24/22	78.38
00768947	13932	SOUTH ADAMS WATER & SANITATION	03/24/22	160.53
00768948	1273283	SOUZA VERNON	03/24/22	216.00
00768949	928073	SQUEEGEE SQUAD	03/24/22	22,352.00
00768950	315130	STANFIELD THOMSON	03/24/22	65.00
00768951	42818	STATE OF COLORADO	03/24/22	1,364.82
00768952	42818	STATE OF COLORADO	03/24/22	7,964.92
00768953	42818	STATE OF COLORADO	03/24/22	5.48
00768954	42818	STATE OF COLORADO	03/24/22	39.73
00768955	42818	STATE OF COLORADO	03/24/22	58.76
00768956	42818	STATE OF COLORADO	03/24/22	425.75
00768957	42818	STATE OF COLORADO	03/24/22	208.49



## Net Warrants by Fund Detail

1General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00768958	42818	STATE OF COLORADO	03/24/22	1,991.97
00768959	42818	STATE OF COLORADO	03/24/22	10.80
00768960	42818	STATE OF COLORADO	03/24/22	19.87
00768961	42818	STATE OF COLORADO	03/24/22	789.88
00768962	42818	STATE OF COLORADO	03/24/22	11,387.24
00768963	42818	STATE OF COLORADO	03/24/22	55.87
00768964	42818	STATE OF COLORADO	03/24/22	713.30
00768965	1186984	STIVERS STAFFING SERVICES LLC	03/24/22	3,797.60
00768966	1047964	SYMMETRY ENERGY SOLUTIONS LLC	03/24/22	26,636.45
00768968	1179365	TAG PROCESS SERVICE	03/24/22	19.00
00768971	1273599	THE MOORE LAW GROUP LLP	03/24/22	19.00
00768973	666214	TYGRET DEBRA R	03/24/22	445.00
00768996	300982	UNITED SITE SERVICES	03/24/22	312.00
00769001	1273597	VALENZUELA-JIMENEZ ANDRES	03/24/22	19.00
00769003	23977	VINCI LAW OFFICE	03/24/22	19.00
00769005	1185868	WELCH MICHAEL	03/24/22	987.50
00769006	956168	WERNER W ELIZABETH	03/24/22	345.78
00769007	434152	WILSON & COMPANY INC	03/24/22	3,800.00
00769008	13822	XCEL ENERGY	03/24/22	5,063.79
00769009	13822	XCEL ENERGY	03/24/22	3,262.34
00769010	13822	XCEL ENERGY	03/24/22	3,271.52
00769011	13822	XCEL ENERGY	03/24/22	942.67
00769036	90518	CITRIX SYSTEMS INC	03/25/22	29,800.00

**Fund Total****1,617,560.54**

County of Adams  
Net Warrants by Fund Detail

4 Capital Facilities Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00008779	104910	SAUNDERS CONSTRUCTION INC	03/24/22	173,002.31
00768833	1273146	AE DESIGN	03/24/22	1,500.00
00768864	1240458	COLEMAN ANNETTE LEA	03/24/22	7,500.00
00768939	248870	ROTH SHEPPARD ARCHITECTS	03/24/22	43,415.50
00768972	498722	THERMAL & MOISTURE PROTECTION	03/24/22	1,040.00
Fund Total				226,457.81

County of Adams  
Net Warrants by Fund Detail

<u>5</u>		<u>Golf Course Enterprise Fund</u>			
<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>	
00008778	6177	PROFESSIONAL RECREATION MGMT I	03/24/22	42,436.90	
Fund Total				42,436.90	

## Net Warrants by Fund Detail

6Equipment Service Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00768837	65983	ALSCO	03/24/22	674.28
00768900	4170	HONNEN EQUIPMENT CO	03/24/22	69.12
00768903	682207	INSIGHT AUTO GLASS LLC	03/24/22	795.68
00768932	324769	PRECISE MRM LLC	03/24/22	5,808.00
00768940	16237	SAM HILL OIL INC	03/24/22	44,672.84
00768970	790907	THE GOODYEAR TIRE AND RUBBER C	03/24/22	1,777.84
<b>Fund Total</b>				<b>53,797.76</b>

## Net Warrants by Fund Detail

13

## Road &amp; Bridge Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00768844	49497	BFI TOWER ROAD LANDFILL	03/24/22	1,088.25
00768859	814272	CENTRAL SALT LLC	03/24/22	15,163.38
00768870	421767	COMPASS MINERALS AMERICA INC	03/24/22	18,629.51
00768882	13569	ENVIROTECH SERVICES INC	03/24/22	5,849.61
00768888	1156223	GEOCAL INC	03/24/22	2,317.46
00768889	212385	GMCO CORPORATION	03/24/22	9,300.00
00768909	13082	LUMIN8 TRANSPORTATION TECHNOLO	03/24/22	6,197.29
00768969	36806	TERRACON	03/24/22	3,432.25
00768974	1007	UNITED POWER (UNION REA)	03/24/22	23.16
00768975	1007	UNITED POWER (UNION REA)	03/24/22	48.28
00768976	1007	UNITED POWER (UNION REA)	03/24/22	16.50
00768977	1007	UNITED POWER (UNION REA)	03/24/22	16.50
00768978	1007	UNITED POWER (UNION REA)	03/24/22	16.50
00768979	1007	UNITED POWER (UNION REA)	03/24/22	36.94
00768980	1007	UNITED POWER (UNION REA)	03/24/22	50.85
00768981	1007	UNITED POWER (UNION REA)	03/24/22	109.37
00768982	1007	UNITED POWER (UNION REA)	03/24/22	35.29
00768983	1007	UNITED POWER (UNION REA)	03/24/22	34.00
00768984	1007	UNITED POWER (UNION REA)	03/24/22	144.62
00768985	1007	UNITED POWER (UNION REA)	03/24/22	20.76
00768986	1007	UNITED POWER (UNION REA)	03/24/22	20.31
00768987	1007	UNITED POWER (UNION REA)	03/24/22	43.74
00768988	1007	UNITED POWER (UNION REA)	03/24/22	48.25
00768989	1007	UNITED POWER (UNION REA)	03/24/22	57.90
00768990	1007	UNITED POWER (UNION REA)	03/24/22	39.11
00768991	1007	UNITED POWER (UNION REA)	03/24/22	33.00
00768992	1007	UNITED POWER (UNION REA)	03/24/22	48.28
00768993	1007	UNITED POWER (UNION REA)	03/24/22	33.00
00768994	1007	UNITED POWER (UNION REA)	03/24/22	36.00
00768995	1007	UNITED POWER (UNION REA)	03/24/22	88.49
00769012	13822	XCEL ENERGY	03/24/22	123.07
00769013	13822	XCEL ENERGY	03/24/22	74.41
00769014	13822	XCEL ENERGY	03/24/22	11.90
00769015	13822	XCEL ENERGY	03/24/22	171.42
00769016	13822	XCEL ENERGY	03/24/22	33.62
00769017	13822	XCEL ENERGY	03/24/22	67.88

## Net Warrants by Fund Detail

13Road & Bridge Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00769018	13822	XCEL ENERGY	03/24/22	107.29
00769019	13822	XCEL ENERGY	03/24/22	66.60
00769020	13822	XCEL ENERGY	03/24/22	239.07
00769021	13822	XCEL ENERGY	03/24/22	20,983.20
00769022	13822	XCEL ENERGY	03/24/22	5,113.00
<b>Fund Total</b>				<b>89,970.06</b>

County of Adams  
Net Warrants by Fund Detail

19		Insurance Fund				
		<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
		00768857	419839	CAREHERE LLC	03/24/22	61,372.75
		00769004	346680	WAGE WORKS	03/24/22	1,411.21
		Fund Total				62,783.96

County of Adams  
Net Warrants by Fund Detail

<u>25</u>		<u>Waste Management Fund</u>			
<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>	
00008772	535096	B & B ENVIRONMENTAL SAFETY INC	03/24/22	4,728.67	
<b>Fund Total</b>				<b>4,728.67</b>	



County of Adams  
Net Warrants by Fund Detail

27      Open Space Projects Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00768879	101347	DHM DESIGNS	03/24/22	33,666.26
<b>Fund Total</b>				<b>33,666.26</b>

County of Adams  
Net Warrants by Fund Detail

<u>28</u>		<u>Open Space Sales Tax Fund</u>			
<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>	
00008773	1019666	BENNETT TOWN OF	03/24/22	169,932.64	
<b>Fund Total</b>				<b>169,932.64</b>	

County of Adams  
Net Warrants by Fund Detail

30      Community Dev Block Grant Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00008774	1019665	BRIGHTON CITY OF	03/24/22	18,947.85
00008782	29064	TIERRA ROJO CORPORATION	03/24/22	10,090.00
00768893	44825	GROWING HOME INC	03/24/22	2,358.72
<b>Fund Total</b>				<b>31,396.57</b>

## Net Warrants by Fund Detail

31Head Start Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00768861	166025	CHILDRENS HOSPITAL	03/24/22	772.50
00768877	45567	DENVER CHILDREN'S ADVOCACY CTR	03/24/22	9,638.69
00768878	1052031	DFA DAIRY BRANDS CORPORATE LLC	03/24/22	1,006.00
00768887	971545	GENESIS FLOOR CARE OF COLORADO	03/24/22	12,040.00
00768967	13770	SYSCO DENVER	03/24/22	278.20
00768997	42541	US FOODSERVICE	03/24/22	176.64
00768998	42541	US FOODSERVICE	03/24/22	2,143.01
00768999	42541	US FOODSERVICE	03/24/22	101.28
00769000	42541	US FOODSERVICE	03/24/22	259.53
<b>Fund Total</b>				<b>26,415.85</b>

## Net Warrants by Fund Detail

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Colorado Air & Space Port

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<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00768834	88281	ALBERTS WATER & WASTEWATER SER	03/24/22	4,866.55
00768841	351622	AURORA WATER	03/24/22	4,270.89
00768866	414144	COLORADO MOISTURE CONTROL INC	03/24/22	5,525.00
00768938	44131	ROGGEN FARMERS ELEVATOR ASSN	03/24/22	42.00
00769002	80279	VERIZON WIRELESS	03/24/22	75.07
<b>Fund Total</b>				<hr/> <b>14,779.51</b>

County of Adams  
Net Warrants by Fund Detail

50      FLATROCK Facility Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00768832	1128011	ADT COMMERCIAL LLC	03/24/22	597.52
00768898	10864	HILLYARD - DENVER	03/24/22	255.52
00768927	612089	PBC COMMERCIAL CLEANING SYSTEM	03/24/22	1,671.14
<b>Fund Total</b>				<b>2,524.18</b>

**County of Adams**  
**Net Warrants by Fund Detail**

**Grand Total      2,376,450.71**

County of Adams  
Vendor Payment Report

<u>2051</u>	<u>ANS - Admin &amp; Customer Care</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Animal Control/Shelter					
	CANDELARIO WILLIAM	00001	1015111	413970	03/22/22	17.00
					Account Total	17.00
					Department Total	17.00



County of Adams  
Vendor Payment Report

<u>1011</u>	<u>Board of County Commissioners</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Special Events					
	AURORA PUBLIC SCHOOLS FOUNDATI	00001	1015061	413789	03/18/22	3,000.00
					Account Total	3,000.00
					Department Total	3,000.00

**County of Adams**  
**Vendor Payment Report**

<u>4</u>	<u>Capital Facilities Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	COLEMAN ANNETTE LEA	00004	1015524	414161	03/24/22	7,500.00
	ROTH SHEPPARD ARCHITECTS	00004	1015234	414157	03/24/22	14,585.00
	ROTH SHEPPARD ARCHITECTS	00004	1015235	414157	03/24/22	28,830.50
	SAUNDERS CONSTRUCTION INC	00004	1015558	414176	03/24/22	182,107.70
	THERMAL & MOISTURE PROTECTION	00004	1015248	414157	03/24/22	1,040.00
					Account Total	234,063.20
	Retainages Payable					
	SAUNDERS CONSTRUCTION INC	00004	1015558	414176	03/24/22	9,105.39-
					Account Total	9,105.39-
					Department Total	224,957.81

County of Adams  
Vendor Payment Report

<u>4302</u>	<u>CASP Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Telephone					
	VERIZON WIRELESS	00043	1015188	414069	03/23/22	835.26
	VERIZON WIRELESS	00043	1015188	414069	03/23/22	800.20-
					Account Total	35.06
					Department Total	35.06

County of Adams  
Vendor Payment Report

<u>4303</u>	<u>CASP FBO</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Telephone					
	VERIZON WIRELESS	00043	1015188	414069	03/23/22	40.01
					Account Total	40.01
					Department Total	40.01

County of Adams  
Vendor Payment Report

<u>4304</u>	<u>CASP Operations/Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	COLORADO MOISTURE CONTROL INC	00043	1015197	414082	03/23/22	5,525.00
					Account Total	5,525.00
	Other Rents & Leases					
	ROGGEN FARMERS ELEVATOR ASSN	00043	1015187	414069	03/23/22	42.00
					Account Total	42.00
					Department Total	5,567.00

**County of Adams**  
**Vendor Payment Report**

<u>941018</u>	<u>CDBG 2018/2019</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Inst.-Pgm. Cst					
	BRIGHTON CITY OF	00030	1015120	413978	03/22/22	18,947.85
	GROWING HOME INC	00030	1015193	414075	03/23/22	2,358.72
					Account Total	21,306.57
	Grants to Other Institutions					
	TIERRA ROJO CORPORATION	00030	1015122	413984	03/22/22	10,090.00
					Account Total	10,090.00
					Department Total	31,396.57

County of Adams  
Vendor Payment Report

<u>1023</u>	<u>CLK Motor Vehicle</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Printing External					
	COPYCO QUALITY PRINTING INC	00001	1015102	413962	03/22/22	120.00
					Account Total	120.00
	Subscrip/Publications					
	CRITERIA CORP	00001	1015103	413962	03/22/22	4,200.00
					Account Total	4,200.00
					Department Total	4,320.00

County of Adams  
Vendor Payment Report

<u>43</u>	<u>Colorado Air &amp; Space Port</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	ALBERTS WATER & WASTEWATER SER	00043	1015521	414161	03/24/22	3,300.00
					Account Total	3,300.00
					Department Total	3,300.00



County of Adams  
Vendor Payment Report

<u>9264</u>	<u>Community Recovery</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	COMMERCE CITY HOUSING AUTHORIT	00001	1014990	413702	03/17/22	301,072.54
	HOUSING AUTHORITY THE CITY OF	00001	1014222	413087	03/09/22	206,760.60
					Account Total	507,833.14
					Department Total	507,833.14

County of Adams  
Vendor Payment Report

<u>2031</u>	<u>County Coroner</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Medical Services					
	CARUSO JAMES LOUIS	00001	1015073	413874	03/21/22	4,100.00
	CINA & CINA FORENSIC CONSULTIN	00001	1015169	414060	03/23/22	15,200.00
					Account Total	19,300.00
					Department Total	19,300.00

County of Adams  
Vendor Payment Report

<u>1031</u>	<u>County Treasurer</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Office Equip Rep & Maint					
	PACIFIC OFFICE AUTOMATION INC	00001	1015112	413971	03/22/22	20.34
					Account Total	20.34
	Operating Supplies					
	SHRED-IT	00001	1014953	413697	03/17/22	40.00
					Account Total	40.00
					Department Total	60.34

County of Adams  
Vendor Payment Report

<u>1052</u>	<u>Criminal &amp; Social Justice CC</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	DIRECT EDGE DENVER LLC	00001	1014741	413525	03/15/22	2,156.00
					Account Total	2,156.00
					Department Total	2,156.00

County of Adams  
Vendor Payment Report

<u>9261</u>	<u>DA- Diversion Project</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Software and Licensing					
	ORBIS PARTNERS LLC	00001	1015143	414047	03/23/22	450.00
	ORBIS PARTNERS LLC	00001	1015144	414047	03/23/22	2,805.00
					Account Total	3,255.00
					Department Total	3,255.00

**County of Adams**  
**Vendor Payment Report**

<u>1051</u>	<u>District Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Court Reporting Transcripts					
	BECKER JENNIFER	00001	1015139	414047	03/23/22	51.00
					Account Total	51.00
	Other Professional Serv					
	BRULE COUNTY REGISTER OF DEEDS	00001	1015072	413872	03/21/22	15.00
	OHIO TREASURER OF STATE ROBERT	00001	1015140	414047	03/23/22	5.00
					Account Total	20.00
	Witness Fees					
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	1015145	414047	03/23/22	13.71
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	1015146	414047	03/23/22	11.25
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	1015148	414047	03/23/22	53.28
					Account Total	78.24
					Department Total	149.24

**County of Adams**  
**Vendor Payment Report**

<u>6</u>	<u>Equipment Service Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	INSIGHT AUTO GLASS LLC	00006	1015220	414157	03/24/22	213.44
	INSIGHT AUTO GLASS LLC	00006	1015221	414157	03/24/22	230.28
	INSIGHT AUTO GLASS LLC	00006	1015222	414157	03/24/22	351.96
	PRECISE MRM LLC	00006	1015522	414161	03/24/22	5,808.00
	SAM HILL OIL INC	00006	1015516	414161	03/24/22	18,171.69
	SAM HILL OIL INC	00006	1015517	414161	03/24/22	26,501.15
	THE GOODYEAR TIRE AND RUBBER C	00006	1015217	414157	03/24/22	132.00
	THE GOODYEAR TIRE AND RUBBER C	00006	1015218	414157	03/24/22	144.00
	THE GOODYEAR TIRE AND RUBBER C	00006	1015219	414157	03/24/22	1,501.84
					Account Total	53,054.36
					Department Total	53,054.36

**County of Adams**  
**Vendor Payment Report**

<u>9244</u>	<u>Extension- 4-H/Youth</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	40530	00001	1014126	412935	03/08/22	185.21
	40531	00001	1014127	412935	03/08/22	78.57
					Account Total	263.78
	Operating Supplies					
	CSU EXTENSION PUEBLO COUNTY	00001	1015098	413957	03/22/22	675.00
	MORGAN COUNTY EXTENSION OFFICE	00001	1015097	413957	03/22/22	135.00
					Account Total	810.00
	Travel & Transportation					
	40689	00001	1015096	413955	03/22/22	31.00
	40689	00001	1015096	413955	03/22/22	31.00
	40689	00001	1015096	413955	03/22/22	20.00
					Account Total	82.00
					Department Total	1,155.78



County of Adams  
Vendor Payment Report

<u>1014</u>	<u>Finance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	GABRIEL, ROEDER, SMITH & COMPA	00001	1014861	413685	03/17/22	4,250.00
					Account Total	4,250.00
					Department Total	4,250.00

County of Adams  
Vendor Payment Report

<u>50</u>	<u>FLATROCK Facility Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	HILLYARD - DENVER	00050	1015268	414157	03/24/22	255.52
	PBC COMMERCIAL CLEANING SYSTEM	00050	1015330	414157	03/24/22	1,671.14
					Account Total	1,926.66
					Department Total	1,926.66

**County of Adams**  
**Vendor Payment Report**

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<u>9114</u>	<u>Fleet - Commerce City</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Uniforms & Cleaning					
	ALSCO	00006	1015110	413967	03/22/22	184.95
	ALSCO	00006	1015105	413967	03/22/22	96.00
	ALSCO	00006	1015106	413967	03/22/22	184.95
					Account Total	465.90
	Vehicle Repair & Maint					
	HONNEN EQUIPMENT CO	00006	1015104	413967	03/22/22	69.12
					Account Total	69.12
					Department Total	535.02

County of Adams  
Vendor Payment Report

9115	Fleet - Strasburg	Fund	Voucher	Batch No	GL Date	Amount
	Uniforms & Cleaning					
	ALSCO	00006	1015107	413967	03/22/22	69.46
	ALSCO	00006	1015108	413967	03/22/22	69.46
	ALSCO	00006	1015109	413967	03/22/22	69.46
					Account Total	208.38
					Department Total	208.38

County of Adams  
Vendor Payment Report

<u>1060</u>	<u>FO - Community Corrections</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=12729	00001	1014928	413695	03/08/22	5,063.79
					Account Total	5,063.79
					Department Total	5,063.79

County of Adams  
Vendor Payment Report

<u>2090</u>	<u>FO - Flatrock Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	ADT COMMERCIAL LLC	00050	1015099	413959	03/22/22	597.52
					Account Total	597.52
					Department Total	597.52

**County of Adams**  
**Vendor Payment Report**

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<u>1070</u>	<u>FO - Honnen/Plan&amp;Devel/MV Ware</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=12730	00001	1014929	413695	02/25/22	3,262.34
	Energy Cap Bill ID=12732	00001	1014930	413695	02/25/22	3,271.52
					Account Total	6,533.86
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=12733	00001	1014931	413695	02/20/22	160.53
					Account Total	160.53
					Department Total	6,694.39

County of Adams  
Vendor Payment Report

<u>1071</u>	<u>FO - Justice Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=12587	00001	1013752	412268	01/25/22	2,441.73
					Account Total	2,441.73
					Department Total	2,441.73



County of Adams  
Vendor Payment Report

<u>1112</u>	<u>FO - Sheriff HQ/Coroner Bldg</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=12722	00001	1014934	413695	03/11/22	64.08
	Energy Cap Bill ID=12727	00001	1014935	413695	03/11/22	462.09
					Account Total	526.17
					Department Total	526.17

## Vendor Payment Report

<u>2009</u>	<u>FO - Sheriff Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=12586	00001	1013753	412268	01/25/22	24,194.72
	Energy Cap Bill ID=12731	00001	1014936	413695	02/25/22	942.67
					Account Total	25,137.39
	Water/Sewer/Sanitation					
	BRIGHTON CITY OF (WATER)	00001	1015101	413959	03/22/22	984.49
	Energy Cap Bill ID=12723	00001	1014937	413695	03/11/22	146.33
	Energy Cap Bill ID=12724	00001	1014938	413695	03/11/22	3,856.49
	Energy Cap Bill ID=12726	00001	1014939	413695	03/11/22	30,263.26
					Account Total	35,250.57
					Department Total	60,387.96

County of Adams  
Vendor Payment Report

<u>1075</u>	<u>FO - Strasburg/Whittier</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=12725	00001	1014932	413695	03/07/22	1,679.66
	Energy Cap Bill ID=12728	00001	1014933	413695	03/09/22	1,445.85
					Account Total	3,125.51
					Department Total	3,125.51

County of Adams  
Vendor Payment Report

<u>3098</u>	<u>General Capital Improvements</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Buildings					
	AE DESIGN	00004	1015100	413959	03/22/22	1,500.00
					Account Total	1,500.00
					Department Total	1,500.00

**County of Adams**  
**Vendor Payment Report**

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Diversion Restitution Payable					
	CAMARGO CHRISTINE	00001	1015133	414047	03/23/22	100.00
	CAMPBELL KRISTI	00001	1015135	414047	03/23/22	400.00
	MARTINEZ NICOLE	00001	1015136	414047	03/23/22	80.00
	MONTOYA ANGELINA	00001	1015132	414047	03/23/22	160.00
	SANTIAGOS MEXICAN RESTURANT	00001	1015137	414047	03/23/22	50.00
	SOUZA VERNON	00001	1015138	414047	03/23/22	216.00
					Account Total	1,006.00
	Received not Vouchered Clrg					
	ADT COMMERCIAL LLC	00001	1015471	414161	03/24/22	250.00
	ADT COMMERCIAL LLC	00001	1015472	414161	03/24/22	350.00
	ADT COMMERCIAL LLC	00001	1015473	414161	03/24/22	1,500.00
	ADT COMMERCIAL LLC	00001	1015474	414161	03/24/22	2,100.00
	ADT COMMERCIAL LLC	00001	1015475	414161	03/24/22	315.00
	ANGEL ARMOR LLC	00001	1015555	414176	03/24/22	5,392.13
	CCR EVENT GROUP	00001	1015236	414157	03/24/22	10,650.00
	CCR EVENT GROUP	00001	1015237	414157	03/24/22	2,049.00
	CHP METRO NORTH LLC	00001	1015223	414157	03/24/22	1,050.00
	CITRIX SYSTEMS INC	00001	1015595	414287	03/25/22	29,800.00
	CLIFTONLARSONALLEN LLP	00001	1015546	414161	03/24/22	41,977.44
	COLORADO POVERTY LAW PROJECT	00001	1015492	414161	03/24/22	3,501.96
	COMCAST BUSINESS	00001	1015501	414161	03/24/22	2,100.00
	COMMUNITY LANGUAGE COOPERATIVE	00001	1015557	414176	03/24/22	3,900.00
	CORECIVIC INC	00001	1015489	414161	03/24/22	214.20
	CORECIVIC INC	00001	1015225	414157	03/24/22	1,376.48
	CORECIVIC INC	00001	1015226	414157	03/24/22	3,981.96
	CORECIVIC INC	00001	1015227	414157	03/24/22	47,660.62
	CORECIVIC INC	00001	1015228	414157	03/24/22	30,970.80
	CORECIVIC INC	00001	1015229	414157	03/24/22	2,759.45
	CORECIVIC INC	00001	1015230	414157	03/24/22	5,917.85
	CORECIVIC INC	00001	1015231	414157	03/24/22	23,596.80
	CORECIVIC INC	00001	1015232	414157	03/24/22	66,366.00
	CORECIVIC INC	00001	1015233	414157	03/24/22	263.45
	FLEXENTIAL PROFESSIONAL SERVIC	00001	1015518	414161	03/24/22	1,850.01
	HELTON & WILLIAMSEN PC	00001	1015539	414161	03/24/22	662.50

## Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	HILLYARD - DENVER	00001	1015249	414157	03/24/22	85.00
	HILLYARD - DENVER	00001	1015250	414157	03/24/22	150.46
	HILLYARD - DENVER	00001	1015251	414157	03/24/22	436.16
	HILLYARD - DENVER	00001	1015252	414157	03/24/22	1,238.78
	HILLYARD - DENVER	00001	1015253	414157	03/24/22	294.95
	HILLYARD - DENVER	00001	1015254	414157	03/24/22	271.15
	HILLYARD - DENVER	00001	1015255	414157	03/24/22	492.57
	HILLYARD - DENVER	00001	1015256	414157	03/24/22	409.83
	HILLYARD - DENVER	00001	1015257	414157	03/24/22	1,793.53
	HILLYARD - DENVER	00001	1015258	414157	03/24/22	1,831.46
	HILLYARD - DENVER	00001	1015259	414157	03/24/22	170.07
	HILLYARD - DENVER	00001	1015260	414157	03/24/22	714.42
	HILLYARD - DENVER	00001	1015261	414157	03/24/22	3,353.11
	HILLYARD - DENVER	00001	1015262	414157	03/24/22	3,353.11
	HILLYARD - DENVER	00001	1015263	414157	03/24/22	107.94
	HILLYARD - DENVER	00001	1015264	414157	03/24/22	184.01
	HILLYARD - DENVER	00001	1015265	414157	03/24/22	108.05
	HILLYARD - DENVER	00001	1015266	414157	03/24/22	638.62
	HILLYARD - DENVER	00001	1015267	414157	03/24/22	3,001.74
	IDEXX DISTRIBUTION INC	00001	1015519	414161	03/24/22	418.71
	INSIGHT PUBLIC SECTOR	00001	1015542	414161	03/24/22	25,260.00
	INSIGHT PUBLIC SECTOR	00001	1015543	414161	03/24/22	154,086.00
	INTERLOCK CONSTRUCTION CORP	00001	1015500	414161	03/24/22	2,553.00
	INTERLOCK CONSTRUCTION CORP	00001	1015500	414161	03/24/22	8,228.04
	INTERVENTION COMMUNITY CORRECT	00001	1015242	414157	03/24/22	44,960.24
	INTERVENTION COMMUNITY CORRECT	00001	1015243	414157	03/24/22	2,752.96
	INTERVENTION COMMUNITY CORRECT	00001	1015244	414157	03/24/22	8,003.50
	INTERVENTION COMMUNITY CORRECT	00001	1015245	414157	03/24/22	67,156.06
	INTERVENTION COMMUNITY CORRECT	00001	1015246	414157	03/24/22	3,263.28
	INTERVENTION COMMUNITY CORRECT	00001	1015238	414157	03/24/22	144.75
	INTERVENTION COMMUNITY CORRECT	00001	1015239	414157	03/24/22	639.08
	INTERVENTION COMMUNITY CORRECT	00001	1015240	414157	03/24/22	10,225.28
	INTERVENTION COMMUNITY CORRECT	00001	1015241	414157	03/24/22	1,229.00
	MWI ANIMAL HEALTH	00001	1015503	414161	03/24/22	26.63
	MWI ANIMAL HEALTH	00001	1015504	414161	03/24/22	266.40
	MWI ANIMAL HEALTH	00001	1015505	414161	03/24/22	1,562.97

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<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	MWI ANIMAL HEALTH	00001	1015506	414161	03/24/22	671.32
	MWI ANIMAL HEALTH	00001	1015507	414161	03/24/22	24.15
	MWI ANIMAL HEALTH	00001	1015508	414161	03/24/22	346.76
	ORACLE AMERICA INC	00001	1015484	414161	03/24/22	51,382.68
	OUTDOOR PROMOTIONS OF COLORADO	00001	1015540	414161	03/24/22	9,750.00
	PATTERSON VETERINARY SUPPLY IN	00001	1015509	414161	03/24/22	360.00
	PATTERSON VETERINARY SUPPLY IN	00001	1015510	414161	03/24/22	18.04
	PATTERSON VETERINARY SUPPLY IN	00001	1015511	414161	03/24/22	52.36
	PBC COMMERCIAL CLEANING SYSTEM	00001	1015328	414157	03/24/22	2,420.00
	PBC COMMERCIAL CLEANING SYSTEM	00001	1015329	414157	03/24/22	22,149.02
	PBC COMMERCIAL CLEANING SYSTEM	00001	1015329	414157	03/24/22	4,947.14
	PBC COMMERCIAL CLEANING SYSTEM	00001	1015329	414157	03/24/22	3,541.20
	PBC COMMERCIAL CLEANING SYSTEM	00001	1015329	414157	03/24/22	3,941.60
	PBC COMMERCIAL CLEANING SYSTEM	00001	1015329	414157	03/24/22	3,550.21
	PBC COMMERCIAL CLEANING SYSTEM	00001	1015329	414157	03/24/22	1,616.45
	PBC COMMERCIAL CLEANING SYSTEM	00001	1015329	414157	03/24/22	833.80
	PBC COMMERCIAL CLEANING SYSTEM	00001	1015329	414157	03/24/22	842.12
	PBC COMMERCIAL CLEANING SYSTEM	00001	1015329	414157	03/24/22	8,029.69
	PBC COMMERCIAL CLEANING SYSTEM	00001	1015329	414157	03/24/22	4,499.80
	PBC COMMERCIAL CLEANING SYSTEM	00001	1015329	414157	03/24/22	974.22
	PBC COMMERCIAL CLEANING SYSTEM	00001	1015329	414157	03/24/22	705.78
	PBC COMMERCIAL CLEANING SYSTEM	00001	1015329	414157	03/24/22	1,992.39
	PBC COMMERCIAL CLEANING SYSTEM	00001	1015329	414157	03/24/22	964.38
	PBC COMMERCIAL CLEANING SYSTEM	00001	1015329	414157	03/24/22	689.30
	PBC COMMERCIAL CLEANING SYSTEM	00001	1015329	414157	03/24/22	1,894.34
	PBC COMMERCIAL CLEANING SYSTEM	00001	1015329	414157	03/24/22	515.02
	PBC COMMERCIAL CLEANING SYSTEM	00001	1015329	414157	03/24/22	755.60
	PBC COMMERCIAL CLEANING SYSTEM	00001	1015329	414157	03/24/22	31,966.31
	PBC COMMERCIAL CLEANING SYSTEM	00001	1015329	414157	03/24/22	1,257.46
	PBC COMMERCIAL CLEANING SYSTEM	00001	1015329	414157	03/24/22	400.61
	PBC COMMERCIAL CLEANING SYSTEM	00001	1015329	414157	03/24/22	525.20
	PBC COMMERCIAL CLEANING SYSTEM	00001	1015329	414157	03/24/22	988.00
	PBC COMMERCIAL CLEANING SYSTEM	00001	1015329	414157	03/24/22	10,783.03
	PHILLIPS PET FOOD & SUPPLIES	00001	1015502	414161	03/24/22	45.84
	PHILLIPS PET FOOD & SUPPLIES	00001	1015502	414161	03/24/22	751.86
	PLANET TECHNOLOGY	00001	1015480	414161	03/24/22	4,093.75

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<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	PRO TECH COMPUTER SYSTEMS INC	00001	1015490	414161	03/24/22	793.00
	PRO TECH COMPUTER SYSTEMS INC	00001	1015541	414161	03/24/22	8,175.00
	QUICKSILVER EXPRESS COURIER	00001	1015224	414157	03/24/22	116.85
	ROCKY MOUNTAIN PARTNERSHIP	00001	1015547	414161	03/24/22	7,134.33
	SCHULTZ PUBLIC AFFAIRS LLC	00001	1015545	414161	03/24/22	5,416.67
	SKAGGS PUBLIC SAFETY UNIFORM &	00001	1015559	414176	03/24/22	217.50
	SKAGGS PUBLIC SAFETY UNIFORM &	00001	1015560	414176	03/24/22	204.00
	SKAGGS PUBLIC SAFETY UNIFORM &	00001	1015561	414176	03/24/22	217.50
	SNI COMPANIES	00001	1015562	414176	03/24/22	9,766.60
	SNI COMPANIES	00001	1015563	414176	03/24/22	5,444.50
	SNI COMPANIES	00001	1015564	414176	03/24/22	7,687.40
	SQUEEGEE SQUAD	00001	1015527	414161	03/24/22	22,050.00
	SQUEEGEE SQUAD	00001	1015527	414161	03/24/22	302.00
	STATE OF COLORADO	00001	1015212	414157	03/24/22	19.87
	STATE OF COLORADO	00001	1015213	414157	03/24/22	789.88
	STATE OF COLORADO	00001	1015214	414157	03/24/22	11,387.24
	STATE OF COLORADO	00001	1015215	414157	03/24/22	55.87
	STATE OF COLORADO	00001	1015216	414157	03/24/22	713.30
	STATE OF COLORADO	00001	1015202	414157	03/24/22	1,364.82
	STATE OF COLORADO	00001	1015203	414157	03/24/22	7,964.92
	STATE OF COLORADO	00001	1015204	414157	03/24/22	5.48
	STATE OF COLORADO	00001	1015205	414157	03/24/22	39.73
	STATE OF COLORADO	00001	1015206	414157	03/24/22	58.76
	STATE OF COLORADO	00001	1015207	414157	03/24/22	425.75
	STATE OF COLORADO	00001	1015208	414157	03/24/22	208.49
	STATE OF COLORADO	00001	1015209	414157	03/24/22	1,991.97
	STATE OF COLORADO	00001	1015210	414157	03/24/22	10.80
	STIVERS STAFFING SERVICES LLC	00001	1015468	414161	03/24/22	1,871.10
	STIVERS STAFFING SERVICES LLC	00001	1015469	414161	03/24/22	1,926.50
	UNITED SITE SERVICES	00001	1015247	414157	03/24/22	312.00
	WELCH MICHAEL	00001	1015470	414161	03/24/22	987.50
	WILSON & COMPANY INC	00001	1015499	414161	03/24/22	3,800.00
					Account Total	919,705.27
	Retainages Payable					
	INTERLOCK CONSTRUCTION CORP	00001	1015500	414161	03/24/22	411.40-
	INTERLOCK CONSTRUCTION CORP	00001	1015500	414161	03/24/22	127.65-



County of Adams  
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
					Account Total	539.05-
					Department Total	920,172.22

**County of Adams**  
**Vendor Payment Report**

<u>5026</u>	<u>Golf Course- Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Contract Employment					
	PROFESSIONAL RECREATION MGMT I	00005	1015211	414156	03/24/22	16,741.03
	PROFESSIONAL RECREATION MGMT I	00005	1015211	414156	03/24/22	2,035.74
	PROFESSIONAL RECREATION MGMT I	00005	1015211	414156	03/24/22	479.30
					Account Total	19,256.07
	Telephone					
	PROFESSIONAL RECREATION MGMT I	00005	1015211	414156	03/24/22	231.95
					Account Total	231.95
					Department Total	19,488.02

**County of Adams**  
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<u>5021</u>	<u>Golf Course- Pro Shop</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Contract Employment					
	PROFESSIONAL RECREATION MGMT I	00005	1015211	414156	03/24/22	12,406.07
	PROFESSIONAL RECREATION MGMT I	00005	1015211	414156	03/24/22	1,522.62
	PROFESSIONAL RECREATION MGMT I	00005	1015211	414156	03/24/22	160.66-
	PROFESSIONAL RECREATION MGMT I	00005	1015211	414156	03/24/22	160.66
					Account Total	13,928.69
	Insurance Premiums					
	PROFESSIONAL RECREATION MGMT I	00005	1015211	414156	03/24/22	6,586.69
	PROFESSIONAL RECREATION MGMT I	00005	1015211	414156	03/24/22	56.98
	PROFESSIONAL RECREATION MGMT I	00005	1015211	414156	03/24/22	597.48
	PROFESSIONAL RECREATION MGMT I	00005	1015211	414156	03/24/22	542.52
					Account Total	7,783.67
	Security Service					
	PROFESSIONAL RECREATION MGMT I	00005	1015211	414156	03/24/22	441.00
	PROFESSIONAL RECREATION MGMT I	00005	1015211	414156	03/24/22	629.00
					Account Total	1,070.00
	Telephone					
	PROFESSIONAL RECREATION MGMT I	00005	1015211	414156	03/24/22	101.06
	PROFESSIONAL RECREATION MGMT I	00005	1015211	414156	03/24/22	65.46
					Account Total	166.52
					Department Total	22,948.88

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<u>31</u>	<u>Head Start Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	CHILDRENS HOSPITAL	00031	1015493	414161	03/24/22	772.50
	DENVER CHILDREN'S ADVOCACY CTR	00031	1015491	414161	03/24/22	9,638.69
	DFA DAIRY BRANDS CORPORATE LLC	00031	1015444	414157	03/24/22	80.50
	DFA DAIRY BRANDS CORPORATE LLC	00031	1015445	414157	03/24/22	64.40
	DFA DAIRY BRANDS CORPORATE LLC	00031	1015446	414157	03/24/22	64.40
	DFA DAIRY BRANDS CORPORATE LLC	00031	1015447	414157	03/24/22	32.20
	DFA DAIRY BRANDS CORPORATE LLC	00031	1015448	414157	03/24/22	48.30
	DFA DAIRY BRANDS CORPORATE LLC	00031	1015449	414157	03/24/22	80.50
	DFA DAIRY BRANDS CORPORATE LLC	00031	1015450	414157	03/24/22	32.60
	DFA DAIRY BRANDS CORPORATE LLC	00031	1015451	414157	03/24/22	65.20
	DFA DAIRY BRANDS CORPORATE LLC	00031	1015452	414157	03/24/22	65.20
	DFA DAIRY BRANDS CORPORATE LLC	00031	1015453	414157	03/24/22	48.90
	DFA DAIRY BRANDS CORPORATE LLC	00031	1015454	414157	03/24/22	65.20
	DFA DAIRY BRANDS CORPORATE LLC	00031	1015455	414157	03/24/22	97.80
	DFA DAIRY BRANDS CORPORATE LLC	00031	1015456	414157	03/24/22	65.20
	DFA DAIRY BRANDS CORPORATE LLC	00031	1015457	414157	03/24/22	65.20
	DFA DAIRY BRANDS CORPORATE LLC	00031	1015458	414157	03/24/22	65.20
	DFA DAIRY BRANDS CORPORATE LLC	00031	1015459	414157	03/24/22	65.20
	GENESIS FLOOR CARE OF COLORADO	00031	1015494	414161	03/24/22	3,010.00
	GENESIS FLOOR CARE OF COLORADO	00031	1015495	414161	03/24/22	3,010.00
	GENESIS FLOOR CARE OF COLORADO	00031	1015496	414161	03/24/22	3,010.00
	GENESIS FLOOR CARE OF COLORADO	00031	1015497	414161	03/24/22	3,010.00
	SYSCO DENVER	00031	1015485	414161	03/24/22	192.35
	SYSCO DENVER	00031	1015486	414161	03/24/22	85.85
	US FOODSERVICE	00031	1015476	414161	03/24/22	176.64
	US FOODSERVICE	00031	1015477	414161	03/24/22	2,143.01
	US FOODSERVICE	00031	1015478	414161	03/24/22	101.28
	US FOODSERVICE	00031	1015479	414161	03/24/22	259.53
					Account Total	26,415.85
					Department Total	26,415.85

County of Adams  
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<u>19</u>	<u>Insurance Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	CAREHERE LLC	00019	1015465	414161	03/24/22	12,837.88
	CAREHERE LLC	00019	1015466	414161	03/24/22	48,534.87
	WAGE WORKS	00019	1015512	414161	03/24/22	1,411.21
					Account Total	62,783.96
					Department Total	62,783.96

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<u>27</u>	<u>Open Space Projects Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	DHM DESIGNS	00027	1015481	414161	03/24/22	3,101.25
	DHM DESIGNS	00027	1015482	414161	03/24/22	6,879.65
	DHM DESIGNS	00027	1015460	414157	03/24/22	865.21
	DHM DESIGNS	00027	1015461	414157	03/24/22	7,606.40
	DHM DESIGNS	00027	1015462	414157	03/24/22	12,006.25
	DHM DESIGNS	00027	1015463	414157	03/24/22	3,207.50
					Account Total	33,666.26
					Department Total	33,666.26

County of Adams  
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<u>6202</u>	<u>Open Space Tax- Grants</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	BENNETT TOWN OF	00028	1015009	413704	03/17/22	169,932.64
					Account Total	169,932.64
					Department Total	169,932.64

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<u>5010</u>	<u>PKS- Fair</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Printing External					
	SIR SPEEDY	00001	1014854	413611	03/16/22	78.38
					Account Total	78.38
					Department Total	78.38



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<u>5041</u>	<u>PKS- Special Events</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Advertising					
	PIN BUSINESS NETWORK	00001	1014853	413611	03/16/22	3,500.00
					Account Total	3,500.00
					Department Total	3,500.00

**County of Adams**  
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<u>1089</u>	<u>PLN- Boards &amp; Commissions</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	BUSH MELVIN E	00001	1015066	413792	03/18/22	65.00
	DUPRIEST JOHN FIELDEN	00001	1014815	413604	03/16/22	65.00
	FOREST SEAN	00001	1014816	413604	03/16/22	65.00
	GARNER, ROSIE	00001	1014817	413604	03/16/22	65.00
	GREEN THOMAS D	00001	1015064	413792	03/18/22	65.00
	GRONQUIST, CHRISTOPHER L	00001	1015067	413792	03/18/22	65.00
	HANCOCK FORREST HAYES	00001	1015063	413792	03/18/22	65.00
	NYHOLM STEWART E	00001	1015062	413792	03/18/22	65.00
	RICHARDSON SHARON	00001	1014818	413604	03/16/22	65.00
	STANFIELD THOMSON	00001	1015065	413792	03/18/22	65.00
					Account Total	650.00
					Department Total	650.00

County of Adams  
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<u>1039</u>	<u>Poverty Reduction</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	ALMOST HOME INC	00001	1015194	414078	03/23/22	5,302.50
					Account Total	5,302.50
					Department Total	5,302.50

**County of Adams**  
**Vendor Payment Report**

<b>3031</b>	<b>PW - Operations &amp; Maintenance</b>	<b>Fund</b>	<b>Voucher</b>	<b>Batch No</b>	<b>GL Date</b>	<b>Amount</b>
	Gas & Electricity					
	UNITED POWER (UNION REA)	00013	1015024	413773	03/18/22	20.31
	UNITED POWER (UNION REA)	00013	1015023	413773	03/18/22	20.76
	UNITED POWER (UNION REA)	00013	1015022	413773	03/18/22	144.62
	UNITED POWER (UNION REA)	00013	1015021	413773	03/18/22	34.00
	UNITED POWER (UNION REA)	00013	1015020	413773	03/18/22	35.29
	UNITED POWER (UNION REA)	00013	1015019	413773	03/18/22	109.37
	UNITED POWER (UNION REA)	00013	1015025	413773	03/18/22	43.74
	UNITED POWER (UNION REA)	00013	1015018	413773	03/18/22	50.85
	UNITED POWER (UNION REA)	00013	1015017	413773	03/18/22	36.94
	UNITED POWER (UNION REA)	00013	1015016	413773	03/18/22	16.50
	UNITED POWER (UNION REA)	00013	1015015	413773	03/18/22	16.50
	UNITED POWER (UNION REA)	00013	1015014	413773	03/18/22	16.50
	UNITED POWER (UNION REA)	00013	1015013	413773	03/18/22	48.28
	UNITED POWER (UNION REA)	00013	1015012	413773	03/18/22	23.16
	UNITED POWER (UNION REA)	00013	1015027	413773	03/18/22	57.90
	UNITED POWER (UNION REA)	00013	1015028	413773	03/18/22	39.11
	UNITED POWER (UNION REA)	00013	1015026	413773	03/18/22	48.25
	UNITED POWER (UNION REA)	00013	1015029	413773	03/18/22	33.00
	UNITED POWER (UNION REA)	00013	1015030	413773	03/18/22	48.28
	UNITED POWER (UNION REA)	00013	1015031	413773	03/18/22	33.00
	UNITED POWER (UNION REA)	00013	1015032	413773	03/18/22	36.00
	UNITED POWER (UNION REA)	00013	1015033	413773	03/18/22	88.49
	XCEL ENERGY	00013	1015034	413773	03/18/22	123.07
	XCEL ENERGY	00013	1015035	413773	03/18/22	74.41
	XCEL ENERGY	00013	1015036	413773	03/18/22	11.90
	XCEL ENERGY	00013	1015037	413773	03/18/22	171.42
	XCEL ENERGY	00013	1015038	413773	03/18/22	33.62
	XCEL ENERGY	00013	1015039	413773	03/18/22	67.88
	XCEL ENERGY	00013	1015040	413773	03/18/22	107.29
	XCEL ENERGY	00013	1015041	413773	03/18/22	66.60
	XCEL ENERGY	00013	1015042	413773	03/18/22	239.07
	XCEL ENERGY	00013	1015043	413773	03/18/22	20,983.20
	XCEL ENERGY	00013	1015045	413773	03/18/22	5,113.00
					Account Total	27,992.31
					Department Total	27,992.31

**County of Adams**  
**Vendor Payment Report**

<u>13</u>	<u>Road &amp; Bridge Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	BFI TOWER ROAD LANDFILL	00013	1015513	414161	03/24/22	1,088.25
	CENTRAL SALT LLC	00013	1015548	414161	03/24/22	2,144.74
	CENTRAL SALT LLC	00013	1015550	414161	03/24/22	4,339.83
	CENTRAL SALT LLC	00013	1015551	414161	03/24/22	2,248.79
	CENTRAL SALT LLC	00013	1015552	414161	03/24/22	6,430.02
	COMPASS MINERALS AMERICA INC	00013	1015528	414161	03/24/22	2,243.72
	COMPASS MINERALS AMERICA INC	00013	1015529	414161	03/24/22	6,657.39
	COMPASS MINERALS AMERICA INC	00013	1015530	414161	03/24/22	2,249.05
	COMPASS MINERALS AMERICA INC	00013	1015531	414161	03/24/22	2,209.06
	COMPASS MINERALS AMERICA INC	00013	1015532	414161	03/24/22	2,436.54
	COMPASS MINERALS AMERICA INC	00013	1015533	414161	03/24/22	2,833.75
	ENVIROTECH SERVICES INC	00013	1015538	414161	03/24/22	5,849.61
	GEOCAL INC	00013	1015443	414157	03/24/22	2,317.46
	GMCO CORPORATION	00013	1015487	414161	03/24/22	9,300.00
	LUMIN8 TRANSPORTATION TECHNOLO	00013	1015483	414161	03/24/22	6,197.29
	TERRACON	00013	1015523	414161	03/24/22	3,432.25
					Account Total	61,977.75
					Department Total	61,977.75

County of Adams  
Vendor Payment Report

<u>2011</u>	<u>SHF- Admin Services Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	JLH CONSULTING AND PUBLIC AFFA	00001	1015115	413974	03/22/22	300.00
					Account Total	300.00
					Department Total	300.00

**County of Adams**  
**Vendor Payment Report**

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<u>2015</u>	<u>SHF- Civil Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Sheriff's Fees					
	ALPINE CREDIT, INC	00001	1015077	413890	03/21/22	19.00
	ALVAREZ JACQUELINE	00001	1015054	413779	03/18/22	19.00
	ARIAS JUAN MIGUEL	00001	1015046	413779	03/18/22	19.00
	BARRON LEONEL	00001	1015091	413890	03/21/22	19.00
	BROWN HUBERT	00001	1015056	413779	03/18/22	19.00
	BUDGET CONTROL SERVICES, INC	00001	1015076	413890	03/21/22	19.00
	CHAVEZ MOLINA BLANCA	00001	1015053	413779	03/18/22	19.00
	CONNER REBECCA	00001	1015055	413779	03/18/22	19.00
	GPS SERVERS LLC	00001	1015081	413890	03/21/22	19.00
	GPS SERVERS LLC	00001	1015082	413890	03/21/22	19.00
	GPS SERVERS LLC	00001	1015083	413890	03/21/22	78.00
	HENEXSON ADAM LEE	00001	1015095	413890	03/21/22	19.00
	HOLST AND BOETTCHER	00001	1015079	413890	03/21/22	19.00
	HOLST AND BOETTCHER	00001	1015080	413890	03/21/22	19.00
	HOLST AND BOETTCHER	00001	1015047	413779	03/18/22	19.00
	KIMBER Z SMITH PC	00001	1015060	413779	03/18/22	66.00
	LURIA EDMUNDO	00001	1015057	413779	03/18/22	19.00
	MIDLAND CREDIT MANAGEMENT INC	00001	1015048	413779	03/18/22	19.00
	MITCHELL DANIEL ALLEN	00001	1015093	413890	03/21/22	19.00
	OLIVAS EVELYN	00001	1015052	413779	03/18/22	19.00
	PLATTE RIVER LAW FIRM	00001	1015059	413779	03/18/22	19.00
	ROBERT S HARVOY ATTORNEY AT LA	00001	1015058	413779	03/18/22	19.00
	SANDOVAL RODRIGUEZ GEME	00001	1015074	413890	03/21/22	19.00
	SAURINI VINCENT	00001	1015051	413779	03/18/22	66.00
	TAG PROCESS SERVICE	00001	1015049	413779	03/18/22	19.00
	THE MOORE LAW GROUP LLP	00001	1015094	413890	03/21/22	19.00
	VALENZUELA-JIMENEZ ANDRES	00001	1015092	413890	03/21/22	19.00
	VINCI LAW OFFICE	00001	1015075	413890	03/21/22	19.00
					Account Total	685.00
					Department Total	685.00

County of Adams  
Vendor Payment Report

<u>2075</u>	<u>SHF- Commissary Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	TYGRETT DEBRA R	00001	1015117	413974	03/22/22	445.00
					Account Total	445.00
					Department Total	445.00



County of Adams  
Vendor Payment Report

<u>2010</u>	<u>SHF- MIS Unit</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Maintenance Contracts					
	ADAMS COUNTY COMMUNICATION CEN	00001	1015114	413974	03/22/22	60,936.72
					Account Total	60,936.72
					Department Total	60,936.72

County of Adams  
Vendor Payment Report

<u>2018</u>	<u>SHF- Records/Warrants Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Extraditions					
	ADAMS COUNTY SHERIFF	00001	1015113	413974	03/22/22	1,554.67
					Account Total	1,554.67
					Department Total	1,554.67

County of Adams  
Vendor Payment Report

<u>2005</u>	<u>SHF- TAC Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	NORTHGLENN AMBULANCE	00001	1015116	413974	03/22/22	200.00
					Account Total	200.00
					Department Total	200.00

County of Adams  
Vendor Payment Report

<u>25</u>	<u>Waste Management Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	B & B ENVIRONMENTAL SAFETY INC	00025	1015556	414176	03/24/22	4,728.67
					Account Total	4,728.67
					Department Total	4,728.67

**County of Adams**  
**Vendor Payment Report**

<u>4316</u>	<u>Wastewater Treatment Plant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Maint & Repair					
	ALBERTS WATER & WASTEWATER SER	00043	1015185	414069	03/23/22	531.25
	ALBERTS WATER & WASTEWATER SER	00043	1015185	414069	03/23/22	126.00
	ALBERTS WATER & WASTEWATER SER	00043	1015185	414069	03/23/22	44.80
	ALBERTS WATER & WASTEWATER SER	00043	1015185	414069	03/23/22	22.50
	ALBERTS WATER & WASTEWATER SER	00043	1015185	414069	03/23/22	27.00
	ALBERTS WATER & WASTEWATER SER	00043	1015185	414069	03/23/22	140.00
	ALBERTS WATER & WASTEWATER SER	00043	1015185	414069	03/23/22	500.00
	ALBERTS WATER & WASTEWATER SER	00043	1015185	414069	03/23/22	175.00
					Account Total	1,566.55
	Water/Sewer/Sanitation					
	AURORA WATER	00043	1015186	414069	03/23/22	4,270.89
					Account Total	4,270.89
					Department Total	5,837.44

County of Adams  
Vendor Payment Report

Grand Total 2,376,450.71



**Board of County Commissioners  
Minutes of Commissioners' Proceedings**

Eva J. Henry - District #1  
Charles "Chaz" Tedesco - District #2  
Emma Pinter - District #3  
Steve O'Dorisio - District #4  
Lynn Baca - District #5

**Tuesday  
March 29, 2022  
9:30 AM**

**1. ROLL CALL**

**Rollcall**

**Present:** 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

**2. PLEDGE OF ALLEGIANCE**

**3. MOTION TO APPROVE AGENDA**

**A motion was made by Commissioner Henry, seconded by Commissioner Pinter, that this be approved. The motion carried by the following vote:**

**Aye:** 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

**4. AWARDS AND PRESENTATIONS**

**A.** Office of Emergency Management Recognition

**5. PUBLIC COMMENT**

**A. Citizen Communication**

Public Comment Submitted for March 29, 2022

**During this portion of the meeting, the board will hear public comment. The Chair will determine how much time is reserved for public comment and how much time is permitted for each speaker.**

## **B. Elected Officials' Communication**

### **6. CONSENT CALENDAR**

**A motion was made by Commissioner Tedesco, seconded by Commissioner O'Dorisio, that this Consent Calendar be approved. The motion carried by the following vote:**

**Aye:** 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

- A.** List of Expenditures Under the Dates of March 14-18, 2022
- B.** Minutes of the Commissioners' Proceedings from March 22, 2022
- C.** Resolution Approving Case #SIA2022-00002 Subdivision Improvements Agreement for Quantum 56, Filing No. 1
- D.** Resolution Approving Right-of-Way Agreement between Adams County and Casa Carrera Real Estate LLC for Property Necessary for the York Street Roadway and Drainage Improvements Project from East 78th Avenue to East 88th Avenue in the Amount of \$238,170.00
- E.** Resolution Approving Right-of-Way Agreement between Adams County and KLZ Radio Inc. for Property Necessary for the York Street Roadway and Drainage Improvements Project from East 78th Avenue to East 88th Avenue in the Amount of \$1,049,990.00
- F.** Resolution Approving a Lease Agreement between Adams County and A Precious Child, for a Portion of the Pete Mirelez Human Services Center
- G.** Resolution Regarding Defense and Indemnification of James McKenzie and Matthew Marquez as Defendants Pursuant to C.R.S. § 24-10-101, Et Seq.
- H.** Resolution Authorizing the Acquisition of Property Interests Necessary for the Construction of Improvements for the East 58th Avenue Improvements Project - East 58th Avenue from Washington Street to York Street
- I.** Resolution Approving an Intergovernmental Agreement between Adams County, Colorado and North Washington Street Water and Sanitation District Regarding East 58th Avenue Improvements from Washington Street to the Denver Rock Island Railroad and Franklin Street Improvements from East 54th Avenue to East 58th Avenue
- J.** Resolution Approving a Private Residential Access Maintenance Agreement between Richard S. Edelen and Adams County



- K.** Resolution Approving a Private Residential Access Maintenance Agreement between Thomas M. Kriska and Sherry L. Kriska and Adams County
- L.** Resolution Approving a Lease Agreement between Adams County and Servicios de la Raza, for a Portion of the Pete Mirelez Human Services Center
- M.** Resolution Approving a Lease Agreement between Adams County and Tri-County WIC, for a Portion of the Pete Mirelez Human Services Center
- N.** Resolution Approving a Lease Agreement between Adams County and Almost Home, for a Portion of the Pete Mirelez Human Services Center
- O.** Resolution Approving a Lease Agreement between Adams County and Foster Source, for a Portion of the Pete Mirelez Human Services Center
- P.** Resolution Approving a Lease Agreement between Adams County and Family Tree, for a Portion of the Pete Mirelez Human Services Center
- Q.** Resolution Approving a Lease Agreement between Adams County and Warrior Now, for a Portion of the Pete Mirelez Human Services Center
- R.** Resolution Approving a Lease Agreement between Adams County and Maiker Housing Partners, for a Portion of the Pete Mirelez Human Services Center
- S.** Resolution Approving a Lease Agreement between Adams County and Senior Hub, for a Portion of the Pete Mirelez Human Services Center
- T.** Resolution Approving a Lease Agreement between Adams County and Center for People with Disabilities, for a Portion of the Pete Mirelez Human Services Center
- U.** Resolution Approving a Lease Agreement between Adams County and Colorado State University- Extension, for a Portion of the Pete Mirelez Human Services Center
- V.** Resolution Approving a Lease Agreement between Adams County and Denver Indian Center, for a Portion of the Pete Mirelez Human Services Center
- W.** Resolution Approving a Lease Agreement between Adams County and Denver Indian Family Resource Center, for a Portion of the Pete Mirelez Human Services Center
- X.** Resolution Approving a Lease Agreement between Adams County and Denver Vet Center, for a Portion of the Pete Mirelez Human Services Center

- Y. Resolution Approving a Lease Agreement between Adams County and Early Childhood Partnership of Adams County, for a Portion of the Pete Mirelez Human Services Center
- Z. Resolution Approving Application in Case #PLT2021-00045 Quantum 56, Filing No. 1 Final Plat

## 7. NEW BUSINESS

### A. COUNTY MANAGER

- 1. Resolution Approving Amendment One in the Amount Of \$40,500.00 to the Agreement between Adams County and Runbeck Election Services, Inc. for Three Additional Sentio Machines and One Year of Maintenance  
**A motion was made by Commissioner O'Dorisio, seconded by Commissioner Pinter, that this New Business be approved. The motion carried by the following vote:**

**Aye:** 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

- 2. Resolution Approving Amendment One in the Amount of \$611,348.00 to the Agreement between Adams County and FCI Constructors, Inc., for Construction Manager General Contractor Services for the Adams County District Attorney Building Project  
**A motion was made by Commissioner Tedesco, seconded by Commissioner Henry, that this New Business be approved. The motion carried by the following vote:**

**Aye:** 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

### B. COUNTY ATTORNEY

Motion to Adjourn into Executive Session Pursuant to C.R.S. 24-6-402(4)(b) for the Purpose of Receiving Legal Advice Regarding Proposed Litigation  
**A motion was made by Commissioner Tedesco, seconded by Commissioner Pinter, that this Executive Session be approved. The motion carried by the following vote:**

**Aye:** 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

Motion to Adjourn into Executive Session Pursuant to C.R.S. 24-6-402(4)(b) and (e) for the Purpose of Receiving Legal Advice and Instructing Negotiators Regarding Romero Case

**A motion was made by Commissioner O'Dorisio, seconded by Commissioner Henry, that this Executive Session be approved. The motion carried by the following vote:**

**Aye:** 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

## **8. LAND USE HEARINGS**

### **A. Cases to be Heard**

#### **1. PLN2022-00004 Bennett Station DA Amendment**

**A motion was made by Commissioner O'Dorisio, seconded by Commissioner Tedesco, that this Land Use Hearing be approved. The motion carried by the following vote:**

**Aye:** 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

## **9. ADJOURNMENT**

**AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE**



## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> April 5, 2022
<b>SUBJECT:</b> Adoption of the Alternate Calendar and Procedures for Property Tax Protests and Appeals
<b>FROM:</b> Ken Musso, Adams County Assessor
<b>AGENCY/DEPARTMENT:</b> Assessor
<b>HEARD AT STUDY SESSION ON:</b> N/A
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves the use of the Alternate Property Tax Appeal Calendar and procedures as delineated in C.R.S. §39-5-122.7 for tax year 2022.

### **BACKGROUND:**

Colorado Statute authorizes counties to elect to use an alternate calendar to determine objections and protests regarding the assessment of taxable property. The Assessor is requesting that the BOCC elect to use the alternate protest and appeal procedures for the tax year 2022 protest and appeal process. The Assessor believes that utilizing the alternate property tax protest and appeal calendar will allow for more contact and communication with taxpayers as well as allowing staff additional time to perform research, undertake field inspections and correct property description errors.

When the election to use the alternate appeal calendar and procedures is made, the County Assessor and the County Board of Equalization ("CBOE") have more time to respond to valuation protests and appeals. Using the alternate calendar will provide the Assessor until August 15 to issue the Notice of Determination ("NOD") and provides the CBOE until November 1<sup>st</sup> to render its final decision.

### **AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

County Attorney's Office

### **ATTACHED DOCUMENTS:**

Resolution

**FISCAL IMPACT:**

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

**Fund:****Cost Center:**

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			

**New FTEs requested:** ☐ YES ☐ NO

**Future Amendment Needed:** ☐ YES ☐ NO

**Additional Note:**

BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ADOPTING THE ALTERNATE PROPERTY TAX APPEAL CALENDAR  
AND PROCEDURES FOR TAX YEAR 2022 AS PERMITTED BY C.R.S. §39-5-122.7

WHEREAS, C.R.S. §39-5-122.7 allows any county, at the request of the assessor, to elect to use an alternate protest and appeal procedure to determine objections and protests concerning valuations of taxable property; and,

WHEREAS, the Adams County Assessor has determined that utilizing the alternate property tax protest and appeal calendar will allow for more contact and communication with taxpayers as well as allowing staff additional time to perform research, undertake field inspections, and correct property description errors; and,

WHEREAS, the Adams County Assessor requests that the alternative protest and appeal procedure and calendar be used for tax year 2022.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the alternative property tax appeal calendar and procedures as delineated in C.R.S. §39-5-122.7 are hereby adopted for tax year 2022.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign the Resolution Adopting the Alternate Property Tax Appeal Calendar and Procedures for Tax Year 2022 as Permitted by C.R.S. §39-5-122.7 on behalf of Adams County.



## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> April 5, 2022
<b>SUBJECT:</b> Resolution Designating County Fee Property as County Right-of-Way for York Street
<b>FROM:</b> Brian Staley, P.E., PTOE, RSP, Director of Public Works Janet Lundquist, Deputy Director of Public Works
<b>AGENCY/DEPARTMENT:</b> Public Works
<b>HEARD AT STUDY SESSION ON:</b> N/A
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves the resolution designating County fee property as County Right-of-Way needed for the York Street Improvements Project.

### **BACKGROUND:**

Adams County is in the process of acquiring property interests along the York Street corridor from East 78<sup>th</sup> Avenue to East 88<sup>th</sup> Avenue for the York Street Roadway Improvement Project. The intention of this Project is to identify and improve the overall roadway and drainage of York Street. The attached resolution will designate the described portion of property in Exhibit A owned by Adams County as right-of-way.

### **AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

### **ATTACHED DOCUMENTS:**

Draft resolution  
Legal description

**FISCAL IMPACT:**

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

**Fund: 13****Cost Center: 3056**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

**Additional Note:**



BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION DESIGNATING COUNTY FEE PROPERTY AS COUNTY ROAD  
RIGHT-OF-WAY FOR YORK STREET

WHEREAS, Adams County owns, in fee, a parcel of land in the Southwest Quarter of Section 25, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado; and,

WHEREAS, Adams County has plans to improve the York Street corridor from East 78<sup>th</sup> Avenue to East 88<sup>th</sup> Avenue for the York Street Roadway and Drainage Improvements Project (“Project”) which will extend into a part of the parcel more particularly described in Exhibit A attached hereto and made a part hereof; and

WHEREAS, to allow the use of the property described in said Exhibit A for roadway and utility purposes it is necessary to designate the property described in said Exhibit A as right-of-way.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the property described in said Exhibit A is hereby designated as road right-of-way.

**EXHIBIT "A"**  
**RIGHT-OF-WAY NUMBER: RW-239**  
**PROJECT NUMBER: IMP-3056-1603**  
**SECTION 25, TOWNSHIP 2 SOUTH, RANGE 68 WEST**  
**SIXTH PRINCIPAL MERIDIAN**  
**ADAMS COUNTY**

**DESCRIPTION**

A tract or parcel of land No. RW-239 of Adams County Project Number IMP-3056-1603, containing 4,136 square feet, more or less, being a portion of that parcel of land as described in a Quit Claim Deed, Recorded January 25, 2002, at Reception No. C0918510, of the records of the Adams County Clerk and Recorders Office, situated in the Southwest Quarter of Section 25 Township 2 South, Range 68 West of the 6<sup>th</sup> Principal Meridian, County of Adams, State of Colorado, being more particularly described as follows:

**COMMENCING** at the West Quarter Corner of Section 25 whence the West Line of the Southwest quarter of Section 25 bears S00°04'09"W a distance of 2628.81 feet;  
Thence S76°01'47"E a distance of 1108.94 feet to the Southwest corner of said parcel and the **POINT OF BEGINNING PARCEL RW-239;**

Thence N16°00'33"E along the westerly boundary of said parcel, a distance of 101.04 feet to a point on the northerly boundary of said parcel;  
Thence N89°47'46"E along the northerly boundary, a distance of 39.44 feet;  
Thence Southerly, a distance of 41.64 feet along a non-tangent curve to the right, said arc having a radius of 1,201.50 feet and a central angle of 01°59'08", and being subtended by a chord with a bearing of S14°41'30"W and a distance of 41.64 feet;  
Thence S15°41'04"W, a distance of 70.15 feet to a point on the southerly boundary of said parcel;  
Thence N74°24'10"W along said southerly boundary, a distance of 39.23 feet to the **POINT OF BEGINNING PARCEL RW-239.**

**Containing 4,136 sq. ft. +/-**

I, Jerry R. Johnson, Colorado Professional Surveyor in the State of Colorado, do hereby certify that this easement description and the field survey on the ground upon which it is based were performed by me or under my direct supervision.

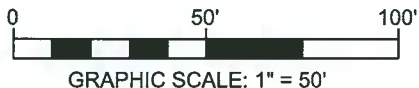
---

Jerry R. Johnson, PLS 29417  
Date:  
For and on Behalf of  
Petroleum Field Services, LLC  
d.b.a. Ascent Geomatics Solutions



NW 1/4, SW 1/4  
SEC 25  
T2S, R68W 6TH P.M.

**OWNER:**  
COOL SUNSHINE LAND LLC  
8380 WELBY ROAD  
DENVER, CO 80229



W 1/4 COR. SEC. 25  
3-1/4" ALUMINUM CAP  
MARKED "PLS 20155 1990"  
P.O.C. RW-239

S00°04'09"W 2628.81  
(BASIS OF BEARINGS)  
W. LINE SW 1/4 SEC. 25

30.00' W.C. SW COR. SEC. 25  
3-1/4" ALUMINUM CAP  
MARKED "30.00' W.C. JR ENG  
LS 25369 2000"

N89°26'42"E  
30.00'

SW COR. SEC. 25  
(CALCULATED  
POSITION)

P.O.B.  
RW-239

**RW-239**  
4,136 SQ FT +/-

WELBY RD

N89°47'46"E 39.44'

101.04'

N16°00'33"E

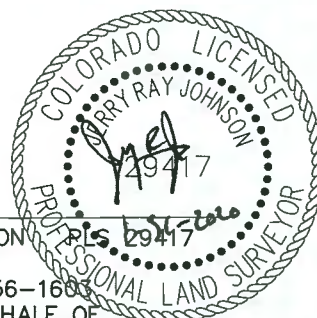
70.15'

S15°41'04"W

N74°24'10"W

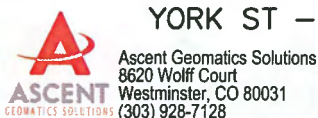
39.23'

L=41.64'  
R=1201.50'  
D=1°59'08"  
CH=S14°41'30"W  
41.64'



JERRY R JOHNSON  
DATE: \_\_\_\_\_  
PROJ: IMP-3056-1603  
FOR AND ON BEHALF OF  
PETROLEUM FIELD SERVICES, LLC  
d.b.a. ASCENT GEOMATICS SOLUTIONS

**NOTE:** THIS IS NOT A MONUMENTED SURVEY.  
IT IS INTENDED ONLY TO BE A GRAPHIC  
DEPICTION OF THE ATTACHED DESCRIPTION.



**EXHIBIT "B"**  
YORK ST - 78TH AVE TO 88TH AVE



12076 Grant Street  
Thornton, CO 80241  
Ph: (303) 962-9300  
Fax: (303) 962-9350

**RW-239**

COOL SUNSHINE LAND LLC

File Name: RCG\_B180001-RW-239

Project No. IMP-3056-1603

Print Date: 01-20-2020

Sheet: 2 of 2

**EXHIBIT "A"**  
**RIGHT-OF-WAY NUMBER: RW-241**  
**PROJECT NUMBER: IMP-3056-1603**  
**SECTION 25, TOWNSHIP 2 SOUTH, RANGE 68 WEST**  
**SIXTH PRINCIPAL MERIDIAN**  
**ADAMS COUNTY**

**DESCRIPTION**

A tract or parcel of land No. RW-241 of Adams County Project Number IMP-3056-1603, containing 6,120 square feet, more or less, being a portion of that parcel of land as described in a Quit Claim Deed, Recorded January 25, 2002, at Reception No. C0918511 of the records of the Adams County Clerk and Recorders Office, situated in the Southwest Quarter of Section 25 Township 2 South, Range 68 West of the 6<sup>th</sup> Principal Meridian, County of Adams, State of Colorado, being more particularly described as follows:

**COMMENCING** at the West Quarter Corner of Section 25 whence the West Line of the Southwest quarter of Section 25 bears S00°04'09"W a distance of 2628.81 feet;  
Thence S81°12'57"E a distance of 1117.11 feet to the Southwest corner of said parcel and the **POINT OF BEGINNING PARCEL RW-241;**

Thence N16°00'33"E along the westerly boundary of said parcel, a distance of 21.58 feet;  
Thence Northerly along said westerly boundary, a distance of 158.01 feet along a non-tangent curve to the left, said arc having a radius of 1,212.48 feet and a central angle of 07°28'01", and being subtended by a chord with a bearing of N11°45'32"E and a distance of 157.90 feet;  
Thence N89°45'45"E along the northerly boundary of said parcel, a distance of 30.51 feet;  
Thence Southerly, a distance of 177.89 feet along a non-tangent curve to the right, said arc having a radius of 1,201.50 feet and a central angle of 08°28'59", and being subtended by a chord with a bearing of S09°27'27"W and a distance of 177.73 feet to a point on the southerly boundary of said parcel;  
Thence S89°47'46"W along the southerly boundary of said parcel, a distance of 39.44 feet to the **POINT OF BEGINNING PARCEL RW-241.**

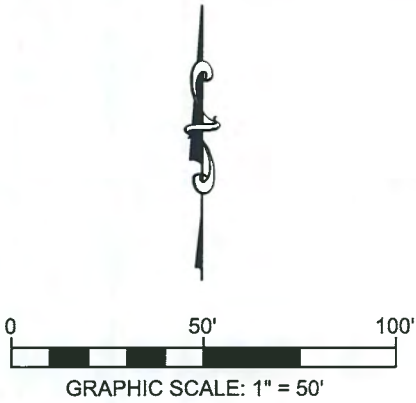
**Containing 6,120 sq. ft. +/-**

I, Jerry R. Johnson, Colorado Professional Surveyor in the State of Colorado, do hereby certify that this easement description and the field survey on the ground upon which it is based were performed by me or under my direct supervision.

---

Jerry R. Johnson, PLS 29417  
Date:  
For and on Behalf of  
Petroleum Field Services, LLC  
d.b.a. Ascent Geomatics Solutions





S. LINE NW1/4, SEC. 25

NW 1/4, SW 1/4  
SEC 25  
T2S, R68W 6TH P.M.

WELBY RD

OWNER:  
COOL SUNSHINE LAND LLC  
8380 WELBY ROAD  
DENVER, CO 80229

L=158.01'  
R=1212.48'  
D=7°28'01"  
CH=N11°45'32"E  
157.90'

L=177.89'  
R=1201.50'  
D=8°28'59"  
CH=S09°27'27"W  
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W 1/4 COR. SEC. 25  
3-1/4" ALUMINUM CAP  
MARKED "PLS 20155 1990"  
P.O.C. RW-241

S00°04'09"W 2628.81  
(BASIS OF BEARINGS)  
W. LINE SW 1/4 SEC. 25

RW-241  
6,120 SQ FT +/-

30.00' W.C. SW COR. SEC. 25  
3-1/4" ALUMINUM CAP  
MARKED "30.00' W.C. JR ENG  
LS 25369 2000"

N89°26'42"E  
30.00'

SW COR. SEC. 25  
(CALCULATED  
POSITION)

JERRY R JOHNSON  
DATE: 01/20/20  
PROJ: IMP-3056-1603  
FOR AND ON BEHALF OF  
PETROLEUM FIELD SERVICES, LLC  
d.b.a. ASCENT GEOMATICS SOLUTIONS



NOTE: THIS IS NOT A MONUMENTED SURVEY.  
IT IS INTENDED ONLY TO BE A GRAPHIC  
DEPICTION OF THE ATTACHED DESCRIPTION.



ADAMS COUNTY  
COLORADO



Ascent Geomatics Solutions  
8620 Wolff Court  
Westminster, CO 80031  
(303) 928-7128



12076 Grant Street  
Thornton, CO 80241  
Ph: (303) 962-9300  
Fax: (303) 962-9350

EXHIBIT "B"

YORK ST - 78TH AVE TO 88TH AVE

RW-241

COOL SUNSHINE LAND LLC

File Name: RCG\_B180001-RW-241

Project No. IMP-3056-1603

Print Date: 01-20-2020

Sheet: 2 of 2



## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> April 5, 2022
<b>SUBJECT:</b> Abatements
<b>FROM:</b> Meredith P. Van Horn, Assistant Adams County Attorney
<b>AGENCY/DEPARTMENT:</b> County Attorney
<b>HEARD AT STUDY SESSION ON:</b> N/A
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves the recommendations of the Assessor's Office for the attached abatement petitions.

### **BACKGROUND:**

The Assessor's Office reviewed the attached abatement petitions concerning tax years 2019, 2020, and 2021 and has agreed to the abated values for the respective accounts. The findings and recommendations of the Assessor's Office are attached hereto for approval and adoption.

### **AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Adams County Assessor's Office

### **ATTACHED DOCUMENTS:**

Resolution  
Summary Findings and Recommendations of the Assessor's Office

**FISCAL IMPACT:**

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

**Fund:****Cost Center:**

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			

**New FTEs requested:** ☐ YES ☐ NO

**Future Amendment Needed:** ☐ YES ☐ NO

**Additional Note:**

BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING ABATEMENT PETITIONS AND AUTHORIZING THE  
REFUND OF TAXES FOR ACCOUNT NUMBERS R0182317, R0105413, R0198656,  
R0091580, R0097723, R0174668, R0061231, R0159218, R0161514, R0129920, R0111915,  
R0192485, R0069036, C0037581, C0037515, and C0037439

WHEREAS, pursuant to C.R.S. § 39-1-113, the Board of County Commissioners may approve abatement petitions concerning property tax assessment and may refund taxes associated therewith; and,

WHEREAS, the attached petitions for account numbers R0182317, R0105413, R0198656, R0091580, R0097723, R0174668, R0061231, R0159218, R0161514, R0129920, R0111915, R0192485, R0069036, C0037581, C0037515, and C0037439 have been processed, reviewed and approved by the Adams County Assessor's Office; and,

WHEREAS, information regarding the initial assessed value and the justification for reduction in assessed value and refund of taxes is included for each property in the documentation attached; and,

WHEREAS, it is the recommendation of the Assessor's Office that these petitions be approved and refunds be issued by the Board of County Commissioners; and,

WHEREAS, for account numbers R0159218, R0161514, R0129920, R0111915, R0192485, R0069036, C0037581, C0037515, and C0037439, approval by the Board of County Commissioners shall be forwarded as a recommendation to the Colorado Property Tax Administrator for review and approval as required by C.R.S. §§ 39-1-113(3) and 39-2-116.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the abatement petitions for account numbers R0182317, R0105413, R0198656, R0091580, R0097723, R0174668, R0061231 are hereby approved.

BE IT FURTHER RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the resolution approving the petitions for account numbers R0159218, R0161514, R0129920, R0111915, R0192485, R0069036, C0037581, C0037515, and C0037439 be forwarded, for review, to the Colorado Property Tax Administrator to approve the abatement petitions for the Property.



**Ken Musso**  
Assessor



**Assessor's Office**  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

**BOARD OF COUNTY COMMISSIONERS**


**STIPULATION (As to Tax Year(s) 2019 Actual Value(s))**

1. The property subject to this Stipulation is:  
Schedule No. (S): R0159218      Parcel NO.(S) 015910122006
2. The subject property is classified as a Commercial property.
3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2019 :  

Land	\$781,466
Improvements	\$1,823,835
Total	\$2,605,301
4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2019 :  

Land	\$781,466
Improvements	\$1,488,534
Total	\$2,270,000
5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2019.

DATED this: February 18, 2022

  
\_\_\_\_\_  
Petitioner's Representative  
Austin G. Lidewell  
\_\_\_\_\_  
Pivotal Tax Solutions  
\_\_\_\_\_  
202 N. Lindsay Road #201  
\_\_\_\_\_  
Mesa, AZ 85213

**Deb  
Myer**

\_\_\_\_\_  
Assessor Representative  
Adams County Assessor's Office

Digitally signed by Deb Myer  
DN: cn=Deb Myer, o=Adams  
County, ou=Assessor's Office,  
email=dmyer@adcogov.org,  
c=US  
Date: 2022.02.18 14:11:07  
-07'00'

ADAMS COUNTY ASSESSOR'S RECOMMENDATION WORKSHEET BOARD OF COUNTY COMMISSIONERS (BOCC)							
Account No : <b>R0159218</b>				Parcel No : <b>0156910122006</b>			
Petition Year : <b>2019</b>				Petition Filed Date : <b>December 28, 2021</b>			
Owner Entity : <b>Prentice Ave Apartments, LLC</b>							
Owner Address : <b>10225 Knoll Court, Highlands Ranch, CO 80130-8051</b>							
Owner City : <b>Brighton</b>				State : <b>CO</b>			
Property Location: <b>189 S 50th Ave., Brighton 80601</b>							
TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT	
		Actual Value	Assessed Value	Actual Value	Assessed Value		
REAL	426	L:	\$781,466	\$226,630	L:	\$781,466	\$226,630
		I:	\$1,089,307	\$315,900	I:	\$1,823,835	\$528,910
TOTALS :			\$1,870,773	\$542,520		\$2,605,301	\$755,540
<b>Petitioner's Statement :</b> Petitioner requests a value of \$1,870,773.							
<b>Assessor's Report</b> <b>Situation :</b> 2020 value assigned is \$2,270,000 or \$227 per SF from petition filing resulted in a value reduction. Taxpayer agrees to the settled value in 2019 as in 2020. Both years have the same valuation date of 6/30/2018.							
<b>Action :</b> Reviewed the account and petition. Discovered the 2019 value was not the same as 2020. Analysis revealed 2020 value was previously reduced based on appeal filing. Reached out to the tax agent on 2/18/2022. Resolved the valuation issue by matching 2019 to 2020. Supporting reason for the change is the Boulder County club case.							
<b>Daycare</b> #####      SF      \$227      PSF      Yr. Blt.      2007							
<b>Recommendation :</b> Upon further review, a reduction in value appears warranted.							
ASSESSOR'S RECOMMENDED ADJUSTMENT							
TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		REVISED TAX WARRANT	
		Actual Value	Assessed Value	Actual Value	Assessed Value		
REAL	426	L:	\$781,466	\$226,630	L:	\$781,466	\$226,630
		I:	\$1,823,835	\$528,910	I:	\$1,488,534	\$431,670
TOTALS :			\$2,605,301	\$755,540		\$2,270,000	\$658,300
						Tax Refund	<b>\$12,167.83</b>
						Revised Tax	<b>\$82,374.40</b>

Deborah L. Myer

Appraiser

March 7, 2022

Date

# PETITION FOR ABATEMENT OR REFUND OF TAXES

County: Adams

Date Received \_\_\_\_\_  
(Use Assessor's or Commissioner's Date Stamp)

POSTMARKED 12/28/2021

**RECEIVED**

**Section I: Petitioner, please complete Section I only.**

Date: December 28, 2021  
Month Day Year

JAN 04 2022

Petitioner's Name: Prentice Ave Apartments LLC

Petitioner's Mailing Address: 202 N. Lindsay Rd., Suite 201

<u>Mesa</u>	<u>AZ</u>	<u>85213</u>
City or Town	State	Zip Code

<b>SCHEDULE OR PARCEL NUMBER(S)</b>	<b>PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY</b>
<u>0156910122006</u>	<u>189 S 50th Ave, Brighton</u>
_____	_____
_____	_____

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for the property tax year 2019 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error, or overvaluation. Attach additional sheets if necessary.)

Economic and market conditions indicate an overvaluation of the subject property as of January 1, 2019. Please see the attached supporting documentation.

Petitioner's estimate of value: \$ 1,870,773 (2019)  
Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information, and belief, is true, correct, and complete.

\_\_\_\_\_  
Petitioner's Signature Daytime Phone Number ( ) \_\_\_\_\_

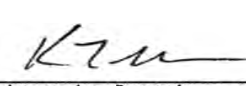
Email \_\_\_\_\_

By Christopher \_\_\_\_\_ Daytime Phone Number ( 480 ) 634-6169  
Agent's Signature\*

Printed Name: Christopher Glidewell Email appeals@pivotaltax.com

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

<b>Section II:</b>		<b>Assessor's Recommendation</b>	
		(For Assessor's Use Only)	
Tax Year <u>2019</u>			
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____
Corrected	_____	_____	_____
Abate/Refund	<u>Please see Attached Assessor Recommendation Worksheet</u>		
<input type="checkbox"/> Assessor recommends approval as outlined above.			
If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(i)(D), C.R.S.			
Tax year: <u>2019</u> Protest? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)			
<input type="checkbox"/> Assessor recommends denial for the following reason(s):			
<div style="text-align: right;">  <u>3/7/2022</u>  Assessor's or Deputy Assessor's Signature </div>			

**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**

(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III: Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____
Corrected	_____	_____	_____
Abate/Refund	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_ Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_ Date \_\_\_\_\_

**Section IV: Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_

Name

(being present--not present) and

Petitioner \_\_\_\_\_

Name

(being present--not present), and WHEREAS, the said

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED that the Board (~~agrees--does not agree~~) with the recommendation of the Assessor, and that the petition be (~~approved--approved in part--denied~~) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund
_____	_____	_____

Chairperson of the Board of County Commissioners' Signature \_\_\_\_\_

I, \_\_\_\_\_ County Clerk and Ex-Officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

Month

Year

County Clerk's or Deputy County Clerk's Signature \_\_\_\_\_

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V:****Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s): \_\_\_\_\_

Secretary's Signature \_\_\_\_\_

Property Tax Administrator's Signature \_\_\_\_\_

Date \_\_\_\_\_

# Prentice Ave Apartments, LLC

## Agency Authorization Real Property Tax Matters

*This will serve as formal authorization and notification by Prentice Ave Apartments LLC and related entities (Client) that Pivotal Tax Solutions, LLC (Pivotal) and its representatives are hereby granted authority to act on behalf of Client in real property tax matters (including valuations, direct assessments, tax surcharges, service charges, fees and additional assessments) for the current and all past years within the applicable statute of limitations for the parcels and accounts listed on the attached Schedule A.*

Specifically, Pivotal is delegated full authority to represent Client in filing, signing, negotiating, settling or otherwise dealing with all matters relating to real and personal property tax appeals with the assessor's office, treasurer's office and/or any other relevant government offices or agencies.

Furthermore, Pivotal is given authority to review, request and obtain copies of any and all information (including appraisal records, tax bills and other pertinent information) held by the Assessor, Treasurer, or any other governmental office or agency.

A photographic copy and/or a facsimile copy of this authorization are deemed to be the equivalent of the original authorization and may be used as such. This authorization will remain in effect until revoked by letter and signed by a corporate officer. Pivotal will provide Client with copies of appeals when required.

Authorized and Certified by Client:

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Name/Title: Dino Katsoulas / Owner

(Corporate Officer)

Phone: 720 947 9710

Pivotal Lead Agent: Christopher Glidewell / 480-634-6169

**Pivotal Tax Solutions, LLC**  
202 North Lindsay Road, Suite 201  
Mesa, AZ 85213  
(480) 634-6169 – Phone  
(480) 615-0318 – Fax  
[Appeals@Pivotaltax.com](mailto:Appeals@Pivotaltax.com)

State of Colorado County of Arapahoe

On this 12th day of March, 2021.

Dino Katsoulas  
personally appeared before me, and proved to me through satisfactory evidence of identification, which were Driver's License to be the person whose name is signed on the preceding or attached document in my presence.

NOTARY NAME HERE Notary Public  
My Commission Expires 04/19/2025

ANDREW BAKER  
NOTARY PUBLIC - STATE OF COLORADO  
NOTARY ID 20134024908  
MY COMMISSION EXPIRES APR 19, 2025



Client: Prentice Ave Apartments LLC and related entities  
Agency Authorization for Calendar Year 2021 and Prior

## **Schedule A**

These properties are either Owned, Occupied, and/or Controlled by Client.

State	County	Parcel	Address	Owner	Property
CO	Adams	0156910122006	189 S 50th Ave	Prentice Ave Apartm LLC	The Learning Experience - Brighton

Ken Musso  
Assessor



Assessor's Office  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

BOARD OF COUNTY COMMISSIONERS

STIPULATION (As to Tax Year(s)) 2019 Actual Value(s))

1. The property subject to this Stipulation is:  
Schedule No. (S): R0161514 Parcel NO.(S) 0182121402001
2. The subject property is classified as a Commercial property.
3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2019:

Land	\$2,145,654
Improvements	\$7,164,759
Total	\$9,310,413
4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2019:

Land	\$2,145,654
Improvements	\$6,854,346
Total	\$9,000,000
5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2019.

DATED this: February 7, 2022

Petitioner's Representative

Whitney  
Sparks

Digitally signed by Whitney Sparks  
DN: cn=Whitney Sparks, o=ou,  
email=whsparks@adcogov.org, c=US  
Date: 2022.02.07 12:15:42 -0700

Assessor Representative  
Adams County Assessor's Office

**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS**

Account No : R0161514 Parcel No : 0182121402001  
 Petition Year : 2019 Date Filed : December 20, 2021  
 Owner Entity : 40th Street Partners LLC  
 Owner Address : 45 S Clermont Street  
 Owner City : Denver State : CO  
 Property Location : 18245 E 40th Avenue, Aurora, CO

TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT	
		Actual Value	Assessed Value	Actual Value	Assessed Value		
REAL	407	L: I:		L: \$2,145,654 I: \$7,164,759	\$622,240 \$2,077,780	A. Ratio Mill Levy	29.00% 142.044
TOTALS :			\$8,965,170	\$2,599,900	\$9,310,413	\$2,700,020	Original Tax \$383,522

**Tax Exempt Portion**  
0%

**Petitioner's Statement :**

Nearby properties that are similar are valued at a higher price per square foot.

**Assessor's Report**

**Situation :**

We had improperly classified this building as a mega warehouse and it is not.

**Action :**

I changed the classification and did a market rent and sales search as well as an analysis of the subject properties operating income and expenses.

**Recommendation :**

Upon further review, a reduction in value appears warranted.

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		REVISED TAX WARRANT		
		Actual Value	Assessed Value	Actual Value	Assessed Value	Tax Refund		
REAL		L:	\$2,145,654	\$622,240	L:	\$2,145,654	\$622,240	\$12,786.80
		I:	\$7,164,759	\$2,077,780	I:	\$6,854,346	\$1,987,760	Revised Tax
TOTALS :		\$9,310,413	\$2,700,020	\$9,000,000	\$2,610,000	\$370,734.84		

Whitney Sparks February 8, 2022  
 Appraiser Date

Ad Valorem Appraiser



# PETITION FOR ABATEMENT OR REFUND OF TAXES

County: ADAMS

Date Received 12/20/2021  
(Use Assessor's or Commissioners' Date Stamp)

## Section I: Petitioner, please complete Section I only.

Date: 12 18 2021  
Month Day Year

Petitioner's Name: 40th Street Partners LLC

Petitioner's Mailing Address: c/o Sullivan Valuation Services Group, LLC - PO BOX 664

Evergreen

CO

80437

City or Town

State

Zip Code

SCHEDULE OR PARCEL NUMBER(S)

R0161514

PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY

18245 E 40th Ave. Aurora

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for the property tax year 2019 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error, or overvaluation. Attach additional sheets if necessary.)  
Petitioner requests an equitable and fair adjustment to account for the other corrected values of nearby similarly situated properties, those indicating the petitioner's property actual value is too high and should be no higher than \$57.50 psf. Single user building. The property experienced a vacancy during part of 2018. 2018 vacancy suggest a potential rent loss/releasing cost. See attached information.

Petitioner's estimate of value: \$ 8,965,170 ( 2019 )  
Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information, and belief, is true, correct, and complete.

Agency Authorization Attached

Daytime Phone Number ( )

Petitioner's Signature

Email

By

Agent's Signature\*

Daytime Phone Number ( 303 ) 273-0138

Printed Name: Sullivan Valuation Services Group LLC Email: patrick@sullivantax.us  
PO Box 664 Evergreen, CO 80437

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision. § 39-10-114.5(1), C.R.S.

## Section II:

## Assessor's Recommendation

(For Assessor's Use Only)

Tax Year

Actual

Assessed

Tax

Original

Corrected

Please see attached Assessor Recommendation Worksheet

Abate/Refund

Please see attached Abatement Worksheet.

☒ Assessor recommends approval as outlined above.

If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(I)(D), C.R.S.

Tax year: \_\_\_\_\_ Protest? ☒ No ☐ Yes (If a protest was filed, please attach a copy of the NOD.)

☐ Assessor recommends denial for the following reason(s):

Kru 2/8/2022  
Assessor's or Deputy Assessor's Signature

**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III:****Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____			Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____	_____	_____	_____
Corrected	=====	=====	=====	=====	=====	=====
Abate/Refund	_____	_____	_____	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

\_\_\_\_\_  
Petitioner's Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Assessor's or Deputy Assessor's Signature

\_\_\_\_\_  
Date

**Section IV:****Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (*being present--not present*) and

Name

Petitioner \_\_\_\_\_ (*being present--not present*), and WHEREAS, the said

Name

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED, that the Board (*agrees--does not agree*) with the recommendation of the Assessor and the petition be (*approved--approved in part--denied*) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund	Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------	------	----------------	--------------------

\_\_\_\_\_  
Chairperson of the Board of County Commissioners' Signature

I, \_\_\_\_\_ County Clerk and Ex-officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_  
Month Year

\_\_\_\_\_  
County Clerk's or Deputy County Clerk's Signature

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V:****Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this abatement petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s):

\_\_\_\_\_  
Secretary's Signature

\_\_\_\_\_  
Property Tax Administrator's Signature

\_\_\_\_\_  
Date

# LETTER OF AUTHORIZATION

Colorado Property Tax  
Adams County  
40<sup>th</sup> Street Partners LLC

## To All Parties:

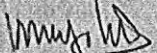
The owner of record designates the assigned agent, Byrne & Clayton Consulting, LLC/Sullivan Valuation Services Group, LLC, its principals, contractors, and agents, to act on behalf of the owner in matters pertaining to the review and administrative remedies of property valuation, overvaluation, erroneous valuation, classification and clerical calculations and any methods that may cause unlawful taxation. The assigned agent, when necessary, may file written objections/appeals on behalf of the property owner(s), attend hearings and testify as an expert witness for property taxation purposes during administrative proceedings with the county assessor staff, county board of equalization, and Colorado State Board of Assessment Appeals. In addition, agent is authorized to collect refunds and abatement checks directly from the County Treasurer's Office.

Tax Year: 2018, 2019, 2020

Property Address: 18245 East 40th Avenue, <sup>Aurora</sup>~~Arvada~~, CO 80002

Owner of Record: 40<sup>th</sup> Street Partners LLC

Account Number: R0161514

Signature: 

Property Owner Signature

Name Printed: William Goldman

Title: Managing Member

Required: Owner, Member, Managing Member, Corporate Officer

Telephone: 303-999-7331

Agency of Record: Byrne & Clayton Consulting, LLC/Sullivan Valuation Services Group, LLC

## Notary Public:

Required for Colorado State Board of Assessment Filings

State of Colorado, County of Denver

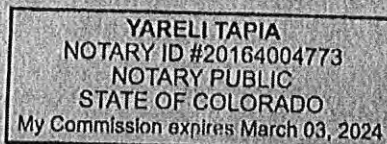
The foregoing letter of authorization and signatory was acknowledged before me on 24<sup>th</sup> day of August, 2020.

Witness my hand and official seal.



Notary Signature:

OFFICIAL SEAL (stamp)





County: Adams

Date: 2/11/2022  
Month Day Year

SCHEDULE OR PARCEL NUMBER(S)	PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY
R0129920	3449 N. Chambers Rd, Aurora, CO

*Jaquelyn Hedley*  
Petitioner's Signature

(Assessors Office) Daytime Phone Number ( 720 ) 523-6743

Email [jheadley@adcogov.org](mailto:jheadley@adcogov.org)

By \_\_\_\_\_  
Agent's Signature\*

Daytime Phone Number ( )

Email

<b>Section II:</b>	<b>Assessor's Recommendation</b> (For Assessor's Use Only)
--------------------	---

Tax Year 2021

	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	2,300,000	667,000	91,919
Corrected	2,300,000	667,000 - 16%	77,212
Abate/Refund			14,707

If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(i)(D), C.R.S.

Tax year: 2021 Protest? ☒ No ☐ Yes (If a protest was filed, please attach a copy of the NOD.)

☐ Assessor recommends denial for the following reason(s):

2/14/22

Assessor's or Deputy Assessor's Signature

**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**

(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III: Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____
Corrected	_____	_____	_____
Abate/Refund	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_

Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_

Date \_\_\_\_\_

**Section IV: Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present--not present) and

Petitioner \_\_\_\_\_ (being present--not present), and WHEREAS, the said \_\_\_\_\_ Name

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED that the Board (agrees--does not agree) with the recommendation of the Assessor, and that the petition be (approved--approved in part--denied) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------

Chairperson of the Board of County Commissioners' Signature \_\_\_\_\_

I, \_\_\_\_\_ County Clerk and Ex-Officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

Month Year

County Clerk's or Deputy County Clerk's Signature \_\_\_\_\_

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V: Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s): \_\_\_\_\_

Secretary's Signature \_\_\_\_\_

Property Tax Administrator's Signature \_\_\_\_\_

Date \_\_\_\_\_

**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS**

Account No : R0129920      Parcel No : 01821-30-1-02-002  
 Petition Year : 2021      Date Filed : February 11, 2022  
 Owner Entity : I C Chambers LP  
 Owner Address : 17130 Dallas Parkway STE 240  
 Owner City : Dallas      State : TX  
 Property Location : Commerce II Subd Filing NO 1 Blk 1 Lot 1

TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT		
		Actual Value	Assessed Value	Actual Value	Assessed Value			
REAL	100	L:		L1:	\$540,672	\$156,795	A. Ratio	29.00%
				Imp1	\$1,759,328	\$510,205	A. Ratio	29.00%
		I:					Mill Levy	137.810
TOTALS :			\$2,300,000	\$667,000	\$2,300,000	\$667,000	Original Tax	\$91,919

**Tax Exempt Portion**  
0%

**Petitioner's Statement :**

16% Exemption needs applied because of Adams County Motor Vehicle occupying a portion of the building

**Assessor's Report**

**Situation :**

After Inspection of the property agreed that the exemption needed to remain in place for 2021

**Action :**

Corrected the property exemption at 16% for 2021 because of current occupants.

**Recommendation :**

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		REVISED TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	Tax Refund
REAL		L: \$540,672	\$156,795	L: \$540,672	\$156,790	\$14,707.08
					\$0	
		\$1,759,328	\$510,205	\$1,759,328	\$510,210	
					\$0	
					\$0	
		I:		I:	\$0	Revised Tax
TOTALS :		\$2,300,000	\$667,000	\$2,300,000	\$667,000	\$77,212.19

**Tax Exempt Portion**  
16%

Jacquelyn Headley  
Appraiser

2-11-2022  
Date

Appraiser

Ken Musso  
Assessor



Assessor's Office  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

## COUNTY BOARD OF EQUALIZATION

STIPULATION (As to Tax Year(s)) 2021 Actual Value(s))

1. The property subject to this Stipulation is: State Assessed Property  
Schedule No. (S): C0037581 (correction of pipeline distribution in TA581)
2. The subject property is classified as a State Assessed property.
3. The County Assessor originally assigned the following actual value to the  
subject property for tax year(s) 2021 :  
  
Personal Property: \$1,894,430  
  
Real Property: \$38,680
4. The Adams County Assessor has reviewed this file and agrees to make the  
following adjustment to the valuation for the subject property for tax year(s)  
2021 :  
  
Personal Property: \$ 1,022,995  
  
Real Property: \$20,877
5. By entering into this agreement, the Petitioner understands that they are giving  
up rights to further appeal of the value of this property for tax year(s)  
2021 .

DATED this: February 8, 2022

Gabriel Meave  
Petitioner's Representative

Renee Bridges  
Assessor Representative  
Adams County Assessor's Office

**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS**

Account No : C0037581      Parcel No :  
 Petition Year : 2021      Date Filed : February 1, 2021  
 Owner Entity : Grand Mesa Pipeline  
 Owner Address : 6120 S. Yale Ave  
 Owner City : Tulsa      State : OK  
 Property Location : TA581

Property Location : 1A581

TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	
STATE ASSD	100	P: \$1,022,995	\$296,669	P: \$1,894,430	\$549,380	A. Ratio 29.00%
		R: \$20,877	\$6,054	R: \$38,680	\$11,220	Mill Levy 79.805
TOTALS :		\$1,043,872	\$302,723	\$1,933,110	\$560,600	Original Tax \$44,738.68

**Petitioner's Statement :**

Clerical error of distribution percentages allocated incorrectly across Grand Mesa Pipeline accounts, generating higher tax amounts. We are requesting a refund in the amount of the overpayment of \$14,158.09. See documentation for correct percentage allocation.

**Assessor's Report**

**Situation :**

Information was not relayed that Grand Mesa Pipeline should have different percent allocation and the allocation was not distributed correctly.

**Action :**

Change distribution per prior company letters and new information with correct allocation for each TA/Account

**Recommendation :**

Upon further review, a redistribution of percentage for TA appears warranted.

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		REVISED TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	Tax Refund
STATE ASSD	100	P: \$1,894,430	\$549,380	P: \$1,022,995	\$296,670	\$20,580.11
		R: \$38,680	\$11,220	R: \$20,877	\$6,050	Revised Tax
TOTALS :		\$1,933,110	\$560,600	\$1,043,872	\$302,720	\$24,158.57

*Renee Bridges*

Signature

February 8, 2022

Date



# PETITION FOR ABATEMENT OR REFUND OF TAXES

County: Adams

Date Received 2/1/2022  
(Use Assessor's or Commissioners' Date Stamp)

## Section I: Petitioner, please complete Section I only.

Date: 02/01/2022  
Month Day Year

Petitioner's Name: Grand Mesa Pipeline LLC - Garrett Peters  
Petitioner's Mailing Address: Attn: Property Tax, 6120 S. Yale Ave., Suite 805  
Tulsa OK 74136  
City or Town State Zip Code

SCHEDULE OR PARCEL NUMBER(S)	PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY
<u>C0037581, C0037437</u>	
<u>C0037430, C0037439</u>	
<u>C0037436, C0037515</u>	

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for the property tax year 2021 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error, or overvaluation. Attach additional sheets if necessary.)

Clerical error of distribution percentages allocated incorrectly across Grand Mesa Pipeline accounts, generating higher tax amounts. We are requesting a refund in the amount of the overpayment of \$14,158.09. See page 3 for correct percentage allocation.

Petitioner's estimate of value: \$ 3,363,600 ( 2021 )  
Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information, and belief, is true, correct, and complete.

Petitioner's Signature \_\_\_\_\_ Daytime Phone Number ( 918 ) 477-0558  
By [Signature] Email \_\_\_\_\_  
Agent's Signature \_\_\_\_\_ Daytime Phone Number ( 469 ) 298-1584  
Email gpeters@keatax.com

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

Section II:		Assessor's Recommendation (For Assessor's Use Only)	
		Tax Year _____	
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____
Corrected	_____	_____	_____
Abate/Refund	<u>Please see attached Assessor Recommendation Worksheet</u>		
<input type="checkbox"/> Assessor recommends approval as outlined above.			
If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(i)(D), C.R.S.			
Tax year: <u>2021</u>		Protest? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)	
<input type="checkbox"/> Assessor recommends denial for the following reason(s):			
		<u>[Signature]</u> 2/5/2022 Assessor's or Deputy Assessor's Signature	

**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**

(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III: Written Mutual Agreement of Assessor and Petitioner**  
(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____
Corrected	_____	_____	_____
Abate/Refund	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_

Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_

Date \_\_\_\_\_

**Section IV:**

**Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present--not present) and

Petitioner \_\_\_\_\_ (being present--not present), and WHEREAS, the said

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED that the Board (~~agrees--does not agree~~) with the recommendation of the Assessor, and that the petition be (~~approved--approved in part--denied~~) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------

Chairperson of the Board of County Commissioners' Signature \_\_\_\_\_

I, \_\_\_\_\_ County Clerk and Ex-Officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_

Month

Year

County Clerk's or Deputy County Clerk's Signature \_\_\_\_\_

Note: Abatements greater than \$10,000 per schedule, per year must be submitted in duplicate to the Property Tax Administrator for review.

**Section V:**

**Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s): \_\_\_\_\_

Secretary's Signature \_\_\_\_\_

Property Tax Administrator's Signature \_\_\_\_\_

Date \_\_\_\_\_

**2020 Tax Bill with Correct Distribution:**

Jurisdiction	Distribution	Assessmt		2020 Taxable Value	2020 Millage	2020 Tax Liability
		2020 Initial Value	Ratio			
Adams County Tax Dist 430	47.00%	7,047,731	29.00%	2,043,840	0.057905	118,348.56
Adams County Tax Dist 436	24.00%	3,598,841	29.00%	1,043,650	0.067679	70,833.86
Adams County Tax Dist 437	17.00%	2,549,179	29.00%	739,260	0.067702	50,049.38
Adams County Tax Dist 439	1.00%	149,984	29.00%	43,500	0.070291	3,057.66
Adams County Tax Dist 515	2.00%	299,903	29.00%	86,970	0.067702	5,888.04
Adams County Tax Dist 581	9.00%	1,349,566	29.00%	391,370	0.075194	29,428.68
	<b>100.00%</b>	<b>14,995,204</b>		<b>4,348,600</b>		<b>277,406.18</b>

**2021 Tax Bill with Correct Distribution:**

Jurisdiction	Distribution	2021 Est. Initial Value	Assessmt		2021 Taxable Value	2021 Estimated Millage	2021 Estimated Tax Liability
			Ratio				
Adams County Tax Dist 430	47.00%	5,451,330	29.00%		1,580,890	0.059176	93,550.75
Adams County Tax Dist 436	24.00%	2,783,658	29.00%		807,270	0.068950	55,661.27
Adams County Tax Dist 437	17.00%	1,971,758	29.00%		571,810	0.068972	39,438.88
Adams County Tax Dist 439	1.00%	116,011	29.00%		33,840	0.071561	2,407.31
Adams County Tax Dist 515	2.00%	231,971	29.00%		67,270	0.068972	4,639.75
Adams County Tax Dist 581	9.00%	1,043,872	29.00%		302,720	0.079805	24,158.57
	<b>100.00%</b>	<b>11,598,600</b>			<b>3,363,600</b>		<b>219,856.53</b>

**Per 2021 Tax Statement:**

Jurisdiction	Distribution	2021 Initial Value	Assessmt		2021 Taxable Value	2021 Millage	2021 Tax Liability
			Ratio				
Adams County Tax Dist 430	16.67%	1,933,110	29.00%		560,600	0.059176	33,174.07
Adams County Tax Dist 436	16.67%	1,933,110	29.00%		560,600	0.068950	38,653.37
Adams County Tax Dist 437	16.67%	1,933,110	29.00%		560,600	0.068972	38,665.70
Adams County Tax Dist 439	16.67%	1,933,110	29.00%		560,600	0.071561	40,117.10
Adams County Tax Dist 515	16.67%	1,933,110	29.00%		560,600	0.068972	38,665.70
Adams County Tax Dist 581	16.67%	1,933,110	29.00%		560,600	0.079805	44,738.68
	<b>100.00%</b>	<b>11,598,600</b>			<b>3,363,600</b>		<b>234,014.62</b>

14,158.09 2021 Overcharged

# Appointment of Agent for Property Tax Matters

This form is for use by a property owner in designating a lessee or other person to act as the owner's agent in property tax matters. You should read all applicable law and rules carefully, including Tax Code Section 1.111 and Comptroller Rule 9.3044. This designation will not take effect until filed with the appropriate appraisal district. Once effective, this designation will be in effect until the earlier of (1) the date of a written revocation filed with the appraisal district by the owner or the owner's designated agent, or (2) the expiration date, if any, designated below.

In some cases, you may want to contact your appraisal district or other local taxing units for free information and/or forms concerning your case before designating an agent.

Appraisal District Name

Date Received (appraisal district use only)

**STEP 1: Owner's Name and Address:**

Grand Mesa Pipeline LLC

918-477-0588

Name

Telephone Number (include area code)

6120 S. Yale Svenue, Suite 805

Address

Tulsa, OK 74136

City, State, Zip Code

**STEP 2: Identify the Property for Which Authority is Granted.** Identify all property for which you are granting the agent authority and, unless granting authority for all property listed for you, provide at least one of the property identifiers listed below (appraisal district account number, physical or situs address, or legal description). A chief appraiser may, if necessary to identify the property, request additional information. In lieu of listing property below, you may attach a list of all property to which this appointment applies, denoting the total number of additional pages attached in the lower right-hand corner below.

(check one)

☒ all property listed for me at the above address

the property(ies) listed below:

Appraisal District Account Number

Physical or Situs Address of Property

Legal Description

Appraisal District Account Number

Physical or Situs Address of Property

Legal Description

Appraisal District Account Number

Physical or Situs Address of Property

Legal Description

Appraisal District Account Number

Physical or Situs Address of Property

Legal Description

If you have additional property for which authority is granted, attach additional sheets providing the appraisal district account number, physical or situs address, or legal description for each property.

Identify here the number of additional sheets attached: .....

**STEP 3: Identify the Agent:**

KE Andrews

469-298-1594

Name

Telephone Number (include area code)

2424 Ridge Road

Address

Rockwall, TX 75087

City, State, Zip Code

**STEP 4: Specify the Agent's Authority**

The agent identified above is authorized to represent me in (check one):

☒ all property tax matters concerning the property identified

the following specific property tax matters:

The agent identified above is authorized to receive confidential information pursuant to Tax Code Sections 11.48(b)(2), 22.27(b)(2), 23.123(c)(2), 23.126(c)(2) and 23.45(b)(2):

Yes No

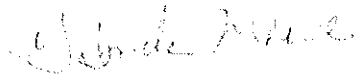
I hereby direct, as indicated below, the appraisal district, appraisal review board, and each taxing unit participating in the appraisal district to deliver the documents checked below to the agent identified above regarding the property identified. I acknowledge that such documents will be delivered only to the agent at the agent's address indicated above and will not be delivered to me unless the affected offices choose to send me copies or are otherwise required by law. I understand that these documents can affect my legal rights and that the appraisal district, appraisal review board and the taxing units are not required to send me copies if I direct them to deliver the documents to my agent.

- ☒ all communications from the chief appraiser
- ☒ all communications from the appraisal review board
- ☒ all communications from all taxing units participating in the appraisal district

**STEP 5: Date the Agent's Authority Ends.** Pursuant to Tax Code Section 1.111(c), this designation remains in effect until the date indicated or until a written revocation is filed with the appraisal district by the property owner or the owner's designated agent. A designation may be made to expire according to its own terms but is still subject to prior revocation by the property owner or designated agent. Pursuant to Tax Code Section 1.111(d), a property owner may not designate more than one agent to represent the property owner in connection with an item of property. The designation of an agent in connection with an item of property revokes any previous designation of an agent in connection with that item of property. By designating an agent on this form, previous designations of other agents in connection with the items of property shown on the form are revoked.

Date Agent's Authority Ends . . . . .

**STEP 6: Identification, Signature, and Date:**sign  
here

  
Signature of Property Owner, Property Manager or Other Person  
Authorized to Act on Behalf of the Property Owner\*

2/1/2022

Date

print  
here

Gabriela Meave

Printed Name of Property Owner, Property Manager or Other Person  
Authorized to Act on Behalf of the Property Owner

Director, Excise Tax

Title

The individual signing this form is (check one):

the property owner

a property manager authorized to designate agents for the owner

☒ other person authorized to act on behalf of the owner other than the person being designated as agent

\* This form must be signed by the property owner, a property manager authorized to designate agents for the owner or other person authorized to act on behalf of the owner other than the person being designated as agent. If you are a person other than the property owner, the appraisal district may request a copy of the document(s) authorizing you to designate agents or act on behalf of the property owner.

If you make a false statement on this form, you could be found guilty of a Class A misdemeanor or a state jail felony under Penal Code Section 37.10.

Ken Musso  
Assessor



Assessor's Office  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

**BOARD OF COUNTY COMMISSIONERS**

**STIPULATION (As to Tax Year(s))** 2020 **Actual Value(s))**

1. The property subject to this Stipulation is:  
Schedule No. (S): R0111915 Parcel NO.(S) 0182132309004

2. The subject property is classified as a Commercial property.

3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2020 :


Land	\$882,219
Improvements	\$4,600,226
Total	\$5,482,446

4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2020 :

Land	\$882,219
Improvements	\$3,797,327
Total	\$4,679,546

5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2020.

DATED this: February 7, 2022

  
\_\_\_\_\_  
Petitioner's Representative

Whitney  
Sparks

Digitally signed by Whitney Sparks  
DN: cn=Whitney Sparks, o=ou,  
email=wsparks@adcogov.org, c=US  
Date: 2022.02.07 11:52:21 -0700

\_\_\_\_\_  
Assessor Representative  
Adams County Assessor's Office

**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS**

Account No : R0111915 Parcel No : 0182132309004  
 Petition Year : 2020 Date Filed : November 12, 2021  
 Owner Entity : Environmental Testing Corp  
 Owner Address : 2022 Helena Street  
 Owner City : Aurora State : CO  
 Property Location : 2022 Helena Street, Aurora, CO

TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	
REAL		L:		L: \$882,219	\$255,840	A. Ratio 29.00%
		I:		I: \$4,600,226	\$1,334,070	Mill Levy 118.007
TOTALS :			\$4,516,254	\$1,309,710		
				\$5,482,445	\$1,589,910	Original Tax \$187,621

**Tax Exempt Portion**  
0%

**Petitioner's Statement :**

This property was erroneously valued due to inclusion in the appraisal of a 17,142 square foot parking structure that does not exist.

**Assessor's Report**

**Situation :**

An addition was made to the property records of a parking structure that was never constructed. The area that was classified incorrectly was simply a fenced off parking section.

**Action :**

Removed the parking structure that was incorrectly assessed.

**Recommendation :**

Upon further review, a reduction in value appears warranted.

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		REVISED TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	Tax Refund
REAL		L: \$882,219	\$255,840	L: \$882,219	\$255,840	\$27,477.93
		I: \$4,600,226	\$1,334,070	I: \$3,797,327	\$1,101,220	Revised Tax
TOTALS :		\$5,482,445	\$1,589,910	\$4,679,546	\$1,357,060	\$160,142.58

Whitney Sparks February 8, 2022  
 Appraiser Date

Ad Valorem Appraiser

Notice #: 157346552399

KEN MUSSO  
ADAMS COUNTY ASSESSOR  
4430 South Adams County Parkway C2100  
Brighton, CO 80601

Date of Notice: 8/17/2020  
Telephone: (720) 523-6038  
Fax: (720) 523-6037  
Office Hours: 8 a.m. to 4:30 p.m.

## COMMERCIAL PROPERTY VALUED CONSIDERING COST, MARKET & INCOME APPROACHES

The Assessor has carefully studied all available information, giving particular attention to the specifics included on your protest. The Assessor's determination of value after review is based on the following:

REAL - We have reviewed your property assessment and found it to be correct.

**If you disagree with the Assessor's decision, you have the right to appeal to the County Board of Equalization for further consideration, § 39-8-106(1)(a), C.R.S.**

**The deadline for filing real property appeals is September 28.  
The deadline for filing personal property appeals is September 28.**

The Assessor establishes property values. The local taxing authorities (county, school district, city, fire protection, and other special districts) set mill levies. The mill levy requested by each taxing authority is based on a projected budget and the property tax revenue required to adequately fund the services it provides to its taxpayers. The local taxing authorities hold budget hearings in the fall. If you are concerned about mill levies, we recommend that you attend these budget hearings. Please refer to last year's tax bill or ask your Assessor for a listing of the local taxing authorities.

**Please refer to the reverse side of this notice for additional information.**



## APPEAL PROCEDURES

### County Board of Equalization Hearings may be held from September 29 through November 16

If you agree with the Assessor's decision, NO FURTHER ACTION IS REQUIRED.

To appeal the Assessor's decision, complete the Petition to the County Board of Equalization shown below, and mail or deliver a copy of both sides of this form to:

ADAMS COUNTY BOARD OF EQUALIZATION  
4430 South Adams County Parkway C5000A  
Brighton, CO 80601

To preserve your appeal rights, your Petition to the County Board of Equalization must be postmarked or delivered on or before **September 28 for real property** and on or before **September 28 for personal property** – after such date, your right to appeal is lost. You may be required to prove that you filed a timely appeal; therefore, we recommend that all correspondence be mailed with proof of mailing.

You will be notified of the date and time scheduled for your hearing. The County Board of Equalization must mail a written decision to you within five business days following the date of the decision. The County Board of Equalization must conclude hearings and render decisions by November 8, § 39-8-107(2), C.R.S. If you do not receive a decision from the County Board of Equalization and you wish to continue your appeal, you must file an appeal with the Board of Assessment Appeals by December 8.

If you are dissatisfied with the County Board of Equalization's decision and you wish to continue your appeal, you must appeal within 30 days of the date of the County Board's written decision to ONE of the following:

#### **Board of Assessment Appeals**

1313 Sherman Street, Room 315  
Denver, CO 80203  
(303) 864-7710  
[www.dola.colorado.gov/baa](http://www.dola.colorado.gov/baa)

#### **District Court**

1100 Judicial Center Drive  
Brighton, CO 80601  
(303) 659-1161

#### **Binding Arbitration**

For a list of arbitrators, contact the County Commissioners at the address listed for the County Board of Equalization.

*If the date for filing any report, schedule, claim, tax return, statement, remittance, or other document falls upon a Saturday, Sunday, or legal holiday, it shall be deemed to have been timely filed if filed on the next business day, § 39-1-120(3), C.R.S.*

## PETITION TO COUNTY BOARD OF EQUALIZATION

**What is your estimate of the property's value as of June 30, 2018?** (Your opinion of value in terms of a specific dollar amount is required for real property pursuant to § 39-8-106(1.5), C.R.S.)

\$ \_\_\_\_\_

**What is the basis for your estimate of value or your reason for requesting a review?** (Please attach additional sheets as necessary and any supporting documentation, i.e., comparable sales, rent roll, original installed cost, appraisal, etc.)

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## ATTESTATION

I, the undersigned owner or agent<sup>1</sup> of the property identified above, affirm that the statements contained herein and on any attachments hereto are true and complete.

---

Signature Telephone Number Date

**If you would like to receive the hearing notice and final decision via Email ONLY, please include your email address below.**

---

Email Address

<sup>1</sup> Attach letter of authorization signed by property owner.

SGSI-770

## PETITION FOR ABATEMENT OR REFUND OF TAXES

County: AdamsDate Received 12/12/2021  
(Use Assessor's or Commissioners' Date Stamp)**Section I: Petitioner, please complete Section I only.**Date: 11 10 21  
Month Day YearPetitioner's Name: Environmental Testing Corp  
Petitioner's Mailing Address: P O Box 5037  
Grahambury TX 76049  
City or Town State Zip Code

SCHEDULE OR PARCEL NUMBER(S)

R 0111915

PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY

2022 Helena

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for property tax year(s) 2020 and 2021 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error or overvaluation. Attach additional sheets if necessary.)

This property was erroneously valued due to inclusion in the appraisal of a 17,142 SF parking structure that does not exist. Valerie Ferguson w/ the assessor's office is aware of the mistake + offered to reduce the value to \$7,300,000 for 2021. For 2020, I subtracted the county's cost value for the non-existent structure from the 2020 total.

Petitioner's estimate of value: \$ 4,516,254 (2020) and \$ 7,300,000 (2021) Value Year Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information and belief, is true, correct, and complete.

Petitioner's Signature

Daytime Phone Number ( )

Email

By

Russ Eich

Agent's Signature\*

Daytime Phone Number (817) 326 3775Email russ@southwestpropertytax.com

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

**Section II:****Assessor's Recommendation**  
(For Assessor's Use Only)

	Tax Year _____			Tax Year _____		
	Actual	Assessed	Tax	Actual	Assessed	Tax
Original						
Corrected	Please see attached Assessor Recommendation Worksheet					
Abate/Refund	Please see attached Abatement Worksheet.					

☒ Assessor recommends approval as outlined above.

If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(I)(D), C.R.S.

Tax year: 2020 Protest? ☐ No ☒ Yes (If a protest was filed, please attach a copy of the NOD.)Tax year: \_\_\_\_\_ Protest? ☐ No ☐ Yes (If a protest was filed, please attach a copy of the NOD.)☐ Assessor recommends denial for the following reason(s):K7u

2/8/2022

Assessor's or Deputy Assessor's Signature

**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III:****Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____			Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____	_____	_____	_____
Corrected	=====	=====	=====	=====	=====	=====
Abate/Refund	_____	_____	_____	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

\_\_\_\_\_  
Petitioner's Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Assessor's or Deputy Assessor's Signature

\_\_\_\_\_  
Date

**Section IV:****Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (*being present--not present*) and

Name

Petitioner \_\_\_\_\_ (*being present--not present*), and WHEREAS, the said

Name

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED, that the Board (*agrees--does not agree*) with the recommendation of the Assessor and the petition be (*approved--approved in part--denied*) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund	Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------	------	----------------	--------------------

\_\_\_\_\_  
Chairperson of the Board of County Commissioners' Signature

I, \_\_\_\_\_ County Clerk and Ex-officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_  
Month Year

\_\_\_\_\_  
County Clerk's or Deputy County Clerk's Signature

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V:****Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this abatement petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s):

\_\_\_\_\_  
Secretary's Signature

\_\_\_\_\_  
Property Tax Administrator's Signature

\_\_\_\_\_  
Date



# Appointment of Agent for Property Tax Matters

Property Tax  
**Form 50-162**

This form is for use by a property owner in designating a lessee or other person to act as the owner's agent in property tax matters. You should read all applicable law and rules carefully, including Section 1.111 of the Texas Property Tax Code and Comptroller Rule 9.3044. This designation will not take effect until filed with the appropriate appraisal district. Once effective, this designation will be in effect until the earlier of (1) the date of a written revocation filed with the appraisal district by the owner or the owner's designated agent, or (2) the expiration date, if any, designated below.

**In some cases, you may want to contact your appraisal district or other local taxing units for free information and/or forms concerning your case before designating an agent.**

ADAMS COUNTY COLORADO

Appraisal District Name

Date Received (appraisal district use only)

## STEP 1: Owner's Name and Address:

ENVIRONMENTAL TESTING CORPORATION

Name

Telephone Number (include area code)

2022 HELENA ST

Address

AURORA, CO 80011

City, State, Zip Code

**STEP 2: Identify the Property for Which Authority is Granted.** Identify all property for which you are granting the agent authority and, unless granting authority for all property listed for you, provide at least one of the property identifiers listed below (appraisal district account number, physical or situs address, or legal description). A chief appraiser may, if necessary to identify the property, request additional information. Additionally, in lieu of listing property below, you may attach a list of all property to which this appointment applies, denoting the total number of additional pages attached in the lower right-hand corner below.

(check one)

☐ all property listed for me at the above address

☒ the property(ies) listed below:

R0111915

2022 HELENA ST

Appraisal District Account Number

Physical or Situs Address of Property

SUBD: CHAMBERS 17 SUBD DESC: LOTS 1 2 5 AND 6 BLK 2

Legal Description

Appraisal District Account Number

Physical or Situs Address of Property

Legal Description

Appraisal District Account Number

Physical or Situs Address of Property

Legal Description

Appraisal District Account Number

Physical or Situs Address of Property

Legal Description

If you have additional property for which authority is granted, attach additional sheets providing the appraisal district account number, physical or situs address, or legal description for each property.

Identify here the number of additional sheets attached: .....

The Property Tax Assistance Division at the Texas Comptroller of Public Accounts provides property tax information and resources for taxpayers, local taxing entities, appraisal districts and appraisal review boards.

For more information, visit our website:  
[www.window.state.tx.us/taxinfo/proptax](http://www.window.state.tx.us/taxinfo/proptax)

50-162 • 10-13/11



# Appointment of Agent for Property Tax Matters

## STEP 3: Identify the Agent:

**SOUTHWEST PROPERTY TAX**

**817-326-3775**

Name

Telephone Number (include area code)

**PO BOX 5037**

Address

**GRANBURY, TX 76049**

City, State, Zip Code

## STEP 4: Specify the Agent's Authority:

The agent identified above is authorized to represent me in (check one):

☒ all property tax matters concerning the property identified

the following specific property tax matters:

The agent identified above is authorized to receive confidential information pursuant to Tax Code §§11.48(b)(2), 22.27(b)(2), 23.123(c)(2), 23.126(c)(2), and 23.45(b)(2):

☒ Yes

No

I hereby direct, as indicated below, the appraisal district, appraisal review board, and each taxing unit participating in the appraisal district to deliver the documents checked below to the agent identified above regarding the property identified. I acknowledge that such documents will be delivered only to the agent at the agent's address indicated above and will not be delivered to me unless the affected offices choose to send me copies or are otherwise required by law. I understand that these documents can affect my legal rights and that the appraisal district, appraisal review board, and the taxing units are not required to send me copies if I direct them to deliver the documents to my agent.

☒ all communications from the chief appraiser

☒ all communications from the appraisal review board

☒ all communications from all taxing units participating in the appraisal district

**STEP 5: Date the Agent's Authority Ends.** Pursuant to Tax Code §1.111(c), this designation remains in effect until the date indicated or until a written revocation is filed with the appraisal district by the property owner or the owner's designated agent. A designation may be made to expire according to its own terms but is still subject to prior revocation by the property owner or designated agent. Pursuant to Tax Code §1.111(d), a property owner may not designate more than one agent to represent the property owner in connection with an item of property. The designation of an agent in connection with an item of property revokes any previous designation of an agent in connection with that item of property. By designating an agent on this form, previous designations of other agents in connection with the items of property shown on the form are revoked.

Date Agent's Authority Ends

## STEP 6: Identification, Signature, and Date:

sign here

*[Signature]*

Signature of Property Owner, Property Manager, or Other Person Authorized to Act on Behalf of the Property Owner

Date

11/11/2021

print here

**CHAN KIM, TAX DIRECTOR**

Printed Name of Property Owner, Property Manager, or Other Person Authorized to Act on Behalf of the Property Owner

Title

The individual signing this form is (check one):

☐ the property owner

☒ a property manager authorized to designate agents for the owner

☐ other person authorized to act on behalf of the owner other than the person being designated as agent

\* This form must be signed by the property owner, a property manager authorized to designate agents for the owner, or other person authorized to act on behalf of the owner other than the person being designated as agent. If you are a person other than the property owner, the appraisal district may request a copy of the document(s) authorizing you to designate agents or act on behalf of the property owner.

If you make a false statement on this form, you could be found guilty of a Class A misdemeanor or a state jail felony under Section 37.10, Penal Code.

For more information, visit our website: [www.window.state.tx.us/taxinfo/proptax](http://www.window.state.tx.us/taxinfo/proptax)

Ken Musso  
Assessor



Assessor's Office  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

## COUNTY BOARD OF EQUALIZATION

STIPULATION (As to Tax Year(s)) 2021 Actual Value(s))

1. The property subject to this Stipulation is: State Assessed Property  
Schedule No. (S): C0037515 (correction of pipeline distribution in TA515)
2. The subject property is classified as a State Assessed property.
3. The County Assessor originally assigned the following actual value to the  
subject property for tax year(s) 2021 :  
  
Personal Property: \$1,894,430  
  
Real Property: \$38,680
4. The Adams County Assessor has reviewed this file and agrees to make the  
following adjustment to the valuation for the subject property for tax year(s)  
2021 :  
  
Personal Property: \$ 227,332  
  
Real Property: \$4,639
5. By entering into this agreement, the Petitioner understands that they are giving  
up rights to further appeal of the value of this property for tax year(s)  
2021.

DATED this: February 8, 2022

*Wanda Meave*  
Petitioner's Representative

*Renee Bridges*  
Assessor Representative  
Adams County Assessor's Office

**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS**

Account No : C0037515      Parcel No :  
 Petition Year : 2021      Date Filed : February 1, 2021  
 Owner Entity : Grand Mesa Pipeline  
 Owner Address : 6120 S. Yale Ave  
 Owner City : Tulsa      State : OK  
 Property Location : TA515

TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT			
		Actual Value	Assessed Value	Actual Value	Assessed Value				
STATE ASSD	100	P:	\$227,332	\$65,926	P:	\$1,894,430	\$549,380	A. Ratio	29.00%
		R:	\$4,639	\$1,345	R:	\$38,680	\$11,220	Mill Levy	68.972
TOTALS :			\$231,971	\$67,272		\$1,933,110	\$560,600	Original Tax	\$38,665.70

**Petitioner's Statement :**

Clerical error of distribution percentages allocated incorrectly across Grand Mesa Pipeline accounts, generating higher tax amounts. We are requesting a refund in the amount of the overpayment of \$14,158.09. See documentation for correct percentage allocation.

**Assessor's Report**

**Situation :**

Information was not relayed that Grand Mesa Pipeline should have different percent allocation and the allocation was not distributed correctly.

**Action :**

Change distribution per prior company letters and new information with correct allocation for each TA/Account

**Recommendation :**

Upon further review, a redistribution of percentage for TA appears warranted.

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		REVISED TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	Tax Refund
STATE ASSD	100	P: \$1,894,430	\$549,380	P: \$227,332	\$65,930	\$34,025.26
		R: \$38,680	\$11,220	R: \$4,639	\$1,350	Revised Tax
TOTALS :		\$1,933,110	\$560,600	\$231,971	\$67,280	\$4,640.44

*Renee Bridges*

Signature

February 8, 2022

Date

# PETITION FOR ABATEMENT OR REFUND OF TAXES

County: Adams

Date Received 2/1/2022  
(Use Assessor's or Commissioners' Date Stamp)

## Section I: Petitioner, please complete Section I only.

Date: 02/01/2022  
Month Day Year

Petitioner's Name: Grand Mesa Pipeline LLC - Garrett Peters  
Petitioner's Mailing Address: Attn: Property Tax, 6120 S. Yale Ave., Suite 805  
Tulsa OK 74136  
City or Town State Zip Code

SCHEDULE OR PARCEL NUMBER(S)	PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY
<u>C0037581, C0037437</u>	
<u>C0037430, C0037439</u>	
<u>C0037436, C0037515</u>	

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for the property tax year 2021 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error, or overvaluation. Attach additional sheets if necessary.)

Clerical error of distribution percentages allocated incorrectly across Grand Mesa Pipeline accounts, generating higher tax amounts. We are requesting a refund in the amount of the overpayment of \$14,158.09. See page 3 for correct percentage allocation.

Petitioner's estimate of value: \$ 3,363,600 ( 2021 )  
Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information, and belief, is true, correct, and complete.

Petitioner's Signature \_\_\_\_\_ Daytime Phone Number ( 918 ) 477-0558  
Email \_\_\_\_\_  
By GP \_\_\_\_\_ Daytime Phone Number ( 469 ) 298-1584  
Agent's Signature\* Email gpeters@keatax.com

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

Section II: Assessor's Recommendation	
(For Assessor's Use Only)	
Tax Year <u>2021</u>	
Actual	Assessed Tax
Original _____	
Corrected _____	
Abate/Refund	<u>Please see attached Assessor Recommendation Worksheet</u>
<input checked="" type="checkbox"/> Assessor recommends approval as outlined above.	
If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer. § 39-10-114(1)(a)(i)(D), C.R.S.	
Tax year: <u>2021</u> Protest? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)	
<input type="checkbox"/> Assessor recommends denial for the following reason(s):	
<u>Kru</u> 2/8/2022	
Assessor's or Deputy Assessor's Signature	



**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**

(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III: Written Mutual Agreement of Assessor and Petitioner**  
(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____
Corrected	_____	_____	_____
Abate/Refund	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature _____	Date _____
Assessor's or Deputy Assessor's Signature _____	Date _____

**Section IV: Decision of the County Commissioners**  
(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present--not present) and

Petitioner \_\_\_\_\_ Name \_\_\_\_\_ (being present--not present), and WHEREAS, the said \_\_\_\_\_ Name \_\_\_\_\_

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED that the Board (*agrees--does not agree*) with the recommendation of the Assessor, and that the petition be (*approved--approved in part--denied*) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------

\_\_\_\_\_  
Chairperson of the Board of County Commissioners' Signature

I, \_\_\_\_\_ County Clerk and Ex-Officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_  
Month Year

\_\_\_\_\_  
County Clerk's or Deputy County Clerk's Signature

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V: Action of the Property Tax Administrator**  
(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s): \_\_\_\_\_

Secretary's Signature _____	Property Tax Administrator's Signature _____	Date _____
-----------------------------	--	------------

**2020 Tax Bill with Correct Distribution:**

Jurisdiction	Distribution	2020 Initial Value	Assessmt Ratio	2020 Taxable Value	2020 Millage	2020 Tax Liability
Adams County Tax Dist 430	47.00%	7,047,731	29.00%	2,043,840	0.057905	118,348.56
Adams County Tax Dist 436	24.00%	3,598,841	29.00%	1,043,660	0.067679	70,633.86
Adams County Tax Dist 437	17.00%	2,549,179	29.00%	739,260	0.067702	50,048.38
Adams County Tax Dist 439	1.00%	149,984	29.00%	43,500	0.070291	3,057.66
Adams County Tax Dist 515	2.00%	299,903	29.00%	86,970	0.067702	5,888.04
Adams County Tax Dist 581	9.00%	1,349,566	29.00%	391,370	0.075194	29,428.68
	<b>100.00%</b>	<b>14,995,204</b>		<b>4,348,600</b>		<b>277,406.18</b>

**2021 Tax Bill with Correct Distribution:**

Jurisdiction	Distribution	2021 Est. Initial Value	Assessmt Ratio	2021 Taxable Value	2021 Estimated Millage	2021 Estimated Tax Liability
Adams County Tax Dist 430	47.00%	5,451,330	29.00%	1,580,890	0.059176	93,550.75
Adams County Tax Dist 436	24.00%	2,783,658	29.00%	807,270	0.068950	55,661.27
Adams County Tax Dist 437	17.00%	1,971,758	29.00%	571,810	0.068972	39,438.88
Adams County Tax Dist 439	1.00%	116,011	29.00%	33,640	0.071561	2,407.31
Adams County Tax Dist 515	2.00%	231,971	29.00%	67,270	0.068972	4,639.75
Adams County Tax Dist 581	9.00%	1,043,872	29.00%	302,720	0.079805	24,158.57
	<b>100.00%</b>	<b>11,598,600</b>		<b>3,363,600</b>		<b>219,856.53</b>

**Per 2021 Tax Statement:**

Jurisdiction	Distribution	2021 Initial Value	Assessmt Ratio	2021 Taxable Value	2021 Millage	2021 Tax Liability
Adams County Tax Dist 430	16.67%	1,933,110	29.00%	560,600	0.059176	33,174.07
Adams County Tax Dist 436	16.67%	1,933,110	29.00%	560,600	0.068950	38,653.37
Adams County Tax Dist 437	16.67%	1,933,110	29.00%	560,600	0.068972	38,665.70
Adams County Tax Dist 439	16.67%	1,933,110	29.00%	560,600	0.071561	40,117.10
Adams County Tax Dist 515	16.67%	1,933,110	29.00%	560,600	0.068972	38,665.70
Adams County Tax Dist 581	16.67%	1,933,110	29.00%	560,600	0.079805	44,738.68
	<b>100.00%</b>	<b>11,598,600</b>		<b>3,363,600</b>		<b>234,014.62</b>

14,158.09 2021 Overcharged

# Appointment of Agent for Property Tax Matters

This form is for use by a property owner in designating a lessee or other person to act as the owner's agent in property tax matters. You should read all applicable law and rules carefully, including Tax Code Section 1.111 and Comptroller Rule 9.3044. This designation will not take effect until filed with the appropriate appraisal district. Once effective, this designation will be in effect until the earlier of (1) the date of a written revocation filed with the appraisal district by the owner or the owner's designated agent, or (2) the expiration date, if any, designated below.

In some cases, you may want to contact your appraisal district or other local taxing units for free information and/or forms concerning your case before designating an agent.

Appraisal District Name

Date Received (appraisal district use only)

**STEP 1: Owner's Name and Address:**

Grand Mesa Pipeline LLC

918-477-0588

Name

Telephone Number (include area code)

6120 S. Yale Svenue, Suite 805

Address

Tulsa, OK 74136

City, State, Zip Code

**STEP 2: Identify the Property for Which Authority is Granted.** Identify all property for which you are granting the agent authority and, unless granting authority for all property listed for you, provide at least one of the property identifiers listed below (appraisal district account number, physical or situs address, or legal description). A chief appraiser may, if necessary to identify the property, request additional information. In lieu of listing property below, you may attach a list of all property to which this appointment applies, denoting the total number of additional pages attached in the lower right-hand corner below.

(check one)

☒ all property listed for me at the above address

the property(ies) listed below:

Appraisal District Account Number

Physical or Situs Address of Property

Legal Description

Appraisal District Account Number

Physical or Situs Address of Property

Legal Description

Appraisal District Account Number

Physical or Situs Address of Property

Legal Description

Appraisal District Account Number

Physical or Situs Address of Property

Legal Description

If you have additional property for which authority is granted, attach additional sheets providing the appraisal district account number, physical or situs address, or legal description for each property. Identify here the number of additional sheets attached:

**STEP 3: Identify the Agent:**

KE Andrews

469-298-1594

Name

Telephone Number (include area code)

2424 Ridge Road

Address

Rockwall, TX 75087

City, State, Zip Code

**STEP 4: Specify the Agent's Authority**

The agent identified above is authorized to represent me in (check one):

☒ all property tax matters concerning the property identified

the following specific property tax matters:

The agent identified above is authorized to receive confidential information pursuant to Tax Code Sections 11.48(b)(2),

22.27(b)(2), 23.123(c)(2), 23.126(c)(2) and 23.45(b)(2):

Yes

No

I hereby direct, as indicated below, the appraisal district, appraisal review board, and each taxing unit participating in the appraisal district to deliver the documents checked below to the agent identified above regarding the property identified. I acknowledge that such documents will be delivered only to the agent at the agent's address indicated above and will not be delivered to me unless the affected offices choose to send me copies or are otherwise required by law. I understand that these documents can affect my legal rights and that the appraisal district, appraisal review board and the taxing units are not required to send me copies if I direct them to deliver the documents to my agent.

☒ all communications from the chief appraiser☒ all communications from the appraisal review board☒ all communications from all taxing units participating in the appraisal district

**STEP 5: Date the Agent's Authority Ends.** Pursuant to Tax Code Section 1.111(c), this designation remains in effect until the date indicated or until a written revocation is filed with the appraisal district by the property owner or the owner's designated agent. A designation may be made to expire according to its own terms but is still subject to prior revocation by the property owner or designated agent. Pursuant to Tax Code Section 1.111(d), a property owner may not designate more than one agent to represent the property owner in connection with an item of property. The designation of an agent in connection with an item of property revokes any previous designation of an agent in connection with that item of property. By designating an agent on this form, previous designations of other agents in connection with the items of property shown on the form are revoked.

Date Agent's Authority Ends

**STEP 6: Identification, Signature, and Date:**sign  
here

Signature of Property Owner, Property Manager or Other Person  
Authorized to Act on Behalf of the Property Owner\*

2/1/2022

Date

print  
here

Gabriela Meave

Printed Name of Property Owner, Property Manager or Other Person  
Authorized to Act on Behalf of the Property Owner

Director, Excise Tax

Title

The individual signing this form is (check one):

the property owner

a property manager authorized to designate agents for the owner

☒ other person authorized to act on behalf of the owner other than the person being designated as agent

\* This form must be signed by the property owner, a property manager authorized to designate agents for the owner or other person authorized to act on behalf of the owner other than the person being designated as agent. If you are a person other than the property owner, the appraisal district may request a copy of the document(s) authorizing you to designate agents or act on behalf of the property owner.

If you make a false statement on this form, you could be found guilty of a Class A misdemeanor or a state jail felony under Penal Code Section 37.10.

Ken Musso  
Assessor



Assessor's Office  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

## COUNTY BOARD OF EQUALIZATION

STIPULATION (As to Tax Year(s) 2021 Actual Value(s))

1. The property subject to this Stipulation is: State Assessed Property  
Schedule No. (S): C0037439 (correction of pipeline distribution in TA439)
2. The subject property is classified as a State Assessed property.
3. The County Assessor originally assigned the following actual value to the  
subject property for tax year(s) 2021 :  
  
Personal Property: \$1,894,430  
  
Real Property: \$38,680
4. The Adams County Assessor has reviewed this file and agrees to make the  
following adjustment to the valuation for the subject property for tax year(s)  
2021 :  
  
Personal Property: \$ 113,691  
  
Real Property: \$2,320
5. By entering into this agreement, the Petitioner understands that they are giving  
up rights to further appeal of the value of this property for tax year(s)  
2021.

DATED this: February 8, 2022

Debra Meave  
Petitioner's Representative

Renee Bridges

Assessor Representative  
Adams County Assessor's Office

**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS**

Account No : C0037439      Parcel No :  
 Petition Year : 2021      Date Filed : February 1, 2021  
 Owner Entity : Grand Mesa Pipeline  
 Owner Address : 6120 S. Yale Ave  
 Owner City : Tulsa      State : OK  
 Property Location : TA439

TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT			
		Actual Value	Assessed Value	Actual Value	Assessed Value				
STATE ASSD	100	P:	\$113,691	\$32,970	P:	\$1,894,430	\$549,380	A. Ratio	29.00%
		R:	\$2,320	\$673	R:	\$38,680	\$11,220	Mill Levy	71.561
TOTALS :			\$116,011	\$33,643		\$1,933,110	\$560,600	Original Tax	\$40,117.10

**Petitioner's Statement :**

Clerical error of distribution percentages allocated incorrectly across Grand Mesa Pipeline accounts, generating higher tax amounts. We are requesting a refund in the amount of the overpayment of \$14,158.09. See documentation for correct percentage allocation.

**Assessor's Report**

**Situation :**

Information was not relayed that Grand Mesa Pipeline should have different percent allocation and the allocation was not distributed correctly.

**Action :**

Change distribution per prior company letters and new information with correct allocation for each TA/Account

**Recommendation :**

Upon further review, a redistribution of percentage for TA appears warranted.

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		REVISED TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	Tax Refund
STATE ASSD	100	P: \$1,894,430	\$549,380	P: \$113,691	\$32,970	\$37,709.79
		R: \$38,680	\$11,220	R: \$2,320	\$670	Revised Tax
TOTALS :		\$1,933,110	\$560,600	\$116,011	\$33,640	\$2,407.31

*Renee Bridges*

Signature

February 8, 2022

Date

# PETITION FOR ABATEMENT OR REFUND OF TAXES

County: Adams

Date Received 2/8/2022  
(Use Assessor's or Commissioners' Date Stamp)

**Section I: Petitioner, please complete Section I only.**

Date: 02/01/2022  
Month Day Year

Petitioner's Name: Grand Mesa Pipeline LLC - Garrett Peters  
Petitioner's Mailing Address: Attn: Property Tax, 6120 S. Yale Ave., Suite 805  
Tulsa OK 74136  
City or Town State Zip Code

SCHEDULE OR PARCEL NUMBER(S)	PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY
<u>C0037581, C0037437</u>	
<u>C0037430, C0037439</u>	
<u>C0037436, C0037515</u>	

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for the property tax year 2021 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error, or overvaluation. Attach additional sheets if necessary.)

Clerical error of distribution percentages allocated incorrectly across Grand Mesa Pipeline accounts, generating higher tax amounts. We are requesting a refund in the amount of the overpayment of \$14,158.09. See page 3 for correct percentage allocation.

Petitioner's estimate of value: \$ 3,363,600 ( 2021 )  
Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information, and belief, is true, correct, and complete.

Petitioner's Signature \_\_\_\_\_ Daytime Phone Number ( 918 ) 477-0558  
Email \_\_\_\_\_  
By gt Daytime Phone Number ( 469 ) 298-1584  
Agent's Signature \_\_\_\_\_ Email gpeters@keatax.com

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision. § 39-10-114.5(1), C.R.S.

Section II: Assessor's Recommendation	
(For Assessor's Use Only)	
Tax Year _____	
Actual	Assessed Tax
Original	_____
Corrected	_____
Abate/Refund	Please see attached Assessor Recommendation Worksheet
<input type="checkbox"/> Assessor recommends approval as outlined above.	
If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(i)(D), C.R.S.	
Tax year: <u>2021</u>	Protest? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)
<input type="checkbox"/> Assessor recommends denial for the following reason(s):	
<u>Kru</u> 2/8/2022 Assessor's or Deputy Assessor's Signature	

**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III: Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____		
	Actual	Assessed	Tax
Original	_____	_____	_____
Corrected	_____	_____	_____
Abate/Refund	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_ Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_ Date \_\_\_\_\_

**Section IV: Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present--not present) and

Petitioner \_\_\_\_\_ Name \_\_\_\_\_ (being present--not present), and WHEREAS, the said

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED that the Board (agrees--does not agree) with the recommendation of the Assessor, and that the petition be (approved--approved in part--denied) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------

Chairperson of the Board of County Commissioners' Signature \_\_\_\_\_

I, \_\_\_\_\_ County Clerk and Ex-Officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

Month Year

County Clerk's or Deputy County Clerk's Signature \_\_\_\_\_

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V: Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s): \_\_\_\_\_

Secretary's Signature \_\_\_\_\_ Property Tax Administrator's Signature \_\_\_\_\_ Date \_\_\_\_\_



**2020 Tax Bill with Correct Distribution:**

Jurisdiction	Distribution	2020 Initial Value	Assessmt Ratio	2020 Taxable Value	2020 Millage	2020 Tax Liability
Adams County Tax Dist 430	47.00%	7,047,731	29.00%	2,043,840	0.057905	118,348.56
Adams County Tax Dist 436	24.00%	3,598,841	29.00%	1,043,660	0.067679	70,633.86
Adams County Tax Dist 437	17.00%	2,549,179	29.00%	739,260	0.067702	50,049.38
Adams County Tax Dist 439	1.00%	149,984	29.00%	43,500	0.070291	3,057.66
Adams County Tax Dist 515	2.00%	299,903	29.00%	86,970	0.067702	5,888.04
Adams County Tax Dist 581	9.00%	1,349,566	29.00%	391,370	0.075194	29,428.68
	<b>100.00%</b>	<b>14,995,204</b>		<b>4,348,600</b>		<b>277,406.18</b>

**2021 Tax Bill with Correct Distribution:**

Jurisdiction	Distribution	2021 Est. Initial Value	Assessmt Ratio	2021 Taxable Value	2021 Estimated Millage	2021 Estimated Tax Liability
Adams County Tax Dist 430	47.00%	5,451,330	29.00%	1,580,890	0.059176	93,550.75
Adams County Tax Dist 436	24.00%	2,783,658	29.00%	807,270	0.068950	55,661.27
Adams County Tax Dist 437	17.00%	1,971,758	29.00%	571,810	0.068972	39,438.88
Adams County Tax Dist 439	1.00%	116,011	29.00%	33,640	0.071561	2,407.31
Adams County Tax Dist 515	2.00%	231,971	29.00%	67,270	0.068972	4,639.75
Adams County Tax Dist 581	9.00%	1,043,872	29.00%	302,720	0.079805	24,158.57
	<b>100.00%</b>	<b>11,598,600</b>		<b>3,363,600</b>		<b>219,856.53</b>

**Per 2021 Tax Statement:**

Jurisdiction	Distribution	2021 Initial Value	Assessmt Ratio	2021 Taxable Value	2021 Millage	2021 Tax Liability
Adams County Tax Dist 430	16.67%	1,933,110	29.00%	560,600	0.059176	33,174.07
Adams County Tax Dist 436	16.67%	1,933,110	29.00%	560,600	0.068950	38,653.37
Adams County Tax Dist 437	16.67%	1,933,110	29.00%	560,600	0.068972	38,665.70
Adams County Tax Dist 439	16.67%	1,933,110	29.00%	560,600	0.071561	40,117.10
Adams County Tax Dist 515	16.67%	1,933,110	29.00%	560,600	0.068972	38,665.70
Adams County Tax Dist 581	16.67%	1,933,110	29.00%	560,600	0.079805	44,738.69
	<b>100.00%</b>	<b>11,598,660</b>		<b>3,363,600</b>		<b>234,014.62</b>

14,158.09 2021 Overcharged

# Appointment of Agent for Property Tax Matters

This form is for use by a property owner in designating a lessee or other person to act as the owner's agent in property tax matters. You should read all applicable law and rules carefully, including Tax Code Section 1.111 and Comptroller Rule 9.3044. This designation will not take effect until filed with the appropriate appraisal district. Once effective, this designation will be in effect until the earlier of (1) the date of a written revocation filed with the appraisal district by the owner or the owner's designated agent, or (2) the expiration date, if any, designated below.

In some cases, you may want to contact your appraisal district or other local taxing units for free information and/or forms concerning your case before designating an agent.

Appraisal District Name

Date Received (appraisal district use only)

**STEP 1: Owner's Name and Address:**

Grand Mesa Pipeline LLC

918-477-0588

Name

Telephone Number (include area code)

6120 S. Yale Svenue, Suite 805

Address

Tulsa, OK 74136

City, State, Zip Code

**STEP 2: Identify the Property for Which Authority is Granted.** Identify all property for which you are granting the agent authority and, unless granting authority for all property listed for you, provide at least one of the property identifiers listed below (appraisal district account number, physical or situs address, or legal description). A chief appraiser may, if necessary to identify the property, request additional information. In lieu of listing property below, you may attach a list of all property to which this appointment applies, denoting the total number of additional pages attached in the lower right-hand corner below.

(check one)

☒ all property listed for me at the above address

the property(ies) listed below:

Appraisal District Account Number      Physical or Situs Address of Property

Legal Description

Appraisal District Account Number      Physical or Situs Address of Property

Legal Description

Appraisal District Account Number      Physical or Situs Address of Property

Legal Description

Appraisal District Account Number      Physical or Situs Address of Property

Legal Description

If you have additional property for which authority is granted, attach additional sheets providing the appraisal district account number, physical or situs address, or legal description for each property.

Identify here the number of additional sheets attached: .....

**STEP 3: Identify the Agent:**

KE Andrews

469-298-1594

Name

Telephone Number (include area code)

2424 Ridge Road

Address

Rockwall, TX 75087

City, State, Zip Code

**STEP 4: Specify the Agent's Authority**

The agent identified above is authorized to represent me in (check one):

☒ all property tax matters concerning the property identified

the following specific property tax matters:

The agent identified above is authorized to receive confidential information pursuant to Tax Code Sections 11.48(b)(2), 22.27(b)(2), 23.123(c)(2), 23.126(c)(2) and 23.45(b)(2):

Yes

No

I hereby direct, as indicated below, the appraisal district, appraisal review board, and each taxing unit participating in the appraisal district to deliver the documents checked below to the agent identified above regarding the property identified. I acknowledge that such documents will be delivered only to the agent at the agent's address indicated above and will not be delivered to me unless the affected offices choose to send me copies or are otherwise required by law. I understand that these documents can affect my legal rights and that the appraisal district, appraisal review board and the taxing units are not required to send me copies if I direct them to deliver the documents to my agent.

- ☒ all communications from the chief appraiser
- ☒ all communications from the appraisal review board
- ☒ all communications from all taxing units participating in the appraisal district

**STEP 5: Date the Agent's Authority Ends.** Pursuant to Tax Code Section 1.111(c), this designation remains in effect until the date indicated or until a written revocation is filed with the appraisal district by the property owner or the owner's designated agent. A designation may be made to expire according to its own terms but is still subject to prior revocation by the property owner or designated agent. Pursuant to Tax Code Section 1.111(d), a property owner may not designate more than one agent to represent the property owner in connection with an item of property. The designation of an agent in connection with an item of property revokes any previous designation of an agent in connection with that item of property. By designating an agent on this form, previous designations of other agents in connection with the items of property shown on the form are revoked.

Date Agent's Authority Ends

**STEP 6: Identification, Signature, and Date:**sign  
here

Signature of Property Owner, Property Manager or Other Person  
Authorized to Act on Behalf of the Property Owner\*

2/1/2022

Date

print  
here

Gabriela Meave

Printed Name of Property Owner, Property Manager or Other Person  
Authorized to Act on Behalf of the Property Owner

Director, Excise Tax

Title

The individual signing this form is (check one):

the property owner

a property manager authorized to designate agents for the owner

☒ other person authorized to act on behalf of the owner other than the person being designated as agent

\* This form must be signed by the property owner, a property manager authorized to designate agents for the owner or other person authorized to act on behalf of the owner other than the person being designated as agent. If you are a person other than the property owner, the appraisal district may request a copy of the document(s) authorizing you to designate agents or act on behalf of the property owner.

If you make a false statement on this form, you could be found guilty of a Class A misdemeanor or a state jail felony under Penal Code Section 37.10.

Ken Musso  
Assessor



Assessor's Office  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

COUNTY BOARD OF EQUALIZATION

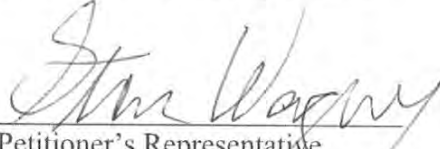
STIPULATION (As to Tax Year(s) 2019 Actual Value(s))

1. The property subject to this Stipulation is:  
Schedule No. (S): R0192485 Parcel N0.(S) 0171915415007
2. The subject property is classified as a Commercial property.
3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2019 :

Land	\$750,790
Improvements	\$3,649,368
Total	\$4,400,158
4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2019 :

Land	\$750,790
Improvements	\$2,749,210
Total	\$3,500,000
5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2019.

DATED this: February 8, 2022

  
Petitioner's Representative  
Stan Wagner, Director PT Services  
CBRE Valuation and Advisory Services  
1225 17th St., Ste. 3100  
Denver, CO 80202

Deb  
Myer

Assessor Representative  
Adams County Assessor's Office

Digitally signed by Deb Myer  
DN: cn=Deb Myer, o=Adams  
County, ou=Assessor's Office,  
email=dmyer@adcogov.org,  
c=US  
Date: 2022.02.10 10:15:29  
-07'00'

**ADAMS COUNTY ASSESSOR'S RECOMMENDATION WORKSHEET  
BOARD OF COUNTY COMMISSIONERS (BOCC)**

Account No : **R0192485** Parcel No : **0171915415007**  
 Petition Year : **2019** Petition Filed Date : **Dec. 22, 2021**  
 Owner Entity : **The Oak Group, LP**  
 Owner Address : **110 W A Street, Ste. 1125**  
 Owner City : **San Diego** State : **CA** Zip: **92101-3711**  
 Property Location : **9645 Washington Street, Thornton**

TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	
REAL	412	L: \$750,790	\$217,729	L: \$750,790	\$217,730	A. Ratio 29.00%
		I: \$2,749,210	\$797,271	I: \$3,649,368	\$1,058,320	Mill Levy 178.745
TOTALS :		\$3,500,000	\$1,015,000	\$4,400,158	\$1,276,050	Original Tax \$228,087.56

**Petitioner's Statement :**

Wants consideration per the Boulder County Club case for the same value to be enrolled in 2019 as in 2020.  
 Same valuation date of 6-30-2018.

**Assessor's Report**

**Situation :** Property received a reduction in value in 2020. Requested same value for 2019 as it's the same valuation date.

**Action :**

Stipulation value to the same value as 2020 for the same valuation date of 6-30-2018.

**Recommendation :**

Upon further review, a reduction in value is warranted.

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		REVISED TAX WARRANT	
		Actual Value	Assessed Value	Actual Value	Assessed Value	Tax Refund	
REAL	412	L:	\$750,790	\$217,730	L: \$750,790	\$217,730	\$46,661.38
		I:	\$3,649,368	\$1,058,320	I: \$2,749,210	\$797,270	Revised Tax
TOTALS :			\$4,400,158	\$1,276,050	\$3,500,000	\$1,015,000	\$181,426.18

*Deborah L. Myer*  
 Appraiser

February 15, 2022  
 Date

# PETITION FOR ABATEMENT OR REFUND OF TAXES

County: Adams

Date Received **RECEIVED**  
(Use Assessor's or Commissioners' Date Stamp)

## Section I: Petitioner, please complete Section I only.

DEC 22 2021

Date: December 22, 2021  
Month Day Year

OFFICE OF THE  
ADAMS COUNTY ASSESSOR

Petitioner's Name: The Oak Group LP

Petitioner's Mailing Address: 110 W A Street Ste 1125  
San Diego CA 92101-3711  
City or Town State Zip Code

SCHEDULE OR PARCEL NUMBER(S) 0171915415007, R0192485 PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY 9645 Washington St Thornton CO  
Highpointe Park Subd Amnd No 2 Blk 4, lot 1B

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for the property tax year 2019 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error, or overvaluation. Attach additional sheets if necessary.)

Subject property was erroneously valued for 2019 at \$4,400,158. An appeal was filed for 2020 and the value was reduced from \$4,400,158 to \$3,500,000. Due to Colorado's two year reappraisal cycle 2019 should also be reduced to \$3,500,000 as both years are supposed to be same value. No appeal was filed in 2019.  
Petitioner's estimate of value: \$3,500,000 (2019)  
Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information, and belief, is true, correct, and complete.

The Oak Group LP  
Petitioner's Signature

Daytime Phone Number ( )

By: Stan Wagner  
Agent's Signature  
(Agency Attached)

Email

Daytime Phone Number (303) 641 3476

Email stan.wagner@cbre.com

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

## Section II:

## Assessor's Recommendation (For Assessor's Use Only)

Tax Year 2019

Actual Assessed Tax

Original

Corrected

Abate/Refund Please see Assessor Recommendation Worksheet

☒ Assessor recommends approval as outlined above.

If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(i)(D), C.R.S.

Tax year: 2019 Protest? ☒ No ☐ Yes (If a protest was filed, please attach a copy of the NOD.)

☐ Assessor recommends denial for the following reason(s):

K7u 2/15/2022  
Assessor's or Deputy Assessor's Signature

**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**

(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III: Written Mutual Agreement of Assessor and Petitioner**  
 (Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____
Corrected	_____	_____	_____
Abate/Refund	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_ Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_ Date \_\_\_\_\_

**Section IV: Decision of the County Commissioners**  
 (Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present--not present) and

Petitioner \_\_\_\_\_ (being present--not present), and WHEREAS, the said

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED that the Board (~~agrees--does not agree~~) with the recommendation of the Assessor, and that the petition be (~~approved--approved in part--denied~~) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------

Chairperson of the Board of County Commissioners' Signature \_\_\_\_\_

I, \_\_\_\_\_ County Clerk and Ex-Officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

Month Year

County Clerk's or Deputy County Clerk's Signature \_\_\_\_\_

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V: Action of the Property Tax Administrator**  
 (For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s): \_\_\_\_\_

Secretary's Signature \_\_\_\_\_

Property Tax Administrator's Signature \_\_\_\_\_

Date \_\_\_\_\_



3200 4th Avenue, Suite 101A  
San Diego CA 92103  
619-285-2300 Phone/Fax

March 18, 2022

RE: Authorization of representation – Stan Wagner

We are the agent for The Oak Group LP (Oak Group) the owner of record for the property located at 9645 Washington Street, Adams Colorado (APN: 0171915415007) for which we have attached a signed Agents Authorization.

This letter serves as notice that Stan Wagner is authorized on behalf of Avid Tax Group, the Agent of Record, to act as the taxpayer's representative and discuss the assessments of the property in question with the Assessor for the 2019 Pay 20, 2020 Pay 21 and 2021 Pay 22 tax years.

Should you have any questions regarding the matter please feel free to contact me at the number listed above or at [JBoyle@avidtax.com](mailto:JBoyle@avidtax.com).

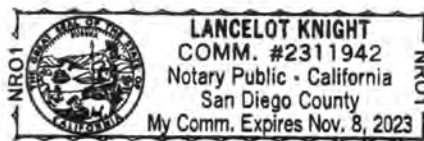
Sincerely,

Avid Tax Group

John Boyle  
Principal

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

Notary





## AGENT'S AUTHORIZATION

TO: The Assessor, Assessment Appeals Board, Auditor, Tax Collector, and Board of Supervisors

THIS IS TO AUTHORIZE AVID TAX GROUP LLC - ITS AGENTS AND EMPLOYEES

325 W. Washington Street, Suite 2148  
San Diego, CA 92103  
619-285-2300

to act in our behalf as our agent in all assessment matters for ALL properties which are owned, possessed, or controlled by us or any of our subsidiaries within Adams county.

AVID is authorized as follows:

- Delegation of full authority to represent us in, any and all matters relative to prior and current assessments, appeals, payments, refunds, etc. You are to divulge to them, any and all information that you would divulge to us.
- To sign and file property tax returns, assessment appeals applications and authority to sign any related appeal or assessment documents for the 2019 - 2022 calendars year on behalf of the signing entity.
- To obtain any and all information we have submitted to you and any information in your files pertinent to our assessments.
- To act in connection with Assessment Appeal applications, including appearances at hearings and withdrawal of said applications.

AVID will provide us a copy of any application they file on our behalf. This authorization is effective until revoked by certified letter signed by the owner, a partner, or a corporate officer. A photographic or facsimile copy of this authorization and my signature may be deemed to be the equivalent of the original or may be used as a duplicated original.

While we have delegated the above authority to this agent, we accept full responsibility for any and all actions they make on our behalf.

CLIENT:	<u>The Oak Group LP</u>
	<small>(to be signed by)</small>
SIGNED BY:	<u>Mark Hoekstra</u>
	Signature
	Mark Hoekstra
	Print Name
TITLE:	<u>Managing Director</u>
DATE:	<u>4/17/2020</u>

Ken Musso  
Assessor



Assessor's Office  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

## COUNTY BOARD OF EQUALIZATION

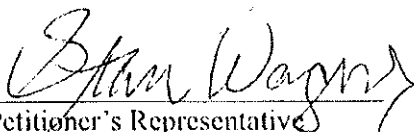
STIPULATION (As to Tax Year(s) 2020 Actual Value(s))

1. The property subject to this Stipulation is:  
Schedule No. (S): R0069036 Parcel NO.(S) 0171933413017
2. The subject property is classified as a Commercial property.
3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2020 :

Land	\$0
Improvements	\$7,970,387
Total	\$7,970,387
4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2020 :

Land	\$0
Improvements	\$6,376,300
Total	\$6,376,300
5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2020.

DATED this: October 9, 2020

  
Petitioner's Representative

Stan Wagner, Director of PT Ser.  
CBRE Valuation and Advisory Se  
1225 17th St., Suite 3100  
Denver, CO 80202

Deb Myer

Digitally signed by Deb Myer  
DN: cn=Deb Myer, o=Adams  
County, ou=Assessor's Office,  
email=dmyer@adcogov.org, c=US  
Date: 2020.10.09 11:53:20 -0600

Assessor Representative  
Adams County Assessor's Office

**ADAMS COUNTY ASSESSOR'S RECOMMENDATION WORKSHEET  
BOARD OF COUNTY COMMISSIONERS (BOCC)**

Account No : **R0069036**

Parcel No : **0171933413017**

Petition Year : **2019**

Petition Filed Date : **Dec. 22, 2021**

Owner Entity : **LMC Properties, Inc.**

Owner Address : **PO Box 61511 Bldg 100 Rm U4632**

Owner City : **King of Prussia**

State : **PA**

Zip: **19406-0911**

Property Location : **1401 Del Norte Street**

PROPERTY LOCATION: 1401 DENNIS STREET		PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT	
TYPE	OCC CODE	Actual Value	Assessed Value	Actual Value	Assessed Value		
REAL	344/407/473	L: \$0	\$0	L: \$0	\$0	A. Ratio	29.00%
		I: \$6,916,900	\$2,005,901	I: \$7,970,387	\$2,311,410	Mill Levy	122.420
TOTALS :		\$6,916,900	\$2,005,900	\$7,970,387	\$2,311,410	Original Tax	\$282,962.82

**Petitioner's Statement :**

Wants consideration per the Boulder County Club case for the same value to be enrolled in 2019 as in 2020.  
Same valuation date of 6-30-2018.

**Assessor's Report**

**Situation :** Property received a reduction in value in 2020. Requested same value for 2019 as it's the same valuation date.  
Imps only account.

**Action :**

Stipulation value to the same value as 2020 for the same valuation date of 6-30-2018.

**Recommendation :**

Upon further review, a reduction in value is warranted.

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		REVISED TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	Tax Refund
REAL	344/407/473	L: \$0	\$0	L: \$0	\$0	\$56,592.33
		I: \$7,970,387	\$2,311,410	I: \$6,376,300	\$1,849,130	Revised Tax
TOTALS :		\$7,970,387	\$2,311,410	\$6,376,300	\$1,849,130	\$226,370.49

*Deborah L. Myer*

Appraiser

February 15, 2022

Date

# PETITION FOR ABATEMENT OR REFUND OF TAXES **RECEIVED**

County: Adams

Date Received DEC 22 2021  
(Use Assessor's or Commissioners' Date Stamp)

## Section I: Petitioner, please complete Section I only.

Date: December 22, 2021  
Month Day Year

OFFICE OF THE  
ADAMS COUNTY ASSESSOR

Petitioner's Name: LMC Properties Inc  
Petitioner's Mailing Address: PO Box 6151 Blag 100 RM 44632  
King of Prussia PA 19406-0911  
City or Town State Zip Code

SCHEDULE OR PARCEL NUMBER(S)	PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY
<u>0171933913017</u> <u>(Acct R0069036)</u>	<u>1401 Del Norte St</u> <u>Perrin Mack Mober 17th Flg Desc: Imps Only</u> <u>Lot 23 EYE RT Matted</u>

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for the property tax year 2019 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error, or overvaluation. Attach additional sheets if necessary.) Property erroneously valued for 2019 and not appealed. Property appealed for 2020 and reduced from \$7,970,387 to \$6,376,300. 2020 stipulation attached. The two year cycle in Colorado should be the same for 2019 and 2020. Please reduce 2019 to be equal with 2020.

Petitioner's estimate of value: \$6,376,300 (2019)  
Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information, and belief, is true, correct, and complete.

LMC Properties Inc Daytime Phone Number ( )  
Petitioner's Signature  
By: Stan Wagner Email stan.wagner@cbrc.com  
Agent's Signature Daytime Phone Number 303, 641 3436  
(Agency Attached) Email stan.wagner@cbrc.com

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

Section II: Assessor's Recommendation (For Assessor's Use Only)	
Tax Year <u>2019</u>	
Actual	Assessed Tax
Original	
Corrected	
Abate/Refund <u>Please see Assessor's Recommendation Worksheet</u>	
<input checked="" type="checkbox"/> Assessor recommends approval as outlined above.	
If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(i)(D), C.R.S.	
Tax year <u>2019</u>	Protest? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)
<input type="checkbox"/> Assessor recommends denial for the following reason(s):	
<u>K2u</u> 2/15/2022 Assessor's or Deputy Assessor's Signature	

# FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY

(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

## Section III:

## Written Mutual Agreement of Assessor and Petitioner

(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____		
	Actual	Assessed	Tax
Original	_____	_____	_____
Corrected	_____	_____	_____
Abate/Refund	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_

Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_

Date \_\_\_\_\_

## Section IV:

## Decision of the County Commissioners

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present--not present) and

Name

Petitioner \_\_\_\_\_ (being present--not present), and WHEREAS, the said

Name

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED that the Board (~~agrees--does not agree~~) with the recommendation of the Assessor, and that the petition be (~~approved--approved in part--denied~~) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate-Refund
------	----------------	--------------------

Chairperson of the Board of County Commissioners' Signature \_\_\_\_\_

I, \_\_\_\_\_ County Clerk and Ex-Officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_  
Month Year

County Clerk's or Deputy County Clerk's Signature \_\_\_\_\_

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

## Section V:

## Action of the Property Tax Administrator

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s): \_\_\_\_\_

Secretary's Signature \_\_\_\_\_

Property Tax Administrator's Signature \_\_\_\_\_

Date \_\_\_\_\_

LOCKHEED MARTIN

**LETTER OF AUTHORIZATION**

TO: Adams County Assessor and others to whom it may concern

RE: Parcel #0171933413017 and #0171933413016

This letter will introduce the firm of **CBRE**, which is authorized to represent **LMC PROPERTIES INC** concerning Ad Valorem Taxes on real and personal property for 2019-2020. This authorization letter will supersede any previous letters of authorization on file.

**CBRE and/or Stan Wagner** is authorized to file personal and real estate returns, to review and receive copies of any prior years tax returns, to investigate appraisals and assessments, to submit income and expense information, to appeal property values and taxes, to receive tax bills, to make any necessary corrections to the taxing authority's records, to appear before administrative boards or agencies and where authorized, to appear before courts of competent jurisdiction and to prepare to take such actions in our offices as necessary to effectuate same. **CBRE** is authorized to act as agent, and/or attorney in fact, with those afore mentioned rights on this property owned or controlled by the undersigned entity.

A photographic or facsimile copy of this authorization and my signature may be deemed to be the equivalent of the original or may be used as a duplicate original.

The rights, powers, and authorization of **CBRE** herein granted shall commence upon the execution of this letter of authorization.

ACCEPTED:

**LMC PROPERTIES INC**

Signature: [Handwritten Signature]

Print Name: [Handwritten Name]

Title: [Handwritten Title]

Date: [Handwritten Date]



# Adams County Treasurer

## Receipt of Tax Payment

<b>Account</b>	<b>Parcel Number</b>	<b>Receipt Date</b>	<b>Receipt Number</b>
R0069036	0171933413017	Feb 19, 2020	2020-02-19-NetVantage-7420

LMC PROPERTIES INC  
PO BOX 61511 BLDG 100 RM U4632  
KING OF PRUSSIA, PA 19406-0911

.....

<b>Situs Address</b>	<b>Payor</b>		
1401 DEL NORTE ST			
<b>Legal Description</b>			
SUB:PERL MACK MANOR SEVENTEENTH FILING DESC: IMPS ONLY LOTS 2 AND 3 EXC PT PLATTED			
<b>Property Code</b>	<b>Actual</b> <b>Assessed</b> <b>Year</b> <b>Area</b> <b>Mill Levy</b>		
OFFICES - 2220	7,850,831      2,276,740      2019      495      122.42		
WAREHOUSE/STG - 2235	119,556      34,670      2019      495      122.42		
<b>Payments Received</b>			
Check	\$282,962.82		
Check Number 00110039			
<b>Payments Applied</b>			
<b>Year</b> <b>Charges</b>	<b>Billed</b> <b>Prior Payments</b> <b>New Payments</b> <b>Balance</b>		
2019      Tax Charge	\$282,962.82      \$0.00      \$282,962.82      \$0.00		
			\$282,962.82      \$0.00
	<b>Balance Due as of Feb 19, 2020</b>		<b>\$0.00</b>

WE ARE EXPANDING TO SERVE YOU BETTER! WATCH FOR NEW LOCATIONS ON OUR WEBSITE!

4430 S ADAMS COUNTY PKWY C2436  
BRIGHTON CO 80601  
MON - FRI 7 AM - 5 PM

720-523-6160

ALL CHECKS ARE SUBJECT TO FINAL COLLECTION. THANK YOU FOR YOUR PAYMENT!

Ken Musso  
Assessor



Assessor's Office  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

COUNTY BOARD OF EQUALIZATION

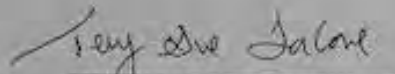
STIPULATION (As to Tax Year(s) 2020 Actual Value(s))

1. The property subject to this Stipulation is:  
Schedule No. (S): R0182317 Parcel NO.(S) 1573-01-3-12-044
2. The subject property is classified as a Residential property.
3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2020 :

Land	\$102,000
Improvements	\$503,175
Total	\$605,175
4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2020 :

Land	\$102,000
Improvements	\$415,215
Total	\$517,215
5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2020.

DATED this: February 9, 2022

  
Petitioner's Representative  
Anthony and Terry Sue Lacombe  
and Tanya and Tiffany Lacombe  
2402 E 161st Ct  
Thornton Co, 80602

Jeff  
Maldonado  
o

Digitally signed by Jeff  
Maldonado  
DN: cn=Jeff Maldonado, o=ou,  
email=jemaldonado@adcogov,  
org=c=US  
Date: 2022.02.16 07:17:35  
-07'00'

Assessor Representative  
Adams County Assessor's Office



**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III:****Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____			Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____	_____	_____	_____
Corrected	=====	=====	=====	=====	=====	=====
Abate/Refund	_____	_____	_____	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

\_\_\_\_\_  
Petitioner's Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Assessor's or Deputy Assessor's Signature

\_\_\_\_\_  
Date

**Section IV:****Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (*being present--not present*) and

Name

Petitioner \_\_\_\_\_ (*being present--not present*), and WHEREAS, the said

Name

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED, that the Board (*agrees--does not agree*) with the recommendation of the Assessor and the petition be (*approved--approved in part--denied*) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund	Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------	------	----------------	--------------------

\_\_\_\_\_  
Chairperson of the Board of County Commissioners' Signature

I, \_\_\_\_\_ County Clerk and Ex-officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_  
Month Year

\_\_\_\_\_  
County Clerk's or Deputy County Clerk's Signature

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V:****Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this abatement petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s):

\_\_\_\_\_  
Secretary's Signature

\_\_\_\_\_  
Property Tax Administrator's Signature

\_\_\_\_\_  
Date

**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS**

Account No : R0182317 Parcel No : 1573-01-3-12-044  
 Petition Year : 2020 Date Filed : January 25, 2022  
 Owner Entity : Anthony and Terry Sue Lacome and Tanya Lacome and Tiffany Lacome  
 Owner Address : 2402 E 161st Ct  
 Owner City : Thornton State : Co  
 Property Location : MORRISON SUBD FLG NO 1 AMND NO 1 BLK 1 LOT 3

TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT	
		Actual Value	Assessed Value	Actual Value	Assessed Value		
REAL	100	L:		L: \$102,000	\$7,290	A. Ratio	7.15%
		I:		I: \$503,175	\$35,980	Mill Levy	165.586
TOTALS :			\$535,512	\$38,290	\$605,175	\$43,270	Original Tax \$7,165

**Tax Exempt Portion**  
0%

**Petitioner's Statement :**

Refund requested due to overvaluation due to incorrect property characteristics

**Assessor's Report**

**Situation :**

Incorrect sf confirmed which affected value for above year

**Action :**

Value adjusted after correcting square footage and reviewing comps (used subject sale TimeAdjustedSalePrice)

**Recommendation :**

Upon further review, a reduction in value appears warranted.

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		REVISED TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	Tax Refund
REAL		L: \$102,000	\$7,290	L: \$102,000	\$7,290	\$1,041.54
		I: \$503,175	\$35,980	I: \$415,215	\$29,690	Revised Tax
TOTALS :		\$605,175	\$43,270	\$517,215	\$36,980	\$6,123.37

Jeff Maldonado February 18, 2022  
 Appraiser Date

Appraiser

RECEIVED

JAN 25 2022

OFFICE OF THE  
ADAMS COUNTY ASSESSOR

# PETITION FOR ABATEMENT OR REFUND OF TAXES

County: Adams

Date Received 1-25-22  
(Use Assessor's or Commissioners' Date Stamp)

## Section I: Petitioner, please complete Section I only.

Date: January 25 2022  
Month Day Year

Petitioner's Name: LaCone Anthony and LaCone Terry Sue and LaCone Tanya and LaCone Tiffany

Petitioner's Mailing Address: 2402 E 161ST CT Thornton, CO 80602  
Thornton CO 80602  
City or Town State Zip Code

SCHEDULE OR PARCEL NUMBER(S)  
Parcel # 0157301312044

PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY  
Add: 2402 E 161ST CT Thornton, CO 80602  
Legal: MORTGAGE SUBD PLOT NO 1 AMND  
NO 1 BLK 1 LOT 3

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for property tax year(s) 2019 and 2020 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error or overvaluation. Attach additional sheets if necessary.)

See attached 2 pages

Petitioner's estimate of value: \$ 503,175 (2019) and \$ 535,512 (2020)  
Value Year Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information and belief, is true, correct, and complete.

Anthony LaCone  
Petitioner's Signature

Daytime Phone Number (970) 390-0428  
Email tlacone@comcast.net

By \_\_\_\_\_  
Agent's Signature\*

Daytime Phone Number ( ) \_\_\_\_\_

Printed Name: \_\_\_\_\_

Email \_\_\_\_\_

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

Section II: Assessor's Recommendation (For Assessor's Use Only)					
Tax Year _____			Tax Year _____		
Actual	Assessed	Tax	Actual	Assessed	Tax
Original	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____
<input type="checkbox"/> Assessor recommends approval as outlined above.					
If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(i)(D), C.R.S.					
Tax year: _____ Protest?		<input type="checkbox"/> No	<input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)		
Tax year: _____ Protest?		<input type="checkbox"/> No	<input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)		
<input type="checkbox"/> Assessor recommends denial for the following reason(s):					
_____ Assessor's or Deputy Assessor's Signature					

**RECEIVED**

JAN 25 2022

OFFICE OF THE  
ADAMS COUNTY ASSESSOR

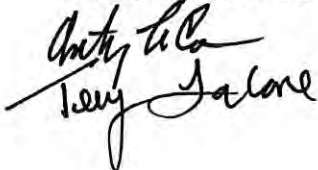
Anthony and Terry LaCome  
2402 E 161<sup>st</sup> Ct  
Thornton, CO 80602

January 25, 2022

To Whom It May Concern:

We are sending this letter for refund of taxes, as we appealed our property value and property tax assessment in May 2021 and they approved the appeal and we received the Real and Personal Property Notice of Determination on 8/13/21(attached). The appeal determined that the 2020 assessor's valuation actual value prior to review was \$579,141 and the actual value after review is \$535,512. The assessment was adjusted based on a correction of physical characteristics entered into the property records. The correction of the physical characteristics was for the incorrect garage size. We appealed the property value because it was over assessed and listed our garage square footage incorrectly. County Assessor listed the garage at 1442 sq. ft, which is way more than our actual sq. footage. No homes in our neighborhood (Lennar is builder for the neighborhood) have a garage over 872 sq ft. Property records updated our garage square footage to 845 sq ft. Since the garage size was way over actual garage size, the property value was higher than it should have been, and we have overpaid the property taxes the past four years. The Petition for Abatement or Refund of Taxes says the refund can be for two years; therefore, we would like a refund of the 2019 and 2020 property taxes due to overvaluation of our property due to incorrect garage size. If you have any questions, we can be reached at tlacome@comcast.net or by phone 970-390-0428 (Terry's cell).

Sincerely,  
Anthony and Terry LaCome

Handwritten signatures of Anthony and Terry LaCome. The signature for Anthony is written above the signature for Terry.

JAN 25 2022  
OFFICE

ADAMS COUNTY OFFICE OF THE ASSESSOR  
 3/13/2021  
 (20) 523-6038

Notice #: 157348941485

# REAL AND PERSONAL PROPERTY NOTICE OF DETERMINATION

KEN MUSSO  
ADAMS COUNTY ASSESSOR  
4430 South Adams County Parkway C2100  
Brighton, CO 80601

Date of Notice: 8/13/2021  
Telephone: (720) 523-6038  
Fax: (720) 523-6037  
Office Hours: 8 a.m. to 4:30 p.m.

ACCOUNT NUMBER		TAX YEAR	TAX AREA	LEGAL DESCRIPTION / PROPERTY ADDRESS	
R0182317		2021	559	MORRISON SUBD FLG NO 1 AMND NO 1 BLK 1 LOT 3	
PROPERTY	LACOME ANTHONY AND LACOME TERRY SUE AND LACOME TANYA AND LACOME TIFFANY 2402 E 161ST CT THORNTON, CO 80602-6609				
				2402 E 161ST CT, THORNTON	
PROPERTY CLASSIFICATION		PROPERTY OWNER'S ESTIMATE OF VALUE	ASSESSOR'S VALUATION		
			ACTUAL VALUE PRIOR TO REVIEW	ACTUAL VALUE AFTER REVIEW	
RESIDENTIAL			579,141	535,512	
		TOTAL	579,141	535,512	

## RESIDENTIAL PROPERTY IS VALUED BY THE MARKET APPROACH TO VALUE

The Assessor has carefully studied all available information, giving particular attention to the specifics included on your protest. The Assessor's determination of value after review is based on the following:

REAL - Your assessment has been adjusted based on a correction of the physical characteristics entered into our property records.

**If you disagree with the Assessor's decision, you have the right to appeal to the County Board of Equalization for further consideration, § 39-8-106(1)(a), C.R.S.**

**The deadline for filing real property appeals is September 15.  
The deadline for filing personal property appeals is September 15.**

The Assessor establishes property values. The local taxing authorities (county, school district, city, fire protection, and other special districts) set mill levies. The mill levy requested by each taxing authority is based on a projected budget and the property tax revenue required to adequately fund the services it provides to its taxpayers. The local taxing authorities hold budget hearings in the fall. If you are concerned about mill levies, we recommend that you attend these budget hearings. Please refer to last year's tax bill or ask your Assessor for a listing of the local taxing authorities.

**Please refer to the reverse side of this notice for additional information.**

Ken Musso  
Assessor



Assessor's Office  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adco.gov.org

BOARD OF COUNTY COMMISSIONERS


STIPULATION (As to Tax Year(s) 2019 Actual Value(s))

1. The property subject to this Stipulation is:  
Schedule No. (S): R0182317 Parcel NO.(S) 1573-01-3-12-044
2. The subject property is classified as a Residential property.
3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2019 :

Land	\$102,000
Improvements	\$503,175
Total	\$605,175
4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2019 :

Land	\$102,000
Improvements	\$415,215
Total	\$517,215
5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2019.

DATED this: February 9, 2022

  
Petitioner's Representative  
Anthony and Terry Sue Lacombe  
and Tanya and Tiffany Lacombe  
2402 E 161st Ct  
Thornton Co 80602

Jeff  
Maldonado

Digitally signed by Jeff  
Maldonado  
DN: cn=Jeff Maldonado, o=ou,  
email=jmaldonado@adco.gov,  
c=US  
Date: 2022.02.16 07:15:29  
-0700

Assessor Representative  
Adams County Assessor's Office

**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**(Section III or Section IV must be completed)

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**Section III:****Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____			Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____	_____	_____	_____
Corrected	=====	=====	=====	=====	=====	=====
Abate/Refund	_____	_____	_____	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

\_\_\_\_\_  
Petitioner's Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Assessor's or Deputy Assessor's Signature

\_\_\_\_\_  
Date

**Section IV:****Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (*being present--not present*) and

Name

Petitioner \_\_\_\_\_ (*being present--not present*), and WHEREAS, the said

Name

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED, that the Board (*agrees--does not agree*) with the recommendation of the Assessor and the petition be (*approved--approved in part--denied*) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund	Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------	------	----------------	--------------------

\_\_\_\_\_  
Chairperson of the Board of County Commissioners' Signature

I, \_\_\_\_\_ County Clerk and Ex-officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_  
Month Year

\_\_\_\_\_  
County Clerk's or Deputy County Clerk's Signature

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V:****Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this abatement petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s):

\_\_\_\_\_  
Secretary's Signature

\_\_\_\_\_  
Property Tax Administrator's Signature

\_\_\_\_\_  
Date

**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS**

Account No : R0182317 Parcel No : 1573-01-3-12-044  
 Petition Year : 2019 Date Filed : January 25, 2022  
 Owner Entity : Anthony and Terry Sue Lacome and Tanya Lacome and Tiffany Lacome  
 Owner Address : 2402 E 161st Ct  
 Owner City : Thornton State : Co  
 Property Location : MORRISON SUBD FLG NO 1 AMND NO 1 BLK 1 LOT 3

TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT	
		Actual Value	Assessed Value	Actual Value	Assessed Value		
REAL	100	L:		L: \$102,000	\$7,290	A. Ratio	7.15%
		I:		I: \$503,175	\$35,980	Mill Levy	165.675
TOTALS :			\$503,175		\$35,980		
				\$605,175	\$43,270	Original Tax	\$7,169

**Tax Exempt Portion**  
0%

**Petitioner's Statement :**

Refund requested due to overvaluation due to incorrect property characteristics

**Assessor's Report**

**Situation :**

Incorrect sf confirmed which affected value for above year

**Action :**

Value adjusted after correcting square footage and reviewing comps (used subject sale TimeAdjustedSalePrice)

**Recommendation :**

Upon further review, a reduction in value appears warranted.

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		REVISED TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	Tax Refund
REAL		L:	\$102,000	L:	\$102,000	\$1,042.10
		I:	\$503,175	I:	\$415,215	Revised Tax
TOTALS :			\$605,175		\$43,270	\$6,126.66

Jeff Maldonado February 18, 2022  
 Appraiser Date

Appraiser



RECEIVED

JAN 25 2022

OFFICE OF THE  
ADAMS COUNTY ASSESSOR

# PETITION FOR ABATEMENT OR REFUND OF TAXES

County: Adams

Date Received 1-25-22  
(Use Assessor's or Commissioners' Date Stamp)

## Section I: Petitioner, please complete Section I only.

Date: January 25 2022  
Month Day Year

Petitioner's Name: LaCone Anthony and LaCone Terry Sue and LaCone Tanya and LaCone Tiffany

Petitioner's Mailing Address: 2402 E 161ST CT Thornton, CO 80602  
Thornton CO 80602  
City or Town State Zip Code

SCHEDULE OR PARCEL NUMBER(S)  
Parcel # 0157301312044

PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY  
Add: 2402 E 161ST CT Thornton, CO 80602  
Legal: MORTGAGE SUBD PLG No 1 AMND  
No 1 BLK 1 LOT 3

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for property tax year(s) 2019 and 2020 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error or overvaluation. Attach additional sheets if necessary.)

See attached 2 pages

Petitioner's estimate of value: \$ 503,175 (2019) and \$ 535,512 (2020)  
Value Year Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information and belief, is true, correct, and complete.

Anthony C. LaCone  
Petitioner's Signature

Daytime Phone Number (970) 390-0428  
Email tlacone@comcast.net

By \_\_\_\_\_  
Agent's Signature\*

Daytime Phone Number ( ) \_\_\_\_\_

Printed Name: \_\_\_\_\_

Email \_\_\_\_\_

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

Section II: Assessor's Recommendation (For Assessor's Use Only)					
Tax Year _____			Tax Year _____		
Actual	Assessed	Tax	Actual	Assessed	Tax
Original	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____
<input type="checkbox"/> Assessor recommends approval as outlined above.					
If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(i)(D), C.R.S.					
Tax year: _____ Protest?		<input type="checkbox"/> No	<input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)		
Tax year: _____ Protest?		<input type="checkbox"/> No	<input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)		
<input type="checkbox"/> Assessor recommends denial for the following reason(s):					
_____ Assessor's or Deputy Assessor's Signature					

RECEIVED

JAN 25 2022

OFFICE OF THE  
ADAMS COUNTY ASSESSOR

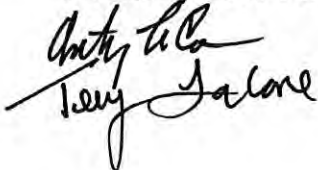
Anthony and Terry LaCome  
2402 E 161<sup>st</sup> Ct  
Thornton, CO 80602

January 25, 2022

To Whom It May Concern:

We are sending this letter for refund of taxes, as we appealed our property value and property tax assessment in May 2021 and they approved the appeal and we received the Real and Personal Property Notice of Determination on 8/13/21(attached). The appeal determined that the 2020 assessor's valuation actual value prior to review was \$579,141 and the actual value after review is \$535,512. The assessment was adjusted based on a correction of physical characteristics entered into the property records. The correction of the physical characteristics was for the incorrect garage size. We appealed the property value because it was over assessed and listed our garage square footage incorrectly. County Assessor listed the garage at 1442 sq. ft, which is way more than our actual sq. footage. No homes in our neighborhood (Lennar is builder for the neighborhood) have a garage over 872 sq ft. Property records updated our garage square footage to 845 sq ft. Since the garage size was way over actual garage size, the property value was higher than it should have been, and we have overpaid the property taxes the past four years. The Petition for Abatement or Refund of Taxes says the refund can be for two years; therefore, we would like a refund of the 2019 and 2020 property taxes due to overvaluation of our property due to incorrect garage size. If you have any questions, we can be reached at [tlacome@comcast.net](mailto:tlacome@comcast.net) or by phone 970-390-0428 (Terry's cell).

Sincerely,  
Anthony and Terry LaCome

Handwritten signatures of Anthony and Terry LaCome. The signature for Anthony is written above the signature for Terry.

JAN 25 2022  
OFFICE

ADAMS COUNTY OFFICE OF THE ASSESSOR  
 3/13/2021  
 (20) 523-6038

Notice #: 157348941485

# REAL AND PERSONAL PROPERTY NOTICE OF DETERMINATION

KEN MUSSO  
ADAMS COUNTY ASSESSOR  
4430 South Adams County Parkway C2100  
Brighton, CO 80601

Date of Notice: 8/13/2021  
Telephone: (720) 523-6038  
Fax: (720) 523-6037  
Office Hours: 8 a.m. to 4:30 p.m.

ACCOUNT NUMBER		TAX YEAR	TAX AREA	LEGAL DESCRIPTION / PROPERTY ADDRESS	
R0182317		2021	559	MORRISON SUBD FLG NO 1 AMND NO 1 BLK 1 LOT 3	
PROPERTY	LACOME ANTHONY AND LACOME TERRY SUE AND LACOME TANYA AND LACOME TIFFANY 2402 E 161ST CT THORNTON, CO 80602-6609				
				2402 E 161ST CT, THORNTON	
PROPERTY CLASSIFICATION		PROPERTY OWNER'S ESTIMATE OF VALUE	ASSESSOR'S VALUATION		
			ACTUAL VALUE PRIOR TO REVIEW	ACTUAL VALUE AFTER REVIEW	
RESIDENTIAL			579,141	535,512	
		TOTAL	579,141	535,512	

## RESIDENTIAL PROPERTY IS VALUED BY THE MARKET APPROACH TO VALUE

The Assessor has carefully studied all available information, giving particular attention to the specifics included on your protest. The Assessor's determination of value after review is based on the following:

REAL - Your assessment has been adjusted based on a correction of the physical characteristics entered into our property records.

**If you disagree with the Assessor's decision, you have the right to appeal to the County Board of Equalization for further consideration, § 39-8-106(1)(a), C.R.S.**

**The deadline for filing real property appeals is September 15.  
The deadline for filing personal property appeals is September 15.**

The Assessor establishes property values. The local taxing authorities (county, school district, city, fire protection, and other special districts) set mill levies. The mill levy requested by each taxing authority is based on a projected budget and the property tax revenue required to adequately fund the services it provides to its taxpayers. The local taxing authorities hold budget hearings in the fall. If you are concerned about mill levies, we recommend that you attend these budget hearings. Please refer to last year's tax bill or ask your Assessor for a listing of the local taxing authorities.

**Please refer to the reverse side of this notice for additional information.**

Ken Musso  
Assessor



Assessor's Office  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

BOARD OF COUNTY COMMISSIONERS

STIPULATION (As to Tax Year(s)) 2019 (Actual Value)

1. The property subject to this Stipulation is:  
Schedule No. (S): R0105413 Parcel NO.(S) 0182518200006
2. The subject property is classified as a Vacant Land property.
3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2019 :  

Land	\$299,475
Improvements	
Total	
4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2019 :  

Land	\$152,460
Improvements	
Total	
5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2019.

DATED this: 02/25/2022

DAVID A. BERGER AGENT  
Petitioner's Representative  
DAVID A. BERGER  
RHJACOBSON & CO  
DBERGER@RHJACOBSON.COM  
303-642-5251

Valerie Ferguson  
Assessor Representative  
Adams County Assessor's Office

**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS**

Account No : R0105413

Parcel No : 0182518200006

Petition Year : 2019

Date Filed : February 25, 2022

Owner Entity : KC TRUST II THE

Owner Address : 4096 YOUNGFIELD ST

Owner City : WHEAT RIDGE

State : CO

Property Location : VACANT LAND

Property Location : VACANT LAND							
TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT	
		Actual Value	Assessed Value	Actual Value	Assessed Value		
REAL	100	L:	\$0	L:	\$299,475	\$21,410	A. Ratio 7.15%
		I:	\$0	I:	\$0	\$0	Mill Levy 122.695
TOTALS :			\$0		\$299,475	\$21,410	Original Tax \$2,626.90

**Petitioner's Statement :**

N/A

**Assessor's Report**

**Situation :**

**Action :**

Comparables were reviewed and a reduction in value appears warranted.

**Recommendation :**

Upon further review, a reduction in value appears warranted.

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

ASSESSOR'S RECOMMENDED VALUE							REVISED TAX WARRANT	
TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		Tax Refund		
		Actual Value	Assessed Value	Actual Value	Assessed Value			
REAL	100	L:	\$299,475	\$21,410	L:	\$152,460	\$10,900	\$1,289.52
		I:	\$0	\$0	I:	\$0	\$0	Revised Tax
TOTALS :			\$299,475	\$21,410		\$152,460	\$10,900	

*Valerie Ferguson*

February 28, 2022

Valerie Ferguson  
Vacant Land Supervisor

Date

# PETITION FOR ABATEMENT OR REFUND OF TAXES

County: Adams

Date Received \_\_\_\_\_  
(Use Assessor's or Commissioners' Date Stamp)

**RECEIVED**

## Section I: Petitioner, please complete Section I only.

Date: 12/17/2021  
Month Day Year

**JAN 04 2022 POSTMARKED**

**12/28/2021**

Petitioner's Name: KC Trust II

**OFFICE OF THE  
ADAMS COUNTY ASSESSOR**

Petitioner's Mailing Address: c/o David G Berger  
5336 Bristol Street Arvada, CO 80002

City or Town

State

Zip Code

SCHEDULE OR PARCEL NUMBER(S)  
R0105413

PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY  
Approximately 5400 Utica St

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for property tax year(s) 2019 and 2020 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error or overvaluation. Attach additional sheets if necessary.)

Parcel is a land locked residential property. There is no available access to allow for development. Land has minimal value

See Attached analysis

Petitioner's estimate of value: \$ 150,000 ( 2019 ) and \$ 150,000 ( 2020 )  
Value Year Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information and belief, is true, correct, and complete.

\_\_\_\_\_  
Petitioner's Signature Daytime Phone Number ( ) \_\_\_\_\_

By \_\_\_\_\_  
Agent's Signature Daytime Phone Number ( 303 ) 642-5251

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

## Section II:

### Assessor's Recommendation (For Assessor's Use Only)

	Tax Year _____			Tax Year _____		
	Actual	Assessed	Tax	Actual	Assessed	Tax
Original	_____	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____	_____

☐ Assessor recommends approval as outlined above.

If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(I)(D), C.R.S.

Tax year: \_\_\_\_\_ Protest? ☐ No ☐ Yes (If a protest was filed, please attach a copy of the NOD.)

Tax year: \_\_\_\_\_ Protest? ☐ No ☐ Yes (If a protest was filed, please attach a copy of the NOD.)

☐ Assessor recommends denial for the following reason(s):

\_\_\_\_\_  
Assessor's or Deputy Assessor's Signature

**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**

(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III:****Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____			Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_

Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_

Date \_\_\_\_\_

**Section IV:****Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present--not present) and

Petitioner \_\_\_\_\_ (being present--not present), and WHEREAS, the said County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED, that the Board (*agrees--does not agree*) with the recommendation of the Assessor and the petition be (*approved--approved in part--denied*) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund	Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------	------	----------------	--------------------

Chairperson of the Board of County Commissioners' Signature \_\_\_\_\_

I, \_\_\_\_\_ County Clerk and Ex-officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

Month Year

County Clerk's or Deputy County Clerk's Signature \_\_\_\_\_

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V:****Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this abatement petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s): \_\_\_\_\_

Secretary's Signature \_\_\_\_\_

Property Tax Administrator's Signature \_\_\_\_\_

Date \_\_\_\_\_

LETTER OF AUTHORIZATION

Property Address: Vacant Land Approximately 4500 W 54th Avenue

Schedule Number: R0105413

Property Owner: KC Trust II The

To Whom It May Concern:

Property Owner identified above hereby appoints R.H. Jacobson & Co. and its associates to represent  
Property Owner in connection with real estate taxes on the above-referenced property for the years  
2021 - 2022 and any prior years.

Property Owner: KC Trust II The

By:

(Signature)

Name:

Lee Kunz Jr

(Print or Type Name)

Title:

Trustee

(Print or Type Title)

Phone:

303-431-9536

Email:

lee@leekunz.com

STATE OF Colorado )

COUNTY OF Jefferson ) ss.

The foregoing instrument was acknowledged before me this  
23rd day of March, 2021, by

Lee & Kunz . Witness my hand and official seal.

Sharon R. Hulstrom  
Notary Public

My Commission expires: 7-21-2023



Ken Musso  
Assessor



Assessor's Office  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

BOARD OF COUNTY COMMISSIONERS

STIPULATION (As to Tax Year(s)) 2020 Actual Value(s))

1. The property subject to this Stipulation is:  
Schedule No. (S): R0105413 Parcel No.(S) 0182518200006
2. The subject property is classified as a Vacant Land property.
3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2020 :

Land	\$299,475
Improvements	<div style="border: 1px solid black; width: 100px; height: 15px;"></div>
Total	\$299,475
4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2020 :

Land	\$152,460
Improvements	
Total	\$152,460
5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2020.

DATED this: February 25, 2022

DAVID G. BERGER AGENT  
Petitioner's Representative  
DAVID G. BERGER  
RH JACOBSON & CO  
DBERGER@RHJACOBSON-COM  
303 442 5251

Valerie Ferguson  
Assessor Representative  
Adams County Assessor's Office

**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS**

Account No : R0105413

Parcel No : 0182518200006

Petition Year : 2020

Date Filed : February 25, 2022

Owner Entity : KC TRUST II THE

Owner Address : 4096 YOUNGFIELD ST

Owner City : WHEAT RIDGE

State : CO

Property Location : VACANT LAND

Property Location : VACANT LAND						
TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	
REAL	100	L: \$0	\$0	L: \$299,475	\$21,410	A. Ratio 7.15%
		I: \$0	\$0	I: \$0	\$0	Mill Levy 123.003
TOTALS :		\$0	\$0	\$299,475	\$21,410	Original Tax \$2,633.49

**Petitioner's Statement :**

N/A

**Assessor's Report**

**Situation :**

**Action :**

Comparables were reviewed and a reduction in value appears warranted.

**Recommendation :**

Upon further review, a reduction in value appears warranted.

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		REVISED TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	Tax Refund
REAL	100	L: \$299,475	\$21,410	L: \$152,460	\$10,900	\$1,292.76
		I: \$0	\$0	I: \$0	\$0	Revised Tax
TOTALS :		\$299,475	\$21,410	\$152,460	\$10,900	\$1,340.73

*Valerie Ferguson*

February 28, 2022

Valerie Ferguson  
Vacant Land Supervisor

Date

# PETITION FOR ABATEMENT OR REFUND OF TAXES

County: Adams

Date Received \_\_\_\_\_  
(Use Assessor's or Commissioners' Date Stamp)

RECEIVED

**Section I: Petitioner, please complete Section I only.**

Date: 12/17/2021  
Month Day Year

JAN 04 2022 POSTMARKED

Petitioner's Name: KC Trust II  
Petitioner's Mailing Address: c/o David G Berger  
5336 Bristol Street Arvada, CO 80002

OFFICE OF THE  
ADAMS COUNTY ASSESSOR

12/28/2021

City or Town	State	Zip Code
<b>SCHEDULE OR PARCEL NUMBER(S)</b>	<b>PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY</b>	
<u>R0105413</u>	<u>Approximately 5400 Utica St</u>	
_____	_____	
_____	_____	

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for property tax year(s) 2019 and 2020 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error or overvaluation. Attach additional sheets if necessary.)

Parcel is a land locked residential property. There is no available access to allow for development. Land has minimal value

See Attached analysis

Petitioner's estimate of value: \$ 150,000 (2019) and \$ 150,000 (2020)  
Value Year Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information and belief, is true, correct, and complete.

\_\_\_\_\_  
Petitioner's Signature Daytime Phone Number (\_\_\_\_\_) \_\_\_\_\_

By \_\_\_\_\_ Daytime Phone Number (303) 642-5251  
Agent's Signature\*

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

Section II: Assessor's Recommendation (For Assessor's Use Only)					
	Tax Year _____			Tax Year _____	
	Actual	Assessed	Tax	Actual	Assessed
Original	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____
<input type="checkbox"/> Assessor recommends approval as outlined above.					
If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(I)(D), C.R.S.					
Tax year: _____ Protest? <input type="checkbox"/> No <input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)					
Tax year: _____ Protest? <input type="checkbox"/> No <input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)					
<input type="checkbox"/> Assessor recommends denial for the following reason(s):					
_____ Assessor's or Deputy Assessor's Signature					

**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**

(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III:****Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____			Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

\_\_\_\_\_  
Petitioner's Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Assessor's or Deputy Assessor's Signature

\_\_\_\_\_  
Date

**Section IV:****Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present--not present) and

Name

Petitioner \_\_\_\_\_ (being present--not present), and WHEREAS, the said

Name

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED, that the Board (*agrees--does not agree*) with the recommendation of the Assessor and the petition be (*approved--approved in part--denied*) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund	Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------	------	----------------	--------------------

\_\_\_\_\_  
Chairperson of the Board of County Commissioners' Signature

I, \_\_\_\_\_ County Clerk and Ex-officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

Month

Year

\_\_\_\_\_  
County Clerk's or Deputy County Clerk's Signature

Note. Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V:****Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this abatement petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s):

\_\_\_\_\_  
Secretary's Signature

\_\_\_\_\_  
Property Tax Administrator's Signature

\_\_\_\_\_  
Date

LETTER OF AUTHORIZATION

Property Address: Vacant Land Approximately 4500 W 54th Avenue

Schedule Number: R0105413

Property Owner: KC Trust II The

To Whom It May Concern:

Property Owner identified above hereby appoints R.H. Jacobson & Co. and its associates to represent  
Property Owner in connection with real estate taxes on the above-referenced property for the years  
2021 - 2022 and any prior years.

Property Owner: KC Trust II The

By:

(Signature)

Name:

Lee Kunz Jr

(Print or Type Name)

Title:

Trustee

(Print or Type Title)

Phone:

303-431-9536

Email:

lee@leekunz.com

STATE OF Colorado )

COUNTY OF Jefferson ) ss.

The foregoing instrument was acknowledged before me this  
23rd day of March, 2021, by

Lee R Kunz . Witness my hand and official seal.

Sharon R Hulstrom  
Notary Public

My Commission expires: 7-21-2023

Ken Musso  
Assessor



Assessor's Office  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

## COUNTY BOARD OF EQUALIZATION

### STIPULATION (As to Tax Year(s))

2020 - Actual Value(s))

1. The property subject to this Stipulation is: Schedule No. (S): R0198656

Parcel NO.(S)

1172103401303

2. The subject property is classified as a Residential property.
3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2020:

Land	\$25,000
Improvements	\$423,239
Total	\$448,239

4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2020:

Land Improvements Total

\$25,000
\$285,700
\$310,700

5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2020.

DATED this: February 22, 2022

Petitioner's Representative  
MINJAREZ DANIELLE N

*Danielle Minjarez*

*Katie Cordova*

Katie  
Cordova

for Representative  
s County Assessor's Office



**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS**

Account No : R0198656      Parcel No : 0172103401303  
 Petition Year : 2020      Date Filed : November 29, 2021  
 Owner Entity : MINJAREZ DANIELLE N and MINJAREZ GREGORY P  
 Owner Address : 198 N PRAIRIE FALCON PKWY  
 Owner City : BRIGTON      State : CO  
 Property Location : 11250 FLORENCE STREET COMMERCE CITY CO

TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	
REAL	114	L:	\$25,000	L:	\$25,000	A. Ratio 7.15%
		I:	\$275,000	I:	\$423,239	Mill Levy 163.186
TOTALS :			\$300,000		\$448,239	Original Tax \$5,230
			\$21,450		\$32,050	

**Petitioner's Statement :**

We are paying \$5,200 for our unit 29B on our condo. Other units in the area are paying \$3,200 - \$3,700 and we feel like there was some kind of mistake on ours and would like to appeal

**Assessor's Report**

**Situation :**

The Assessor Office valued the property at \$448,239 for tax year 2020. The petitioners purchased the property brand new May 3, 2019 for \$310,700. The property is overvalued.

**Action :**

Adjust value to petitioners purchase price.

**Recommendation :**

Upon further review, a reduction in value appears warranted.

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		REVISED TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	Tax Refund
REAL	114	L: \$25,000	\$1,790	L: \$25,000	\$1,790	\$1,604.12
		I: \$423,239	\$30,260	I: \$285,700	\$20,430	Revised Tax
TOTALS :		\$448,239	\$32,050	\$310,700	\$22,220	\$3,625.99

Katie Cordova  
Appraiser

March 2, 2022  
Date

Certified Residential Appraiser  
CR040030768

# PETITION FOR ABATEMENT OR REFUND OF TAXES

County: Adams County

Date Received \_\_\_\_\_  
(Use Assessor's or Commissioners' Date Stamp)

Section I: Petitioner, please complete Section I only.

Date: Nov 29 2021  
Month Day Year

Petitioner's Name: Danielle Minjarez  
Petitioner's Mailing Address: 11250 Florence St Unit 29B  
Commerce City CO 80640  
City or Town State Zip Code

SCHEDULE OR PARCEL NUMBER(S) 0172103401303 PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY  
11250 Florence St Unit 29B  
Commerce City CO 80640

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for the property tax year 2020 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error, or overvaluation. Attach additional sheets if necessary.) We are paying \$5,200 for our unit 29B on our Condo. Other units in the area are paying \$3,200-\$3,700 and we feel like there was some kind of mistake on ours and would like to appeal.

Petitioner's estimate of value: \$300,000 (2018)  
Value Year

I declare, under penalty of perjury in the second degree, that this petition together with any accompanying exhibits or statements, has been prepared or examined by me and to the best of my knowledge, information, and belief, is true, correct, and complete.

Danielle Minjarez  
Petitioner's Signature

Daytime Phone Number (720) 288-8371

Email dminjarez102@gmail.com

By \_\_\_\_\_  
Agent's Signature\*

Daytime Phone Number ( )

Email

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116 C.R.S. denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S. within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

## Section II: Assessor's Recommendation (For Assessor's Use Only)

	Tax Year		
	Actual	Assessed	Tax
Original			
Corrected			
Abate/Refund			

☐ Assessor recommends approval as outlined above.

If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer. § 39-10-114(1)(a)(i)(D), C.R.S.

Tax year: \_\_\_\_\_ Protest? ☐ No ☐ Yes (If a protest was filed, please attach a copy of the NOB.)

☐ Assessor recommends denial for the following reason(s):

Assessor's or Deputy Assessor's Signature



**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III:****Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____			Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

\_\_\_\_\_  
Petitioner's Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Assessor's or Deputy Assessor's Signature

\_\_\_\_\_  
Date

**Section IV:****Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_

Name

(being present--not present) and

Petitioner \_\_\_\_\_

Name

(being present--not present), and WHEREAS, the said

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED, that the Board (~~agrees--does not agree~~) with the recommendation of the Assessor and the petition be (~~approved--approved in part--denied~~) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund	Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------	------	----------------	--------------------

\_\_\_\_\_  
Chairperson of the Board of County Commissioners' Signature

I, \_\_\_\_\_ County Clerk and Ex-officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_  
Month Year

\_\_\_\_\_  
County Clerk's or Deputy County Clerk's Signature

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V:****Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this abatement petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s):

\_\_\_\_\_  
Secretary's Signature

\_\_\_\_\_  
Property Tax Administrator's Signature

\_\_\_\_\_  
Date

Ken Musso  
Assessor



Assessor's Office  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

BOARD OF COUNTY COMMISSIONERS


STIPULATION (As to Tax Year(s) 2019&2020 Actual Value(s))

1. The property subject to this Stipulation is:  
Schedule No. (S): R0091580,R0091546 Parcel NO.(S) 0182308203054,182308203018
2. The subject property is classified as a Residential property.
3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2019&2020 :

Land	\$662,238
Improvements	\$1,381,532
Total	\$2,043,770
4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2019&2020 :

Land	\$662,238
Improvements	\$1,104,762
Total	\$1,767,000
5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2019&2020.

DATED this: February 9, 2022



Petitioner's Representative  
Paradigm Tax Group

Rita  
Anderson

Assessor Representative  
Adams County Assessor's Office

Digitally signed by Rita Anderson  
DN: cn=Rita Anderson, o=Adams  
County Colorado, ou=Assessor's  
Office,  
email=randerson@adcogov.org, c=US  
Date: 2022.02.09 13:48:09 -0700

**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS (BOCC)**

Account No : R0091580      Parcel No : 01823-08-2-03-054  
 Petition Year : 2019      Date Filed : December 14, 2021  
 Owner Entity : Victory Village LLC  
 Owner Address : 4770 Biscayne Blvd Ste 720  
 Owner City : Miami      State : FL 33137-3244  
 Property Location : 6261 Monaco St, Commerce City, CO

TYPE		OCC CODE		PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT			
				Actual Value		Assessed Value					
REAL		118		L:	\$593,238	\$42,417	L:	\$593,238	\$42,420	A. Ratio	7.15%
				I:	\$761,462	\$85,304	I:	\$1,193,060	\$85,300	Mill Levy	89.903
TOTALS :					\$1,354,700	\$96,860		\$1,786,298	\$127,720	Original Tax	\$11,482

**Petitioner's Statement:**

This property was purchased in the base period for \$1,550,000.

**Assessor's Report:**

**Situation :**

This property consists of two separate accounts. One with 16 quonset style buildings divided into two residential rental units each and the other with a single family home used as a rental. These accounts were purchased as one economic unit in April 2017.

**Action :**

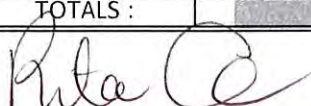
Research comparable sales and TASP.

**Recommendation :**

Upon further review, a reduction in value appears warranted.

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		REVISED TAX WARRANT			
		Actual Value	Assessed Value	Actual Value	Assessed Value	Tax Refund			
REAL	118	L:	\$593,238	\$42,420	L:	\$593,238	\$42,420	\$1,730.63	
		I:	\$1,193,060	\$85,300	I:	\$923,762	\$66,050		
TOTALS :			\$1,786,298	\$127,720		\$1,517,000	\$108,470	Revised Tax	\$9,751.78

  
 Assessor Representative

February 9, 2022  
 Date

# PETITION FOR ABATEMENT OR REFUND OF TAXES

County: Adams

Date Received \_\_\_\_\_  
(Use Assessor's or Commissioners' Date Stamp)

DEC 14 2021

OFFICE OF THE  
ADAMS COUNTY ASSESSOR

**Section I: Petitioner, please complete Section I only.**

Date: October 2021  
Month Day Year

Petitioner's Name: VICTORY VILLAGE LLC

Petitioner's Mailing Address: 4770 BISCAYNE BLVD STE 720  
MIAMI, FL 33137-3244

City or Town

State

Zip Code

**SCHEDULE OR PARCEL NUMBER(S)**

0182308203054 / R0091580

0182308203018 / R0091546

**PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY**

6261 MONACO ST

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for property tax year(s) 2019 and 2020 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error or overvaluation. Attach additional sheets if necessary.)

Please see attached.

Petitioner's estimate of value: \$ 1,550,000 (2019) and \$ 1,550,000 (2020)  
Value Year Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information and belief, is true, correct, and complete.

Petitioner's Signature

Daytime Phone Number ( )

Email

By

Agent's Signature

Daytime Phone Number 720, 930-4846

Printed Name: Carol Hughett

Email chughett@paradigmtax.com

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

**Section II:**

**Assessor's Recommendation**  
(For Assessor's Use Only)

	Tax Year _____			Tax Year _____		
	Actual	Assessed	Tax	Actual	Assessed	Tax
Original	_____	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____	_____

☐ Assessor recommends approval as outlined above.

If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer. § 39-10-114(1)(a)(i)(D), C.R.S.

Tax year: \_\_\_\_\_ Protest? ☐ No ☐ Yes (If a protest was filed, please attach a copy of the NOD.)

Tax year: \_\_\_\_\_ Protest? ☐ No ☐ Yes (If a protest was filed, please attach a copy of the NOD.)

☐ Assessor recommends denial for the following reason(s):

Assessor's or Deputy Assessor's Signature

**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**

(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III:****Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of Adams County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____			Tax Year _____		
	Actual	Assessed	Tax	Actual	Assessed	Tax
Original	_____	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_

Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_

Date \_\_\_\_\_

**Section IV:****Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present--not present) and

Name

Petitioner \_\_\_\_\_ (being present--not present), and WHEREAS, the said

Name

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED, that the Board (agrees--does not agree) with the recommendation of the Assessor and the petition be (approved--approved in part--denied) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund	Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------	------	----------------	--------------------

\_\_\_\_\_  
Chairperson of the Board of County Commissioners' Signature

I, \_\_\_\_\_ County Clerk and Ex-officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, Year \_\_\_\_\_

Month Year

\_\_\_\_\_  
County Clerk's or Deputy County Clerk's Signature

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V:****Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this abatement petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s):

\_\_\_\_\_  
Secretary's Signature

\_\_\_\_\_  
Property Tax Administrator's Signature

\_\_\_\_\_  
Date



6465 S Greenwood Plaza Blvd  
Suite 625  
Greenwood Village, CO 80111

720.930.4846 Phone  
[www.paradigmtax.com](http://www.paradigmtax.com)

October 2021

Mr. Ken Musso  
Adams County Assessor  
4430 S. Adams County Pkwy, Suite C2100  
Brighton, CO 80601

RE: Parcel ID No. 0182308203054 / R0091580, 0182308203018 / R0091546

To Whom It May Concern:

Attached is the tax bills for the above referenced schedule numbers. Subject property is valued at 2,043,770 total for 2019 & 2020. This letter hereby protests the 2019 & 2020 value. Attached is an agent authorization.

Subject property is a mobile home park with a SFR known as Victory Village.

This property was purchased in the base period for \$1,550,000. That sale is attached.

The owner states that year-to-date to 10/14/2021, front porches have almost all been replaced for a total \$226,000 overall.

**We respectfully request subject be reduced to \$1,550,000 for tax years 2019 & 2020.**

Thank you in advance for your help and consideration.

Sincerely,

A handwritten signature in black ink that reads "Carol Hughett". The signature is fluid and cursive, with the first name "Carol" and last name "Hughett" clearly distinguishable.

Carol Hughett  
Sr Managing Consultant  
[chughett@paradigmtax.com](mailto:chughett@paradigmtax.com)

# Paradigm

TAX GROUP

## LETTER OF AUTHORIZATION

TO: County Assessor, CBOE, Board of Assessment Appeals and all others To Whom it May Concern

RE: See attached Exhibit A

This letter will introduce the firm of **Paradigm Tax Group**, which is authorized to represent **Gatorcap Properties LLC** in Ad Valorem Taxes on real property for the 2021-2022 tax years and previous years. This authorization letter will supersede any previous letters of authorization on file.

**Paradigm Tax Group** is authorized to file personal and real estate returns, to review and receive copies of any prior years tax returns, to investigate appraisals and assessments, to submit income and expense information, to appeal property values and taxes, to receive tax bills, to make any necessary corrections to the taxing authority's records, to appear before administrative boards or agencies and where authorized, to appear before courts of competent jurisdiction and to prepare to take such actions in our offices as necessary to effectuate same. **Paradigm Tax Group** is authorized to act as agent, and/or attorney in fact, with those aforementioned rights on this property owned or controlled by the undersigned entity.

A photographic or facsimile copy of this authorization and my signature may be deemed to be the equivalent of the original or may be used as a duplicate original.

The rights, powers, and authorization of **Paradigm Tax Group** herein granted shall commence upon the execution of this letter of authorization.

ACCEPTED: **Gatorcap Properties LLC**

Signature:

Jon Arnold

Print Name:

Jon Arnold

Title:

Managing Member

Date:

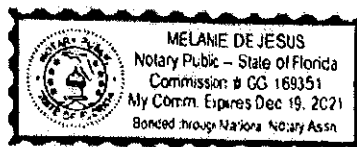
State of Florida County of Miami-Dade

This record was acknowledged before me on May 26<sup>th</sup>, 2021

by Jon Arnold name(s) of individual(s).

[Signature]  
(Notary's official signature)

Dec. 19, 2021  
(Commission Expiration)





**Ken Musso**  
Assessor



**Assessor's Office**  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

**BOARD OF COUNTY COMMISSIONERS**


**STIPULATION (As to Tax Year(s) 2019&2020 Actual Value(s))**

1. The property subject to this Stipulation is:  
Schedule No. (S): R0091580,R0091546 Parcel N0.(S) 0182308203054,182308203018
2. The subject property is classified as a Residential property.
3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2019&2020 :

Land	\$662,238
Improvements	\$1,381,532
Total	\$2,043,770
4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2019&2020 :

Land	\$662,238
Improvements	\$1,104,762
Total	\$1,767,000
5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2019&2020 .

DATED this: February 9, 2022

  
\_\_\_\_\_  
Petitioner's Representative  
Paradigm Tax Group  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Rita Anderson**  
\_\_\_\_\_  
Assessor Representative  
Adams County Assessor's Office

Digitally signed by Rita Anderson  
DN: cn=Rita Anderson, o=Adams  
County Colorado, ou=Assessor's  
Office,  
email=randerson@adcogov.org, c=US  
Date: 2022.02.09 13:48:09 -0700



**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS (BOCC)**

Account No : R0091580      Parcel No : 01823-08-2-03-054  
 Petition Year : 2020      Date Filed : December 14, 2021  
 Owner Entity : Victory Village LLC  
 Owner Address : 4770 Biscayne Blvd Ste 720  
 Owner City : Miami      State : FL 33137-3244  
 Property Location : 6261 Monaco St, Commerce City, CO

TYPE		OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT
			Actual Value	Assessed Value	Actual Value	Assessed Value	
REAL	118	L:	\$593,238	\$42,417	L:	\$593,238	A. Ratio 7.15%
		I:	\$761,462	\$85,304	I:	\$1,193,060	Mill Levy 90.095
TOTALS :			\$1,354,700	\$96,860	\$1,786,298	\$127,720	Original Tax \$11,507

**Petitioner's Statement:**

This property was purchased in the base period for \$1,550,000.

**Assessor's Report:**

**Situation :**

This property consists of two separate accounts. One with 16 quonset style buildings divided into two residential rental units each and the other with a single family home used as a rental. These accounts were purchased as one economic unit in April 2017.

**Action :**


Research comparable sales and TASP.

**Recommendation :**

Upon further review, a reduction in value appears warranted.

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		REVISED TAX WARRANT	
		Actual Value	Assessed Value	Actual Value	Assessed Value	Tax Refund	
REAL	118	L:	\$593,238	\$42,420	L: \$593,238	\$42,420	Revised Tax \$1,734.33
		I:	\$1,193,060	\$85,300	I: \$923,762	\$66,050	
TOTALS :			\$1,786,298	\$127,720	\$1,517,000	\$108,470	\$9,772.60

  
 Assessor Representative

February 9, 2022  
 Date

# PETITION FOR ABATEMENT OR REFUND OF TAXES

County: Adams

Date Received \_\_\_\_\_  
(Use Assessor's or Commissioners' Date Stamp)

DEC 14 2021

OFFICE OF THE  
ADAMS COUNTY ASSESSOR

## Section I: Petitioner, please complete Section I only.

Date: October 2021

Month Day Year

Petitioner's Name: VICTORY VILLAGE LLC

Petitioner's Mailing Address: 4770 BISCAYNE BLVD STE 720  
MIAMI, FL 33137-3244

City or Town

State

Zip Code

SCHEDULE OR PARCEL NUMBER(S)

PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY

0182308203054 / R0091580

6261 MONACO ST

0182308203018 / R0091546

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for property tax year(s) 2019 and 2020 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error or overvaluation. Attach additional sheets if necessary.)

Please see attached.

Petitioner's estimate of value: \$ 1,550,000 (2019) and \$ 1,550,000 (2020)  
Value Year Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information and belief, is true, correct, and complete.

Petitioner's Signature

Daytime Phone Number ( )

Email

By

*Carol Hughett*  
Agent's Signature

Daytime Phone Number (720) 930-4846

Printed Name: Carol Hughett

Email chughett@paradigmtax.com

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

Section II: Assessor's Recommendation (For Assessor's Use Only)		
Tax Year _____		
Actual	Assessed	Tax
Original		
Corrected		
Abate/Refund		
<input type="checkbox"/> Assessor recommends approval as outlined above.		
If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(i)(D), C.R.S.		
Tax year: _____	Protest? <input type="checkbox"/> No <input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)	
Tax year: _____	Protest? <input type="checkbox"/> No <input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)	
<input type="checkbox"/> Assessor recommends denial for the following reason(s):		
Assessor's or Deputy Assessor's Signature		

**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**

(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III:****Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of Adams County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____			Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_

Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_

Date \_\_\_\_\_

**Section IV:****Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present--not present) and

Petitioner \_\_\_\_\_ (being present--not present), and WHEREAS, the said \_\_\_\_\_

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED, that the Board (agrees--does not agree) with the recommendation of the Assessor and the petition be (approved--approved in part--denied) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund	Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------	------	----------------	--------------------

Chairperson of the Board of County Commissioners' Signature \_\_\_\_\_

I, \_\_\_\_\_ County Clerk and Ex-officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

Month Year

County Clerk's or Deputy County Clerk's Signature \_\_\_\_\_

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V:****Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this abatement petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s): \_\_\_\_\_

Secretary's Signature \_\_\_\_\_

Property Tax Administrator's Signature \_\_\_\_\_

Date \_\_\_\_\_



6465 S Greenwood Plaza Blvd  
Suite 625  
Greenwood Village, CO 80111

720.930.4846 Phone  
[www.paradigmtax.com](http://www.paradigmtax.com)

October 2021

Mr. Ken Musso  
Adams County Assessor  
4430 S. Adams County Pkwy, Suite C2100  
Brighton, CO 80601

RE: Parcel ID No. 0182308203054 / R0091580, 0182308203018 / R0091546

To Whom It May Concern:

Attached is the tax bills for the above referenced schedule numbers. Subject property is valued at 2,043,770 total for 2019 & 2020. This letter hereby protests the 2019 & 2020 value. Attached is an agent authorization.

Subject property is a mobile home park with a SFR known as Victory Village.

This property was purchased in the base period for \$1,550,000. That sale is attached.

The owner states that year-to-date to 10/14/2021, front porches have almost all been replaced for a total \$226,000 overall.

**We respectfully request subject be reduced to \$1,550,000 for tax years 2019 & 2020.**

Thank you in advance for your help and consideration.

Sincerely,

A handwritten signature in cursive script, appearing to read "Carol Hughett".

Carol Hughett  
Sr Managing Consultant  
[chughett@paradigmtax.com](mailto:chughett@paradigmtax.com)

# Paradigm

TAX GROUP

## LETTER OF AUTHORIZATION

TO: County Assessor, CBOE, Board of Assessment Appeals and all others To Whom it May Concern

RE: See attached Exhibit A

This letter will introduce the firm of **Paradigm Tax Group**, which is authorized to represent **Gatorcap Properties LLC** in Ad Valorem Taxes on real property for the **2021-2022** tax years and previous years. This authorization letter will supersede any previous letters of authorization on file.

**Paradigm Tax Group** is authorized to file personal and real estate returns, to review and receive copies of any prior years tax returns, to investigate appraisals and assessments, to submit income and expense information, to appeal property values and taxes, to receive tax bills, to make any necessary corrections to the taxing authority's records, to appear before administrative boards or agencies and where authorized, to appear before courts of competent jurisdiction and to prepare to take such actions in our offices as necessary to effectuate same. **Paradigm Tax Group** is authorized to act as agent, and/or attorney in fact, with those aforementioned rights on this property owned or controlled by the undersigned entity.

A photographic or facsimile copy of this authorization and my signature may be deemed to be the equivalent of the original or may be used as a duplicate original.

The rights, powers, and authorization of **Paradigm Tax Group** herein granted shall commence upon the execution of this letter of authorization.

ACCEPTED: **Gatorcap Properties LLC**

Signature:

Jon Arnold

Print Name:

Jon Arnold

Title:

Managing Member

Date:

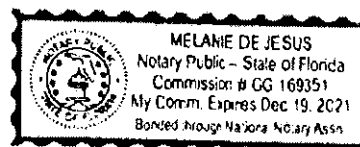
State of Florida County of Miami-Dade

This record was acknowledged before me on May 26<sup>th</sup>, 2021

by Jon Arnold name(s) of individual(s).

[Signature]  
(Notary's official signature)

Dec 19, 2021  
(Commission Expiration)



**Ken Musso**  
Assessor



**Assessor's Office**  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

**BOARD OF COUNTY COMMISSIONERS**

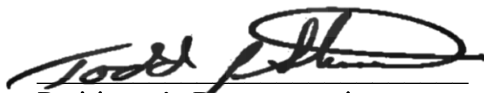
**STIPULATION (As to Tax Year(s) 2019 Actual Value(s))**

1. The property subject to this Stipulation is:  
Schedule No. (S): R0097723      Parcel N0.(S) 0182335426012
2. The subject property is classified as a Residential property.
3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2019 :

Land	\$93,750
Improvements	\$1,502,250
Total	\$1,596,000
4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2019 :

Land	\$93,750
Improvements	\$1,291,250
Total	\$1,385,000
5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2019.

DATED this:

  
\_\_\_\_\_  
Petitioner's Representative  
Todd J. Stevens  
\_\_\_\_\_  
Stevens & Associates/Inc.  
\_\_\_\_\_  
10303 E Dry Creek Rd  
\_\_\_\_\_  
Englewood, Co 80112  
\_\_\_\_\_

**Rita Anderson**  
\_\_\_\_\_  
Assessor Representative  
Adams County Assessor's Office

Digitally signed by Rita Anderson  
DN: cn=Rita Anderson, o=Adams  
County Colorado, ou=Assessor's  
Office,  
email=randerson@adcogov.org, c=US  
Date: 2022.02.17 12:59:03 -0700



**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS**

Account No : R0097723                      Parcel No : 0182335426012  
 Petition Year : 2019                      Date Filed : December 20, 2021  
 Owner Entity : MACON 93 LLC  
 Owner Address : 19300 S HAMILTON AVE STE 285  
 Owner City : GARDENA                      State : CA 90243-4411  
 Property Location : 1535/1545 MOLINE ST, AURORA, CO

Property Location : 15557 2215 Avenue 2215, Fort Worth, TX 76134									
TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT			
		Actual Value	Assessed Value	Actual Value	Assessed Value				
REAL	100	L:		L:	\$93,750	\$6,700	A. Ratio 7.15%		
		I:		I:	\$1,502,250	\$107,410	Mill Levy 117.794		
TOTALS :			\$960,000		\$68,640		\$1,596,000	\$114,110	Original Tax \$13,441.47

**Petitioner's Statement :**

The Assessor did not properly consider the cost, market, and income approaches to value or other aspects of the property in question.

**Assessor's Report**

**Situation :**

Property sold in November 2016, petitioner using subject sale as value. CoStar sale amount is incorrect per deed.

**Action :**

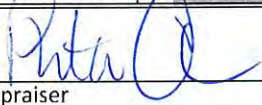
Review property, review Nov 2016 sale and comps.

**Recommendation :**

Upon review, a reduction in value appears warranted.

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		REVISED TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	Tax Refund
REAL		L: \$93,750	\$6,700	L: \$93,750	\$6,700	\$1,777.51
		I: \$1,502,250	\$107,410	I: \$1,291,250	\$92,320	Revised Tax
TOTALS :		\$1,596,000	\$114,110	\$1,385,000	\$99,020	\$11,663.96

  
 Appraiser

February 17, 2022  
 Date

# PETITION FOR ABATEMENT OR REFUND OF TAXES

County: Adams

Date Received 12/20/2021  
(Use Assessor's or Commissioners' Date Stamp)

**Section I: Petitioner, please complete Section I only.**

Date: 12/31/2021  
Month Day Year

Petitioner's Name: MACON 93 LLC

Petitioner's Mailing Address: 5335 E Evans Ave

<u>Denver</u>	<u>CO</u>	<u>80222</u>
City or Town	State	Zip Code

<b>SCHEDULE OR PARCEL NUMBER(S)</b>	<b>PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY</b>
<u>R0097723 / 0182335426012</u>	<u>1535-1545 Moline Street</u>

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for property tax year(s) 2019 and 2020 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error or overvaluation. Attach additional sheets if necessary.)

The Assessor did not properly consider the cost, market, and incomes approaches to value or other aspects of the property in question.

Petitioner's estimate of value: \$ 960,000 ( 2019 ) and \$ 960,000 ( 2020 )  
Value Year Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information and belief, is true, correct, and complete.

\_\_\_\_\_  
Petitioner's Signature

By   
Agor's Signature\*

Daytime Phone Number ( ) \_\_\_\_\_  
Email \_\_\_\_\_  
Daytime Phone Number ( 303 ) 347-1878  
Email cassandra@stevensandassoc.com

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

Section II:		Assessor's Recommendation (For Assessor's Use Only)					
		Tax Year _____			Tax Year _____		
		Actual	Assessed	Tax	Actual	Assessed	Tax
Original	_____	_____	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____	_____	_____
<input type="checkbox"/> Assessor recommends approval as outlined above.							
If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(i)(D), C.R.S.							
Tax year: _____ Protest?		<input type="checkbox"/> No		<input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)			
Tax year: _____ Protest?		<input type="checkbox"/> No		<input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)			
<input type="checkbox"/> Assessor recommends denial for the following reason(s):							
_____ Assessor's or Deputy Assessor's Signature							



**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**

(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III:****Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____			Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_

Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_

Date \_\_\_\_\_

**Section IV:****Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present--not present) and

Petitioner \_\_\_\_\_ (being present--not present), and WHEREAS, the said

Name

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED, that the Board (agrees--does not agree) with the recommendation of the Assessor and the petition be (approved--approved in part--denied) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund	Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------	------	----------------	--------------------

Chairperson of the Board of County Commissioners' Signature \_\_\_\_\_

I, \_\_\_\_\_ County Clerk and Ex-officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

Month

Year

County Clerk's or Deputy County Clerk's Signature \_\_\_\_\_

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V:****Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this abatement petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s):

Secretary's Signature \_\_\_\_\_

Property Tax Administrator's Signature \_\_\_\_\_

Date \_\_\_\_\_



**Limited Summary  
Consulting Assignment**

**Adams County Board**

**Owner:** MACON 93 LLC

**Property Type:** Apartments

**Property Address:** 1535-1545 Moline Street  
Aurora, Colorado

**Schedule/Account #:** 0182335426012

**Parcel ID:** R0097723

**Tax Year:** 2019 & 2020

---

**Prepared By**  
Stevens & Associates

**Date of Value:** January 1, 2019 & 2020  
**Base Period Ending:** June 30, 2018  
**Date of Report:** October 2021



## Summary of Important Facts and Conclusions

Property Location:	1535-1545 Moline Street	
Parcel Number:	R0097723	
Schedule Number:	0182335426012	
Land:	15,681 0.36	Square Feet Acres
Improvement Size:	4,256	Gross Square Feet
Apartment Units:	12	
Year of Construction:	1957	
Highest and Best Use:	For ad valorem tax purposes in Colorado the highest and best use of the subject is its current use.	
County Value:	\$1,596,000	\$133,000 PPU
Sales Comparison Approach:	\$960,000	\$80,000 PPU
Reconciliation:	\$960,000	\$80,000 PPU
Date of Value:	January 1, 2019 & 2020	

## Market Approach - Sales Comps

Base Period: 1/1/17-6/30/18

Property & Sale Information:		Subject		1	2
Sale Number	Property Type	Apartment	Apartment	Apartment	Apartment
Property Name	Property Name	Moline Flats Apartments	-	The Kimberly	1422 Macon St
Address	Address	1535-1545 Moline Street	1455 Kingston	1422 Macon St	
City	City	Aurora	Aurora	Aurora	Aurora
Submarket	Submarket	North Aurora	Delmar Pkwy	Delmar	
County	County	Adams	Arapahoe	Arapahoe	
Sale Price	Sale Price	\$798,641	\$1,072,500	\$2,150,000	
Sale Date	Sale Date	11/30/2016	5/25/2018	2/10/2017	
Building Size	Building Size	4,256	7,840	20,736	
YOC	YOC	1957	1958	1969	
Land SF	Land SF	15,681	13,068	19,602	
Land/Bldg Ratio	Land/Bldg Ratio	3.68	1.67	0.95	
\$/Unit		\$66,553	\$89,375	\$89,583	
Property Details:					
Total Units		12	12	24	
Conclusion:					
Indicated \$/Unit		\$80,000			
Indicated FMV		\$960,000			

Notes:

The subject property was purchased within the extended base period for \$66,553 per unit. Comps one and two have similar unit count, unit size, location and year of construction (comp 2 is newer). Adjustments were considered to calculate the indicated \$/Unit of \$80,000.



### Property Tax Consultant - Agency Agreement

Owner Address: 5335 E Evans Ave, Denver, CO 80222

Property Address/Legal Description/Schedule #: See Attached Exhibit A

Consultant/Agent: Stevens & Associates Cost Reduction Specialists, Inc.

I/We SHADOW 2018 LLC, MACON 1536 LLC, MACON 93 LLC, ASBURY 4640 LLC, BENTON PLACE LLC, 1550 KENDALL LLC, 2501 SOUTH UNIVERSITY LLC, MACON 57 LLC, subsidiaries, parent companies and all affiliated companies agree with Stevens & Associates Cost Reduction Specialists, Inc. that for the property tax/sales and use tax assessment years 2021, 2022 and prior years, in Colorado as the property referred to above, that Stevens & Associates Cost Reduction Specialists, Inc. is hereby engaged and authorized to act as agent and consultant before either the Board of Review as well as the State Tax Review Board or for any hearing pertinent to the property for the property tax/sales and use tax assessment years 2021, 2022 and prior years. Please direct all correspondence and refunds to Stevens & Associates Cost Reduction Specialists, Inc.

The undersigned further authorizes Stevens & Associates Cost Reduction Specialists, Inc. as agent of the undersigned, in the name of the undersigned, to execute and cause to be filed on behalf of the undersigned, in the name of the undersigned, any and all documents relating to an appeal of the said assessments, for the assessment years in question and prior years, before either the Board of Review as well as the State Tax Review Board or any hearings pertinent to the property.

Thus, done and executed on this 20 day of May 2021.

Agreed By:

SHADOW 2018 LLC, MACON 1536 LLC, MACON 93 LLC, ASBURY 4640 LLC, BENTON PLACE LLC, 1550 KENDALL LLC, 2501 SOUTH UNIVERSITY LLC, MACON 57 LLC

By: Gabe Bodhi  
Gabe Bodhi  
Title: CEO

(Notary column needs to be complete)

STATE OF Colorado  
The foregoing instrument was acknowledged before me  
This 20<sup>th</sup> day of May, 2021  
By: Gabe Bodhi

Please direct all correspondence/refunds to:

Stevens & Associates / Inc.  
10303 East Dry Creek Road, Ste 240  
Englewood, Colorado 80112

Witness my hand and official seal.

my commission expires: June 22, 2024

Cassandra Gibb  
Notary Public Notary Signature

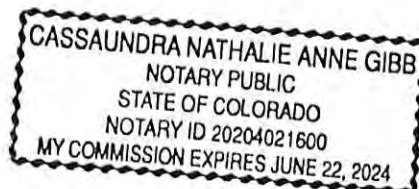




Exhibit A

Owner Name	Address	Assessor	Parcel ID	Account
SHADOW 2018 LLC	1800 Billings St	Adams	01821-31-3-02-035	R0085482
MACON 1536 LLC	1536 Macon St	Adams	01823-35-4-26-017	R0097726
MACON 93 LLC	1535-1545 Moline St	Adams	01823-35-4-26-012	R0097723
ASBURY 4640 LLC	4640 E Asbury Cir	Denver	06302-23-009-000	
BENTON PLACE LLC	370 Benton St	Jefferson	49-121-10-009	300063473
1550 KENDALL LLC	1560 Kendall St	Jefferson	39-363-12-001	300058579
2501 SOUTH UNIVERSITY LLC	3349 N Harrison St	Denver	02251-38-009-000	
MACON 57 LLC	1434 Macon St	Arapahoe	1973-02-1-06-005	031071453
MACON 57 LLC	1436 Macon St	Arapahoe	1973-02-1-06-004	031071445
MACON 93 LLC	1433 Macon St	Arapahoe	1973-02-1-07-007	031071739
MACON 57 LLC	1451 Macon St	Arapahoe	1973-02-1-07-008	031071747
MACON 57 LLC	1463 Macon St	Arapahoe	1973-02-1-07-009	031071755



**Ken Musso**  
Assessor



**Assessor's Office**  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

**BOARD OF COUNTY COMMISSIONERS**

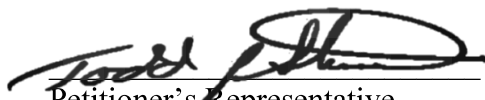
**STIPULATION (As to Tax Year(s) 2020 Actual Value(s))**

1. The property subject to this Stipulation is:  
Schedule No. (S): R0097723 Parcel N0.(S) 0182335426012
2. The subject property is classified as a Residential property.
3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2020 :

Land	\$93,750
Improvements	\$1,502,250
Total	\$1,596,000
4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2020 :

Land	\$93,750
Improvements	\$1,291,250
Total	\$1,385,000
5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2020.

DATED this:

  
\_\_\_\_\_  
Petitioner's Representative  
Todd J Stevens  
\_\_\_\_\_  
Stevens & Associates/Inc.  
\_\_\_\_\_  
1030 E Dry Creek Rd  
\_\_\_\_\_  
Englewood, CO 80112  
\_\_\_\_\_

**Rita**  
**Anderson**  
\_\_\_\_\_  
Assessor Representative  
Adams County Assessor's Office

Digitally signed by Rita Anderson  
DN: cn=Rita Anderson, o=Adams  
County Colorado, ou=Assessor's  
Office,  
email=randerson@adcogov.org, c=US  
Date: 2022.02.17 13:00:58 -0700



**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS**

Account No : R0097723                      Parcel No : 0182335426012  
 Petition Year : 2020                      Date Filed : December 20, 2021  
 Owner Entity : MACON 93 LLC  
 Owner Address : 19300 S HAMILTON AVE STE 285  
 Owner City : GARDENA                      State : CA 90243-4411  
 Property Location : 1535/1545 MOLINE ST, AURORA, CO

TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	
REAL	100	L:		L: \$93,750	\$6,700	A. Ratio 7.15%
		I:		I: \$1,502,250	\$107,410	Mill Levy 118.007
TOTALS :		\$960,000	\$68,640	\$1,596,000	\$114,110	Original Tax \$13,465.78

**Petitioner's Statement :**

The Assessor did not properly consider the cost, market, and income approaches to value or other aspects of the property in question.

**Assessor's Report**

**Situation :**

Property sold in November 2016, petitioner using subject sale as value. CoStar sale amount is incorrect per deed.

**Action :**

Review property, review Nov 2016 sale and comps.

**Recommendation :**

Upon review, a reduction in value appears warranted.

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		REVISED TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	Tax Refund
REAL		L: \$93,750	\$6,700	L: \$93,750	\$6,700	\$1,780.73
		I: \$1,502,250	\$107,410	I: \$1,291,250	\$92,320	Revised Tax
TOTALS :		\$1,596,000	\$114,110	\$1,385,000	\$99,020	\$11,685.05

Appraiser

February 17, 2022

Date

# PETITION FOR ABATEMENT OR REFUND OF TAXES

County: Adams

Date Received 12/20/2021  
(Use Assessor's or Commissioners' Date Stamp)

**Section I: Petitioner, please complete Section I only.**

Date: 12/31/2021  
Month Day Year

Petitioner's Name: MACON 93 LLC

Petitioner's Mailing Address: 5335 E Evans Ave

<u>Denver</u>	<u>CO</u>	<u>80222</u>
City or Town	State	Zip Code

<b>SCHEDULE OR PARCEL NUMBER(S)</b>	<b>PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY</b>
<u>R0097723 / 0182335426012</u>	<u>1535-1545 Moline Street</u>

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for property tax year(s) 2019 and 2020 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error or overvaluation. Attach additional sheets if necessary.)

The Assessor did not properly consider the cost, market, and incomes approaches to value or other aspects of the property in question.

Petitioner's estimate of value: \$ 960,000 (2019) and \$ 960,000 (2020)  
Value Year Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information and belief, is true, correct, and complete.

\_\_\_\_\_  
Petitioner's Signature

By   
Agor's Signature\*

Daytime Phone Number ( ) \_\_\_\_\_  
Email \_\_\_\_\_  
Daytime Phone Number ( 303 ) 347-1878  
Email cassaundra@stevensandassoc.com

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

Section II:		Assessor's Recommendation (For Assessor's Use Only)					
		Tax Year _____			Tax Year _____		
		Actual	Assessed	Tax	Actual	Assessed	Tax
Original	_____	_____	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____	_____	_____
<input type="checkbox"/> Assessor recommends approval as outlined above.							
If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(i)(D), C.R.S.							
Tax year: _____ Protest?		<input type="checkbox"/> No		<input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)			
Tax year: _____ Protest?		<input type="checkbox"/> No		<input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)			
<input type="checkbox"/> Assessor recommends denial for the following reason(s):							
_____ Assessor's or Deputy Assessor's Signature							

**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**

(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III:****Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____			Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_

Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_

Date \_\_\_\_\_

**Section IV:****Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present--not present) and

Petitioner \_\_\_\_\_ (being present--not present), and WHEREAS, the said

Name

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED, that the Board (agrees--does not agree) with the recommendation of the Assessor and the petition be (approved--approved in part--denied) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund	Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------	------	----------------	--------------------

Chairperson of the Board of County Commissioners' Signature \_\_\_\_\_

I, \_\_\_\_\_ County Clerk and Ex-officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

Month

Year

County Clerk's or Deputy County Clerk's Signature \_\_\_\_\_

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V:****Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this abatement petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s):

Secretary's Signature \_\_\_\_\_

Property Tax Administrator's Signature \_\_\_\_\_

Date \_\_\_\_\_



**Limited Summary  
Consulting Assignment**

**Adams County Board**

**Owner:** MACON 93 LLC

**Property Type:** Apartments

**Property Address:** 1535-1545 Moline Street  
Aurora, Colorado

**Schedule/Account #:** 0182335426012

**Parcel ID:** R0097723

**Tax Year:** 2019 & 2020

---

**Prepared By**  
Stevens & Associates

**Date of Value:** January 1, 2019 & 2020  
**Base Period Ending:** June 30, 2018  
**Date of Report:** October 2021



## Summary of Important Facts and Conclusions

Property Location:	1535-1545 Moline Street	
Parcel Number:	R0097723	
Schedule Number:	0182335426012	
Land:	15,681 0.36	Square Feet Acres
Improvement Size:	4,256	Gross Square Feet
Apartment Units:	12	
Year of Construction:	1957	
Highest and Best Use:	For ad valorem tax purposes in Colorado the highest and best use of the subject is its current use.	
County Value:	\$1,596,000	\$133,000 PPU
Sales Comparison Approach:	\$960,000	\$80,000 PPU
Reconciliation:	\$960,000	\$80,000 PPU
Date of Value:	January 1, 2019 & 2020	

## Market Approach - Sales Comps

Base Period: 1/1/17-6/30/18

Property & Sale Information:		Subject		1	2
Sale Number	Property Type	Apartment	Apartment	Apartment	Apartment
Property Name	Property Name	Moline Flats Apartments	-	The Kimberly	1422 Macon St
Address	Address	1535-1545 Moline Street	1455 Kingston	1422 Macon St	
City	City	Aurora	Aurora	Aurora	Aurora
Submarket	Submarket	North Aurora	Delmar Pkwy	Delmar	
County	County	Adams	Arapahoe	Arapahoe	
Sale Price	Sale Price	\$798,641	\$1,072,500	\$2,150,000	
Sale Date	Sale Date	11/30/2016	5/25/2018	2/10/2017	
Building Size	Building Size	4,256	7,840	20,736	
YOC	YOC	1957	1958	1969	
Land SF	Land SF	15,681	13,068	19,602	
Land/Bldg Ratio	Land/Bldg Ratio	3.68	1.67	0.95	
\$/Unit		\$66,553	\$89,375	\$89,583	
Property Details:		12	12	24	
Total Units					
Indicated \$/Unit		\$80,000			
Indicated FMV		\$960,000			
Conclusion:					

Notes:

The subject property was purchased within the extended base period for \$66,553 per unit. Comps one and two have similar unit count, unit size, location and year of construction (comp 2 is newer). Adjustments were considered to calculate the indicated \$/Unit of \$80,000.





### Property Tax Consultant - Agency Agreement

Owner Address: 5335 E Evans Ave, Denver, CO 80222

Property Address/Legal Description/Schedule #: See Attached Exhibit A

Consultant/Agent: Stevens & Associates Cost Reduction Specialists, Inc.

I/We SHADOW 2018 LLC, MACON 1536 LLC, MACON 93 LLC, ASBURY 4640 LLC, BENTON PLACE LLC, 1550 KENDALL LLC, 2501 SOUTH UNIVERSITY LLC, MACON 57 LLC, subsidiaries, parent companies and all affiliated companies agree with Stevens & Associates Cost Reduction Specialists, Inc. that for the property tax/sales and use tax assessment years 2021, 2022 and prior years, in Colorado as the property referred to above, that Stevens & Associates Cost Reduction Specialists, Inc. is hereby engaged and authorized to act as agent and consultant before either the Board of Review as well as the State Tax Review Board or for any hearing pertinent to the property for the property tax/sales and use tax assessment years 2021, 2022 and prior years. Please direct all correspondence and refunds to Stevens & Associates Cost Reduction Specialists, Inc.

The undersigned further authorizes Stevens & Associates Cost Reduction Specialists, Inc. as agent of the undersigned, in the name of the undersigned, to execute and cause to be filed on behalf of the undersigned, in the name of the undersigned, any and all documents relating to an appeal of the said assessments, for the assessment years in question and prior years, before either the Board of Review as well as the State Tax Review Board or any hearings pertinent to the property.

Thus, done and executed on this 20 day of May 2021.

Agreed By:

SHADOW 2018 LLC, MACON 1536 LLC, MACON 93 LLC, ASBURY 4640 LLC, BENTON PLACE LLC, 1550 KENDALL LLC, 2501 SOUTH UNIVERSITY LLC, MACON 57 LLC

By: Gabe Bodhi  
Gabe Bodhi  
Title: CEO

(Notary column needs to be complete)

STATE OF Colorado  
The foregoing instrument was acknowledged before me  
This 20<sup>th</sup> day of May, 2021  
By: Gabe Bodhi

Please direct all correspondence/refunds to:

Stevens & Associates / Inc.  
10303 East Dry Creek Road, Ste 240  
Englewood, Colorado 80112

Witness my hand and official seal.

my commission expires: June 22, 2024

Cassandra Gibb  
Notary Public Notary Signature

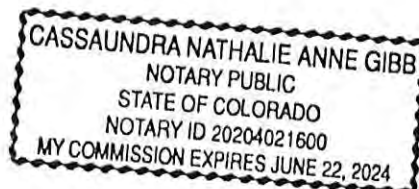




Exhibit A

Owner Name	Address	Assessor	Parcel ID	Account
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ASBURY 4640 LLC	4640 E Asbury Cir	Denver	06302-23-009-000	
BENTON PLACE LLC	370 Benton St	Jefferson	49-121-10-009	300063473
1550 KENDALL LLC	1560 Kendall St	Jefferson	39-363-12-001	300058579
2501 SOUTH UNIVERSITY LLC	3349 N Harrison St	Denver	02251-38-009-000	
MACON 57 LLC	1434 Macon St	Arapahoe	1973-02-1-06-005	031071453
MACON 57 LLC	1436 Macon St	Arapahoe	1973-02-1-06-004	031071445
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MACON 57 LLC	1451 Macon St	Arapahoe	1973-02-1-07-008	031071747
MACON 57 LLC	1463 Macon St	Arapahoe	1973-02-1-07-009	031071755





Ken Musso  
Assessor



Assessor's Office  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

COUNTY BOARD OF EQUALIZATION

STIPULATION (As to Tax Year(s) 2019 and 2020 Actual Value(s))

1. The property subject to this Stipulation is:  
Schedule No. (S): R0174668 Parcel NO.(S) 0182133204007

2. The subject property is classified as a Commercial property.

3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2019 and 2020 :

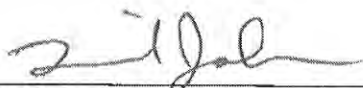
Land	\$851,301
Improvements	\$669,044
Total	\$1,521,345

4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2019 and 2020 :

Land	\$851,301
Improvements	\$609,170
Total	\$1,460,471

5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2019 and 2020 .

DATED this: February 11, 2022

  
Petitioner's Representative David Johnson  
Joseph C. Sansone Co  
18040 Edison Ave  
Cheslerfield MO 63043  
636-733-5455

Whitney  
Sparks

Digitally signed by Whitney Sparks  
DN: cn=Whitney Sparks, o=ou,  
email=wsparks@adcogov.org, c=US  
Date: 2022.02.11 13:05:25 -0700

Assessor Representative  
Adams County Assessor's Office

**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS**

Account No : R0174668      Parcel No : 0182133204007  
 Petition Year : 2020      Date Filed : December 20, 2021  
 Owner Entity : Dunn Realty Inc  
 Owner Address : 1001 Locust Street  
 Owner City : Kansas City      State : MO  
 Property Location :      17010 E 24th Ave, Aurora, CO

TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	
REAL	407	L: \$851,302		L: \$851,302	\$246,880	A. Ratio 29.00%
		I: \$208,698		I: \$670,043	\$194,310	Mill Levy 130.007
TOTALS :		\$1,060,000	\$307,400	\$1,521,345	\$441,190	Original Tax \$57,358

**Petitioner's Statement :**

Assessor's value exceeds actual market value of the property.

**Assessor's Report**

**Situation :**

**Action :**

After reviewing market sales and leases of similarly situated properties a discrepancy in value was determined.

**Recommendation :**

Upon further review, a reduction in value appears warranted.

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		REVISED TAX WARRANT	
		Actual Value	Assessed Value	Actual Value	Assessed Value	Tax Refund	
REAL		L:	\$851,302	\$246,880	L: \$851,302	\$246,880	\$2,294.63
		I:	\$670,043	\$194,310	I: \$609,169	\$176,660	Revised Tax
TOTALS :			\$1,521,345	\$441,190	\$1,460,471	\$423,540	\$55,063.16

Whitney Sparks  
Appraiser

February 22, 2022  
Date



DEC 21 2021

## PETITION FOR ABATEMENT OR REFUND OF TAXES

County: AdamsDate Received \_\_\_\_\_  
(Use Assessor's or Commissioners' Date Stamp)OFFICE OF THE  
ADAMS COUNTY ASSESSOR**Section I: Petitioner, please complete Section I only.**Date: 12-10-2021

Month Day Year

Petitioner's Name: DUNN REALTY INCPetitioner's Mailing Address: Law Offices of James P Bick, Jr. PC, James P Bick, Jr. 18040 Edison AvenueChesterfieldMO63005

City or Town

State

Zip Code

**SCHEDULE OR PARCEL NUMBER(S)**R0174668**PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY**17010 E 24th Ave

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for property tax year(s) 2019 and 2020 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error or overvaluation. Attach additional sheets if necessary.)

The Assessor's opinion of Fair Market Value exceeds the actual Market Value of the property.

Petitioner's estimate of value: \$ 1,060,000 (2019) and \$ 1,060,000 (2020)  
Value Year Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information and belief, is true, correct, and complete.

Petitioner's Signature \_\_\_\_\_

Daytime Phone Number ( ) \_\_\_\_\_

Email \_\_\_\_\_

By \_\_\_\_\_

Agent's Signature

Daytime Phone Number ( 636 ) 733-5493Printed Name: James P Bick, Jr. CO Bar 54697Email Bickappeals@jcsco.comLaw Offices of James P. Bick Jr., PC

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-126, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

**Section II:****Assessor's Recommendation**

(For Assessor's Use Only)

	Tax Year _____			Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____	_____

☐ Assessor recommends approval as outlined above.

If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(i)(D), C.R.S.

Tax year: \_\_\_\_\_ Protest? ☐ No ☐ Yes (If a protest was filed, please attach a copy of the NOD.)

Tax year: \_\_\_\_\_ Protest? ☐ No ☐ Yes (If a protest was filed, please attach a copy of the NOD.)

☐ Assessor recommends denial for the following reason(s):

Assessor's or Deputy Assessor's Signature \_\_\_\_\_

15-DPT-AR No. 920-66/16

21364190001CO

**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**

(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III:****Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____			Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_

Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_

Date \_\_\_\_\_

**Section IV:****Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present--not present) and

Name

Petitioner \_\_\_\_\_ (being present--not present), and WHEREAS, the said

Name

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED, that the Board (~~agrees--does not agree~~) with the recommendation of the Assessor and the petition be (~~approved--approved in part--denied~~) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund	Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------	------	----------------	--------------------

Chairperson of the Board of County Commissioners' Signature \_\_\_\_\_

I, \_\_\_\_\_ County Clerk and Ex-officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

Month Year

County Clerk's or Deputy County Clerk's Signature \_\_\_\_\_

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V:****Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this abatement petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s): \_\_\_\_\_

Secretary's Signature \_\_\_\_\_

Property Tax Administrator's Signature \_\_\_\_\_

Date \_\_\_\_\_

Ken Musso  
Assessor



Assessor's Office  
4430 South Adams County Parkway  
2nd Floor, Suite C2100  
Brighton, CO 80601-8201  
Phone 720-523-6038  
Fax 720-523-6037  
www.adcogov.org

COUNTY BOARD OF EQUALIZATION

STIPULATION (As to Tax Year(s) 2019 and 2020 Actual Value(s))

1. The property subject to this Stipulation is:  
Schedule No. (S): R0174668 Parcel NO.(S) 0182133204007

2. The subject property is classified as a Commercial property.

3. The County Assessor originally assigned the following actual value to the subject property for tax year(s) 2019 and 2020 :


Land	\$851,301
Improvements	\$669,044
Total	\$1,521,345

4. The Adams County Assessor has reviewed this file and agrees to make the following adjustment to the valuation for the subject property for tax year(s) 2019 and 2020 :

Land	\$851,301
Improvements	\$609,170
Total	\$1,460,471

5. By entering into this agreement, the Petitioner understands that they are giving up rights to further appeal of the value of this property for tax year(s) 2019 and 2020 .

DATED this: February 11, 2022

  
Petitioner's Representative David Johnson  
Joseph C Sansone Co  
18040 Edison Ave  
Chesterfield MO 63043  
636-733-5455

Whitney  
Sparks

Digitally signed by Whitney Sparks  
DN: cn=Whitney Sparks, o=ou,  
email=whsparks@adcogov.org, c=US  
Date: 2022.02.11 13:05:25 -0700

Assessor Representative  
Adams County Assessor's Office



**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS**

Account No : R0174668

Parcel No : 0182133204007

Petition Year : 2019

Date Filed : December 20, 2021

Owner Entity : Dunn Realty Inc

Owner Address : 1001 Locust Street

Owner City : Kansas City

State : MO

Property Location :

17010 E 24th Ave, Aurora, CO

TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	
REAL	407	L:	\$851,302	L:	\$851,302	A. Ratio 29.00%
		I:	\$208,698	I:	\$670,043	Mill Levy 129.794
TOTALS :			\$1,060,000		\$307,400	
				\$1,521,345	\$441,190	Original Tax \$57,264

**Petitioner's Statement :**

Assessor's value exceeds actual market value of the property.

**Assessor's Report**

**Situation :**

**Action :**

After reviewing market sales and leases of similarly situated properties a discrepancy in value was determined.

**Recommendation :**

Upon further review, a reduction in value appears warranted.

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		REVISED TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	Tax Refund
REAL		L: \$851,302	\$246,880	L: \$851,302	\$246,880	\$2,290.86
		I: \$670,043	\$194,310	I: \$609,169	\$176,660	Revised Tax
TOTALS :		\$1,521,345	\$441,190	\$1,460,471	\$423,540	\$54,972.95

Whitney Sparks  
Appraiser

February 22, 2022  
Date

DEC 21 2021

## PETITION FOR ABATEMENT OR REFUND OF TAXES

County: AdamsDate Received \_\_\_\_\_  
(Use Assessor's or Commissioners' Date Stamp)OFFICE OF THE  
ADAMS COUNTY ASSESSOR**Section I: Petitioner, please complete Section I only.**Date: 12-10-2021

Month Day Year

Petitioner's Name: DUNN REALTY INCPetitioner's Mailing Address: Law Offices of James P Bick, Jr. PC, James P Bick, Jr. 18040 Edison AvenueChesterfieldMO63005

City or Town

State

Zip Code

**SCHEDULE OR PARCEL NUMBER(S)**R0174668**PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY**17010 E 24th Ave

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for property tax year(s) 2019 and 2020 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error or overvaluation. Attach additional sheets if necessary.)

The Assessor's opinion of Fair Market Value exceeds the actual Market Value of the property.

Petitioner's estimate of value: \$ 1,060,000 (2019) and \$ 1,060,000 (2020)  
Value Year Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information and belief, is true, correct, and complete.

Petitioner's Signature \_\_\_\_\_

Daytime Phone Number ( ) \_\_\_\_\_

Email \_\_\_\_\_

By \_\_\_\_\_

Agent's Signature

Daytime Phone Number ( 636 ) 733-5493Printed Name: James P Bick, Jr. CO Bar 54697Email Bickappeals@jcsco.comLaw Offices of James P. Bick Jr., PC

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-126, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

**Section II:****Assessor's Recommendation**

(For Assessor's Use Only)

	Tax Year _____			Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____	_____

☐ Assessor recommends approval as outlined above.

If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(i)(D), C.R.S.

Tax year: \_\_\_\_\_ Protest? ☐ No ☐ Yes (If a protest was filed, please attach a copy of the NOD.)

Tax year: \_\_\_\_\_ Protest? ☐ No ☐ Yes (If a protest was filed, please attach a copy of the NOD.)

☐ Assessor recommends denial for the following reason(s):

Assessor's or Deputy Assessor's Signature \_\_\_\_\_

15-DPT-AR No. 920-66/16

21364190001CO



**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**

(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III:****Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____			Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____	_____	_____	_____
Corrected	_____	_____	_____	_____	_____	_____
Abate/Refund	_____	_____	_____	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_

Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_

Date \_\_\_\_\_

**Section IV:****Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present--not present) and

Name

Petitioner \_\_\_\_\_ (being present--not present), and WHEREAS, the said

Name

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED, that the Board (~~agrees--does not agree~~) with the recommendation of the Assessor and the petition be (~~approved--approved in part--denied~~) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund	Year	Assessed Value	Taxes Abate/Refund
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Chairperson of the Board of County Commissioners' Signature \_\_\_\_\_

I, \_\_\_\_\_ County Clerk and Ex-officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

Month Year

County Clerk's or Deputy County Clerk's Signature \_\_\_\_\_

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V:****Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this abatement petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s): \_\_\_\_\_

Secretary's Signature \_\_\_\_\_

Property Tax Administrator's Signature \_\_\_\_\_

Date \_\_\_\_\_

**ASSESSOR'S RECOMMENDATION  
BOARD OF COUNTY COMMISSIONERS**

Account No : R0061231      Parcel No : 0156906300013  
 Petition Year : 2021      Date Filed : February 23, 2022  
 Owner Entity : Klaus Degler  
 Owner Address : 8125 Lowell Blvd  
 Owner City : Westminster      State : CO  
 Property Location : 8005 Julian St

TYPE	OCC CODE	PETITIONER'S REQUESTED VALUES		ASSESSOR'S ASSIGNED VALUES		ORIGINAL TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	
REAL	100	L: \$0 I: \$0	\$0 \$0	L: \$164,000 I: \$0	\$47,560 \$0	A. Ratio 7.15% Mill Levy 101.642
TOTALS :		\$0	\$0	\$164,000	\$47,560	Original Tax \$4,834.09

**Tax Exempt Portion**  
0%

**Petitioner's Statement :**

N/A

**Assessor's Report**

**Situation :**

**Action :**

Correcting the land from vacant to residence for the intention to rebuild for the following year according to State Statute 39-1-102-(14.4) Classification must remain in place for the year of destruction and the following year with the intention of rebuilding.

**Recommendation :**

Upon further review, a reduction in value appears warranted.

**ASSESSOR'S RECOMMENDED ADJUSTMENT**

TYPE	OCC CODE	ASSESSOR'S ASSIGNED VALUE		RECOMMENDED VALUE		REVISED TAX WARRANT
		Actual Value	Assessed Value	Actual Value	Assessed Value	
REAL	100	L: \$164,000 I: \$0	\$47,560 \$0	L: \$164,000 I: \$0	\$11,730 \$0	Tax Refund \$3,641.83 Revised Tax \$1,192.26
TOTALS :		\$164,000	\$47,560	\$164,000	\$11,730	

*Jackie Headley*

March 2, 2022

Date

**PETITION FOR ABATEMENT OR REFUND OF TAXES**

County: Adams

Date Received 2-28-2022  
(Use Assessor's or Commissioners' Date Stamp)

**Section I: Petitioner, please complete Section I only.**

Date: February 28, 2022  
Month Day Year

Petitioner's Name: Klaus J Degler

Petitioner's Mailing Address: 8125 Lowell Blvd  
Westminster CO 80030  
City or Town State Zip Code

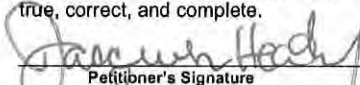
<b>SCHEDULE OR PARCEL NUMBER(S)</b>	<b>PROPERTY ADDRESS OR LEGAL DESCRIPTION OF PROPERTY</b>
<u>R0061231</u>	<u>8005 Julian St</u>

Petitioner requests an abatement or refund of the appropriate taxes and states that the taxes assessed against the above property for the property tax year 2021 are incorrect for the following reasons: (Briefly describe why the taxes have been levied erroneously or illegally, whether due to erroneous valuation, irregularity in levying, clerical error, or overvaluation. Attach additional sheets if necessary.)

Correcting the land from vacant to residential for the intention to rebuild for the following year according to State Statute 39-1-102(14.4) "Classification must remain in place for the year of destruction and the following year with the intention of rebuilding."

Petitioner's estimate of value: \$ 164,000 (2021)  
Value Year

I declare, under penalty of perjury in the second degree, that this petition, together with any accompanying exhibits or statements, has been prepared or examined by me, and to the best of my knowledge, information, and belief, is true, correct, and complete.

  
Petitioner's Signature

Daytime Phone Number (720) 523-6743

Email jheadley@adcogov.org (Assessors Office)

Filing on behalf of petitioner

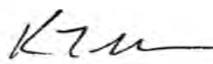
By    
Agent's Signature\*

Daytime Phone Number ( )

Email

\*Letter of agency must be attached when petition is submitted by an agent.

If the Board of County Commissioners, pursuant to § 39-10-114(1), C.R.S., or the Property Tax Administrator, pursuant to § 39-2-116, C.R.S., denies the petition for refund or abatement of taxes in whole or in part, the Petitioner may appeal to the Board of Assessment Appeals pursuant to the provisions of § 39-2-125, C.R.S., within thirty days of the entry of any such decision, § 39-10-114.5(1), C.R.S.

<b>Section II:</b>		<b>Assessor's Recommendation</b> (For Assessor's Use Only)		
		Tax Year <u>2021</u>		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>	
Original	<u>1164,000</u>	<u>47,560</u>	<u>4834.09</u>	
Corrected	<u>1164,000</u>	<u>11,726</u>	<u>1191.85</u>	
Abate/Refund		<u>35834</u>	<u>3642.24</u>	
<input checked="" type="checkbox"/> Assessor recommends approval as outlined above.				
If the request for abatement is based upon the grounds of overvaluation, no abatement or refund of taxes shall be made if an objection or protest to such valuation has been filed and a Notice of Determination has been mailed to the taxpayer, § 39-10-114(1)(a)(i)(D), C.R.S.				
Tax year: _____ Protest? <input type="checkbox"/> No <input type="checkbox"/> Yes (If a protest was filed, please attach a copy of the NOD.)				
<input type="checkbox"/> Assessor recommends denial for the following reason(s):				
			<u></u>	<u>3/2/2022</u>
			Assessor's or Deputy Assessor's Signature	

**FOR ASSESSORS AND COUNTY COMMISSIONERS USE ONLY**(Section III or Section IV must be completed)

Every petition for abatement or refund filed pursuant to § 39-10-114, C.R.S. shall be acted upon pursuant to the provisions of this section by the Board of County Commissioners or the Assessor, as appropriate, within six months of the date of filing such petition, § 39-1-113(1.7), C.R.S.

**Section III: Written Mutual Agreement of Assessor and Petitioner**

(Only for abatements up to \$10,000)

The Commissioners of \_\_\_\_\_ County authorize the Assessor by Resolution No. \_\_\_\_\_ to review petitions for abatement or refund and to settle by written mutual agreement any such petition for abatement or refund in an amount of \$10,000 or less per tract, parcel, or lot of land or per schedule of personal property, in accordance with § 39-1-113(1.5), C.R.S.

The Assessor and Petitioner mutually agree to the values and tax abatement/refund of:

	Tax Year _____		
	<u>Actual</u>	<u>Assessed</u>	<u>Tax</u>
Original	_____	_____	_____
Corrected	_____	_____	_____
Abate/Refund	_____	_____	_____

Note: The total tax amount does not include accrued interest, penalties, and fees associated with late and/or delinquent tax payments, if applicable. Please contact the County Treasurer for full payment information.

Petitioner's Signature \_\_\_\_\_ Date \_\_\_\_\_

Assessor's or Deputy Assessor's Signature \_\_\_\_\_ Date \_\_\_\_\_

**Section IV: Decision of the County Commissioners**

(Must be completed if Section III does not apply)

WHEREAS, the County Commissioners of \_\_\_\_\_ County, State of Colorado, at a duly and lawfully called regular meeting held on \_\_\_\_/\_\_\_\_/\_\_\_\_, at which meeting there were present the following members:

Month Day Year

with notice of such meeting and an opportunity to be present having been given to the Petitioner and the Assessor of said County and Assessor \_\_\_\_\_ (being present--not present) and

Petitioner \_\_\_\_\_ (being present--not present), and WHEREAS, the said

County Commissioners have carefully considered the within petition, and are fully advised in relation thereto, NOW BE IT RESOLVED that the Board (~~agrees--does not agree~~) with the recommendation of the Assessor, and that the petition be (~~approved--approved in part--denied~~) with an abatement/refund as follows:

Year	Assessed Value	Taxes Abate/Refund
------	----------------	--------------------

Chairperson of the Board of County Commissioners' Signature \_\_\_\_\_

I, \_\_\_\_\_ County Clerk and Ex-Officio Clerk of the Board of County Commissioners in and for the aforementioned county, do hereby certify that the above and foregoing order is truly copied from the record of the proceedings of the Board of County Commissioners.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

Month Year

County Clerk's or Deputy County Clerk's Signature \_\_\_\_\_

Note: Abatements greater than \$10,000 per schedule, per year, must be submitted in duplicate to the Property Tax Administrator for review.

**Section V:****Action of the Property Tax Administrator**

(For all abatements greater than \$10,000)

The action of the Board of County Commissioners, relative to this petition, is hereby

☐ Approved ☐ Approved in part \$ \_\_\_\_\_ ☐ Denied for the following reason(s):

Secretary's Signature \_\_\_\_\_ Property Tax Administrator's Signature \_\_\_\_\_ Date \_\_\_\_\_



## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> April 5, 2022
<b>SUBJECT:</b> Vehicle Inspection fees be deposited into the general fund
<b>FROM:</b> Sheriff, Richard Reigenborn
<b>AGENCY/DEPARTMENT:</b> Sheriff's Office
<b>HEARD AT STUDY SESSION ON</b>
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners Approves the resolution to deposit vehicle inspection fees into the general fund.

### **BACKGROUND:**

VII. Traffic Code (C.R.S Title 42, 42-5-204 (2)(b) All inspection fees collected by a law enforcement agency of a local government shall be credited to a special fund in the office of the treasurer of the local government. Such fund shall be separate and apart from the general fund of the local government and shall be made available for use by the law enforcement agency for the administration and enforcement of this part 2, including the training and certification of inspectors; except that the governing body of the local government, acting by resolution or ordinance, may order that the inspection fees be paid into the general fund of the local government.

### **AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Adams County  
Adams County Sheriff's Office

### **ATTACHED DOCUMENTS:**

Resolution

**FISCAL IMPACT:**

Please check if there is no fiscal impact. If there is fiscal impact, please fully complete the section below.

**Fund:****Cost Center:**

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			

**New FTEs requested:**                      ☐ **YES**                      ☐ **NO**

**Future Amendment Needed:**                      ☐ **YES**                      ☐ **NO**

**Additional Note:**

BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ORDERING THAT VEHICLE INSPECTION FEES BE DEPOSITED INTO  
THE ADAMS COUNTY GENERAL FUND

WHEREAS, pursuant to § 42-5-204, C.R.S., as amended, persons seeking vehicle identification number inspections by a certified inspector must pay a fee to the law enforcement agency performing the inspection; and,

WHEREAS, pursuant to § 42-5-206, C.R.S., as amended, the Adams County Sheriff's Office has certified inspectors to perform the vehicle identification number inspection service and wishes to provide this service; and,

WHEREAS, pursuant to § 42-5-204(2)(b), C.R.S., as amended, all fees collected for such services must be credited to a special fund in the office of the treasurer and be made available for use by the law enforcement agency for the administration and enforcement of vehicle identification number inspections unless the governing body of the local government by resolution orders that the inspection fees be paid into the general fund of the local government; and,

WHEREAS, the Board of County Commissioners and the Adams County Sheriff wish to deposit the fees for these inspection services into the Adams County general fund for use by the Adams County Sheriff's Office for the administration and enforcement of this program.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that all vehicle inspection fees be deposited into the Adams County general fund for use by the Adams County Sheriff's Office for the administration and enforcement of this program.



## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> April 5, 2022
<b>SUBJECT:</b> Intergovernmental Agreement to memorialize respective responsibilities in connection with a Short-Term Placement Bed and Assessment Pilot (Pilot Project) organized by Douglas County.
<b>FROM:</b> Katie McDougal, Department Director – Human Services Kari Daggett, Deputy Director- Children and Family Services
<b>AGENCY/DEPARTMENT:</b> Human Services Center
<b>HEARD AT STUDY SESSION ON:</b> n/a
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners Approves the Intergovernmental Agreement between Board of County Commissioners of Douglas County, Colorado, and the respective Boards of County Commissioners for Adams, Arapahoe, Boulder, El Paso, Jefferson, And Larimer Counties, and the City and County of Denver to memorialize their respective responsibilities in connection with a Short-Term Placement Bed and Assessment Pilot (Pilot Project) organized by Douglas County.

### **BACKGROUND:**

Intergovernmental Agreement between Board of County Commissioners of Douglas County, Colorado, and the respective Boards of County Commissioners for Adams, Arapahoe, Boulder, El Paso, Jefferson, And Larimer Counties, and the City and County of Denver to memorialize their respective responsibilities in connection with a Short-Term Placement Bed and Assessment Pilot (Pilot Project) organized by Douglas County. These Colorado Counties hereinafter are referred to as the “Parties”. Parties, in their capacity as County Human/Social Services Agencies, are responsible for the administration of various human services programs including, Child Welfare. The Parties agree that the two vendors to provide services outlined herein are Savio House and Shiloh Home, Inc. dba Shiloh House with each having expertise and capacity to perform the work. Authority exists in the law and funds have been budgeted, appropriated and otherwise made available and a sufficient uncommitted balance thereof remains available for encumbering and subsequent payment under this Agreement.

### **AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

County Managers Office, County Attorney’s Office, Human Services Center,



**ATTACHED DOUMENTS:****FISCAL IMPACT:**

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

<b>Fund:</b> 15
<b>Cost Center:</b> 99915, Various

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Revenue:	99915.5755		\$54,214,095
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			<u>\$54,214,095</u>

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Operating Expenditure:	Various. 7645		\$9,652,600
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			<u>\$9,652,600</u>

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

**Additional Note:**



## **INTERGOVERNMENTAL AGREEMENT**

**THIS INTERGOVERNMENTAL AGREEMENT** (hereinafter “this Agreement”) is entered into this \_\_\_\_\_ day of \_\_\_\_\_, 2022, by and between the **BOARD OF COUNTY COMMISSIONERS OF DOUGLAS COUNTY**, Colorado, and the respective **BOARDS OF COUNTY COMMISSIONERS FOR ADAMS, ARAPAHOE, BOULDER, EL PASO, JEFFERSON, and LARIMER COUNTIES, AND THE CITY AND COUNTY OF DENVER**. These Colorado Counties hereinafter are referred to as the “Parties”.

### **RECITALS**

**WHEREAS**, the Parties are authorized under Article XIV, Section 18 of the Colorado Constitution, and by C.R.S. § 29-1-203 et seq. to contract with one another to provide any function or service lawfully authorized to each of them; and

**WHEREAS**, the Parties, in their capacity as County Human/Social Services Agencies, are responsible for the administration of various human services programs including, Child Welfare; and

**WHEREAS**, the Parties wish to enter into this Agreement to memorialize their respective responsibilities in connection with a Short-Term Placement Bed and Assessment Pilot (Pilot Project) organized by Douglas County; and

**WHEREAS**, Douglas County has entered into Contract Amendments with Savio House and Shiloh Home, Inc. dba Shiloh House to provide the services described below in connection with the Pilot Project; and

**WHEREAS**, Douglas County has entered into a separate Intergovernmental Agreement (IGA) with the Colorado Department of Human Services (CDHS) pursuant to which CDHS has agreed to reimburse Douglas County for the Pilot Project as described in herein; and

**WHEREAS**, the Parties agree that the two vendors to provide services outlined herein are Savio House and Shiloh Home, Inc. dba Shiloh House with each having expertise and capacity to perform the work; and

**WHEREAS**, authority exists in the law and funds have been budgeted, appropriated and otherwise made available and a sufficient uncommitted balance thereof remains available for encumbering and subsequent payment under this Agreement,

**NOW, THEREFORE**, for and in consideration of the premises and other good and valuable consideration, the Parties agree as follows:

**A. General Terms**

1. It is mutually agreed by the Parties that the term of this Agreement shall commence as of 12:01 a.m. on the day following the date the Douglas Board of County

Commissioners approve this IGA on a Business Meeting, and terminate at 12:00 a.m. on January 1, 2023.

2. Douglas County entered into a separate Intergovernmental Agreement with CDHS and will serve as fiscal agent. No costs or fees for this role will be paid to Douglas.
3. The Parties agree that none of their respective officials, officers or employees shall have any personal or beneficial interest in the services described herein.
4. The Parties understand and agree that each Party is relying on, and does not waive or intend to waive, any provision, right, immunity or protection provided by the Colorado Governmental Immunity Act, §§ C.R.S. 24-10-101 et seq.
5. Pursuant to CRS §29-1-110, the financial obligations of the Parties as set forth herein after the current fiscal year are contingent upon funds for the purpose being budgeted, appropriated and otherwise available.
6. All of the activities conducted under this Agreement by the Parties shall comply with all applicable laws, rules, regulations and codes of the United States and the State of Colorado.
7. Once a county joins the pilot project, their commitment is for the entire term and may not be terminated early.
8. Any Party and their auditor may inspect all relevant Douglas County records regarding this Pilot Project and Douglas' role as fiscal agent.
9. Each Party designates the individual listed below are designated as their authorized representative for the purpose of administering, coordinating and approving work for their Party.

Adams:                      Adams County Department of Human Services  
11860 Pecos Street, Westminster, CO 80234  
Attention: Kari Daggett, Deputy Director, Child and  
Family Services  
Email: [KDaggett@adcogov.org](mailto:KDaggett@adcogov.org)  
Telephone: 720-523-4248

Arapahoe:                Arapahoe County Department of Human Services  
14980 E. Alameda Drive, Aurora, CO 80012  
Attention: Michelle Dossey, Division Manager, Child &  
Adult Protection Services  
Email: [mdossey@arapahoegov.com](mailto:mdossey@arapahoegov.com)  
Telephone: (303) 636-1710

Boulder:                 Boulder County Department of Housing & Human Services  
3460 Broadway, Boulder, CO 80304  
Attention: Mollie Warren, Division Manager, Children &  
Family Services  
Email [mwarren@bouldercounty.org](mailto:mwarren@bouldercounty.org)  
Telephone: (303) 441-1000

Denver: Denver County Department of Human Services  
1200 Federal Boulevard, Denver, CO 80204  
Attention: Josie Berry, Director of Child Welfare Services  
Email [Josie.Berry@Denvergov.org](mailto:Josie.Berry@Denvergov.org)  
Telephone: (720) 944-6044

Douglas: Douglas County Department of Human Services  
4400 Castleton Court, Castle Rock, CO 80109  
Attention: Ruby Richards, Deputy Director  
[rarichar@douglas.co.us](mailto:rarichar@douglas.co.us)  
Telephone: (303) 814-5389

El Paso: El Paso County Department of Human Services  
1675 West Garden of the Gods Road, Colorado Springs,  
CO 80907  
Attention: Catania Jones, Director, Children, Youth &  
Family Services  
Email [cataniajones@elpasoco.com](mailto:cataniajones@elpasoco.com)  
Telephone: (719) 444-5655

Jefferson: Jefferson County Department of Human Services  
900 Jefferson County Parkway, Golden, Colorado, 80401  
Attention: Barb Weinstein, Child Welfare Director  
[bweinste@co.jefferson.co.us](mailto:bweinste@co.jefferson.co.us)  
Telephone: (303) 271-4138

Larimer: Larimer County Department of Human Services  
1501 Blue Spruce Drive, Fort Collins, CO 80524  
Attention: Thad Paul, Division Manager, Child, Youth and  
Families  
Email [paulxtj@co.larimer.co.us](mailto:paulxtj@co.larimer.co.us)  
Telephone: (970) 498-6584

#### B. Pilot Project Description

1. The Pilot Project will initially focus on: 1) youth that are arrested, do not screen to Level 1 Secure Detention, do not require treatment in a Qualified Residential Treatment Program (QRTP), and cannot go home, and/or 2) youth that are arrested and ordered by the court to have a placement and service evaluation after the detention hearing (Eligible Youth). Eligible Youth not in county custody, will remain in their parent's/guardian's custody and need authorization for their stay in the assessment bed.
2. Savio House will provide clinicians and specialists to complete a suite of assessments and observations for Eligible Youth to determine community-based services and supports that may help them return and remain home or in family-like settings in their community as soon as possible, as further described below. Shiloh House will provide

- bed space for eight (8) Eligible Youth at a time to stay for up to thirty (30) days during the global assessment period, as further described below. Douglas County will be responsible for ensuring Savio House and Shiloh House's performance of these services in accordance with the terms of their respective Contracts.
3. Through their contracts with Savio House and Shiloh House, Douglas County will require Savio House and Shiloh House to handle any confidential or sensitive information regarding the Parties or Eligible Youth securely and in compliance with all applicable laws, and to use such information solely as needed to perform the services that they are engaged to provide under their respective Contract. Douglas County will not provide any services to Eligible Youth or complete any case management work of any kind.
  4. The comprehensive assessment and observation are designed to create a plan for Eligible Youth to return home or to a family-like setting in the community. Instead of placing Eligible Youth involved with Human/Social Services, this Pilot Project aims to assess for service needs to allow them to go home and be successful in the least-restrictive setting, as soon as possible.
  5. If this Pilot Project is successful, the Parties expect to see better outcomes for Eligible Youth compared to those that are placed outside of the pilot process. This may include: 1) reduction in out-of-home placements, 2) timelier reunification with family and/or community, and 3) better service outcomes that support the youth and family and prevent further penetration in the child welfare and juvenile justice systems.
  6. Each of the eight (8) participating Counties is guaranteed one (1) of the beds and the corresponding assessment throughout the Pilot Project. If a specific County's bed is available for any period of time, the "giving" County may elect to make it available to any other County. In that instance all arrangements (including any costs) are solely determined between the "giving" and "receiving" Counties. The "giving" and "receiving" Counties understand that there is no change in how Douglas invoices (as outlined below) and the two Counties will need to agree on any separate cost recovery related to the relinquished bed.

#### C. Savio House

1. Savio House will provide properly licensed and trained staff to complete a clinical assessment for Eligible Youth. This includes two (2) Masters level clinicians and two (2) Bachelors level specialists.
2. The Clinicians will be responsible for assessment administration, scoring, and reporting. They will be the point person for communication with the family and Multi-Disciplinary Team (MDT).
3. The Specialists will provide transportation to Eligible Youth's appointments (including court appearances), and observe and provide skills training in various settings. The Specialists will assess the Eligible Youth's activities of daily living, social skills and deficits, vocational needs and abilities and responses to various environments/communities.
4. The Assessments will include:
  - i. Biopsychosocial assessment will be performed within 24 hours of clients' arrival to guide further assessments. The Clinician will obtain Colorado Juvenile Risk Assessment (CJRA) if performed at the Juvenile Assessment Center or in detention.

- ii. Medical, Dental Appointments: Verified or scheduled
- iii. Med Evaluation (Shiloh House or client normal provider)
- iv. Trauma-CATS
- v. Family-CANS-F
- vi. Substance Use-ASAM assessment
- vii. Offense Specific-JSOAP and DASH 13
- 5. Observations will include:
  - i. School setting,
  - ii. Milieu within family system (ideally in the home),
  - iii. With similar age peers,
  - iv. In general community settings (walking around at a park) and in structured community settings (at a restaurant)
- 6. Programming will include:
  - i. If it appears a Qualified Residential Treatment Program is warranted, the MDT will request a Qualified Assessment within 24 hours.
  - ii. Family contacted within 24 hours of placement and family meeting scheduled.
  - iii. Within 72 hours, a determination will be made about school options for a child. This may include:
    - 1. Maintain attendance at current school setting,
    - 2. Attend on-line school, one on one tutoring, or modified school schedule
    - 3. Participate in day treatment, or
    - 4. no school participation indicated.
  - iv. Staffing will be held within seven (7) days to review assessments, observations, and service planning.
  - v. Discharge planning set within 21 days with most discharges completed within 14 days.

#### D. Shiloh House

- 1. During the day, Shiloh House will provide two (2) staff in the event Eligible Youth are not able to attend their home school. Staff will work with youth and set them up for online schooling and supervise during this time.
- 2. After school when youth are not with their specialist/therapist, Shiloh House will ensure Eligible Youth participate in activities to keep them engaged. Shiloh House staff will work with Savio House staff to understand youth's interests in order to keep them engaged when they are not in treatment. There will be three (3) Shiloh House staff for the after school hours to ensure that while youth are in the program, they receive individualized attention in order to best support them while they are in the program. Activities will be reviewed with the Eligible Youth's team to ensure appropriateness, and may include:
  - i. hiking,
  - ii. video games,
  - iii. arts/painting,
  - iv. working out,
  - v. games with peers, and
  - vi. other individualized interests.
- 3. Overnight there will be two (2) staff on the milieu during the overnight hours.

Since the program is under Shiloh House's license, Shiloh House is responsible for clinical documentation as well as Council of Accreditation standards.

F. Performance Management Tracking

1. Since this Pilot Project is in an early exploratory stage and data from a limited population, formal evaluation through university or other research partners is not yet feasible. Instead, the Pilot Project will include performance management tracking that will lay the groundwork for a formal evaluation at a later date.
2. Savio House will provide performance management tracking which will include:
  - i. assessments completed,
  - ii. length of stay of the Eligible Youth,
  - iii. release outcome and
  - iv. outcomes for the Eligible Youth and their family 3 months and 6 months post-pilot involvement.
3. If this pilot is successful, the Parties expect to see better outcomes for Eligible Youth compared to those that are placed outside of the Pilot Project. This may include:
  - i. a reduction in the use of out-of-home care,
  - ii. timelier reunification with family and/or community,
  - iii. more timely access to appropriate prevention and intervention services matched to needs and
  - iv. better service outcomes that support the youth and family and prevent further penetration in the child welfare and juvenile justice systems.

G. Funding Obligations

1. Douglas County will pay Shiloh House and Savio House all of their eligible costs incurred in connection with the Pilot Project as set forth in Table 1 below.
2. CDHS will reimburse costs for this pilot as follows: 1) 50% of actual costs, 2) up to a maximum of \$770,000, and 3) not to exceed \$264.25 per youth, per day (combined assessment and bed cost). The 8 Counties will equally share (1/8<sup>th</sup> each) the remaining 50% of all costs.
3. Table 1 below outlines how Savio House and Shiloh House costs were derived.
4. Each Parties' maximum obligation is 1/8<sup>th</sup> of \$770,000 or \$96,250.

Table 1.

Savio House Assessments	<p>All-inclusive, flat monthly rate of \$35,166.00 for two (2) staff to serve 6-8 children concurrently throughout pilot</p> <p>\$35,166.00 x 10 months = \$351,660.00</p> <p>Actual costs will be invoiced to Douglas which will in turn invoice CDHS per requirements in G. 1. above.</p>
Savio House Start-up Costs	Actual costs will be invoiced to Douglas which will in turn invoice CDHS per requirements in G. 1. above.
Shiloh House beds (located at	All-inclusive, flat daily rate of \$384.00 for eight (8) beds throughout the pilot



The Sanctuary)	<p>\$384.00/day x actual bed days March – December 2022 = \$936,960.00</p> <p>Actual costs will be invoiced to Douglas which will in turn invoice CDHS per requirements in G. 1. above.</p>
Shiloh House Start-up Costs	Actual costs will be invoiced to Douglas which will in turn invoice CDHS per requirements in G. 1. above.

**IN WITNESS WHEREOF**, the Parties have executed this Agreement as of the above date.

**BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF ADAMS COUNTY**

**BY: \_\_\_\_\_**  
**Kari Daggett, Deputy Director, Child and Family Services**  
**Authorized by Adams County Board of County Commissioners**

**DATE:** \_\_\_\_\_

**Signature of Notary Public Required:**

STATE OF \_\_\_\_\_ )  
 )  
COUNTY OF \_\_\_\_\_ )      **SS.**

**The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of 2022, by \_\_\_\_\_.**

**Witness my hand and official seal**

**Notary Public**

**My commission expires:** \_\_\_\_\_

**BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF ARAPAHOE  
COUNTY**

**IN WITNESS WHEREOF**, the Parties have executed this Agreement as of the above date.

**BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF BOULDER COUNTY**

**BY: \_\_\_\_\_**  
**Mollie Warren, Division Manager, Children & Family Services**  
**Authorized by Boulder County Board of County Commissioners**

**DATE:** \_\_\_\_\_

**Signature of Notary Public Required:**

STATE OF \_\_\_\_\_ )  
 )  
COUNTY OF \_\_\_\_\_ )      **SS.**

**The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of 2022, by \_\_\_\_\_.**

**Witness my hand and official seal**

**My commission expires:** \_\_\_\_\_ **Notary Public**



**IN WITNESS WHEREOF**, the Parties have executed this Agreement as of the above date.

**BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF EL PASO COUNTY**

**BY:** \_\_\_\_\_  
**Chair of the El Paso County Board of County Commissioners**

**DATE:** \_\_\_\_\_

**ATTEST:**

**BY:** \_\_\_\_\_  
**County Clerk & Recorder**

**DATE:** \_\_\_\_\_

**APPROVED AS TO FORM:**

**BY:** \_\_\_\_\_  
**Office of the County Attorney**

**DATE:** \_\_\_\_\_

**BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF JEFFERSON  
COUNTY**

**IN WITNESS WHEREOF**, the Parties have executed this Agreement as of the above date.

**BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF LARIMER COUNTY**

**BY: \_\_\_\_\_**  
**Thad Paul, Division Manager, Child, Youth and Families**  
**Authorized by Larimer County Board of County Commissioners**

**DATE:** \_\_\_\_\_

**Signature of Notary Public Required:**

STATE OF \_\_\_\_\_ )  
 )  
COUNTY OF \_\_\_\_\_ )      **SS.**

**The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of 2022, by \_\_\_\_\_.**

**Witness my hand and official seal**

**My commission expires:** \_\_\_\_\_ **Notary Public**





## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> April 5, 2022
<b>SUBJECT:</b> Acceptance of Warranty Deed from Amerco Real Estate Company
<b>FROM:</b> Jenni Hall, Director; Chase Evans, Deputy Director; David Dittmer, Right-of-Way Agent
<b>AGENCY/DEPARTMENT:</b> Community and Economic Development
<b>HEARD AT STUDY SESSION ON:</b> N/A
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves the Warranty Deed from Amerco Real Estate Company for the dedication of Right-of-Way.

### **BACKGROUND:**

The owner of the property located in the Northwest quarter of the Southwest quarter of Section 36, Township 2 South, Range 68 West of the 6<sup>th</sup> P.M. has completed a Minor Subdivision and is required to dedicate additional right-of-way to Adams County.

The subject request is consistent with the requirement for ingress and egress requirements. Staff reviewed the dedication of additional right-of-way for the subdivision requirements outlined in the County's Development Standard and Regulations and has determined it complies.

### **AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

County Attorney's Office

### **ATTACHED DOCUMENTS:**

Executed Warranty Deed from Amerco Real Estate Company to Adams County  
Approved Adams County Planning Commission Resolution dated 2/24/2022  
Resolution

**FISCAL IMPACT:**

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

**Fund:****Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

**Additional Note:**

BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING A WARRANTY DEED FROM AMERCO REAL ESTATE COMPANY  
TO ADAMS COUNTY FOR RIGHT-OF-WAY PURPOSES

WHEREAS, the Planning Commission for Adams County, Colorado, has considered the advisability of accepting a Warranty Deed from Amerco Real Estate Company for right-of-way purposes along property located in the Northwest quarter of the Southwest quarter of Section 36, Township 2 South, Range 68 West of the 6<sup>th</sup> Principal Meridian as described in the Exhibit "A"; and,

WHEREAS, this Warranty Deed is in conjunction with a Minor Subdivision Plat and is required due to subdivision regulation requirements; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 24th day of February 2022, the Planning Commission recommended that the Board of County Commissioners accept said Warranty Deed.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the attached Warranty Deed from Amerco Real Estate Company, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

# WARRANTY DEED

THIS DEED, dated this 14 day of February, 2022, between AMERCO REAL ESTATE COMPANY, whose legal address is 2425 E. Camelback Road, Suite 300, Phoenix, AZ 85016, grantor(s), and THE COUNTY OF ADAMS, State of Colorado, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601 of the said County of Adams and State of Colorado, grantee(s):

WITNESS, that the grantor(s), for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents doth grant, bargain, sell, convey and confirm, unto the grantee(s), its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the said County of Adams, State of Colorado, described as follows:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

Dedicated for E. 76<sup>th</sup> Avenue

Assessor's schedule or parcel number: Being a part of 0171936300002

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

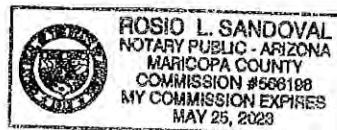
TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantee(s), its successors and assigns forever. The grantor(s), for itself, its successors and assigns, do covenant, grant, bargain and agree to and with the grantee(s), its successors and assigns, that at the time of the enrolling and delivery of these presents, it is well seized of the premises above conveyed, have good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and have good right, full power and authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind or nature soever, except oil, gas and mineral interests if any and except 2021 taxes due in 2022 which grantor agrees to pay.

The grantor(s) shall and will WARRANT AND FOREVER DEFEND the above bargained premises in the quiet and peaceable possession of the grantee(s), its successors and assigns, against all and every person or persons lawfully claiming the whole or any part thereof.

IN WITNESS WHEREOF, the grantor(s) have executed this deed on the date set forth above.

AMERCO Real Estate Company

By: [Signature] As: President  
Matthew F. Braccia



STATE OF ARIZONA )  
 ) §  
COUNTY OF maricopa )

The foregoing instrument was acknowledged before me this 14<sup>th</sup> day of February, 2022  
by Matthew F. Braccia as President, of AMERCO Real Estate Company

My commission expires: 05/25/2023

Witness my hand and official seal.

[Signature]

Notary Public

Name and Address of Person Creating Newly Created Legal Description (§38-35-106.5, C.R.S.)

**EXHIBIT "A"**

**DEED FROM AMERCO REAL ESTATE COMPANY, A NEVADA CORPORATION  
TO  
THE COUNTY OF ADAMS, STATE OF COLORADO**

LEGAL DESCRIPTION

A PARCEL OF LAND 9.00 FEET WIDE, SITUATED IN THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER (NW/4 SW/4) OF SECTION 36, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M., ADAMS COUNTY, COLORADO, BEING A PORTION OF LAND IDENTIFIED AS PARCEL NO. 0171936300002, RECORDS OF ADAMS COUNTY, STATE OF COLORADO A PORTION OF THE SAME LAID OUT, PLATTED AND SUBDIVIDED INTO A PARCEL OF LAND SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF "U-HAUL MOVING & STORAGE OF MILE HIGH", BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND MAGNETIC NAIL IN ASPHALT PAVING AT THE NORTHWEST CORNER OF THE NW/4 SW/4, THE SAME BEING THE WEST QUARTER (W/4) OF SECTION 36, T2S-R68W OF THE 6TH P.M., ADAMS COUNTY, COLORADO;

THENCE, ON THE WEST LINE OF SAID NW/4 SW/4, SOUTH 00°02'07" EAST A DISTANCE OF 30.00 FEET;

THENCE, LEAVING SAID WEST LINE, NORTH 89°23'48" EAST, A DISTANCE OF 46.96 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT OF LAND;

THENCE NORTH 00°07'02" WEST, A DISTANCE OF 9.00 FEET TO A POINT AT THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT OF LAND;

THENCE NORTH 89°23'48" EAST, A DISTANCE OF 488.01 FEET TO A POINT AT THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT OF LAND;

THENCE, SOUTH 00°02'08" EAST, A DISTANCE OF 9.00 FEET;

THENCE SOUTH 89°23'48" WEST, A DISTANCE OF 488.05 FEET TO THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT OF LAND, BEING A THE SAME POINT AS THE NORTHWEST CORNER OF A "RIGHT OF WAY DEDICATION", DESCRIBED IN WARRANTY DEED, RECEPTION NO. 2019000027028, RECORDS OF ADAMS COUNTY, COLORADO BEING THE POINT OF BEGINNING.

CONTAINING AN AREA OF 4,392 SQUARE FEET OR 0.1008 ACRES, MORE OR LESS.

LEGAL DESCRIPTION PREPARED BY:

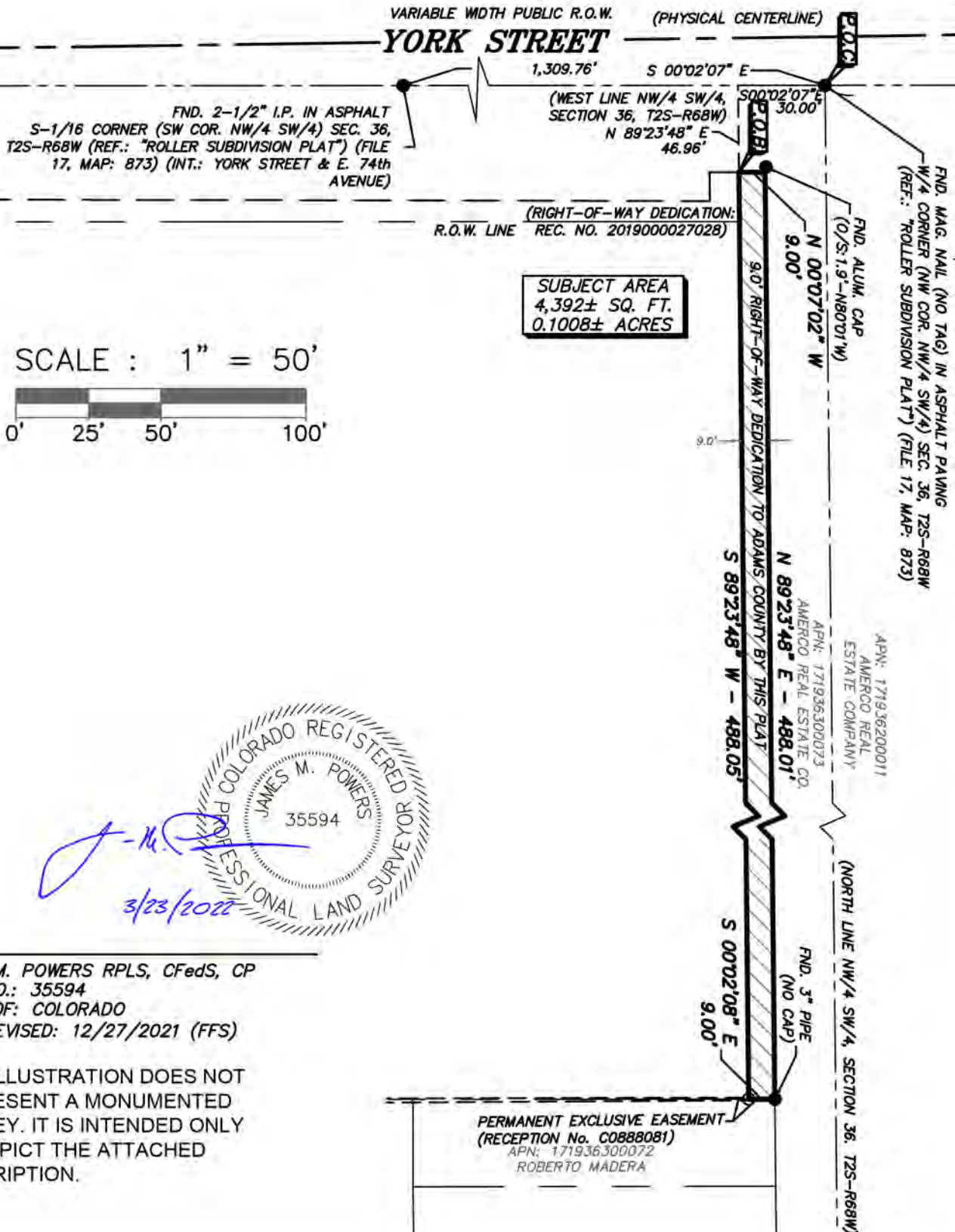
JAMES M. POWERS RPLS, CFedS, CP  
LAND SURVEYOR NO. 35594

FOR AND ON BEHALF OF:  
THE COUNTY OF ADAMS, STATE OF COLORADO





ILLUSTRATION FOR EXHIBIT "A"



**PLANNING COMMISSION FOR  
ADAMS COUNTY, STATE OF COLORADO**

**RESOLUTION RECOMMENDING ACCEPTANCE OF A WARRANTY DEED FROM  
AMERCO REAL ESTATE COMPANY TO ADAMS COUNTY FOR RIGHTS-OF-WAY**

At a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton, Colorado, on Thursday the 24th day of February 2022, the following proceedings, among others, were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of accepting a Warranty Deed from Amerco Real Estate Company, for rights-of-way purposes being on the following described property:

See Legal Description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this right-of-way dedication is in conjunction with a property located in the Northwest of the Southwest quarter of Section 36, Township 2 South, Range 68 West of the 6<sup>th</sup> Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED that the Adams County Planning Commission recommends to the Board of County Commissioners that the Warranty Deed from Amerco Real Estate Company be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, John F. DoPriest, Chair of the Adams County Planning Commission, do here by certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.

  
Chair

Adams County Planning Commission

BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION SUPPORTING ADAMS 14 SCHOOL DISTRICT

WHEREAS, Commerce City, Colorado is a vital industrial-based city in Adams County, home to working class families of different ethnic, cultural and linguistic backgrounds with the predominant minority population being Hispanic; and,

WHEREAS, the Adams County Commissioners are proud of the historic “melting pot” composition of the community and appreciate the contributions of its Commerce City families to the economic and cultural health of the county; and,

WHEREAS, the nearly 7,000 students of the Adams 14 School District mirror the diversity of the Commerce City community; and,

WHEREAS, the Adams County Commissioners consider these students of Adams 14 School District and the schools they attend to be important assets and integral parts of the strength of the County; and,

WHEREAS, the academic success of the students of Adams 14 School District and the quality of their schools is of utmost importance to the County; and,

WHEREAS, the Adams County Commissioners acknowledge the challenges of poverty and language acquisition that students of Adams 14 School District face daily, which affect their academic attainment; and,

WHEREAS, compared to the State as a whole, District 14 has a higher percentage of economically disadvantaged students and English language learners. Nearly 90% of the students identify as a racial or ethnic minority (compared to 45% statewide) and nearly 90% qualify for free and reduced-priced lunch, (compared to 43% statewide), and 53% are English language learners (compared to 17% statewide); and,

WHEREAS, the Adams County Commissioners recognize that the dedicated teachers and school leaders have worked hard over the years to raise student scores on yearly standardized CMAS (Colorado Measure of Academic Success) tests to avoid punitive sanctions by the Colorado Department of Education; and,

WHEREAS, the Adams 14 Board believes that all District students deserve rigorous and effective academic programming to enable them to achieve postsecondary and workforce readiness and postgraduation success; and,

WHEREAS, the Adams 14 Board and its superintendent endeavor to maintain the public trust through their acts and protection over the District, its students, staff, teachers, community, and resources; and,



WHEREAS, the State Board is threatening to, among other things, remove accreditation from the District, threatening the District with reorganization, and threatening to close down the District's schools, including the District's only comprehensive high school; and,

WHEREAS, the State Board's actions and conduct harm the District, the Adams 14 Board, students, parents, the Commerce City community, and other stakeholders; and,

WHEREAS, each of the Adams 14 Board members has been duly elected by Commerce City voters; and,

WHEREAS, the Adams 14 Board and District leadership have the experience and qualifications needed to turn this District around and realize student success if the State Board offers real support and partnership.

NOW THEREFORE, BE IT RESOLVED, that the Adams County Commissioners support the Adams 14 School Board and its constitutional right to local control; and,

BE IT FURTHER RESOLVED, that the Adams County Commissioners support the leadership of the District and the current Adams 14 Board; and,

BE IT FURTHER RESOLVED, the Adams County Commissioners strongly oppose closing any Adams 14 schools or dissolving or reorganizing the district through consolidation, as these actions would be detrimental to the entire community and harm the historic and social fabric of Commerce City; and,

BE IT FURTHER RESOLVED, the Adams County Commissioners commit to working with the Adams 14 School District to identify the local resources and services available to address the challenges associated with poverty and second language acquisition; and,

BE IT FURTHER RESOLVED, the Adams County Commissioners are committed to ensuring every student in Adams County, including Adams 14 students, receives the supports and opportunities each needs and deserves to do well in school and restore hope for their future.

BE IT FURTHER RESOLVED, that the County will provide a copy of this Resolution to the Colorado State Board of Education as part of the public comment period for the April 14, 2022 hearing.



## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> April 5, 2022
<b>SUBJECT:</b> 2022 Street Paving Program
<b>FROM:</b> Alisha Reis, Interim County Manager Byron Fanning, Interim Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement & Contracts Manager
<b>AGENCY/DEPARTMENT:</b> Public Works Department
<b>HEARD AT STUDY SESSION ON:</b> N/A
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves the Agreement with Aggregate Industries – WCR, Inc., for the 2022 Street Paving Program.

### **BACKGROUND:**

The 2022 Street Paving Program is significant street maintenance program with approximately 73 lane miles in four different areas of unincorporated Adams County. These areas have been identified as priorities for rehabilitation in the County's Transportation Asset Management System (TAMS).

A formal Invitation for Bids was solicited through BidNet. Bids were opened on March 8, 2022, and five bids were submitted. After verifying the unit bid prices for each company, the Public Works Department confirmed that Aggregate Industries – WCR, Inc. is the lowest responsive and responsible bidder.

A summary of the evaluation and results is in the table below:

RANK	BIDDER	TOTAL BID
1	Aggregate Industries – WCR, Inc.	\$7,673,243.05
2	Brannan Sand & Gravel, Inc.	\$7,957,753.35
3	Martin Marietta Materials	\$8,064,150.64
4	Asphalt Specialties	\$8,962,086.00
5	Colorado Asphalt Service, Inc	\$9,623,714.40

It is recommended that the Agreement with Aggregate Industries – WCR, Inc., for the 2022 Street Paving Program be approved in the amount of 7,673,243.05.

**AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Public Works Department

**ATTACHED DOCUMENTS:**

Resolution

**FISCAL IMPACT:**

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

**Fund: 13****Cost Center: 3055**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	7820		\$8,000,000.00
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			<b><u>\$8,000,000.00</u></b>

New FTEs requested: ☐ YES ☒ NOFuture Amendment Needed: ☐ YES ☒ NO**Additional Note:**

BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING THE AGREEMENT BETWEEN ADAMS COUNTY AND  
AGGREGATE INDUSTRIES – WCR, INC., IN THE AMOUNT OF \$7,673,243.05, FOR THE  
2022 STREET PAVING PROGRAM

WHEREAS, on March 8, 2022, Aggregate Industries – WCR, Inc., submitted a bid to provide services for the 2022 Street Paving program; and,

WHEREAS, after a verification of the specifications, it was determined that Aggregate Industries – WCR, Inc., was the lowest, most responsive and responsible bidder; and,

WHEREAS, Aggregate Industries – WCR, Inc., agrees to provide services for the 2022 Street Paving program in the not to exceed amount of \$7,673,243.05.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Agreement between Adams County and Aggregate Industries – WCR, Inc., in the amount of \$7,673,243.05, to provide services for the 2022 Street Paving program is hereby approved.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign the Agreement with Aggregate Industries – WCR, Inc., on behalf of Adams County, after negotiation and approval as to form is completed by the County Attorney's Office.



## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> April 5, 2022
<b>SUBJECT:</b> 2022 Seal Program
<b>FROM:</b> Alisha Reis, Interim County Manager Byron Fanning, Interim Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement & Contracts Manager
<b>AGENCY/DEPARTMENT:</b> Public Works Department
<b>HEARD AT STUDY SESSION ON:</b> N/A
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves an Agreement with A-1 Chipseal Company for the 2022 Seal Program.

### **BACKGROUND:**

The 2022 Seal Program is an annual street maintenance program. The County will slurry seal on different streets in unincorporated Adams County with approximately 35 lane miles in various areas in unincorporated Adams County.

A formal Invitation for Bid was solicited through the BidNet, bids were opened on March 11, 2022, and two bids were received. After verifying the unit prices, the Public Works Department determined that A-1 Chipseal Company was the lowest, most responsive and responsible bidder.

A-1 Chipseal Company	\$987,736.52
Vance Brothers Inc	\$1,1145,435.18

The recommendation is to approve an Agreement with A-1 Chipseal Company for the 2022 Seal Program in the not to exceed amount of \$987,736.52

**AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Public Works Department

**ATTACHED DOCUMENTS:**

Resolution

**FISCAL IMPACT:**

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

**Fund:** 13**Cost Center:** 3055

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	7822		\$800,000
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			<b>\$800,000</b>

**New FTEs requested:** ☐ YES ☒ NO**Future Amendment Needed:** ☐ YES ☒ NO**Additional Note:**

The additional operating expenditure is anticipated to be covered by savings in other accounts.

BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AN AGREEMENT BETWEEN ADAMS COUNTY AND A-1  
CHIPSEAL COMPANY IN THE AMOUNT OF \$987,736.52 FOR THE 2022 SEAL  
PROGRAM

WHEREAS, A-1 Chipseal Company submitted a bid on March 11, 2022, for the 2022 Seal Program; and,

WHEREAS, after verification of the unit bid prices, it was verified that A-1 Chipseal Company was the lowest most responsive and responsible bidder; and,

WHEREAS, A-1 Chipseal Company agrees to provide services for the 2022 Seal Program in the not to exceed amount of \$987,736.52.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Agreement between Adams County and A-1 Chipseal Company in the amount of \$987,736.52 for the 2022 Seal Program is hereby approved.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign the Agreement with A-1 Chipseal Company on behalf of Adams County, after negotiation and approval as to form is completed by the County Attorney's Office.



## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> April 5, 2022
<b>SUBJECT:</b> Crushed Virgin Class 6 Materials
<b>FROM:</b> Alisha Reis, Interim County Manager Byron Fanning, Interim Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement & Contracts Manager
<b>AGENCY/DEPARTMENT:</b> Public Works Department
<b>HEARD AT STUDY SESSION ON:</b> N/A
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves an Agreement with Green Dream International, LLC for Crushed Virgin Class 6 Materials.

### **BACKGROUND:**

The Operations division has implemented accelerated gravel roads rehabilitation and alley resurfacing programs. These programs include mixing and blending various materials to produce the surface gravel that is placed on recently rehabilitated roads as well as existing roads and alleyways that have been identified by the Operations Division for improvement. By proportioning and mixing the gravels the Division can reduce the costs associated with surface gravel materials.

The Operations Division has identified roads to be rehabilitated for the 2022 gravel programs and therefore requires stockpiling surface gravel materials to significantly reduce delays associated with ordering, and delivery of vendor supplied class 6 materials. By reducing potential delays, the Operations Division can be equipped with materials on hand to execute gravel programs as weather allows.

Crushed Virgin Aggregate Material is a primary ingredient for mixtures used on medium to high volume roads and is the structural component that increases strength and load support of specific gravel mixtures. Crushed Virgin Aggregate Material used in surface gravel can significantly improve road conditions and provide for a strong and long-lasting road reducing muddy conditions.

A formal Invitation for Bid (IFB) was posted on BidNet and one bid was received on March 10, 2022. After a review of the pricing it was determined that the bid from Green Dream International, LLC, was fair and within market and they were determined to be a responsive and responsible bidder.



A summary of the bid received is as follows:

RANK	BIDDER	TOTAL BID
1	Green Dream International, LLC	\$263,640.00

It is recommended to award an Agreement for Crushed Virgin Class 6 Materials to Green Dream International, LLC, in the not to exceed amount of \$263,640.00.

**AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Public Works Department

**ATTACHED DOCUMENTS:**

Resolution

**FISCAL IMPACT:**

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

**Fund:** 13

**Cost Center:** 3031

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	7470.1		\$425,000.00
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			<b>\$425,000.00</b>

**New FTEs requested:** ☐ YES ☒ NO

**Future Amendment Needed:** ☐ YES ☒ NO

**Additional Note:**

BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING THE AGREEMENT BETWEEN ADAMS COUNTY AND  
GREEN DREAM INTERNATIONAL, LLC, IN THE AMOUNT OF \$263,640.00, FOR  
CRUSHED VIRGIN CLASS 6 MATERIALS

WHEREAS, on March 10, 2022, Green Dream International, LLC, submitted a bid to provide crushed virgin class 6 materials; and,

WHEREAS, Green Dream International, LLC, agrees to provide crushed virgin class 6 materials in the not to exceed amount of \$263,640.00.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Agreement between Adams County and Green Dream International, LLC, in the amount of \$263,640.00, to provide crushed virgin class 6 materials is hereby approved.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign the Agreement with Green Dream International, LLC, on behalf of Adams County, after negotiation and approval as to form is completed by the County Attorney's Office.



## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> April 5, 2022
<b>SUBJECT:</b> Equipment for Emergency Vehicles
<b>FROM:</b> Alisha Reis, Interim County Manager Byron Fanning, Interim Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement & Contracts Manager
<b>AGENCY/DEPARTMENT:</b> Facilities and Fleet Management Department and the Sheriff's Office
<b>HEARD AT STUDY SESSION ON:</b> N/A
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves Amendment Three to the Agreement with BearCom, for the acquisition and installation of equipment for emergency vehicles.

### **BACKGROUND:**

The Facilities and Fleet Management Department in conjunction with the Adams County Sheriff's Office requires a qualified supplier to provide and install equipment, communication equipment and light bars for all County emergency vehicles. In March 2019, the Board of County Commissioners approved an Agreement with Bear Communications, Inc., dba BearCom, to provide the equipment and installation services. The contract breakdown is as follows:

Agreement/Amendment	Approval Date	Amount
Original Contract Amount	March 12, 2019	\$700,000.00
Amendment One to Extend Term to 3/11/2021	May 26, 2020	\$600,000.00
Amendment Two to Extend Term to 3/11/2022	March 30, 2021	\$480,000.00
Amendment Three to Extend Term to 3/11/2023		\$460,000.00
Total Agreement		\$2,240,000.00

The Facilities and Fleet Management Department is pleased with the services and equipment for Emergency Vehicles provided by BearCom and recommends that Amendment Three to renew the Agreement for one additional year in the not to exceed amount of \$460,000.00, be approved.

**AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Facilities and Fleet Management Department  
Sheriff's Office

**ATTACHED DOCUMENTS:**

Resolution

**FISCAL IMPACT:**

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

<b>Fund: 6</b>			
<b>Cost Center: 9111</b>			
	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			
	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:	9175		\$2,028,000
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			<u>\$2,028,000</u>

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☐ NO

**Additional Note:**

BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMENDMENT THREE TO THE AGREEMENT BETWEEN  
ADAMS COUNTY AND BEARCOM FOR THE ACQUISITION AND INSTALLATION OF  
EQUIPMENT IN THE AMOUNT OF \$460,000.00 FOR COUNTY EMERGENCY VEHICLES

WHEREAS, in March 2019, the Board of County Commissioners approved an Agreement for the acquisition and installation of communication equipment and light bars for all County emergency vehicles with Bear Communications, Inc., dba BearCom; and,

WHEREAS, the Facilities and Fleet Management Department wishes to renew the Agreement with Bear Communications, Inc., dba BearCom for one additional year; and,

WHEREAS, Bear Communications, Inc., dba BearCom has agreed to provide the equipment for Emergency Vehicles in the not exceed amount of \$460,000.00.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment Three to the Agreement between Adams County and Bear Communications, Inc., dba BearCom, in the amount of \$460,000.00 for equipment for Emergency Vehicles is hereby approved.

BE IT FURTHER RESOLVED that the Chair is hereby authorized to sign Amendment Three to the Agreement with Bear Communications, Inc., dba BearCom, on behalf of Adams County, after negotiation and approval as to form is completed by the County Attorney's Office.



## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> April 5, 2022
<b>SUBJECT:</b> Northglenn Winter Housing Program
<b>FROM:</b> Alisha Reis, Interim County Manager Byron Fanning, Interim Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement & Contracts Manager
<b>AGENCY/DEPARTMENT:</b> Community Safety and Well Being
<b>HEARD AT STUDY SESSION ON:</b>
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves Amendment One to the Agreement between Adams County and Denver Rescue Mission for the Northglenn Winter Housing Program.

### **BACKGROUND:**

The Northglenn Winter Housing Program launched December 15, 2021, and was scheduled to operate through March 31, 2022. The program was designed to provide shelter for 25 residents experiencing homelessness. The Denver Rescue Mission was the sole source vendor chosen for this project as there was an urgent need to shelter people experiencing homelessness during the cold weather season.

Adams County's Community Safety and Well-Being and the City of Northglenn requests an Amendment One to extend the Agreement between Adams County and Denver Rescue Mission for an additional five months in the amount of \$289,272.00. The Agreement breaks down as follows:

Item	Approve	Running Total
Original Contract	January 13, 2022	\$231,417.00
Amendment One		\$289,272.00
Total Agreement:		\$520, 689.00

The recommendation is to approve Amendment One to the Agreement with Denver Rescue Mission in the amount of 289,272.00, for a total Agreement amount of \$520,689.00.

**AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Community Safety &amp; Well-Being

**ATTACHED DOCUMENTS:**

Resolution

**FISCAL IMPACT:**

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

**Fund:** 00001**Cost Center:** 9252

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	9252.8810		\$289,272
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			\$289,272

**New FTEs requested:** ☐ YES ☐ NO**Future Amendment Needed:** ☐ YES ☐ NO**Additional Note:**

BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMENDMENT ONE TO THE AGREEMENT BETWEEN  
ADAMS COUNTY AND DENVER RESCUE MISSION IN THE AMOUNT OF \$289,272.00  
FOR THE NORTHGLENN WINTER HOUSING PROGRAM

WHEREAS, Adams County (County) entered into Single Source Agreement with Denver Rescue Mission to provide shelter for homeless residents in Adams County under the Northglenn Winter Housing Program; and,

WHEREAS, The County seeks approval for Amendment One to the Agreement to extend the Northglenn Winter Housing Program services for an additional five months; and,

WHEREAS, Denver Rescue Mission agrees to provide these extended services in the amount of \$289,272.00 for a total not to exceed Agreement amount of 520,689.00.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment One to the Agreement between Adams County and Denver Rescue Mission in the amount of \$289,272.00, for the Northglenn Winter Housing Program is hereby approved.

BE IT FURTHER RESOLVED, by the Chair of the Board of County Commissioners is hereby authorized to sign Amendment One with Denver Rescue Mission on behalf of Adams County, after negotiation and approval as to form is completed by the County Attorney's Office.





## PUBLIC HEARING AGENDA ITEM

<b>DATE OF PUBLIC HEARING:</b> April 5, 2022
<b>SUBJECT:</b> Mosquito Control Services
<b>FROM:</b> Alisha Reis, Interim County Manager Byron Fanning, Interim Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement & Contracts Manager
<b>AGENCY/DEPARTMENT:</b> Community and Economic Development Department
<b>HEARD AT STUDY SESSION ON:</b> N/A
<b>AUTHORIZATION TO MOVE FORWARD:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO
<b>RECOMMENDED ACTION:</b> That the Board of County Commissioners approves the Amendment one to the Agreement with Vector Disease Control International, LLC for Mosquito Control Services.

### **BACKGROUND:**

Mosquito control manages the population of mosquitoes to reduce their damage to human health, economies, and enjoyment. Adams County offers this service to residents from the health risks, annoyance, and discomfort associated with mosquitoes.

A solicitation for Mosquito Control Services was issued in March of 2019. The Board of County Commissioners awarded an Agreement to Vector Disease Control International, LLC, (VDCI) for an initial 3-year agreement with 2 one-year renewal options.

VDCI is requesting a slight increase of 3.5% for 2022, below the CPI for the Denver Metro area. The Agreement breaks down as follows:

Contract Year	Approval	Amount	Running Total
Year 1	June 2019	\$225,832.00	\$225,832.00
Year 2		\$230,349.00	\$456,181.00
Year 3		\$234,956.00	\$691,137.00
Year 4 - Amendment One		\$243,179.00	\$934,316.00
Total Agreement Amount			\$934,316.00

The recommendation is to approve Amendment One to the Agreement with VDCI for Mosquito Control services in the amount of 243,179.00 for a total Agreement amount of \$934,316.00.

**AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:**

Community and Economic Development Department

**ATTACHED DOCUMENTS:**

Resolution

**FISCAL IMPACT:**

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

**Fund: 1**

**Cost Center: 4015**

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
<b>Total Revenues:</b>			

	<b>Object Account</b>	<b>Subledger</b>	<b>Amount</b>
Current Budgeted Operating Expenditure:	7685		250,637.00
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
<b>Total Expenditures:</b>			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

**Additional Note:**

Yearly amounts dependent upon Budget approval.

BOARD OF COUNTY COMMISSIONERS FOR  
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMENDMENT ONE TO THE AGREEMENT BETWEEN  
ADAMS COUNTY AND VECTOR DISEASE CONTROL INTERNATIONAL, LLC, IN THE  
AMOUNT OF \$243,179.00, FOR MOSQUITO CONTROL SERVICES

WHEREAS, Vector Disease Control International, LLC, was awarded an Agreement in March of 2019 to provide Mosquito Control Services in Adams County; and,

WHEREAS, Adams County is pleased with the services provided by Vector Disease Control International, LLC, and would like to renew the Agreement for an additional year; and,

WHEREAS, Vector Disease Control International, LLC, agrees to provide Mosquito Control Services in the not to exceed amount of \$243,179.00 for a total not to exceed Agreement amount of \$934,316.00.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment One to the Agreement between Adams County and Vector Disease Control International, LLC, in the amount of \$243,179.00 to provide Mosquito Control Services, is hereby approved.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign Amendment One to the Agreement with Vector Disease Control International, LLC, after negotiation and approval as to form is completed by the County Attorney's Office.

Community & Economic  
Development Department  
[www.adcogov.org](http://www.adcogov.org)



4430 South Adams County Parkway  
1st Floor, Suite W2000B  
Brighton, CO 80601-8218  
PHONE 720.523.6880  
FAX 720.523.6967  
EMAIL: [epermitcenter@adcogov.org](mailto:epermitcenter@adcogov.org)

To: Adams County Board of County Commissioners  
From: J. Gregory Barnes, Planner III *JGB*  
Subject: Potomac Boat & RV Storage  
Date: February 17, 2022

An application for conditional use permit for Potomac Boat & RV Storage has been withdrawn by the applicant. This item will remain on the agenda for April 5, 2022, because public notification of the hearing has already occurred. In lieu of a formal presentation, staff will announce that the application has been withdrawn at the hearing.

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BOARD OF COUNTY COMMISSIONERS

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Eva J. Henry  
DISTRICT 1

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DISTRICT 2

Emma Pinter  
DISTRICT 3

Steve O'Dorisio  
DISTRICT 4

Lynn Baca  
DISTRICT 5



**COMMUNITY AND ECONOMIC DEVELOPMENT  
DEPARTMENT**

**CASE NO.: PRC2021-00003  
CASE NAME: BERKELEY VILLAS**

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**COMMUNITY AND ECONOMIC  
DEVELOPMENT DEPARTMENT  
STAFF REPORT**

**Board of County Commissioners**

**April 5, 2022**

CASE No.: <b>PRC2021-00003</b>		CASE NAME: <b>Berkeley Villas</b>
Owners’ Names:	56 <sup>th</sup> & Federal, LLC; Ryan Smith; Laura Lechuga; TTL Denver – 56 <sup>th</sup> & Federal, LLC; Diane M Graber	
Applicant's Name:	David Clock, The True Life Companies	
Applicant's Address:	1350 17 <sup>th</sup> Street, Suite 350, Denver, CO 80202	
Location of Requests:	2860, 2880, 2898, and 2902 W 56 <sup>th</sup> Avenue	
Parcel Numbers:	0182517103063, 0182517103064, 0182517103050, 0182517103053, 0182517103030, 0182517103052, 0182517103038, and 0182517103041.	
Nature of Requests:	1.) Major subdivision preliminary plat to create 82 lots and eight tracts on approximately 4.6 acres; 2.) Rezoning from Residential-2 (R-2) to Transit-Oriented Development (TOD).	
Current Zone Districts:	R-2	
Proposed Zone District:	TOD	
Future Land Use:	Urban Residential	
Total Site Area:	Approximately 4.6 acres	
Hearing Date(s):	<b>PC: March 24, 2022 / 6:00 pm</b> <b>BoCC: April 5, 2022 / 9:30 am</b>	
Report Date:	March 24, 2022	
Case Manager:	Greg Barnes, Planner III 	
PC Recommendation:	APPROVAL with 13 Findings-of-Fact, 6 Conditions, and 10 Notes	

**SUMMARY OF APPLICATIONS**

**Background:**

The applicant, David Clock of the True Life Companies, is requesting a rezoning and major subdivision preliminary plat. The applications are submitted with the intention of redeveloping the site into a townhouse development with an overall density of 17.8 dwelling units per acre.

The application for rezoning proposes to change the zone designation on 4.6 acres from Residential-2 (R-2) to Transit-Oriented Development (TOD), due to its proximity to the Clear Creek-Federal Station. The site boundary is entirely within the half-mile radius of the Clear Creek-Federal Station. The current R-2 zoning designation allows for single- and two-family dwellings. The proposed TOD zone designation will allow for townhouse development.

The preliminary plat request encompasses eight existing parcels totaling 4.6 acres. The proposed preliminary plat would reconfigure the site into 82 lots and eight tracts. The lots will be designed for a townhouse development, and sizes will range from 958 to 1,430 square feet. The preliminary plat proposes that the lots be served by private streets. A waiver from the subdivision design standards to allow lots served by private streets must be obtained prior to the final plat being scheduled before the Board of County Commissioners. Upon approval of the preliminary plat, the applicant will be expected to submit applications for that waiver, as well as for the final plat and associated Subdivision Improvements Agreement (SIA), which would facilitate the construction of public improvements that support the proposed development.

**Zone District Regulations:**

Currently, the subject property of the rezone request is designated as R-2. Per Section 3-14-01 of the County's Development Standards and Regulations, the purpose of the R-2 zone district is to provide a residential zone district which permits single- and two-family dwellings. Lots serving two-family dwellings within the Residential-2 zone district must be a minimum size of 3,500 square feet. Based on the current zoning of the property, the overall site could be developed with as many as 57 dwelling units.

The proposed zone district for the entire site is TOD. Per Section 3-27-01 of the County's Development Standards and Regulations, the purpose of the TOD zone district is to encourage compact urban growth patterns, provide opportunities for increased transportation mode choice, reduce the reliance upon automobiles, and create a safe and pleasant pedestrian environment. The site is within a half-mile radius of the Clear Creek-Federal Station, and pedestrian access to the station is available by a 3,000-foot walk along West 56<sup>th</sup> Avenue and Federal Boulevard.

A rezoning to TOD requires the submittal of a TOD Sketch Plan, which has been provided with this application. The sketch plan illustrates the conceptual layout of the site and building elevations. The Director of Community and Economic Development may opt to refer the building permit site plan to the Planning Commission. If so referred, the decision of the Planning Commission shall constitute a final decision, subject to appeal to the Board of County Commissioners.

The proposed preliminary plat will create 82 lots and eight tracts. The 82 lots created by the proposed preliminary plat are intended to serve townhouse development. Townhouse development within the TOD zone district is not required to have a minimum lot size nor a minimum lot width. The minimum density for this zone district is 12 townhouses per acre, and the proposed development provides 17.8 townhouses per acre.

### **Subdivision Design and Improvements**

The proposed preliminary plat has been reviewed by County staff for consistency with the County's Subdivision Design Standards (Section 5-03). The proposed plat has been designed to be appropriate for development, and the lot configuration is suitable for access and emergency services. The proposed subdivision has been determined by the Colorado Division of Water Resources to have adequate water supply. All documentation has been provided to ensure conformance with the County's water supply requirements. Prior to the final plat being scheduled before the Board of County Commissioners, the applicant will be expected to obtain a waiver from subdivision design standards to allow lots served by a public street.

Per Section 5-02-05 of the County's Development Standards and Regulations, an SIA will be required with a final plat. The SIA allows for construction of infrastructure, such as streets, curbs, gutters, sidewalks, and storm sewers to be constructed on the property. In addition, for residential subdivisions, public land dedication is required to support schools, neighborhood parks, and regional parks. Section 5-05-05-04 of the County's Development Standards allows for cash-in-lieu of land dedication. These cash-in-lieu fees will be expected to be paid prior to scheduling the final plat application for public hearings.

### **Future Land Use Designation/Comprehensive Plan:**

The Adams County Comprehensive Plan designates this area as Urban Residential, allowing single- and multi-family housing at higher urban densities in locations that are readily accessible to urban services and transportation. Overall, the subject request is consistent with this designation. The development will be connected to surrounding road network system, with access to major streets. The request is consistent with the goals of the Comprehensive Plan to provide higher density housing near transit stations. Additionally, areas surrounding the subject site are also designated as Urban Residential future land use in the Comprehensive Plan. The site is located within the Southwest Area's Framework Plan, which has a policy to maintain and enhance existing residential neighborhoods. The proposal will expand housing opportunities and provide additional opportunities for multi-modal transportation. The subject area was also a part of the Planning and Environmental Linkage Study, which was conducted for the Adams County Making Connections Plan, intended to study opportunities to enhance walkability along Federal Boulevard north of 52<sup>nd</sup> Avenue.

### **Site Characteristics:**

The subject property has street frontage along West 56<sup>th</sup> Avenue to the north. The site is located approximately 400 feet east of West 56<sup>th</sup> Avenue's intersection with Federal Boulevard. The area is likely to redevelop substantially within the next few years, as several development applications have already been filed with the County for residential and retail development along Federal Boulevard.



**Surrounding Zoning Designations and Existing Use Activity:**

<b>Northwest A-1 Single-Family Residential</b>	<b>North A-1 Single-Family Residential</b>	<b>Northeast A-1 Single-Family Residential</b>
<b>West C-5 Commercial</b>	<b>Subject Properties R-2 Single-Family Residential</b>	<b>East R-2 Single-Family Residential</b>
<b>Southwest C-5 Mobile Home</b>	<b>South R-2 Single-Family Residential</b>	<b>Southeast R-2 Single-Family Residential</b>

**Compatibility with the Surrounding Area:**

The surrounding properties to the north, south, and east are all utilized for single- or two-family residential development. Properties to the west are utilized for commercial use and is likely to be developed as a gas station. The proposed redevelopment of the site will establish a higher-density than the existing area; however, the site is consistent with the County's goals for providing higher density uses within a half-mile of the Clear Creek-Federal Station.

Per Section 8-02-02 of the County's Development Standards and Regulations, a traffic impact study is required with these applications. Staff reviewed the traffic study and had no outstanding concerns with potential traffic generation from the site. A new traffic impact study may be required during review of any building permit for new development on the property.

These applications are compatible with the overall area and are not detrimental to public health and safety. Approval of these requests will be consistent with the character of development activities in the area.

**PLANNING COMMISSION UPDATE:**

The Adams County Planning Commission held a public hearing on March 24, 2022, involving the subject applications. The applicant was present and provided additional testimony to support the requests. There were two members of the public that provided testimony regarding these applications. One commenter identified high crime as a concern and was opposed to the project. Another commenter identified grade issues for bicycle connectivity along W. 56<sup>th</sup> Avenue toward Lowell Boulevard.

Several Planning Commission members had concerns with connectivity to the transit station and surrounding properties; they said that the proposed development feels like an enclave within the neighborhood. Staff identified several connectivity opportunities provided within the plan. Ultimately, staff and the applicant have identified that the application has provided the best product given the current pedestrian and bicycle connectivity along Federal Boulevard. Other concerns included potential gentrification and loss of affordable housing in the area.

Additionally, during the staff presentation, staff identified that Transit-Oriented Development zoning requires single-family attached façades to be distinctively different. The applicant submitted a building design that they believed complied to the standard. In the staff review, there was concern that the façades did not fully comply. The subject application is the first TOD

rezoning applied for within unincorporated Adams County, so staff identified the issue to the Planning Commission for their decision. Ultimately, the Planning Commission voiced concern regarding elevations and included a condition to require that the building permit site plan comply with TOD architectural requirements. After the addition of this condition, the Planning Commission voted (5-1) to recommend approval of the application.

**Staff Recommendation:**

**Based upon the application, the criteria for approval, and a recent site visit, staff recommends approval of these requests (major subdivision preliminary plat) and rezoning with 13 findings-of-fact, 6 conditions, and 10 notes:**

**Recommended Findings-of-Fact**

1. The preliminary plat is consistent with the Adams County Comprehensive Plan and any available area plan.
2. The preliminary plat is consistent with the purposes of these standards and regulations.
3. The preliminary plat is in conformance with the subdivision design standards and any approved sketch plan.
4. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.
5. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that such system complies with state and local laws and regulations.
6. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.
7. The applicant has provided evidence that adequate drainage improvements comply with these standards and regulations.
8. The overall density of development within the proposed subdivision conforms to the zone district density allowances.
9. The proposed subdivision is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. The proposed subdivision has established an adequate level of compatibility by:
  - a. Incorporating natural physical features into the development design and providing sufficient open spaces considering the type and intensity of use;
  - b. Incorporating site planning techniques to foster the implementation of the County's plans, and encourage a land use pattern to support a balanced transportation system, including auto, bike, and pedestrian traffic, public or mass transit, and the cost-effective delivery of other services consistent with adopted plans, policies and regulations of the County;
  - c. Incorporating physical design features in the subdivision to provide a transition between the project and adjacent land uses through the provision of an attractive

- entryway, edges along public streets, architectural design, and appropriate height and bulk restrictions on structures;
- d. Incorporating identified environmentally sensitive areas, including but not limited to, wetlands and wildlife corridors, into the project design; and
  - e. Incorporating public facilities or infrastructure, or cash-in-lieu, reasonably related to the proposed subdivision so the proposed subdivision will not negatively impact the levels of service of the County services and facilities.
10. The Zoning Map amendment is consistent with the Adams County Comprehensive Plan.
  11. The Zoning Map amendment is consistent with the purposes of these standards and regulations.
  12. The Zoning Map amendment will comply with the requirements of these standards and regulations.
  13. The Zoning Map amendment is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.

**Recommended Conditions of Approval:**

1. The applicant shall submit to the Adams County Community and Economic Development Department an application for waiver of subdivision design standards to allow the development to be served by private roadways. The application shall be processed to the Board of County Commissioners for decision prior to the scheduling of any final plat application related to this preliminary plat.
2. The private roadways shall not have restricted access or gates unless approved by the Director of Community and Economic Development.
3. The private roadways will be designed and constructed in accordance with the standards of the Adams County Fire & Rescue Protection District and as approved by Adams County.
4. “No parking” signs shall be provided on the areas of the street where parking is not allowed.
5. The applicant shall comply with all requirements of the Tri-County Health Department provided in their letter dated February 3, 2022. This includes safe pedestrian design strategies, radon mitigation strategies, and mosquito and vector control.
6. The applicant shall submit building elevations with the building permit site plans that comply with Section 3-28-06-04-02-03 requiring the single-family attached dwellings to have distinctly different facades. No attached single-family structure façade shall be repeated more than once every four structures on the same side of the street.

**Recommended Notes to the Applicant:**

1. The applicant shall comply with all building, zoning, fire, engineering, and health codes and regulations during the development of the subject site.
2. The preliminary plat approval shall expire on April 5, 2024, if a final plat application is not submitted to the Adams County Community and Economic Development Department.

3. The applicant is required to obtain a permit for inert fill and a grading permit prior to importing any amount of inert fill material onto the subject property, which includes demonstrating the fill material meets the definition of inert fill material.
4. Adams County will require building permit approval to establish the new uses. These reviews shall include, but are not limited to, landscaping, site design, parking, building safety, traffic, and drainage.
5. The applicant shall submit to the Adams County Community and Economic Development Department a final drainage analysis and report for review and approval with any application for a final plat.
6. The applicant shall submit to the Adams County Community and Economic Development Department a final traffic impact study for review and approval with any application for a final plat.
7. A Subdivision Improvements Agreement and collateral shall be submitted with the final plat application.
8. A public land dedication fee for parks and schools shall be paid to Adams County prior to or with the final plat submittal. This fee shall be determined by the fee structure specified in Section 5-05 of the Adams County Development Standards and Regulations.
9. All utilities shall be located underground pursuant to the Adams County Development Standards and Regulations.
10. The Director of Community and Economic Development may opt to refer any building permit site plan related to the Transit-Oriented Development Sketch Plan to the Planning Commission in accordance with Section 3-27-03 of the County's Development Standards. This will ensure consistency with the general design of this sketch plan. If so referred, the decision of the Planning Commission shall constitute a final decision, subject to appeal to the Board of County Commissioners.

#### **CITIZEN COMMENTS**

<b>Notifications Sent</b>	<b>Comments Received</b>
471	3

All property owners and occupants within 1,000 feet of the subject property were notified of the request. As of writing this report, staff has received three responses from those notified. Of those three responses, none specifically stated that they supported or were opposed to the use. One respondent had concerns over property rights. The applicants responded to these concerns, and the respondent did not provide any response afterward. Additional concerns were related to density, crime, and the availability of affordable housing in the area.

#### **COUNTY AGENCY COMMENTS**

Staff reviewed the request and had no major concerns with the proposed applications. The TOD zoning standards (Section 3-27-06-04-02-03) requires that each attached single-family dwelling have distinctly unique facade. There is some concern that the proposed facades are not each unique enough; however, the assessment by staff is somewhat subjective and the applicant has indicated that they prefer to submit the proposed facades for their request.

## **REFERRAL AGENCY COMMENTS**

The Adams County Fire Protection District provided comments to ensure adequate fire suppression is available within the development. The Tri-County Health Department provided guidance for safe pedestrian design strategies, radon mitigation strategies, and mosquito and vector control.

### **Responding with Concerns:**

Adams County Fire Protection District  
Tri-County Health Department

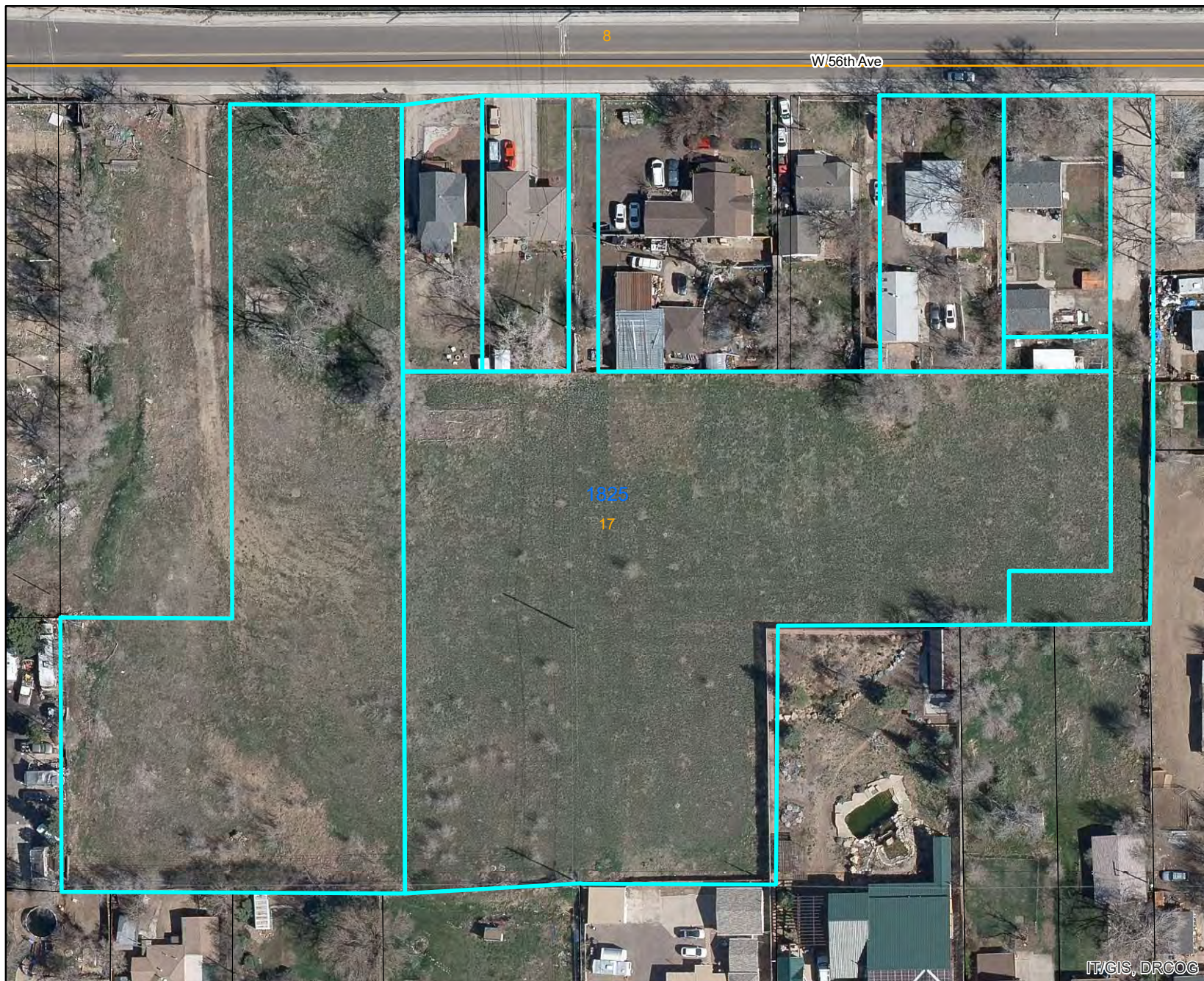
### **Responding without Concerns:**

Colorado Department of Transportation  
CDNR-Division of Water Resources  
Colorado Geological Survey  
Denver Water  
Public Service Company of Colorado DBA Xcel Energy  
RTD





### **Notified but not Responding / Considered a Favorable Response:**

Adams County Sheriff  
Adams County Treasurer  
Berkeley Sanitation District  
Century Link  
CDNR-Division of Mining & Reclamation Safety  
CDNR-Division of Parks & Wildlife  
Comcast  
Crestview Water & Sanitation District  
Fisher Ditch Company  
Goat Hill  
Mapleton School District #1  
Metro Wastewater Recovery  
Mobile Gardens  
North Lincoln Water & Sanitations District  
North Pecos Water & Sanitation District  
North Washington Water & Sanitation District  
Northridge Estates at Gold Run  
Pecos Logistics Park Metro District  
The TOD Group  
Union Pacific Railroad  
U.S. Environmental Protection Agency  
U.S. Post Office  
Westminster School District #50





### Legend

-  Railroad
-  Major Water
-  Zoning Line
-  Sections

**Berkeley Villas**  
**PRC2021-00003**

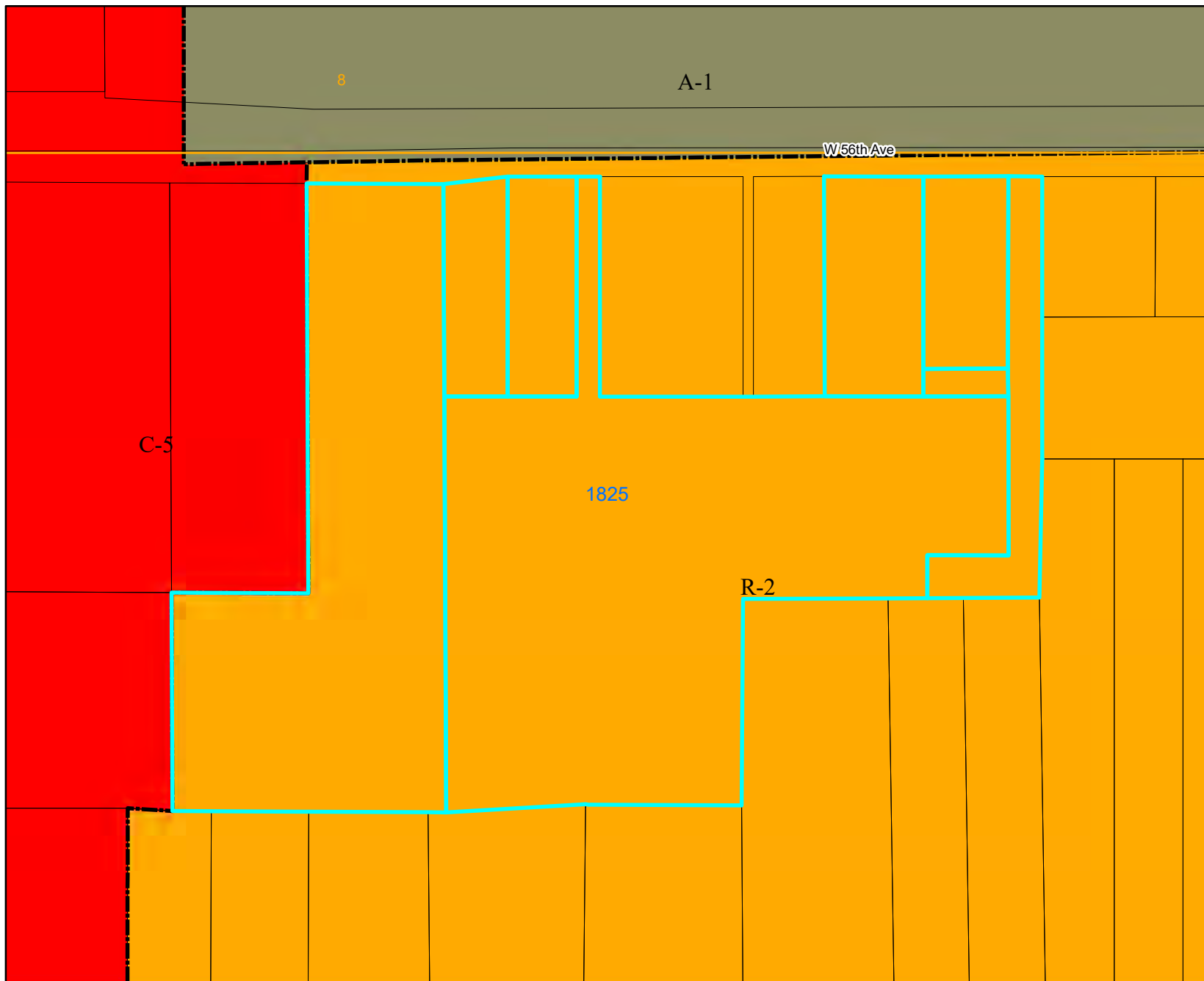


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ADAMS COUNTY  
COLORADO

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# Legend

- Railroad
- Major Water
- Zoning Line
- Sections

## Zoning Districts

- A-1
- A-2
- A-3
- R-E
- R-1-A
- R-1-C
- R-2
- R-3
- R-4
- M-H
- C-0
- C-1
- C-2
- C-3
- C-4
- C-5
- I-1
- I-2
- I-3
- CO
- PL
- AV
- DIA
- P-U-D
- P-U-D(P)
- Conditions

Berkeley Villas  
PRC2021-00003



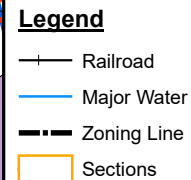
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ADAMS COUNTY  
COLORADO

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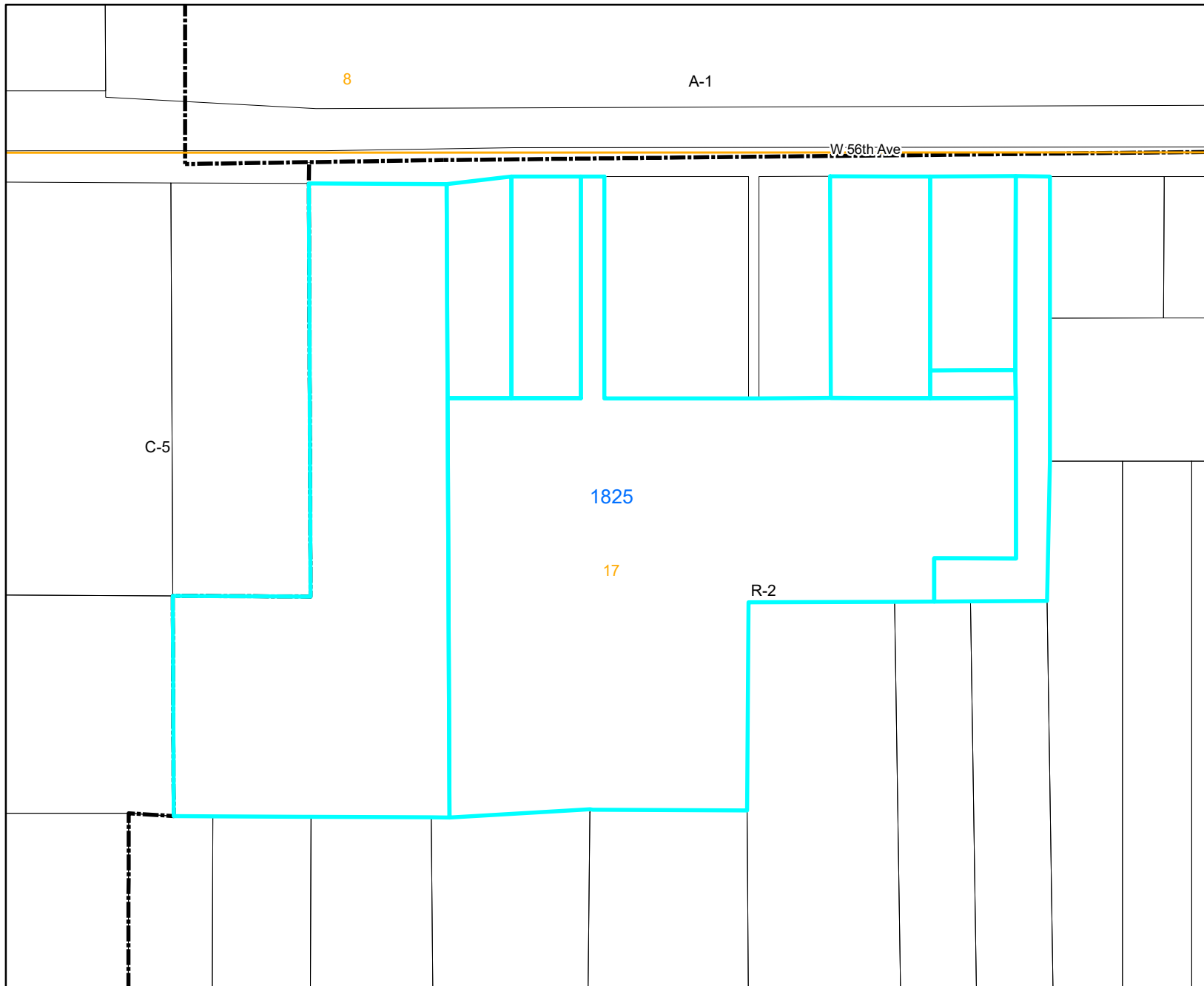




ADAMS COUNTY  
COLORADO

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### Legend

- Railroad
- Major Water
- Zoning Line
- Sections

**Berkeley Villas**  
**PRC2021-00003**

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# TTLC Management, Inc.



August 24, 2021

Adams County  
Attn: Greg Barnes  
4430 South Adams County Parkway  
Brighton, CO 80601

Re: Written Statement  
Project: Berkeley Villas  
Address: 2922 W. 56th Avenue, CO 80221  
Applications: Rezone to Transit-Oriented Development  
Preliminary Plat

Dear Mr. Barnes:

On behalf of the applicant, TTLC Management Inc. (TTLC), we are pleased to submit for your review and comment the attached Rezone Application to Transit-Oriented Development (TOD) and Preliminary Plat for the property located at the southeast corner of W 56th Avenue and Federal Boulevard in unincorporated Adams County. The property address is 2922 W. 56th Avenue, Denver CO 80221. This application has been prepared by and for the following parties to the benefit of the residents of Adams County and the surrounding areas.

Applicant:  
TTLC Management, Inc  
Contact: David Clock, Regional Director  
1350 17th Street, Suite 350  
Denver, CO 80202  
720-330-9211  
dclock@thetruelifecompanies.com

Architect  
KTTY  
Contact: Doug Heaton  
820 16th Street, Suite 500  
Denver, CO 80202  
303-825-6400  
dheaton@kty.com

Entitlements / Landscape Architect  
Norris Design  
Contact: Eva Mather / John Norris  
1101 Bannock St.  
Denver, CO 80204  
303-892-1166  
emather@norris-design.com  
jnorris@norris-design.com

Civil Engineer  
Harris Kocher Smith  
Contact: John Stafford  
1120 Lincoln St, Ste 1000  
Denver, CO 80203  
303-623-6300  
jstafford@hkseng.com

# TTL Management, Inc.



## **Applications**

Two applications associated with this written explanation include Rezone to Transit-Oriented Development (TOD) and Preliminary Plat. The Applicant hosted a neighborhood meeting on July 6, 2021.

The information provided as a part of the Preliminary Plat application was guided by direction from Staff and is intended to give sufficient design and intent for the County to review and respond. The Preliminary Plat will be advanced as necessary based on County comments.

## **Project Description**

This neighborhood is designed to attract a broad spectrum of residents. The site is well suited to a variety of transportation needs with nearby access to the Clear Creek Bike Trail via Federal Boulevard or W. 55<sup>th</sup> Place. This site promotes convenient access to the mass transit, located ½ mile from the Clear Creek-Federal light rail station on the Gold line which is accessible by walking, biking or public bus stations. Two public transit bus stations are located adjacent to this property along Federal Boulevard with access to light rail stations as well as other bus stops to the north and south.

This property is approximately 4.6 acres located at the northeast corner of W. 56<sup>th</sup> Avenue and Federal Boulevard. The proposed application is to rezone the site from R-2 to a TOD to provide opportunities for increased pedestrian transportation from public transit to the approximately 82 single-family attached townhome units. This neighborhood will provide new homes to address housing attainability and diversity as well as relieve the current lack of new housing within the County. This meets many of the housing goals identified in the Southwest Area Framework Plan, the Balanced Housing Plan, TOD and Rail Station Area Planning Guidelines, Imagine Adams County Comprehensive Plan, and Making Connections Plans – all which address the need for diverse and balanced housing alternatives.

The abutting neighborhoods to the north, east, south and west are currently zoned R-2, C-5 and A-1. This development provides a residential transition from the commercial and mobile homes on the west to the single-family detached homes on the south and west. The Applicant has had discussions with the adjacent residential homeowners and they are aware of and generally supportive of the proposed development.

The application for TOD identifies a density of 17.7 du/ac, and a height restriction of 35' adjacent to residential properties as well as 40' facing local or collector streets.

## **Applicability to Comprehensive Plan**

The 2012 Adams County Comprehensive Plan outlines key goals to creating a more sustainable and resilient Adams County. The key goals that strongly relate to Berkeley Villas TOD rezone are outlined below:

### *Promote Coordinated and Connected Growth:*

Revitalization and reinvestment in established areas to meet the needs of a variety of residents

# TTLC Management, Inc.

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## *Reduce the Fiscal Impact of Growth:*

Infill development to take advantage of existing infrastructure to aid in reducing fiscal impacts with new development

## *Promote Economic Vitality:*

Locate Urban Residential uses within close proximity to the surrounding transportation corridors and within municipal and county growth areas, especially in the Southwest Area of the County.

## *Preserve the County's Natural Resources:*

Support and implement the preservation of active and passive open space, wildlife habitat and environmental quality

## **Applicability to 2014 Federal Blvd Framework Plan**

The 2014 Federal Blvd Framework Plan identifies the purpose of TODs as encouraging compact urban growth patterns, providing opportunities for increased transportation mode choice, reducing reliance on the automobile, and creating a safe and pleasant pedestrian environment. Additionally, the study area is identified as a unique opportunity and logical target for urban housing with a significant competitive advantage being in the close presence of public transit. The Berkeley Villas development is in compliance with the Federal Blvd. Framework Plan.

## **Applicability to 2016 Making Connections Plan**

The Making Connections Plan is, “about capitalizing on the regional infrastructure that exists, and is coming online, to provide a diverse and economically stable County into the future.” It is located in the “Triangle of Opportunity” between Sheridan Station, Welby Station, and the National Western Center Station. It is in a site identified for high development propensity. The Berkeley Villas development is in compliance with the 2016 Making Connections Plan.

## **Open Space**

The proposed neighborhood provides open space areas consistent with the Two Family/Duplex/Townhome development open space requirement of twenty (20) percent. Townhomes front on 56<sup>th</sup> Avenue, proposed private streets, or paseos with internal greens and walks to provide a pleasant pedestrian experience. Buffering from the commercial development to the west is provided on the western edge. Pedestrian amenities such as a tot lot, lawn area and internal walks allow community interaction and a vibrant neighborhood atmosphere.

## **Landscape and Site Concept**

Of utmost importance for this development is making certain that the development fits into the fabric of the existing community and the goals for Transit Oriented Development (TOD). Specifically, the landscape buffers around the existing homes in the area are paramount. Special focus will be made to ensure that those buffers are designed to maximize the livability for those existing residences during construction and when the new homes are completed.

# TTL Management, Inc.



For this site, 3-story townhomes will create a new housing stock, improving surrounding home values. The townhomes are organized around a “U” shaped access roadway, connecting to 56th on the north edge of the site. The townhomes are professionally designed for today’s modern homeowners and to fit seamlessly into the existing neighborhood. This new development will provide high quality homes for homeowners in close proximity to downtown Denver.

The primary community access road includes 6’ detached sidewalks and 6’ amenity zones in many locations with tree-lawns, enhanced paving, street-trees, and parallel parking to allow for excellent pedestrian access to the important 56th Street pedestrian corridor. The 56<sup>th</sup> Avenue corridor provides nearby access to Federal Boulevard, leading to the City’s light rail station, Clear Creek Federal Station, allowing easy access to the remainder of the City. Other key features in the neighborhood are the Clear Creek Trail and the Jim Baker Reservoir. TTL will be improving the 56th Street frontage adjacent to this site by adding a 12’ improved walk section that includes a 6’ walk, and a 6’ amenity zone that allows for enhanced paving, benches, trash receptacles, street-lights, and street trees making this location a healthier and walkable site.

Groupings of two townhome buildings are organized around beautiful green courts that open-up onto the pedestrian walkway. Small gathering nodes are provided along some green courts that will include picnic tables, grills, benches and professional landscaping. The green courts all spill out onto the “U” shaped pedestrian-way and all have great access to the community green space at the west edge of the community. The green space will include a shade shelter with picnic tables, a themed playground for both toddler and school age children, grilling stations, and a flex lawn for activities such as active sports, tossing a frisbee, playing corn hole, or setting up a picnic. Additionally, TTL will be researching the possibility to design and construct a safe and convenient pedestrian corridor to access from the site to the new Maverick gas and convenience store to the west

## **Access**

The site will have two entrances along W. 56<sup>th</sup> Avenue. A system of private streets and walkways will provide access throughout the neighborhood. The private streets shall be constructed and maintained by the HOA.

The site plan accommodates a minimum of one (1) resident parking spaces per single-family attached unit in garages. Additional guest parking spaces are provided on-street for a total of 102 parking spaces. This site will contain 84 off-street parking spaces and 18 on-street parking which could be hammerhead parking spaces or parallel parking spaces on private streets.

A total 2.0 spaces per unit is provided, which is alignment with Adams County TOD requirements that have a capacity on residential parking allowances of 2 spaces/unit. Bicycle parking will be available to meet County requirements of 1 per 20 units.

# TTLC Management, Inc.

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## **Phasing and Build Timing**

Berkeley Villas will be moving forward in one (1) total phase. Depending on the final entitlement approvals, development work will begin in approximately one and one half (1.5) to two (2) years with full completion in approximately four (4) to five (5) years.

We look forward to working with you on the review and approval of this new neighborhood in Adams County. Please feel free to contact our team directly should you have any comments, questions, and/or requests for additional information.

Best Regards,

**TTLC Management, Inc.**

David Clock

Regional Director - Colorado

CC: Scott Menard, TTLC Management, Inc.

Leah Beniston, TTLC Management, Inc.

Mark Foster, TTLC Management, Inc.

## TOD Checklist – Design and Development Standards 3-27-06

### Neighborhood Connectivity

#### Circulation Plan Required:

1. TOD development plans shall include a district-wide circulation plan that addresses street connectivity, emergency and service vehicle access, parking movements, accommodation of loading operations, turning radii, traffic calming measures where future “cut-through” traffic is likely, and similar issues.  
***Response: Comment acknowledged. No “cut-through” traffic anticipated since both accesses are from the same roadway.***
2. The Community and Economic Development Director may waive the requirement for a circulation plan on determining that a proposed development is expected to have no impact on circulation or proposes no change in existing circulation patterns. This provision shall not be construed to exempt development that includes additional parking, driveways, or substantial modifications to the existing pedestrian network.  
***Response: Comment acknowledged, thank you.***

### Streets and Vehicular Circulation

#### Grid Street Pattern:

1. Street and block patterns shall include a clear hierarchy of well-connected streets that distributes traffic over multiple streets and avoids traffic congestion on principal routes.  
***Response: Street and block pattern provide direct connection to 56<sup>th</sup> Avenue, as shown in the traffic study.***
2. The arrangement of streets in a development shall provide for the alignment and continuation of existing or proposed streets into adjoining neighborhoods.  
***Response: Berkeley Villas streets are designed to access 56<sup>th</sup> Avenue directly from two connected private street locations.***
3. Within each development, the access and circulation system shall accommodate the safe, efficient, and convenient movement of vehicles, bicycles, and pedestrians through the development, and provide ample opportunities for linking adjacent neighborhoods, properties, and land uses.  
***Response: Berkeley Villas TOD provides safe and convenient vehicular and pedestrian movement within the site. The site also provides safe and direct pedestrian access to the future Maverick site to the west, providing connectivity to the RTD bus stop located on Federal Blvd. We have included a detailed graphic on page 4 of the Concept Plan graphic to depict the connectivity being provided.***

# TTLC Management, Inc.



- Local neighborhood street systems shall provide multiple direct connections to and between local destinations such as residential neighborhoods, parks, schools, and shopping.

**Response:** *Berkeley Villas is less than ½ mile from Berkeley Hills Park, and within 1 mile of Jim Baker Reservoir, Clear Creek Valley Park, Rocky Mountain Lake Park and Zuni & 51<sup>st</sup> Park. All of these locations are accessible via direct transportation of public transit, vehicular, bicycle or walking. Additionally, Regis University and Beach Court Elementary School are both less than 1 mile away. We have included a detailed graphic on page 5 of the Concept Plan map to show the vicinity of nearby amenities.*

Mixed-Use and Non-Residential Block Pattern:

**Response:** *Not applicable.*

## Landscaping

Buffering Applicability:

The following buffer yard requirements shall be substituted for Section 4-16-18-01 when applied in the TOD district:

Table 3-27-C: Required Bufferyard											
Use of Subject Property											
Use of Adjacent Properties	Column 2↓	Row 3→	Two Family/Duplex /Townhome		Multi-Family		Mixed-Use		Commercial (stories)		Indust.
		Structure Type	Res.	Non-Res.	Res.	Non-Res.	Vert.	Horiz.	1-3	3+	--
	Single-Family	Res	None	B	A	B	C	C	C	D	D
		Non-Res	B	None	B	A	A	A	A	B	
	Multi-Family	Res	A	B	None	B	B	B	C	D	D
		Non-Res	B	None	A	None	A	A	A	B	
	Mixed-Use	Vert.	C	A	B	A	None	None	A	B	D
		Horiz.	C	A	B	A	None	None	None	A	
	Comm. (stories)	1-3	C	A	C	A	A	None	None	None	D
		3+	D	B	D	B	B	A	None	None	D
Indust.	—	D	D	D	D	D	D	D	D	None	

**Response:** *No buffer yard is required between residential or commercial uses. Please refer to Site Plan for proposed landscape and buffers from surrounding properties.*

## Parking Lot Landscaping

**Response:** *Not applicable.*

## Parking

Applicability:

- New Development:

**Response:** *Not applicable.*



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## 2. Small Use Exception –

***Response: Not applicable.***

## 3. On-Street Parking: On-Street parking located adjacent to the site on a public street may be used to meet up to 25% of the minimum off-street parking requirements.

***Response: Not applicable.***

### **Required Parking**

The following off-street parking standards apply in the TOD district. Where this table does not specify a parking requirement or a use type is not specified in the table, the standards of Section 4-12-04-03, Spaces Required, apply.

***Response: 1-2 off street parking spaces per unit is proposed.***

Table 3-27-D: Off-Street Parking		
Use Type	Minimum Parking (spaces per sq. ft. GFA unless otherwise specified)	Maximum Parking (spaces per sq. ft. GFA unless otherwise specified)
Residential		
All residential	1 per unit	2 per unit

### **Maximum Parking Spaces Allowed**

***Response: Requirement is noted, thank you.***

### **Maximum Parking Waiver**

***Response: Not applicable***

### **Adjustments and Alternatives**

***Response: Not applicable***

### **Bicycle Parking**

#### Required Number of Spaces

Indoor or outdoor bicycle parking shall be provided as follows:

Table 3-27-G: Bicycle Parking	
Use	Bicycle Parking Spaces [1]
Multiple-family	2 or 1 per 20 units

***Response: Bicycle parking is provided.***

### Design and Location

1. Bicycle parking facilities shall include a rack or storage facility (e.g., locker) that enables bicycles to be secured. Where racks are used, they shall meet the following standards:
  - a. The bicycle frame and one wheel can be locked to the rack with a high-security, U-shaped shackle lock if both wheels are left on the bicycle;

- b. A bicycle six feet long can be securely held with its frame supported so that the bicycle cannot be pushed or fall in a manner that will damage the wheels or components; and
  - c. The rack must be securely anchored.
2. Bicycle racks and storage facilities shall be accessible without moving another bicycle.
3. Bicycle racks and storage facilities shall be located in convenient, visible, well-lit areas with easy access and near main entrances of all commercial, residential, and institutional buildings. Such locations shall be clearly noted with signage.
4. The racks and storage facilities shall be located so they do not interfere with pedestrian traffic and shall be protected from potential damage by motor vehicles.
5. Bicycle parking shall not be within any required landscape area nor interfere with any pedestrian pathway.

***Response: Bicycle racks have been placed throughout this site.***

## **Multi-Family Development Design Standards**

### *Site Layout and Building Orientation*

#### Building Orientation:

***Response: Not applicable.***

#### Entrance Orientation

***Response: Not applicable.***

#### Private Common Space:

***Response: Not applicable.***

### *Building Design*

#### Four-Sided Design

***Response: Not applicable.***

#### Maximum Number of Attached Units

The maximum number of attached units in a series such as townhomes is six.

***Response: We propose only 5 and 6 unit buildings.***

### Single-Family Attached Dwelling Facades

1. The attached single-family dwellings in any one row structure shall be required to have distinctly different facades. No attached single-family structure facade shall be repeated more than once every four structures on the same side of the street.

***Response: Fig. 3-27-K that is presented as SFA façade differentiation example for distinctly different façades reflects very minor differences between individual units. Primarily the only differences between units are somewhat unique trim detail around doors and windows and minor alternating of number of dormers on the roof. However, the general massing of every unit is the same (a rectangular box with shed***

# TTLC Management, Inc.



*main roof and a dormer), most window and door position and sizing is the same across all units.*

*In contrast to this example, our elevations create differentiation between each townhome within an overall unified building composition. Individual townhome differentiation is not defined by superficial applied trim detail as shown in Fig. 3-27-K. Instead, our elevations utilize significant building massing differences and articulation like those items outlined in the TOD section 3-27-06-04-02-04 applicable to multifamily buildings including: roof plane breaks, accent roof forms and gable end details, porches, balconies, transom windows, bay windows, and vertical trim elements demarcating townhome units. Instead of what appears to be the same townhome plan repeated 6 times we have 3 unique floor plans with completely different massing. Instead of creating a soldiered appearance with every home repeating the same size, orientation, and window positions we have chosen to mirror some plans/elevations to give a more balanced and cohesive composition to the overall building. Our intention with these elevation designs were to define both unique individual townhomes while also closely considering how they appear together as one building. So, while we have some single-family facades repeating within one building (which is not exactly consistent with this section), the overall building composition is strengthened by the symmetry. This elevation design concept is consistent with the desires of the TOD designation to create an attractive streetscape and pedestrian scaled environment.*

2. The facades of single-family attached townhomes shall be punctuated by a change in texture or material, offset, or other architectural feature to differentiate individual units  
***Response: The proposed elevation designs utilize differentiated unit plans, deck locations, massing, window placement and size, materials (lap siding or board and batten), porches, cantilevered decks, bay windows, and accent gable end roof forms to punctuate and define the facades of each single-family attached townhome.***
3. Any building (excluding parking garages and other accessory buildings) viewed from a public right-of-way or public open space shall either face such right-of-way or open space, or shall have a façade facing such area in keeping with the character of the front façade, including the utilization of similar fenestration and materials.  
***Response: The proposed elevation designs consider this section, as well as, section 3-27-06-04-02-01 Four-Sided Design and have incorporated massing changes, gable end roof detail and roof forms, materials and fenestration on the sides and rear consistent with the front facades.***

Building Mass and Articulation

***Response: Not applicable.***

Vertical Articulation

***Response: Not applicable.***

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## Building Length

***Response: Not applicable.***

## Transparency

***Response: Not applicable.***

## Materials

***Response: Not applicable.***

## Parking Location and Layout

***Response: Not applicable.***

## Mixed-Use / Non-Residential Standards

***Response: Not applicable.***

## **Streetscape Design and Character**

### Public Sidewalks Required

In order to create an environment that is supportive of transit and pedestrian mobility, public sidewalks shall be provided along both sides of all streets in the TOD district. Such sidewalks shall be at least 12 feet in width and no more than 16 feet in width, unless otherwise approved as part of the design review process. The 12-foot minimum requirement shall apply regardless of the available right-of-way. Where required, the sidewalk shall extend onto private property to fulfill the 12-foot minimum requirement, with a sidewalk easement provided.

***Response: A 12' walk provided along 56<sup>th</sup>. The detail for public walks in a TOD includes a 6' walk and 6' amenity zone. This detail is provided along the internal private streets on the Site Plan.***

### Delineation of Sidewalk Area

Sidewalks shall be organized into two distinct areas: a street tree/furniture area located adjacent to the curb, and a clear area.

***Response: Comment has been noted, two distinct areas are shown on the Site Plan.***

### Street Tree/Furniture Area

The street tree/furniture area shall have a minimum width of six feet (from face-of-curb) and shall be continuous and located adjacent to the curb. The area shall be planted with street trees at an average spacing of 20 to 30 feet on center, based on the mature canopy width of the tree species selected. The area also is intended for the placement of street furniture including seating, street lights, waste receptacles, fire hydrants, traffic signs, newspaper vending boxes, bus shelters, bicycle racks, public utility equipment such as electric transformers and water meters, and similar elements designed to county specifications and located in a manner that does not obstruct pedestrian access or motorist visibility. Maintenance of this area shall be the

# TTL Management, Inc.



responsibility of the adjacent property owner or a management entity appointed by the adjacent property owner.

***Response: TTLC will be improving the 56th Street frontage by adding a 12' improved walk section that includes a 6' walk, and a 6' amenity zone that allows for enhanced paving, benches, trash receptacles, street-lights, and street trees making this location a healthier and walkable site. Internal to the site, a 6' walk and 6' amenity zone is provided in some areas around the site. The 6' amenity zone may contain tree lawn, paving, benches, trash receptacles, street-lights and/or parallel parking.***

## Clear Area

The clear area shall be a minimum width of six feet, shall be hardscaped, and shall be located adjacent to the street tree/furniture area. The clear area shall be unobstructed by any permanent or nonpermanent element for a minimum width of six feet and a minimum height of eight feet. Additional sidewalk width located between the clear area and the building may be used for outdoor dining or seating areas

***Response: The clear area criteria is hardscaped and a width of six feet.***

## Supplemental Zone

A supplemental zone may be provided at the option of the applicant between the street-facing façade or a side-facing facade and the required clear area, to provide additional areas for outdoor dining, porches, terraces, landscape and water features, and plazas. A supplemental zone, if provided, may be a maximum of 20 feet deep and may extend up to 30 percent of the linear frontage of the development. The supplemental zone shall not provide any parking or vehicle circulation areas.

***Response: Not applicable.***

## Building Placement

***Response: Not applicable.***

## Sidewalk Entries

### Spacing

Sidewalk entries shall be provided to all buildings and individual units that front the sidewalk.

***Response: Sidewalks provided to all units.***

### Sidewalk Entry Hierarchy

***Response: Not applicable.***

## Utilities

Transformers, switchgear, and related utility service equipment shall not be located above-ground in pedestrian access easements. Building service panels are to be located on the inside of all buildings.

***Response: Utility equipment shall be located within a private lot and not in pedestrian tracts.***

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## Paving

Paving is intended to highlight or accentuate special areas along the ground plane while at the same time complementing the design of adjacent building and streetscape elements.

***Response: Paving criteria is being met and shown on the Site Plan.***

## **Ground-Floor Uses**

***Response: Not applicable.***

## **Parking Design Standards**

The purpose of parking area requirements is to ensure that the parking areas themselves are not the dominant feature of the TOD.

## Allowable Parking

On-street parking shall not be designated per individual business or occupancy but may count toward the minimum parking requirements for the entire structure along the adjacent frontage.

***Response: Not applicable.***

## Parking Location

Unless specifically permitted in these standards, off-street parking is prohibited between the principal street and the corresponding street facing facade line.

***Response: Not applicable.***

## Parking Lot Screening

***Response: Not applicable.***

## Parking Structure Design

***Response: Not applicable.***

## **Building Design**

### Four-Sided Design

1. All sides of a building shall be architecturally finished with equal levels of materials and detailing. Blank walls void of architectural details or other variation are prohibited.

***Response: This specific code text appears under section 3-27-06-05 Mixed-Use/Non-Residential Design Standards and under Section 3-27-06-04-02-01 Four-Sided Design that speaks to a Multi-Family Building specifically. Although our proposed product type is single family attached our elevation designs meet the intent of four-sided design with window openings, materials, articulation, and details on rear, left, and right elevations consistent with the front elevations.***

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2. Exceptions from the above standard may be granted for those areas of the building envelope that the applicant can demonstrate are not visible from adjacent development and public spaces.

***Response: Not applicable.***

3. Corporate or franchise architecture is discouraged in favor of architecturally compatible designs. The Community and Economic Development Director may require photographic examples of the more minimized corporate architecture in the designs and completed structure by the same company in other communities.

***Response: Not applicable.***

## Consistent Architectural Theme

***Response: Not applicable.***

## Building Materials and Colors

***Response: Not applicable.***

## **Building Massing and Form**

***Response: Not applicable.***

## **Residential Compatibility Standards**

***Response: Not applicable.***

## Off-Street Parking Location

***Response: Not applicable.***

## Relationship to Surrounding Uses

1. Multi-building developments shall be configured to locate the tallest and largest structures within the core of the site and provide a gradual decrease in building height and mass towards adjacent residential land uses as required by Section 3-26- 06-05-07-03, Relationship to Surrounding Development.

***Response: Not applicable.***

2. Horizontally integrated mixed-use developments shall locate nonresidential uses away from lots in adjacent residential areas.

***Response: Not applicable.***

3. Medium to high density housing shall be incorporated to the maximum extent feasible both within and around the development to facilitate connections between residential and non-residential uses.

***Response: Not applicable.***

# TTLC Management, Inc.

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4. Nonresidential structures taller or larger than adjacent residential uses shall be broken up into modules or wings with the smaller or shorter portions of the structure located adjacent to residential uses.

***Response: Not applicable.***

## Façade Configurations

***Response: Not applicable.***

## Landscaping/Screening

***Response: Not applicable.***

## Operation

***Response: Not applicable.***

## Sustainable Development Practices

***Response: Not applicable.***



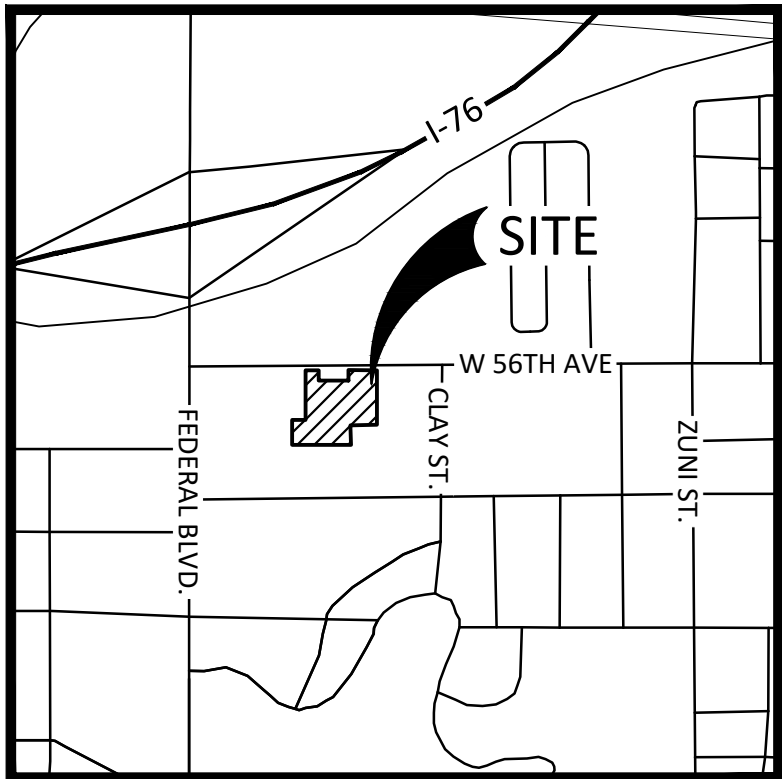
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

Filepath: K:\2008\ENGINEERING\PRELIMINARY PLAT\COVER.DWG Layout: LAYOUT1  
Plotted: THU 02/17/2022 2:21:53A By: Hunter Thompson

BERKELEY VILLAS SUBDIVISION PLAT  
A RESUBDIVISION OF LOTS 4, 5, 6, 7, AND 19 OF THE WESTMOORLAND SUBDIVISION PLAT AND LOT 8A  
OF RE-SUBDIVISION OF WESTMOORLAND PLAT CORRECTION NUMBER 2 BEING IN THE NORTHEAST  
QUARTER OF SECTION 17, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERDIAN  
COUNTY OF ADAMS, STATE OF COLORADO  
PRELIMINARY PLAT

Case Number  
PRC2021-00003

SHEET 1 OF 6



VICINITY MAP  
SCALE: 1" = 1000'

DEDICATION AND OWNERSHIP:

- KNOW ALL MEN BY THESE PRESENTS THAT TTLIC MANAGEMENT, INC., AN ARIZONA CORPORATION, AS THE PROSPECTIVE PURCHASER, PURSUANT TO THE REAL ESTATE PURCHASE AND SALE AGREEMENT DATED AS OF 06/16/2020 WITH DIANE M GRABER, AS SELLER, OF THE FOLLOWING DESCRIBED TRACT OF LAND:  
  
THE WEST 65.7 FEET OF THE EAST 85.7 FEET OF THE NORTH 145 FEET OF PLOT 4, RESUBDIVISION OF WESTMOORLAND, COUNTY OF ADAMS, STATE OF COLORADO.
- KNOW ALL MEN BY THESE PRESENTS THAT TTLIC MANAGEMENT, INC., AN ARIZONA CORPORATION, AS THE PROSPECTIVE PURCHASER, PURSUANT TO THE REAL ESTATE PURCHASE AND SALE AGREEMENT DATED AS OF 12/15/2020 WITH RYAN SMITH, AS SELLER, OF THE FOLLOWING DESCRIBED TRACT OF LAND:  
  
THE NORTH 160 FEET OF THE WEST 50 FEET OF LOT 7, RE-SUBDIVISION OF WESTMOORLAND, COUNTY OF ADAMS, STATE OF COLORADO.
- KNOW ALL MEN BY THESE PRESENTS THAT TTLIC MANAGEMENT, INC., AN ARIZONA CORPORATION, AS THE PROSPECTIVE PURCHASER, PURSUANT TO THE REAL ESTATE PURCHASE AND SALE AGREEMENT DATED AS OF 01/15/2021 WITH LAURA LECHUGA, AS SELLER, OF THE FOLLOWING DESCRIBED TRACT OF LAND:  
  
THE NORTH 160 FEET OF THE EAST 50 FEET OF LOT 7, RESUBDIVISION OF WESTMOORLAND, COUNTY OF ADAMS, STATE OF COLORADO
- KNOW ALL MEN BY THESE PRESENTS THAT TTLIC MANAGEMENT, INC., AN ARIZONA CORPORATION, AS THE PROSPECTIVE PURCHASER, PURSUANT TO THE REAL ESTATE PURCHASE AND SALE AGREEMENT DATED AS OF 10/21/2019 WITH 56<sup>TH</sup> & FEDERAL LLC, A COLORADO LIMITED LIABILITY COMPANY, AS SELLER, OF THE FOLLOWING DESCRIBED TRACT OF LAND:  
  
PARCEL A:  
THE SOUTH 150 FEET OF LOTS 4, 5 AND 6, LOTS 7 AND THE WEST 25 FEET OF THE NORTH 160 FEET OF LOT 6, THE EAST 20 FEET OF THE NORTH 160 FEET OF LOT 4, AND THE NORTH 150 FEET OF LOT 19, EXCEPT THE NORTH 160 OF LOT 7, OF THE RE-SUBDIVISION OF WESTMOORLAND, COUNTY OF ADAMS, STATE OF COLORADO.  
PARCEL B:  
THE EAST 1/2 OF LOT 5 AND THE WEST 25 FEET OF LOT 4, EXCEPT THE SOUTH 150 FEET OF SAID LOTS, RESUBDIVISION OF WESTMOORLAND, COUNTY OF ADAMS, STATE OF COLORADO.  
TOGETHER WITH THE NORTH 15 FEET OF THE SOUTH 165 FEET OF PLOT 4 EXTENDING FROM THE WEST LINE OF THE EAST 20 FEET OF SAID PLOT 4 TO THE EAST LINE OF THE WEST 25 FEET OF SAID PLOT 4, RESUBDIVISION OF WESTMOORLAND, COUNTY OF ADAMS, STATE OF COLORADO.  
PARCEL C:  
LOT 8A, RESUBDIVISION OF WESTMOORLAND PLAT CORRECTION NO. 2, COUNTY OF ADAMS, STATE OF COLORADO.

TO BE COMBINED INTO A SINGLE LOT DESCRIBED AS FOLLOWS:

A PARCEL OF LAND BEING ALL OF PLOT 4, PORTION OF PLOTS 5 THROUGH 7, AND A PORTION OF LOT 19, RE-SUBDIVISION OF WESTMOORLAND, AND ALL OF LOT 8A, RE-SUBDIVISION OF WESTMOORLAND PLAT CORRECTION NO. 2, SITUATED IN THE NORTHEAST QUARTER OF SECTION 17, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID PLOT 4;  
THENCE SOUTH 0° 29' 37" EAST ALONG THE EAST LINE OF SAID PLOT 4 A DISTANCE OF 310.01 FEET TO THE SOUTHEAST CORNER OF SAID PLOT 4;  
THENCE SOUTH 89° 59' 11" WEST ALONG THE SOUTH LINES OF SAID PLOTS 4 AND 5 A DISTANCE OF 220.78 FEET TO THE NORTHEAST CORNER OF SAID PLOT 19;  
THENCE SOUTH 0° 33' 42" EAST ALONG THE EAST LINE OF SAID PLOT 19 A DISTANCE OF 130.01 FEET TO THE SOUTHEAST CORNER OF THE NORTH 150 FEET OF SAID PLOT 19;  
THENCE SOUTH 89° 59' 11" WEST ALONG THE SOUTH LINE OF THE NORTH 150 FEET OF SAID PLOT 19 THE SOUTH LINE OF SAID PLOT 7, AND THE SOUTH LINE OF SAID LOT 8A, A DISTANCE OF 410.39 FEET TO THE SOUTHWEST CORNER OF SAID LOT 8A;  
THENCE ALONG THE PERIMETER OF SAID LOT 8A THE FOLLOWING THREE (3) COURSES:  
1) NORTH 0° 32' 42" WEST, A DISTANCE OF 160.00 FEET;  
2) NORTH 89° 59' 27" EAST, A DISTANCE OF 100.00 FEET;  
3) NORTH 0° 32' 42" WEST, A DISTANCE OF 300.03 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF WEST 56TH AVENUE;  
THENCE NORTH 89° 59' 11" EAST ALONG SAID SOUTH LINE, A DISTANCE OF 224.66 FEET TO THE NORTHWEST CORNER OF THAT PARCEL DESCRIBED AT RECEPTION NO. 2015000102857;  
THENCE SOUTH 0° 32' 42" EAST ALONG THE WEST LINE OF SAID PARCEL, A DISTANCE OF 160.01 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL;  
THENCE NORTH 89° 59' 12" EAST ALONG THE SOUTH LINE OF SAID PARCEL AND ALONG THE SOUTH LINE OF A PARCEL DESCRIBED AT RECEPTION NO. 2012000092509, A DISTANCE OF 140.59 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL DESCRIBED AT RECEPTION NO. 2012000092509;  
THENCE NORTH 0° 33' 42" WEST ALONG THE EAST LINE OF SAID PARCEL, A DISTANCE OF 160.01 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF WEST 56TH AVENUE;  
THENCE NORTH 89° 59' 11" EAST ALONG SAID SOUTH LINE, A DISTANCE OF 165.80 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 204.691 SQUARE FEET OR 4.70 ACRES, MORE OR LESS.

HAVE BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO BLOCKS, LOTS, TRACTS, STREETS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF BERKELEY VILLAS SUBDIVISION PLAT. THE UNDERSIGNED DOES HEREBY DEDICATE, GRANT AND CONVEY TO ADAMS COUNTY TRACT A AS SHOWN ON THE PLAT, AND FURTHER RESTRICTS THE USE OF ALL PUBLIC EASEMENTS TO ADAMS COUNTY AND/OR ITS ASSIGNS, PROVIDED HOWEVER, THAT THE SOLE RIGHT AND AUTHORITY TO RELEASE OR QUITCLAIM ALL OR ANY SUCH PUBLIC EASEMENTS SHALL REMAIN EXCLUSIVELY VESTED IN ADAMS COUNTY.

EXECUTED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2022

TTLIC MANAGEMENT, INC., AN ARIZONA CORPORATION

BY: \_\_\_\_\_ AS: EXECUTIVE VICE PRESIDENT DATE: \_\_\_\_\_  
SCOTT A. MENARD

ACKNOWLEDGMENT:  
STATE OF COLORADO \_\_\_\_\_ JSS.  
COUNTY OF ADAMS \_\_\_\_\_

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_ DAY OF \_\_\_\_\_ AD 20 \_\_\_\_.  
BY \_\_\_\_\_ AS EXECUTIVE VICE PRESIDENT.  
SCOTT A. MENARD

WITNESS MY HAND AND OFFICIAL SEAL.  
MY COMMISSION EXPIRES: \_\_\_\_\_

NOTARY PUBLIC

ADDRESS

DEVELOPER

THE TRUE LIFE COMPANIES  
1250 17TH STREET, SUITE 350  
DENVER, CO 80202  
720-330-9211

CIVIL ENGINEER

HARRIS KOCHER SMITH  
1120 LINCOLN STREET, SUITE 1000  
DENVER, CO 80203  
303-623-6300

TRACT SUMMARY TABLE					
TRACT	PURPOSE/DESCRIPTION	TO BE OWNED	TO BE MAINTAINED	AREA (ACRE)	PAGE
A	DRAINAGE	HOA	HOA	0.12	4
B	ROADWAY, LANDSCAPE, UTILITY	HOA	HOA	1.62	4, 5, 6
C	LANDSCAPE	HOA	HOA	0.32	4, 6
D	LANDSCAPE	HOA	HOA	0.06	6
E	LANDSCAPE	HOA	HOA	0.07	5
F	LANDSCAPE	HOA	HOA	0.04	5
G	LANDSCAPE	HOA	HOA	0.13	4, 5
H	LANDSCAPE	HOA	HOA	0.15	5, 6

NOTES AND RESTRICTIONS:

- SURFACED ACCESS ROADS CAPABLE OF WITHSTANDING THE IMPOSED LOADS OF FIRE APPARATUS AND ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING CONSTRUCTION.
- REFER TO THE APPROVED STORMWATER OPERATIONS AND MAINTENANCE (O&M) MANUAL FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES OF THE DRAINAGE FACILITIES.
- RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, ON AND THROUGH ANY AND ALL PRIVATE ROADS, DRIVES AND ALLEYS.
- ALL PRIVATE ROADS, ALLEYS AND DRIVES ARE HEREBY DESIGNATED AS FIRE LANES. WHEN REQUIRED, ALL FIRE LANES SHALL BE POSTED "NO PARKING-FIRE LANE". ALL FIRE LANES SHALL BE INCLUDED INTO THE ADAMS COUNTY PROGRAM FOR ENFORCEMENT OF PRIVATE PROPERTY PARKING.
- ALL INTERNAL ROADS AND DRAINAGE FACILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FINAL PUD, STREET CONSTRUCTION PLANS, PAVEMENT DESIGN, GRADING & EROSION CONTROL PLAN, AND A FINAL DRAINAGE PLAN SUBMITTED TO AND APPROVED BY ADAMS COUNTY. PRIOR TO ISSUANCE OF BUILDING PERMITS FOR HOMES WITHIN THE SUBDIVISION, ALL COUNTY IMPROVEMENTS REQUIRED IN ACCORDANCE WITH APPROVED PLANS BY ADAMS COUNTY, SHALL HAVE RECEIVED PRELIMINARY ACCEPTANCE OF CONSTRUCTION BY THE DEPARTMENT OF PUBLIC WORKS.
- NOTICE IS GIVEN THAT THIS SUBDIVISION WILL BE SUBJECT TO RECORDED DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS. ADAMS COUNTY IS NOT RESPONSIBLE FOR ENFORCEMENT OF THESE RECORDED COVENANTS, CONDITIONS AND RESTRICTIONS THAT SHALL BE FILED AGAINST THIS SUBDIVISION PLAT.
- THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COST WILL BE ASSESSED TO THE PROPERTY OWNERS.

CLOSURE STATEMENT:

THE MATHEMATICAL CLOSURE ERROR OF THE DIMENSIONS OF THE SURVEYED PROPERTY IS LESS THAN 1:50,000 (SECOND ORDER).

STATEMENT RESTRICTING ACCESS:

PUBLIC ACCESS ACROSS RIGHT-OF-WAY LINES, INCLUDING 56TH AVENUE, IS RESTRICTED.

FLOODPLAIN

THE SURVEYED PROPERTY FALLS WITHIN ZONE X OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NO. 08001C0592H, DATED MARCH 5, 2007. ZONE X IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2-PERCENT ANNUAL CHANCE FLOODPLAIN.

SURVEYOR'S CERTIFICATION:

I, AARON MURPHY, A LICENSED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY FOR TTLIC DENVER - BERKELEY VILLAS SUBDIVISION PLAT WAS MADE UNDER MY SUPERVISION AND THE ACCOMPANYING PLAN ACCURATELY AND PROPERLY SHOWS SAID SURVEY.

\_\_\_\_\_  
AARON MURPHY, PLS 38162  
FOR AND ON BEHALF OF  
HARRIS KOCHER SMITH

PLANNING COMMISSION APPROVAL:

APPROVED BY THE ADAMS COUNTY PLANNING COMMISSION THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D. 202\_\_

CHAIR

BOARD OF COUNTY COMMISSIONERS' APPROVAL:

APPROVED BY THE ADAMS COUNTY BOARD OF COUNTY COMMISSIONERS THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D. 202\_\_

CHAIR

ADAMS COUNTY ATTORNEY:

\_\_\_\_\_  
APPROVED AS TO FORM

ISSUE DATE: 08-23-2021		PROJECT #: 200810
DATE	REVISION COMMENTS	
08-17-2022	PER COUNTY COMMENTS	

SHEET 2 OF 6

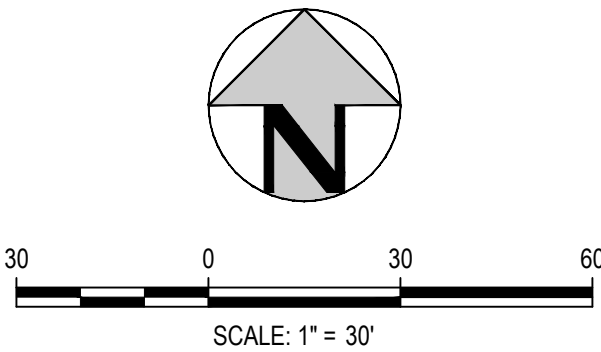
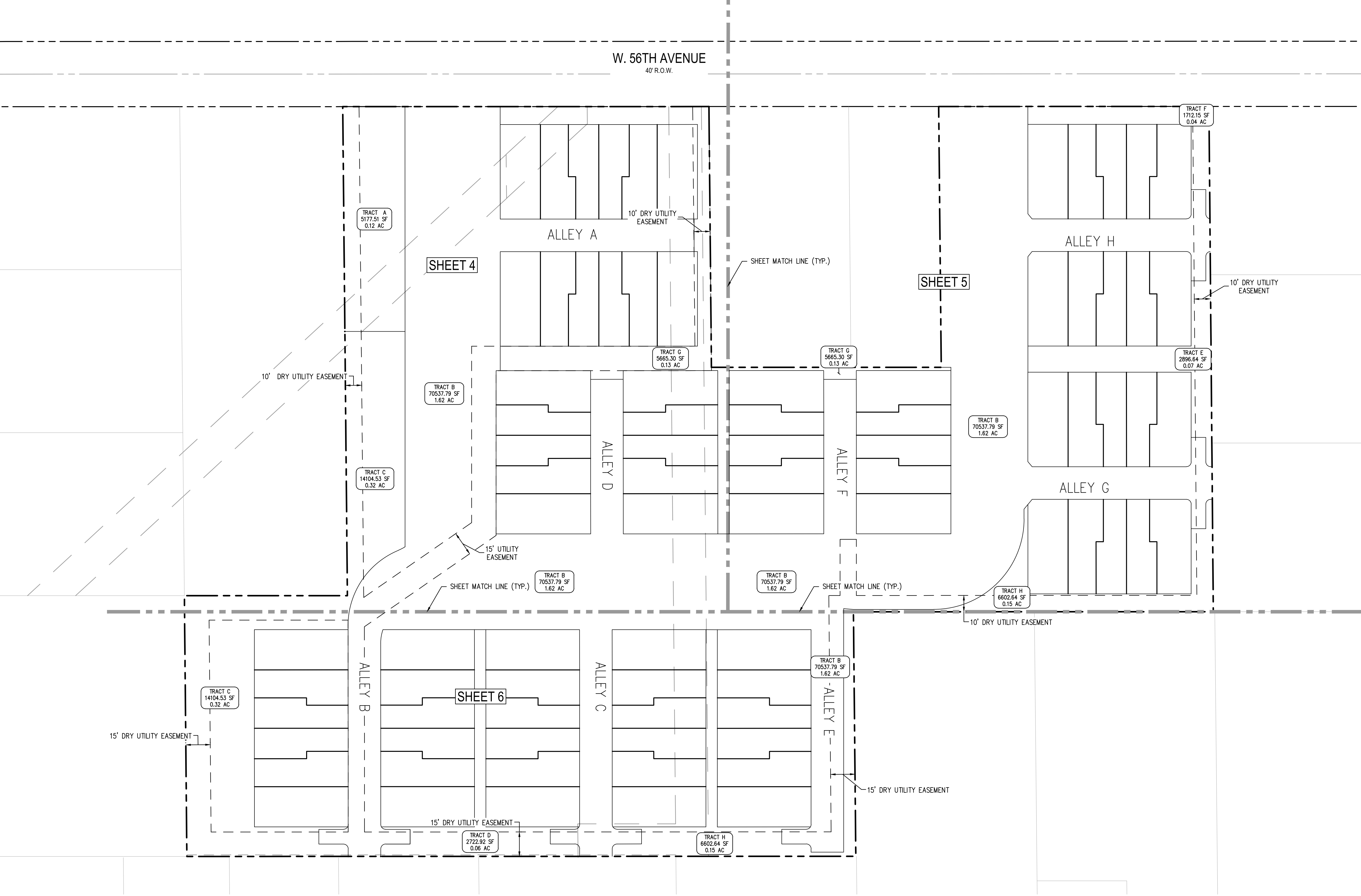


NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

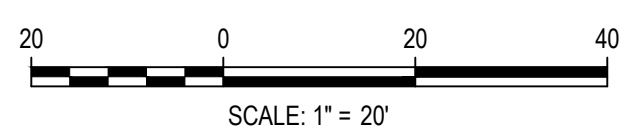
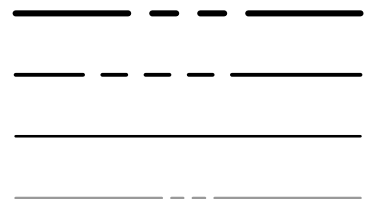
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Plotted: 1/14/2021 12:22:00A By: Hunter Thompson

BERKELEY VILLAS SUBDIVISION PLAT  
A RESUBDIVISION OF LOTS 4, 5, 6, 7, AND 19 OF THE WESTMOORLAND SUBDIVISION PLAT AND LOT 8A OF  
RE-SUBDIVISION OF WESTMOORLAND PLAT CORRECTION NUMBER 2 BEING IN THE NORTHEAST  
QUARTER OF SECTION 17, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERDIAN  
COUNTY OF ADAMS, STATE OF COLORADO  
PRELIMINARY PLAT

SHEET 3 OF 6




SHEET 4 OF 6





SHEET 5 OF 6



20 0 20 40

SCALE: 1" = 20'

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

Filepath: K:\2018\ENGINEERING\PRELIMINARY PLANS - SITE PLANNING Layout SOUTH  
Project: 194 0201 022 22 2A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UU, UV, UW, UX, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YY, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ

BERKELEY VILLAS SUBDIVISION PLAT

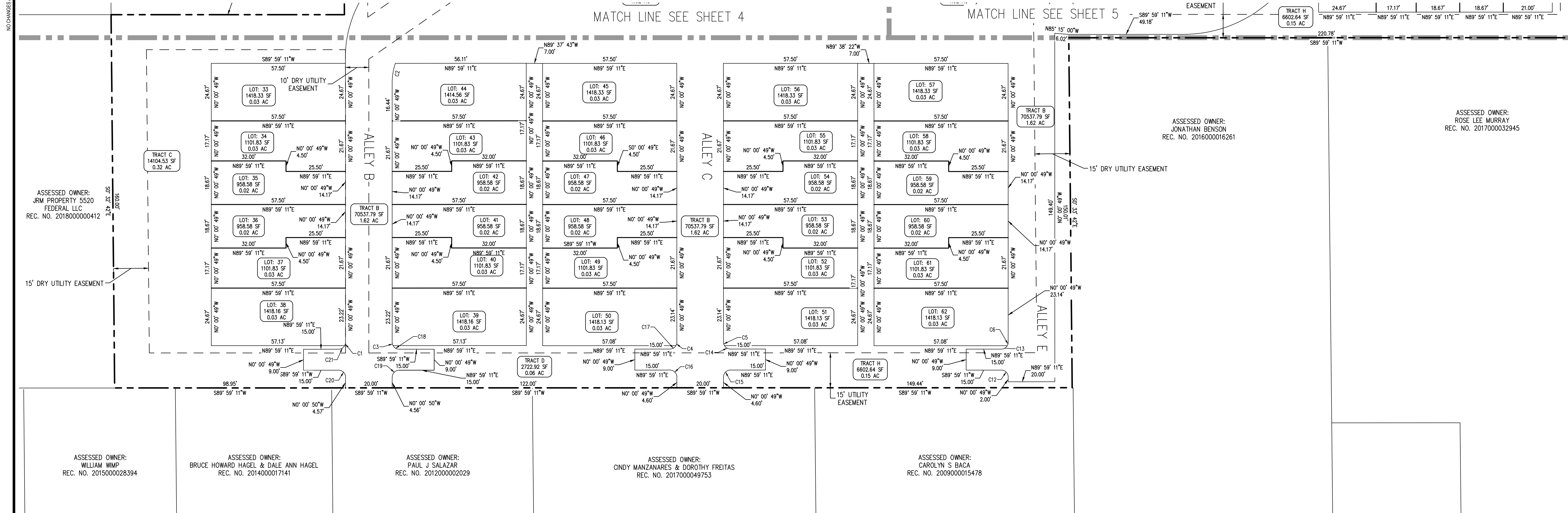
A RESUBDIVISION OF LOTS 4, 5, 6, 7, AND 19 OF THE WESTMOORLAND SUBDIVISION PLAT AND LOT 8A OF RE-SUBDIVISION OF WESTMOORLAND PLAT CORRECTION NUMBER 2 BEING IN THE NORTHEAST QUARTER OF SECTION 17, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERDIAN

COUNTY OF ADAMS, STATE OF COLORADO

PRELIMINARY PLAT

SHEET 6 OF 6

Case Number  
PRC2021-00003



CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	1.51'	3.00'	28.83°	N14° 24' 01"E	1.49'
C2	8.38'	25.00'	19.21°	S9° 35' 22"W	8.34'
C3	1.51'	3.00'	28.83°	N14° 25' 40"W	1.49'
C4	1.60'	3.00'	30.55°	N15° 15' 49"E	1.58'
C5	1.60'	3.00'	30.55°	S15° 17' 27"E	1.58'
C6	1.61'	3.00'	30.70°	N15° 20' 03"E	1.59'
C7	4.71'	3.00'	90.00°	N44° 59' 11"E	4.24'
C8	4.71'	3.00'	90.00°	N45° 00' 49"W	4.24'
C9	4.71'	3.00'	90.00°	N44° 59' 11"E	4.24'
C10	4.71'	3.00'	90.00°	N45° 00' 49"W	4.24'
C11	4.18'	3.06'	78.44°	S47° 30' 54"E	3.86'
C12	4.71'	3.00'	89.99°	N45° 00' 25"W	4.24'
C13	3.11'	3.00'	59.30°	N89° 20' 03"E	2.97'
C14	3.11'	3.00'	59.45°	S89° 17' 27"E	2.97'
C15	4.71'	3.00'	90.00°	S44° 59' 11"W	4.24'
C16	4.71'	3.00'	89.99°	N45° 00' 25"W	4.24'
C17	3.11'	3.00'	59.45°	N89° 15' 49"E	2.97'
C18	3.20'	3.00'	61.17°	S89° 25' 40"E	3.05'
C19	4.72'	3.01'	89.88°	S44° 55' 29"W	4.25'
C20	4.71'	3.00'	90.00°	N45° 00' 49"W	4.24'

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C21	3.20'	3.00'	61.17°	N89° 24' 01"E	3.05'
C22	4.36'	3.06'	81.69°	S48° 02' 03"W	4.00'
C23	4.71'	3.00'	90.00°	S45° 00' 49"E	4.24'
C24	61.51'	50.15'	70.28°	S32° 29' 01"W	57.73'
C25	4.50'	25.00'	10.32°	N48° 27' 37"E	4.49'
C26	4.71'	3.00'	90.00°	S44° 59' 11"W	4.24'
C27	87.18'	55.50'	90.00°	N44° 59' 11"E	78.49'

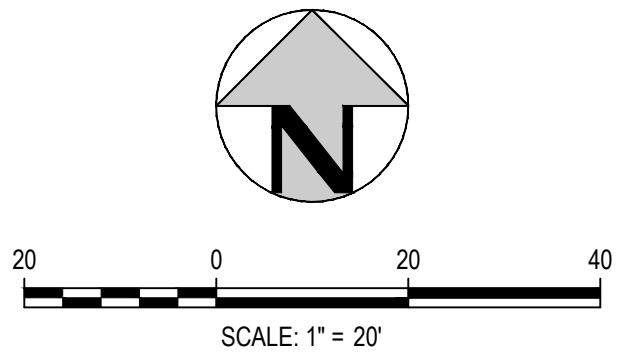
LEGEND:

PROPERTY BOUNDARY

RIGHT-OF-WAY

LOT LINE

SECTION LINE





# BERKELEY VILLAS

IN THE COUNTY OF ADAMS, COLORADO

## CONCEPTUAL SITE PLAN



UNIT 3R

RIGHT



UNIT 2R END

LEFT



UNIT 2R END

UNIT 1R

UNIT 1

UNIT 2

UNIT 3R

FRONT



UNIT 3R

UNIT 2

UNIT 1

UNIT 1R

UNIT 2R END

BACK

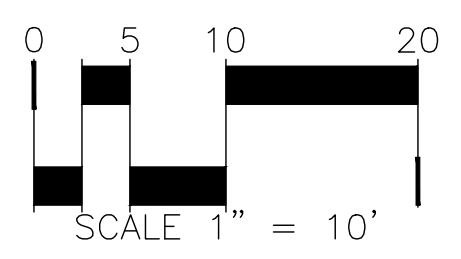
### MATERIAL LEGEND

- |                                   |   |
|-----------------------------------|---|
| 1A ASPHALT COMPOSITION ROOFING    | 8 TRANSOM WINDOW                          |
| 1B STANDING SEAM METAL ROOF       | 9 METAL GUARDRAIL                         |
| 2 WOOD FASCIA BOARD               | 10 VINYL WINDOW SYSTEM                    |
| 3 FIBER CEMENT VERTICAL SIDING    | 11 METAL SECTIONAL GARAGE DOOR W/ WINDOWS |
| 4 FIBER CEMENT LAP SIDING         | 12 DECORATIVE EXTERIOR LIGHT FIXTURE      |
| 5 WOOD OR FIBER CEMENT BOARD TRIM | 13 WOOD PORCH POST                        |
| 6 FIBER CEMENT BOARD AND BATTEN   | 14 MASONRY VENEER WHERE SHOWN             |
| 7 BAY WINDOW                      | 15 ADDRESS SIGN                           |

BUILDINGS SHOWN WITH FLAT GRADE. FINAL BUILDINGS MAY INCLUDE STEPPING. HEIGHT OF STEPPED BUILDING WILL BE MEASURED FROM THE ESTABLISHED GRADE ELEVATION TO THE MEAN HEIGHT LEVEL BETWEEN EAVES AND RIDGES FOR GABLE, HIP, OR GAMBREL ROOFS PER ADAMS COUNTY CODE SEC. 11-02-585.

BUILDING MATERIALS, COLORS/CONTRASTING COLORS, AND WINDOW/DOOR PLACEMENTS MAY VARY AT TIME OF DESIGN ENTITLEMENT.

ADDRESS NUMBERS FOR EACH SINGLE-FAMILY ATTACHED TOWNHOME SHALL BE PLAED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE A MINIMUM 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCHES. IF NOT CLEARLY VISIBLE FROM THE STREET NUMBER SIZE MAY NEED TO BE GREATER THAN 4".





# BERKELEY VILLAS

IN THE COUNTY OF ADAMS, COLORADO

## CONCEPTUAL SITE PLAN

BERKELEY VILLAS CONCEPTUAL SITE PLAN  
ADAMS COUNTY, COLORADO

OWNER:  
TTL MANAGEMENT, INC  
DAVID CLOCK  
1350 17TH ST, STE 350  
DENVER, CO 80202

NOT FOR  
CONSTRUCTION

DATE:

04/23/2021 TOD01  
08/25/2021 TOD02  
10/21/2021 TOD03  
12/10/2021 TOD04

SHEET TITLE:  
5-PLEX  
ELEVATION B

SHEET NUMBER:

A1-1



UNIT 3R

RIGHT



UNIT 2R END

LEFT



UNIT 2R END

UNIT 1R

UNIT 1

UNIT 2

UNIT 3R

FRONT



UNIT 3R

UNIT 2

UNIT 1

UNIT 1R

UNIT 2R END

BACK

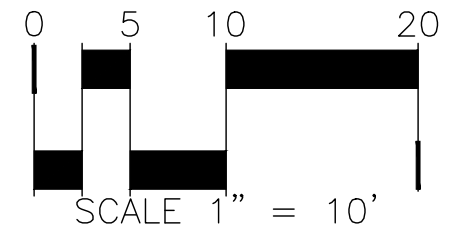
### MATERIAL LEGEND

- |                                   |   |
|-----------------------------------|---|
| 1A ASPHALT COMPOSITION ROOFING    | 8 TRANSOM WINDOW                          |
| 1B STANDING SEAM METAL ROOF       | 9 METAL GUARDRAIL                         |
| 2 WOOD FASCIA BOARD               | 10 VINYL WINDOW SYSTEM                    |
| 3 FIBER CEMENT VERTICAL SIDING    | 11 METAL SECTIONAL GARAGE DOOR W/ WINDOWS |
| 4 FIBER CEMENT LAP SIDING         | 12 DECORATIVE EXTERIOR LIGHT FIXTURE      |
| 5 WOOD OR FIBER CEMENT BOARD TRIM | 13 WOOD PORCH POST                        |
| 6 FIBER CEMENT BOARD AND BATTEN   | 14 MASONRY VENEER WHERE SHOWN             |
| 7 BAY WINDOW                      | 15 ADDRESS SIGN                           |

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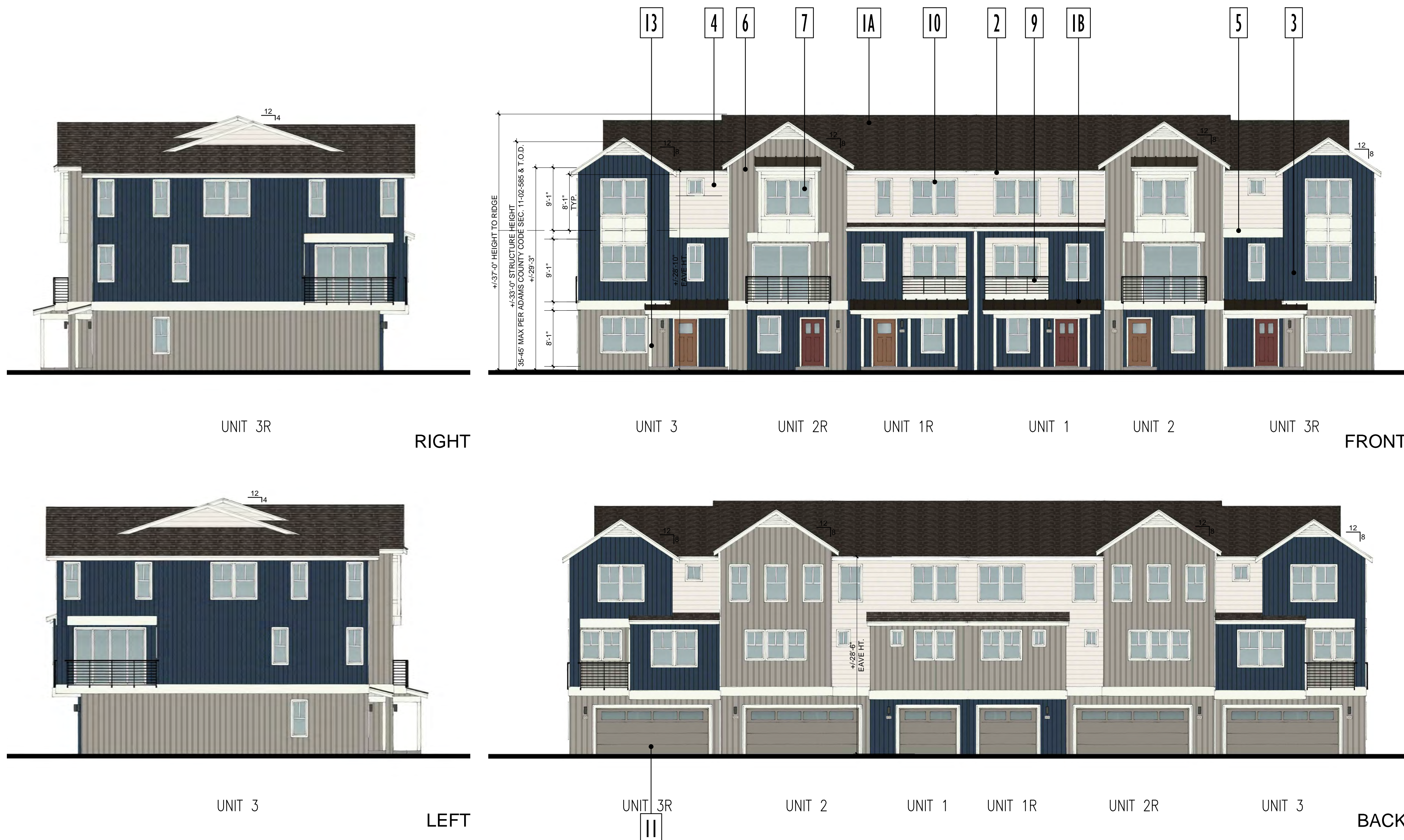




# BERKELEY VILLAS

IN THE COUNTY OF ADAMS, COLORADO

## CONCEPTUAL SITE PLAN





# BERKELEY VILLAS

IN THE COUNTY OF ADAMS, COLORADO  
CONCEPTUAL SITE PLAN



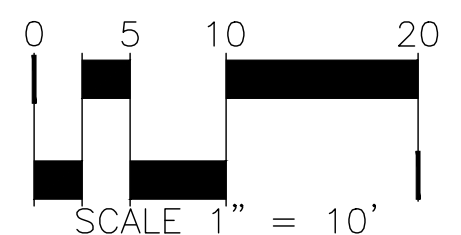
## MATERIAL LEGEND

- |                                   |   |
|-----------------------------------|---|
| 1A ASPHALT COMPOSITION ROOFING    | 8 TRANSOM WINDOW                          |
| 1B STANDING SEAM METAL ROOF       | 9 METAL GUARDRAIL                         |
| 2 WOOD FASCIA BOARD               | 10 VINYL WINDOW SYSTEM                    |
| 3 FIBER CEMENT VERTICAL SIDING    | 11 METAL SECTIONAL GARAGE DOOR W/ WINDOWS |
| 4 FIBER CEMENT LAP SIDING         | 12 DECORATIVE EXTERIOR LIGHT FIXTURE      |
| 5 WOOD OR FIBER CEMENT BOARD TRIM | 13 WOOD PORCH POST                        |
| 6 FIBER CEMENT BOARD AND BATTEN   | 14 MASONRY VENEER WHERE SHOWN             |
| 7 BAY WINDOW                      | 15 ADDRESS SIGN                           |

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BERKELEY VILLAS  
IN THE COUNTY OF ADAMS, COLORADO  
CONCEPTUAL LANDSCAPE PLAN



LAND USE SUMMARY				
LAND USE	ACREAGE	% TOTAL	UNITS	DENSITY
BUILDING AREAS				
RESIDENTIAL LOTS	2.19 AC	46.7%	82	
BUILDING AREAS SUBTOTAL	2.19 AC	46.7%		
OPEN AREAS				
PRIVATE ACCESS DRIVES	1.17 AC	24.9%		
LANDSCAPE BUFFER AREAS	1.27 AC (0.38 ACTIVE)	28.4%		
OPEN AREAS SUBTOTAL	2.44 AC	53.3%		
TOTAL	4.63 AC	100%	82	17.7 DU / AC

\* NOTE: AT LEAST TWENTY PERCENT (20%) OF THE SITE SHALL BE OPEN SPACE.

- NOTES:
1. Site plan shown is conceptual and subject to change.
  2. Active land uses, landscape areas, and amenities are conceptual and subject to change.
  3. Flex Lawn is a community space allowing for active and passive uses.

BERKELEY VILLAS CONCEPTUAL SITE PLAN  
ADAMS COUNTY, COLORADO

OWNER:  
TTLC MANAGEMENT, INC  
DAVID CLOCK  
1350 17TH ST, STE 350  
DENVER, CO 80202

NOT FOR  
CONSTRUCTION

DATE:  
1/23/2021 TODAY  
08/16/2021 10:02

SHEET TITLE:  
SITE PLAN

SHEET NUMBER:  
1 OF 2



# BERKELEY VILLAS

IN THE COUNTY OF ADAMS, COLORADO

## CONCEPTUAL LANDSCAPE PLAN

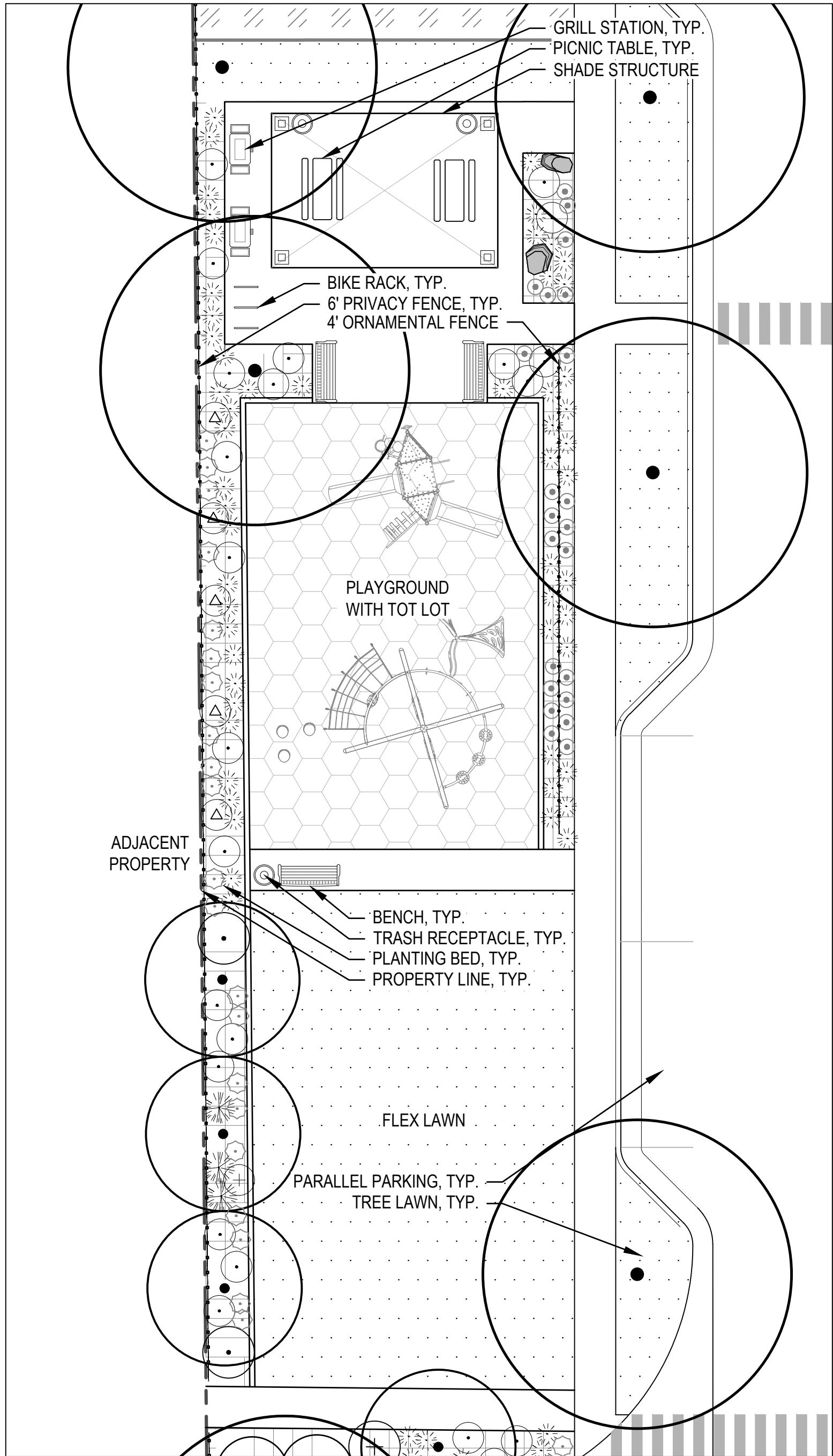
BERKELEY VILLAS CONCEPTUAL SITE PLAN  
ADAMS COUNTY, COLORADO

OWNER:  
TTLC MANAGEMENT, INC.  
DAVID CLOCK  
1350 17TH ST, STE 350  
DENVER, CO 80202

NOT FOR  
CONSTRUCTION

DATE:  
4/23/2021 TO DATE  
08/16/2021 10:02

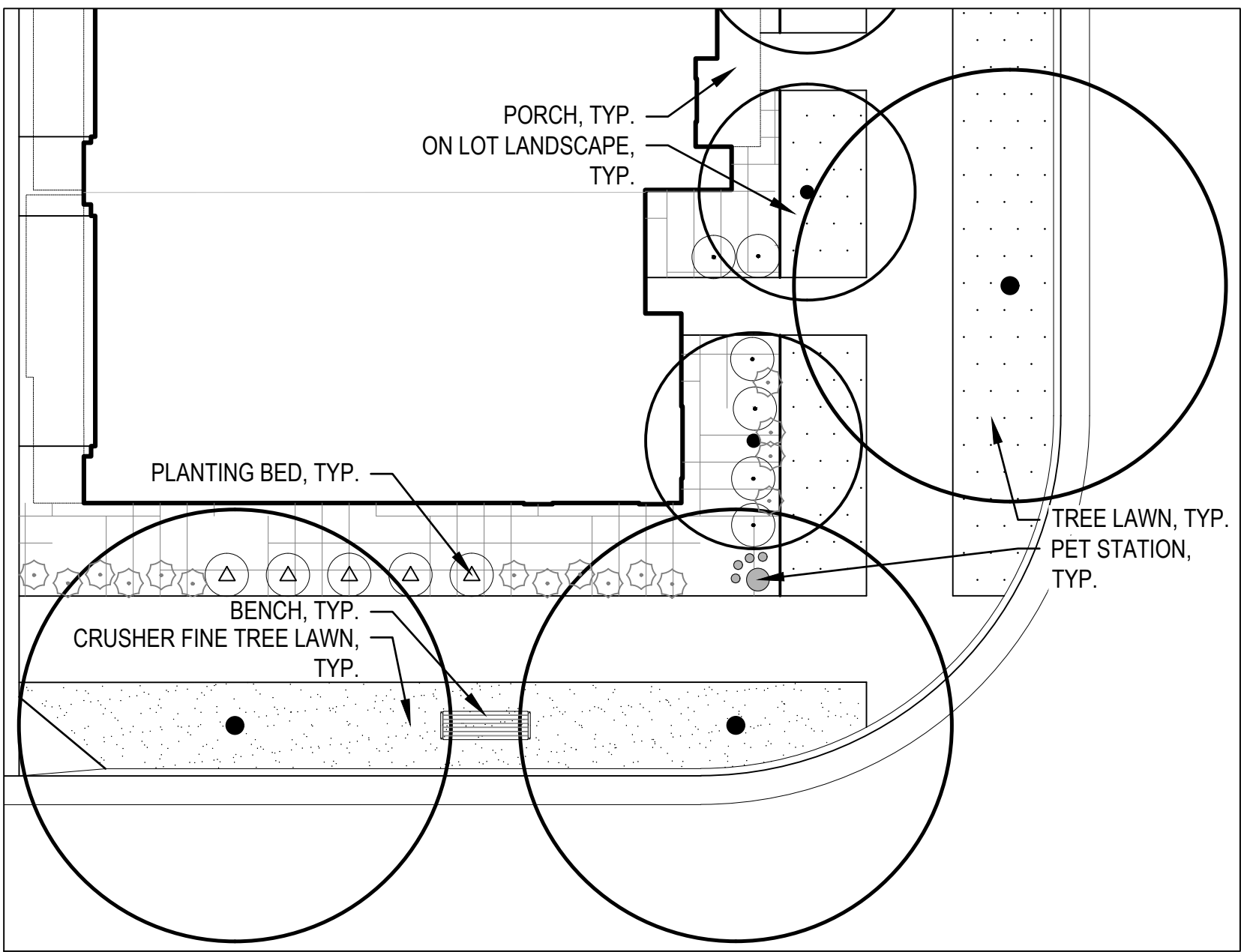
SHEET TITLE:  
SITE PLAN  
ENLARGEMENTS  
SHEET NUMBER:  
2 OF 2



1

### PARK ENLARGEMENT

NOTE: SITE PLAN SHALL MEET ADAMS COUNTY LANDSCAPE REQUIREMENTS AND IS SUBJECT TO CHANGE. SCALE: 1" = 10'

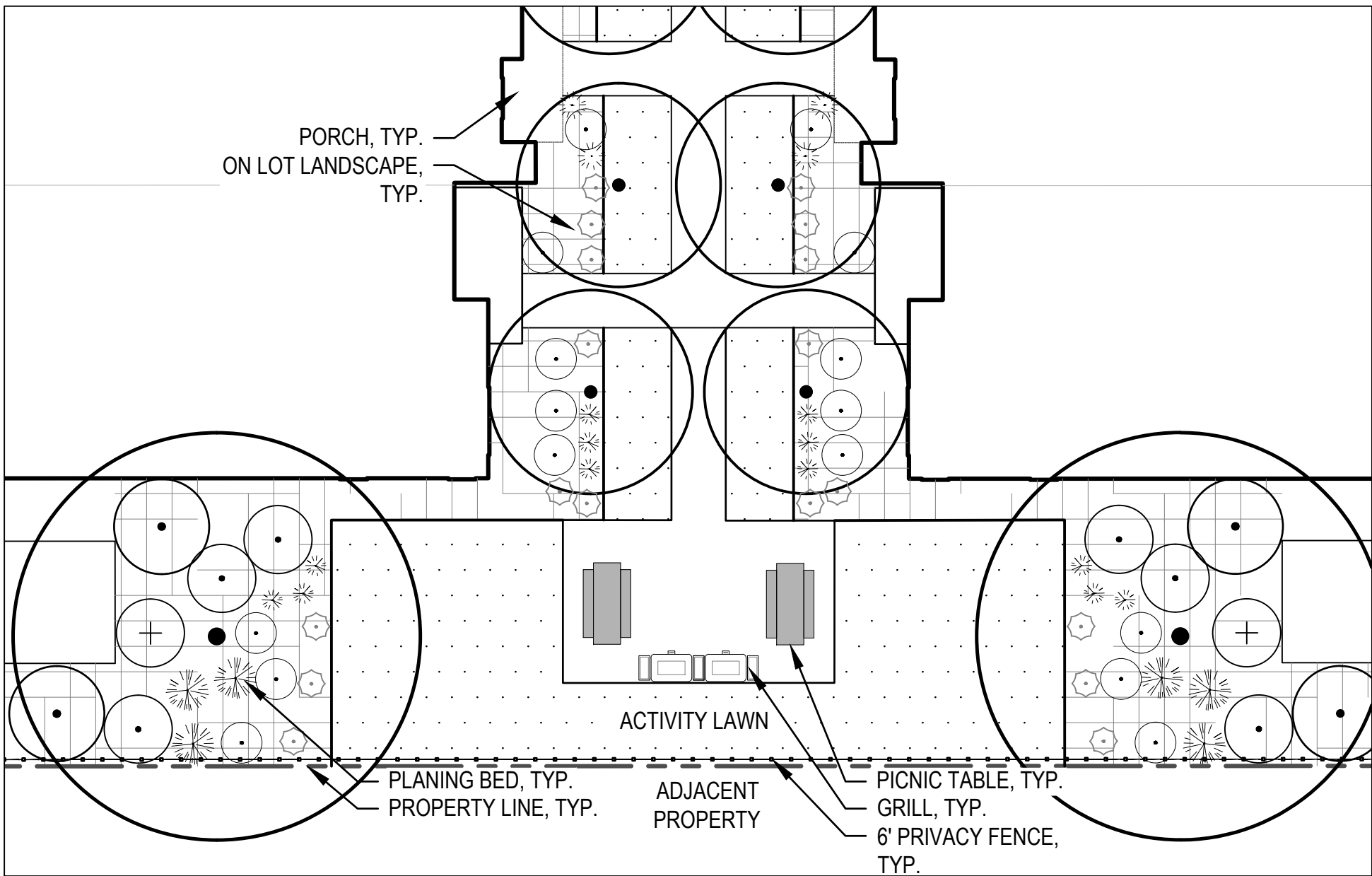


2

### STREETSCAPE ENLARGEMENT

NOTE: SITE PLAN SHALL MEET ADAMS COUNTY LANDSCAPE REQUIREMENTS AND IS SUBJECT TO CHANGE.

SCALE: 1" = 10'



3

### PICNIC AREA ENLARGEMENT

NOTE: SITE PLAN SHALL MEET ADAMS COUNTY LANDSCAPE REQUIREMENTS AND IS SUBJECT TO CHANGE.

SCALE: 1" = 10'





- 1 AMENITY WALK
- 2 DETENTION POND
- 3 INTERPRETIVE SIGNAGE
- 4 SHELTER AND GRILLS
- 5 PLAYGROUND
- 6 FLEX LAWN
- 7 BUFFER PLANTING
- 8 SIDEWALK CONNECTION TO FUTURE MAVERICK GAS STATION
- 9 SEATING AREAS

SITE PLAN IS CONCEPTUAL AND SUBJECT TO CHANGE

# BERKELEY VILLAS | CONCEPT PLAN

08/24/2021

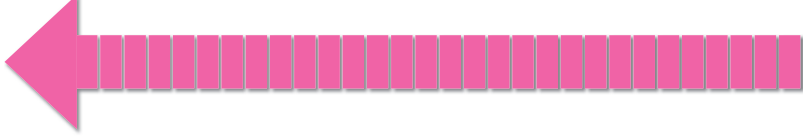




TOD WALKABILITY ZONE



PEDESTRIAN CONNECTIVITY



BENCH/SEATING AREA



SITE PLAN IS CONCEPTUAL AND SUBJECT TO CHANGE





**P** ON-STREET PARKING  
27 SPACES

**●** TWO CAR GARAGE  
52 GARAGES (104 SPACES)

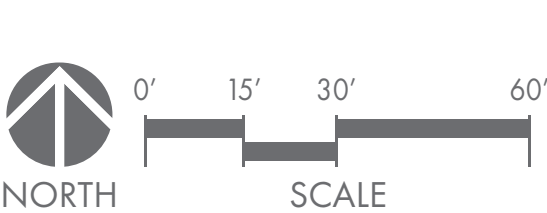
**■** ONE CAR GARAGE  
30 GARAGES

TOTAL PARKING:  
**163 PACES**  
**82 units**  
**2.0 spaces/unit**

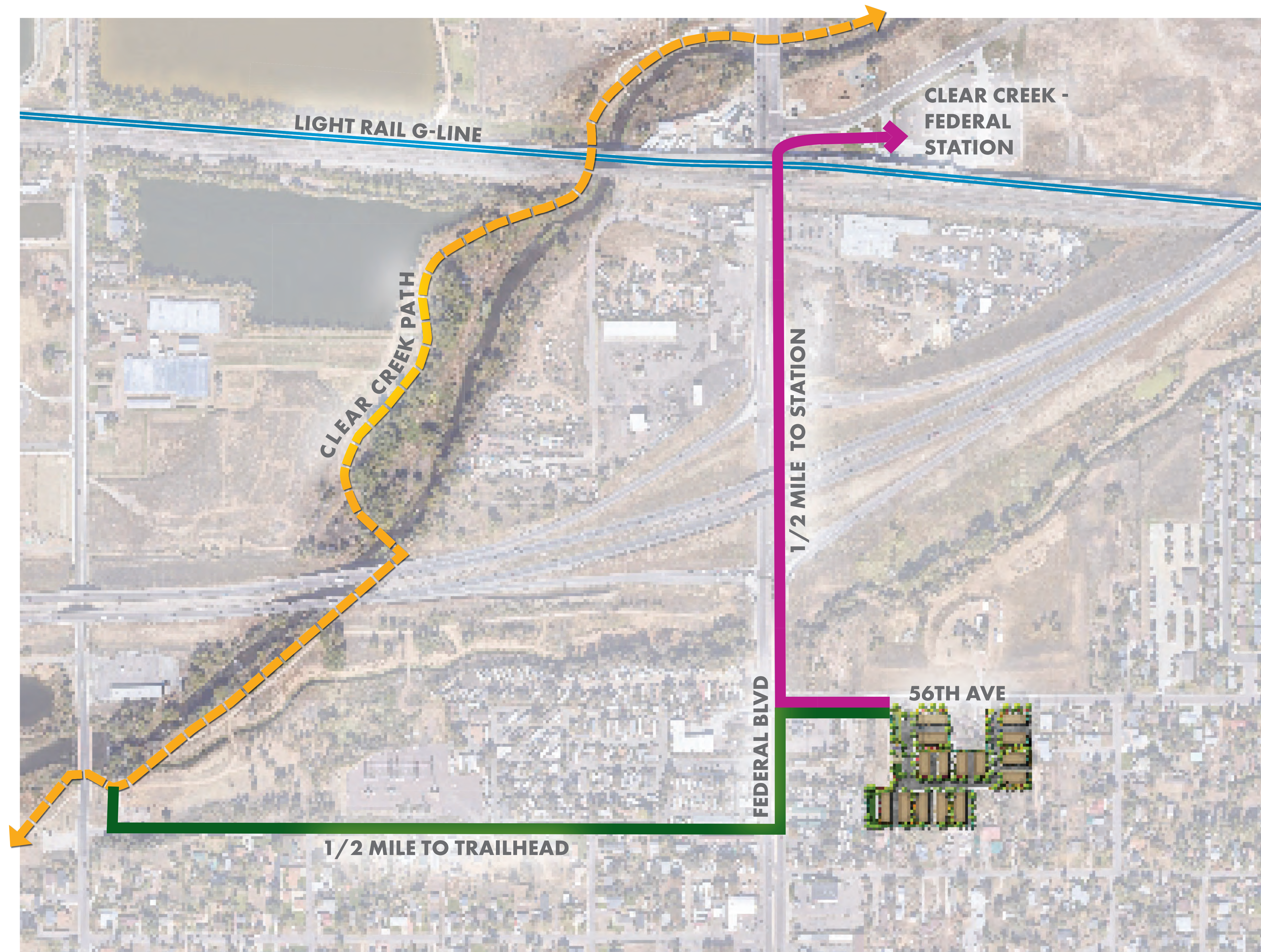
SITE PLAN IS CONCEPTUAL AND SUBJECT TO CHANGE

**BERKELEY VILLAS | PARKING EXHIBIT**

08/24/2021



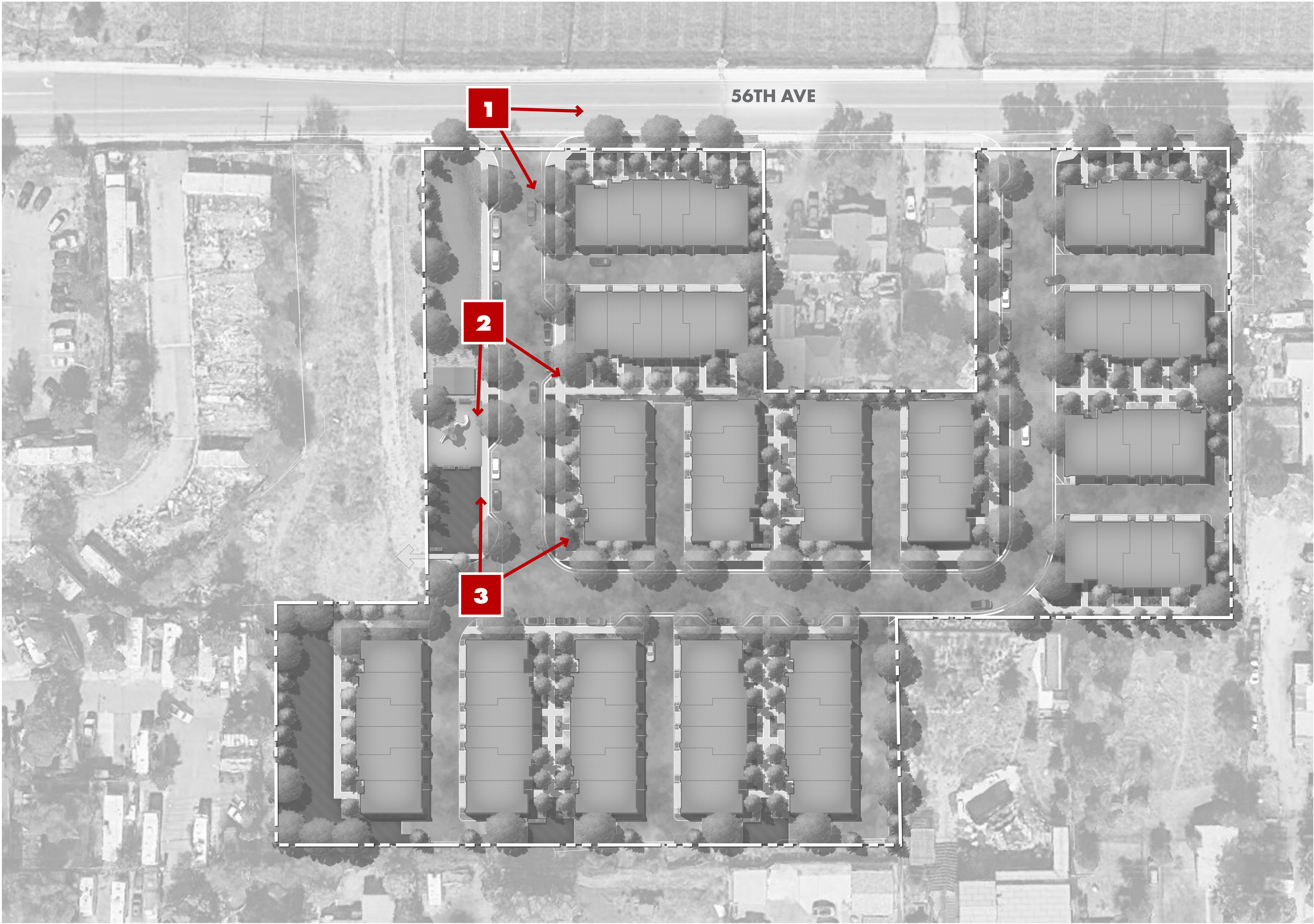




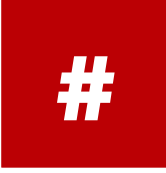








COMMUNITY PERSPECTIVE  
LOCATION



SITE PLAN IS CONCEPTUAL AND SUBJECT TO CHANGE





ILLUSTRATION IS CONCEPTUAL AND SUBJECT TO CHANGE

## BERKELEY VILLAS | COMMUNITY PERSPECTIVE 1

08/24/2021





ILLUSTRATION IS CONCEPTUAL AND SUBJECT TO CHANGE

**BERKELEY VILLAS | COMMUNITY PERSPECTIVE 2**

08/24/2021





ILLUSTRATION IS CONCEPTUAL AND SUBJECT TO CHANGE

**BERKELEY VILLAS | COMMUNITY PERSPECTIVE 3**

08/24/2021





## **Development Review Team Comments**

**Date:** 7/9/2021

**Project Number:** PRC2021-00003

**Project Name:** TTLC - 56th & Federal

---

**Commenting Division:** Planner Review

**Name of Reviewer:** Greg Barnes

**Date:** 07/01/2021

**Email:** gjbarnes@adcogov.org

### **Resubmittal Required**

PLN01: The request for rezoning to TOD will require a complete site plan. The expectations for the site plan comprised of: Overall site plan layout, several pages spanning the development's site plan at a smaller scale, complete overall landscape plan, several pages of the landscape plan drawn at a smaller scale, conceptual building elevations that conform to the single-family attached design standards for TOD including four-sided design (3-27-06-04-02-03), list of quantifiable architectural parameters including height and materials, site details like fencing, bike racks, lighting, etc., an overall parking plan, and an overall pedestrian and bicycle plan for the site and how the site connects to the station for those transportation modes.

PLN02: Both the site plan and overall preliminary plat should be drawn provided in a clear and legible manner. Clutter or unnecessary texts should be removed.

PLN03: The overall plat shall not include building footprints.

PLN04: Measurements shall be included on the plat diagram, including lot dimensions, lot area, and lot width.

PLN05: All public improvements shall be in a tract. This includes any private streets or drainage facilities.

PLN06: A list of tracts and their purposes should be included.

PLN07: Please review the entire section of 3-27-06 and respond in a bulleted list as to how the overall site meets each requirement. If there are specific requirements that are not being met, please provide an explanation.

PLN08: The name of the subdivision is going to be problematic and not easily searchable. It is highly recommended that dashes be removed. It is also unusual for a subdivision to include the names Denver and 56th & Federal when the actual site is not located at either place.

---

**Commenting Division:** Development Engineering Review

**Name of Reviewer:** Greg Labrie

**Date:** 06/24/2021

**Email:** glabrie@adcogov.org

**Complete**

ENG1: Drainage easements are required on private property to accommodate the proposed storm pipe. This includes obtaining a drainage easement on adjacent properties where the storm pipe may be located such as the Maverik site.

ENG2: The site plan shall show the dimensions of the roadway system within the proposed development. The applicant shall consider connecting at least one of the proposed internal streets with the Maverik development west and/or with 55th Avenue to the south. The internal street(s) that are providing connectivity shall be public streets with curb, gutter, and sidewalk. They shall be built in accordance to the local street standards within a 10-foot right-of-way. All of the other internal streets can be private streets designed to the local fire district's standards or they can be designed as local public streets as well.

ENG3: The site plan shall show the proposed location of the detention pond that will be required to support the development along with the location of the proposed outfall system. The site plan shall provide a definition of the Nature Play area and the Flex Lawn area.

ENG4: The site plan shall show the proposed locations for the dumpster area and snow pile storage areas.

ENG5: The picnic areas and the courtyards that are designed in the North/South direction on the site plan will not receive any sunlight and this area will accumulate snow and ice throughout the winter. The applicant should consider the impacts of the sun on the proposed layout of the site plan and consider mitigation measures for potential problems.

---

**Commenting Division:** ROW Review

**Name of Reviewer:** David Dittmer

**Date:** 06/22/2021

**Email:**

**Complete**

ROW1: Need to comply with all State and County Regulations concerning plat notes, ownership and Dedication Statement, and all signature blocks required.

ROW2: Rename plat as shown

ROW3: Need additional sheet for lot line vacations required, as no buildings can cross a lot line, that include existing lot configuration, new lot name, easements, etc.

ROW4: Provide complete Preliminary Plat for review

ROW5: See redline comments on Plat

---

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry  
DISTRICT 1

Charles "Chaz" Tedesco  
DISTRICT 2

Emma Pinter  
DISTRICT 3

Steve O'Dorisio  
DISTRICT 4

Lynn Baca  
DISTRICT 5

---

**Commenting Division:** Addressing Review

**Name of Reviewer:** David Dittmer

**Date:** 06/14/2021

**Email:**

**Complete**

---

BOARD OF COUNTY COMMISSIONERS

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DISTRICT 5



Community & Economic  
Development Department  
[www.adcogov.org](http://www.adcogov.org)



4430 South Adams County Parkway  
1st Floor, Suite W2000B  
Brighton, CO 80601-8218  
PHONE 720.523.6880  
FAX 720.523.6967  
EMAIL: [epermitcenter@adcogov.org](mailto:epermitcenter@adcogov.org)

## **Development Review Team Comments**

**Date:** 9/28/2021

**Project Number:** PRC2021-00003

**Project Name:** Berkeley Villas

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**Commenting Division:** Plan Coordination 2nd Review

**Name of Reviewer:** Greg Barnes

**Date:** 09/28/2021

**Email:** [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

**Resubmittal Required**

---

BOARD OF COUNTY COMMISSIONERS

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Lynn Baca  
DISTRICT 5

---

**Commenting Division:** Planner Review 2nd Review

**Name of Reviewer:** Greg Barnes

**Date:** 09/28/2021

**Email:** [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

**Resubmittal Required**

**PRELIMINARY PLAT COMMENTS**

PLN01: Please provide all street names. Typically, even private street names are included.

PLN02: Please refer to all lots being created as "lots" and not "parcels". Lot numbering should begin at 1 and numbering should not skip around. Lots should be numbered 1-78.

PLN03: There is so much blank space on each page. I think pages 2 and 3 could be combined onto one page, even if drawn at the current scale.

PLN04: The lot located west of Tracts A & C does not include property owner info. It also does not recently approved plat corrections which changed the boundaries (PLT2021-00001).

PLN05: There is no clear boundary between Tracts B & G in the vicinity of "Parcel 132".

PLN06: The far eastern boundary of Tract H is missing from Page 4.

PLN07: Has the applicant acquired the Smith, Lechuga, Randall, and Graber properties? I do not believe that you can vacate someone's ownerships through a subdivision plat.

**REZONING COMMENTS**

PLN08: The conceptual elevations still do not have distinctly different facades for each unit.

---

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DISTRICT 5

---

**Commenting Division:** Development Engineering Review 2nd Review

**Name of Reviewer:** Greg Labrie

**Date:** 09/17/2021

**Email:** glabrie@adcogov.org

**Complete**

The engineering plans and reports that were submitted for this preliminary plat application are acceptable at this time. The following comments will apply to the final engineering reports and construction plans that are required at final plat.

ENG1: The final plans shall show that all concrete within the public right-of-way will be placed monolithically.

ENG2: The applicant shall show the location and design plans for the internal private roads and pedestrian sidewalks within the subdivision development.

ENG3: Concrete details will need to be added to the final construction plans.

ENG4: No construction can take place prior to the approval of a Subdivision Improvement Agreement (SIA). This agreement, along with the appropriate collateral must be approved by the Adams County Board of County Commissioners (BoCC).

ENG5: Drainage Plans- Fill source and quantity including source and quantity of selected borrow pits and pertinent information showing where each type of fill is to be placed. Additional permitting is required for the hauling and installation of offsite fill material on the project site.

ENG6: Drainage Plans shall show the storm drainage structure profiles to include pipe sizes, pipe types and materials, lengths of runs, gradients and exact locations of pipes or channels, structure identifier (e.g. catch basin/manhole number) and the exact location of structure. Cross sections of roadways, channels, and basins shall be at 50 foot intervals. The cross section for detention basins shall include slope, depth, and erosion protection techniques.

ENG7: Details shall be provided for all proposed drainage structures for which there is insufficient information in the plan or profile views (i.e. outlet configurations, headwall/wingwall, etc.).

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ENG9: Drainage easements are required on private property to accommodate the proposed storm pipe. This includes obtaining a drainage easement on adjacent properties where the storm pipe may be located such as the Maverik site.

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ENG11: The final design plans shall designate areas for trash dumpsters and snow pile storage and identify the location of these areas on the plans.

---

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DISTRICT 5

---

**Commenting Division:** ROW Review 2nd Review

**Name of Reviewer:** David Dittmer

**Date:** 09/14/2021

**Email:**

**Resubmittal Required**

---

BOARD OF COUNTY COMMISSIONERS

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DISTRICT 4

**Lynn Baca**  
DISTRICT 5

ROW1: The title should read:

BERKELEY VILLAS SUBDIVISION PLAT

A RESUBDIVISION OF (LOTS) OF THE WESTMOORLAND SUBDIVISION (FULL NAME OF CORRECT SUBDIVISION PLAT) BEING IN THE NE/4 OF ..... PRELIMINARY PLAT

(Legal description should read Sec-T-R)

ROW2: Correct typo in title

ROW3: Add case number to the top right-hand corner of each sheet (PRC2021-00003)

ROW4: Need completed OWNERSHIP AND DEDICATION STATEMENT, including vesting deed information as being sole owner, full legal description, followed by the OWNER'S CERTIFICATE that needs to provide name and title of individual executing plat, and this information needs to be within Notary affirmation too.

a. This must include all parties to the subdivision which would include those parties as shown "To be vacated" because until this issue is dealt with they encroach and are a part of the plat as provided.

ROW5: Provide all notes as required by Colorado State Statutes and Adams County Design and Performance Standards including but not limited to the following:

1. Closure Statement
2. Basis of Bearings
3. Flood Plain Note
4. Drainage Facilities note with maintenance Manual information
5. Full name of HOA as registered with the State for Tract Maintenance note

ROW6: Remove Sheet index

ROW7: Tract Table and Plat Keymap need to be revised as follows:

1. Tract Table should be shown full page Keymap with Tracts labeled as best as possible
2. Sheet number 5 should be sheet number 2 followed by the site plan of the subdivision

ROW8: Rearrange APPROVALS:

Planning Commission

Board of County Commissioners

Clerk and Recorders

And revise signature blocks as provided on plat redlines

ROW9: Add Title Block to pages (first one for sure) and remove the bottom right-hand corner plat name, sheet name, etc.

ROW10: Need to properly show the new lot lines as created by the RE-Subdivision of Westmoorland Plat Correction No. 2 recorded at Reception No: 2021000067065 (Lots 8A and 9A)

ROW11: Sheet 5 to sheet 2 and the following corrections:

1. Need to provide what lot lines are being vacated, as cannot build across lot lines
2. Need to remove information as to "REMAIN" and only provide the ownership information as an adjacent owner
3. Need to properly depict adjacent ownership lot lines
4. Need to correctly identify and show the lot lines for the E. 20' of Lot 4 and the S 20' of the E 85' of Lot 4 Resub of Westmoorland.

THIS AREA HAS TO COME INTO THIS SUBDIVISION AND OWNERSHIP

5. Remove note concerning the Westmoorland subdivision recorded in Book 3, page 62

6. Need to clean up the "To Be Vacated" as property ownership information as these parties need to be part of this case, or applicant needs ownership prior to submission of Preliminary Plat, as this cannot wait until the Final Plat is provided or an additional Plat Correction will be required.

7. Easements that are "To Be Vacated" need to have the additional language of "By Separate Document" as they cannot be vacated by this plat. These vacations will need to be complete by Final Plat with the vacation information by document and reception number provided. This will also be a part of the building permit application as no structures over these if not vacated

8. Appears there are lot line issues that don't make sense on Sheet 5.
  9. Remove "Existing Conditions on Sheet 5
  10. Need to provide new lot name and Sq. Ft. and Ac. Information once all lot lines are vacated by the plat
- ROW12: Review all redline comments as provided on plat.

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**Commenting Division:** Application Intake 2nd Review

**Name of Reviewer:** Kevin Mills

**Date:** 08/31/2021

**Email:**

**Complete**

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BOARD OF COUNTY COMMISSIONERS

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DISTRICT 4

**Lynn Baca**  
DISTRICT 5



## **Development Review Team Comments**

**Date:** 1/10/2022

**Project Number:** PRC2021-00003

**Project Name:** Berkeley Villas

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**Commenting Division:** Plan Coordination 4th Review

**Name of Reviewer:** Greg Barnes

**Date:** 01/10/2022

**Email:** gjbarnes@adcogov.org

**Resubmittal Required**

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**Commenting Division:** Planner Review 4th Review

**Name of Reviewer:** Greg Barnes

**Date:** 01/10/2022

**Email:** gjbarnes@adcogov.org

**Complete**

No further comments from planning

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**Commenting Division:** ROW Review 4th Review

**Name of Reviewer:** David Dittmer

**Date:** 01/06/2022

**Email:**

**Resubmittal Required**

ROW1: A new legal description by m/b needs to be built for the newly created boundary including all calls and dimensions. Pins need to be set and shown in the legend. Do not include the two lots not being purchased within the boundary of the new lot being created. You will need to label the Lot and provide the sq. ft. and acreage on Sheet 2 as well as provide this in the legal description.

ROW2: Remove superfluous information outside of boundary (careful of line weight)

ROW3: Correct all reference to 2021 in all signature blocks

ROW4: Need to include and format the Ownership and Notary Affirmation (See plat comments)

ROW5: Provide closure statement

ROW6: Spell out legal description in the Title of the Plat (Northeast quarter/Section, etc.)

ROW7: Add the Approved as to Form for the County Attorney's office

ROW8: Board approval is by the "CHAIR" not Chairman

ROW9: If required to have and record a Storm Water Maintenance Manuel through Public Works, you will need a note to this affect and a blank at this time for the recording information as it has to be recorded.

ROW10: Correct Case number on all sheets (Missing a zero)

ROW11: Remove all ghosting of structures and landscaping from plat

ROW12: ADVISORY - Prior to Final Platting, all ownership issues must be resolved and the current ownership information removed as to the assessed owner. All easements to be vacated must be completed and recording information provided. This cannot be done after the fact.

---

**Commenting Division:** Application Intake 4th Review

**Name of Reviewer:** Kevin Mills

**Date:** 12/21/2021

**Email:**

**Complete**

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**Commenting Division:** Plan Coordination 3rd Review

**Name of Reviewer:** Greg Barnes

**Date:** 11/15/2021

**Email:** [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

**Resubmittal Required**

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Lynn Baca  
DISTRICT 5



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**Commenting Division:** Planner Review 3rd Review

**Name of Reviewer:** Greg Barnes

**Date:** 11/15/2021

**Email:** [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

**Resubmittal Required**

**PRELIMINARY PLAT COMMENTS**

PLN01: Please continue to work with David Dittmer, ROW Agent, to accurately name the streets based off the naming conventions for the County. Based on his comments, this will be finalized during the final plat process.

PLN05: There is no clear boundary between Tracts B & G in the vicinity of "Lot 32". This issue has still not been resolved. Please refer to the portions northeast of Lot 32. There is no clear boundary between Tract B and Tract G. Please revise and let me know if you need further guidance.

PLN06: The far eastern boundary of Tract H is missing from Page 6. The entirety of the tract that is located south of the match line should be provided on Page 6.

**REZONING COMMENTS**

PLN08: I do understand that while I was on vacation, you reached out to other members of our staff about Section 3-27-06-04-02-03. This section states that

"1. The attached single-family dwellings in any one row structure shall be required to have distinctly different facades. No attached single-family structure façade shall be repeated more than once every four structures on the same side of the street. 2. The facades of single-family attached townhomes shall be punctuated by a change in texture or material, offset, or other architectural feature to differentiate individual units."

Personally, I believe that more can still be done to better meet these requirements. These individual units do not seem distinct in design materials and style to me; However if your team wishes to submit this design to move forward, then I will do so. Ultimately, this will be determined by the Planning Commission and the Board of County Commissioners

**OTHER COMMENTS**

PLN09: Xcel Energy requested utility easements be provided on the preliminary plat. You have responded that you will not be accommodating this request. Please provide justification as to why this cannot be provided on the preliminary plat, and I will happy to proceed with that information to our Planning Commission and Board of County Commissioners.

---

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DISTRICT 5

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**Commenting Division:** ROW Review 3rd Review

**Name of Reviewer:** David Dittmer

**Date:** 11/04/2021

**Email:**

**Resubmittal Required**

ROW1: Need to provide a complete Preliminary Plat with all required notes pursuant to state and county regulations, including Title 38 and Code of Regulations State of Colorado; State Board of Licensure for Architects, Engineers, and Land Surveyors

ROW2: Cannot plat what you don't own. All owners MUST be a party to this plat. Will have to have continuous ownership for Final Plat

ROW3: Vicinity Map does not look like overall property description. Needs to match

ROW4: Need monument records and legend for survey boundaries

ROW5: If vacating lot lines, this needs to be stated. Missing a parcel. See redlines

ROW6: Do not include anything other than adjacent ownership on plat. No information needed outside of bounds

ROW7: Remove Road Labels as it is within tracts. I will assign street naming conventions for final plat.

ROW8: If abbreviation legend does not include any abbreviations used on plat revise or remove

ROW9: All sheets must have title and sheet numbers

ROW10: Review all comments redlined on Preliminary Plat and provide all missing information

---

**Commenting Division:** Application Intake 3rd Review

**Name of Reviewer:** Megan Ulibarri

**Date:** 10/22/2021

**Email:**

**Complete**

---

**Commenting Division:** Plan Coordination 2nd Review

**Name of Reviewer:** Greg Barnes

**Date:** 09/28/2021

**Email:** [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

**Resubmittal Required**

---

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DISTRICT 5

---

**Commenting Division:** Planner Review 2nd Review

**Name of Reviewer:** Greg Barnes

**Date:** 09/28/2021

**Email:** [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

**Resubmittal Required**

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---

**Commenting Division:** Development Engineering Review 2nd Review

**Name of Reviewer:** Greg Labrie

**Date:** 09/17/2021

**Email:** glabrie@adcogov.org

**Complete**

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---

**Commenting Division:** ROW Review 2nd Review

**Name of Reviewer:** David Dittmer

**Date:** 09/14/2021

**Email:**

**Resubmittal Required**

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BOARD OF COUNTY COMMISSIONERS

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ROW1: The title should read:

BERKELEY VILLAS SUBDIVISION PLAT

A RESUBDIVISION OF (LOTS) OF THE WESTMOORLAND SUBDIVISION (FULL NAME OF CORRECT SUBDIVISION PLAT) BEING IN THE NE/4 OF ..... PRELIMINARY PLAT

(Legal description should read Sec-T-R)

ROW2: Correct typo in title

ROW3: Add case number to the top right-hand corner of each sheet (PRC2021-00003)

ROW4: Need completed OWNERSHIP AND DEDICATION STATEMENT, including vesting deed information as being sole owner, full legal description, followed by the OWNER'S CERTIFICATE that needs to provide name and title of individual executing plat, and this information needs to be within Notary affirmation too.

a. This must include all parties to the subdivision which would include those parties as shown "To be vacated" because until this issue is dealt with they encroach and are a part of the plat as provided.

ROW5: Provide all notes as required by Colorado State Statutes and Adams County Design and Performance Standards including but not limited to the following:

1. Closure Statement
2. Basis of Bearings
3. Flood Plain Note
4. Drainage Facilities note with maintenance Manual information
5. Full name of HOA as registered with the State for Tract Maintenance note

ROW6: Remove Sheet index

ROW7: Tract Table and Plat Keymap need to be revised as follows:

1. Tract Table should be shown full page Keymap with Tracts labeled as best as possible
2. Sheet number 5 should be sheet number 2 followed by the site plan of the subdivision

ROW8: Rearrange APPROVALS:

Planning Commission

Board of County Commissioners

Clerk and Recorders

And revise signature blocks as provided on plat redlines

ROW9: Add Title Block to pages (first one for sure) and remove the bottom right-hand corner plat name, sheet name, etc.

ROW10: Need to properly show the new lot lines as created by the RE-Subdivision of Westmoorland Plat Correction No. 2 recorded at Reception No: 2021000067065 (Lots 8A and 9A)

ROW11: Sheet 5 to sheet 2 and the following corrections:

1. Need to provide what lot lines are being vacated, as cannot build across lot lines
2. Need to remove information as to "REMAIN" and only provide the ownership information as an adjacent owner
3. Need to properly depict adjacent ownership lot lines
4. Need to correctly identify and show the lot lines for the E. 20' of Lot 4 and the S 20' of the E 85' of Lot 4 Resub of Westmoorland.

THIS AREA HAS TO COME INTO THIS SUBDIVISION AND OWNERSHIP

5. Remove note concerning the Westmoorland subdivision recorded in Book 3, page 62

6. Need to clean up the "To Be Vacated" as property ownership information as these parties need to be part of this case, or applicant needs ownership prior to submission of Preliminary Plat, as this cannot wait until the Final Plat is provided or an additional Plat Correction will be required.

7. Easements that are "To Be Vacated" need to have the additional language of "By Separate Document" as they cannot be vacated by this plat. These vacations will need to be complete by Final Plat with the vacation information by document and reception number provided. This will also be a part of the building permit application as no structures over these if not vacated

8. Appears there are lot line issues that don't make sense on Sheet 5.
  9. Remove "Existing Conditions on Sheet 5
  10. Need to provide new lot name and Sq. Ft. and Ac. Information once all lot lines are vacated by the plat
- ROW12: Review all redline comments as provided on plat.

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**Commenting Division:** Application Intake 2nd Review

**Name of Reviewer:** Kevin Mills

**Date:** 08/31/2021

**Email:**

**Complete**

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**Commenting Division:** Planner Review

**Name of Reviewer:** Greg Barnes

**Date:** 07/01/2021

**Email:** [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

**Resubmittal Required**

PLN01: The request for rezoning to TOD will require a complete site plan. The expectations for the site plan will be comprised of: Overall site plan layout, several pages spanning the development's site plan at a smaller scale, complete overall landscape plan, several pages of the landscape plan drawn at a smaller scale, conceptual building elevations that conform to the single-family attached design standards for TOD including four-sided design (3-27-06-04-02-03), list of quantifiable architectural parameters including height and materials, site details like fencing, bike racks, lighting, etc., an overall parking plan, and an overall pedestrian and bicycle plan for the overall site and how the site connects to the station for those transportation modes.

PLN02: Both the site plan and overall preliminary plat should be drawn provided in a clear and legible manner. Clutter or unnecessary texts should be removed.

PLN03: The overall plat shall not include building footprints.

PLN04: Measurements shall be included on the plat diagram, including lot dimensions, lot area, and lot width.

PLN05: All public improvements shall be in a tract. This includes any private streets or drainage facilities.

PLN06: A list of tracts and their purposes should be included.

PLN07: Please review the entire section of 3-27-06 and respond in a bulleted list as to how the overall site meets each requirement. If there are specific requirements that are not being met, please provide an explanation.

PLN08: The name of the subdivision is going to be problematic and not easily searchable. It is highly recommended that dashes be removed. It is also unusual for a subdivision to include the names Denver and 56th & Federal when the actual site is not located at either place.

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DISTRICT 5

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**Commenting Division:** Development Engineering Review

**Name of Reviewer:** Greg Labrie

**Date:** 06/24/2021

**Email:** glabrie@adcogov.org

**Complete**

ENG1: Drainage easements are required on private property to accommodate the proposed storm pipe. This includes obtaining a drainage easement on adjacent properties where the storm pipe may be located such as the Maverik site.

ENG2: The site plan shall show the dimensions of the roadway system within the proposed development. The applicant shall consider connecting at least one of the proposed internal streets with the Maverik development to the west and/or with 55th Avenue to the south. The internal street(s) that are providing connectivity shall be public streets with curb, gutter, and sidewalk. They shall be built in accordance to the local street standards within a 50 feet right-of-way. All of the other internal streets can be private streets designed to the local fire district's standards or they can be designed as local public streets as well.

ENG3: The site plan shall show the proposed location of the detention pond that will be required to support the development along with the location of the proposed outfall system. The site plan shall provide a definition for the Nature Play area and the Flex Lawn area.

ENG4: The site plan shall show the proposed locations for the dumpster area and snow pile storage areas.

ENG5: The picnic areas and the courtyards that are designed in the North/South direction on the site plan will not receive any sunlight and this area will accumulate snow and ice throughout the winter. The applicant should consider the impacts of the sun on the proposed layout of the site plan and consider mitigation measures for potential problems.

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**Commenting Division:** ROW Review

**Name of Reviewer:** David Dittmer

**Date:** 06/22/2021

**Email:**

**Complete**

ROW1: Need to comply with all State and County Regulations concerning plat notes, ownership and Dedication Statement, and all signature blocks required.

ROW2: Rename plat as shown

ROW3: Need additional sheet for lot line vacations required, as no buildings can cross a lot line, that includes existing lot configuration, new lot name, easements, etc.

ROW4: Provide complete Preliminary Plat for review

ROW5: See redline comments on Plat

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DISTRICT 5



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**Commenting Division:** Addressing Review

**Name of Reviewer:** David Dittmer

**Date:** 06/14/2021

**Email:**

**Complete**

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DISTRICT 5



## **Development Review Team Comments**

**Date:** 2/3/2022

**Project Number:** PRC2021-00003

**Project Name:** Berkeley Villas

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**Commenting Division:** Plan Coordination 5th Review

**Name of Reviewer:** Greg Barnes

**Date:** 02/03/2022

**Email:** gjbarnes@adcogov.org

**Resubmittal Required**

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**Commenting Division:** Planner Review 5th Review

**Name of Reviewer:** Greg Barnes

**Date:** 02/02/2022

**Email:** gjbarnes@adcogov.org

**Complete**

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**Commenting Division:** ROW Review 5th Review

**Name of Reviewer:** David Dittmer

**Date:** 01/25/2022

**Email:**

**Resubmittal Required**

1. The paramount concern is the ownership situation. In speaking with our surveyor, you will need to provide ownership as shown in the title commitment provided for all lots owned by TTLC and those lots to be purchased by Assessor's information. This will include property owned by Ryan Smith, Laura Lechuga, Kirk Randal et al., and Diane Graber. This will be followed by the new legal description provided on this revision.
2. The m/b Legal description must be shown on Sheet 2 with calls and distances to verify they match. Understandingly, this may change when actual pins are set prior to final platting but should be close where noted pins are not set.
3. Verify that the title commitment is catching all the parcel numbers within the boundary of the subdivision according to the Assessor's office. Each parcel will have a unique legal description and chain of record title.
4. Need to provide the new lot information on Sheet 2, Bolded, with sq. ft. and acreage provided as the legal states. All other lot/plot names will be ghosted.
5. Remove superfluous information as shown on Sheet 2
6. I did not believe in all the conversations you were to acquire Diane Graber's property, yet it is included within the boundary. If you intend on acquisition, please provide notice of pending sale or contract to purchase as I don't see this in the submittals. Otherwise, this will again revise the boundary legal. These lot lines will not be vacated either if not acquiring this property
7. Correct the typo on W. 56t Ave. to W. 56th Ave. on all sheets
8. Provide closure note/statement on plat. This is a state requirement

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**Commenting Division:** Application Intake 5th Review

**Name of Reviewer:** Amanda Buesgens

**Date:** 01/21/2022

**Email:**

**Complete**

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Lynn Baca  
DISTRICT 5



## ADAMS COUNTY FIRE RESCUE FIRE PREVENTION BUREAU

7980 Elmwood Lane  
Denver, CO 80221  
P: (303) 539-6862  
E: fireprevention@acfpd.org

<b>Project:</b>	TTLIC 56 <sup>th</sup> /Federal	<b>Type:</b>	County Referral – PRC2021-00003
<b>Address:</b>	2880 W 56 <sup>th</sup> Ave	<b>Date:</b>	7/1/21
<b>Reviewed By:</b>	Carla Gutierrez		

The following information provides guidance on general fire code requirements typically applicable to new development projects. However, please be aware that this list is NOT all encompassing. **It is the responsibility of the contractor to read this comment letter in its entirety and make sure that all requirements are satisfied.**

Comments in blue below are specific to the documents reviewed.

Comments in red below are specific to the documents reviewed and require a response.

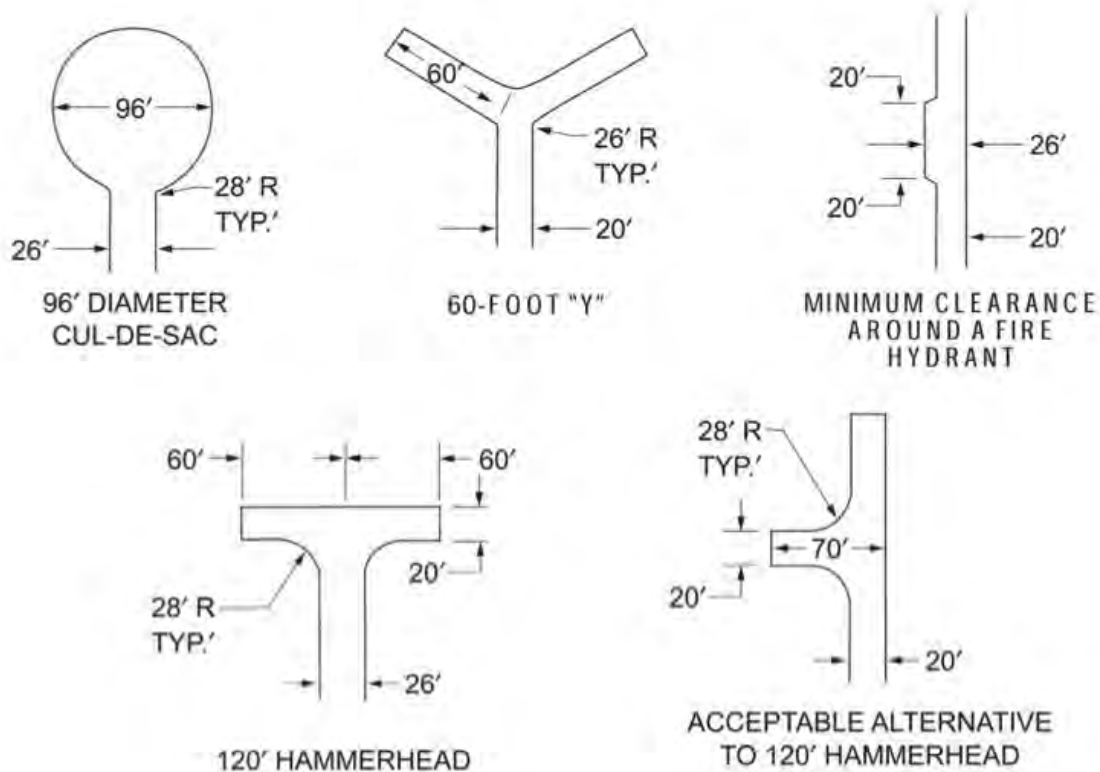
### General:

1. The 2018 International Fire Code is the current fire code adopted within the city and all development must be in compliance with its requirements. The 2018 IFC can be accessed online for free by going to <https://codes.iccsafe.org/public/document/IFC2018>. Amendments to this code can be located by going to [http://www.adcogov.org/sites/default/files/Ordinance%20No.%204\\_1.pdf](http://www.adcogov.org/sites/default/files/Ordinance%20No.%204_1.pdf).
2. Site and building design and construction shall be in accordance with the provisions of the 2018 International Fire Code (IFC) as adopted by Adams County. All construction shall be in accordance with IFC Chapter 33, *Fire Safety During Construction and Demolition*.
3. Please be aware that these comments are subject to change as more information is received or if there are changes to the plans during subsequent reviews.

### Access Requirements:

4. **Approved access roads must be constructed prior to any vertical construction and/or to combustible materials being delivered to the site**, whichever comes first. Temporary access roads are prohibited unless specifically approved by the Fire District. Fire apparatus access must be designed and maintained to support the imposed loads of fire apparatus (i.e. 85,000 lbs), and must have a surface that provides all-weather driving capabilities. Vehicle access shall be provided to within 150 feet of temporary or permanent fire department connections.
5. Fire apparatus access roads shall be a minimum of 24' wide or 26' when a hydrant is present or the building exceeds 30' in height. **Will buildings be exceeding 30 feet in height? If so, fire apparatus access roads shall have a minimum unobstructed width of 26 feet. No parking signs will be required on the portions of the streets where no parking will be allowed.**
6. Fire apparatus access roads shall be within 150' of all ground level exterior portions of the building. **This requirement appears to be met on the conceptual plan.**

7. Any dead-end fire apparatus access road in excess of 150' shall be provided with an approved turnaround.



8. Any temporary construction or permanent security gates shall be a minimum of 24 feet and a no parking fire lane sign shall be posted on the gate. The gates shall also have a Knox key switch installed for emergency operation if automatic. For information on how to order this, please go to <https://www.acfpd.org/plan-submittals.html>.
9. New and existing buildings shall have approved address numbers, building numbers, or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Numbers shall be a minimum of 4 inches high with a minimum stroke width of 0.5 inch. Please be aware that the size of the number may need to be larger than 4 inches is not clearly visible from the street or road.
  - a. A temporary sign must be provided if the permanent signage is not yet installed.

#### Fire Protection Water Supply and Hydrants:

10. **Water mains and all required hydrants shall be installed before the delivery of combustible materials to the site.** Hydrants shall be maintained operational at all times thereafter, unless alternate provisions for water supply are approved by the Fire District. Any private fire service mains and fire hydrants and all fire sprinkler service lines shall be installed by a State of Colorado Licensed Fire Suppression System Contractor – Underground

Contractor and meet the requirements of National Fire Protection Association Standard 24. Plans for the underground fire sprinkler service line shall be submitted for review and approval to ACFR. A current list of registered contractors can be found by going to <https://www.colorado.gov/dfpc/fire-suppression-system-contractors>. Once installed, all underground fire sprinkler service lines must be inspected by an ACFR inspector before covering. Attached is a guideline for the inspections required for an underground fire sprinkler service line.

11. Unobstructed access to fire hydrants shall be maintained at all times. Fire department personnel shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants. A 3-foot (radius) clear space shall be maintained around the circumference of fire hydrants. Within that 6-foot diameter circle and within a 6-foot-wide path leading to the 4.5-inch outlet of a hydrant, vegetation shall be no higher than 4 inches above grade. The unobstructed vertical clearance within that 6-foot circle and 6-foot approach path shall not be less than 7 feet, unless otherwise approved by the Fire District.
12. The FDC for each building with a fire sprinkler system must be located within 150 feet of a fire hydrant. **No FDC's will be required most likely based on the type of fire sprinkler system typically installed in townhomes.**
13. A fire hydrant shall be located within 400' (unsprinklered building) or 600' (fully sprinkled building) of all ground level exterior portions of the building. **Unable to verify, no hydrants are shown on the conceptual plan. A utility plan shall be provided to verify hydrant locations.**
14. The number and distribution of fire hydrants is based on the required fire flow. You may refer to Appendix C of the 2018 IFC for guidance.

<b>FIRE-FLOW CALCULATION AREA</b> (square foot)	<b>AUTOMATIC SPRINKLER SYSTEM</b> (Design Standard)	<b>MINIMUM FIRE FLOW</b> (gallons per minute)	<b>FLOW DURATION</b> (hours)
0–3,600	No automatic sprinkler system	1,000	1
3,601 and greater	No automatic sprinkler system	Value in Table B105.1(2)	Duration in Table B105.1(2) at the required fire-flow rate
0–3,600	Section 903.3.1.3 of the <i>International Fire Code</i> or Section P2904 of the <i>International Residential Code</i>	500	$\frac{1}{2}$
3,601 and greater	Section 903.3.1.3 of the <i>International Fire Code</i> or Section P2904 of the <i>International Residential Code</i>	$\frac{1}{2}$ value in Table B105.1(2)	1

For SI: 1 square foot = 0.0929 m<sup>2</sup>, 1 gallon per minute = 3.785 L/m.

**TABLE B105.1(2)**  
**REFERENCE TABLE FOR TABLES B105.1(1) AND B105.2**

FIRE-FLOW CALCULATION AREA (square feet)					FIRE FLOW (gallons per minute) <sup>b</sup>	FLOW DURATION (hours)
Type IA and IB <sup>a</sup>	Type IIA and IIIA <sup>a</sup>	Type IV and V-A <sup>a</sup>	Type IIB and IIIB <sup>a</sup>	Type V-B <sup>a</sup>		
0-22,700	0-12,700	0-8,200	0-5,900	0-3,600	1,500	2
22,701-30,200	12,701-17,000	8,201-10,900	5,901-7,900	3,601-4,800	1,750	
30,201-38,700	17,001-21,800	10,901-12,900	7,901-9,800	4,801-6,200	2,000	
38,701-48,300	21,801-24,200	12,901-17,400	9,801-12,600	6,201-7,700	2,250	
48,301-59,000	24,201-33,200	17,401-21,300	12,601-15,400	7,701-9,400	2,500	
59,001-70,900	33,201-39,700	21,301-25,500	15,401-18,400	9,401-11,300	2,750	
70,901-83,700	39,701-47,100	25,501-30,100	18,401-21,800	11,301-13,400	3,000	3
83,701-97,700	47,101-54,900	30,101-35,200	21,801-25,900	13,401-15,600	3,250	
97,701-112,700	54,901-63,400	35,201-40,600	25,901-29,300	15,601-18,000	3,500	
112,701-128,700	63,401-72,400	40,601-46,400	29,301-33,500	18,001-20,600	3,750	
128,701-145,900	72,401-82,100	46,401-52,500	33,501-37,900	20,601-23,300	4,000	4
145,901-164,200	82,101-92,400	52,501-59,100	37,901-42,700	23,301-26,300	4,250	
164,201-183,400	92,401-103,100	59,101-66,000	42,701-47,700	26,301-29,300	4,500	
183,401-203,700	103,101-114,600	66,001-73,300	47,701-53,000	29,301-32,600	4,750	
203,701-225,200	114,601-126,700	73,301-81,100	53,001-58,600	32,601-36,000	5,000	
225,201-247,700	126,701-139,400	81,101-89,200	58,601-65,400	36,001-39,600	5,250	
247,701-271,200	139,401-152,600	89,201-97,700	65,401-70,600	39,601-43,400	5,500	
271,201-295,900	152,601-166,500	97,701-106,500	70,601-77,000	43,401-47,400	5,750	
295,901-Greater	166,501-Greater	106,501-115,800	77,001-83,700	47,401-51,500	6,000	
—	—	115,801-125,500	83,701-90,600	51,501-55,700	6,250	
—	—	125,501-135,500	90,601-97,900	55,701-60,200	6,500	
—	—	135,501-145,800	97,901-106,800	60,201-64,800	6,750	
—	—	145,801-156,700	106,801-113,200	64,801-69,600	7,000	
—	—	156,701-167,900	113,201-121,300	69,601-74,600	7,250	
—	—	167,901-179,400	121,301-129,600	74,601-79,800	7,500	
—	—	179,401-191,400	129,601-138,300	79,801-85,100	7,750	
—	—	191,401-Greater	138,301-Greater	85,101-Greater	8,000	

For SI: 1 square foot = 0.0929 m<sup>2</sup>, 1 gallon per minute = 3.785 L/m, 1 pound per square inch = 6.895 kPa.

a. Types of construction are based on the *International Building Code*.

b. Measured at 20 psi residual pressure.

**TABLE B105.2**  
**REQUIRED FIRE FLOW FOR BUILDINGS OTHER THAN ONE- AND TWO-FAMILY DWELLINGS, GROUP R-3 AND R-4 BUILDINGS AND TOWNHOUSES**

AUTOMATIC SPRINKLER SYSTEM (Design Standard)	MINIMUM FIRE FLOW (gallons per minute)	FLOW DURATION (hours)
No automatic sprinkler system	Value in Table B105.1(2)	Duration in Table B105.1(2)
Section 903.3.1.1 of the <i>International Fire Code</i>	25% of the value in Table B105.1(2) <sup>a</sup>	Duration in Table B105.1(2) at the reduced flow rate
Section 903.3.1.2 of the <i>International Fire Code</i>	25% of the value in Table B105.1(2) <sup>b</sup>	Duration in Table B105.1(2) at the reduced flow rate

For SI: 1 gallon per minute = 3.785 L/m.

a. The reduced fire flow shall be not less than 1,000 gallons per minute.

b. The reduced fire flow shall be not less than 1,500 gallons per minute.

**TABLE C102.1  
REQUIRED NUMBER AND SPACING OF FIRE HYDRANTS<sup>h</sup>**

<b>FIRE-FLOW REQUIREMENT (gpm)</b>	<b>MINIMUM NUMBER OF HYDRANTS</b>	<b>AVERAGE SPACING BETWEEN HYDRANTS<sup>a, b, c, f, g</sup> (feet)</b>	<b>MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO A HYDRANT<sup>d, f, g</sup></b>
1,750 or less	1	500	250
1,751–2,250	2	450	225
2,251–2,750	3	450	225
2,751–3,250	3	400	225
3,251–4,000	4	350	210
4,001–5,000	5	300	180
5,001–5,500	6	300	180
5,501–6,000	6	250	150
6,001–7,000	7	250	150
7,001 or more	8 or more <sup>e</sup>	200	120

For SI: 1 foot = 304.8 mm, 1 gallon per minute = 3.785 L/m.

- a. Reduce by 100 feet for dead-end streets or roads.
- b. Where streets are provided with median dividers that cannot be crossed by fire fighters pulling hose lines, or where arterial streets are provided with four or more traffic lanes and have a traffic count of more than 30,000 vehicles per day, hydrant spacing shall average 500 feet on each side of the street and be arranged on an alternating basis.
- c. Where new water mains are extended along streets where hydrants are not needed for protection of structures or similar fire problems, fire hydrants shall be provided at spacing not to exceed 1,000 feet to provide for transportation hazards.
- d. Reduce by 50 feet for dead-end streets or roads.
- e. One hydrant for each 1,000 gallons per minute or fraction thereof.
- f. A 50-percent spacing increase shall be permitted where the building is equipped throughout with an approved automatic sprinkler system in accordance with Section 903.3.1.1 of the *International Fire Code*.
- g. A 25-percent spacing increase shall be permitted where the building is equipped throughout with an approved automatic sprinkler system in accordance with Section 903.3.1.2 or 903.3.1.3 of the *International Fire Code* or Section P2904 of the *International Residential Code*.
- h. The fire code official is authorized to modify the location, number and distribution of fire hydrants based on site-specific constraints and hazards.

#### **Automatic Fire Sprinkler System:**

**As stated in Section 903.2.8 of the 2018 International Fire Code as adopted and amended by Adams County, an approved residential fire sprinkler system is REQUIRED. Please be aware that if a residential fire sprinkler system is going to be installed in accordance with NFPA 13D the fire sprinkler plans must be submitted to us for review under a separate permit. If the system will be a multipurpose system and designed and installed in accordance with IRC section P2904, plans shall be submitted to Adams County Building Division for review and permitting. If a P2904 system is to be installed, please provide us with a record of the Building Division's approval.**

#### **Other Helpful Information:**

15. Please be aware that the fire code does not specify building fire rating or set-back requirements. These are located within the building code and therefore are out of our scope. This preliminary review does not approve anything covered under the building code. These requirements need to be verified with the County's Building and Planning Departments.
16. Please be aware that we are a separate entity from the County and anytime you submit to the county, you will need to submit to us separately utilizing a dropbox that you will be set up with.



17. The following reviews and permits are often needed for new development projects:

- a. Site Development and Water Plans
  - i. Civil Plans
  - ii. Utility Plans
  - iii. Autoturn Exhibit (use attached apparatus specifications)
- b. New Construction Building Plans
  - i. Architectural
  - ii. MEP
- c. Fire Protection System Plans
  - i. Fire Alarm
  - ii. Fire Sprinkler

18. Site development plans must be reviewed and approved before plans for all buildings and fire protection systems are submitted to us for review and permitting. All fees (permit and impact) shall be paid at time of permit pick-up.

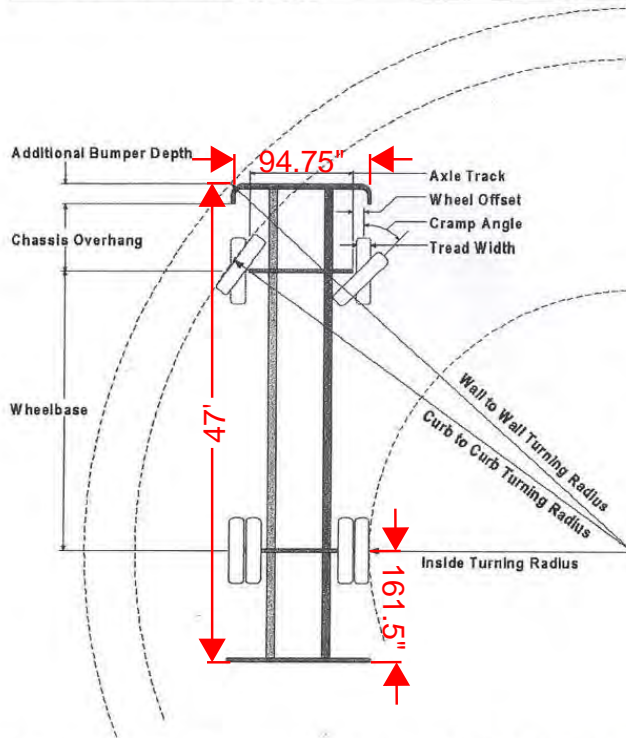


## Turning Performance Analysis

09/28/2017

**Bid Number:** 593  
**Department:** Adams County Fire Rescue

**Chassis:** Arrow XT Chassis, PAP, PUC  
**Body:** Aerial, Platform 100', PUC, Alum Body



### Parameters:

Inside Cramp Angle:	40°
Axle Track:	82.92 in.
Wheel Offset:	5.30 in.
Tread Width:	17.50 in.
Chassis Overhang:	68.99 in.
Additional Bumper Depth:	16.00 in.
Front Overhang:	84.99 in.
Wheelbase:	277.50 in.

### Calculated Turning Radii:

Inside Turn:	26 ft. 5 in.
Curb to curb:	42 ft. 8 in.
Wall to wall:	49 ft. 0 in.

### Comments:

#### Other Notes:

The front bumper extends 16 inches from the face of the cab.

The width is 19' with outriggers fully extended.

Angle of approach & departure: 15 degree

Category Description:	OptionID:	Option Description:
Axle, Front, Custom	0090913	Axle, Front, Oshkosh TAK-4, Non Drive, 24,000 lb, Qtm/AXT/DCF
Wheels, Front	0019618	Wheels, Front, Alcoa, 22.50" x 13.00", Aluminum, Hub Pilot
Tires, Front	0582746	Tires, Front, Goodyear, G296 MSA, 445/65R22.50, 20 ply
Bumpers	0606536	Bumper, 16" Extended, Steel Painted, Arrow XT
Aerial Devices	0592931	Aerial, 100' Pierce Platform, 50 MPH Wind Rating, 150lb Tip Load Allowance

### Notes:

Actual Inside cramp angle may be less due to highly specialized options.

Curb to Curb turning radius calculated for 9.00 inch curb.

## Underground Fire Sprinkler Service Line Requirements

When installing an underground fire sprinkler system service line in our jurisdiction, the installing contractor shall be responsible for the following:

1. Notifying the authority having jurisdiction and the owner's representative of the time and date testing is to be performed
2. Performing all required acceptance tests below and completing and signing the contractor's material and test certificate(s)
  - **Visual:** All underground piping and joints must be uncovered and exposed, with labeling of the pipe legible from grade. All thrust blocks will be visually inspected and must be uncovered and exposed to grade. Depth of bury of the pipe shall be measured and verified. All ductile iron, retaining rods, and other non-plastic components shall be externally coated for corrosion and poly wrapped.
  - **Hydrostatic Test:** Underground piping will have to have passed the visual inspection first. The hydrostatic test will be at 200 psi or at 50 psi in excess of the system working pressure, whichever is greater, and shall maintain that pressure  $\pm 5$  psi for 2 hours. Testing to be from the gate valve to the top of the spigot. Pressure loss shall be determined by a drop in gauge pressure or visual leakage. Only liquid filled gauge rated for over 200 PSI will be accepted. Time stamped picture of the gauge will need to be provided to the inspector to show when pressure was put on the line.
  - **Flush:** Underground piping, from the water supply to the system riser, and lead-in connections to the system riser shall be completely flushed before connection is made to downstream fire protection system piping. This flush needs to be witnessed by ACFR staff. The flushing operation shall be continued for a sufficient time to ensure thorough cleaning. The minimum rate of flow shall be not less than one of the following:
    - Hydraulically calculated water demand rate of the system, including any hose requirements
    - Maximum flow rate available to the system under fire conditions
    - Flow necessary to provide a velocity of 10 ft/sec (preferred method)

Underground Pipe Size (in)	Required Flow Rate (gpm)	Hose/Pipe Sizes					
		2½"	3"	4"	5"	6"	8"
4	390	1	1	1	-	-	-
6	880	2	2	1	1	1	-
8	1560	4	3	2	1	1	1
10	2440	6	4	3	2	1	1
12	3520	8	6	4	2	2	1

Provision shall be made for the proper disposal of water used for flushing or testing. A mechanical method of securing the discharge flushing line(s), (like a Hose Monster, tube hitch adapter/Pipe Vice shall be used). The flushing discharge line shall be mechanically secured. The inspection will be failed immediately if the flushing line is not mechanically secured and creates a dangerous atmosphere. A diffuser attached to the end of the flushing line should be utilized.

- **Pitot Test:** The contractor shall provide all equipment required to take a pitot reading to ensure that all street or isolation valves are open, and the required flow for base of riser is available.
3. After the riser has been flushed and hydrostatically tested, a blank cover shall be installed /secured to cover any/ all open-end risers.



## Turning Performance Analysis

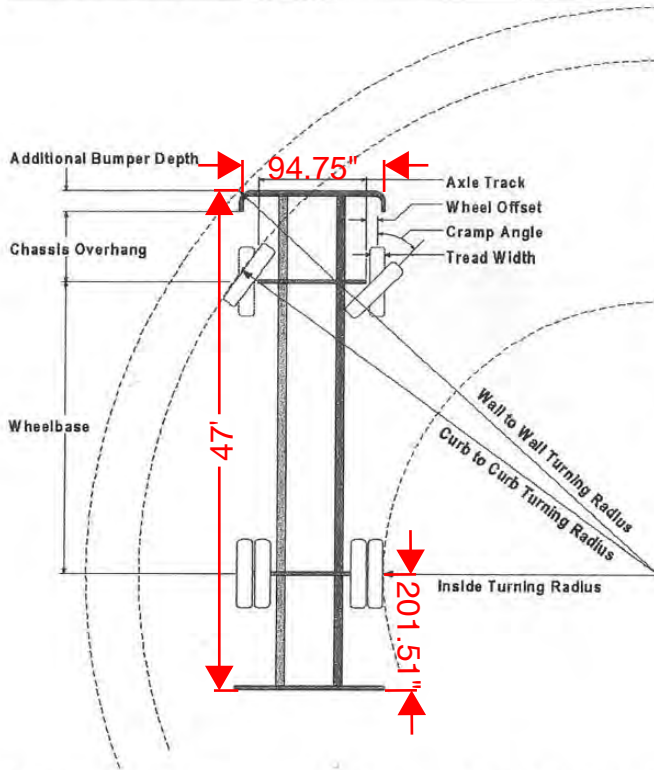
09/28/2017

**Bid Number:** 593

**Department:** Adams County Fire Rescue

**Chassis:** Arrow XT Chassis, PAP, PUC

**Body:** Aerial, Platform 100', PUC, Alum Body



### Parameters:

Inside Cramp Angle:	40°
Axle Track:	82.92 in.
Wheel Offset:	5.30 in.
Tread Width:	17.50 in.
Chassis Overhang:	68.99 in.
Additional Bumper Depth:	16.00 in.
Front Overhang:	84.99 in.
Wheelbase:	277.50 in.

### Calculated Turning Radii:

Inside Turn:	26 ft. 5 in.
Curb to curb:	42 ft. 8 in.
Wall to wall:	49 ft. 0 in.

### Comments:

#### Other Notes:

The front bumper extends 16 inches from the face of the cab.

The width is 19' with outriggers fully extended.

Angle of approach & departure: 15 degree

Category Description:	OptionID:	Option Description:
Axle, Front, Custom	0090913	Axle, Front, Oshkosh TAK-4, Non Drive, 24,000 lb, Qtm/AXT/DCF
Wheels, Front	0019618	Wheels, Front, Alcoa, 22.50" x 13.00", Aluminum, Hub Pilot
Tires, Front	0582746	Tires, Front, Goodyear, G296 MSA, 445/65R22.50, 20 ply
Bumpers	0606536	Bumper, 16" Extended, Steel Painted, Arrow XT
Aerial Devices	0592931	Aerial, 100' Pierce Platform, 50 MPH Wind Rating, 150lb Tip Load Allowance

### Notes:

Actual Inside cramp angle may be less due to highly specialized options.

Curb to Curb turning radius calculated for 9.00 inch curb.

## Greg Barnes

---

**From:** Carla Gutierrez <cgutierrez@acfpd.org>  
**Sent:** Thursday, November 11, 2021 10:55 AM  
**To:** Greg Barnes  
**Subject:** RE: Resubmittal: Berkeley Villas (PRC2021-00003)  
**Attachments:** ACFR Truck 11 Specs.pdf

Please be cautious: This email was sent from outside Adams County

Good morning Greg,

Some of my previous comments remain from the first round of review. They responded to some of the comments on the second round of review and I did not comment back so I do apologize for that. Please see the remaining comments below:

1. Turn-path analysis was not submitted with the second submittal. Please submit the turn-path analysis using our fire apparatus specifications. I have attached them to this email.
2. Utility plan was not provided with the second submittal to review the proposed hydrant locations.  
Per applicant response on second submittal, the buildings will not exceed 30 feet in height. **Fire apparatus access roads shall have an unobstructed width of 24 feet at all times. If hydrants are present along the road, the road width shall increase to 26 feet. In addition, "No parking" signs shall be provided on the areas of the street where no parking is allowed.**

Please let me know if you have any questions.

Thank you!

Carla Gutierrez  
Deputy Fire Marshal  
Adams County Fire Rescue  
7980 Elmwood Lane  
Denver, Colorado 80221



Sent from [Mail](#) for Windows 10

---

**From:** [Greg Barnes](#)  
**Sent:** Friday, October 29, 2021 9:51 AM

## Greg Barnes

---

**From:** Carla Gutierrez <cgutierrez@acfpd.org>  
**Sent:** Tuesday, January 11, 2022 9:05 AM  
**To:** Greg Barnes  
**Subject:** Re: For Review: Berkeley Villas (PRC2021-00003)

Please be cautious: This email was sent from outside Adams County

Good morning Greg,

All of our comments have been addressed.

Thank you!

Carla Gutierrez  
Deputy Fire Marshal  
Adams County Fire Rescue  
7980 Elmwood Lane  
Denver, Colorado 80221



Get [Outlook for iOS](#)

---

**From:** Greg Barnes <GJBarnes@adcogov.org>  
**Sent:** Wednesday, December 22, 2021 12:29:52 PM  
**To:** Greg Barnes <GJBarnes@adcogov.org>  
**Subject:** For Review: Berkeley Villas (PRC2021-00003)

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

You previously provided comments on applications for preliminary plat and rezoning known as Berkeley Villas (PRC2021-00003). The applicant has resubmitted.

Please review the recent resubmittal by visiting our Current Land Use Case website at:

<https://www.adcogov.org/planning/currentcases>

The specific documents of this resubmittal can be found at: <https://adcogov.org/sites/default/files/PRC2021-00003-submittal4.PDF>

Comments on this resubmittal should be emailed to me ([gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)) on or before January 10, 2022.

Thank you!



**BERKELEY WATER AND SANITATION DISTRICT  
4455 WEST 58<sup>th</sup> AVENUE, UNIT A  
ARVADA, COLORADO 80002  
303-477-1914  
Email: [berkeleywater@gmail.com](mailto:berkeleywater@gmail.com)**

2/22/2022

Travis Frazier  
Redland Construction  
1500 West Canal Court  
Littleton, CO 80120

Re: 2922 W 56th Ave., Denver, CO 80221  
Availability of sanitary sewer services

Dear Mr. Frazier:

This conditional will serve letter confirms that Berkeley Water and Sanitation District ("District") has the capacity to provide sewer services to above described property (the "Property"), under the following terms and conditions:

1. If any of these conditions are not met, this "will serve" letter will be rescinded and the appropriate parties will be notified that the District can no longer provide sewer service to this property.
2. The District owns an 10" sewer main in W 56<sup>th</sup> Ave. The property owner may be required to install sewer main extensions, feeding into this present system, to facilitate development, depending upon design.
3. Each unit served must have its own sewer service lines, on its own land or easement. The engineering design and/or plans must be submitted and approved by the District prior to installation of any sewer service lines or tapping into any District sewer mains.
4. If a property is removing existing structures, the existing sewer service line(s) must be capped or plugged at the sewer main prior to demolition. The District must be called to observe and inspect this action before further construction begins.
5. The property owner will be required to pay tap fees, review fees and costs, and all other applicable fees and charges prior to receiving sewer service from the District. The District may require a review deposit for District costs, including engineering and legal reviews, contract development, construction, observation and



inspections. If the Developer makes a review deposit with the District, over payments will be refunded and shortages will be billed to the property owner.

6. If the extension of sewer mains is required, the District's engineering firm must review and approve the designs. The District's review and approval of the construction contract for the extension is also required before the work can commence. A contract must be developed, appropriate Certificates of Insurance presented, and Warranty and Performance Bonds must be posted. In addition, the property owner will be required to dedicate easements for any public improvements.

7. The design specifications for the Project must comply with the District's Rules and Regulations, Adams County Fire Protection District regulations, and Adams County regulations. All sewer service will be subject to the District's Rules and Regulations.

8. Sewer tap fees will be payable to the District, which also collects Metro Wastewater's "connection fees." Fees to all agencies will be at prevailing rates at the time of application.

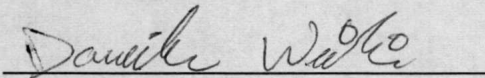
9. No representations are made regarding the availability of water service to the Property.

To reiterate, all costs incurred by the District and fees charged by the District, including without limitation tap fees, review costs, contract development, construction, observation and inspections, are the responsibility of the property owner as a condition of receipt of sewer service. If expenses are incurred and no payment is made, no taps will be issued and a lien will be placed against the property until paid per the District's Rules and Regulations and current Fee Schedule.

This conditional will serve letter is valid through February 22, 2023. If tap fees are not paid by that date, this agreement to service must be renewed through the District.

We look forward to providing services to the Property.

Sincerely,

A handwritten signature in cursive script, appearing to read "Danielle Wake", is written over a horizontal line.

BERKELEY WATER AND SANITATION DISTRICT

## Greg Barnes

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**From:** Loeffler - CDOT, Steven <steven.loeffler@state.co.us>  
**Sent:** Thursday, July 1, 2021 7:38 AM  
**To:** Greg Barnes  
**Cc:** David Dixon - CDOT; Bradley Sheehan - CDOT  
**Subject:** Re: For Review: TTLC-56th/Federal (PRC2021-00003)

Please be cautious: This email was sent from outside Adams County

Greg,

I have reviewed the referral for TTLC - 56th and Federal and the application to rezone to TOD and the Preliminary Plat for major subdivision on property located at 2880 W. 56th Ave. and have no objections. Due to the potential impact of this development to the intersection of 56th Ave. and Federal Blvd. (State Highway 287) we would like the opportunity to review the traffic impact study.

Thank you for the opportunity to review this referral.

**Steve Loeffler**  
Permits Unit- Region 1



P 303.757.9891 | F 303.757.9053  
2829 W. Howard Pl. 2nd Floor, Denver, CO 80204  
[steven.loeffler@state.co.us](mailto:steven.loeffler@state.co.us) | [www.codot.gov](http://www.codot.gov) | [www.cotrip.org](http://www.cotrip.org)

On Thu, Jun 3, 2021 at 3:10 PM Greg Barnes <[GJBarnes@adcogov.org](mailto:GJBarnes@adcogov.org)> wrote:

The Adams County Planning Commission is requesting comments on the following applications:

1. **Rezoning to Transit-Oriented Development (TOD);**
2. **Preliminary Plat for major subdivision.**

This request is located at 2880 West 56th Avenue. The Assessor's Parcel Numbers are 0182517103052 and 0182517103053.

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6800 by **06/30/2021** in

# STATE OF COLORADO

## Traffic & Safety

Region 1

2829 W. Howard Place

Denver, Colorado 80204



**COLORADO**  
Department of Transportation

Project Name: **Berkeley Villas**

Print Date: 10/7/2021

Highway:

287

Mile Marker:

286.759

### Traffic Comments:

#### General Comments:

From the TIS analysis, the two intersections of Federal with the I-76 ramps will experience a minor amount of traffic to/from the Berkeley Villas development. No reductions in level-of-service (LOS) on any of the approaches or for the overall operations at either of these intersections are noted in the 2028 or 2040 build scenarios as compared to the background traffic scenarios for these years.

Likewise, the intersection at Federal and 56<sup>th</sup> Avenue will receive a relatively minor amount of traffic from the Berkeley Villas development. The LOS does not change for any of the approaches with the development traffic added in the 2028 and 2040 scenarios with one exception – the SBL movement changes from LOS A to LOS B for the PM peak hour due to development traffic added in the 2028 build scenario. LOS B carries through to the 2040 build scenario.

The TIS shows only minor impacts to the three on-system CDOT intersections in the study area. All approaches in the 2028 and 2040 build scenarios are projected to operate at LOS D or better. Therefore, no geometric or operational modifications are proposed for these intersections by the applicant/developer. CDOT Traffic & Safety concurs with these conclusions based on the information and analysis presented in the TIS.

#### Trip Generation Comments:

The TIS uses residential land use code 210, Single-family detached housing, for trip generation rates based on fitted curves rather than averages. However, the development consists of 82 attached townhomes on 2 or possibly 3 floors. Therefore, residential LU codes 220 (low-rise multi-family) or 221 (mid-rise multi-family) may be more appropriate. On the other hand, the use of code 210 yields higher trip generation rates than codes 220 or 221, so it represents a more conservative scenario in this regard. This approach is reasonable, and we are not requesting or recommending any changes to the analysis in this regard.

#### Synchro Analysis Comments:

There appears to be an incorrect cell value in the LOS results shown in Table 2. Based on the Synchro reports, it appears that the overall intersection LOS for the 2040 background PM peak hour at the Federal and EB I-76 ramps should be A rather than B as reported in the table. This is a very minor discrepancy, but it points to what may be a larger issue with the Synchro analysis.

Based on the Synchro reports for the Federal and I-76 EB ramp intersection, the overall intersection LOS improves and the intersection delay decreases between 2028 and 2040 scenarios in the PM peak hour for both the background and build conditions. It seems counterintuitive for the intersection LOS and delay to improve over time with additional traffic impacts and no geometric or operational improvements. This discrepancy is inconsequential since the intersection analysis demonstrates very good LOS in the future build scenarios with all approaches operating at LOS D or better for the on-system intersections. The PM peak hour for the intersection of Federal and the I-76 ramps is the only case where we saw this inconsistency for any of the on-system intersections. No changes are requested for the analysis, but if the TIS is updated in the future it might be desirable to address this issue at that time.

#### Build Scenario Comments:

There is a Maverik convenience store / gas station proposed for the SE corner of Federal and W.

56<sup>th</sup> Avenue. However, the traffic from this development was not included in the Berkeley Villas TIS. Given the relatively minor amount of peak hour traffic from the Berkeley Villas development, we don't feel that it would warrant modifications to the on-system intersection geometrics or operations even if the Maverik gas station traffic impacts were included in the background traffic scenarios. We mention the Maverik development for reference but are not requesting any changes to the TIS. If the TIS is updated in the future, it might be desirable to address this issue at that time.

EB 10/1/2021

# STATE OF COLORADO

## Traffic & Safety

Region 1

2829 W. Howard Place

Denver, Colorado 80204



COLORADO  
Department of Transportation

Project Name: **Berkeley Villas**

Print Date: 1/10/2022

Highway:

287

Mile Marker:

286.759

### Traffic Comments:

CDOT Region 1 Traffic & Safety has reviewed the Response to Comments in the resubmittal dated December 17, 2021, for the proposed Berkeley Villas residential development. Our original comments made on October 1, 2021, noted a few relatively minor issues but did not request an update to the traffic impact study or other documents. As such, no traffic-related documents were resubmitted, and we have no additional comments in this regard.

Everett Bacon, 1/4/22

### General Comments:

From the TIS analysis, the two intersections of Federal with the I-76 ramps will experience a minor amount of traffic to/from the Berkeley Villas development. No reductions in level-of-service (LOS) on any of the approaches or for the overall operations at either of these intersections are noted in the 2028 or 2040 build scenarios as compared to the background traffic scenarios for these years.

Likewise, the intersection at Federal and 56<sup>th</sup> Avenue will receive a relatively minor amount of traffic from the Berkeley Villas development. The LOS does not change for any of the approaches with the development traffic added in the 2028 and 2040 scenarios with one exception — the SBL movement changes from LOS A to LOS B for the PM peak hour due to development traffic added in the 2028 build scenario. LOS B carries through to the 2040 build scenario.

The TIS shows only minor impacts to the three on-system CDOT intersections in the study area. All approaches in the 2028 and 2040 build scenarios are projected to operate at LOS D or better. Therefore, no geometric or operational modifications are proposed for these intersections by the applicant/developer. CDOT Traffic & Safety concurs with these conclusions based on the information and analysis presented in the TIS.

### Trip Generation Comments:

The TIS uses residential land use code 210, Single-family detached housing, for trip generation rates based on fitted curves rather than averages. However, the development consists of 82 attached townhomes on 2 or possibly 3 floors. Therefore, residential LU codes 220 (low-rise multi-family) or 221 (mid-rise multi-family) may be more appropriate. On the other hand, the use of code 210 yields higher trip generation rates than codes 220 or 221, so it represents a more conservative scenario in this regard. This approach is reasonable, and we are not requesting or recommending any changes to the analysis in this regard.

### Synchro Analysis Comments:

There appears to be an incorrect cell value in the LOS results shown in Table 2. Based on the Synchro reports, it appears that the overall intersection LOS for the 2040 background PM peak hour at the Federal and EB I-76 ramps should be A rather than B as reported in the table. This is a very minor discrepancy, but it points to what may be a larger issue with the Synchro analysis.

Based on the Synchro reports for the Federal and I-76 EB ramp intersection, the overall intersection LOS improves and the intersection delay decreases between 2028 and 2040 scenarios in the PM peak hour for both the background and build conditions. It seems counterintuitive for the intersection LOS and delay to improve over time with additional traffic impacts and no geometric or operational improvements. This discrepancy is inconsequential since the intersection analysis demonstrates very good LOS in the future.

build scenarios with all approaches operating at LOS D or better for the on-system intersections. The PM peak hour for the intersection of Federal and the I-76 ramps is the only case where we saw this inconsistency for any of the on-system intersections. No changes are requested for the analysis, but if the TIS is updated in the future it might be desirable to address this issue at that time.

**Build Scenario Comments:**

There is a Maverik convenience store / gas station proposed for the SE corner of Federal and W-56<sup>th</sup> Avenue. However, the traffic from this development was not included in the Berkeley Villas TIS. Given the relatively minor amount of peak hour traffic from the Berkeley Villas development, we don't feel that it would warrant modifications to the on-system intersection geometrics or operations even if the Maverik gas station traffic impacts were included in the background traffic scenarios. We mention the Maverik development for reference but are not requesting any changes to the TIS. If the TIS is updated in the future, it might be desirable to address this issue at that time.

EB 10/1/2021



**COLORADO**  
Division of Water Resources  
Department of Natural Resources

June 9, 2021

Greg Barnes, Planner III  
Adams County Community and Economic Development  
Transmission via email: [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

**Re: TTLC 56<sup>th</sup> & Federal Subdivision**  
Case No. PRC2021-00003  
Part of the NW ¼ NE ¼ of Sec. 17, T 3S, R 68W, 6<sup>th</sup> P.M.  
Water Division 1, Water District 7

Dear Greg Barnes:

We have reviewed the June 3, 2021 proposal to rezone and subdivide a 4.9-acre parcel located at 2922 W 56<sup>th</sup> Avenue located in the NW ¼ NE ¼ of Sec. 17, T 3S, R 68W, 6<sup>th</sup> P.M. The parcel will be rezoned to transit-oriented development (TOD) and subdivided into 82 residential lots on which townhomes will be developed.

Water Supply Demand

Estimated water demand and proposed uses were not provided.

Source of Water Supply

There are no permitted wells on the subject property. The proposed water source for the property is service provided by Denver Water. According to the letter dated November 25, 2019 from Denver Water ("letter"), the property is within Denver Water's service area and is eligible to receive water service and also the property is within the Berkeley Water and Sanitation District's ("District") service area and is eligible to receive water service subject to Denver Water's Engineering Standards and Operating Rules and payment of applicable charges. This office has not received information that these requirements have been met. According to information available to our office, Denver Water took over the District's water system on January 1, 2018. Denver Water is considered to be a reliable water source.

State Engineer's Office Opinion

Based upon the above and pursuant to sections 30-28-136(1)(h)(I) and 30-28-136(1)(h)(II), C.R.S., it is our opinion that the proposed water supply is adequate and can be provided without causing injury to decreed water rights, **as long as the Denver Water is committed to supply water to the lots.**

If you, or the applicant, have any questions please contact Wenli Dickinson at 303-866-3581 x8206 or at [Wenli.Dickinson@state.co.us](mailto:Wenli.Dickinson@state.co.us).

Sincerely,

Joanna Williams, P.E.  
Water Resources Engineer

Ec: Subdivision file no. 27737  
Applicant ([dclock@thetruelifecompanies.com](mailto:dclock@thetruelifecompanies.com))





# COLORADO GEOLOGICAL SURVEY

1801 Moly Road  
Golden, Colorado 80401



Karen Berry  
State Geologist

June 30, 2021

Greg Barnes  
Adams County  
Community & Economic Development  
GJBarnes@adcogov.org

**Location:**  
N NW NE Section 17,  
T3S, R68W of the 6<sup>th</sup> P.M.  
39.7976, -105.023

**Subject: TTLC – 56<sup>th</sup> & Federal  
Rezoning to Transit-Oriented Development (TOD) and Preliminary Plat for Major Subdivision  
Case Number PRC2021-00003; Adams County, CO; CGS Unique No. AD-21-0018**

Dear Greg:

Colorado Geological Survey has reviewed the TTLC – 56<sup>th</sup> & Federal referral. I understand the applicant proposes 84 single-family attached townhome units in 15 buildings on approximately 4.9 acres located southeast of Federal Boulevard and W. 56<sup>th</sup> Avenue (physical address 2880 W. 56<sup>th</sup> Avenue).

The site is not exposed to or located within any identified geologic hazard areas that would preclude the proposed residential use and density. **CGS therefore has no objection to approval of the rezoning and plat as proposed.**

**Mineral resource potential.** According to the Atlas of Sand, Gravel, and Quarry Aggregate Resources, Colorado Front Range Counties (Schwochow et al, Colorado Geological Survey Special Publications 5-A, Plate 2, and 5-B, Arvada Quadrangle, 1974), the subject property is located within a mapped “E3” resource area, described as a wind-deposited sand.

A determination of whether the property contains an economic mineral resource is outside the scope of CGS review. A site-specific investigation would be required to verify the presence or absence of a mineral resource. However, even if a resource were determined to be present, the site’s small size and close proximity of existing residential development (due to noise, air quality, and visual impact concerns) likely preclude economic extraction.

Potential development constraints that should be addressed through a site-specific geotechnical investigation consisting of drilling, sampling, lab testing and analysis prior to building permit application include but are not necessarily limited to moisture-sensitive (expansive and collapsible) soils and shallow groundwater/basement feasibility.

Thank you for the opportunity to review and comment on this project. If you have questions or require additional review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely,

Jill Carlson, C.E.G.  
Engineering Geologist

A handwritten signature in black ink, appearing to read "Jill Carlson", is written over the typed name and title.



## Greg Barnes

---

**From:** Naso, Kela A. <Kela.Naso@denverwater.org>  
**Sent:** Thursday, June 17, 2021 12:23 PM  
**To:** Greg Barnes  
**Subject:** RE: For Review: TTLC-56th/Federal (PRC2021-00003)

Please be cautious: This email was sent from outside Adams County

Good Morning Greg,

Denver Water has doesn't have comments regarding the rezoning of this lot. It looks like there maybe design issues with the water utility and I would recommend the developer contact our water sales team at [watersalesplanreview@denverwater.org](mailto:watersalesplanreview@denverwater.org) to set up a pre-deign meeting to discuss the proposed water main layout. Please let me know if you have any questions or concerns.

Thank you,

**Kela Naso** | Engineering Specialist  
**Denver Water** | t: 303-628-6302 | c: 720-517-4486  
[denverwater.org](http://denverwater.org) | [denverwaterTAP.org](http://denverwaterTAP.org)



---

**From:** Greg Barnes <GJBarnes@adcogov.org>  
**Sent:** Thursday, June 3, 2021 3:10 PM  
**To:** Greg Barnes <GJBarnes@adcogov.org>  
**Subject:** For Review: TTLC-56th/Federal (PRC2021-00003)

The Adams County Planning Commission is requesting comments on the following applications:

1. **Rezoning to Transit-Oriented Development (TOD);**
2. **Preliminary Plat for major subdivision.**

This request is located at 2880 West 56th Avenue. The Assessor's Parcel Numbers are 0182517103052 and 0182517103053.

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6800 by **06/30/2021** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to [GJBarnes@adcogov.org](mailto:GJBarnes@adcogov.org).

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you upon request. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases). *It may take a few business days before the case material is posted to the website.*

Thank you for your review of this case.

November 25, 2019

Owner/Developer  
c/o Travis Frazier  
Redland  
1500 W Canal Court  
Littleton, CO 80120

Re: THE SOUTH 150 FEET OF LOTS 4, 5, & 6.  
THE WEST 25 FEET OF THE NORTH 160 FEET OF LOT 6.  
LOTS 7, 8, & 9.  
THE NORTH 150 FEET OF LOT 19.  
EXCEPT; THE NORTH 160 FEET OF LOT 7, AND EXCEPT; THE EAST 20 FEET OF LOT 4,  
AND EXCEPT; THE SOUTH 20 FEET OF THE EAST 85 FEET OF LOT 4.  
OF THE RE-SUBDIVISION OF WESTMOORLAND, COUNTY OF ADAMS, STATE OF  
COLORADO.

Dear Owner/Developer:

Denver Water has been asked to determine whether the property described above is located within Denver Water's service area and eligible to receive water service from Denver Water. This letter verifies that the property is located within Berkeley Water and Sanitation District service area boundary and is eligible to receive water service. Any structure requiring water service on the property will be subject to comply with Denver Water's Engineering Standards and Operating Rules and payment of applicable charges.

Please check with the fire department to discuss the projects overall site flow requirements and fire hydrant placement. This information is critical in determining if the existing infrastructure is adequate and/or if the project will be required to loop an internal water line throughout the site.

If you have questions, or you would like to schedule a meeting to discuss the proposed project, please contact me at 303-628-6104.

Sincerely,

*Raquel Chandler*

Raquel Chandler  
Senior Plan Review Coordinator  
1600 W. 12<sup>th</sup> Avenue  
Denver, CO 80204  
Raquel.chandler@denverwater.org

## Greg Barnes

---

**From:** Clayton Woodruff <Clayton.Woodruff@RTD-Denver.com>  
**Sent:** Wednesday, June 16, 2021 12:59 PM  
**To:** Greg Barnes  
**Subject:** RE- TTLC-56th/Federal (PRC2021-00003)

Please be cautious: This email was sent from outside Adams County

Greg,

There is no comment from the RTD.

Thanks,



**C. Scott Woodruff**  
**Engineer III**

Regional Transportation District  
1560 Broadway, Suite 700, FAS-73 | Denver, CO 80202

o 303.299.2943 | m 303-720-2025  
[clayton.woodruff@rtd-denver.com](mailto:clayton.woodruff@rtd-denver.com)



June 30, 2021

Greg Barnes  
Adams County Community and Economic Development  
4430 South Adams County Parkway, Suite W2000A  
Brighton, CO 80601

RE: TTLC-56<sup>th</sup> & Federal, PRC2021-0003  
TCHD Case No. 7026 & 7027

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the Rezoning and Preliminary Plat for Major Subdivision for the for the 84 single-family attached townhome units on 4.9 acres located at 2922 West 56<sup>th</sup> Avenue. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has the following comments.

**Community design to support walking and bicycling**

Because chronic diseases related to physical inactivity and obesity now rank among the country's greatest public health risks, TCHD encourages community designs that make it easy for people to include regular physical activity, such as walking and bicycling, in their daily routines. Because research shows that the way we design our communities can encourage regular physical activity, TCHD strongly supports community plans that incorporate pedestrian and bicycle amenities that support the use of a broader pedestrian and bicycle network. Increasing multi-modal transportation has additional co-benefits including improved air quality, which can reduce contributions to climate change and exposure to pollutants associated with a number of health problems including asthma, lung cancer, and heart disease.

**Healthy building design standards:**

Building design can impact health in several ways including through the materials used and the amount of volatile organic compounds (VOCs) or other harmful chemicals that they contain, the air and water quality, the amount of daylight available, and even by encouraging physical activity and social interaction. TCHD encourages the applicant to consider incorporating design standards into the development to ensure a health-promoting environment. The applicant could pursue building certifications such as LEED, WELL Building Standard, Certified Healthy, or Living Building Challenge.

**Connections to Transit:**

Communities that promote walking, bicycling and transit trips can also help protect air quality by reducing vehicle trips and related emissions. TCHD supports projects that

address the needs of groups (e.g., seniors, the disabled) who cannot or do not drive. Transit-friendly developments can make it easier for these groups to access services and to maintain connections within the community, which can also have health benefits. Since research has shown that people who use transit regularly gain tremendous health benefits, TCHD commends the applicant for incorporating opportunities for increased pedestrian transportation from public transit to the single-family attached townhomes.

### **Community Design to Support Community Connection**

The way communities are designed can influence mental health and social connections. By providing community amenities, social interaction is supported and residents can build social capital which has known positive health effects. The incorporation of features like landscaping and green space can also reduce stress and promote positive psychological benefits. Because of this, TCHD encourages community designs that incorporate green space and common areas. We strongly support the applicant's plans to include pedestrian amenities such as a tot lot, lawn area and internal walks throughout the site.

### **Attainable Housing**

Access to safe, attainable housing is directly associated with positive physical and mental health outcomes and underlies one's ability to access jobs, food, medical services, and other essentials that are vital to well-being. Providing permanent supportive housing is an integral element of promoting health in our communities. TCHD supports projects that include an attainable housing component.

### **Radon**

Radon is a naturally occurring radioactive gas that is present at high levels in all parts of Colorado due to the presence of uranium in the soil. Radon can enter homes and long-term exposure causes lung cancer. In order to prevent radon from infiltrating the home, TCHD recommends designing new homes so that they are radon resistant. This includes laying a barrier beneath the flooring system, installing a gas-tight venting pipe from the gravel level through the roof, and sealing and caulking the foundation thoroughly. More information regarding radon and radon-resistant construction techniques can be found here: <https://www.epa.gov/radon/building-new-home-have-you-considered-radon>.

### **Mosquito Control - Stormwater Facilities**

The site plan indicates that a detention pond is proposed. Detention ponds can become sites for mosquito breeding. To reduce the potential for human exposures to West Nile and other mosquito-borne viruses, TCHD recommends that the applicant prepare a mosquito control plan. Elements of the plan should include proper design, construction and regular inspection and maintenance of stormwater quality facilities, and mosquito larvaciding if the insects become a problem. The applicant may submit the mosquito control plan to TCHD for review. More information is available here <http://www.tchd.org/276/Mosquitoes-West-Nile-Virus>. A guidance document is attached.



TTL-56<sup>th</sup> & Federal  
June 30, 2021  
Page 3 of 5

Please feel free to contact me at 720-200-1537 or [pmoua@tchd.org](mailto:pmoua@tchd.org) if you have any questions about TCHD's comments.

A handwritten signature in black ink, consisting of a series of loops and a trailing line.

Sincerely,

Pang Moua, MPP  
Land Use and Built Environment Specialist

cc: Sheila Lynch, Keith Homersham, TCHD

**Tri-County Health Department  
Guidance for Preparation of  
Mosquito Control Plan**

A Mosquito Control Plan should contain the following elements:

1. Designation of a management entity

This is the entity with authority/responsibility for implementing the plan. Typically, this will be a Special District or a Homeowners Association. If this is the case, the applicant shall submit a copy of the organizational Service Plan, by-laws or other legal document providing the authority for mosquito control. If the entity is the developer, this should be noted.

2. Funding mechanism

A method needs to be put in place to finance the program. This could be a commitment for the Service District, HOA or developer to include adequate funds for the activities as part of its annual budgeting process, or a plan by the District or HOA to assess an annual fee on residents in the subject service area, or to fund the program in some other way, per its legal authority as noted in #1.

3. Activities that will be undertaken to prevent mosquito breeding conditions

This section places emphasis on the proper design, construction, operation and maintenance of stormwater facilities to prevent mosquitoes from breeding. In most instances, it is nothing different than is already required by the County and Volume 3 of the Urban Drainage and Flood Control District's (UDFCD) Urban Storm Drainage Criteria Manual for flood control and stormwater quality. The literature on this subject, supported by local field experience, suggests that if stormwater facilities are well-designed, built to specification, and regularly inspected and maintained to meet operating standards, stormwater facilities that are designed to completely drain in 72 hours or less are likely to do so and to prevent mosquito breeding conditions.

The likelihood or extent of mosquito breeding can also be reduced through the proper design, construction and inspection/maintenance of retention ponds or constructed wetlands that are intended to hold permanent water pools.

We have found that at the time of construction of stormwater facilities, there is often little thought given to continuity of maintenance. Requiring the applicant to think through the tasks that need to be accomplished from design through operation, who will be responsible for tasks in each phase, and a schedule for their accomplishment increases the probability that these tasks will be completed.

Ideally, before getting to this point, the applicant will have considered stormwater facility options that do not rely on extended retention or detention of stormwater without flushing over a period of 2-3 days; e.g. grass swales, porous pavements, landscape detention, reducing directly connecting impervious areas to increase infiltration. This would be coordinated through and in compliance with the requirements of the County's Engineering and/or Stormwater sections.

Suggested elements in this section include the following:

- Design review – Qualified personnel review construction plans and conduct field investigation to ensure construction per specifications of UDFCD Volume 3 and County criteria.
- Operation and maintenance activities:  
This should identify who will conduct these activities (e.g., staff or contractor), and a schedule or trigger point for doing each task. Again, the UDFCD's Vol. 3 contains minimum operation and maintenance activities. If staff are to be used, this section should note if they will need training and how they will receive it.
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Natural control of mosquito larva can be very effective is done properly. Consult the Colorado Department of Wildlife, Fisheries Division, for consultation on proper stocking of ponds with fish that will effectively control mosquito larvae.

For Technical Assistance - Contact Janine Runfola, Tri-County Health Department's mosquito control specialist, if you have any questions about any elements of the mosquito control program. Ms. Runfola is in Tri-County's Aurora office; she can be reached by phone at 303-363-3064, or by e-mail at [jrunfola@tchd.org](mailto:jrunfola@tchd.org).



September 21, 2021

Greg Barnes  
Adams County Community and Economic Development  
4430 South Adams County Parkway, Suite W2000A  
Brighton, CO 80601

RE: TTLC-56<sup>th</sup> & Federal Resub, PRC2021-00003  
TCHD Case No. 7219

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the Site Plan and Plat for the 84 single-family attached townhome units on 4.9 acres located at 2922 West 56<sup>th</sup> Avenue. Tri-County Health Department (TCHD) staff previously reviewed the application for the Rezoning and Preliminary Plat for Major Subdivision and provided comments in a letter dated June 30, 2021. TCHD received a response from the applicant, dated August 24, 2021, and the applicant has responded to the following comments satisfactorily. No further information is required.

### **Community design to support walking and bicycling**

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### **Healthy building design standards:**

Building design can impact health in several ways including through the materials used and the amount of volatile organic compounds (VOCs) or other harmful chemicals that they contain, the air and water quality, the amount of daylight available, and even by encouraging physical activity and social interaction. TCHD encourages the applicant to consider incorporating design standards into the development to ensure a health-promoting environment. The applicant could pursue building certifications such as LEED, WELL Building Standard, Certified Healthy, or Living Building Challenge.



### Connections to Transit:

Communities that promote walking, bicycling and transit trips can also help protect air quality by reducing vehicle trips and related emissions. TCHD supports projects that address the needs of groups (e.g., seniors, the disabled) who cannot or do not drive. Transit-friendly developments can make it easier for these groups to access services and to maintain connections within the community, which can also have health benefits. Since research has shown that people who use transit regularly gain tremendous health benefits, TCHD commends the applicant for incorporating opportunities for increased pedestrian transportation from public transit to the single-family attached townhomes.

### **Community Design to Support Community Connection**

The way communities are designed can influence mental health and social connections. By providing community amenities, social interaction is supported and residents can build social capital which has known positive health effects. The incorporation of features like landscaping and green space can also reduce stress and promote positive psychological benefits. Because of this, TCHD encourages community designs that incorporate green space and common areas. We strongly support the applicant's plans to include pedestrian amenities such as a tot lot, lawn area and internal walks throughout the site.

### **Attainable Housing**

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### **Radon**

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### **Mosquito Control - Stormwater Facilities**

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September 21, 2021  
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larvaciding if the insects become a problem. The applicant may submit the mosquito control plan to TCHD for review. More information is available here <http://www.tchd.org/276/Mosquitoes-West-Nile-Virus>. A guidance document is attached.

Please feel free to contact me at 720-200-1537 or [pmoua@tchd.org](mailto:pmoua@tchd.org) if you have any questions about TCHD's comments.

A handwritten signature in black ink, appearing to be 'Pang Moua', with a stylized, flowing script.

Sincerely,

Pang Moua, MPP  
Land Use and Built Environment Specialist

cc: Sheila Lynch, Keith Homersham, TCHD

**Tri-County Health Department  
Guidance for Preparation of  
Mosquito Control Plan**

A Mosquito Control Plan should contain the following elements:

1. Designation of a management entity

This is the entity with authority/responsibility for implementing the plan. Typically, this will be a Special District or a Homeowners Association. If this is the case, the applicant shall submit a copy of the organizational Service Plan, by-laws or other legal document providing the authority for mosquito control. If the entity is the developer, this should be noted.

2. Funding mechanism

A method needs to be put in place to finance the program. This could be a commitment for the Service District, HOA or developer to include adequate funds for the activities as part of its annual budgeting process, or a plan by the District or HOA to assess an annual fee on residents in the subject service area, or to fund the program in some other way, per its legal authority as noted in #1.

3. Activities that will be undertaken to prevent mosquito breeding conditions

This section places emphasis on the proper design, construction, operation and maintenance of stormwater facilities to prevent mosquitoes from breeding. In most instances, it is nothing different than is already required by the County and Volume 3 of the Urban Drainage and Flood Control District's (UDFCD) Urban Storm Drainage Criteria Manual for flood control and stormwater quality. The literature on this subject, supported by local field experience, suggests that if stormwater facilities are well-designed, built to specification, and regularly inspected and maintained to meet operating standards, stormwater facilities that are designed to completely drain in 72 hours or less are likely to do so and to prevent mosquito breeding conditions.

The likelihood or extent of mosquito breeding can also be reduced through the proper design, construction and inspection/maintenance of retention ponds or constructed wetlands that are intended to hold permanent water pools.

We have found that at the time of construction of stormwater facilities, there is often little thought given to continuity of maintenance. Requiring the applicant to think through the tasks that need to be accomplished from design through operation, who will be responsible for tasks in each phase, and a schedule for their accomplishment increases the probability that these tasks will be completed.

Ideally, before getting to this point, the applicant will have considered stormwater facility options that do not rely on extended retention or detention of stormwater without flushing over a period of 2-3 days; e.g. grass swales, porous pavements, landscape detention, reducing directly connecting impervious areas to increase infiltration. This would be coordinated through and in compliance with the requirements of the County's Engineering and/or Stormwater sections.

Suggested elements in this section include the following:

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- Operation and maintenance activities:  
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Natural control of mosquito larva can be very effective is done properly. Consult the Colorado Department of Wildlife, Fisheries Division, for consultation on proper stocking of ponds with fish that will effectively control mosquito larvae.

For Technical Assistance - Contact Janine Runfola, Tri-County Health Department's mosquito control specialist, if you have any questions about any elements of the mosquito control program. Ms. Runfola is in Tri-County's Aurora office; she can be reached by phone at 303-363-3064, or by e-mail at [jrunfola@tchd.org](mailto:jrunfola@tchd.org).





November 5, 2021

Greg Barnes  
Adams County Community and Economic Development  
4430 South Adams County Parkway, Suite W2000A  
Brighton, CO 80601

RE: TTLC-56<sup>th</sup> & Federal, Berkeley Villas, PRC2021-00003  
TCHD Case No. 7334

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the Site Plan and Plat for the 84 single-family attached townhome units on 4.9 acres located at 2922 West 56<sup>th</sup> Avenue. Tri-County Health Department (TCHD) staff previously reviewed the application for the Rezoning and Preliminary Plat for Major Subdivision and provided comments in letters dated June 30, 2021 and September 21, 2021. TCHD received a response from the applicant, dated August 24, 2021 and October 21, 2021, and the applicant has responded to the following comments satisfactorily. No further information is required.

### **Community design to support walking and bicycling**

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### **Healthy building design standards:**

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### Connections to Transit:

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TTL-56<sup>th</sup> & Federal, Berkeley Villas  
November 5, 2021  
Page 3 of 5

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Please feel free to contact me at 720-200-1575 or [kboyer@tchd.org](mailto:kboyer@tchd.org) if you have any questions about TCHD's comments.

Sincerely,

A handwritten signature in black ink, appearing to read 'K Boyer', followed by a horizontal line.

Kathy Boyer, REHS  
Land Use and Built Environment Specialist III

cc: Sheila Lynch, Keith Homersham, Janine Runfola, TCHD

**Tri-County Health Department  
Guidance for Preparation of  
Mosquito Control Plan**

A Mosquito Control Plan should contain the following elements:

1. Designation of a management entity

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January 6, 2022

Greg Barnes  
Adams County Community and Economic Development  
4430 South Adams County Parkway, Suite W2000A  
Brighton, CO 80601

RE: TTLC-56<sup>th</sup> & Federal, Berkeley Villas, PRC2021-00003  
TCHD Case No. 7439

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the Site Plan and Plat for the 84 single-family attached townhome units on 4.9 acres located at 2922 West 56<sup>th</sup> Avenue. Tri-County Health Department (TCHD) staff previously reviewed the application for the Rezoning and Preliminary Plat for Major Subdivision and provided comments in letters dated June 30, 2021, September 21, 2021, and November 5, 2021. TCHD received a response from the applicant, dated August 24, 2021 and October 21, 2021, and the applicant has responded to the following comments satisfactorily. No further information is required.

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January 6, 2022  
Page 3 of 5

and regular inspection and maintenance of stormwater quality facilities, and mosquito larvaciding if the insects become a problem. The applicant may submit the mosquito control plan to TCHD for review. More information is available here <http://www.tchd.org/276/Mosquitoes-West-Nile-Virus>. A guidance document is attached.

Please feel free to contact me at 720-200-1575 or [kboyer@tchd.org](mailto:kboyer@tchd.org) if you have any questions about TCHD's comments.

Sincerely,

A handwritten signature in cursive script, appearing to read 'K Boyer', followed by a horizontal line.

Kathy Boyer, REHS  
Land Use and Built Environment Specialist III

cc: Sheila Lynch, Keith Homersham, Gilbert Cazier, TCHD



**Tri-County Health Department  
Guidance for Preparation of  
Mosquito Control Plan**

A Mosquito Control Plan should contain the following elements:

1. Designation of a management entity

This is the entity with authority/responsibility for implementing the plan. Typically, this will be a Special District or a Homeowners Association. If this is the case, the applicant shall submit a copy of the organizational Service Plan, by-laws or other legal document providing the authority for mosquito control. If the entity is the developer, this should be noted.

2. Funding mechanism

A method needs to be put in place to finance the program. This could be a commitment for the Service District, HOA or developer to include adequate funds for the activities as part of its annual budgeting process, or a plan by the District or HOA to assess an annual fee on residents in the subject service area, or to fund the program in some other way, per its legal authority as noted in #1.

3. Activities that will be undertaken to prevent mosquito breeding conditions

This section places emphasis on the proper design, construction, operation and maintenance of stormwater facilities to prevent mosquitoes from breeding. In most instances, it is nothing different than is already required by the County and Volume 3 of the Urban Drainage and Flood Control District's (UDFCD) Urban Storm Drainage Criteria Manual for flood control and stormwater quality. The literature on this subject, supported by local field experience, suggests that if stormwater facilities are well-designed, built to specification, and regularly inspected and maintained to meet operating standards, stormwater facilities that are designed to completely drain in 72 hours or less are likely to do so and to prevent mosquito breeding conditions.

The likelihood or extent of mosquito breeding can also be reduced through the proper design, construction and inspection/maintenance of retention ponds or constructed wetlands that are intended to hold permanent water pools.

We have found that at the time of construction of stormwater facilities, there is often little thought given to continuity of maintenance. Requiring the applicant to think through the tasks that need to be accomplished from design through operation, who will be responsible for tasks in each phase, and a schedule for their accomplishment increases the probability that these tasks will be completed.

Ideally, before getting to this point, the applicant will have considered stormwater facility options that do not rely on extended retention or detention of stormwater without flushing over a period of 2-3 days; e.g. grass swales, porous pavements, landscape detention, reducing directly connecting impervious areas to increase infiltration. This would be coordinated through and in compliance with the requirements of the County's Engineering and/or Stormwater sections.

Suggested elements in this section include the following:

- Design review – Qualified personnel review construction plans and conduct field investigation to ensure construction per specifications of UDFCD Volume 3 and County criteria.
- Operation and maintenance activities:  
This should identify who will conduct these activities (e.g., staff or contractor), and a schedule or trigger point for doing each task. Again, the UDFCD's Vol. 3 contains minimum operation and maintenance activities. If staff are to be used, this section should note if they will need training and how they will receive it.
- Regular inspections:  
Facilities that are found to retain water should be inspected regularly to ensure that no mosquito larvae are present. Facilities should be inspected once a week beginning in April and continuing through September.
- Larvacide program:  
Even if inspections do not reveal larvae, a larvaciding program should be established as a preventive measure at the same time that the inspection program begins (generally May) and continue through September. Some mosquitoes lay their eggs in mud, and when rain falls later, they can hatch and present a problem. Larvacide should be applied at the recommended rate and frequency specified by the product manufacturer. Mosquito control products can be found by doing a search on the internet.  
Natural control of mosquito larva can be very effective is done properly. Consult the Colorado Department of Wildlife, Fisheries Division, for consultation on proper stocking of ponds with fish that will effectively control mosquito larvae.

For technical assistance or if you have any questions about any elements of the mosquito control program, contact Gilbert Cazier, Tri-County Health Department's mosquito control specialist, at [gcazier@tchd.org](mailto:gcazier@tchd.org).



February 3, 2022

Greg Barnes  
Adams County Community and Economic Development  
4430 South Adams County Parkway, Suite W2000A  
Brighton, CO 80601

RE: TTLC-56<sup>th</sup> & Federal, Berkeley Villas Resub, PRC2021-00003  
TCHD Case No. 7483

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the Site Plan and Plat for the 84 single-family attached townhome units on 4.9 acres located at 2922 West 56<sup>th</sup> Avenue. Tri-County Health Department (TCHD) staff previously reviewed the application for the Rezoning and Preliminary Plat for Major Subdivision and provided comments in letters dated June 30, 2021, September 21, 2021, and November 5, 2021. TCHD received a response from the applicant, dated August 24, 2021, October 21, 2021, and January 20, 2022, and the applicant has responded to the following comments satisfactorily. No further information is required.

**Community design to support walking and bicycling**

Because chronic diseases related to physical inactivity and obesity now rank among the country's greatest public health risks, TCHD encourages community designs that make it easy for people to include regular physical activity, such as walking and bicycling, in their daily routines. Because research shows that the way we design our communities can encourage regular physical activity, TCHD strongly supports community plans that incorporate pedestrian and bicycle amenities that support the use of a broader pedestrian and bicycle network. Increasing multi-modal transportation has additional co-benefits including improved air quality, which can reduce contributions to climate change and exposure to pollutants associated with a number of health problems including asthma, lung cancer, and heart disease.

**Healthy building design standards:**

Building design can impact health in several ways including through the materials used and the amount of volatile organic compounds (VOCs) or other harmful chemicals that they contain, the air and water quality, the amount of daylight available, and even by encouraging physical activity and social interaction. TCHD encourages the applicant to consider incorporating design standards into the development to ensure a health-promoting environment. The applicant could pursue building certifications such as LEED, WELL Building Standard, Certified Healthy, or Living Building Challenge.

### Connections to Transit:

Communities that promote walking, bicycling and transit trips can also help protect air quality by reducing vehicle trips and related emissions. TCHD supports projects that address the needs of groups (e.g., seniors, the disabled) who cannot or do not drive. Transit-friendly developments can make it easier for these groups to access services and to maintain connections within the community, which can also have health benefits. Since research has shown that people who use transit regularly gain tremendous health benefits, TCHD commends the applicant for incorporating opportunities for increased pedestrian transportation from public transit to the single-family attached townhomes.

### **Community Design to Support Community Connection**

The way communities are designed can influence mental health and social connections. By providing community amenities, social interaction is supported and residents can build social capital which has known positive health effects. The incorporation of features like landscaping and green space can also reduce stress and promote positive psychological benefits. Because of this, TCHD encourages community designs that incorporate green space and common areas. We strongly support the applicant's plans to include pedestrian amenities such as a tot lot, lawn area and internal walks throughout the site.

### **Attainable Housing**

Access to safe, attainable housing is directly associated with positive physical and mental health outcomes and underlies one's ability to access jobs, food, medical services, and other essentials that are vital to well-being. Providing permanent supportive housing is an integral element of promoting health in our communities. TCHD supports projects that include an attainable housing component.

### **Radon**

Radon is a naturally occurring radioactive gas that is present at high levels in all parts of Colorado due to the presence of uranium in the soil. Radon can enter homes and long-term exposure causes lung cancer. In order to prevent radon from infiltrating the home, TCHD recommends designing new homes so that they are radon resistant. This includes laying a barrier beneath the flooring system, installing a gas-tight venting pipe from the gravel level through the roof, and sealing and caulking the foundation thoroughly. More information regarding radon and radon-resistant construction techniques can be found here: <https://www.epa.gov/radon/building-new-home-have-you-considered-radon>.

### **Mosquito Control - Stormwater Facilities**

The site plan indicates that a detention pond is proposed. Detention ponds can become sites for mosquito breeding. To reduce the potential for human exposures to West Nile and other mosquito-borne viruses, TCHD recommends that the applicant prepare a mosquito control plan. Elements of the plan should include proper design, construction and regular inspection and maintenance of stormwater quality facilities, and mosquito



TTL-56<sup>th</sup> & Federal, Berkeley Villas Resub  
February 3, 2022  
Page 3 of 5

larvaciding if the insects become a problem. The applicant may submit the mosquito control plan to TCHD for review. More information is available here <http://www.tchd.org/276/Mosquitoes-West-Nile-Virus>. A guidance document is attached.

Please feel free to contact me at 720-200-1537 or pmoua@tchd.org if you have any questions about TCHD's comments.

A handwritten signature in black ink, appearing to be 'Pang Moua', with a stylized, flowing script.

Sincerely,

Pang Moua, MPP  
Land Use and Built Environment Specialist

cc: Sheila Lynch, Keith Homersham, TCHD

**Tri-County Health Department  
Guidance for Preparation of  
Mosquito Control Plan**

A Mosquito Control Plan should contain the following elements:

1. Designation of a management entity

This is the entity with authority/responsibility for implementing the plan. Typically, this will be a Special District or a Homeowners Association. If this is the case, the applicant shall submit a copy of the organizational Service Plan, by-laws or other legal document providing the authority for mosquito control. If the entity is the developer, this should be noted.

2. Funding mechanism

A method needs to be put in place to finance the program. This could be a commitment for the Service District, HOA or developer to include adequate funds for the activities as part of its annual budgeting process, or a plan by the District or HOA to assess an annual fee on residents in the subject service area, or to fund the program in some other way, per its legal authority as noted in #1.

3. Activities that will be undertaken to prevent mosquito breeding conditions

This section places emphasis on the proper design, construction, operation and maintenance of stormwater facilities to prevent mosquitoes from breeding. In most instances, it is nothing different than is already required by the County and Volume 3 of the Urban Drainage and Flood Control District's (UDFCD) Urban Storm Drainage Criteria Manual for flood control and stormwater quality. The literature on this subject, supported by local field experience, suggests that if stormwater facilities are well-designed, built to specification, and regularly inspected and maintained to meet operating standards, stormwater facilities that are designed to completely drain in 72 hours or less are likely to do so and to prevent mosquito breeding conditions.

The likelihood or extent of mosquito breeding can also be reduced through the proper design, construction and inspection/maintenance of retention ponds or constructed wetlands that are intended to hold permanent water pools.

We have found that at the time of construction of stormwater facilities, there is often little thought given to continuity of maintenance. Requiring the applicant to think through the tasks that need to be accomplished from design through operation, who will be responsible for tasks in each phase, and a schedule for their accomplishment increases the probability that these tasks will be completed.

Ideally, before getting to this point, the applicant will have considered stormwater facility options that do not rely on extended retention or detention of stormwater without flushing over a period of 2-3 days; e.g. grass swales, porous pavements, landscape detention, reducing directly connecting impervious areas to increase infiltration. This would be coordinated through and in compliance with the requirements of the County's Engineering and/or Stormwater sections.

Suggested elements in this section include the following:

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This should identify who will conduct these activities (e.g., staff or contractor), and a schedule or trigger point for doing each task. Again, the UDFCD's Vol. 3 contains minimum operation and maintenance activities. If staff are to be used, this section should note if they will need training and how they will receive it.
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Facilities that are found to retain water should be inspected regularly to ensure that no mosquito larvae are present. Facilities should be inspected once a week beginning in April and continuing through September.
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Even if inspections do not reveal larvae, a larvaciding program should be established as a preventive measure at the same time that the inspection program begins (generally May) and continue through September. Some mosquitoes lay their eggs in mud, and when rain falls later, they can hatch and present a problem. Larvacide should be applied at the recommended rate and frequency specified by the product manufacturer. Mosquito control products can be found by doing a search on the internet.  
Natural control of mosquito larva can be very effective is done properly. Consult the Colorado Department of Wildlife, Fisheries Division, for consultation on proper stocking of ponds with fish that will effectively control mosquito larvae.

For technical assistance or if you have any questions about any elements of the mosquito control program, contact Gilbert Cazier, Tri-County Health Department's mosquito control specialist, at [gcazier@tchd.org](mailto:gcazier@tchd.org).



**Right of Way & Permits**

1123 West 3<sup>rd</sup> Avenue  
Denver, Colorado 80223  
Telephone: **303.571.3306**  
Facsimile: 303. 571.3284  
donna.l.george@xcelenergy.com

September 21, 2021

Adams County Community and Economic Development Department  
4430 South Adams County Parkway, 3<sup>rd</sup> Floor, Suite W3000  
Brighton, CO 80601

Attn: Greg Barnes

**Re: Berkeley Villas - 2nd referral, Case # PRC2021-00003**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has determined **there is a conflict** with **Berkeley Villas** in that there are no dry utility easements shown on the preliminary plat. Please note that per state statutes, PSCo requests the following dry utility easements *within each single-family residential lot*:

- 6-feet wide for natural gas facilities with a minimum 5-foot clearance from any structure and where there is drivable pavement with space for service truck access (8-feet wide, 6-inches thick) with plowing in snowy conditions
- 8-feet wide for electric facilities including space for transformers, pedestals, and cabling
- if natural gas and electric are within the same trench, a 10-foot wide utility easement is required, not to overlap any wet utility easement
- bear in mind that these utility easements must have 5-feet of separation from gravity-fed wet utilities (typically sewer – going out of house) and 10-feet of separation from forced-fed water utilities (typically water – going into house)

Public Service Company requests that the following language or plat note is placed on the preliminary and final plats for the subdivision:

*These easements are dedicated to Adams County for the benefit of the applicable utility providers for the installation, maintenance, and replacement of electric, gas, television, cable, and telecommunications facilities (Dry Utilities). Utility easements shall also be granted within any access easements and private streets in the subdivision. Permanent structures, improvements, objects, buildings, wells, and other objects that may interfere with the utility facilities or use thereof (Interfering Objects) shall not be permitted within said utility easements and the utility providers, as grantees, may remove any Interfering Objects at no cost to such grantees, including, without limitation, vegetation. Public Service Company of Colorado (PSCo) and its successors reserve the right to require additional easements and to require the property owner to grant PSCo an easement on its standard form.*

PSCo also requests that all tracts are available for utility use, particularly for crossing in order to maintain continuity throughout this development.

Please be aware PSCo has existing natural gas and electric distribution and service facilities within the subject property. The property owner/developer/contractor must complete the application process for any



new natural gas or electric service, or *modification to existing facilities including relocation and/or removal* via [xcelenergy.com/InstallAndConnect](https://www.xcelenergy.com/InstallAndConnect). It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details.

Additional easements *will* need to be acquired by separate document for new facilities (i.e. transformers) – be sure to have the Designer contact a Right-of-Way and Permits Agent.

As a safety precaution, PSCo would like to remind the developer to call the Utility Notification Center by dialing 811 for distribution utility locates prior to construction.

Donna George - Right of Way and Permits  
Public Service Company of Colorado dba Xcel Energy  
Office: 303-571-3306 – Email: [donna.l.george@xcelenergy.com](mailto:donna.l.george@xcelenergy.com)



**Right of Way & Permits**

1123 West 3<sup>rd</sup> Avenue  
Denver, Colorado 80223  
Telephone: **303.571.3306**  
Facsimile: 303. 571.3284  
donna.l.george@xcelenergy.com

November 9, 2021

Adams County Community and Economic Development Department  
4430 South Adams County Parkway, 3<sup>rd</sup> Floor, Suite W3000  
Brighton, CO 80601

Attn: Greg Barnes

**Re: Berkeley Villas, Case # PRC2021-00003**

Public Service Company of Colorado's (PSCo) Right of Way and Permits Referral Desk has reviewed and has conflict with the plat for **Berkeley Villas**. There are no dry utility easements shown on the preliminary plat. Please note that per state statutes, PSCo requests the following dry utility easements *within each single-family residential lot*:

- 6-feet wide for natural gas facilities with a minimum 5-foot clearance from any structure and where there is drivable pavement with space for service truck access (8-feet wide, 6-inches thick) with plowing in snowy conditions
- 8-feet wide for electric facilities including space for transformers, pedestals, and cabling
- if natural gas and electric are within the same trench, a 10-foot wide utility easement is required, not to overlap any wet utility easement
- bear in mind that these utility easements must have 5-feet of separation from gravity-fed wet utilities (typically sewer – going out of house) and 10-feet of separation from forced-fed water utilities (typically water – going into house)

PSCo also requests that all tracts are available for utility use, particularly for crossing in order to maintain continuity throughout this development.

Public Service Company also requests that all utility easements are depicted graphically on the preliminary and final plats. While these easements may accommodate certain utilities to be installed in the subdivision, some additional easements may be required as planning and building progresses.

Please be aware PSCo has existing natural gas and electric distribution and service facilities within the subject property. The property owner/developer/contractor must complete the application process for any new natural gas or electric service, or modification to existing facilities including removals via [xcelenergy.com/InstallAndConnect](http://xcelenergy.com/InstallAndConnect). It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details.

Additional easements will need to be acquired by separate document (i.e. transformers) – be sure to ask the Designer to contact a Right-of-Way & Permits Agent in this event.

As a safety precaution, PSCo would like to remind the developer to call the Utility Notification Center by dialing 811 for utility locates prior to construction.

Kyle Patterson <kyle.patterson@xcelenergy.com> 303-908-5204, on behalf of:  
Donna George  
Right of Way and Permits  
Public Service Company of Colorado dba Xcel Energy  
Office: 303-571-3306 – Email: [donna.l.george@xcelenergy.com](mailto:donna.l.george@xcelenergy.com)



**Right of Way & Permits**

1123 West 3<sup>rd</sup> Avenue  
Denver, Colorado 80223  
Telephone: **303.571.3306**  
Facsimile: 303. 571.3284  
donna.l.george@xcelenergy.com

January 12, 2022

Adams County Community and Economic Development Department  
4430 South Adams County Parkway, 3<sup>rd</sup> Floor, Suite W3000  
Brighton, CO 80601

Attn: Greg Barnes

**Re: Berkeley Villas - 3rd referral, Case # PRC2021-00003**

Public Service Company of Colorado's Right of Way & Permits Referral Desk still has a **conflict** with **Berkeley Villas** in that there are still no dry utility easements within any of the lots. Will natural gas and electric meters be banked?

Be sure to work with the Xcel Designer assigned to the project for design details.

Donna George  
Right of Way and Permits  
Public Service Company of Colorado dba Xcel Energy  
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com





**Right of Way & Permits**

1123 West 3<sup>rd</sup> Avenue  
Denver, Colorado 80223  
Telephone: **303.571.3306**  
Facsimile: 303. 571. 3284  
donna.l.george@xcelenergy.com

February 3, 2022

Adams County Community and Economic Development Department  
4430 South Adams County Parkway, 3<sup>rd</sup> Floor, Suite W3000  
Brighton, CO 80601

Attn: Greg Barnes

**Re: Berkeley Villas - 4th referral, Case # PRC2021-00003**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk acknowledges that for **Berkeley Villas** the meters will be banked so there will not be any easements within the lots.

The property owner/developer/contractor must continue working with Jaime Hainge (Designer) for approval of design details.

For additional easements that may need to be acquired by separate document for new facilities (i.e. transformers), Jaime must contact a Right-of-Way and Permits Agent.

Donna George  
Right of Way and Permits  
Public Service Company of Colorado dba Xcel Energy  
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com

## Greg Barnes

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**From:** Jackie Gates <eaglebear204@gmail.com>  
**Sent:** Tuesday, August 17, 2021 4:48 PM  
**To:** Greg Barnes  
**Subject:** TTLC 56th & Federal questions

Please be cautious: This email was sent from outside Adams County

Hello Greg,

My name is Jackie Gates and I have a few questions regarding the true life companies permit request regarding 2922 West 56th Avenue, 80221. I missed the community calls and also the deadline for questions but I'm hoping that you can still help me as I'm unable to contact anyone by phone for the listed options.

I live at 2780 West 56th Avenue, 80221. Currently my deed of property says that I have an easement to access my driveway and property which I share with the property that is under review for that new building. In looking at the plans that they sent along with their packet it looks as though they're cutting the easement in half and I wanted to know if they were planning to build a concrete wall between the two properties or if I will still have full access of the easement.

According to the map that was in the packet it looks as though I will have about 15 ft of access from the street to my property. On the southside of my property I have a gate to allow access to the backyard and if there's a wall that's perpendicular to the driveway I won't be able to access that part of my yard. I just wanted to make sure that what I'm seeing is correct and also find out how that easement is being affected.

From what I understand if an easement is changing both parties have to agree to the change and I haven't had any communication regarding what that will look like for my property access.

Thank you for your time and I appreciate your help.

Jackie Gates  
720-884-6798  
2780 w 56th Ave  
Denver, CO 80221

## Greg Barnes

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**From:** Sybenie Hernandez <sybenie@gmail.com>  
**Sent:** Tuesday, June 15, 2021 10:32 AM  
**To:** Greg Barnes  
**Subject:** Resident of Adams County Concerned About Development on Northeast Corner of 56th and Federal

Please be cautious: This email was sent from outside Adams County

Dear Community and Economic Development Department:

I wanted to express concerns regarding the development planned for the northeast corner of 56th Avenue and Federal Blvd. I am a homeowner on 56th and Clay and have been in my home for over ten years. I have also lived in the North Denver area since birth.

My first concern is about affordable housing. I would like to know what percentage of this development will be dedicated to affordable housing. If possible, I would like to encourage that a significant percentage of this development be dedicated to affordable housing, as historical inhabitants in this area cannot afford the rising cost of housing in this area.

My second concern is for the mobile home parks that are just across Federal Blvd. There are families living in these park that will be affected if the cost of land in the area rises significantly and the park owner decides to raise their fees or sell the land. Understanding the impact this development will have on these residents, I would like to know what you plan to do to mitigate that impact. Can Adams County create a land bank and transparent process for helping current responsible residents maintain their property? Can Adams County set aside funds to preserve the park? Can Adams County help residents actually come up with financing either through a cooperative or a community land trust to purchase the land underneath?

I deeply care about the area in which I am raising my family and the surrounding areas inhabited by other families. What can we do as a community to ensure that long standing residents in the area can maintain their property and preserve the beautiful history of this area?

I look forward to your response!

--

Kind Regards,  
Sybenie Hernandez (she, her, hers)

## Greg Barnes

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**From:** Klaus Holzapfel <me@klausholzapfel.com>  
**Sent:** Tuesday, July 6, 2021 11:47 AM  
**To:** Greg Barnes  
**Subject:** PRC2021-00003 TTLC - 56th - comments from a neighbor

Please be cautious: This email was sent from outside Adams County

Hi Greg,

I own a property at 2900 W 55th Ave and would like to leave some comments for the TTLC project on 56th and Federal.

1. The density for this development appears extremely high. I'm doing a development on 66th and Lowell myself and am building 11 townhomes on an acre lot with 49% of the area being landscaped. That feels much nicer for the environment.
2. I know you can't make this mandatory but the developer should look into electrifying the buildings and get rid of natural gas. That's what I'm doing. It doesn't increase the cost but is a huge win for the environment and the neighborhood.
3. This lot is rather oddly shaped. The few buildings that are enclosed and some others nearby will be greatly impacted by this development.
4. We have a ton of issues with crime (drugs, theft) in the area. I'd ask the developer how they can be part of the solution and not the problem. Increased density has consequences (good and bad).
5. Many neighbors are scratching their heads about the development in the area. It might be a good idea to tell them what to expect and maybe educate them about what they can do with their lots. My lot on 55th with a size of 0.7 acres is certainly a candidate for rezoning. But 55th street lacks infrastructure since it's rather narrow and has no sidewalks. What's the message Adams County is sending to me and my neighbors owing these larger lots?

I'm not asking to block this development. But the density is too high and the buildings should really be zero emission based on our current climate debate and our efforts to reach our goals.

Thank you,  
Klaus Holzapfel  
310 383 7433  
4597 Sunnyside Pl, Boulder, CO 80301

--

Klaus Holzapfel  
310 383 7433  
[me@klausholzapfel.com](mailto:me@klausholzapfel.com)





## Request for Comments

Case Name: TTLC - 56th & Federal  
Project Number: PRC2021-00003

June 3, 2021

The Adams County Planning Commission is requesting comments on the following applications:  
**1. Rezoning to Transit-Oriented Development (TOD); 2. Preliminary Plat for major subdivision.**  
This request is located at 2880 West 56th Avenue. The Assessor's Parcel Numbers are 0182517103052 and 0182517103053.

Applicant Information: THE TRUE LIFE COMPANIES  
DAVID CLOCK  
1350 17TH STREET, SUITE 350  
DENVER, COLORADO

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6800 by 06/30/2021 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you upon request. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases).

Thank you for your review of this case.

*Greg Barnes*

Greg Barnes  
Planner III

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BOARD OF COUNTY COMMISSIONERS

Eva J. Henry  
DISTRICT 1

Charles "Chaz" Tedesco  
DISTRICT 2

Emma Pinter  
DISTRICT 3

Steve O'Dorisio  
DISTRICT 4

Lynn Baca  
DISTRICT 5



## Public Hearing Notification

Case Name:	Berkeley Villas
Case Number:	PRC2021-00003
Planning Commission Hearing Date:	March 24, 2022 at 6:00 p.m.
Board of County Commissioners Hearing Date:	April 5, 2022 at 9:30 a.m.

March 2, 2022

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following requests:

**1. Rezoning to Transit-Oriented Development (TOD); 2. Preliminary Plat for major subdivision.**

The Assessor's Parcel Numbers are: 0182517103052 and 0182517103053.

Applicant Information: THE TRUE LIFE COMPANIES

DAVID CLOCK  
1350 17th Street, Ste. 350  
Denver, CO 80202

The hearing will be held in the Adams County Hearing Room located at 4430 South Adams County Parkway, Brighton CO 80601-8216. This will be a public hearing and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. If you require any special accommodations (e.g., wheelchair accessibility, an interpreter for the hearing impaired, etc.) please contact the Adams County Community and Economic Development Department at (720) 523-6800 (or if this is a long distance call, please use the County's toll free telephone number at 1-800-824-7842) prior to the meeting date.

For further information regarding this case, please contact the Community and Economic Development Department, 4430 S Adams County Parkway, Brighton, CO 80601, 720-523-6800. This is also the location where maps and/or text certified by the Planning Commission may be viewed.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases). Thank you for your review of this case.

Greg Barnes  
Planner III

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry  
DISTRICT 1

Charles "Chaz" Tedesco  
DISTRICT 2

Emma Pinter  
DISTRICT 3

Steve O'Dorisio  
DISTRICT 4

Lynn Baca  
DISTRICT 5

## Berkley Villas

Case Number: PRC2021-00993

Planning Commission Hearing Date: March 24, 2022 at 6:00 pm

Board of County Commissioners Hearing Date: April 5, 2022 at 9:30 am

Hearing Location: 4430 S Adams County Plaza, Bloomington, CO 80801

Request: 1. Rezoning to Interim-Ordained Development (TOD); 2. Preliminary Plat for major subdivision.

Site Location: 2680 W. 56TH AVE.

Parcel Numbers: 0152N17R005Z  
0152S17R005S

Case Manager: Greg Barnes

Legal Description:

KNOW ALL MEN BY THESE PRESENTS THAT TITC MANAGEMENT, INC., AN ARIZONA CORPORATION, AS THE PROSPECTIVE PURCHASER, PURSUANT TO THE REAL ESTATE PURCHASE AND SALE AGREEMENT DATED AS OF 09/15/2020 WITH DIANE M GRABER, AS SELLER, OF THE FOLLOWING DESCRIBED TRACT OF LAND, THE WEST 85.7 FEET OF THE EAST 85.7 FEET OF THE NORTH 145 FEET OF PLOT 4, RESUBDIVISION OF WESTMOORLAND, COUNTY OF ADAMS, STATE OF COLORADO.

KNOW ALL MEN BY THESE PRESENTS THAT TITC MANAGEMENT, INC., AN ARIZONA CORPORATION, AS THE PROSPECTIVE PURCHASER, PURSUANT TO THE REAL ESTATE PURCHASE AND SALE AGREEMENT DATED AS OF 12/15/2020 WITH RYAN SMITH, AS SELLER, OF THE FOLLOWING DESCRIBED TRACT OF LAND, THE NORTH 180 FEET OF THE WEST 50 FEET OF LOT 7, RESUBDIVISION OF WESTMOORLAND, COUNTY OF ADAMS, STATE OF COLORADO.

KNOW ALL MEN BY THESE PRESENTS THAT TITC MANAGEMENT, INC., AN ARIZONA CORPORATION, AS THE PROSPECTIVE PURCHASER, PURSUANT TO THE REAL ESTATE PURCHASE AND SALE AGREEMENT DATED AS OF 01/15/2021 WITH LAURA LEDUGA, AS SELLER, OF THE FOLLOWING DESCRIBED TRACT OF LAND, THE NORTH 100 FEET OF THE EAST 50 FEET OF LOT 7, RESUBDIVISION OF WESTMOORLAND, COUNTY OF ADAMS, STATE OF COLORADO.

KNOW ALL MEN BY THESE PRESENTS THAT TITC MANAGEMENT, INC., AN ARIZONA CORPORATION, AS THE PROSPECTIVE PURCHASER, PURSUANT TO THE REAL ESTATE PURCHASE AND SALE AGREEMENT DATED AS OF 10/12/2019 WITH 56TH & FEDERAL, LLC, A COLORADO LIMITED LIABILITY COMPANY, AS SELLER,

OF THE FOLLOWING DESCRIBED TRACT OF LAND, THE FOLLOWING DESCRIBED TRACT OF LAND, PARCELS A, THE SOUTH 150 FEET OF LOTS 4, 5 AND 6, LOTS 7 AND THE WEST 25 FEET OF THE NORTH 160 FEET OF LOT 8, THE EAST 20 FEET OF THE NORTH 180 FEET OF LOT 4, AND THE NORTH 150 FEET OF LOT 19, EXCEPT THE NORTH 180 OF LOT 7, OF THE RE-SUBDIVISION OF WESTMOORLAND, COUNTY OF ADAMS, STATE OF COLORADO, PARCEL B, THE EAST 1/3 OF LOT 5 AND THE WEST 25 FEET OF LOT 4, EXCEPT THE SOUTH 150 FEET OF SAID LOTS, RESUBDIVISION OF WESTMOORLAND, COUNTY OF ADAMS, STATE OF COLORADO, TOGETHER WITH THE NORTH 15 FEET OF THE SOUTH 165 FEET OF PLOT 4, EXTENDING FROM THE WEST LINE OF THE EAST 20 FEET OF SAID PLOT 4 TO THE EAST LINE OF THE WEST 25 FEET OF SAID PLOT 4, RESUBDIVISION OF WESTMOORLAND, COUNTY OF ADAMS, STATE OF COLORADO, PARCEL C, LOT 8A, RESUBDIVISION OF WESTMOORLAND PLAT CORRECTION NO. 2, COUNTY OF ADAMS, STATE OF COLORADO, TO BE COMBINED AND A SINGLE LOT DESCRIBED AS FOLLOWS: A PARCEL OF LAND BEING ALL OF PLOT 4, PORTION OF PLOTS 3 THROUGH 7 AND A PORTION OF LOT 19, RESUBDIVISION OF WESTMOORLAND, AND ALL OF LOT 8A, RE-SUBDIVISION OF WESTMOORLAND PLAT CORRECTION NO. 2, SITUATED IN THE NORTHEAST QUARTER OF SECTION 17, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 5TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID PLOT 4, THENCE SOUTH 00°29'37" EAST ALONG THE EAST LINE OF SAID PLOT 4, A DISTANCE OF 310.01 FEET TO THE SOUTHEAST CORNER OF SAID PLOT 4, THENCE SOUTH 89°59'11" WEST ALONG THE SOUTH LINES OF SAID PLOTS 4, AND 5, A DISTANCE OF 220.78 FEET TO THE NORTHEAST CORNER OF SAID PLOT 19, THENCE SOUTH 00°33'42" EAST ALONG THE EAST LINE OF SAID PLOT 19, A DISTANCE OF 100.01 FEET TO THE SOUTHEAST CORNER OF THE NORTH 150 FEET OF THE SOUTH 150 FEET OF LOT 19, THENCE SOUTH 89°59'11" WEST ALONG THE SOUTH LINE OF THE NORTH 150 FEET OF SAID PLOT 19, THE SOUTH LINE OF SAID PLOT 7, AND THE SOUTH LINE OF SAID LOT 8A, A DISTANCE OF 410.39 FEET TO THE SOUTHWEST CORNER OF SAID LOT 8A, THENCE ALONG THE PERIMETER OF SAID LOT 8A THE FOLLOWING THREE (3) COURSES: (1) NORTH 00°32'42" WEST, A DISTANCE OF 100.00 FEET, (2) NORTH 89°59'27" EAST, A DISTANCE OF 100.00 FEET, (3) NORTH 00°32'42" WEST, A DISTANCE OF 300.03 FEET TO A POINT ON THE SOUTH RIGHT OF

WAY LINE OF WEST 56TH AVENUE, THENCE NORTH 89°59'11" EAST ALONG SAID SOUTH LINE, A DISTANCE OF 224.86 FEET TO THE NORTHWEST CORNER OF THAT PARCEL DESCRIBED AT RECEPTION NO. 2011000103887, THENCE SOUTH 00°32'42" EAST ALONG THE WEST LINE OF SAID PARCEL, A DISTANCE OF 100.01 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL, THENCE NORTH 89°59'12" EAST ALONG THE SOUTH LINE OF SAID PARCEL, AND ALONG THE SOUTH LINE OF A PARCEL DESCRIBED AT RECEPTION NO. 2012000042559, A DISTANCE OF 140.99 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL DESCRIBED AT RECEPTION NO. 2012000042559, THENCE NORTH 00°33'42" WEST ALONG THE EAST LINE OF SAID PARCEL, A DISTANCE OF 100.01 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF WEST 56TH AVENUE, THENCE NORTH 89°59'11" EAST ALONG SAID SOUTH LINE, A DISTANCE OF 165.80 FEET TO THE POINT OF BEGINNING SAID PARCEL, CONTAINS 204,001 SQUARE FEET OR 4.70 ACRES, MORE OR LESS, HAVE BY THESE PRESENTS LAID OUT PLATTED AND SUBDIVIDED THE SAME INTO BLOCKS, LOTS, TRACTS, STREETS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF BERKLEY VILAS SUBDIVISION PLAT THE UNDERSIGNED DOES HEREBY DEDICATE, GRANT AND CONVEY TO ADAMS COUNTY TRACT A AS SHOWN ON THE PLAT, AND FURTHER RESTRICTS THE USE OF ALL PUBLIC EASEMENTS TO ADAMS COUNTY AND/OR ITS ASSIGNS PROVIDED HOWEVER THAT THE SOLE RIGHT AND AUTHORITY TO RELEASE OR QUITCLAIM ALL OR ANY SUCH PUBLIC EASEMENTS SHALL REMAIN EXCLUSIVELY VESTED IN ADAMS COUNTY.

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Referral Listing  
Case Number PRC2021-00003  
TTLC - 56th & Federal

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Adams County CEDD Engineer	Devt. Services Engineering 4430 S Adams County Pkwy Brighton CO 80601 720-523-6800 Contact Person May Vary Depending on Case
Adams County CEDD Right-of-Way	David Dittmer 4430 S Adams County Pkwy. Brighton CO 80601 720-523-6837 ddittmer@adcogov.org
Adams County CSWB Code Compliance Officer	Doug Fish 4430 S Adams County Pkwy Brighton CO 80601 720.523.6807 dfish@adcogov.org



Agency	Contact Information
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Colorado Geological Survey: CGS_LUR@mines.edu	Jill Carlson Mail CHECK to Jill Carlson 303-384-2643 303-384-2655 CGS_LUR@mines.edu
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## Agency

## Contact Information

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1401 HARLAN PROPERTY LLC  
720 N POST OAK RD STE 500  
HOUSTON TX 77024-3928

EL PRINCIPITO PROPERTIES LLC  
3656 FEDERAL BLVD  
DENVER CO 80211-2804

5280 CLAY LLC  
4320 DECATUR ST  
DENVER CO 80211-1722

ELM RIDGE MOBILE HOME PARK INC  
5601 FEDERAL BLVD  
DENVER CO 80221-1821

5520 FEDERAL PARTNERS LLC  
2240 BLAKE ST STE 200  
DENVER CO 80205-2059

FAIRBAIRN LUKE AND  
CANIZARES PAULINA RODRIGUEZ  
3465 SAULSBURY CT  
WHEAT RIDGE CO 80033-6375

56TH AND FEDERAL LLC  
1566 GILPIN STREET  
DENVER CO 80218

FED5400 LLC  
3535 LARIMER ST  
DENVER CO 80205-2421

BECAY PAUL AND BECAY BARBARA  
10440 W 79TH WAY  
ARVADA CO 80005-3730

FED5418 LLC  
3535 LARIMER ST  
DENVER CO 80205-2421

BEIGE HAUS LLC  
1500 S OSCEOLA WAY  
DENVER CO 80219-4560

FELDSTEIN ENTERPRISES LP  
PO BOX 2079  
FOLSOM CA 95763-2079

BLAIR KEVIN R  
129 W ELLSWORTH AVE  
DENVER CO 80223-1623

FUKUI BRAD  
7415 S ALKIRE ST APT 202  
LITTLETON CO 80127-3276

BROCK GRACE COSMI  
5256 GROVE ST  
DENVER CO 80221-6513

GRABER DIANE M  
8746 W OTTAWA AVE  
LITTLETON CO 80128-4009

CHALMERS RICHARD C  
5490 CLAY STREET  
DENVER CO 80221

GREBB WEST 1 LLC  
5595 FEDERAL BLVD  
DENVER CO 80221-6574

CROWFOOT KAREN MARIE  
7106 MAPLE STREET  
LONGMONT CO 80504

HAUER DANIEL P AND  
CHAU CHRISTINA J  
2410 W 56TH AVE  
DENVER CO 80221-1810

HOCH ROBIN E AND  
HOCH THOMAS E JR  
4543 VRain ST  
DENVER CO 80212-2530

MC CLINTOCK NORMA E  
18676 W 59TH DR  
GOLDEN CO 80403-2117

HOLZAPFEL KLAUS J  
4597 SUNNYSIDE PL  
BOULDER CO 80301-1755

MC KELVEY-GARCIA ANN AND  
GARCIA JESSE R  
366 BELL LN  
NORTHGLENN CO 80260-6017

JACKSON LARRY T  
5036 TENNYSON ST STE D  
DENVER CO 80212-2930

MILLISOR AARON AND  
MILLISOR LAUREN  
3721 LIPAN ST  
DENVER CO 80211-2653

JRM PROPERTY 5520 FEDERAL LLC  
5910 S UNIVERSITY BLVD STE C-18  
GREENWOOD VILLAGE CO 80121-2879

MLC PROPERTIES INC  
14831 BRIGHTON RD  
BRIGHTON CO 80601-7309

KASSEL FAMILY TRUST THE  
KASSEL DAVID J/HELENA A TRUSTEES  
PO BOX 6891  
NAPA CA 94581-1891

MULADORE LI LI AND  
MULADORE LOGAN  
1753 W 52ND CT  
DENVER CO 80221-1717

KELLOW LEILA H  
C/O KRISTIN CANALE  
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ARVADA CO 80002

MURRAY ROSE LEE  
115 S YUKON ST  
LAKEWOOD CO 80226-1533

KOEHLER THOMAS H  
21436 INDIAN SPRINGS ROAD  
CONIFER CO 80433

NANCE JACQUELYN AND  
NANCE RICHARD  
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COLVILLE WA 99114-9722

LOMBARDI ROSEMARY  
6866 DUDLEY CIR  
ARVADA CO 80004-1761

NORTHRIDGE ESTATES AT GOLD RUN  
HOMEOWNERS ASSOCIATION  
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BOULDER CO 80302

MADRID MARIA  
825 A STREET  
FAIRBURY NE 68352-1943

PALMQUIST JO  
6218 W 80TH PL  
ARVADA CO 80003-1701

MAVERIK INC  
180 S STATE ST STE 800  
SALT LAKE CITY UT 84111-1506

PARK ADVISORS INC  
9800 SHELARD PKWY STE 104  
MINNEAPOLIS MN 55441-6451



PEREZ JIMMY J AND  
PEREZ KATHRYN  
7865 S JACKSON CIR  
CENTENNIAL CO 80122-3520

TTL DENVER - 56TH AND FEDERAL LLC  
1566 N GILPIN ST  
DENVER CO 80218-1631

POTT MICHAEL AND  
POTT LYNNE AS TRUSTEES  
11580 W CENTER  
LAKEWOOD CO 80226-2515

VARELA GENEVIEVE G  
5433 SHOSHONE ST  
DENVER CO 80221-1722

PRIMROSE LN LLC  
PO BOX 368  
EASTLAKE CO 80614-0368

VILLA FRANCISCO  
2565 W 55TH AVE  
DENVER CO 80221-1611

ROCKY TOP INVESTMENT GROUP LLC  
6326 WYANDOT ST  
DENVER CO 80211

WEST SPANISH CONGREGATION OF JEHOVAH S  
WITNESSES/ C/O MANUEL MENDEZ  
2675 W 56TH AVE  
DENVER CO 80221-1811

ROTHSCHILD EDWARD R AND  
ROTHSCHILD ROBIN L  
14358 W 88TH PL  
ARVADA CO 80005-1275

WORLEY RAY LEE  
691 CORONADO DR  
SEDALIA CO 80135-8360

SALAZAR PAUL J  
C/O RONALD E SALAZAR  
947 SALEM ST  
AURORA CO 80011-6343

WROCK LLC  
5545 FEDERAL BLVD  
DENVER CO 80221-6541

SANDOVAL PAUL R AND JUDY A FAMILY TRUST  
5545 ALCOTT ST  
DENVER CO 80221-1623

ZIEGLER JONATHAN W  
21875 COUNTY ROAD 4  
HUDSON CO 80642-8711

SISTERS OF ST FRANCIS  
2851 W 52ND AVE  
DENVER CO 80221-1259

AGUIRRE ROSE  
OR CURRENT RESIDENT  
5610 BRYANT ST  
DENVER CO 80221-1851

STATE HIGHWAY DEPT  
2000 S HOLLY ST  
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ALFORD NANCY A  
OR CURRENT RESIDENT  
2751 W 55TH AVE  
DENVER CO 80221-1615

STONEBRAKER CORPORATION  
26986 CR 18  
KEENESBURG CO 80643

ALKASS SANA  
OR CURRENT RESIDENT  
5440 ELM CT  
DENVER CO 80221-1629

ARAGON ALBERT A AND  
ARAGON DIANE C  
OR CURRENT RESIDENT  
5600 CLAY ST  
DENVER CO 80221-1840

BUQUOY MARJORIE CHARLOTTE  
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5405 ELM CT  
DENVER CO 80221-1629

BACA CAROLYN S  
OR CURRENT RESIDENT  
2897 W 55TH AVE  
DENVER CO 80221-1615

CAMPBELL CINDY  
OR CURRENT RESIDENT  
5435 BRYANT ST  
DENVER CO 80221-1627

BAKER SKYE  
OR CURRENT RESIDENT  
2951 W 55TH AVE  
DENVER CO 80221-1619

CANO DONIVAN AND  
GIVEN JANINE M  
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BEATTY BENJAMIN  
OR CURRENT RESIDENT  
5400 PRIMROSE LN  
DENVER CO 80221-1653

CARDENAS CLAUDETTE JO  
OR CURRENT RESIDENT  
5711 CLAY ST  
DENVER CO 80221-1852

BENNETT STEPHEN M  
OR CURRENT RESIDENT  
5431 COLUMBINE RD  
DENVER CO 80221-1298

CARDENAS NATHAN  
OR CURRENT RESIDENT  
5621 CLAY ST  
DENVER CO 80221-1844

BENSON JONATHAN  
OR CURRENT RESIDENT  
2877 W 55TH AVE  
DENVER CO 80221-1615

CERVANTES RUIZ MANUEL  
OR CURRENT RESIDENT  
2940 W 54TH AVE  
DENVER CO 80221-1608

BLEA DELLA E AND  
BLEA DOMITILIO S AND BLEA SHANE H  
OR CURRENT RESIDENT  
5635 BRYANT ST  
DENVER CO 80221-1871

CHALMERS RICHARD C  
OR CURRENT RESIDENT  
5490 CLAY ST  
DENVER CO 80221-1636

BOKHOVEN MARK AND  
BOKHOVEN CHELSEY  
OR CURRENT RESIDENT  
5415 PRIMROSE LN  
DENVER CO 80221-1652

CHAPMAN JEFFREY A AND  
CHAPMAN MARY M  
OR CURRENT RESIDENT  
5470 PRIMROSE LN  
DENVER CO 80221-1653

BREES KURT  
BREES VICTORIA L  
OR CURRENT RESIDENT  
2842 W 55TH AVE  
DENVER CO 80221-1616

CHAVEZ JOHN JESSE AND  
TRUJILLO DENISE MARIE  
OR CURRENT RESIDENT  
5455 BRYANT ST  
DENVER CO 80221-1627

BUCKMASTER MARK AND  
MUKHERJI ANANDITA  
OR CURRENT RESIDENT  
5425 PRIMROSE LN  
DENVER CO 80221-1652

CHAVEZ JOHNNY P AND  
CHAVEZ GLORIA L  
OR CURRENT RESIDENT  
5450 BRYANT ST  
DENVER CO 80221-1628

CHAVEZ NATALIE  
OR CURRENT RESIDENT  
5361 PRIMROSE LN  
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ESCOBEDO MARCO A AND  
ESCOBEDO VERONICA  
OR CURRENT RESIDENT  
5681 CLAY STREET  
DENVER CO 80221

CHIARAMONTI VICTORIA  
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2551 W 55TH AVE  
DENVER CO 80221-1611

ESTRADA JOSE D GONZALES  
OR CURRENT RESIDENT  
5450 PRIMROSE LN  
DENVER CO 80221-1653

CHONG CHOR YING AND  
HUI HOI M  
OR CURRENT RESIDENT  
5634 CLAY STREET  
DENVER CO 80221

EYTH JEFF S  
OR CURRENT RESIDENT  
2610 W 56TH AVE  
DENVER CO 80221-1800

CLARK RICHARD G AND  
MC BRIDE LAURA JEAN  
OR CURRENT RESIDENT  
5410 COLUMBINE RD  
DENVER CO 80221-1278

FRESQUEZ THERESA A AND  
FRESQUEZ ALICIA  
OR CURRENT RESIDENT  
5423 COLUMBINE LN  
DENVER CO 80221-1200

COX CLIFF AND  
HERNANDEZ SYBENIE  
OR CURRENT RESIDENT  
5654 CLAY STREET  
DENVER CO 80221

FUKUI BRAD AND MUNOZ LENARD  
OR CURRENT RESIDENT  
2950 W 54TH AVE  
DENVER CO 80221-1608

DE CRESCENTIS ANTHONY J  
OR CURRENT RESIDENT  
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DENVER CO 80221

GARCIA ALBERT  
OR CURRENT RESIDENT  
5475 BRYANT ST  
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DECHANT ZACHEUS R  
OR CURRENT RESIDENT  
2901 COLUMBINE RD  
DENVER CO 80221-1260

GARCIA FARRAH R AND  
RESSLER CHRIS J  
OR CURRENT RESIDENT  
5675 BRYANT ST  
DENVER CO 80221-1871

DUMEYER BEVERLEY J  
OR CURRENT RESIDENT  
5518 CLAY STREET  
DENVER CO 80221

GARCIA GOMEZ BLANCA  
OR CURRENT RESIDENT  
2886 W 56TH AVE  
DENVER CO 80221-1838

ELM RIDGE MOBILE HOME PARK INC  
OR CURRENT RESIDENT  
5601 FEDERAL BLVD  
DENVER CO 80221-1821

GARCIA ISAAC E AND MARIA R  
OR CURRENT RESIDENT  
2750 W 55TH AVE  
DENVER CO 80221

ESCALERA JUAN M AND  
ESCALERA MARGARITA  
OR CURRENT RESIDENT  
2701 W 55TH AVE  
DENVER CO 80221

GARRETT DWAYNE D TRUST UA THE  
OR CURRENT RESIDENT  
2600 W 56TH AVE  
DENVER CO 80221-1800

GATES JACQUELYN MICHELLE  
OR CURRENT RESIDENT  
2780 W 56TH AVE  
DENVER CO 80221-1816

HOFFIUS GREGORY S  
OR CURRENT RESIDENT  
2934 W 54TH AVE  
DENVER CO 80221-1608

GETTE JAMES W AND  
GETTE KATHRYN R  
OR CURRENT RESIDENT  
5580 CLAY ST  
DENVER CO 80221-1635

HOLDERNESS LORILEE MARIE  
OR CURRENT RESIDENT  
5631 CLAY ST  
DENVER CO 80221-1844

GIBSON MARY JANE  
OR CURRENT RESIDENT  
2552 W 56TH AVE  
DENVER CO 80221-1812

HULEN CARL M AND  
HULEN FRANCES B  
OR CURRENT RESIDENT  
2740 W 55TH AVE  
DENVER CO 80221-1616

GREBB WEST 1 LLC  
OR CURRENT RESIDENT  
5595 FEDERAL BLVD  
DENVER CO 80221-6574

JUAREZ-VERA BERNARDA  
OR CURRENT RESIDENT  
2665 W 55TH AVE  
DENVER CO 80221-1613

HAHN DAREN J AND  
THATCHER JANE  
OR CURRENT RESIDENT  
2822 W 55TH AVE  
WESTMINSTER CO 80221-1616

JUAREZ-VERA CARLOS  
OR CURRENT RESIDENT  
5506 CLAY STREET  
DENVER CO 80221

HARTVIGSON-MCINTYRE MEGHAN E AND  
MCINTYRE KELLEN P  
OR CURRENT RESIDENT  
5502 CLAY ST  
DENVER CO 80221-1635

KEIM CRYSTAL  
OR CURRENT RESIDENT  
5455 PRIMROSE LN  
DENVER CO 80221-1652

HAUER DANIE AND  
CHAU CHRISTINA  
OR CURRENT RESIDENT  
5396 COLUMBINE RD  
DENVER CO 80221-1277

KELLY YOLANDA LUCAS  
OR CURRENT RESIDENT  
3050 W 55TH PL  
DENVER CO 80221-6526

HERMOSA VETERINARY  
CLINIC P C  
OR CURRENT RESIDENT  
5495 FEDERAL BLVD  
DENVER CO 80221-6539

KOGLE MATTHEW AND  
GREENE JENNIFER A  
OR CURRENT RESIDENT  
5465 BRYANT ST  
DENVER CO 80221-1627

HERNANDEZ ADRIAN AND  
HERNANDEZ NIKKI SMITH  
OR CURRENT RESIDENT  
5481 BEACH CT  
DENVER CO 80221-1625

LAMSON BETHANY AND  
CLODFELTER GWENDOLYN  
OR CURRENT RESIDENT  
5590 CLAY ST  
DENVER CO 80221-1635

HERNANDEZ MIGUEL MADRID  
OR CURRENT RESIDENT  
5569 CLAY ST  
DENVER CO 80221-1634

LECHUGA LAURA  
OR CURRENT RESIDENT  
2898 W 56TH AVE  
DENVER CO 80221-1838



LOPEZ BARBARA AND  
LOPEZ LAURA AND LOPEZ ELADIO JR  
OR CURRENT RESIDENT  
2888 W 55TH AVE  
DENVER CO 80221-1616

MICHEL MAGDALENA AND  
MICHEL ISABELLA  
OR CURRENT RESIDENT  
2760 W 56TH AVE  
DENVER CO 80221-1816

LOPEZ GILBERTA AND  
WORTHAM KAREN J  
OR CURRENT RESIDENT  
5620 BRYANT STREET  
DENVER CO 80221

MILLER PRESTON B AND  
MILLER JILLIAN G  
OR CURRENT RESIDENT  
5535 CLAY ST  
DENVER CO 80221-1634

MANJAEKANG INC  
OR CURRENT RESIDENT  
5450 FEDERAL BLVD  
DENVER CO 80221-6540

MORENO ORLANDO SAMUEL AND  
RAMIREZ MARYA ALEJANDRA  
OR CURRENT RESIDENT  
5550 CLAY ST  
DENVER CO 80221-1635

MANZANARES CINDY UND 1/3RD INT AND  
FREITAS DOROTHY UND 2/3RD INT  
OR CURRENT RESIDENT  
2931 W 55TH AVE  
DENVER CO 80221-1619

MULLOY ERYN AND  
KOSLOW VIRGINIA  
OR CURRENT RESIDENT  
5480 BRYANT ST  
DENVER CO 80221-1628

MARTINEZ DEREKA  
OR CURRENT RESIDENT  
5430 PRIMROSE LN  
DENVER CO 80221-1653

NAKAOKI JEANNINE K  
OR CURRENT RESIDENT  
5470 BRYANT ST  
DENVER CO 80221-1628

MATOS MARIA R AND  
MATOS ALDO M  
OR CURRENT RESIDENT  
5495 BRYANT ST  
DENVER CO 80221-1627

ORDONEZ-VARGAS DANIEL ENRIQUE AND  
HERNANDEZ ERICKA  
OR CURRENT RESIDENT  
5432 ELM CT  
DENVER CO 80221-1629

MCCUNE CHARLENE  
OR CURRENT RESIDENT  
5444 CLAY ST  
DENVER CO 80221-1636

ORNELAS RODOLFO AND  
ORNELAS EDELMIRA  
OR CURRENT RESIDENT  
5490 BRYANT ST  
DENVER CO 80221-1628

MCKINNEY CHADWICK  
OR CURRENT RESIDENT  
2825 W 55TH AVE  
DENVER CO 80221-1615

ORONIA ELIA  
OR CURRENT RESIDENT  
2892 W 55TH AVE  
DENVER CO 80221-1616

MEDINA ROBIN A LIVING TRUST THE  
OR CURRENT RESIDENT  
5375 COLUMBINE LN  
DENVER CO 80221-1285

ORTEGA MICHAH AND  
ORTEGA PATRICIA  
OR CURRENT RESIDENT  
5684 CLAY STREET  
DENVER CO 80201

MENDIOLA JESUS  
OR CURRENT RESIDENT  
2892 W 56TH AVE  
DENVER CO 80221-1838

OSINSKI TERESA AND  
LEON ERIE PIRELA  
OR CURRENT RESIDENT  
5424 ELM CT  
DENVER CO 80221-1629

PALACIOS JFRANCISCO  
OR CURRENT RESIDENT  
2561 W 56TH AVE  
DENVER CO 80221-1811

RODRIGUEZ JUAN JESUS  
OR CURRENT RESIDENT  
5416 ELM CT  
DENVER CO 80221-1629

PEREIRA RITA  
OR CURRENT RESIDENT  
5674 CLAY ST  
DENVER CO 80221-1840

ROTHWELL SARAH  
OR CURRENT RESIDENT  
5434 CLAY ST  
DENVER CO 80221

PEREZ ALFREDO  
OR CURRENT RESIDENT  
5661 CLAY STREET  
DENVER CO 80221

SANTOS JOSE L  
OR CURRENT RESIDENT  
5425 COLUMBINE LN  
DENVER CO 80221-1287

PEREZ ZEKE AND  
ELLEDGE NATALEE  
OR CURRENT RESIDENT  
5701 CLAY ST  
DENVER CO 80221-1852

SCHIESS DREW THOMAS AND  
PETRJANOS BRITNEY MARIE  
OR CURRENT RESIDENT  
5390 PRIMROSE LN  
DENVER CO 80221-1253

PLUE ERNEST E AND  
PLUE MARTHA M  
OR CURRENT RESIDENT  
5381 PRIMROSE LN  
DENVER CO 80221-1252

SCHULTZ KELLY  
OR CURRENT RESIDENT  
5671 CLAY STREET  
DENVER CO 80221

PLUMLEY BYRON L JR AND  
WHITESIDE SHIRLEY S  
OR CURRENT RESIDENT  
2922 W 55TH AVE  
DENVER CO 80221-1620

SEBASTIAN OSCAR A AND  
OCHOA LORENA M  
OR CURRENT RESIDENT  
5525 CLAY ST  
DENVER CO 80221-1634

QUINTANA KATHLEEN  
OR CURRENT RESIDENT  
5437 ELM CT  
DENVER CO 80221-1629

SHELL SYDNEY LEE  
OR CURRENT RESIDENT  
5421 BRYANT ST  
DENVER CO 80221-1627

RANDALL ZACHARY W AND  
RANDALL RACHEL D  
OR CURRENT RESIDENT  
5475 PRIMROSE LN  
DENVER CO 80221-1652

SILVA-DIMATE LUZ M  
OR CURRENT RESIDENT  
5421 ELM CT  
DENVER CO 80221-1629

RHOMBERG MICHAEL  
OR CURRENT RESIDENT  
5615 BRYANT ST  
DENVER CO 80221-1871

SLATER SAMANTHA LEIGH  
OR CURRENT RESIDENT  
5510 CLAY ST  
DENVER CO 80221-1635

RIVAS RAMIRO AND  
RIVAS BRAYAN  
OR CURRENT RESIDENT  
2837 W 55TH AVE  
DENVER CO 80221-1615

SMITH RYAN  
OR CURRENT RESIDENT  
2902 W 56TH AVE  
DENVER CO 80221-1820

SORENSEN STACEY ALLEN AND  
SORENSEN NANCY JANE  
OR CURRENT RESIDENT  
2570 W 56TH AVE  
DENVER CO 80221-1812

WEST SPANISH CONGREGATION OF JEHOVAH S  
WITNESSES/ C/O MANUEL MENDEZ  
OR CURRENT RESIDENT  
2675 W 56TH AVE  
DENVER CO 80221-1811

SPARKS GERALDINE M  
OR CURRENT RESIDENT  
5380 PRIMROSE LN  
DENVER CO 80221

WHITE SHARON L  
OR CURRENT RESIDENT  
5425 CLAY ST  
DENVER CO 80221-1637

SYRETT JUSTIN  
OR CURRENT RESIDENT  
5655 BRYANT ST  
DENVER CO 80221-1871

WIESE WILLIAM GLEN  
OR CURRENT RESIDENT  
2660 W 56TH AVE  
DENVER CO 80221-1800

TANNER PAMELA K  
OR CURRENT RESIDENT  
2601 W 55TH AVE  
DENVER CO 80221-1613

WILLIAMS MARK D AND  
THOMPSON RACHEL L  
OR CURRENT RESIDENT  
2571 W 55TH AVE  
DENVER CO 80221-1611

TAYLOR KATHY  
OR CURRENT RESIDENT  
5400 CLAY ST  
DENVER CO 80221-1636

WIMP WILLIAM  
OR CURRENT RESIDENT  
2961 W 55TH AVE  
DENVER CO 80221-1619

TIENDA SANDOVAL MARTHA A  
OR CURRENT RESIDENT  
5665 BRYANT ST  
DENVER CO 80221-1871

WORMER ALEXANDER M  
OR CURRENT RESIDENT  
5429 ELM CT  
DENVER CO 80221-1629

VIALPANDO IRENE J  
OR CURRENT RESIDENT  
5640 BRYANT STREET  
DENVER CO 80221

WROCK LLC  
OR CURRENT RESIDENT  
5545 FEDERAL BLVD  
DENVER CO 80221-6541

VIALPANDO JOHNNY R AND  
VIALPANDO NIKKI  
OR CURRENT RESIDENT  
5651 CLAY STREET  
DENVER CO 80221

YANG SOPHIA  
OR CURRENT RESIDENT  
5411 ELM CT  
WESTMINSTER CO 80221-1629

VIGIL CATHERINE J  
OR CURRENT RESIDENT  
5408 ELM CT  
DENVER CO 80221-1629

CURRENT RESIDENT  
5312 COLUMBINE RD  
DENVER CO 80221

VILLA FRANCISCO AND  
VILLA MARICELA P  
OR CURRENT RESIDENT  
2565 W 55TH AVE  
DENVER CO 80221-1611

CURRENT RESIDENT  
5314 COLUMBINE RD  
DENVER CO 80221

CURRENT RESIDENT  
5316 COLUMBINE RD  
DENVER CO 80221

CURRENT RESIDENT  
2851 W 54TH AVE  
DENVER CO 80221-1607

CURRENT RESIDENT  
5318 COLUMBINE RD  
DENVER CO 80221

CURRENT RESIDENT  
2938 W 54TH AVE  
DENVER CO 80221-1608

CURRENT RESIDENT  
5320 COLUMBINE RD  
DENVER CO 80221

CURRENT RESIDENT  
2561 W 55TH AVE  
DENVER CO 80221-1611

CURRENT RESIDENT  
5322 COLUMBINE RD  
DENVER CO 80221

CURRENT RESIDENT  
2550 W 55TH AVE  
DENVER CO 80221-1612

CURRENT RESIDENT  
5324 COLUMBINE RD  
DENVER CO 80221

CURRENT RESIDENT  
2702 W 55TH AVE  
DENVER CO 80221-1616

CURRENT RESIDENT  
5326 COLUMBINE RD  
DENVER CO 80221

CURRENT RESIDENT  
2770 W 55TH AVE  
DENVER CO 80221-1616

CURRENT RESIDENT  
5380 FEDERAL BLVD  
DENVER CO 80221-1143

CURRENT RESIDENT  
2872 W 55TH AVE  
DENVER CO 80221-1616

CURRENT RESIDENT  
2955 COLUMBINE RD  
DENVER CO 80221-1260

CURRENT RESIDENT  
2941 W 55TH AVE  
DENVER CO 80221-1619

CURRENT RESIDENT  
5395 COLUMBINE RD  
DENVER CO 80221-1279

CURRENT RESIDENT  
2900 W 55TH AVE  
DENVER CO 80221-1620

CURRENT RESIDENT  
2699 W 54TH AVE  
DENVER CO 80221-1603

CURRENT RESIDENT  
2942 W 55TH AVE  
DENVER CO 80221-1620



CURRENT RESIDENT  
5485 BRYANT ST  
DENVER CO 80221-1627

CURRENT RESIDENT  
5429 PRIMROSE LN  
DENVER CO 80221-1652

CURRENT RESIDENT  
5460 BRYANT ST  
DENVER CO 80221-1628

CURRENT RESIDENT  
5465 PRIMROSE LN  
DENVER CO 80221-1652

CURRENT RESIDENT  
5445 ELM CT  
THORNTON CO 80221-1629

CURRENT RESIDENT  
5495 PRIMROSE LN  
DENVER CO 80221-1652

CURRENT RESIDENT  
5448 ELM CT  
THORNTON CO 80221-1629

CURRENT RESIDENT  
5650 FEDERAL BLVD  
DENVER CO 80221-1802

CURRENT RESIDENT  
5545 CLAY ST  
WESTMINSTER CO 80221-1634

CURRENT RESIDENT  
2685 W 56TH AVE  
DENVER CO 80221-1811

CURRENT RESIDENT  
5563 CLAY ST  
WESTMINSTER CO 80221-1634

CURRENT RESIDENT  
2580 W 56TH AVE  
DENVER CO 80221-1812

CURRENT RESIDENT  
5520 CLAY ST  
WESTMINSTER CO 80221-1635

CURRENT RESIDENT  
2590 W 56TH AVE  
DENVER CO 80221-1812

CURRENT RESIDENT  
5454 CLAY ST  
WESTMINSTER CO 80221-1636

CURRENT RESIDENT  
2735 W 56TH AVE  
DENVER CO 80221-1815

CURRENT RESIDENT  
5480 CLAY ST  
WESTMINSTER CO 80221-1636

CURRENT RESIDENT  
2860 W 56TH AVE  
DENVER CO 80221-1838

CURRENT RESIDENT  
5435 CLAY ST  
WESTMINSTER CO 80221-1637

CURRENT RESIDENT  
2880 W 56TH AVE  
DENVER CO 80221-1838

CURRENT RESIDENT  
5664 CLAY ST  
WESTMINSTER CO 80221-1840

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 3A  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD APT 1  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 3B  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD APT 2  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 4A  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD APT 3  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 4B  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD APT 4  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 5A  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD APT 5  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 6A  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 1A  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 7A  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 1B  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 8A  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 2A  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 9A  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 2B  
DENVER CO 80221-1845

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 10B  
DENVER CO 80221-1846

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 11B  
DENVER CO 80221-1846

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 11A  
DENVER CO 80221-1847

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 12B  
DENVER CO 80221-1846

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 12A  
DENVER CO 80221-1847

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 13B  
DENVER CO 80221-1846

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 13A  
DENVER CO 80221-1847

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 14B  
DENVER CO 80221-1846

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 14A  
DENVER CO 80221-1847

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 5B  
DENVER CO 80221-1846

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 15A  
DENVER CO 80221-1847

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 6B  
DENVER CO 80221-1846

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 16A  
DENVER CO 80221-1847

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 7B  
DENVER CO 80221-1846

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 17A  
DENVER CO 80221-1847

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 8B  
DENVER CO 80221-1846

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 18A  
DENVER CO 80221-1847

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 9B  
DENVER CO 80221-1846

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 19A  
DENVER CO 80221-1847

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 10A  
DENVER CO 80221-1847

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 20A  
DENVER CO 80221-1848

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 21A  
DENVER CO 80221-1848

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 24B  
DENVER CO 80221-1849

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 15B  
DENVER CO 80221-1849

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 25B  
DENVER CO 80221-1850

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 16B  
DENVER CO 80221-1849

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 26B  
DENVER CO 80221-1850

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 17B  
DENVER CO 80221-1849

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 27B  
DENVER CO 80221-1850

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 18B  
DENVER CO 80221-1849

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 28B  
DENVER CO 80221-1850

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 19B  
DENVER CO 80221-1849

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 29B  
DENVER CO 80221-1850

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 20B  
DENVER CO 80221-1849

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 30B  
DENVER CO 80221-1850

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 21B  
DENVER CO 80221-1849

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 31B  
DENVER CO 80221-1850

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 22B  
DENVER CO 80221-1849

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 32B  
DENVER CO 80221-1850

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 23B  
DENVER CO 80221-1849

CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 33B  
DENVER CO 80221-1850



CURRENT RESIDENT  
5601 FEDERAL BLVD LOT 34B  
DENVER CO 80221-1850

CURRENT RESIDENT  
5595 FEDERAL BLVD STE A  
DENVER CO 80221-6574

CURRENT RESIDENT  
3055 W 55TH AVE  
DENVER CO 80221-6517

CURRENT RESIDENT  
5595 FEDERAL BLVD STE B  
DENVER CO 80221-6574

CURRENT RESIDENT  
3060 W 55TH PL  
DENVER CO 80221-6526

CURRENT RESIDENT  
5595 FEDERAL BLVD STE C  
DENVER CO 80221-6574

CURRENT RESIDENT  
5401 FEDERAL BLVD  
DENVER CO 80221-6539

CURRENT RESIDENT  
5595 FEDERAL BLVD STE D  
DENVER CO 80221-6574

CURRENT RESIDENT  
5400 FEDERAL BLVD  
DENVER CO 80221-6540

CURRENT RESIDENT  
5595 FEDERAL BLVD STE E  
DENVER CO 80221-6574

CURRENT RESIDENT  
5418 FEDERAL BLVD  
DENVER CO 80221-6540

CURRENT RESIDENT  
5595 FEDERAL BLVD STE F  
DENVER CO 80221-6574

CURRENT RESIDENT  
5496 FEDERAL BLVD  
DENVER CO 80221-6540

CURRENT RESIDENT  
5595 FEDERAL BLVD STE G  
DENVER CO 80221-6574

CURRENT RESIDENT  
5501 FEDERAL BLVD  
DENVER CO 80221-6541

CURRENT RESIDENT  
5595 FEDERAL BLVD STE H  
DENVER CO 80221-6574

CURRENT RESIDENT  
5520 FEDERAL BLVD  
DENVER CO 80221-6542

CURRENT RESIDENT  
5525 FEDERAL BLVD LOT 21  
DENVER CO 80221-6584

CURRENT RESIDENT  
5524 FEDERAL BLVD  
DENVER CO 80221-6542

CURRENT RESIDENT  
5525 FEDERAL BLVD LOT 22  
DENVER CO 80221-6584

CURRENT RESIDENT  
5525 FEDERAL BLVD LOT 23  
DENVER CO 80221-6584

CURRENT RESIDENT  
5525 FEDERAL BLVD LOT 33  
DENVER CO 80221-6585

CURRENT RESIDENT  
5525 FEDERAL BLVD LOT 24  
DENVER CO 80221-6584

CURRENT RESIDENT  
5525 FEDERAL BLVD LOT 34  
DENVER CO 80221-6585

CURRENT RESIDENT  
5525 FEDERAL BLVD LOT 25  
DENVER CO 80221-6584

CURRENT RESIDENT  
5555 FEDERAL BLVD OFC OFC  
DENVER CO 80221-6598

CURRENT RESIDENT  
5525 FEDERAL BLVD LOT 26  
DENVER CO 80221-6584

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 10  
DENVER CO 80221-6599

CURRENT RESIDENT  
5525 FEDERAL BLVD LOT 27  
DENVER CO 80221-6584

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 11  
DENVER CO 80221-6599

CURRENT RESIDENT  
5525 FEDERAL BLVD LOT 28  
DENVER CO 80221-6584

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 12  
DENVER CO 80221-6599

CURRENT RESIDENT  
5525 FEDERAL BLVD LOT 29  
DENVER CO 80221-6584

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 14  
DENVER CO 80221-6599

CURRENT RESIDENT  
5525 FEDERAL BLVD LOT 30  
DENVER CO 80221-6584

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 15  
DENVER CO 80221-6599

CURRENT RESIDENT  
5525 FEDERAL BLVD LOT 31  
DENVER CO 80221-6585

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 16  
DENVER CO 80221-6599

CURRENT RESIDENT  
5525 FEDERAL BLVD LOT 32  
DENVER CO 80221-6585

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 17  
DENVER CO 80221-6599

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 18  
DENVER CO 80221-6599

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 27  
DENVER CO 80221-6599

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 19  
DENVER CO 80221-6599

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 28  
DENVER CO 80221-6599

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 2  
DENVER CO 80221-6599

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 3  
DENVER CO 80221-6599

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 20  
DENVER CO 80221-6599

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 30  
DENVER CO 80221-6599

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 21  
DENVER CO 80221-6599

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 31  
DENVER CO 80221-6599

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 22  
DENVER CO 80221-6599

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 32  
DENVER CO 80221-6599

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 23  
DENVER CO 80221-6599

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 33  
DENVER CO 80221-6599

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 24  
DENVER CO 80221-6599

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 34  
DENVER CO 80221-6599

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 25  
DENVER CO 80221-6599

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 3A  
DENVER CO 80221-6599

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 26  
DENVER CO 80221-6599

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 3B  
DENVER CO 80221-6599

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 3C  
DENVER CO 80221-6599

CURRENT RESIDENT  
5565 FEDERAL BLVD LOT 13  
DENVER CO 80221-8802

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 4  
DENVER CO 80221-6599

CURRENT RESIDENT  
5565 FEDERAL BLVD LOT 14  
DENVER CO 80221-8802

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 5  
DENVER CO 80221-6599

CURRENT RESIDENT  
5565 FEDERAL BLVD LOT 15  
DENVER CO 80221-8802

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 6  
DENVER CO 80221-6599

CURRENT RESIDENT  
5565 FEDERAL BLVD LOT 16  
DENVER CO 80221-8802

CURRENT RESIDENT  
5555 FEDERAL BLVD LOT 7  
DENVER CO 80221-6599

CURRENT RESIDENT  
5565 FEDERAL BLVD LOT 17  
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5455 FEDERAL BLVD STE C  
DENVER CO 80221-8812

# CERTIFICATE OF POSTING



I, J. Gregory Barnes do hereby certify that I posted the subject property on March 11, 2022, in accordance with the requirements of the Adams County Development Standards and Regulations.

A handwritten signature in black ink, appearing to read 'J. Gregory Barnes'.

---

J. Gregory Barnes

# Berkeley Villas

PRC2021-00003

Community & Economic Development Department

April 5, 2022

Presented by: Greg Barnes, Planner III



ADAMS COUNTY  
COLORADO



# Requests

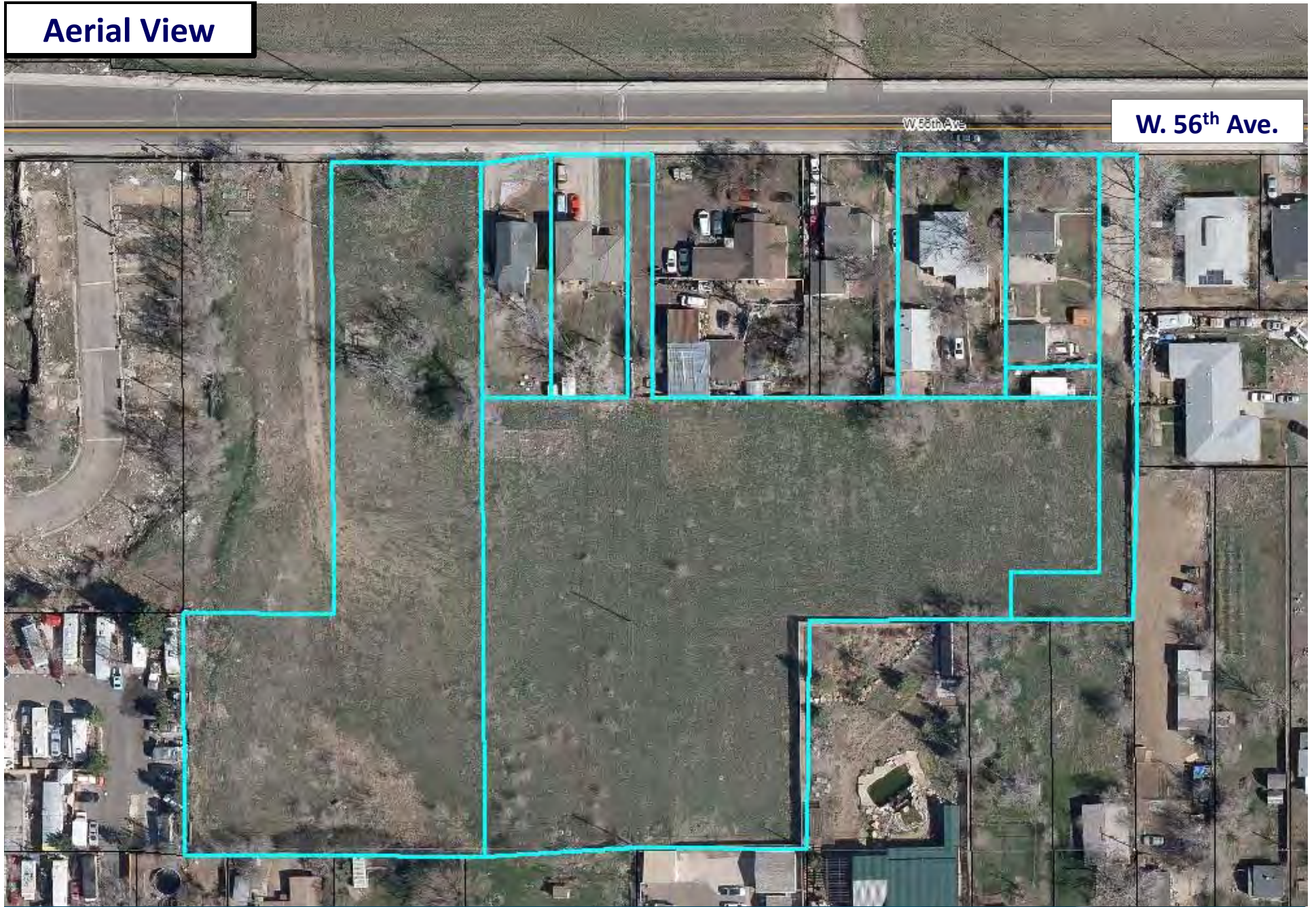
- Rezoning of 4.6 acres
  - Current Zoning: Residential-2
  - Proposed Zoning: Transit-Oriented Development
- Preliminary Plat
  - 82 lots
  - 8 tracts

## Aerial View





## Aerial View

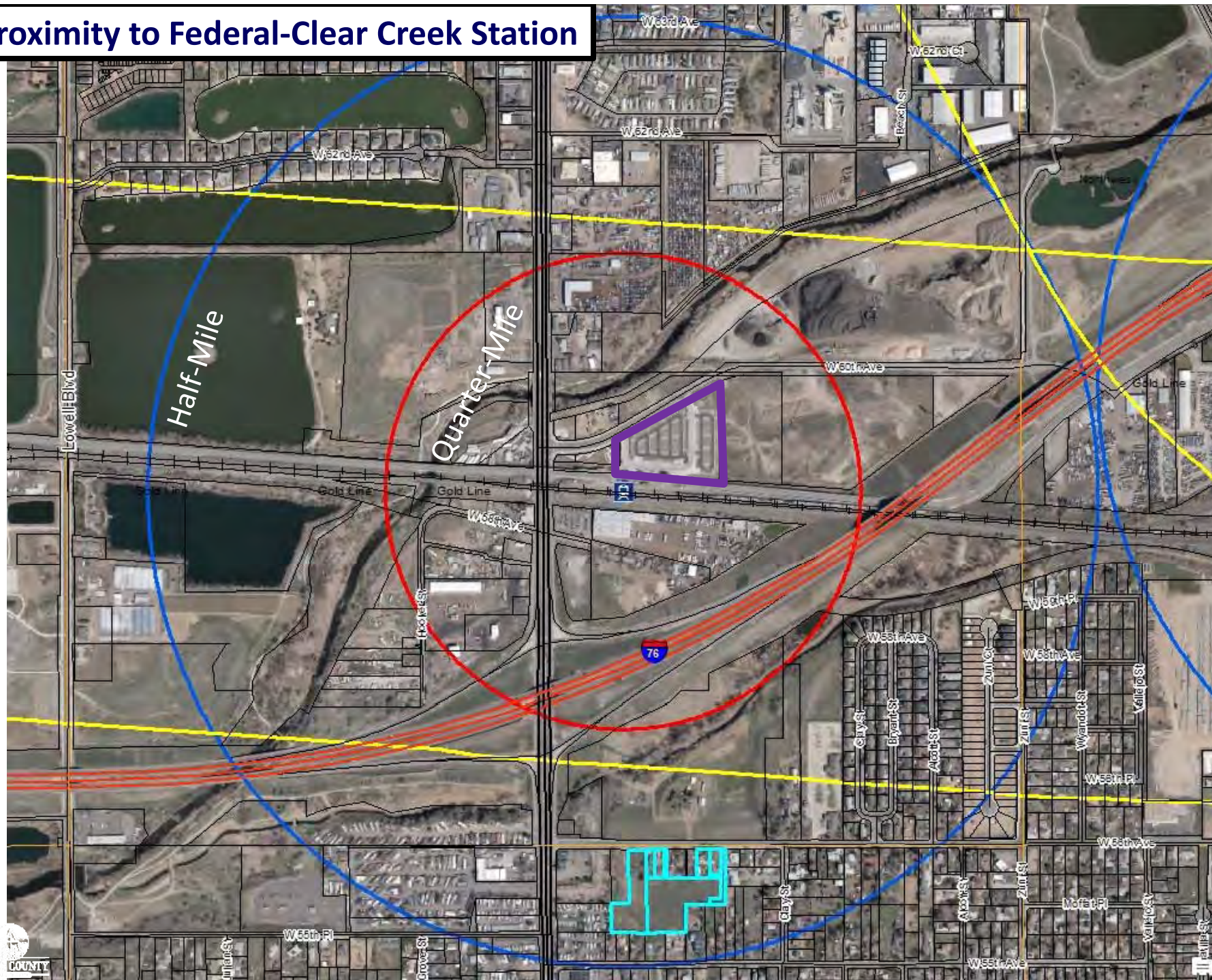


W. 56th Ave.

W. 56th Ave.

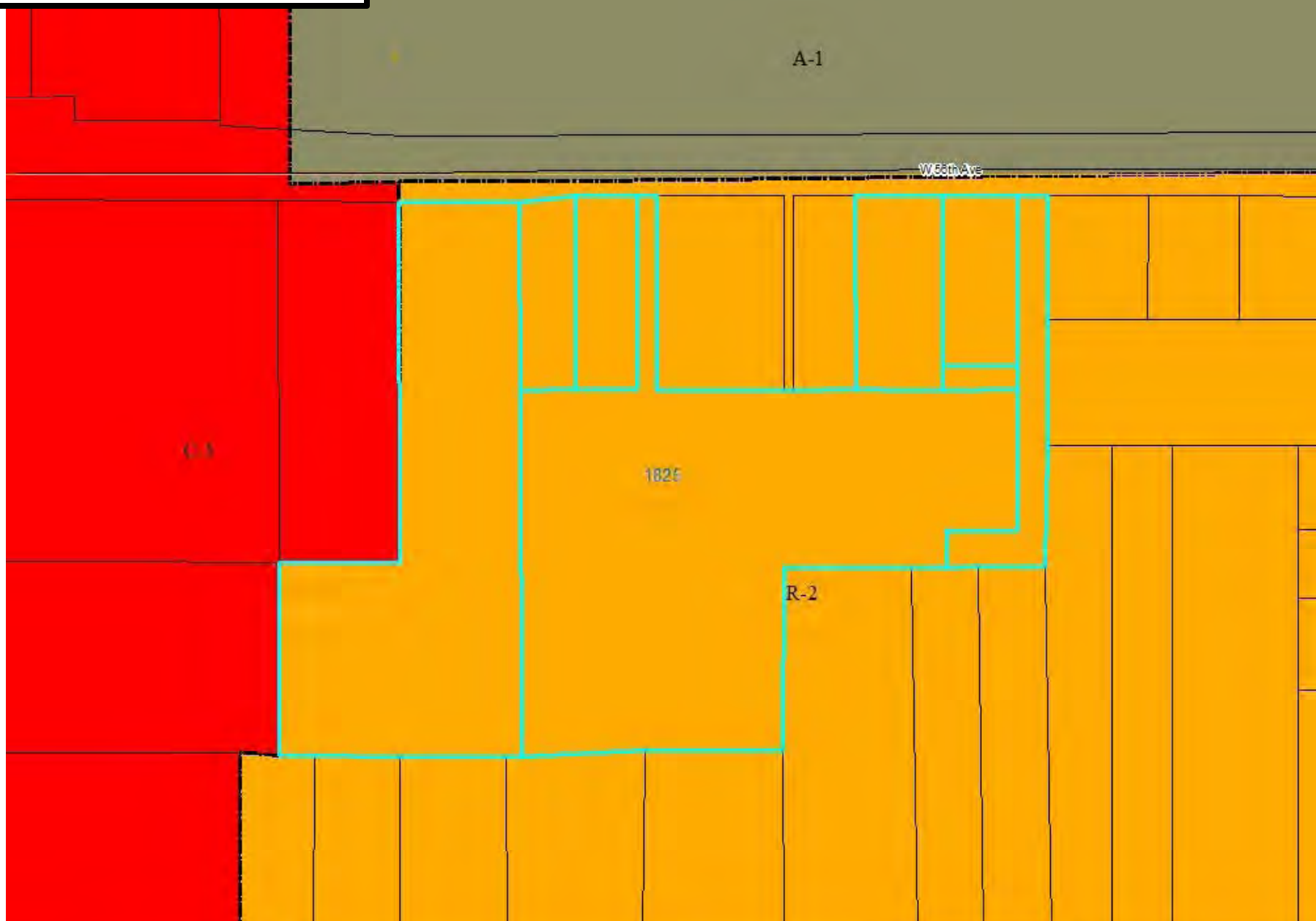


### Proximity to Federal-Clear Creek Station

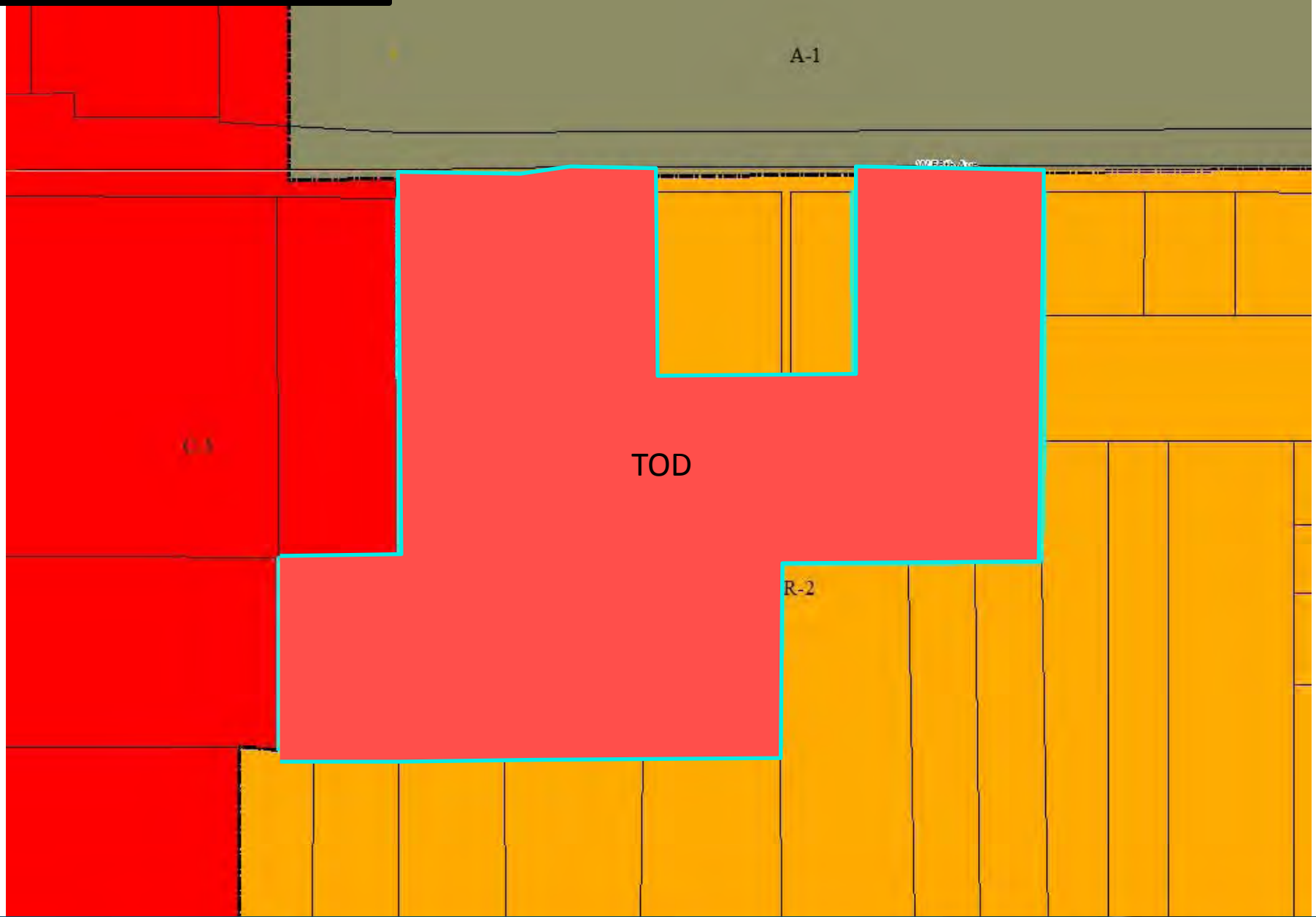




## Current Zoning View



## Proposed Zoning Map



## Comprehensive Plan View



# Criteria for Rezoning & Preliminary Plat Approval

- Consistent with Comprehensive Plan
- Consistent with Purposes of DSR
- Conforms to Subdivision Design Standards
- Sufficient Water Supply
- Public Sewage Disposal
- Mitigation of Geologic Hazards
- Adequate Drainage
- Compatible & Harmonious
- Complies to Zone District Standards



# TOD Zoning

- Located within ½ mile of Selected Transit Station
- Requires a TOD Sketch Plan
- Townhouse Development is Permitted in the Federal-Clear Creek TOD
- Multimodal Transportation Considered
- Minimum Density of 12 dwellings per acre
  - Proposal is for 18 dwelling units per acre

## TOD Sketch Plan



- ① AMENITY WALK
- ② DETENTION POND
- ③ INTERPRETIVE SIGNAGE
- ④ SHELTER AND GRILLS
- ⑤ PLAYGROUND
- ⑥ FLEX LAWN
- ⑦ BUFFER PLANTING
- ⑧ SIDEWALK CONNECTION TO FUTURE MAVERICK GAS STATION
- ⑨ SEATING AREAS



# Elevations

3-28-06-04-02-03

## Single-Family Attached Dwelling Façades

1. The attached single-family dwellings in any one row structure shall be required to have distinctly different façades. No attached single-family structure facade shall be repeated more than once every four structures on the same side of the street.



Fig. 3-27-K: Single-family attached building façade differentiation



UNIT 3R

RIGHT



UNIT 3

UNIT 2R

UNIT 1R

UNIT 1

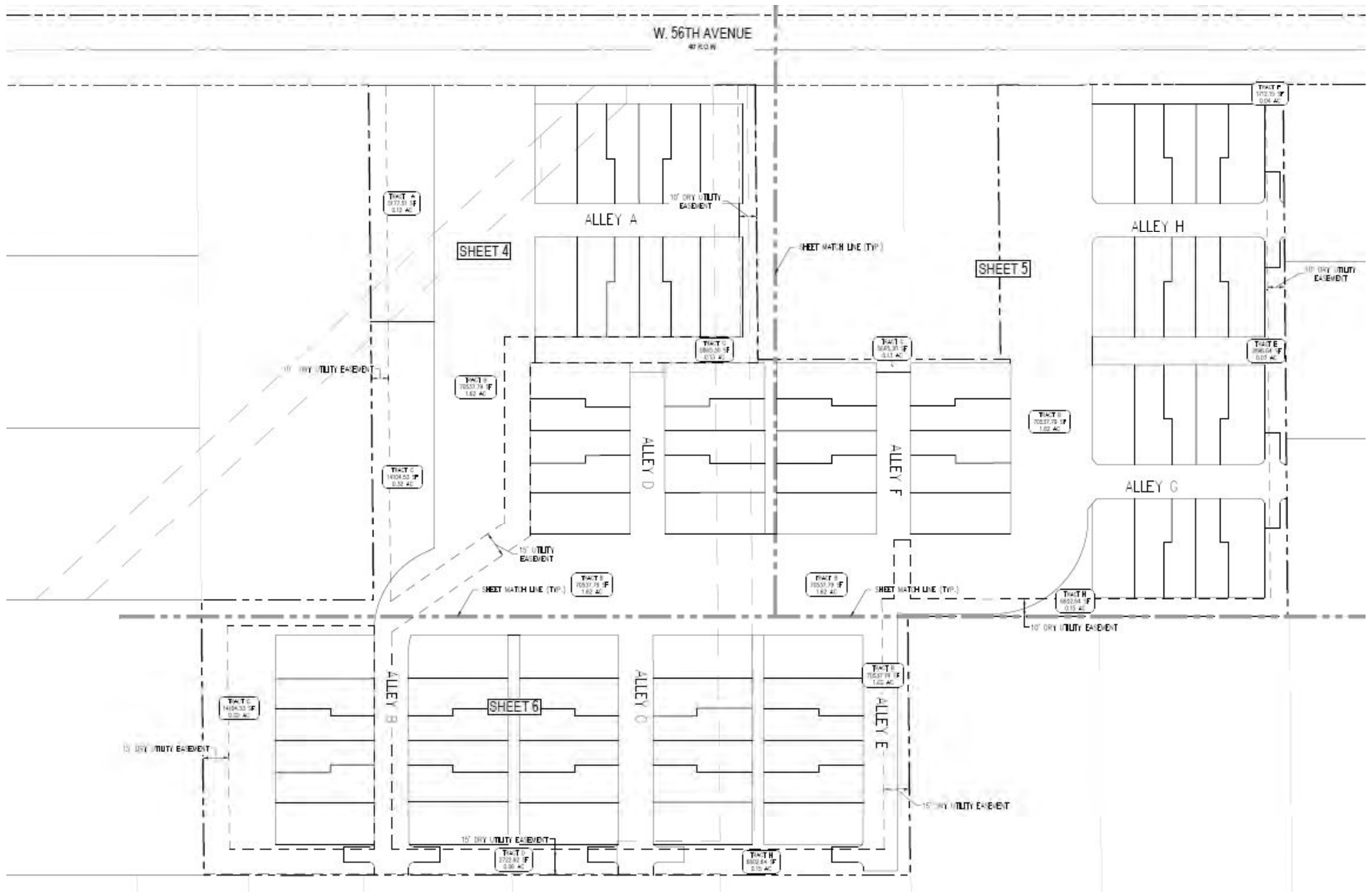
UNIT 2

UNIT 3R

FRONT



# Preliminary Plat





## Site Conditions

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# Referral Comments

- Public Notices:
  - *Notification Radius: 1,000 feet*
  - *Notifications Mailed: 471*
  - *Comments Received: 3*
- Referral Agents:
  - *Notification Radius: 1 mile*
  - *No objections to the Applications*
  - *Conditions Proposed*



# Planning Commission

Public Hearing: March 24, 2022

- 2 members of public spoke at hearing
  - High crime in the area
  - Steep grade of West 56<sup>th</sup> heading to Lowell
- Planning Commission Concerns
  - Increased Gentrification in Area
  - Pedestrian and Bicycle Mobility to the Station
  - Conformance of Building Elevations to the TOD Design Standards

# Planning Commission Recommendation

PRC2021-00003 – Berkeley Villas

**Approval** (5-1) of the rezoning and preliminary plat with:

- 13 findings-of-fact,
- 6 Conditions, and
- 10 notes



# Recommended Findings-of-Fact

1. The preliminary plat is consistent with the Adams County Comprehensive Plan and any available area plan.
2. The preliminary plat is consistent with the purposes of these standards and regulations.
3. The preliminary plat is in conformance with the subdivision design standards and any approved sketch plan.
4. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.
5. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that such system complies with state and local laws and regulations.
6. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.
7. The applicant has provided evidence that adequate drainage improvements comply with these standards and regulations.
8. The overall density of development within the proposed subdivision conforms to the zone district density allowances.
9. The proposed subdivision is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. The proposed subdivision has established an adequate level of compatibility by:
  - a. Incorporating natural physical features into the development design and providing sufficient open spaces considering the type and intensity of use;
  - b. Incorporating site planning techniques to foster the implementation of the County's plans, and encourage a land use pattern to support a balanced transportation system, including auto, bike, and pedestrian traffic, public or mass transit, and the cost-effective delivery of other services consistent with adopted plans, policies and regulations of the County;
  - c. Incorporating physical design features in the subdivision to provide a transition between the project and adjacent land uses through the provision of an attractive entryway, edges along public streets, architectural design, and appropriate height and bulk restrictions on structures;
  - d. Incorporating identified environmentally sensitive areas, including but not limited to, wetlands and wildlife corridors, into the project design; and
  - e. Incorporating public facilities or infrastructure, or cash-in-lieu, reasonably related to the proposed subdivision so the proposed subdivision will not negatively impact the levels of service of the County services and facilities.
10. The Zoning Map amendment is consistent with the Adams County Comprehensive Plan.
11. The Zoning Map amendment is consistent with the purposes of these standards and regulations.
12. The Zoning Map amendment will comply with the requirements of these standards and regulations.
13. The Zoning Map amendment is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.



# Recommended Conditions

1. The applicant shall submit to the Adams County Community and Economic Development Department an application for waiver of subdivision design standards to allow the development to be served by private roadways. The application shall be processed to the Board of County Commissioners for their decision prior to the scheduling of any final plat application related to this preliminary plat.
2. The private roadways shall not have restricted access or gates unless approved by the Director of Community and Economic Development.
3. The private roadways will be designed and constructed in accordance with the standards of the Adams County Fire & Rescue Protection District and as approved by Adams County.
4. “No parking” signs shall be provided on the areas of the street where parking is not allowed.
5. The applicant shall comply with all requirements of the Tri-County Health Department provided in their letter dated February 3, 2022. This includes safe pedestrian design strategies, radon mitigation strategies, and mosquito and vector control.
6. The applicant shall submit building elevations with the building permit site plans that comply with Section 3-28-06-04-02-03 requiring the single-family attached dwellings to have distinctly different facades. No attached single-family structure façade shall be repeated more than once every 100 feet of structures on the same side of the street.



# Recommended Notes

1. The applicant shall comply with all building, zoning, fire, engineering, and health codes and regulations during the development of the subject site.
2. The preliminary plat approval shall expire on April 5, 2024, if a final plat application is not submitted to the Adams County Community and Economic Development Department.
3. The applicant is required to obtain a permit for inert fill and a grading permit prior to importing any amount of inert fill material onto the subject property, which includes demonstrating the fill material meets the definition of inert fill material.
4. Adams County will require building permit approval to establish the new uses. These reviews shall include, but are not limited to, landscaping, site design, parking, building safety, traffic, and drainage.
5. The applicant shall submit to the Adams County Community and Economic Development Department a final drainage analysis and report for review and approval with any application for a final plat.
6. The applicant shall submit to the Adams County Community and Economic Development Department a final traffic impact study for review and approval with any application for a final plat.
7. A Subdivision Improvements Agreement and collateral shall be submitted with the final plat application.
8. A public land dedication fee for parks and schools shall be paid to Adams County prior to or with the final plat submittal. This fee shall be determined by the fee structure specified in Section 5-05 of the Adams County Development Standards and Regulations.
9. All utilities shall be located underground pursuant to the Adams County Development Standards and Regulations.
10. The Director of Community and Economic Development may opt to refer any building permit site plan related to the Transit-Oriented Development Sketch Plan to the Planning Commission in accordance with Section 3-27-03 of the County's Development Standards and Regulations. The Planning Commission will ensure consistency with the general design of this sketch plan. If so referred, the decision of the Planning Commission shall constitute a final decision, subject to appeal to the Board of County Commissioners.

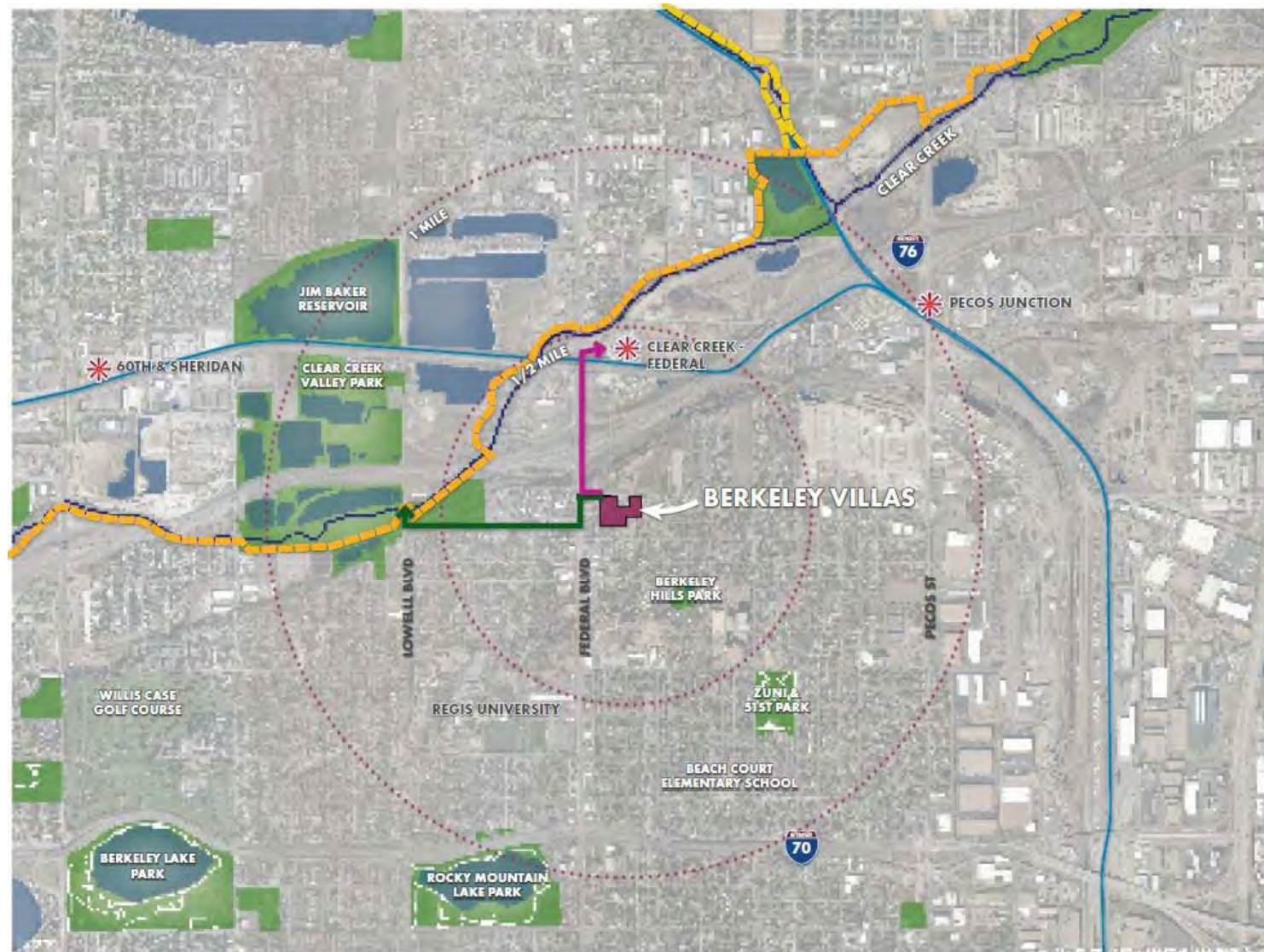


# Parking





# Open Space Accessibility



## CONNECTIVITY

- TO LIGHT RAIL STATION
- TO CLEAR CREEK VALLEY PARK
- LIGHT RAIL
- CLEAR CREEK TRAIL
- DRY CREEK TRAIL
- LIGHT RAIL STATION
- CREEK
- PARK/OPEN SPACE

# Pedestrian Mobility



TOD WALKABILITY ZONE



PEDESTRIAN CONNECTION

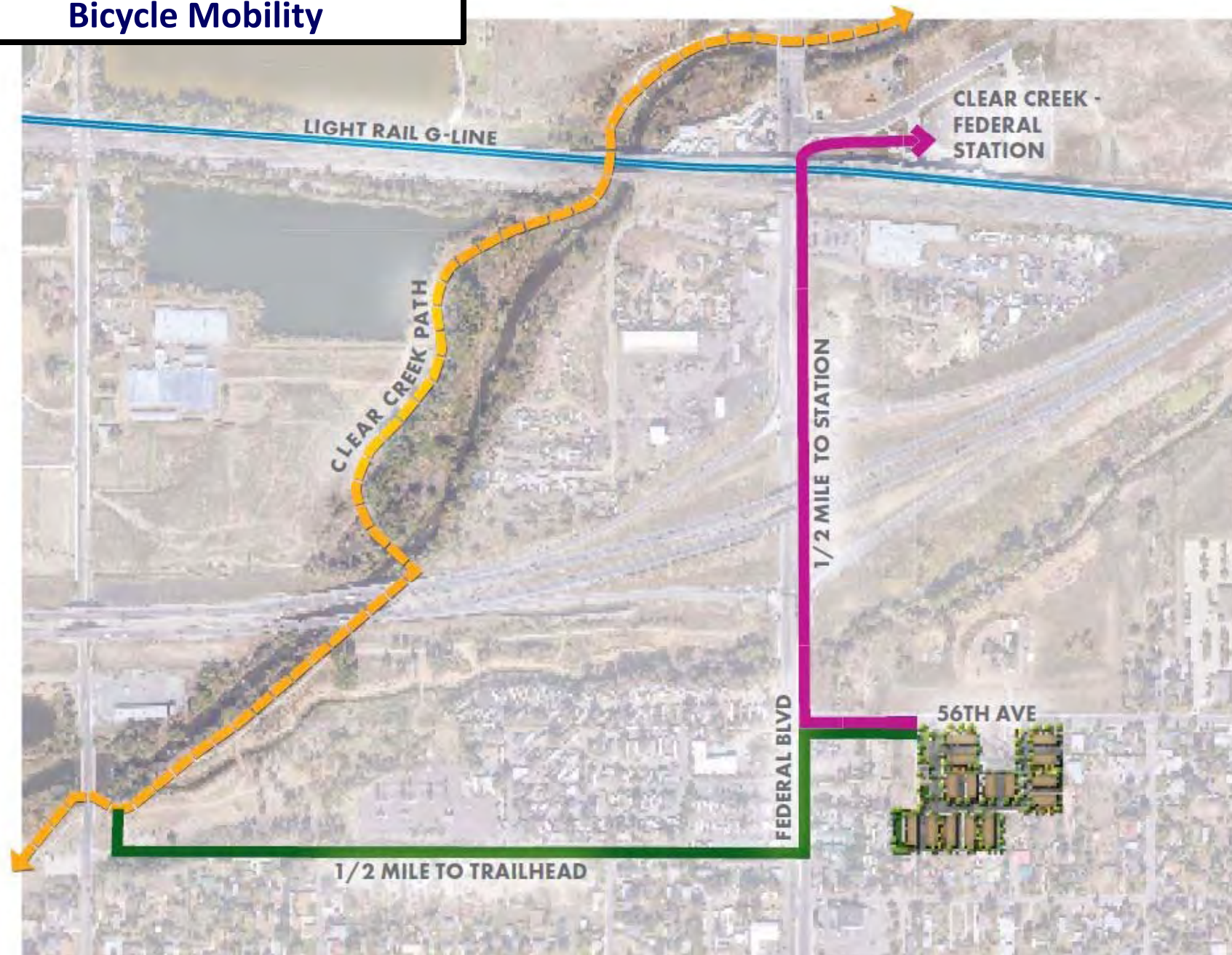


BENCH/SEATING AREA





# Bicycle Mobility





Community & Economic Development Department

4430 South Adams County Parkway,  
1st Floor, Suite W2000  
Brighton, CO 80601-8205  
PHONE 720.523.6800 FAX 720.523.6998

MEMORANDUM

To: Board of County Commissioners  
From: J. Gregory Barnes, Planner III *JGB*  
Subject: Berkeley Villas / Case # PRC2021-00003  
Date: March 24, 2021

If the Board of County Commissioners does not concur with the staff recommendation of approval, the following findings may be adopted as part of a decision of denial:

**ALTERNATIVE RECOMMENDED FINDINGS-OF-FACT FOR DENIAL**

**Preliminary Plat Findings-of-Fact**

1. The preliminary plat is inconsistent with the Adams County Comprehensive Plan and any available area plan.
2. The preliminary plat is inconsistent with the purposes of these standards and regulations.
3. The preliminary plat is not in conformance with the subdivision design standards and any approved sketch plan.
4. The applicant has not provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.
5. The applicant has not provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that such system complies with state and local laws and regulations.
6. The applicant has not provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.
7. The applicant has not provided evidence that adequate drainage improvements comply with these standards and regulations.
8. The overall density of development within the proposed subdivision does not conform to the zone district density allowances.





Community & Economic Development Department

4430 South Adams County Parkway,  
1st Floor, Suite W2000  
Brighton, CO 80601-8205  
PHONE 720.523.6800 FAX 720.523.6998

MEMORANDUM

9. The proposed subdivision is incompatible with the surrounding area, inharmonious with the character of the neighborhood, detrimental to the immediate area, detrimental to the future development of the area, and detrimental to the health, safety, or welfare of the inhabitants of the area and the County. The proposed subdivision has not established an adequate level of compatibility by:
  - a. Incorporating natural physical features into the development design and providing sufficient open spaces considering the type and intensity of use;
  - b. Incorporating site planning techniques to foster the implementation of the County's plans, and encourage a land use pattern to support a balanced transportation system, including auto, bike, and pedestrian traffic, public or mass transit, and the cost-effective delivery of other services consistent with adopted plans, policies, and regulations of the County;
  - c. Incorporating physical design features in the subdivision to provide a transition between the project and adjacent land uses through the provision of an attractive entryway, edges along public streets, architectural design, and appropriate height and bulk restrictions on structures;
  - d. Incorporating identified environmentally sensitive areas, including but not limited to, wetlands and wildlife corridors, into the project design; and
  - e. Incorporating public facilities or infrastructure, or cash-in-lieu, reasonably related to the proposed subdivision so the proposed subdivision will not negatively impact the levels of service of the County services and facilities.

**Zoning Map Amendment (Rezoning) Findings-of-Fact**

10. The Zoning Map amendment is inconsistent with the Adams County Comprehensive Plan.
11. The Zoning Map amendment is inconsistent with the purposes of these standards and regulations.
12. The Zoning Map amendment will not comply with the requirements of these standards and regulations.
13. The Zoning Map amendment is incompatible with the surrounding area, inharmonious with the character of the neighborhood, detrimental to the immediate area, detrimental to the future development of the area, and detrimental to the health, safety, or welfare of the inhabitants of the area and the County.



**COMMUNITY AND ECONOMIC DEVELOPMENT  
DEPARTMENT**

**CASE NO.: PLN2022-00008**

**CASE NAME: Pioneer Pipeline DA Amendment**

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**EXHIBIT 1 – BoCC Staff Report**

**EXHIBIT 2- Maps**

- 2.1 Simple Map
- 2.2 Segment Map

**EXHIBIT 3- Applicant Information**

- 3.1 Written Explanation
- 3.2 Development Agreement
- 3.3 Amendment to Development Agreement



**COMMUNITY AND ECONOMIC DEVELOPMENT  
DEPARTMENT  
STAFF REPORT**

**Board of County Commissioners**

**April 5, 2022**

<b>CASE No.: PLN2022-00008</b>	<b>CASE NAME: Pioneer Pipeline DA Amendment</b>
--------------------------------	---

Owner's Name:	Pioneer Water Pipeline, LLC
Applicant's Name:	Gregory Patton and Jamie Jost
Applicant's Address:	2015 Clubhouse Drive, Suite 201, Greeley, CO 80634
Location of Request:	Multiple parcels in Adams County. The pipeline stretches from approximately East 136 <sup>th</sup> Avenue and Buckley Road to approximately East 168 <sup>th</sup> Avenue and Quebec Street
Nature of Request:	Amendment to the Development Agreement for Pioneer Pipeline to allow for phased construction
Site Size:	Approximately 12.3 miles of pipeline in unincorporated Adams County
Hearing Date(s):	<b>BOCC: April 5, 2022/ 9:30 am</b>
Report Date:	March 29, 2022
Case Manager:	Jen Rutter

**SUMMARY OF APPLICATION**

**Background:**

The Pioneer Pipeline was approved through a Conditional Use Permit (CUP) on September 1, 2020 in case RCU2020-00004. The pipeline is approximately 19 miles and will carry produced water from as many as 15 existing oil and gas facilities in Adams County into Weld County. Along with the pipeline, the Board of County Commissioners approved a Development Agreement, which laid out certain obligations of the operator in the construction of the pipeline. The owner, Pioneer Water Pipeline, LLC, is requesting an amendment to the Development Agreement to allow for each segment of the pipeline to demonstrate permitting compliance prior to construction, rather than the pipeline as a whole.

The current Development Agreement approved with the CUP includes multiple preconstruction requirements as outlined under the Developer's Obligations Part 1 that must be satisfied across

the entire 19-mile system before any disturbance can occur in Adams County. While Pioneer could satisfy all the requirements listed over the course of the project construction, they believe satisfying the conditions on individual defined segments (to be defined as smaller portions of the approximate 19-mile pipeline system) would serve Adams County and its residents more effectively without compromising the intent of the CUP.

#### **Site Characteristics and Surrounding Properties:**

The pipeline will traverse through 42 properties in unincorporated Adams County. On its easternmost end, the route runs along the northern edge of East 136th Avenue between Brighton Road and Sable Boulevard. This region consists largely of vacant, agricultural, and rural residential uses. The region is part of the Historic Splendid Valley District. The route continues to the west and enters unincorporated Adams County again along the edges of E-470 between the South Platte River and Colorado Boulevard. These areas are mostly vacant lands and rural residential uses. The route runs along the northern edge of the Ridge at Riverdale subdivision. Several pockets of the pipeline system are located north of East 152nd Avenue stretching to the Weld County line at East 168th Avenue. These three sections of the pipeline generally run in a north-south direction in the vicinities of Colorado Boulevard, Quebec Street, and Tucson Street. These three portions of the pipeline route are all characteristic of rural residential uses, agricultural, and vacant lands. The proposed produced water pipeline may have some initial impacts during construction but will ultimately reduce traffic and improve air quality in the region by eliminating the need for trucking of the produced water to the injection sites. Measures are included in the associated Development Agreement to reduce the impacts of the pipeline's construction process on nearby property owners.

#### **Development Standards and Regulations Requirements:**

##### **Development Agreement**

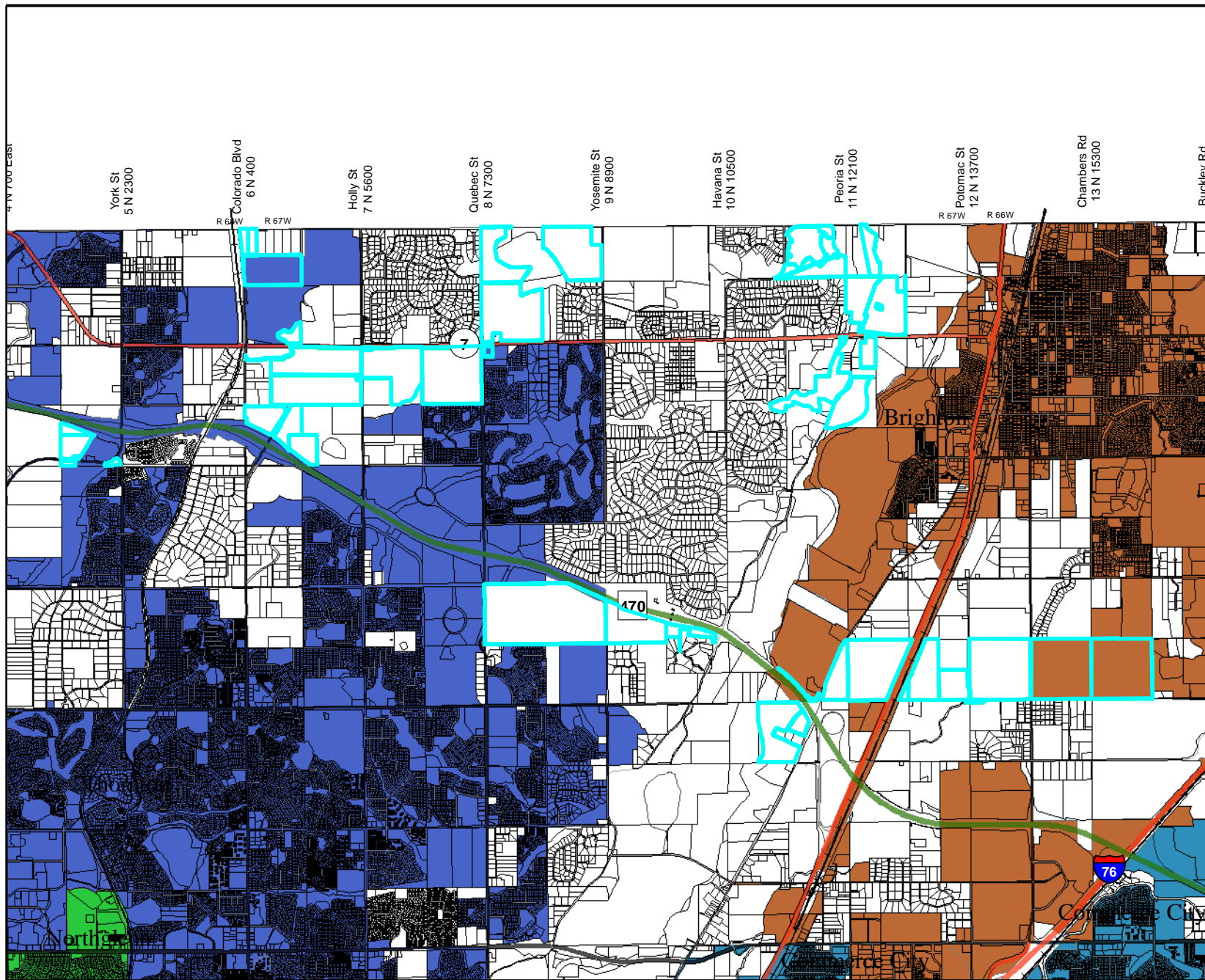
As part of the conditional use permit application, the applicant agreed to enter into a development agreement (Exhibit 3.2) with the County for each of the proposed pipelines. The agreement covers multiple requirements, such as pre-construction approvals (which include stormwater, road crossing, and traffic control permits), documentation of standard operating procedures, and maintenance of the pipeline. Paragraph 1 of the agreement states:

*“Prior to site disturbance and commencing construction in the County, Developer Shall:”*

The operator is proposing an amendment to Paragraph 1 of the Development Agreement (Exhibit 3.3), which would state:

*“Prior to site disturbance and commencing construction for each Segment of the Pipeline within the County, Developer shall provide the County a summary of the permits necessary from all applicable jurisdictions for the construction and installation of the subject Segment; the summary shall include the permit name, permit number (if applicable), date of application for permit, permit status (if not approved and the anticipated timing of such approval), and date of approval (if required by the subject permit)”*





## Legend

### Cities

- Arvada
- Aurora
- Bennett
- Brighton
- Commerce City
- Federal Heights
- Lochbuie
- Northglenn
- Thornton
- Westminster

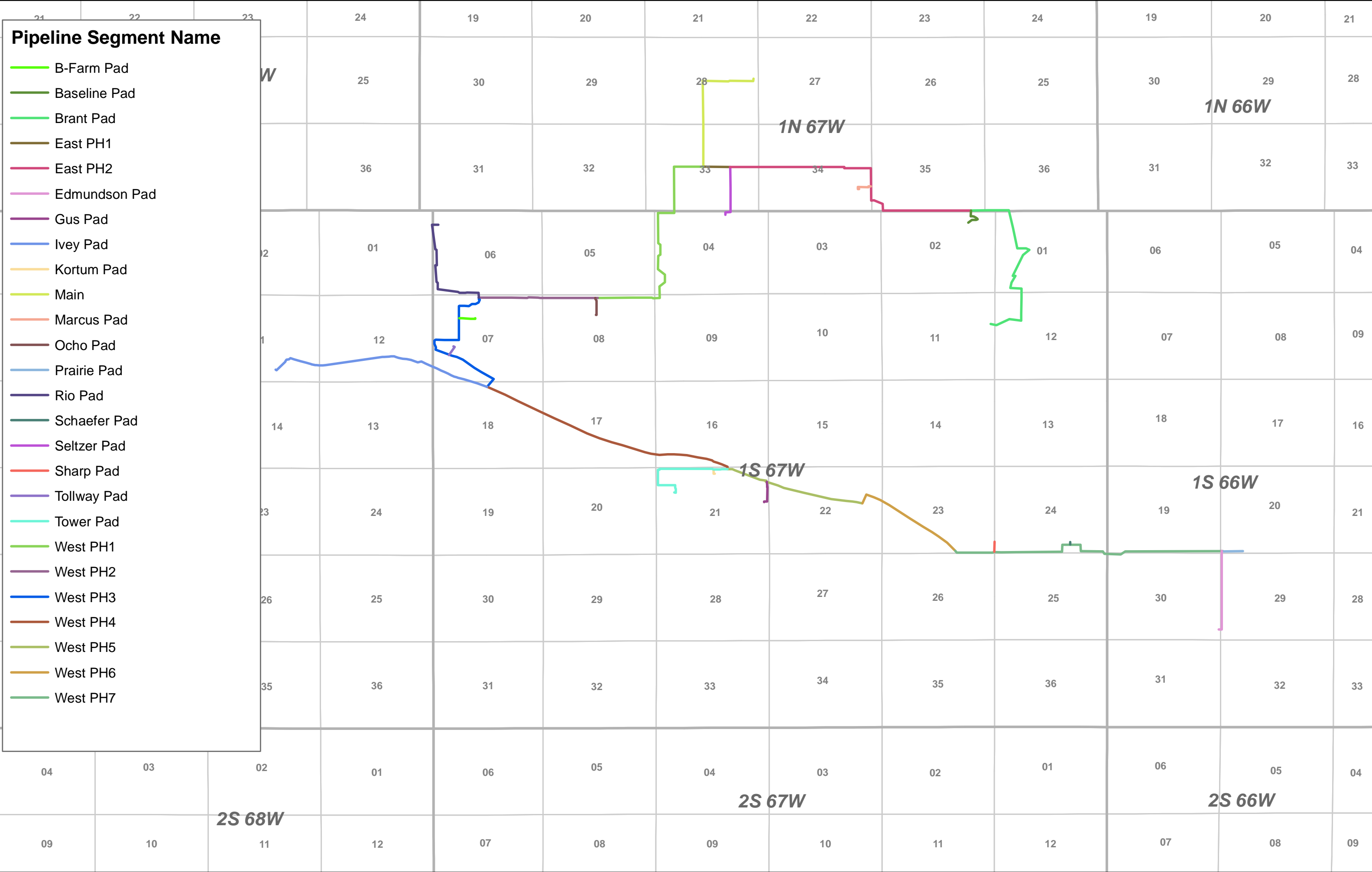
**RCU2020-00004: Pioneer Produced Water Pipeline Project**  
**Simple Map**



For display purposes only.



This map is made possible  
 by the Adams County GIS  
 group, which assumes no  
 responsibility for its accuracy



## **Pioneer Water Pipeline, LLC – Support for Amendment to Development Agreement**

Great Western acquired Pioneer Water Pipeline LLC along with the approved, and subsequently extended, Condition Use Permit (“CUP”) from Adams County permitting the construction of approximately 19 miles of HDPE line to gather produced water from well pads. Pioneer will remain the entity developing the water pipeline. Great Western has allocated capital, staff and assembled a detailed plan to proceed with the connection of well pads within Adams County and is ready to begin the Pioneer project. In relation to the start of the project, the current Development Agreement approved by the CUP includes multiple pre-construction requirements as outlined under the Developer’s Obligations Part 1 that must be satisfied across the entire 19-mile system before any disturbance can occur in Adams County. While Pioneer is prepared to satisfy all the requirements listed over the course of the project construction, they believe satisfying the conditions on individual defined segments (to be defined as smaller portions of the approximate 19-mile pipeline system) would serve Adams County and its residents more effectively without compromising the intent of the CUP.

Pioneer is dedicated to moving quickly and systematically to utilize the extended CUP and connect high priority new development in Adams County to an environmentally safe water disposal company. This project removes trucks from the road, decreases emissions from the hauling trucks and increases the safety of the community immediately. We would propose the following suggested change to couple with the focus on enhancing the safety of the community:

- Amending the Development Agreement approved by the CUP and allowing Pioneer to submit evidence of applicable local, state and federal construction, utility, right-of-way permits, licenses, easements and all similar items outlined in the Developer’s Obligations Part 1 of the CUP for each individual defined Segment of the pipeline prior to its construction. Allowing the permitting and construction of individual defined Segments in a phased approach will provide the following benefits:
  - Removing trucks from the road - by accelerating the 2022 pipeline construction activity to connect multiple well pads being completed as well as produced water volumes currently online this will remove the need for trucking produced water from these immediately accessible sites that would be delayed while waiting for longer lead permits that are unrelated to the initial phases of construction;
  - Alignment with Adams County’s directive to gather produced water from well pad, as opposed to trucking these water volumes;
  - Allowing construction activities to be conducted earlier and more efficiently resulting in less impact to the surrounding communities that are currently being constructed and becoming more populated by getting pipe in the ground and crews out of new development areas earlier;
  - Providing flexibility to schedule construction to avoid and further protect potential wildlife habitat while continuing to construct the gathering system accruing the other benefits noted; and
  - Reducing or eliminating the need to obtain additional extensions to approved permits along the entire right-of-way that could expire as a result of delays due to obtaining permits for Segments where no construction will occur for the initial phase of development.

Pioneer will ensure that it has obtained all necessary permits applicable to Segments of construction prior to commencing construction of that Segment to assure the protection of public health, safety, wildlife habitat, wetlands, riparian areas and all environmental aspects related to the project as required by Local, State and Federal rules and regulations. Additionally, Pioneer will work diligently to obtain necessary permits for future segments of the construction phase and will not commence construction of those segments until all necessary permits have been obtained.

TD Pgs: 0 Josh Zygielbaum, Adams County, CO.

STATE OF COLORADO   )  
COUNTY OF ADAMS     )

At a regular meeting of the Board of County Commissioners for Adams County, Colorado, held at the Government Center in Brighton, Colorado on the 1<sup>st</sup> day of September, 2020 there were present:

Eva J. Henry	Commissioner
Charles “Chaz” Tedesco	Commissioner
Emma Pinter	Commissioner
Steve O’Dorisio	Commissioner
Mary Hodge	Commissioner
Heidi Miller	County Attorney
Erica Hannah	Clerk to the Board

when the following proceedings, among others were held and done, to-wit:

RESOLUTION APPROVING APPLICATION IN CASE # RCU2020-00004 PIONEER  
WATER PIPELINE

Resolution 2020-504

WHEREAS, this case involved requests for: 1) conditional use permit to construct a new pipeline system conveying produced water; and 2) development agreement that covers pre-construction requirements, construction and operational standards, and maintenance of the pipelines on the following described properties:

LOCATION: Multiple Parcels in Adams County. The linear pipeline project stretches from the vicinity of the intersection of East 136<sup>th</sup> Avenue and Buckley Road to the vicinity of the intersection of East 168<sup>th</sup> Avenue and Quebec Street (Parcel Numbers: 0156919000005, 0156930000001, 0157101200007, 0157101300001, 0157101300002, 0157102100003, 0157102100004, 0157102101014, 0157104100005, 0157104200003, 0157104300002, 0157106000007, 0157106001001, 0157106001002, 0157107000002, 0157107000014, 0157107000016, 0157107000023, 0157107400001, 0157108000001, 0157108000004, 0157108200002, 0157112000033, 0157112000038, 0157112010003, 0157121000016, 0157121000017, 0157122000001, 0157122103001, 0157122103003, 0157123000026, 0157124000015, 0157124000016, 0157124000017, 0157124000019, 0157125000012, 0157126101003, 0157126201001, 0157311400002, 0157311400007, 0157311400008, 0157311400009)

WHEREAS, the Adams County Planning Commission held a public hearing on the application on the 13<sup>th</sup> day of August, 2020, and forwarded a recommendation of APPROVAL to the Board of County Commissioners; and

WHEREAS, the Board of County Commissioners held a public hearing on the application on the 1<sup>st</sup> day of September, 2020.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that based upon the evidence presented at the hearing and the recommendation of the Adams County Planning Commission, the application in this case is hereby APPROVED based upon the following findings-of-fact and subject to the fulfillment of the following condition:

Findings-of-Fact

1. The conditional use is permitted in the applicable zone district.
2. The conditional use is consistent with the purposes of these standards and regulations.
3. The conditional use will comply with the requirements of these standards and regulations including, but not limited to, all applicable performance standards.
4. The conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
5. The conditional use permit has addressed all off-site impacts.
6. The site is suitable for the conditional use including adequate usable space, adequate access, and absence of environmental constraints.



7. The site plans for the proposed conditional use will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
8. Sewer, water, storm water drainage, fire protection, police protection, and roads are to be available and adequate to serve the needs of the conditional use as designed and proposed.
9. Documentation that prior to site disturbance associated with the Proposed Project, the Applicant can and will obtain all necessary property rights, permits and approvals. The Board may, at its discretion, defer making a final decision on the application until outstanding property rights, permits and approvals are obtained or the Board may grant a Permit with conditions and/or conditions precedent which will adequately address outstanding concerns.
10. The Proposed Project considers the relevant provisions of the regional water quality plans.
11. The Applicant has the necessary expertise and financial capability to develop and operate the Proposed Project consistent with all requirements and conditions.
12. The Proposed Project is technically and financially feasible.
13. The Proposed Project is not subject to significant risk from Natural Hazards.
14. The Proposed Project is in general conformity with the applicable comprehensive plans.
15. The Proposed Project does not have a significant adverse effect on the capability of local government to provide services or exceed the capacity of service delivery systems.
16. The Proposed Project does not create an undue financial burden on existing or future residents of the County.
17. The Proposed Project does not significantly degrade any substantial sector of the local economy.
18. The Proposed Project does not unduly degrade the quality or quantity of recreational opportunities and experience.
19. The planning, design and operation of the Proposed Project reflects principals of resource conservation, energy efficiency and recycling or reuse.
20. The Proposed Project does not significantly degrade the environment. This includes the considerations that shall be used to determine whether there will be significant degradation of the environment. For purposes of this section, the term environment shall include:
  - Air quality,
  - Visual quality,
  - Surface water quality,
  - Groundwater quality,
  - Wetlands, flood plains, streambed meander limits, recharge areas, and riparian areas,
  - Terrestrial and aquatic animal life,
  - Terrestrial and aquatic plant life, and
  - Soils and geologic conditions.
21. The Proposed Project does not cause a nuisance and, if a nuisance has been determined to be created by the Proposed Project, the nuisance has been mitigated to the satisfaction of the County.
22. The Proposed Project does not significantly degrade areas of paleontological, historical, or archaeological importance.
23. The Proposed Project does not result in unreasonable risk of releases of hazardous materials. In making this determination as to such risk, the Board's consideration shall include:
  - Plans for compliance with Federal and State handling, storage, disposal and transportation requirements,
  - Use of waste minimization techniques, and
  - Adequacy of spill prevention and counter measures, and emergency response plans.
24. The benefits accruing to the County and its citizens from the proposed activity outweigh the losses of any resources within the County, or the losses of opportunities to develop such resources.
25. The Proposed Project is the best alternative available based on consideration of need, existing technology, cost, impact and these Regulations.
26. The Proposed Project shall not unduly degrade the quality or quantity of agricultural activities.
27. The proposed Project does not negatively affect transportation in the area.
28. All reasonable alternatives to the Proposed Project, including use of existing rights-of-way and joint use of rights-of-way wherever uses are compatible, have been adequately assessed and the Proposed Project is compatible with and represents the best interests of the people of the County and represents a fair and reasonable utilization of resources in the Impact Area.

29. The nature and location of the Proposed Project or expansion will not unduly interfere with existing easements, rights-of-way, other utilities, canals, mineral claims or roads.
30. Adequate electric, gas, telephone, water, sewage and other utilities exist or shall be developed to service the site.
31. The proposed project will not have a significantly adverse Net Effect on the capacities or functioning of streams, lakes and reservoirs in the impact area, nor on the permeability, volume, recharge capability and depth of aquifers in the impact area.
32. The purpose and need for the Proposed Project are to meet the needs of an increasing population within the County, the area and community development plans and population trends clearly demonstrate a need for such development.
33. The Proposed Project is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area.

Condition of Approval:

- I. The applicant shall comply with all the terms and conditions of the executed Development Agreement between Pioneer Water Pipeline, LLC and Adams County.

**Upon motion duly made and seconded the foregoing resolution was adopted by the following vote:**

Henry	_____	Aye
Tedesco	_____	Aye
Pinter	_____	Aye
O'Dorisio	_____	Aye
Hodge	_____	Aye

**Commissioners**

**STATE OF COLORADO    )**  
**County of Adams        )**

**I, Josh Zygielbaum, County Clerk and ex-officio Clerk of the Board of County Commissioners in and for the County and State aforesaid do hereby certify that the annexed and foregoing Order is truly copied from the Records of the Proceedings of the Board of County Commissioners for said Adams County, now in my office.**

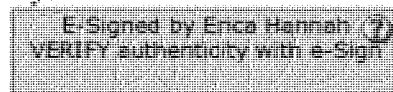
**IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County, at Brighton, Colorado this 1<sup>st</sup> day of September A.D. 2020.**

**County Clerk and ex-officio Clerk of the Board of County Commissioners**

**Josh Zygielbaum:**



**By:**



**Deputy**

Development Agreement  
Pioneer Water Pipeline  
Case No. RCU2020-00004

#### DEVELOPMENT AGREEMENT

THIS DEVELOPMENT AGREEMENT ("Agreement") is made and entered into by and between the **COUNTY OF ADAMS**, a political subdivision of the State of Colorado, hereinafter called ("County"), and **Pioneer Water Pipeline, LLC**, a Delaware limited liability company, 2015 Clubhouse Dr, Suite 201, Greeley, CO 80634, hereinafter called ("Developer"). County and Developer may be referred to in this Agreement collectively as "Parties" or singularly as "Party."

WITNESSETH:

WHEREAS, Developer desires to construct approximately 19.2 miles of 4- to 12 inch-diameter high-density-polyethylene (HDPE) produced water gathering pipelines and associated appurtenances in Adams County, Colorado, as shown in the alignment sheets in Exhibit A; more particularly described in that certain Conditional Use Permit ("CUP") Application dated February 28, 2020; and

WHEREAS, on February 28, 2020, Developer submitted an application for a CUP to Adams County in accordance with the requirements outlined in Chapter 2 of the Adams County Development Standards and Regulations ("the Regulations"), the CUP Checklist, and requested submittal criteria from the Adams County Areas and Activities of State Interest ("AASI") Checklist; and

WHEREAS, Developer will acquire, if it has not already done so, all necessary right-of-way easements and temporary construction easements to utilize certain real property in the County of Adams, State of Colorado; and

WHEREAS, the County has designated its future road expansion plans in the Adams County Transportation Plan adopted November 2012 ("Transportation Plan"); and

WHEREAS, the County and Developer have planned and designed the Project, so it will not prohibit future development, and so that it will not add cost to the County's future infrastructure plans to support development.

NOW, THEREFORE, in consideration of the foregoing, the parties hereto promise, covenant, and agree as follows:

Development Agreement  
Pioneer Water Pipeline  
Case No. RCU2020-00004

**I. DEVELOPER'S OBLIGATIONS:**

1. Pre-Construction Activities. Prior to site disturbance and commencing construction in the County, Developer Shall:
  - a. Apply for the applicable construction permits.
  - b. Prepare a Storm Water Management Plan. Storm Water Best Management Practices ("BMPs") will be implemented for the construction phase to capture and treat onsite Storm Water runoff in accordance with the requirements for the Storm Water Management Plan for the Project.
  - c. Secure applicable local, state, and federal permits for the Project and submit copies of these permits to the County.
  - d. Secure Adams County Right-of-Way permits prior to constructing crossings, which shall not be unreasonably withheld or delayed.
  - e. Record all executed easements and property deeds for the Project with the County.
  - f. Contact and use commercially reasonable efforts to work with Xcel Energy and United Power regarding any possible encroachment the Project may have on Xcel Energy's or United Power's pipeline(s) or related facilities.
  - g. Submit evidence (e.g. permit number) of approved Xcel Energy license agreements to the County.
  - h. Submit evidence (e.g. permit number) of approved Colorado Department of Transportation ("CDOT") Utility Permit for the Crossing of U.S. Highway 85, State Highway 7, and State Highway 2 to the County.
  - i. Submit evidence (e.g. permit number) of the approved E-470 Public Highway Authority ("E-470") Pipeline Crossing Permit for the crossing of E-470 to the County
  - j. Submit evidence (e.g. permit number) of the approved Union Pacific Railroad Crossing/Encroachment Permit for utilities that cross or follow along the ROW.
  - k. Submit engineering plans for an approximately 10-foot-wide permanent easement plus an additional 30-foot-wide temporary easement for a total construction corridor of 40 feet in width to be designed and constructed in accordance with Chapter 7 of the Adams County Development Standards and Regulations
2. Construction Activities. During construction, Developer shall:
  - a. Construct the Project in accordance with the CUP.
  - b. Manage Stormwater in accordance with a stormwater management plan ("SWMP") prepared under the Colorado Department of Public Health and Environment ("CDPHE") Colorado Discharge Permitting System ("CDPS") Permit and in accordance with the Clean Water Act National Pollution Discharge Elimination System ("NPDES") regulations and Adams County's Grading Erosion and Sediment Control standards. Stormwater BMPs will be implemented for the construction phase to capture and treat onsite Storm Water runoff in accordance with the requirements for the SWMP.
  - c. Operate at the Project site only from 7:00 AM to 7:00 PM, Monday through Saturday. Construction may occur on Sundays and other hours outside 7:00 AM to 7:00 PM timeframe on an as-required basis during inclement weather, during hydrostatic testing, horizontal directional drilling ("HDD"), and emergency situations that would cause Developer to be out of compliance with any applicable local, state, or federal permit. The County Director of Community and Economic



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Development may extend the hours and days of operation if Developer makes a request in writing and demonstrates sufficient need.

- d. Comply with guidelines of Section 106 of the National Historic Preservation Act of 1966 in locations that have been identified as federally regulated within the County. Comply with State of Colorado Historical, Paleontological, and Archeological Resources Act of 1973 (C.R.S. §§ 24-80-401 to 410) on all identified state lands within the County. All best management practices and avoidance measures proposed within the approved CUP on lands that are state and federally regulated by the above listed laws will be enforced.
- e. Comply with the terms of the Project's Air Pollution Emissions Notice ("APEN") issued by CDPHE, if an APEN is required.
- f. Comply with C.R.S. § 42-4-1407, covering loads for all hauling/construction trucks.
- g. Be responsible for the cleanliness and safety of roadways adjacent to the Project in the event there are any issues related to the Project during construction. If at any time these roadways are found to be dangerous or not passable due to debris or mud caused by Project activities, the County may require the Developer to cease Project operations immediately in the affected area and clear the roadway of any and all debris or mud. If required by the County, the Project shall not resume until the County deems the roadway conditions acceptable. If the Developer fails to keep the adjacent roadways clean and free from debris, Adams County Transportation Department has the option to perform the required clean up and bill clean up charges directly to the Developer.
- h. Be responsible for repairing County infrastructure that is damaged as a result of the construction from the Project. County will make a reasonable effort to provide any locations of County infrastructure to Developer within 30 days of CUP approval. Repairs shall occur as soon as possible, but no later than six (6) months following construction completion, unless an extension is granted by the County for extenuating circumstances. The Developer may submit evidence of the condition of the County's infrastructure at the start and completion of construction in order to demonstrate the pre-construction condition and the post-construction condition of the infrastructure.
- i. Remove and dispose of fluid spills caused by the project if applicable, such as hydraulic oil from maintenance of equipment, at a facility permitted for such disposal.
- j. Convey complaints Developer receives concerning off-site impacts and the resolution of those complaints to the Adams County Community and Economic Development Department. Off-site impacts shall be responded to and resolved by Developer. The Adams County Community and Economic Development Department will be the final decision maker regarding the resolution of noise complaints or any other off-site impacts, provided that Developer is provided notice and given an opportunity to be heard. Excessive complaints that are not resolved to the satisfaction of the County may be justification for a Show Cause Hearing before the Adams County Board of County Commissioners.
- k. Ensure that construction vehicles have a backup alarm that complies with Occupational Safety and Health Administration requirements, 29 CFR 1926.601(b)(4) and 1926.602(a)(9), and/or other remedies (such as flagmen) to minimize noise as approved by the County.
- l. Notify the County prior to commencing snow removal operations within the County's right-of-way. The Developer shall be responsible for damages to the right-of-way caused by these activities and shall repair damages at its expense within 60 days of receiving notice from the County.
- m. Screen storage or staging areas from adjacent residential properties within 100 feet.
- n. Comply with all applicable local, state, and federal requirements during the course of the project.
- o. Implement the following BMPs outlined in the Biological Resources Assessment:

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Case No. RCU2020-00004

- I. Horizontal directional drilling shall be used to avoid impacts to wetlands and waterbodies to the extent practicable and in accordance with U.S. Army Corps of Engineers requirements.
  - II. Raptor and bald eagle surveys should be conducted by a qualified biologist prior to disturbance.
  - III. If initial land disturbance is anticipated from March 15th to September 31st, a survey for potential burrowing owl habitat will be conducted. If potential habitat is found, surveys will be conducted in accordance with the Colorado Parks and Wildlife (CPW) protocols prior to the start of construction.
  - IV. If construction is planned to occur between April 1st to July 31st, field reconnaissance of potential mountain plover habitat should be conducted prior to disturbance.
  - V. In areas of trenching, trenches left overnight shall be covered or a means of egress provided for any wildlife that may enter the trench. Trenches should be checked for wildlife daily and if a species listed as Federal- or State- threatened or endangered is found or suspected, work should stop while a qualified biologist is contacted to relocate the animal.
- p. Implement the following Tri-County Health Department water well mitigation measures:
  - I. If trench dewatering is necessary, the water will be pumped and discharged to alluvial/colluvial sediments close to the stream channel.
  - II. If discharge of groundwater is necessary during construction, Developer agrees to obtain a discharge permit from CDPHE, Water Quality Control Division.
3. Design Requirements.
  - a. The Project will be designed to meet or exceed the minimum safety standards contained the Colorado Oil and Gas Conservation Commission Part 1100 rules, as applicable, and national engineering design codes for pipelines set forth by the American Society of Mechanical Engineers.
  - b. Pipeline burial depths will meet or exceed federal, state, and applicable engineering standards. The Pipelines will be buried with a minimum of 48-inches of cover where practical.
  - c. Ensure the pipeline is located in easements on private property or County owned property and County road crossings shall be as near as possible to right angles. This effective placement of the Pipeline complies with required structure setbacks per 2012 Transportation Plan.
4. Operational Requirements.
  - a. The Project will be operated in accordance with the safety standards contained the Colorado Oil and Gas Conservation Commission (COGCC) Part 1100 rules.
  - b. The Project will be operated in accordance with all applicable local, state, and federal codes, laws, and regulations, including but not limited to CDOT and CDPHE.
  - c. The Project will utilize an integrity management program as detailed in the COGCC Part 1100 rules.
5. Post-Construction and Maintenance Requirements.
  - a. Developer agrees to restore disturbed County-owned lands in compliance with the requirements of applicable easement agreements. In the event that reseedling is unsuccessful in the first growing season, Developer agrees to comply with the terms of the easement agreements during the subsequent growing season. The County may grant an extension for good cause, in writing, in the event of unforeseen circumstances.
  - b. Developer agrees to restore disturbed private property in accordance with the applicable easement agreements. In the event that reseedling is unsuccessful in the first growing season, Developer agrees to comply with the terms of the easement agreements to restore the land. The

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County may grant an extension for good cause, in writing, in the event of unforeseen circumstances.

- c. The Developer also agrees that the approval of encroachment agreement requests for parking lots and driveways on private property shall not be unreasonably or arbitrarily withheld, in accordance with the terms of the easement agreements for the Project, so long as such encroachment requests do not affect Developer's ability to safely operate its Pipeline.
  - d. Developer agrees that it will not disrupt or damage the functionality of existing drainage facilities.
  - e. Developer agrees to submit "as built" construction drawings to the Adams County Community and Economic Development Department and Public Works Department within 180 days of construction completion in accordance with the procedures established by the County.
  - f. Developer agrees to submit emergency contact information, emergency response plans, and final maps of the Project, including associated Pipeline components, to the local fire districts encompassing the Project and to the Adams County Office of Emergency Management before commencing operation of the Pipeline. The Developer shall comply with other requests for information from the Adams County Office of Emergency Management in accordance with local, state, and federal law.
  - g. Maintenance of the Project will follow guidelines set forth in Developer's operations and maintenance procedures, which meet or exceed regulatory requirements. Maintenance activities associated with the Pipeline and permanent easement include, the following:
    - Implement a damage prevention program, including observation of any construction activities by others on or near the permanent easement;
    - Participate in the State of Colorado's one-call program and responding to one-calls;
    - Install and maintain pipeline markers;
    - Inspect block valves;
    - Inspect crossings by other pipelines, highways, railroads, and utilities;
    - Inspect and maintain safety, control, mechanical, and electrical equipment;
    - Maintain communication equipment; and
6. Development Impact Fees. There are no development impact fees associated with this Project.
7. Guarantee of Compliance. Developer hereby agrees that, should it fail to comply with the terms of this Agreement through no fault of Adams County, the County is entitled to obtain from the Colorado State District Court for the Seventeenth Judicial District a mandatory injunction requiring said Developer to comply with the terms of this Agreement. Prior to the County seeking such an injunction, Developer will be provided the opportunity to cure any default in accordance with the terms set forth herein. Developer further agrees that failing to comply with the requirements set forth in this Agreement may be justification for a Show Cause Hearing where the CUP Permit may be revoked.
8. Successors and Assigns. The rights granted herein may be assigned in whole or in part, and the terms, conditions, and provisions of this Agreement shall be deemed a covenant running with the real property in perpetuity and shall be binding upon the heirs, executors, personal representatives, successors, and assigns of Developer and of the County.

Development Agreement  
Pioneer Water Pipeline  
Case No. RCU2020-00004

## II. COUNTY'S OBLIGATIONS:

Except as expressly set forth herein, the County shall have no obligations associated with this Agreement.

## III. GENERAL PROVISIONS:

1. No Third-Party Beneficiaries. This Agreement is intended to describe and determine such rights and responsibilities only as between the Parties hereto. It is not intended to and shall not be deemed to confer rights or responsibilities to any person or entities not named hereto.
2. Notices. Any and all notices, demands or other communications desired or required to be given under any provision of this Agreement shall be given in writing and delivered personally or sent by registered or certified mail, return receipt requested, postage prepaid or by email address as follows:

To Developer:

PIONEER WATER PIPELINE, LLC  
Attn: Land Manager  
600 17th St., Suite 725-S  
Denver, CO 80202

To Adams County:

Director, Adams County Community and Economic Development  
4430 South Adams County Parkway, 1st Floor, Suite W2000A  
Brighton, CO 80601

With a copy to:

Adams County Attorney  
4430 South Adams County Parkway, 5th Floor, Suite C500B  
Brighton, CO 80601

3. Amendments. Should any changes to the CUP be proposed by Developer before, during or after completion of the Project, Developer shall submit the details of those changes to the Adams County Community and Economic Development Director for a determination as to whether those changes constitute a Major or Minor Amendment in accordance with the Regulations.

This Agreement may only be modified amended, changed or terminated in whole or in part by a separate agreement in writing duly authorized and executed by the Parties hereto with the same formality, and subject to the same statutory and regulatory requirement, as this Agreement.


4. Controlling Law. This Agreement and its application shall be construed in an accordance with the laws of the State of Colorado.
5. Default. If either Party is in default under this Agreement, the non-defaulting Party shall provide written notice to said defaulting Party at the address provided in Section 2 immediately above. The defaulting Party shall have 30 days to cure the default, unless an extension is granted in writing by the non-defaulting Party for good cause. The non-defaulting Party may seek all remedies available pursuant to the Agreement and under the law.
6. Costs and Fees. In the event of any litigation arising out of this Agreement, the Parties agree that each Party will pay its own costs and fees.



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**DEVELOPER:**

**PIONEER WATER PIPELINE, LLC**  
a Colorado limited liability company

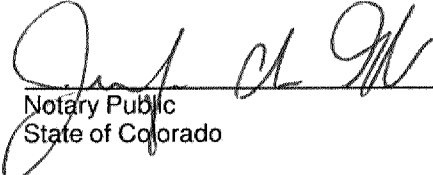
  
By: Jim Goddard  
Title: President

**ACKNOWLEDGMENT**

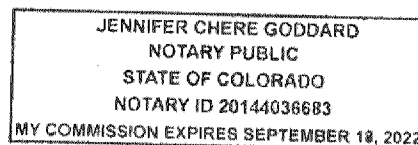
STATE OF COLORADO       )  
  ) ss.  
COUNTY OF ADAMS       )

The foregoing instrument was acknowledged before me this 24<sup>th</sup> day of August 2020, by Jim Goddard, as President, on behalf of Pioneer Water Pipeline, LLC, Colorado limited liability company.

Witness my hand and official seal.


  
Notary Public  
State of Colorado

My Commission Expires: Sept 18, 2022  
My Commission Number: 20144036683


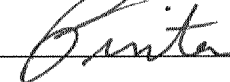


APPROVED BY resolution at the meeting of September 1, 2020.


ATTEST:

  
Clerk to the Board

BOARD OF COUNTY COMMISSIONERS  
ADAMS COUNTY, COLORADO

   
Chairperson

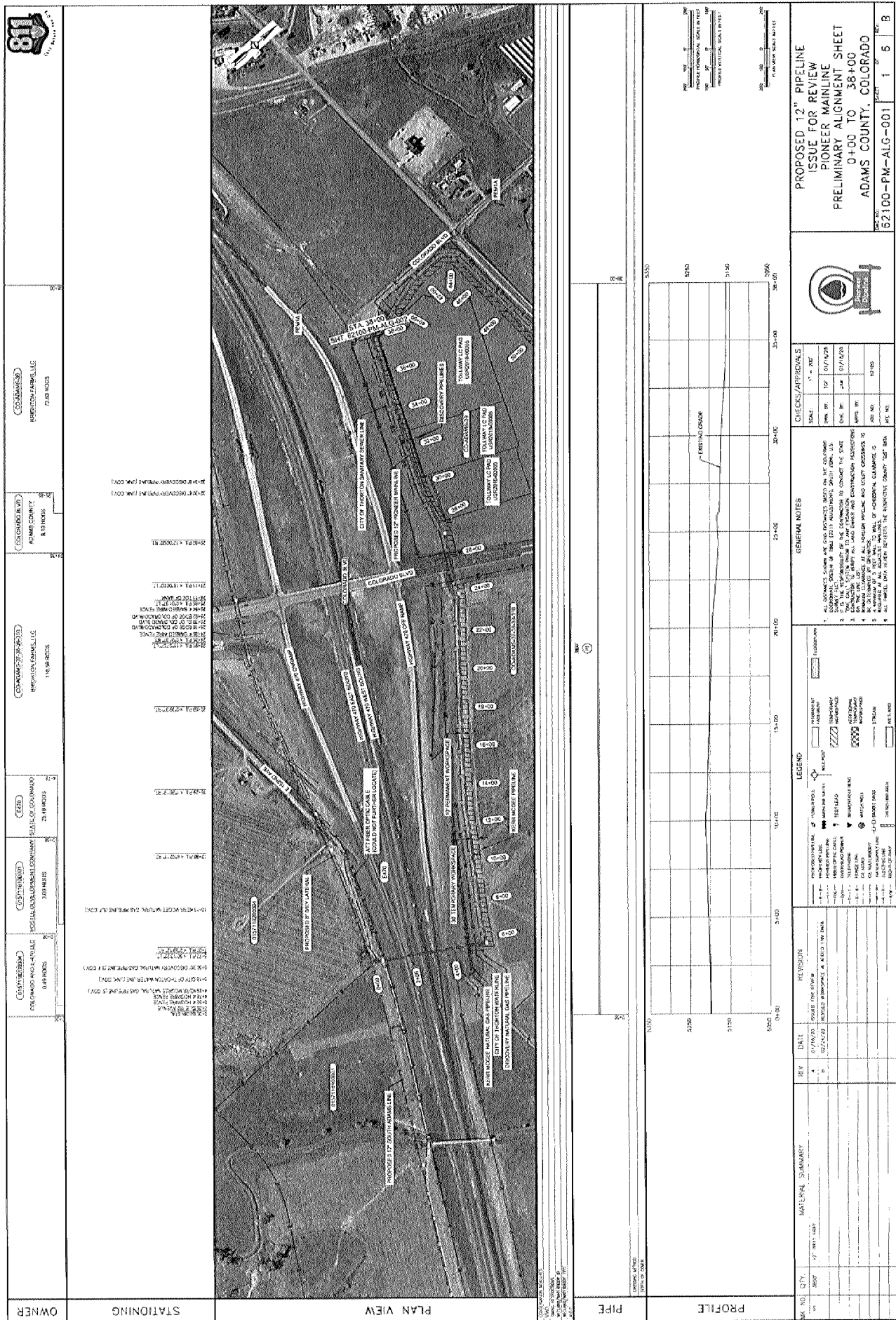
Approved as to form:

  
Adams County Attorney's Office

Development Agreement  
Pioneer Water Pipeline  
Case No. RCU2020-00004

EXHIBIT “A”

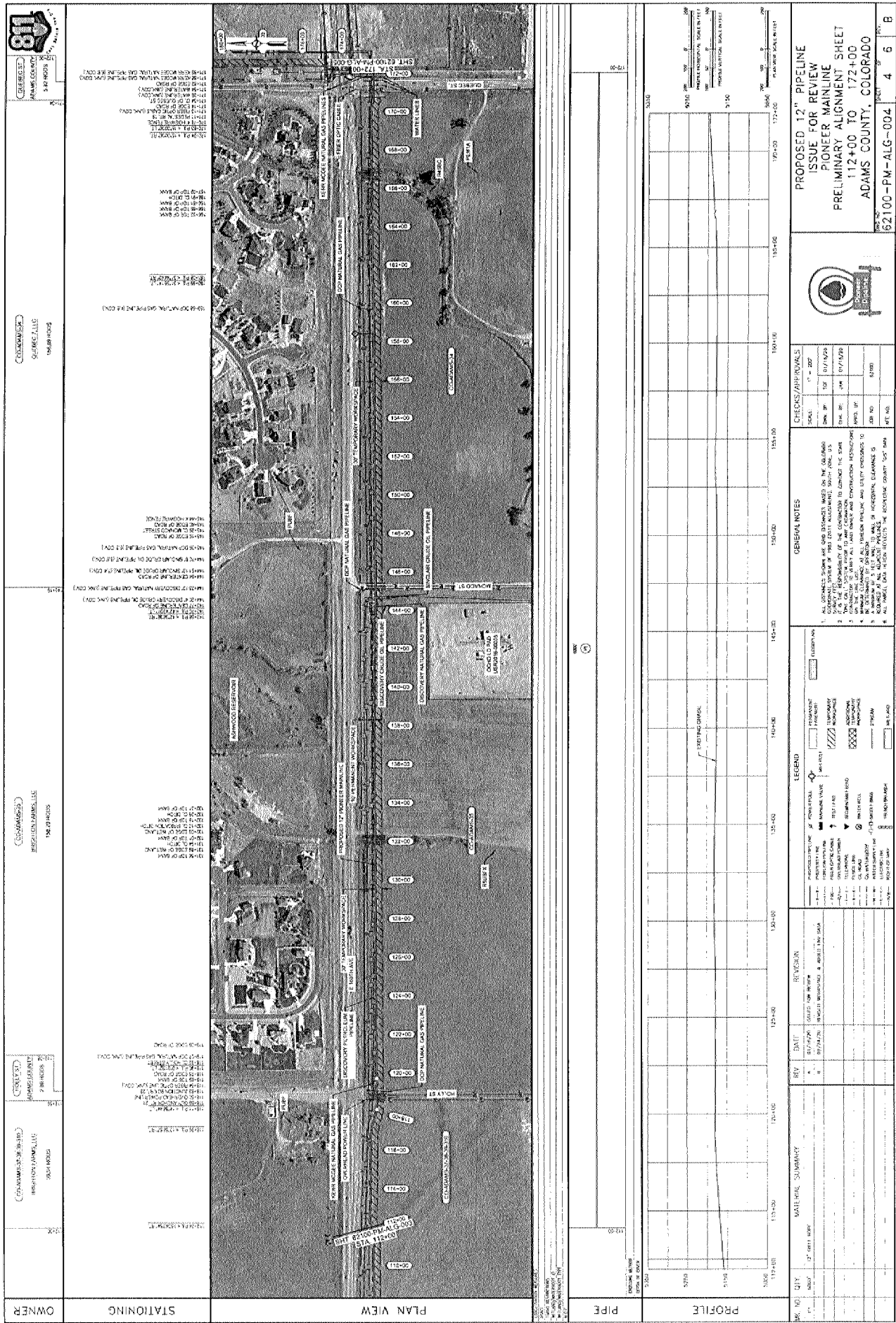
Pipeline Alignment Sheets







[illegible]











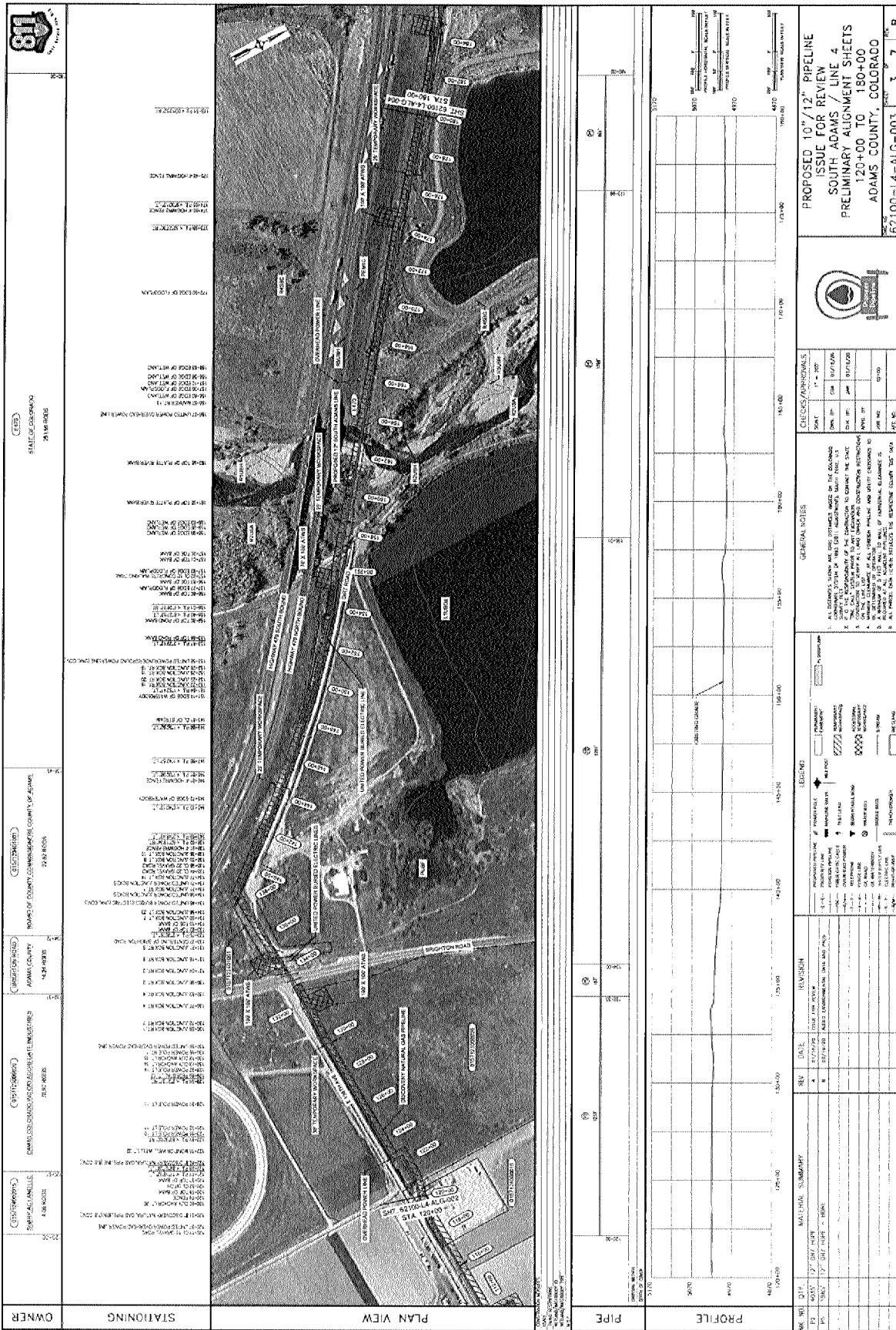




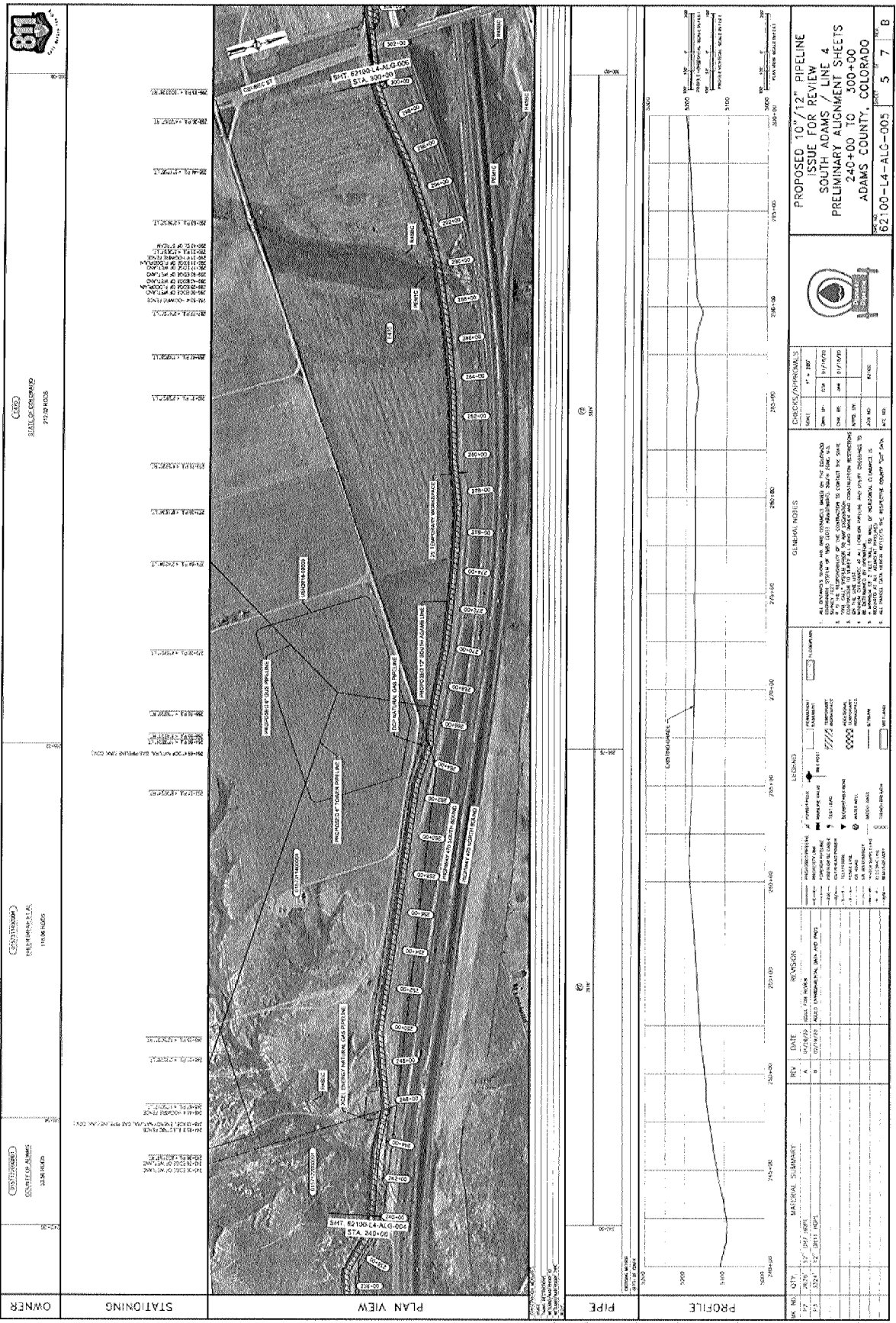








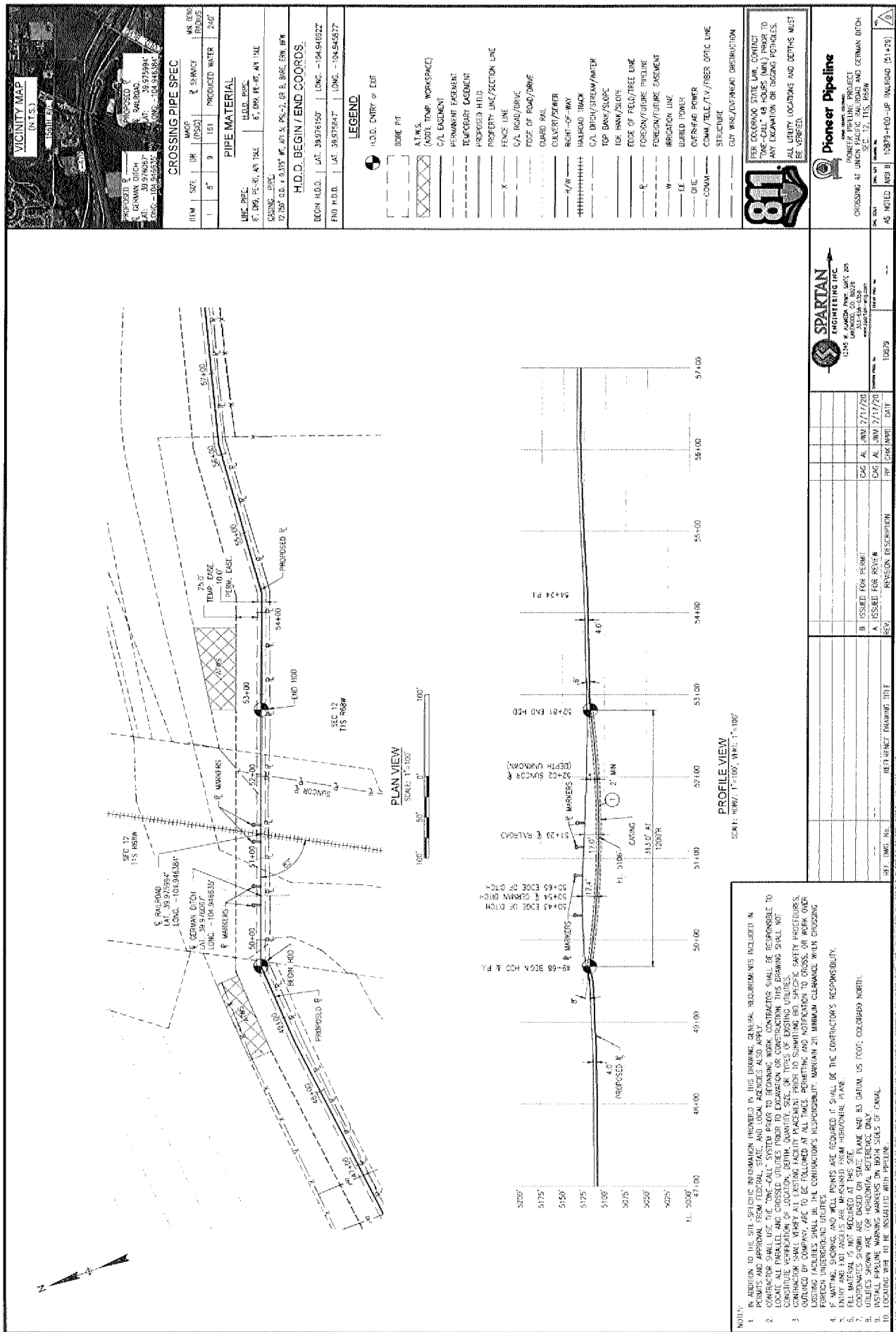








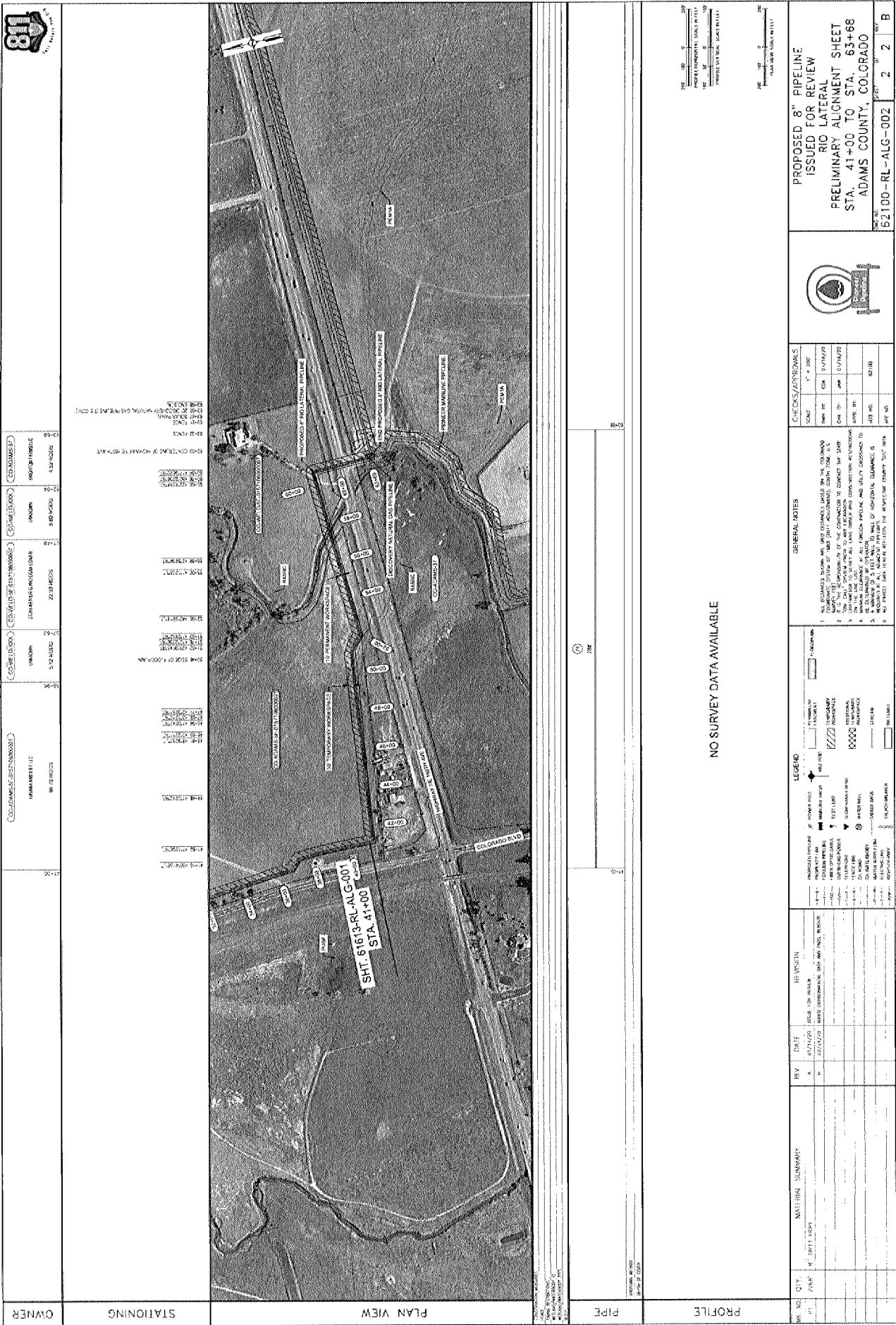






























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Development Agreement  
Pioneer Water Pipeline  
Case No. RCU2020-00004

**FIRST AMENDMENT TO THE DEVELOPMENT AGREEMENT BETWEEN  
PIONEER WATER PIPELINE, LLC, AND ADAMS COUNTY**

THIS FIRST AMENDMENT TO THE DEVELOPMENT AGREEMENT BETWEEN PIONEER WATER PIPELINE, LLC, AND ADAMS COUNTY (this “First Amendment”) is made and entered into by and between the County of Adams, State of Colorado, hereinafter called “County,” and Pioneer Water Pipeline, LLC, hereinafter called “Developer” and together hereinafter called “the Parties.”

WITNESSETH:

WHEREAS, the Parties are party to that certain Development Agreement (the “Agreement”) dated September 1, 2020, County Case Number RCU2020-00004, which laid out certain obligations of the Developer in the construction of a pipeline; and,

WHEREAS, the Developer is wishing to phase the construction of the pipeline in order to improve construction flexibility reducing the overall impact to public health, safety, welfare and environment, and wildlife resources, to engage in the efficient use of the permitting process by removing the need to obtain extensions associated with the expiration of earlier acquired permits, and accelerate the gathering of produced water via pipeline and the associated reduction in produced water hauling truck traffic impacts as provided by the Agreement; and,

WHEREAS, the parties now wish to amend the Agreement to allow for the developer to commence construction activities following the receipt of the applicable permits in phases that coordinate with the portion of the pipeline that is being constructed.

NOW, THEREFORE, in consideration of the foregoing, the Parties promise, covenant, and agree as follows:

**1. AMENDMENTS.** Following sections of the Agreement are amended as follows:

Replace the first sentence of **Paragraph 1** following the header “Pre-Construction Activities” with the following; “Prior to site disturbance and commencing construction for each Segment of the Pipeline within the County, Developer shall provide the County a summary of the permits necessary from all applicable jurisdictions for the construction and installation of the subject Segment; the summary shall include the permit name, permit number (if applicable), date of application for permit, permit status (if not approved and the anticipated timing of such approval), and date of approval (if required by the subject permit)

**2. DEFINITIONS.** As used in this amendment, “Segment” means each anticipated, new section of pipeline, an example of which is laid out in Exhibit A; such Exhibit A to be updated with the County from time to time.

**3. RELATIONSHIP TO THE AGREEMENT.** Except as modified as by this First Amendment, the terms of the Agreement shall remain in full force and effect.

IN WITNESS WHEREOF, the Parties have executed this First Amendment on the date first written.

*[Signature pages follow]*

Developer

Pioneer Water Pipeline, LLC  
a Delaware limited liability company

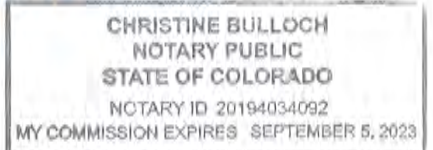
By:   
Name: Gregory S. Patton  
Title: Senior Vice President

The foregoing instrument was acknowledged before me this 22nd day of March,  
2022, by Gregory S. Patton

My commission expires: September 5, 2023

Address: 1001 17th Street, Suite 2000  
Denver, Colorado 80238

  
Notary Public



APPROVED BY resolution at the meeting of \_\_\_\_\_, 2022.

ATTEST:

BOARD OF COUNTY COMMISSIONERS  
ADAMS COUNTY, COLORADO

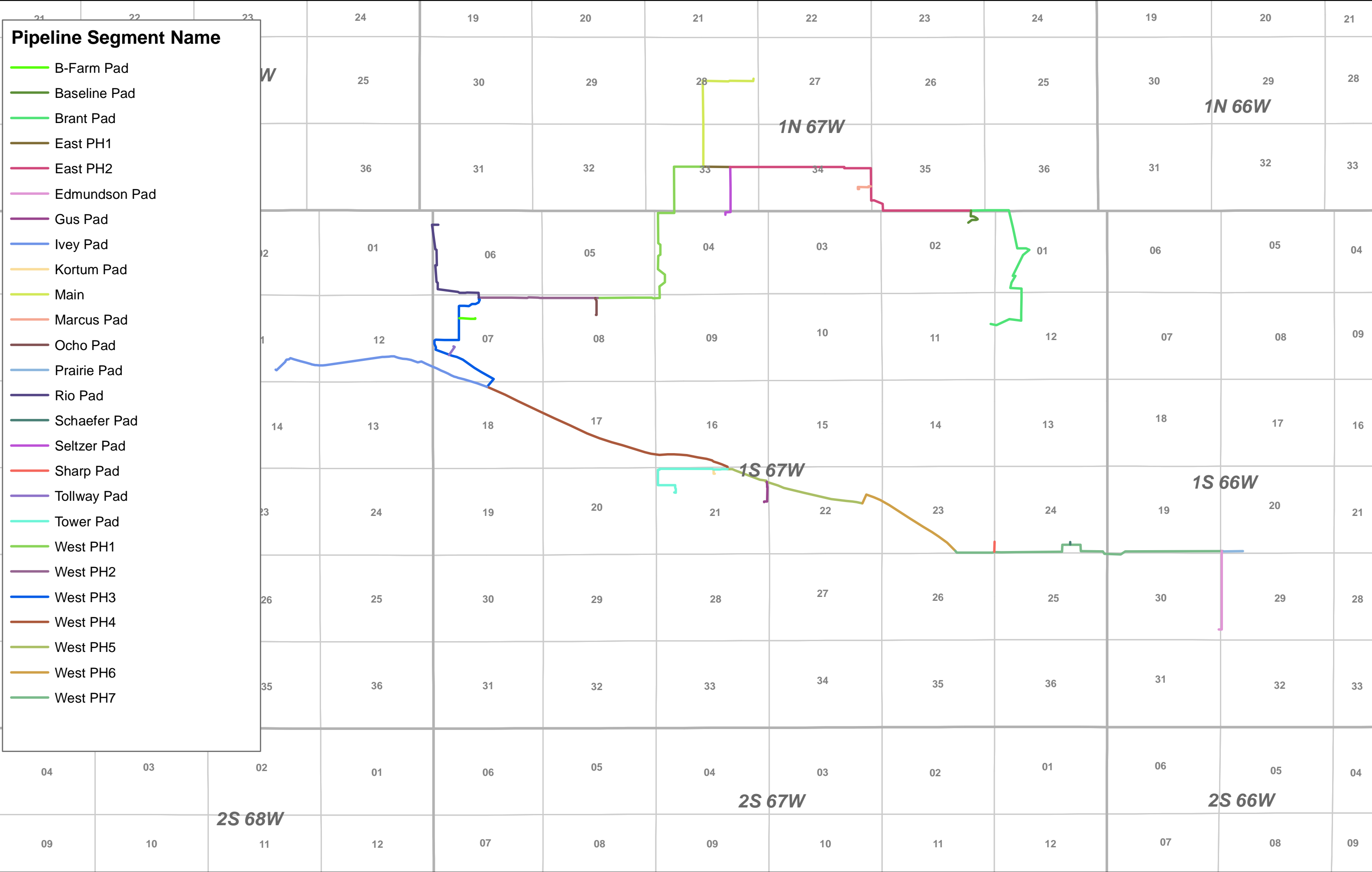
\_\_\_\_\_  
Clerk of the Board

\_\_\_\_\_  
Chair

Approved as to form

\_\_\_\_\_  
County Attorney





# Pioneer Pipeline DA Amendment PLN2022-00008

Community & Economic Development Department

April 5, 2022

Presented by: Jen Rutter, Planning & Development Manager

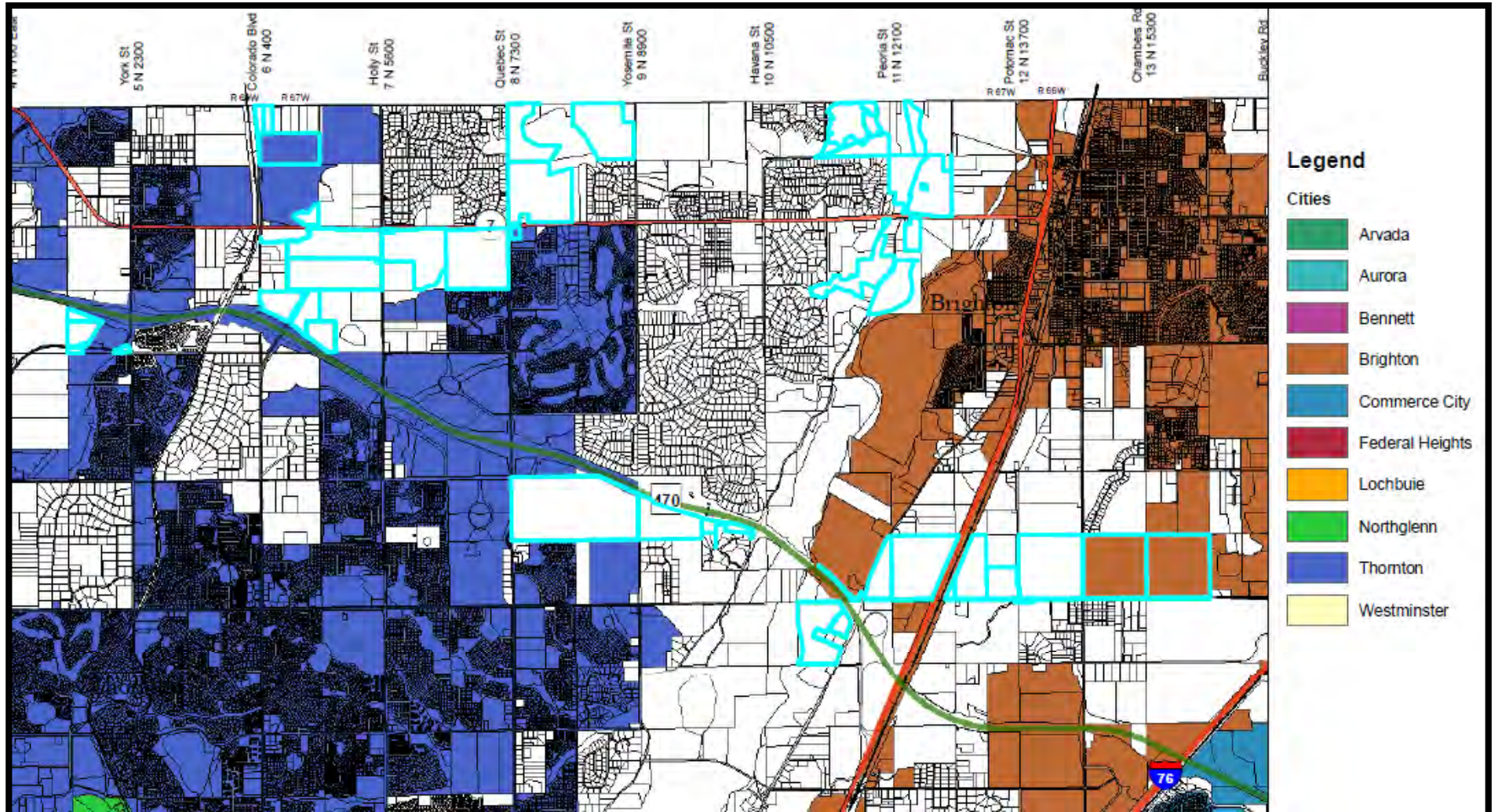


ADAMS COUNTY  
COLORADO

# Request

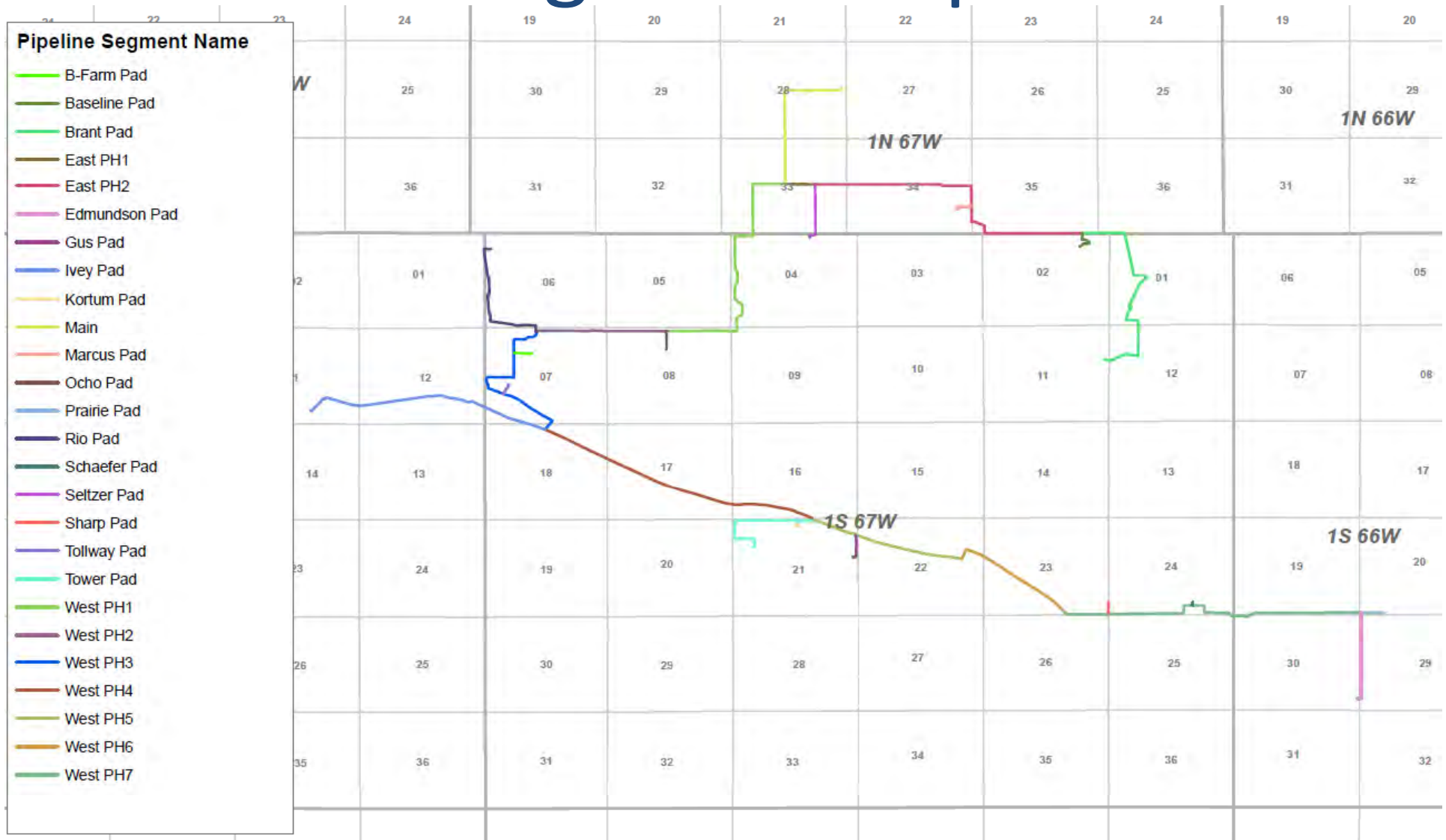
- Amendment to the Development Agreement for Pioneer Pipeline to allow for phased construction
- Background:
  - RCU2020-00004 approved approximately 12.3 miles of produced water pipeline on 9/1/2020
  - Pipeline will reduce traffic and improve air quality by eliminating trucking of produced water to injection sites
  - Development Agreement outlined construction and operational standards, including demonstrating permitting compliance
    - Proposed amendment would allow for permitting compliance to be demonstrated for each segment prior to construction

# Parcels Affected





# Segment Map



# Proposed Amendment

- Amendment to the Development Agreement for the Pioneer Pipeline to allow for phased construction:

*“Prior to site disturbance and commencing construction for each Segment of the Pipeline within the County, Developer shall provide the County a summary of the permits necessary from all applicable jurisdictions for the construction and installation of the subject Segment; the summary shall include the permit name, permit number (if applicable), date of application for permit, permit status (if not approved and the anticipated timing of such approval), and date of approval (if required by the subject permit)”*

RESOLUTION APPROVING THE FIRST AMENDMENT TO THE DEVELOPMENT  
AGREEMENT BETWEEN PIONEER WATER PIPELINE, LLC, AND ADAMS COUNTY

Resolution 2022-XXX

WHEREAS, on September 1, 2020, the Board of County Commissioners approved a Development Agreement for case RCU2020-00004, which laid out certain obligations of Pioneer Water Pipeline, LLC, in the construction of a pipeline; and,

WHEREAS, Pioneer Water Pipeline is planning on phasing the development of the pipeline to efficiently connect high priority new development in the County; and,

WHEREAS, Pioneer Water Pipeline wishes to amend the Development Agreement to allow for this phased development which will not change the approved design or layout of the pipeline.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the First Amendment to the Development Agreement between Pioneer Water Pipeline, LLC, and Adams County, a copy of which is attached hereto and incorporated herein by this reference, be approved.

BE IT FURTHER RESOLVED that the Chair of the Board of County Commissioners be authorized to execute said First Amendment on behalf of the County of Adams, State of Colorado.

**FIRST AMENDMENT TO THE DEVELOPMENT AGREEMENT BETWEEN  
PIONEER WATER PIPELINE, LLC, AND ADAMS COUNTY**

THIS FIRST AMENDMENT TO THE DEVELOPMENT AGREEMENT BETWEEN PIONEER WATER PIPELINE, LLC, AND ADAMS COUNTY (this “First Amendment”) is made and entered into by and between the County of Adams, State of Colorado, hereinafter called “County,” and Pioneer Water Pipeline, LLC, hereinafter called “Developer” and together hereinafter called “the Parties.”

WITNESSETH:

WHEREAS, the Parties are party to that certain Development Agreement (the “Agreement”) dated September 1, 2020, County Case Number RCU2020-00004, which laid out certain obligations of the Developer in the construction of a pipeline; and,

WHEREAS, the Developer is wishing to phase the construction of the pipeline in order to improve construction flexibility reducing the overall impact to public health, safety, welfare and environment, and wildlife resources, to engage in the efficient use of the permitting process by removing the need to obtain extensions associated with the expiration of earlier acquired permits, and accelerate the gathering of produced water via pipeline and the associated reduction in produced water hauling truck traffic impacts as provided by the Agreement; and,

WHEREAS, the parties now wish to amend the Agreement to allow for the developer to commence construction activities following the receipt of the applicable permits in phases that coordinate with the portion of the pipeline that is being constructed.

NOW, THEREFORE, in consideration of the foregoing, the Parties promise, covenant, and agree as follows:

**1. AMENDMENTS.** Following sections of the Agreement are amended as follows:

Replace the first sentence of **Paragraph 1** following the header “Pre-Construction Activities” with the following; “Prior to site disturbance and commencing construction for each Segment of the Pipeline within the County, Developer shall provide the County a summary of the permits necessary from all applicable jurisdictions for the construction and installation of the subject Segment; the summary shall include the permit name, permit number (if applicable), date of application for permit, permit status (if not approved and the anticipated timing of such approval), and date of approval (if required by the subject permit)

**2. DEFINITIONS.** As used in this amendment, “Segment” means each anticipated, new section of pipeline, an example of which is laid out in Exhibit A; such Exhibit A to be updated with the County from time to time.

**3. RELATIONSHIP TO THE AGREEMENT.** Except as modified as by this First Amendment, the terms of the Agreement shall remain in full force and effect.

IN WITNESS WHEREOF, the Parties have executed this First Amendment on the date first written.

*[Signature pages follow]*



Developer

Pioneer Water Pipeline, LLC  
a Delaware limited liability company

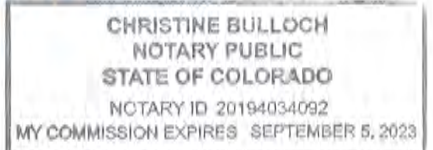
By:   
Name: Gregory S. Patton  
Title: Senior Vice President

The foregoing instrument was acknowledged before me this 22nd day of March,  
2022, by Gregory S. Patton

My commission expires: September 5, 2023

Address: 1001 17th Street, Suite 2000  
Denver, Colorado 80238

  
Notary Public



APPROVED BY resolution at the meeting of \_\_\_\_\_, 2022.

ATTEST:

BOARD OF COUNTY COMMISSIONERS  
ADAMS COUNTY, COLORADO

\_\_\_\_\_  
Clerk of the Board

\_\_\_\_\_  
Chair

Approved as to form

\_\_\_\_\_  
County Attorney

